

SECTION 47N, TOWNSHIP 9, 10, 15, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MO

	UTILITY SERVICE NUMBERS
	NAME: LEE'S SUMMIT PUBLIC WORKS
	PHONE: 816-969-1800
	NAME: LEE'S SUMMIT WATER UTILITIES
	DEPARTMENT
	PHONE: 816-969-1900
	NAME: SPIRE (MGE)
	PHONE: 314-342-0500
	NAME: AT&T
	PHONE: 800-286-8313
	NAME: KCP&L
	PHONE: 816-471-5275
	NAME: SPECTRUM (TWC)
	PHONE: 877-772-2253
	NAME: GOOGLE FIBER
	PHONE: 877-454-6959



Sheet Number	Sheet Title
C201	TITLE SHEET
C202	GENERAL NOTES
C203	GENERAL LAYOUT
C204	SANITARY SEWER PLAN & PROFILE
C205	DETAIL SHEET

Isle-Valley

CIVIL ENGINEER

DATE _____

PART OF LOTS 1 AND 2, MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, A SUBDIVISION OF LAND IN THE SOUTHEAST QUARTER OF SECTION 9, SOUTHWEST QUARTER OF SECTION 10, AND THE NORTHWEST QUARTER OF SECTION 15, ALL IN TOWNSHIP 47 NORTH, RANGE 32 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING RECORDED AS INSTRUMENT NUMBER 2016E0123276 IN BOOK 1167 AT PAGE 16 IN THE JACKSON RECORDER OF DEEDS OFFICE, ALSO A TRACT OF LAND IN SAID SOUTHEAST QUARTER OF SAID SECTION 9, BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 10; THENCE NORTH 87°47'12" WEST, ON THE SOUTH LINE OF SAID LOT 2 AND SOUTHEAST QUARTER OF SAID SECTION 9, 399.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 18°19'24" WEST, ON THE WEST LINE OF SAID LOT 2, 407.26 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 86°45'10" EAST, ON THE SOUTH LINE OF SAID LOT 1, 549.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 ALSO BEING A POINT ON THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 03°14'50" EAST, ON SAID EAST LINE ALSO BEING THE EAST LINE OF SAID LOT 1, 324.20 FEET; THENCE SOUTH 86°45'10" EAST, 205.31 FEET; THENCE NORTH 03°14'50" EAST, 262.56 FEET; THENCE NORTH 31°35'45" WEST, 200.81 FEET; THENCE NORTH 05°01'33" EAST, 222.96 FEET; THENCE NORTH 84°58'27" WEST, 11.03 FEET; THENCE NORTHWESTERLY, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 223.00 FEET, A CENTRAL ANGLE OF 48°08'14" AND AN ARC DISTANCE OF 187.35 FEET; THENCE NORTH 81°47'15" WEST, 19.78 FEET; THENCE SOUTH 53°15'42" WEST, 254.94 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 175.00 FEET, A CENTRAL ANGLE OF 21°34'36" AND AN ARC DISTANCE OF 65.90 FEET; THENCE SOUTHERLY, ON A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 39.00 FEET, A CENTRAL ANGLE OF 75°20'23" AND AN ARC DISTANCE OF 51.28 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE RIGHT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 202°12'06" AND AN ARC DISTANCE OF 176.45 FEET; THENCE SOUTH 68°32'49" WEST, 30.00 FEET; THENCE NORTH 72°46'15" WEST, 117.55 TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE NORTH 17°13'45" EAST, ON SAID WEST LINE, 365.72 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE CONTINUING NORTH 17°13'45" EAST, 213.85 FEET; THENCE NORTH 23°28'32" EAST, 282.09 FEET TO THE SOUTHWEST CORNER OF LOT 1, GODDARD SCHOOL, A SUBDIVISION IN SAID SOUTHWEST QUARTER OF SAID SECTION 9, BEING RECORDED AS INSTRUMENT NUMBER 2016E0076861 IN BOOK 1163 AT PAGE 76 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 86°45'08" EAST, ON THE SOUTH LINE OF SAID LOT 1 OF SAID GODDARD SCHOOL, 267.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 OF SAID GODDARD SCHOOL, SAID POINT ALSO BEING THE ON THE EXISTING WEST RIGHT-OF-WAY LINE OF SW LONGVIEW PARK DRIVE, ESTABLISHED BY MADISON PARK - 1ST PLAT, A SUBDIVISION IN SAID SECTIONS 9 AND 10, RECORDED AS INSTRUMENT 200005059014 IN BOOK 187 AT PAGE 91 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 03°14'52" WEST, ON SAID WEST RIGHT-OF-WAY LINE, 322.68 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID EXISTING WEST RIGHT-OF-WAY LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 165.00 FEET, A CENTRAL ANGLE OF 32°47'01" AND AN ARC DISTANCE OF 94.41 FEET TO THE SOUTHEAST CORNER OF SAID MADISON PARK - 1ST PLAT, ALSO BEING A POINT ON THE NORTH LINE OF SAID LOT 1 OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE SOUTH 53°58'07" EAST, ON SAID NORTH LINE OF SAID LOT 1 AND THE SOUTH LINE OF SAID MADISON PARK - 1ST PLAT, 70.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 2, OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE NORTHWESTERLY, ON SAID SOUTH AND WEST LINE, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL ANGLE OF 03°18'31" AND AN ARC DISTANCE OF 13.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 59°57'45" EAST, ON THE NORTH LINE OF SAID LOT 2 AND SAID SOUTH LINE, 25.68 FEET; THENCE SOUTH 89°09'15" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 180.99 FEET; THENCE EASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 1,589.00 FEET, A CENTRAL ANGLE OF 09°19'35" AND AN ARC DISTANCE OF 258.65 FEET; THENCE SOUTH 79°49'40" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 59.58 FEET; THENCE SOUTH 77°02'26" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 81.10 FEET; THENCE SOUTHEASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 48°46'38" AND AN ARC DISTANCE OF 12.77 FEET; THENCE SOUTH 28°13'48" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 41.96 FEET; THENCE SOUTH 59°12'05" WEST, CONTINUING ON SAID NORTH AND SOUTH LINE, 10.34 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, 46.00 FEET; THENCE NORTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 13.00 FEET, A CENTRAL ANGLE OF 02°53'01" AND AN ARC DISTANCE OF 23.97 FEET; THENCE SOUTH 33°41'04" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 46.00 FEET; THENCE NORTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL ANGLE OF 03°18'31" AND AN ARC DISTANCE OF 13.57 FEET; THENCE SOUTH 59°57'45" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 180.99 FEET; THENCE EASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 1,589.00 FEET, A CENTRAL ANGLE OF 09°19'35" AND AN ARC DISTANCE OF 258.65 FEET; THENCE SOUTH 79°49'40" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 59.58 FEET; THENCE SOUTH 77°02'26" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 81.10 FEET; THENCE SOUTHEASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 48°46'38" AND AN ARC DISTANCE OF 12.77 FEET; 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THENCE SOUTH 33°41'04" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 46.00 FEET; THENCE NORTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL

3/8" IB CAP AT THE S.W. CORNER OF SW PERGOLA PARK DRIVE AND SW GRANDSTAND CIRCLE. ELEVATION= 948.83
3/8" IB CAP N.E. CORNER OF SW LONGVIEW PARK DRIVE AND SW ARENA STREET. ELEVATION= 970.720



STATE OF MISSOURI
JULIE ELAINE
SELLERS
NUMBER
PE-2017000367
10/10/19
PROFESSIONAL ENGINEER

[illegible]

<p>drawn by: _____ D.A.H.O</p> <p>checked by: _____ J.E.S</p> <p>designed by: _____ J.E.S</p> <p>QA/QC'd by: _____ M.G.D</p> <p>project no.: _____ 017-2005</p> <p>date: _____ 2019.10.10</p>	<p>2018</p>	
	<p>LEE'S SUMMIT, MO</p>	
<p>TITLE SHEET</p> <p>SANITARY SEWER PLANS</p> <p>OLD LONGVIEW LAKE</p>		
<p>SHEET</p> <p>C201</p>		

GENERAL NOTES:

1. LINEAR FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS (NOT SLOPE MEASUREMENTS) FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

2. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.

3. THE DEVELOPER SHALL PERFORM ALIGNMENT AND GRADE, INFILTRATION - EXFILTRATION, DEFLECTION, SOIL DENSITY, AND MANHOLE TESTS AS CALLED OUT IN SECTION 3500 OF THE CURRENT APWA (AMERICAN PUBLIC WORKS ASSOCIATION) STANDARDS AND SPECIFICATIONS. ANY SECTION OF SEWER FAILING ANY OF THE ABOVE MENTIONED TESTS SHALL BE RETESTED BY THE DEVELOPER AFTER REPLACEMENT OR REPAIR.

4. THE DEVELOPER SHALL PERFORM DIAMETRICAL DEFLECTION TESTS ON FLEXIBLE PIPE WHEN USED AS A PUBLIC SEWER PRIOR TO FINAL ACCEPTANCE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE 5% OF THE INSIDE DIAMETER. ALL TESTS SHALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTED SHALL BE 100% OF THE TOTAL SEWER INSTALLED. A MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE BEING INSTALLED SHALL BE USED.

5. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS.

6. DEVELOPER SHALL PROVIDE EARTHWORK AND MATERIAL TESTING TO COMPLY WITH THE STANDARD SPECIFICATIONS OF THE CITY'S DESIGN AND CONSTRUCTION MANUAL.

7. DURING CONSTRUCTION OF THE PROJECT, THE DEVELOPER SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD CONDITION. THESE DOCUMENTS SHALL BE ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THE EXACT LOCATION OF ALL SEWER WYES, TEES, AND SERVICE LINES SHALL BE RECORDED ON THESE DOCUMENTS. AT THE CONCLUSION OF CONSTRUCTION, THESE DOCