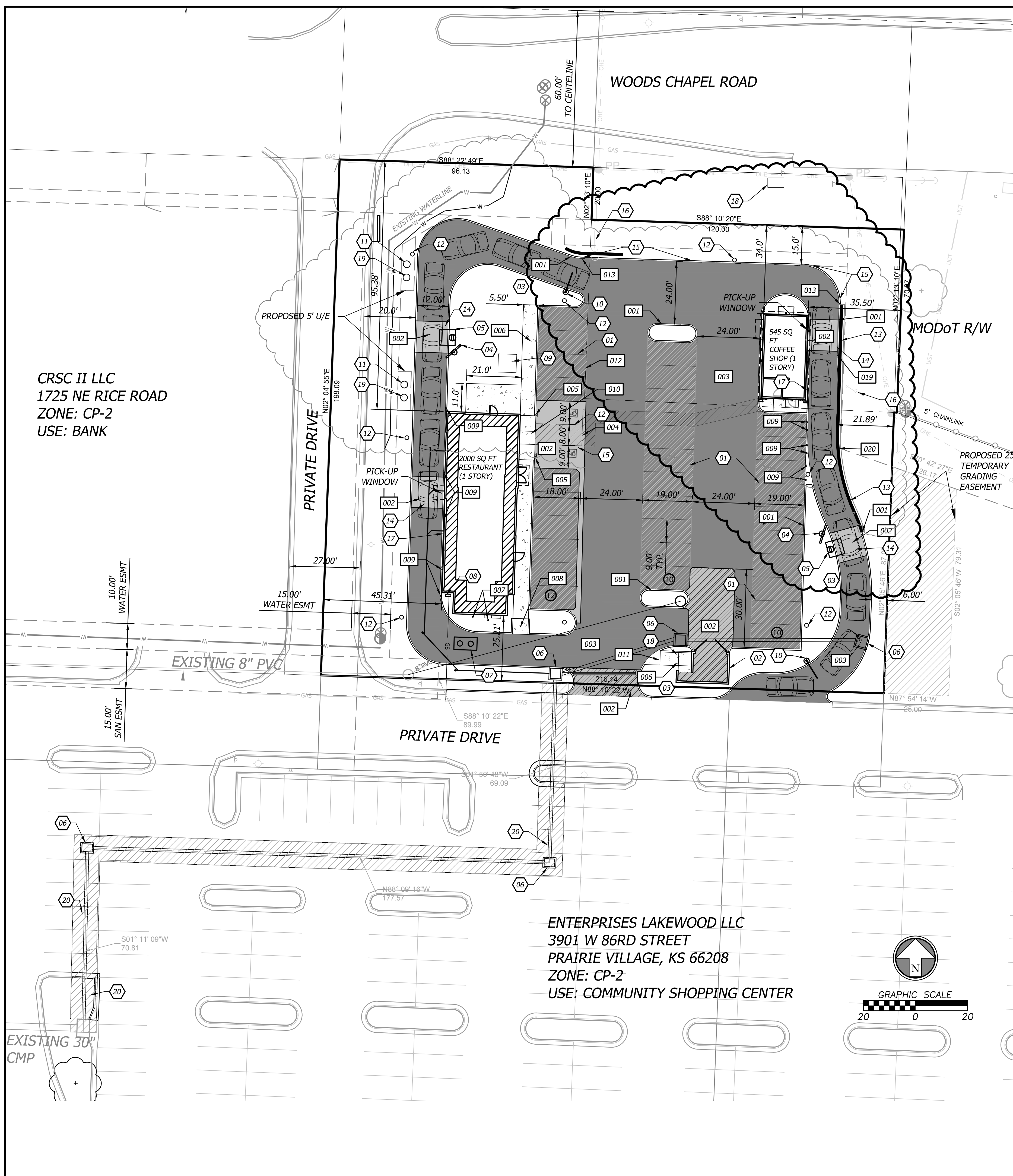


Oct. 03, 2019 - 11:43am Plotted By: matt.ghbs V:\026040-First Street Development - Markin\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sa\026040-08-SHTS-FDP-SITE.dwg Layout: Site Plan



SITE DATA

TOTAL FLOOR AREA: 2,545 SQ FT
 TACO BELL 2,000 SQ FT
 DRIVE-THRU COFFEE (NO SIT-DOWN) 545 SQ FT
 SITE AREA: 40,528 SQ FT (± 0.93 ACRES)
 DISTURBED AREA: 44,361 SQ FT (± 1.02 ACRES)

PARKING DATA

CITY REQUIREMENTS-
 RESTAURANT (FAST FOOD AND SIT-DOWN) 28 STALLS
 14 SPACES REQUIRED FOR EACH 1000 SF OF GROSS FLOOR AREA
 COFFEE SHOP 4 STALLS
 2 SPACES PER BUILDING, 1 PER EACH EMPLOYEE MAX SHIFT (2 MAX SHIFT)

STALLS REQUIRED 32
 TOTAL STALLS PROVIDED 32

STANDARD STALLS PROVIDED 2 (1 VAN)
 ADA ACCESSIBLE STALLS REQUIRED

STACKING REQUIRED 4 CARS FROM MENU BOARD
 STACKING PROVIDED 4 CARS FROM MENU BOARD

IMPERVIOUS AREA: 26,788 SQ FT
 FLOOR AREA RATIO: 0.063

ZONING: CP-2
 WATERSHED (HUC12): MAY BROOK-LITTLE BLUE RIVER

DEVELOPER

FIRST STREET DEVELOPMENT
 2929 E CAMELBACK ROAD, SUITE 116
 PHOENIX, AZ 85016
 PH: (602) 714-3099
 CONTACT: CHRIS CZYZ

PROPERTY OWNER

FSD WOODS CHAPEL LLC
 851 NE WOODS CHAPEL ROAD
 LEE'S SUMMIT, MO 64064

CONSTRUCTION NOTES

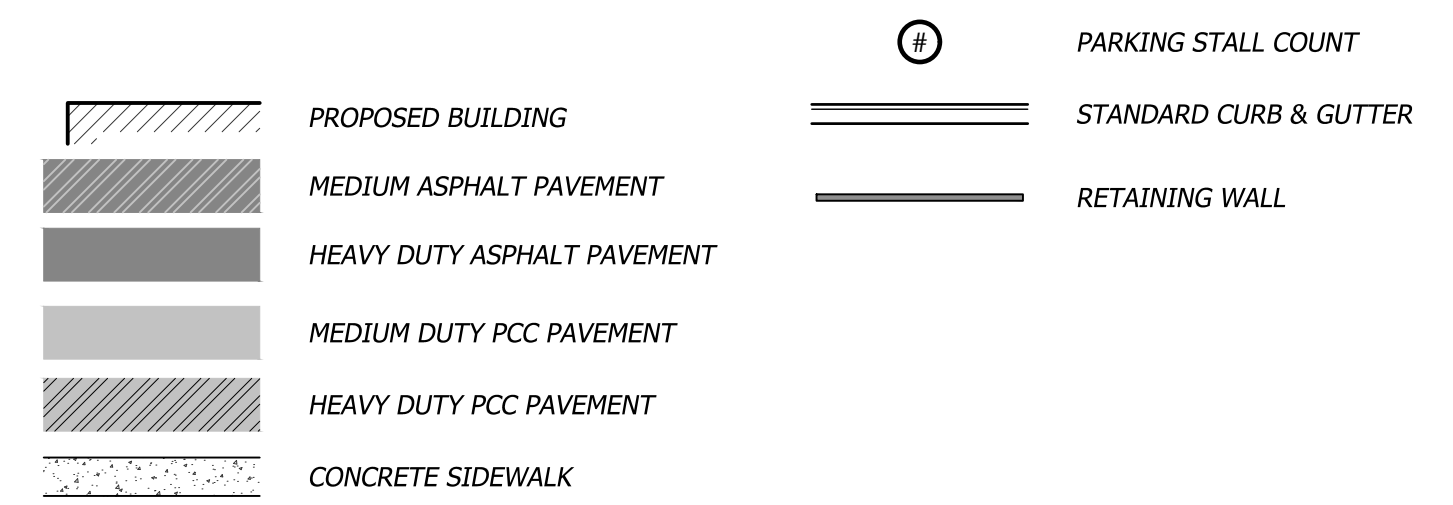
- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT STRIPING. COORDINATE WITH ARCHITECT AND DEVELOPER PRIOR TO CONSTRUCTION.
- 02 DUMPSTER ENCLOSURE. SEE SHEET A9.0
- 03 LANDSCAPING AREA. SEE SHEET L1.0
- 04 MENU BOARD
- 05 SPEAKER BOX
- 06 PROPOSED STORM STRUCTURES. SEE SHEET C6.0 & C7.0
- 07 1000 GALLON TRAFFIC RATED GREASE INTERCEPTOR. SEE SHEET C5.0 & C5.1 FOR MORE INFORMATION.
- 08 GAS METER
- 09 TRANSFORMER PAD. SEE SHEET C5.0
- 10 CLEARANCE BAR
- 11 WATER METER. SEE SHEET C5.0
- 12 LIGHT POLE
- 13 PROPOSED VERSA-LOK RETAINING WALL. MAXIMUM 30" EXPOSED HEIGHT. SEE DETAILS ON SHEET C9.3
- 14 CURB AND GUTTER ADJACENT TO CONCRETE PARKING PAVEMENT SHALL BE POURED INTEGRAL.
- 15 CONCRETE CURB WALL. SEE DETAIL ON SHEET C9.3
- 16 EXISTING GUY WIRES TO BE RELOCATED.
- 17 BACK OF CURB ALONG DRIVE-THRU, ADJACENT TO BUILDING SHALL EXTEND BACK TO FOOTING
- 18 KCP&L SECTIONALIZER
- 19 IRRIGATION METER
- 20 OFFSITE STORM SEWER EXTENSION. SEE SHEET C11.0

DETAILS

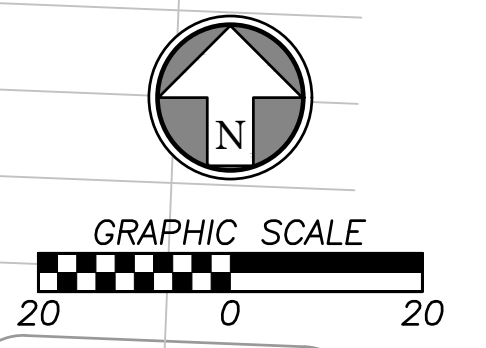
SEE CONSTRUCTION DETAILS - SHEETS C9.0-C9.3

- 001 CONCRETE CURB (CITY STANDARD)
- 002 P.C.C. PAVEMENT SECTION
- 003 ASPHALT PAVEMENT SECTION
- 004 (ADA) ACCESSIBLE PARKING STRIPING
- 005 (ADA) ACCESSIBLE PARKING SIGNAGE
- 006 CONCRETE SIDEWALK SECTION
- 007 SANITARY SEWER CLEANOUT
- 008 TYPE "A" SIDEWALK RAMP
- 009 STEEL/CONCRETE BOLLARD
- 010 TYPE "B" SIDEWALK RAMP
- 011 TYPE "C" SIDEWALK RAMP
- 012 VALLEY GUTTER
- 013 CONCRETE CURB WALL
- 019 VERSA-LOK WALL SECTION A
- 020 VERSA-LOK WALL SECTION B

SITE LEGEND



ENTERPRISES LAKEWOOD LLC
 3901 W 86RD STREET
 PRAIRIE VILLAGE, KS 66208
 ZONE: CP-2
 USE: COMMUNITY SHOPPING CENTER

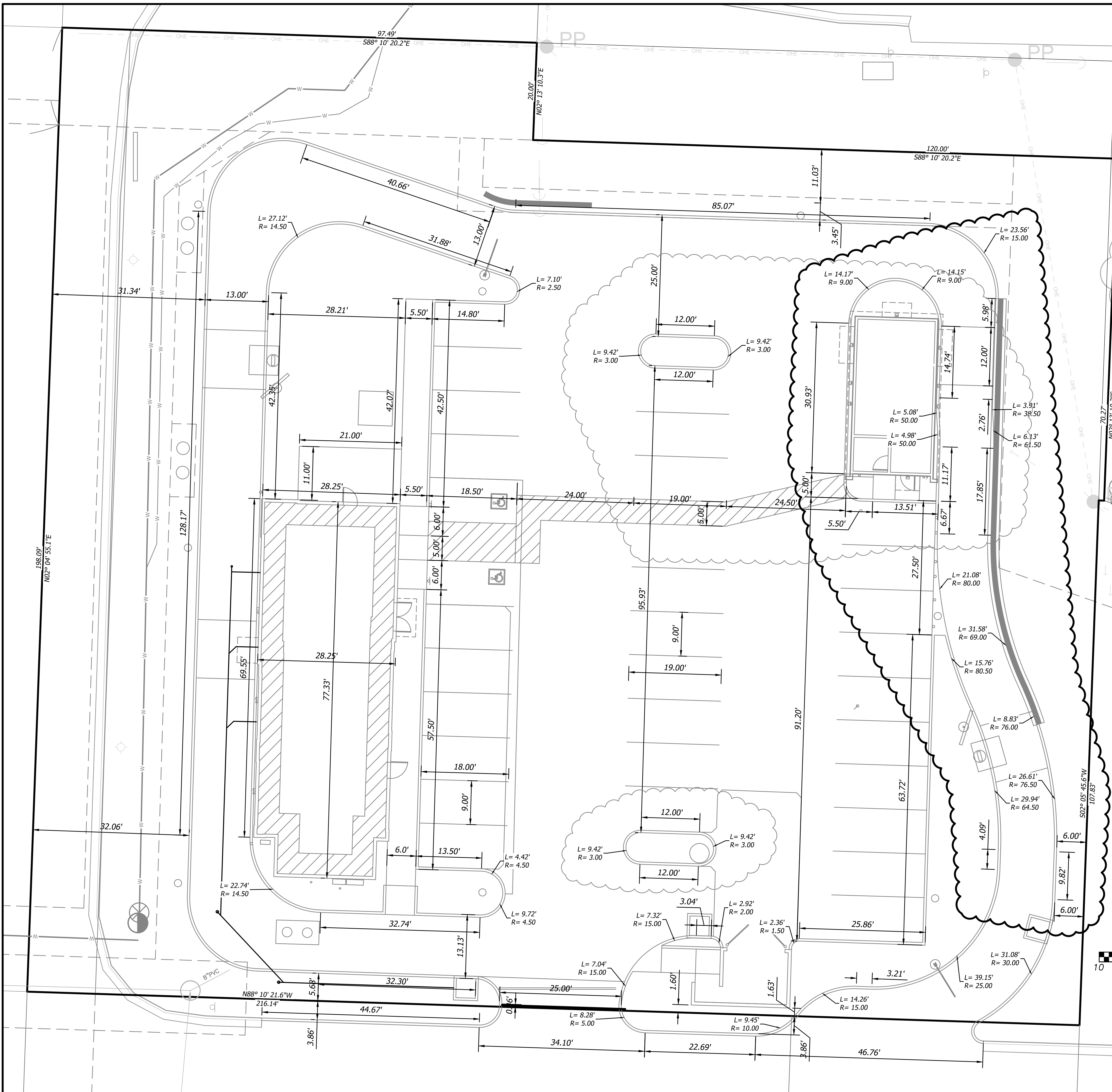


Design: MGG	Drawn: MGG
Checked: MSS	
Issue Date:	
Project Number: 026040.08	
C2.0	

Prepared For:	FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099
Professional Engineer:	MARK S. SHERRY NO. PE 2017010253 BHC RHODES Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P. (913) 663-1900 F. (913) 663-1633 BHC is a trademark of Fluigent Homestead & Company, P.A. Certificate of Authority Number: MO# E-1355-F

TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI	FINAL DEVELOPMENT PLAN SITE PLAN
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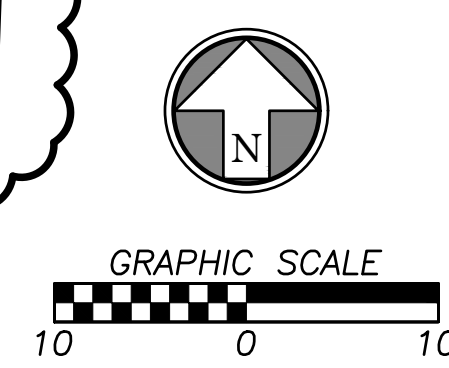
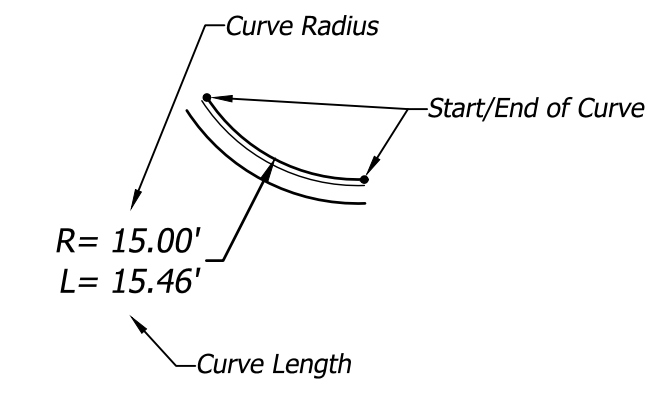
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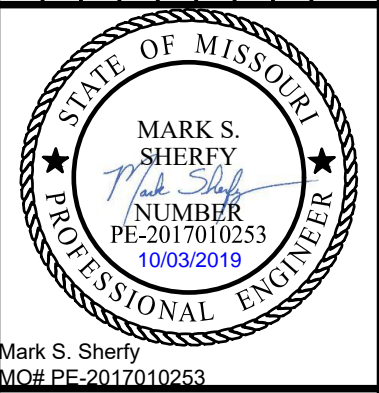
DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

DIMENSION LEGEND



Rev.	Date	Description	By	App.
5	10/2/19	Updated Coffee Shop Layout	MGG	MSS
3	9/6/19	Sheet Re-issued	MGG	MSS
2	8/21/19	FDP Comments/Site VE Items	MGG	MSS



BHC RHODES
 Civil Engineering • Surveying • Utilities
 7101 College Blvd., Suite 400
 Overland Park, Kansas 66210
 P: (913) 662-1900 F: (913) 662-1633
 BHC is a trademark of Fluigent Homestead & Company, P.A.
 Certificate of Authority Number: MO# E-1355-F

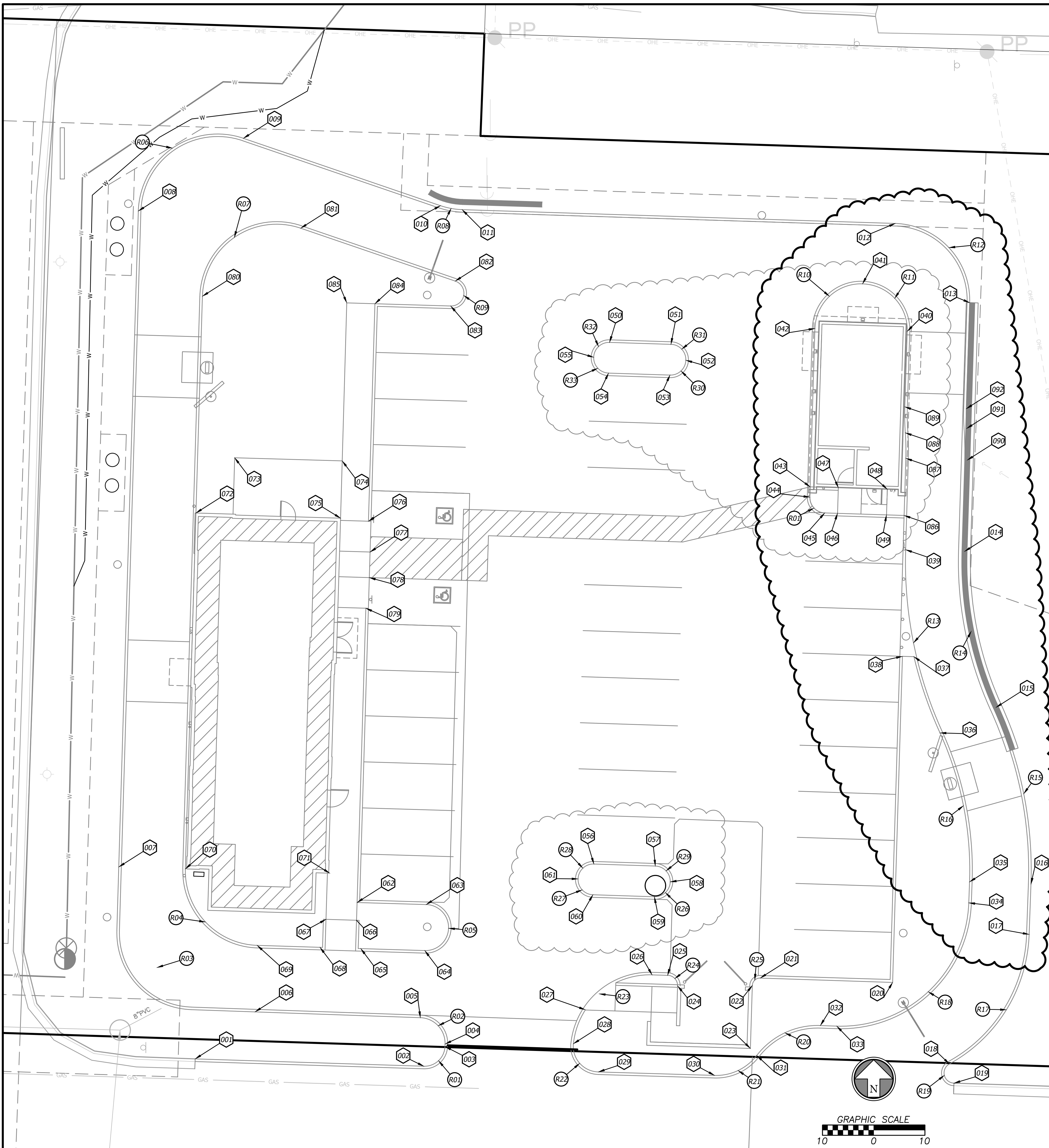
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

**TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 DIMENSION PLAN**

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

C3.0

Oct. 03, 2019 - 11:43pm Picked By: matt.igbbs V:\026040-First Street Development - Marfa\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sk\026040-08-SHTS-FDP-DWG.dwg Layout: Coord Plan



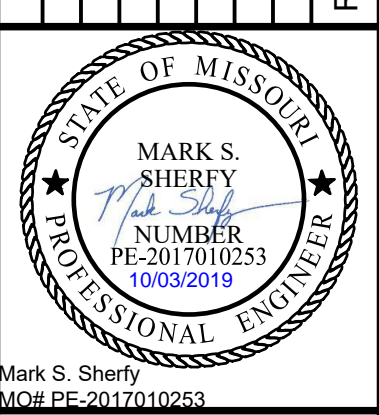
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003	2829298.6416	1025171.9585
004	2829298.6561	1025172.4147
005	2829293.8338	1025177.5708
006	2829261.5567	1025178.7020
007	2829234.9595	1025207.0065
008	2829238.7765	1025335.1224
009	2829259.2867	1025349.3263
010	2829297.7580	1025336.1654
011	2829301.9889	1025335.3922
012	2829386.5518	1025332.6974
013	2829401.0664	1025317.2265
014	2829400.0655	1025268.6300
015	2829406.2034	1025238.1647
016	2829413.0416	1025203.6470
017	2829412.6835	1025193.8377
018	2829397.1150	1025168.5353
019	2829398.0113	1025164.7823
020	2829386.0322	1025184.4565
021	2829360.1900	1025185.3096
022	2829358.6413	1025183.8599
023	2829358.2644	1025171.5650
024	2829344.0517	1025183.7847
025	2829342.1116	1025185.8428
026	2829339.0719	1025185.9325
027	2829326.0451	1025179.1213
028	2829323.7094	1025172.4835
029	2829328.5947	1025166.9694
030	2829351.2785	1025166.2940
031	2829359.5006	1025170.1913
032	2829371.9215	1025176.0345
033	2829375.1267	1025175.9205
034	2829400.9003	1025199.9960
035	2829401.0496	1025204.0848
036	2829395.2840	1025233.1880
037	2829390.1883	1025248.0778
038	2829387.9450	1025248.1432
039	2829388.5707	1025268.9753
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041	2829380.1568	1025320.8950

RADIUS POINTS			
R#	NORTHING	EASTING	RADIUS
R01	1025279.1549	2829372.8762	3.00
R01	1025172.0858	2829294.6436	4.00
R02	1025172.5739	2829293.6587	5.00
R03	1025206.1876	2829262.4473	27.50
R04	1025206.1876	2829262.4473	14.50
R05	1025195.1708	2829294.8439	4.50
R06	1025334.6608	2829254.2697	15.50
R07	1025318.0404	2829265.7798	14.50
R08	1025349.8848	2829302.4514	14.50
R09	1025319.0739	2829299.8323	2.50
R10	1025311.9001	2829379.8545	9.00
R11	1025311.8991	2829379.8857	9.00
R12	1025317.7050	2829386.0740	15.00
R13	1025266.5736	2829468.5347	80.00
R14	1025266.5736	2829468.5347	68.50
R15	1025206.4380	2829336.5926	76.50

042	2829370.8585	1025312.1681
043	2829369.9373	1025281.2492
044	2829369.8776	1025279.2442
045	2829372.7792	1025276.1565
046	2829375.2860	1025276.0886
047	2829375.4349	1025281.0865
048	2829384.9979	1025280.7686
049	2829384.8384	1025275.7711
050	2829330.7675	1025309.4611
051	2829342.7614	1025309.0784
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053	2829342.5700	1025303.0814
054	2829330.5761	1025303.4641
055	2829327.6733	1025306.5582
056	2829327.7157	1025207.5778
057	2829339.7095	1025207.1897
058	2829342.6109	1025204.0943
059	2829339.5154	1025201.1929
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061	2829324.6202	1025204.6764
062	2829281.4805	1025200.0676
063	2829294.9745	1025199.6656
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066	2829281.3722	1025196.5907
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068	2829274.2411	1025191.3134
069	2829261.9778	1025191.6952
070	2829247.9538	1025206.6194
071	2829276.1485	1025205.7888
072	2829250.0250	1025276.1398
073	2829257.5883	1025286.9267
074	2829278.5797	1025286.3227
075	2829278.2576	1025275.1318
076	2829283.6991	1025274.5346
077	2829284.0202	1025268.5223
078	2829283.8713	1025263.5245
079	2829283.1928	1025257.5421
080	2829251.2862	1025318.4722
081	2829270.4732	1025331.7598
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Rev.	Date	Description
1	10/2/19	Updated Coffee Shop Layout
2	9/6/19	Sheet Re-issued
3	8/21/19	FDP Comments/Site VE Items



BHC RHODES
 Civil Engineering • Surveying • Utilities
 7101 College Blvd., Suite 400
 Overland Park, Kansas 66210
 P: (913) 663-1900 F: (913) 663-1633
 BHC is a trademark of Fluigent Homestead & Company, P.A.
 Certificate of Authority Number: MO# E-1355-F

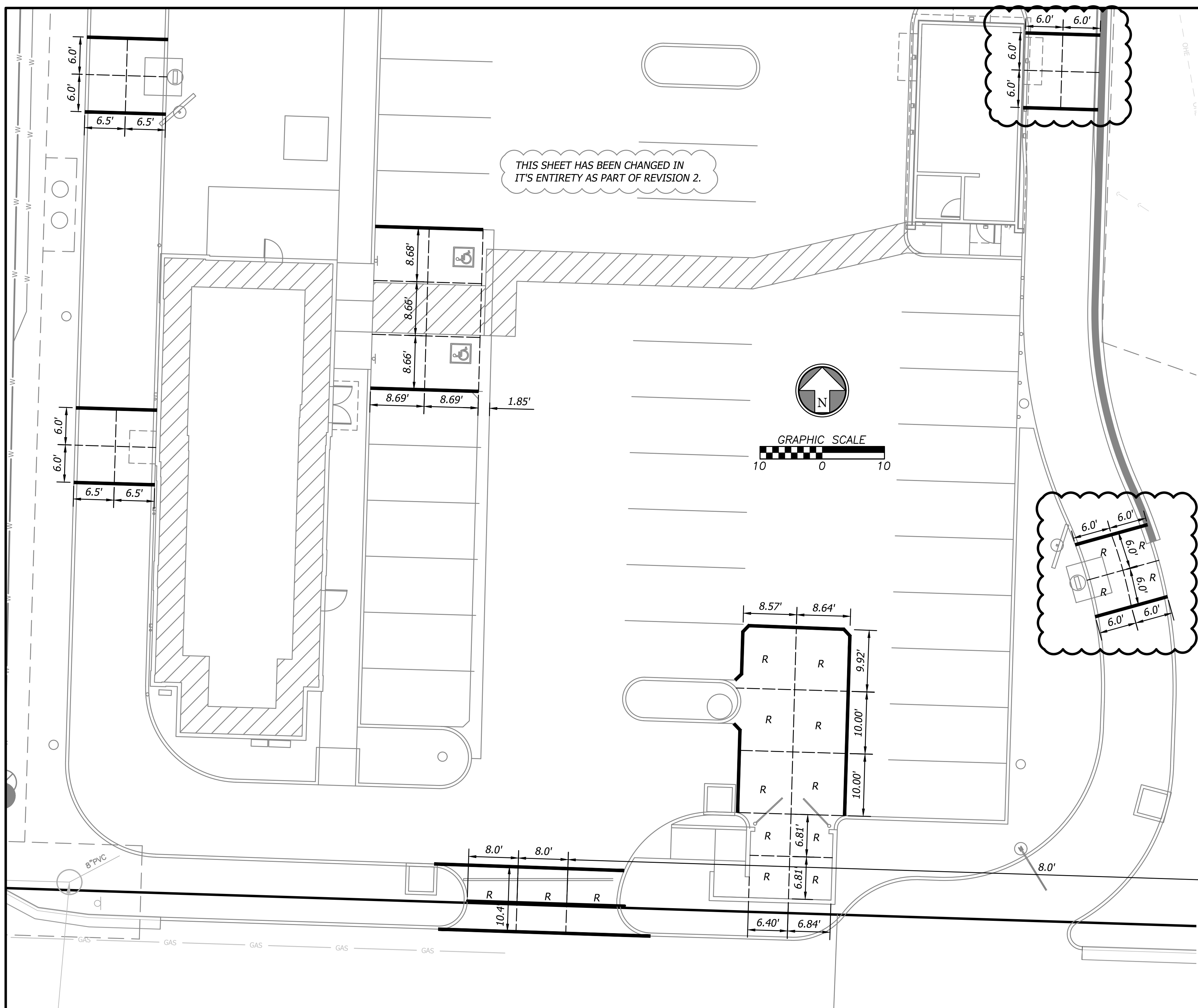
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
COORDINATE PLAN

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08

C3.1

Oct. 03, 2019 - 11:49pm Picked By: moff.igbbs V:\026040-First Street Development - Markin\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sk\026040-08-SHTS-FDP-DIM.dwg Layout: joints

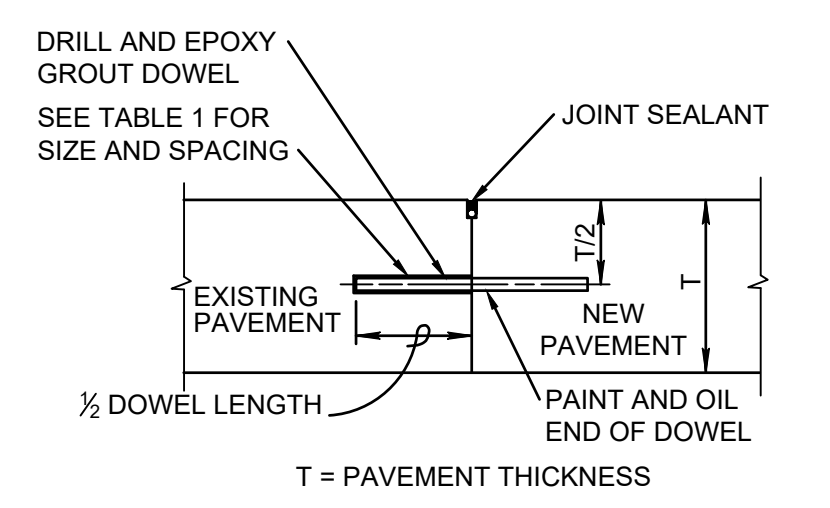


JOINTING AND DOWEL NOTES

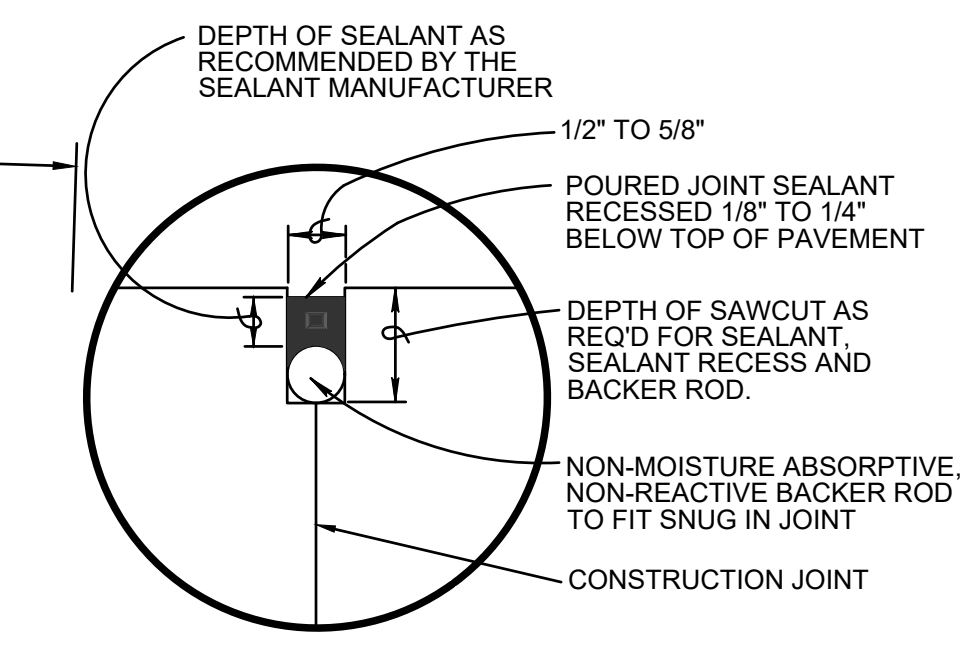
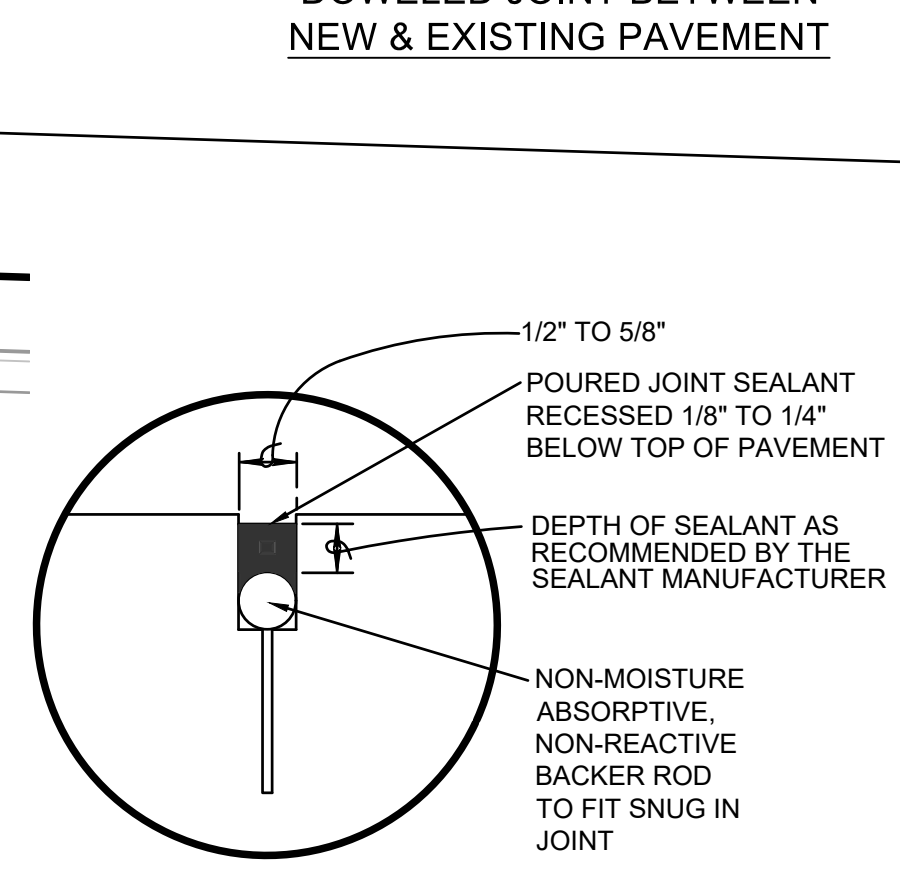
- CONSTRUCTION JOINTS SHOWN ARE RECOMMENDATIONS. CONTRACTOR TO DETERMINE IF ALTERATIONS ARE NEEDED PER CONSTRUCTION SCHEDULE AND METHODS.
- WIDTH TO LENGTH RATIO TO NOT EXCEED 1.25 TIMES
- SLABS MARKED "R" SHALL BE REINFORCED WITH STEEL WELDED WIRE FABRIC OF THE SIZES SHOWN IN TABLE 2. OTHER WWF SIZES MAY BE USED PROVIDED THE STEEL AREA (SQ INCHES/FOOT) IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IS EQUAL TO OR EXCEEDS THAT SHOWN IN TABLE 2.
- EPOXY COATED DOWEL BARS SHALL BE DRILLED 9" DEEP (9" IN EXISTING PAVEMENT AND 9" INTO PROPOSED PAVEMENT), 12" ON CENTER OF THE VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG, CLEAN HOLES THROUGH OUT
- DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE
- DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION
- ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT
- FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER
- INSTALL CLOSED CELL BACKER RODS AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS
- AREA'S WHERE SIDEWALK ABUTS CURB, EITHER ISOLATION JOINTS WITH FELT EXPANSION MATERIAL SHALL BE USED OR SAWCUTS IN CURB SHALL BE IN LINE WITH CURB CUTS OF SIDEWALK
- INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH
- JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

LEGEND

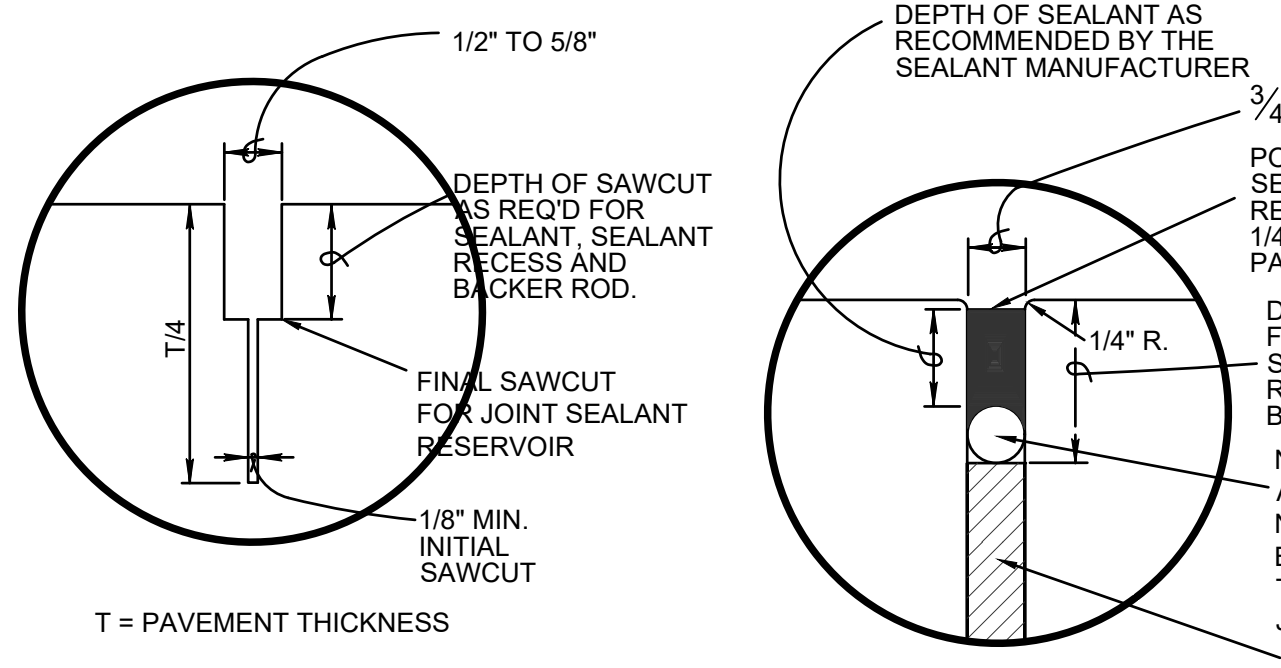
- PROPERTY LINE
- SS — EXISTING SANITARY SEWER MAIN
- — EXISTING STORM SEWER MAIN
- GAS — EXISTING GAS MAIN
- W — EXISTING WATER MAIN
- UGE — EXISTING UNDERGROUND ELECTRIC
- — CONCRETE CURB AND GUTTER
- — ISOLATION JOINT
- — CONTRACTION JOINT
- — THICKENED EDGE



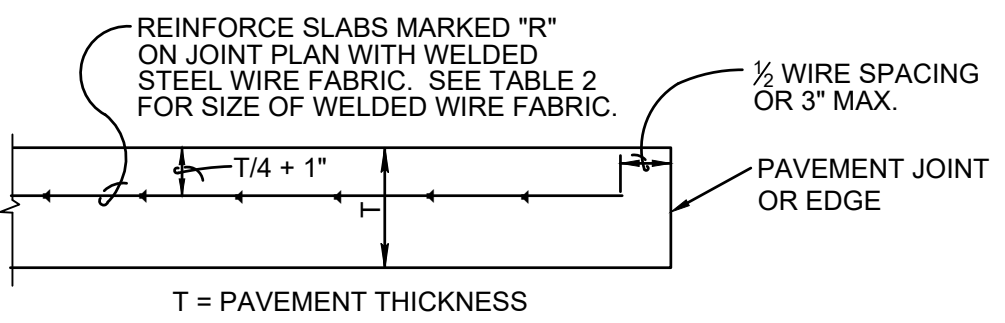
DOWELED JOINT BETWEEN NEW & EXISTING PAVEMENT



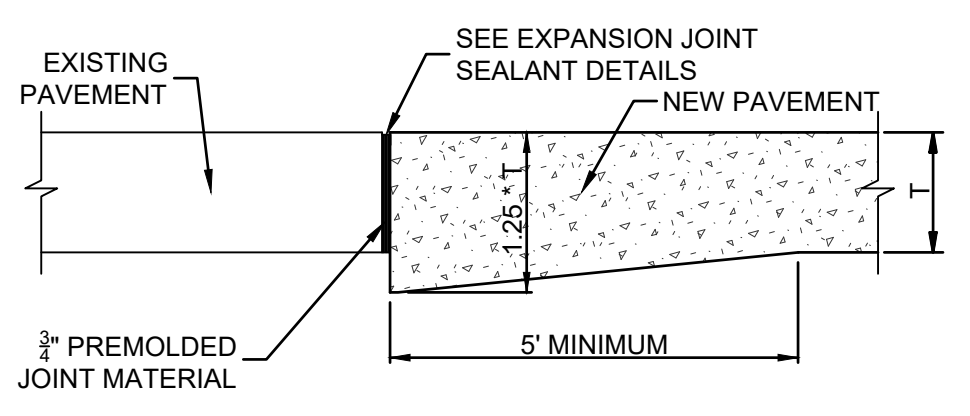
COMPLETED CONSTRUCTION JOINT SEALANT DETAIL



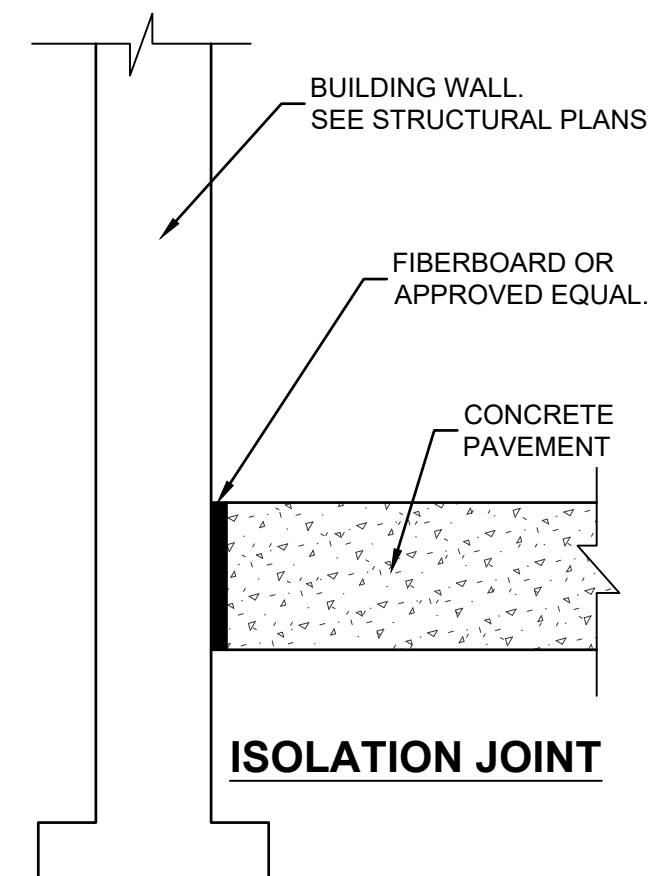
COMPLETED EXPANSION JOINT SEALANT DETAIL



SLAB REINFORCING DETAIL



THICKENED EDGE EXPANSION JOINT



ISOLATION JOINT

TABLE 1

PAVEMENT THICKNESS	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8"	12"	16"	3/4"
8" TO 11"	12"	16"	1"
12" TO 15"	15"	20"	1-1/4"

TABLE 2

PAVEMENT THICKNESS	MINIMUM REQUIRED AREA OF STEEL (SQ. IN. / FT)	WELDED WIRE FABRIC
6"	0.036	4 x 4 - W1.4 x W1.4 6 x 6 - W2.0 x W2.0
8"	0.048	4 x 4 - W2.0 x W2.0 6 x 6 - W2.9 x W2.9

TABLE 3

PAVEMENT THICKNESS	MAXIMUM TIE BAR SPACING	MINIMUM TIE BAR LENGTH	MINIMUM TIE BAR SIZE
LESS THAN 8"	12"	16"	NO. 6
8" TO 11"	12"	16"	NO. 8

Design: MGG Drawn: MGG

Checked: MSS

Issue Date:

Project Number: 026040.08

C3.2

By: App.

Date:

Rev. 2

Rev. 3

Rev. 5

10/2/19

9/6/19

8/2/19

FDP Comments/Rev. Items

Sheet Re-issued

Updated Coffee Shop Layout

MGG

MSS

Prepared For:

TACO BELL

851 NE WOODS CHAPEL RD

LEE'S SUMMIT, MISSOURI

FINAL DEVELOPMENT PLAN

JOINT LAYOUT PLAN

Mark S. Sherry

Professional Engineer

NO. PE-2017010253

10032019

BHC RHODES

Civil Engineering • Surveying • Utilities

7101 College Blvd., Suite 400

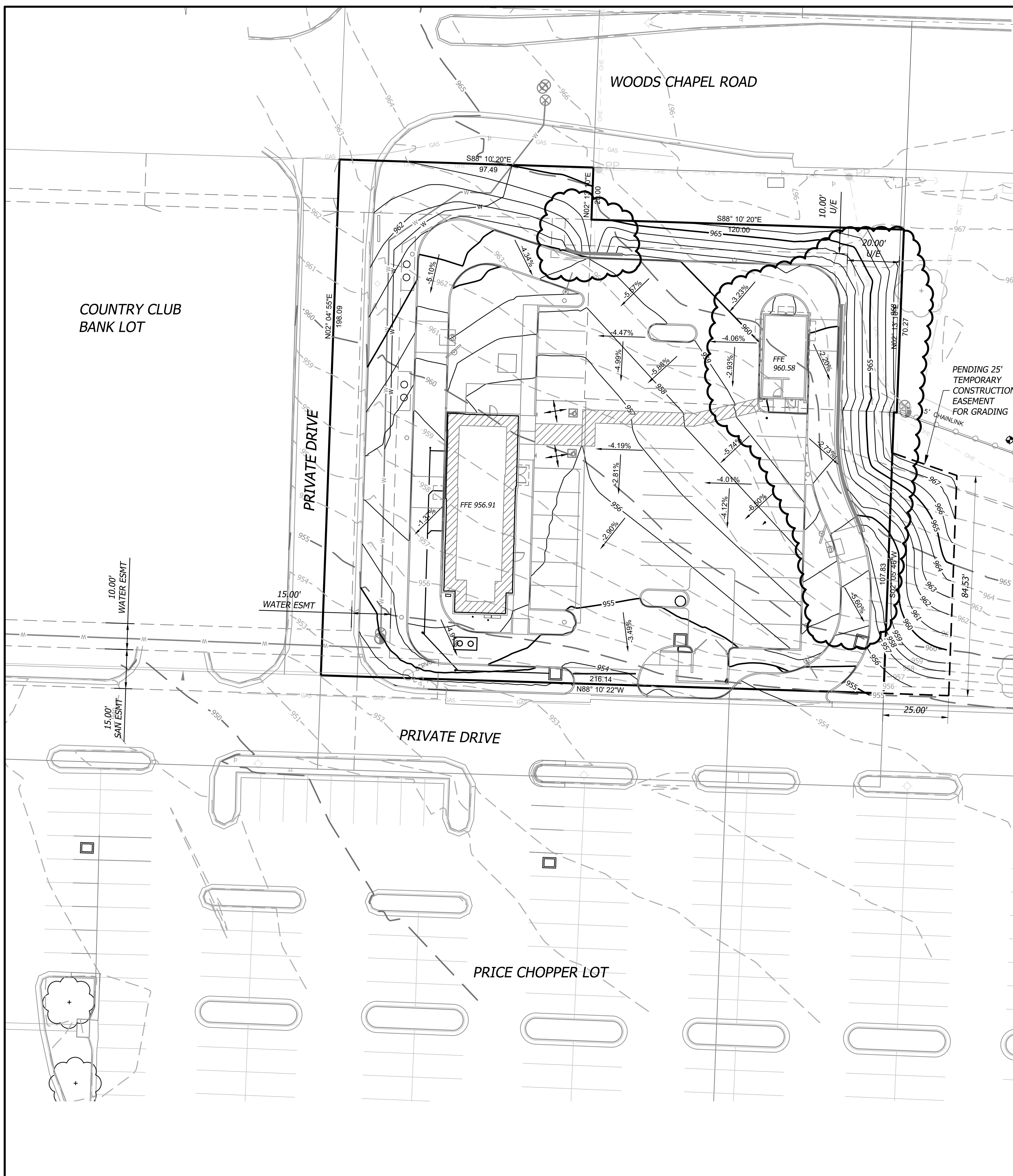
Overland Park, Kansas 66210

P. (913) 662-1900 F. (913) 662-1633

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Certificate of Authority Number: MO# E-1355-F

Oct 03, 2019 - 14:45pm Picked By: matt.igbbs V:\026040-08-First Street Development - Market\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sk\026040-08-SHTS-FDP-08A0.dwg Layout: Grad Plan



GRADING NOTES

1. GRADING MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH CITY OF LEE'S SUMMIT SPECIFICATIONS, LATEST EDITIONS AND THE GEOTECHNICAL REPORT. IN CASE OF CONFLICT, NOTIFY ENGINEER FOR DIRECTION
2. EXISTING GRADES ARE FROM AN ALTA/TOPOGRAPHIC SURVEY PROVIDED BY MCLAUGHLIN MUELLER, INC. DATED APRIL 2019. BHC RHODES MAKES NO GUARANTEES AS TO THE ACCURACY OF THE DATA PRESENTED. THE CONTRACTOR SHALL FIELD VERIFY ALL GRADES TYING INTO ROAD GRADES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
3. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
4. CONTRACTOR SHALL OBTAIN SOILS SUITABLE AS STRUCTURAL FILL FROM OFF-SITE SOURCES, AS NEEDED. ALL BORROW MATERIALS MUST BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO IMPORTING THE SOILS TO THE PROJECT SITE.
5. FILL MATERIALS REQUIRED FOR THIS PROJECT AND PLACEMENT OF THOSE MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. FILL MATERIALS SHALL NOT BE PLACED ON FROZEN SOIL, ORGANIC MATERIALS, OR SOFT SUBGRADE.
6. SUBGRADE IN EXCAVATED AREAS UNDER PROPOSED PAVEMENT SHALL BE SCARIFIED AND PROPERLY COMPACTED AND MOISTURE CONDITIONED. IMMEDIATELY PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
7. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF FILL MATERIALS. TOPSOIL SHALL BE STOCKPILED FOR RE-DISTRIBUTION DURING LANDSCAPING OPERATIONS. FAILURE TO PROPERLY STOCKPILE TOPSOIL WILL RESULT IN THE CONTRACTOR HAULING IN TOPSOIL AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL OBTAIN THE ACCEPTANCE OF THE ON-SITE GEOTECHNICAL REPRESENTATIVE FOR THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
9. ALL EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
10. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GROUND ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, ROCK SUBGRADE, BUILDING PADS, TOPSOIL, ETC WHEN GRADING THE SITE.
11. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL.
12. PRIOR TO PLACING ANY CONCRETE OR ASPHALT PAVEMENT THE CONTRACTOR SHALL PERFORM A PROOF ROLL OF THE PAVEMENT SUB-GRADE WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK. THE PROOF ROLL SHALL BE CONDUCTED IN THE PRESENCE OF THE ENGINEER AND/OR THE ON-SITE GEOTECHNICAL REPRESENTATIVE. AREAS THAT DISPLAY RUTTING OR PUMPING ARE CONSIDERED UNSATISFACTORY TO THE ENGINEER AND SHALL BE RE-WORKED AND A FOLLOW-UP PROOF ROLL SHALL BE CONDUCTED PRIOR TO ACCEPTANCE OF THE SUB-GRADE FOR PAVING.
13. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
14. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. CONTRACTOR SHALL BACKFILL ALL PROPOSED PAVEMENT.
15. ALL AREAS ALONG ACCESSIBLE ROUTE SHOWN ON THIS PAGE SHALL COMPLY WITH CURRENT ADA STANDARDS.
16. PAVEMENT ELEVATIONS TO BE 6" (.5') BELOW TOP OF CURB ELEVATION (TC) UNLESS OTHERWISE NOTED
17. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING ALL PROPOSED GRADES ENSURE POSITIVE DRAINAGE BOTH WITH PROPOSED IMPROVEMENTS AND SURROUNDING EXISTING CONDITIONS. NOTIFY THE ENGINEER IN CASE OF CONFLICT.
18. CONTRACTOR SHALL NOT PLACE, SPREAD, OR COMPACT ANY FILL DURING UNFAVORABLE WEATHER CONDITIONS. THE CONTRACTOR SHALL REMOVE AND REPLACE OR OTHERWISE CORRECT ALL WORK WHICH IS DAMAGED AS A RESULT OF WEATHER OR WATER RELATED FACTORS OR DOES NOT MEET THE SPECIFICATIONS AT NO EXPENSE TO THE OWNER.
19. THE CONTRACTOR SHALL PROVIDE SUITABLE BERMS AND CHANNELS TO CONTROL OR DIRECT WATER TO SEDIMENT CONTROL DEVICES AND AS MAY BE NECESSARY TO PREVENT EROSION, FLOODING, OR OTHER DAMAGE TO THE SITE, ADJACENT PROPERTY, AND THE WORK.
20. WHEN THE MOISTURE CONTENT OF SOIL PROPOSED FOR USE AS COMPACTED FILL MATERIAL IS MORE THAN THE LIMIT SPECIFIED, IT SHALL NOT BE USED UNLESS AND UNTIL THE MOISTURE CONTENT HAS BEEN REDUCED TO THE ACCEPTABLE AMOUNT. WHEN THE MOISTURE CONTENT IS BELOW THE LIMIT SPECIFIED, APPROPRIATE AMOUNTS OF WATER SHALL BE ADDED AND BLENDED UNIFORMLY THROUGHOUT THE MATERIAL. SOILS HAVING MOISTURE CONTENTS ABOVE OR BELOW THE SPECIFIED LIMITS SHALL NOT BE INCORPORATED INTO THE WORK.
21. THE CONTRACTOR SHALL CLEAN AND REPAIR SILT FENCES, INLET FILTERS AND ALL OTHER BMPs INSTALLED DURING CONSTRUCTION AND LEAVE ENTIRE JOB SITE CLEAN AND SMOOTH WITH NO AREAS THAT WILL POND WATER.

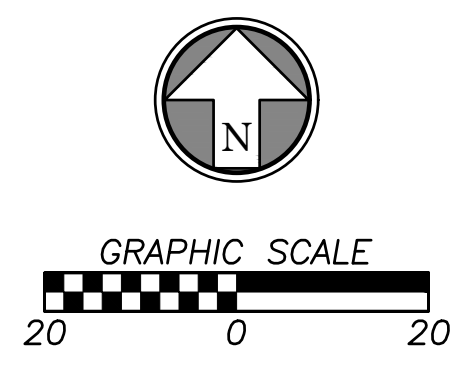
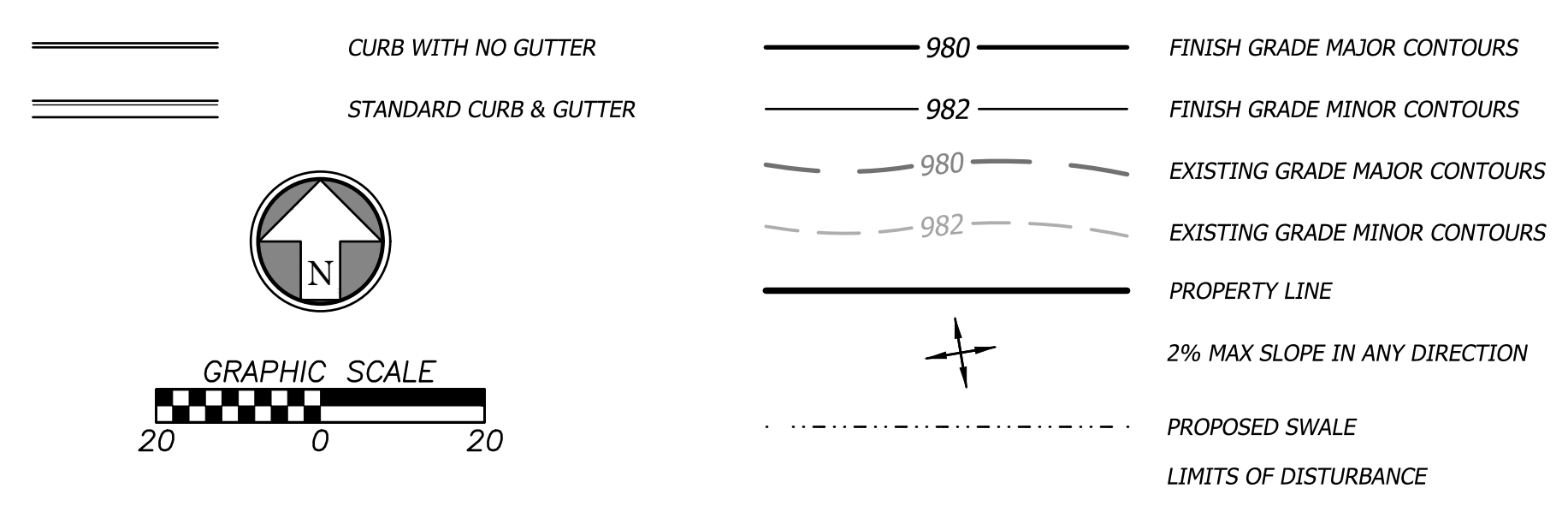
BENCHMARKS

(DATUM: NAVD88)

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 N: 1025262.99
 E: 2829564.44
 ELEVATION= 969.81
 DATUM: NAVD88

THIS SHEET HAS BEEN CHANGED IN ITS ENTIRETY AS PART OF REVISION 2.

GRADING LEGEND



Design: MGG	Drawn: MGG
Checked: MSS	
Issue Date:	
Project Number: 026040.08	

Rev	Date	Description	By	App.
5	10/2/19	Updated Coffee Shop Layout	MGG	MSS
3	9/6/19	Removed Wall Sheets Reference	MGG	MSS
2	8/21/19	FDP Comments/Sheet VE Items	MGG	MSS

STATE OF MISSOURI
 MARK S. SHERIFF
 PROFESSIONAL ENGINEER
 NUMBER PE-2017010253
 EXPIRES 10/03/2019

Mark S. Sheriff
 MO# PE-2017010253

BHC RHODES
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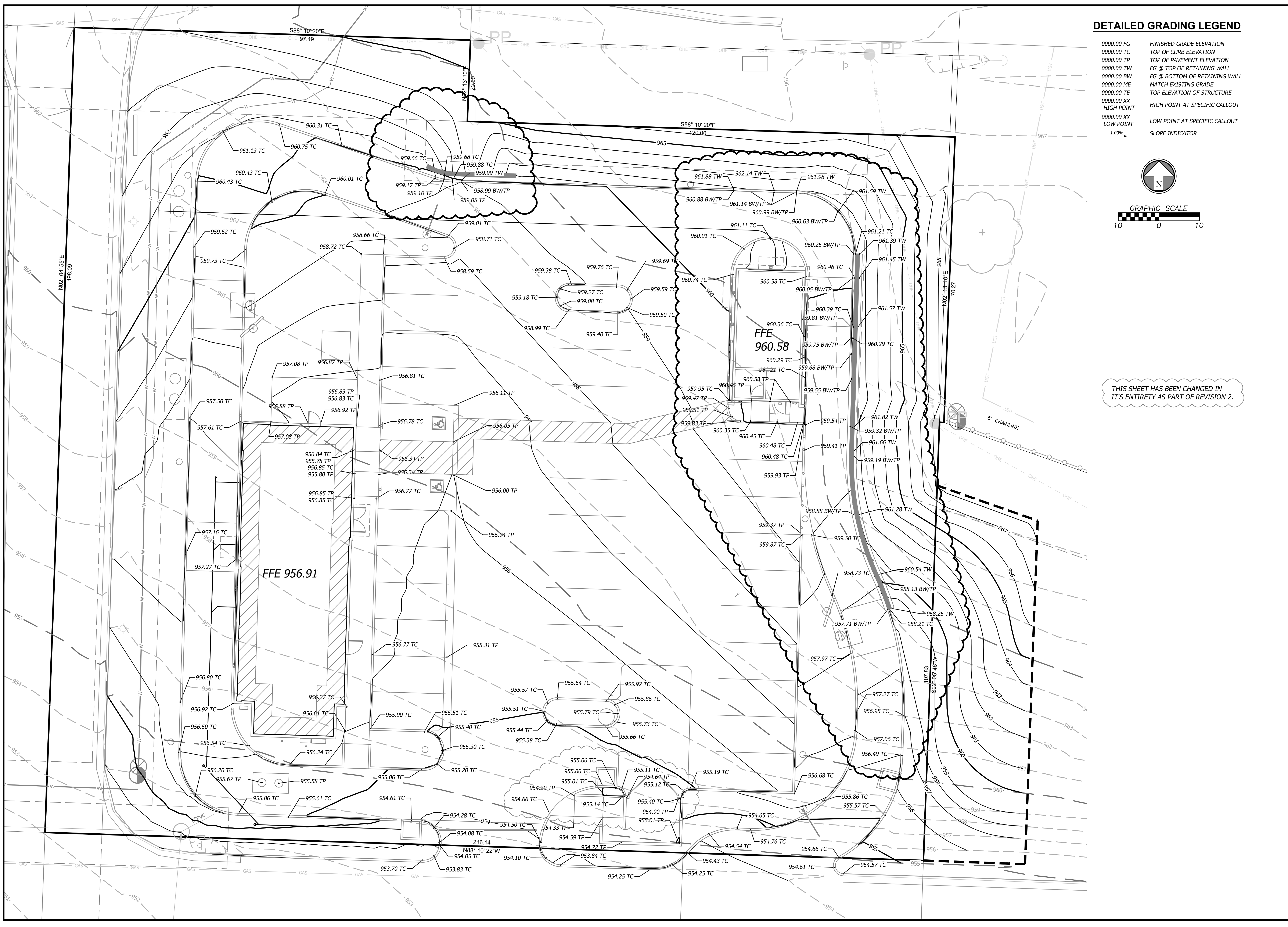
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
GRADING PLAN

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

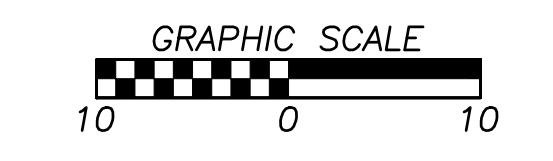
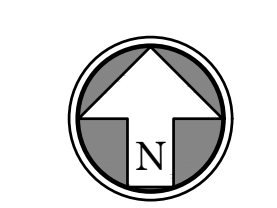
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Oct 03, 2019 - 11:45am Plotted By: matt.igbbs V:\026040-First Street Development - Markin\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sk\026040-08-SHTS-FDP-08A0.dwg Layout: Grad Dwg



DETAILED GRADING LEGEND

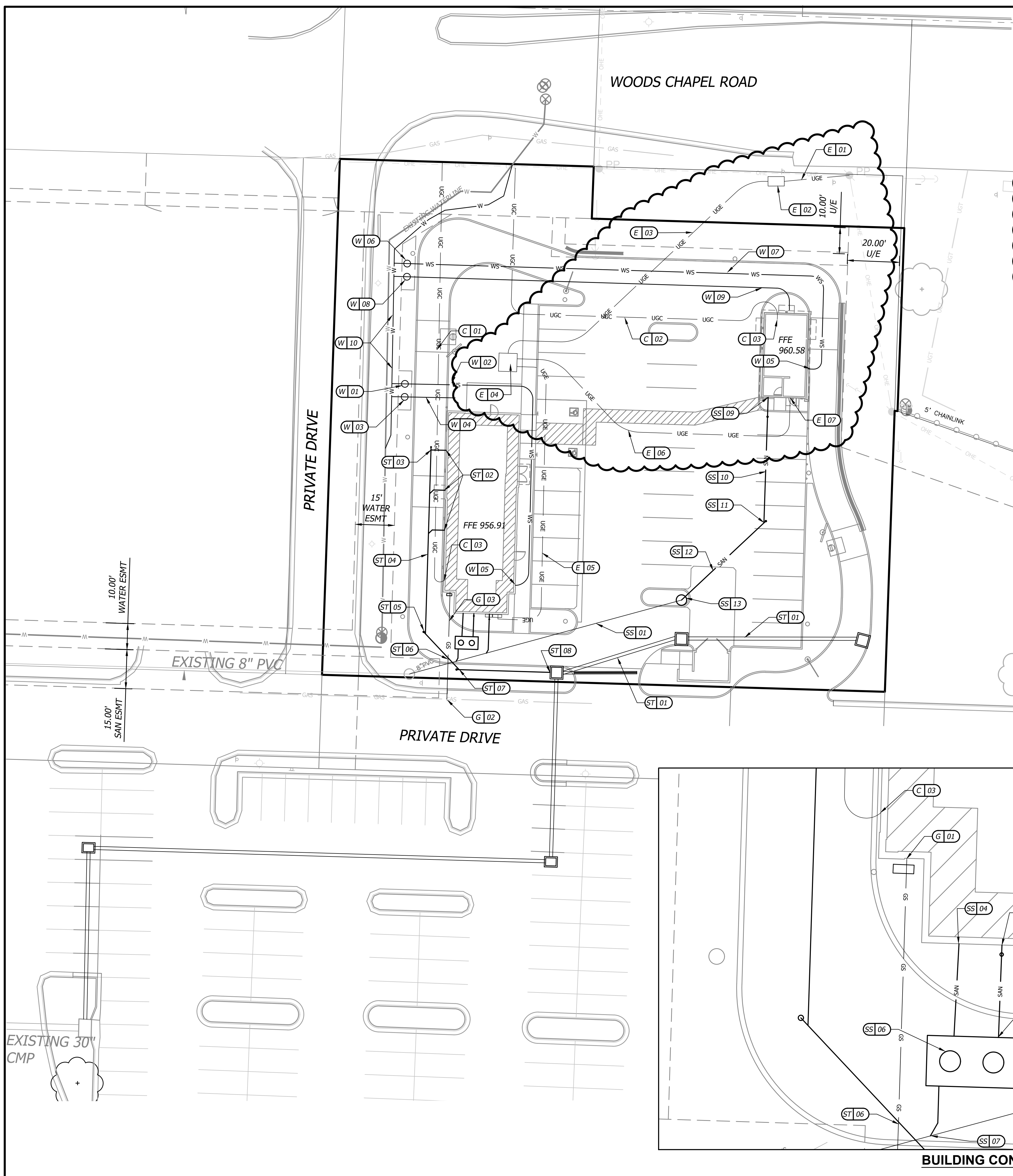
- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT AT SPECIFIC CALLOUT
- 0000.00 XX LOW POINT AT SPECIFIC CALLOUT
- 1.00% SLOPE INDICATOR



THIS SHEET HAS BEEN CHANGED IN ITS ENTIRETY AS PART OF REVISION 2.

<p style="text-align: center;">BHC RHODES Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 BHC is a trademark of Fluigent Homestead & Company, P.A. Certificate of Authority Number: MO# E-1355-F</p>							
<p>Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>							
<p>TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN DETAILED GRADING PLAN</p>							
Design: MGG		Drawn: MGG		Checked: MSS		Issue Date:	
Project Number: 026040.08							
C4.1							

Oct 03, 2019 - 11:45pm Picked By: matt.ghbs V:\026040-First Street Development - Markin\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sn\026040-08-SHFS-FDP-Utl.dwg Layout: Utl_Plan



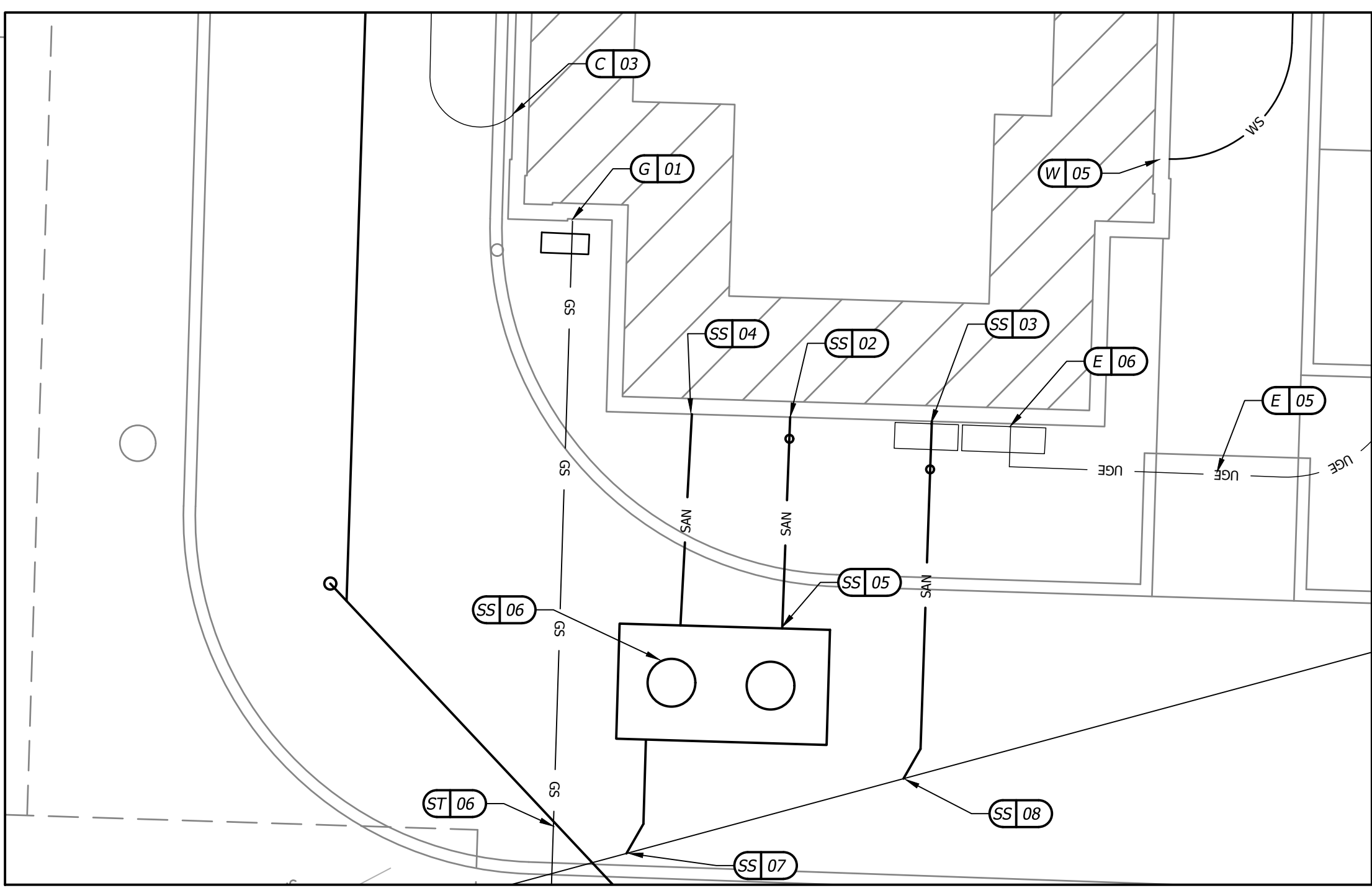
CONSTRUCTION NOTES

- W - WATER SERVICE INFORMATION - LEES SUMMIT WATER**
- 01 INSTALL 1" DOMESTIC WATER METER FOR TACO BELL SERVICE
 - 02 INSTALL 133 LF OF 1 1/2" TYPE K COPPER TO TACO BELL BUILDING
 - 03 INSTALL 1" IRRIGATION METER FOR TACO BELL IRRIGATION SERVICE.
 - 04 INSTALL 25 LF OF 1" PVC IRRIGATION LINE FOR TACO BELL.
 - 05 CONNECT TO BUILDING SERVICE LINES. REFER TO PLUMBING PLANS
 - 06 INSTALL 1" DOMESTIC WATER METER FOR COFFEE SHOP SERVICE
 - 07 INSTALL 202 LF OF 1" TYPE K COPPER TO COFFEE SHOP BUILDING
 - 08 INSTALL 1" IRRIGATION METER FOR COFFEE SHOP IRRIGATION SERVICE.
 - 09 INSTALL 158 LF OF 1" PVC IRRIGATION LINE FOR COFFEE SHOP
 - 10 SEE PUBLIC IMPROVEMENT PLANS FOR WATER MAIN IMPROVEMENTS
- E - ELECTRIC SERVICE INFORMATION - KANSAS CITY POWER & LIGHT (KCP&L)**
- 01 INSTALL 25 L.F. OF 4" CONDUIT FROM POLE TO SECTIONALIZER PAD.
 - 02 CONSTRUCT SECTIONALIZER PAD. COORDINATE WITH KCP&L FOR EXACT LOCATION.
 - 03 INSTALL 126 L.F. OF 4" CONDUIT FOR PRIMARY UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD.
 - 04 INSTALL 3 PHASE PAD TRANSFORMER WITH BOLLARDS.
 - 05 INSTALL 125 L.F. 3" CONDUIT AND CONDUCTOR FOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED TACO BELL.
 - 06 INSTALL 128 L.F. 3" CONDUIT AND CONDUCTOR FOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED COFFEE SHOP.
 - 07 CONNECT TO PROPOSED BUILDING SERVICE. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.
- C - COMMUNICATION SERVICE INFORMATION**
- 01 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED TACO BELL. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 - 02 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED COFFEE SHOP. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 - 03 CONNECT COMMUNICATIONS CONDUITS TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.
- G - GAS SERVICE INFORMATION - SPIRE ENERGY**
- 01 CONNECT 2" PVC CONDUIT TO BUILDING FOR GAS SERVICE TO TACO BELL
 - 02 SPIRE ENERGY TO INSTALL CONDUIT AND MAKE TAP
 - 03 PROPOSED GAS METER LOCATION
- ST - STORM SEWER INFORMATION**
- 01 PRIVATE STORM SEWER LINE. SEE SHEET C7.0
 - 02 CONNECT TO 4" ROOF DRAIN. FLOW LINE AT BUILDING 952.91
 - 03 INSTALL 4"X 6" WYE WITH CLEANOUT. FL 952.78
 - 04 INSTALL TOTAL OF 71 LF OF 6" HDPE AT 1% FOR ROOF DRAIN CONNECTION.
 - 05 INSTALL 45 DEGREE BEND WITH CLEANOUT, FL 952.07
 - 06 UTILITY CROSSING. TOP OF SANITARY 949.98, BOT OF STORM 951.68, TOP OF STORM 952.53, BOT OF GAS 953.43
 - 07 INSTALL 19 LF OF 6" HDPE AT 1% WITH 45 DEGREE BEND WITH CLEANOUT, FL 951.88
 - 08 INSTALL 35 LF OF 6" HDPE AND CONNECT TO STORM INLET 103. FL IN 951.63
- SS - SANITARY SEWER INFORMATION**
- 01 PRIVATE 8" SEWER EXTENSION. SEE SHEET C5.1
 - 02 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR GREASE SERVICE. FL @ BUILDING = 952.91
 - 03 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR SANITARY SEWER SERVICE. FL @ BUILDING = 952.91
 - 04 INSTALL 8.9 LF 2" VENT PIPE
 - 05 INSTALL 8.9 LF 6" SDR-26 PVC FROM BUILDING TO GREASE INTERCEPTOR @ 10.0% SLOPE. FL = 952.01
 - 06 1000 GALLON GREASE INTERCEPTOR. FL IN 952.01 FL OUT 951.75
 - 07 INSTALL 5.0 LF 6" SDR-26 PVC FROM GREASE INTERCEPTOR @ 53.6% SLOPE. FL 949.07
 - 08 INSTALL 15.3 LF OF 6" SDR-26 PVC FOR NON-GREASE WASTE @ 15.6% SLOPE. FL 949.37
 - 09 NON-GREASE WASTE CONNECTION TO COFFEE SHOP BUILDING. FL 956.58.
 - 10 INSTALL 48.3 LF OF 6" SDR-26 PVC @ 6.31% SLOPE.
 - 11 INSTALL 45° BEND WITH CLEANOUT. FL 953.83
 - 12 INSTALL 43.4 LF OF 6" SDR-26 PVC @ 3.98% SLOPE
 - 13 CONNECT TO PROPOSED PRIVATE SANITARY MANHOLE. FL 951.81

10.00' U/E

20.00' U/E

THIS SHEET HAS BEEN CHANGED IN ITS ENTIRETY AS PART OF REVISION 2.



BUILDING CONNECTION DETAIL

UTILITY NOTES

1. Contractor shall refer to all specifications, guidelines, and installation drawings from Lees Summit, Spire Energy, and KCP&L for the installation of all service lines.
2. Contractor to ensure 12" minimum vertical separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.
3. All utilities shall be installed in separate trenches unless otherwise specified

Design: MGG	Drawn: MGG
Checked: MSS	
Issue Date:	
Project Number: 026040.08	

Rev.	Date	Description
1	10/2/19	Updated Coffee Shop Layout Sheet Re-issued
2	9/6/19	FDP Comments/Site VE Items
3	8/21/19	

STATE OF MISSOURI
 MARK S. SHERFY
 PROFESSIONAL ENGINEER
 NUMBER PE-2017010253
 10/03/2010

Mark S. Sherfy
 MO# PE-2017010253

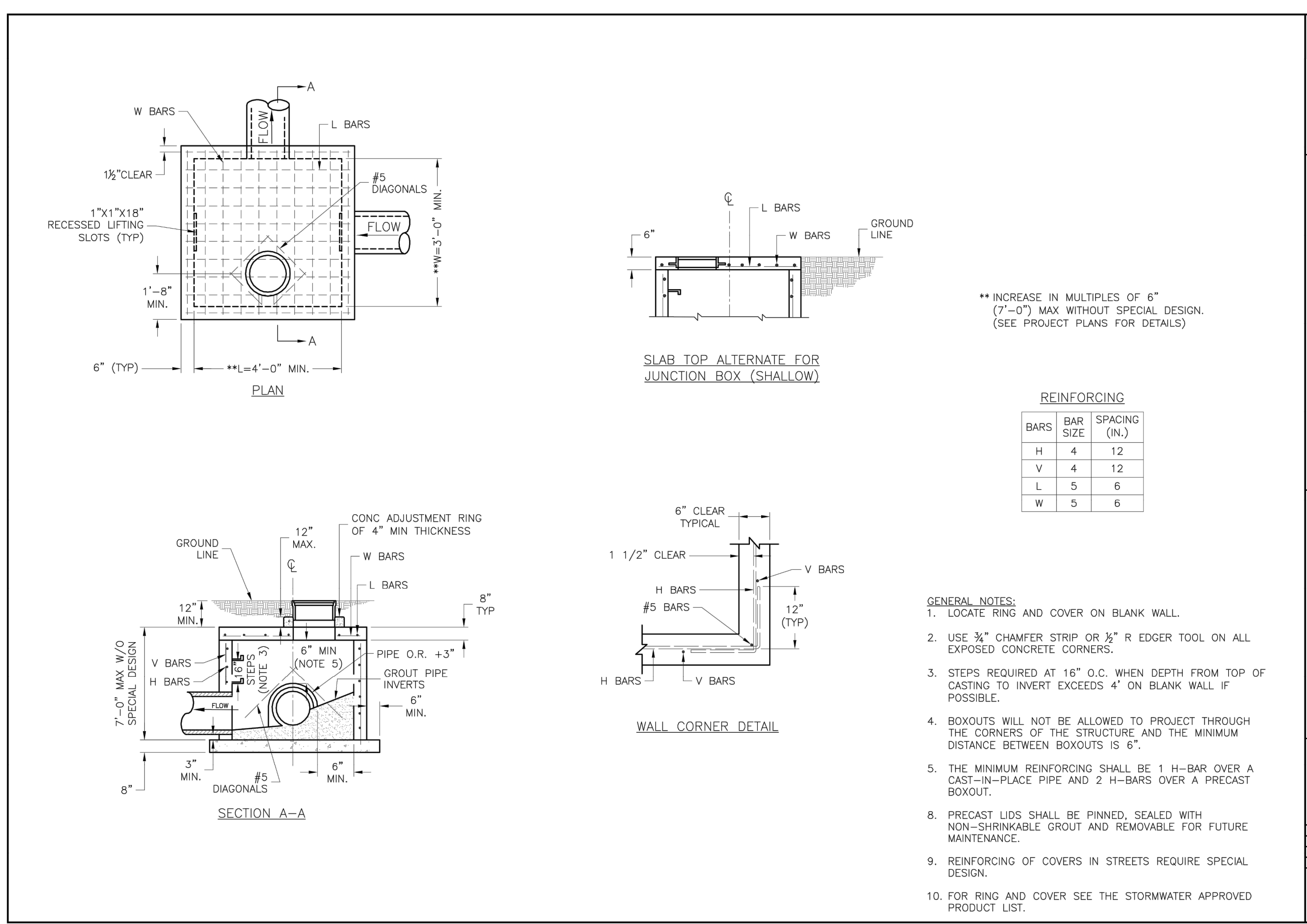
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**TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 UTILITY PLAN**

C5.0

Oct. 03, 2019 - 11:46am Picked By: matt.igbbs V:\026040-First Street Development - Marlin\026040-08-Woods Chapel\04-DWG\Eng Sheet\FDP_S&I\026040-08-SHTS-FDP-DT.S.dwg Layout: Details4

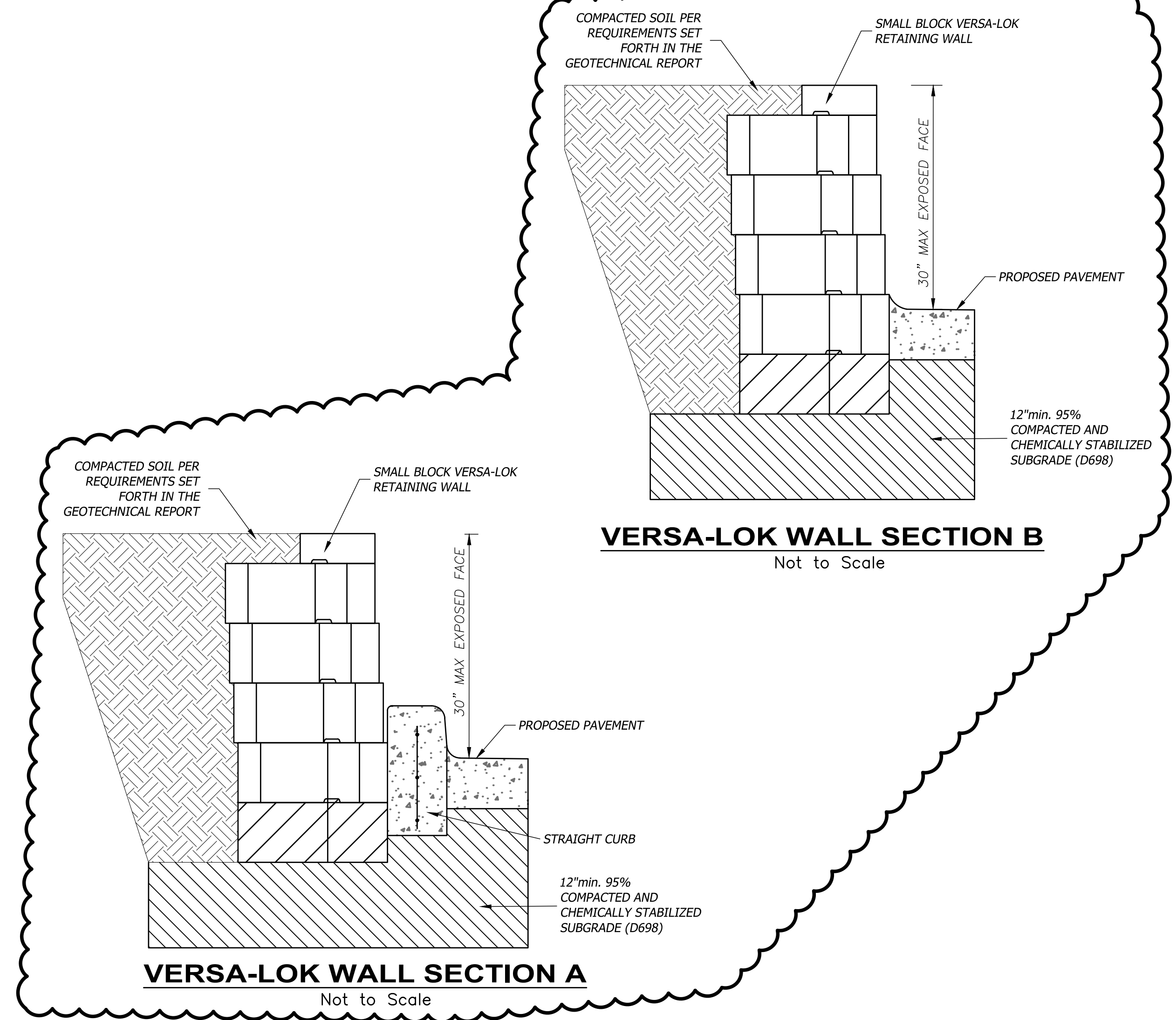
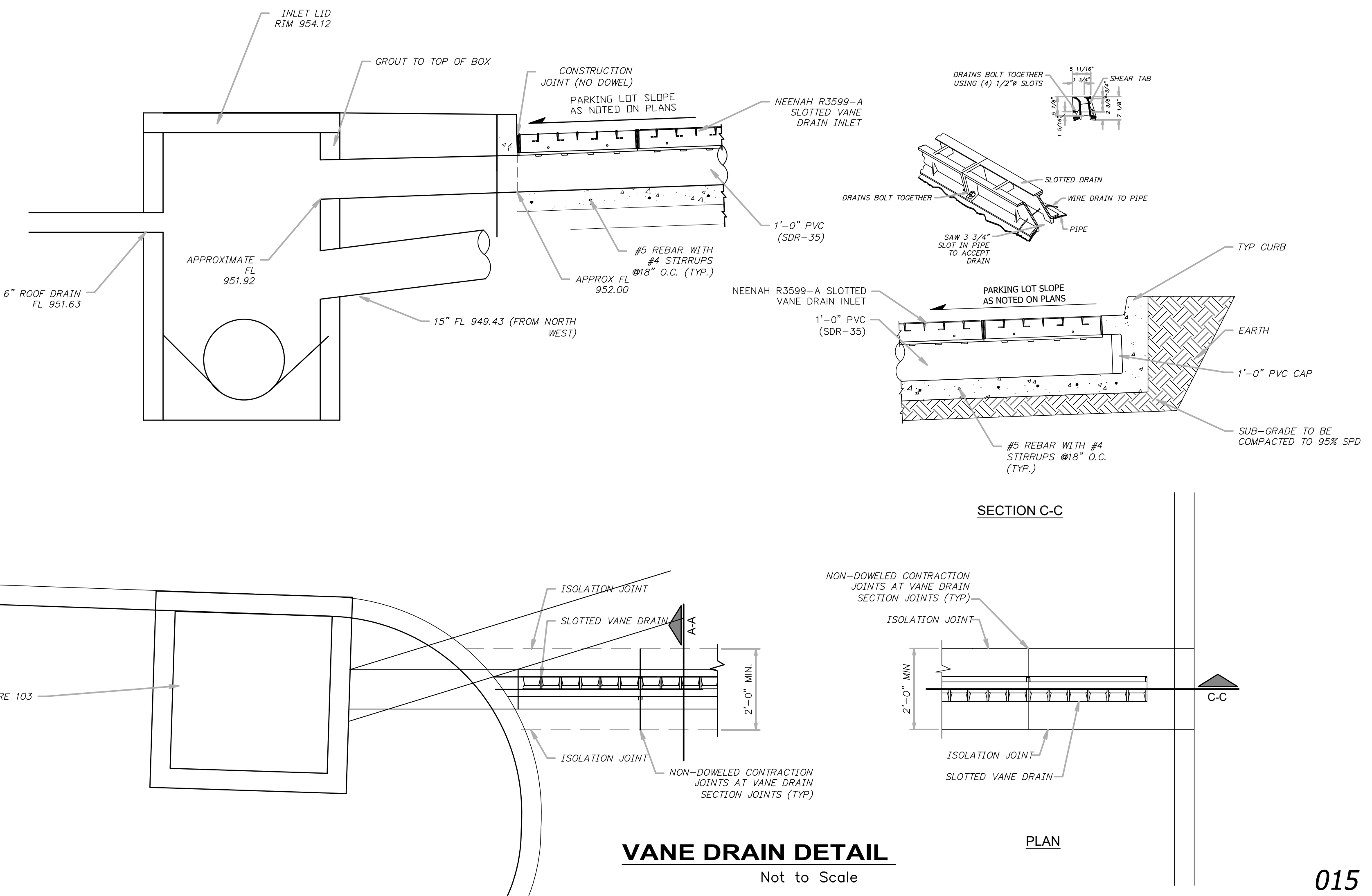
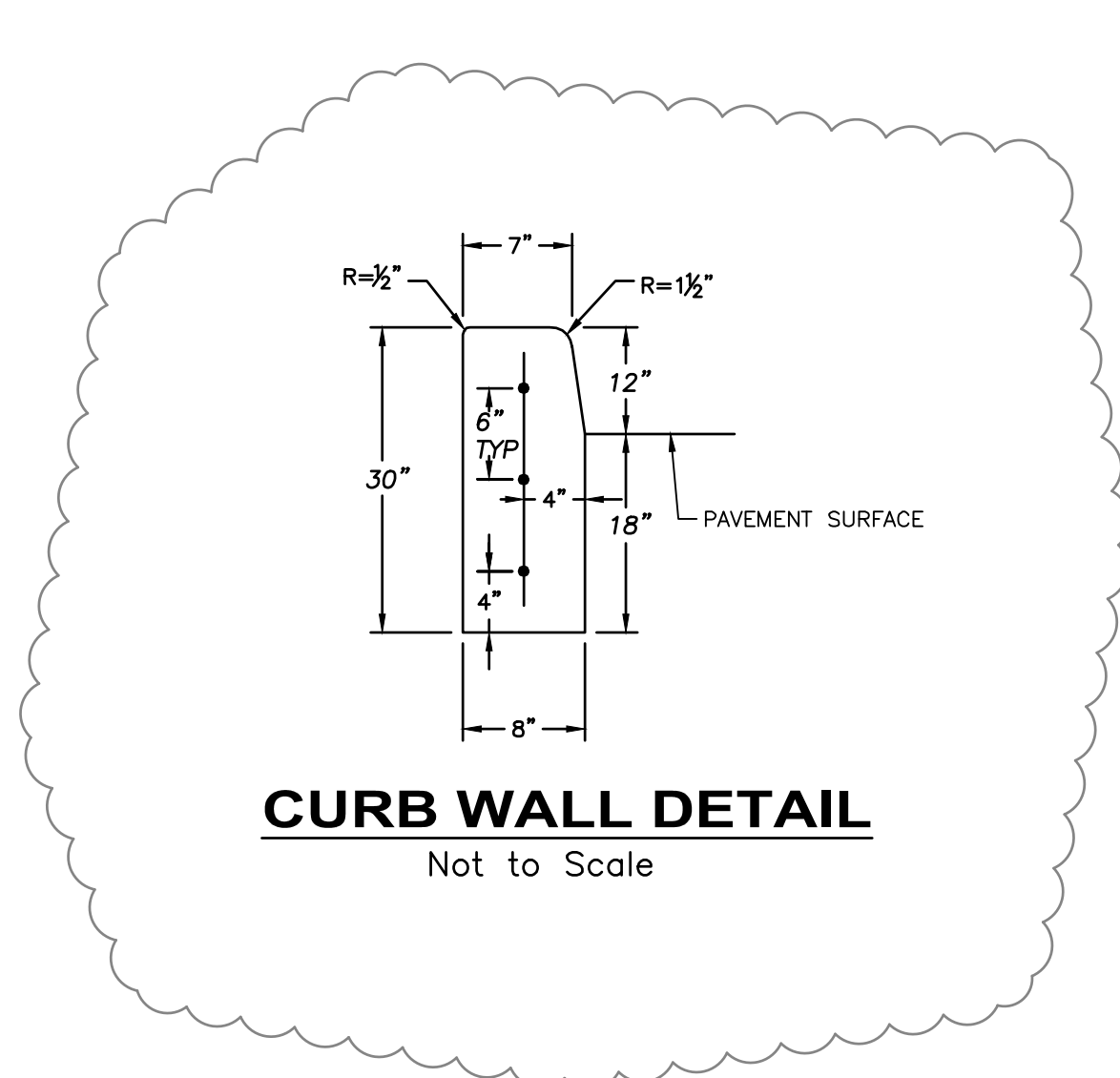
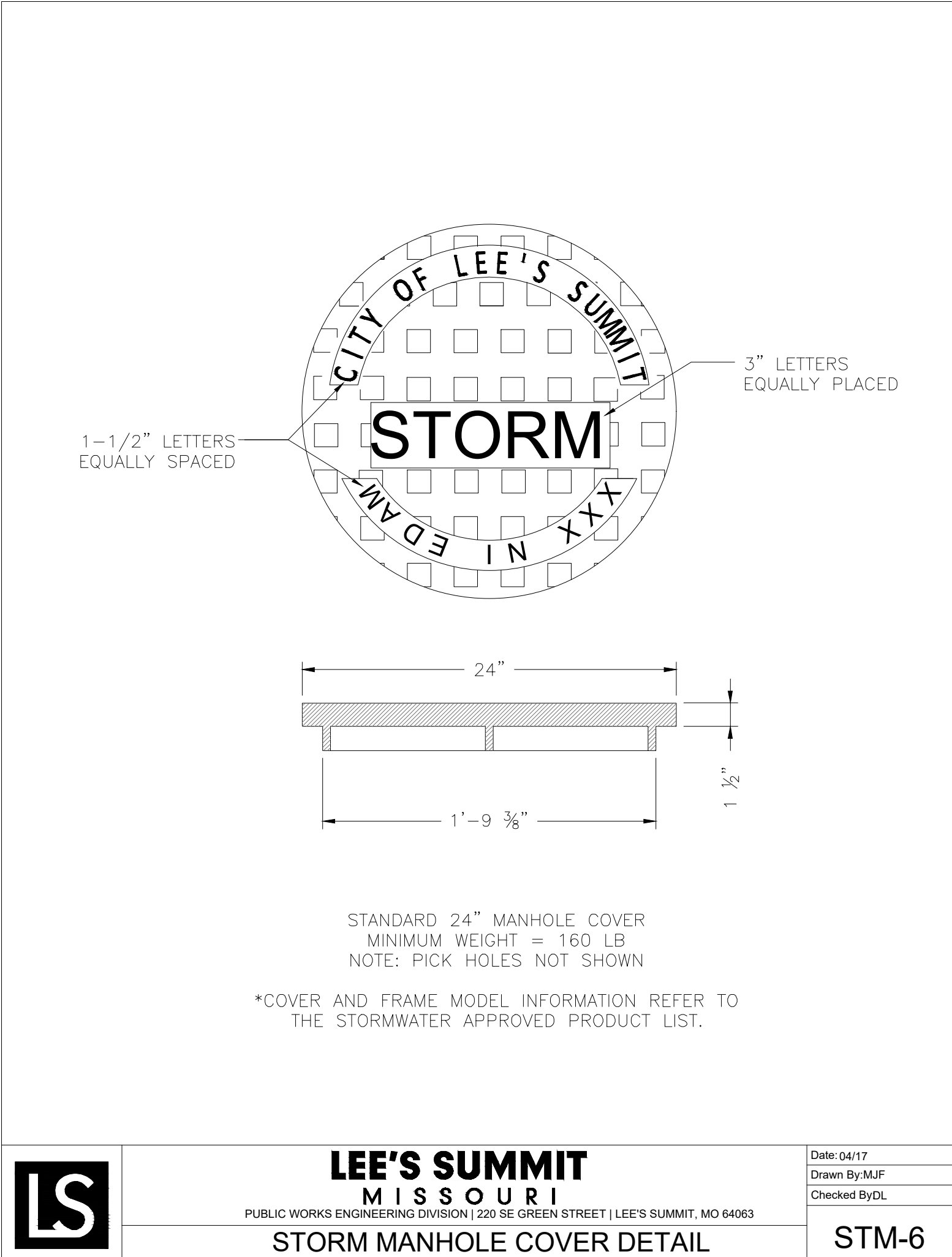


LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 120 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO

JUNCTION BOX DETAIL

Drawn By: MJP
 Checked By: DL
 Date: 04/17
 Base: 04/17
 File: 04/17
 Proj: STM-3



Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08

C9.3

Prepared For:
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN

CIVIL DETAILS

STATE OF MISSOURI
 MARK S. SHERFY
 PROFESSIONAL ENGINEER
 NUMBER: PE-2017010253
 EXPIRES: 10/03/2019

Mark S. Sherfy
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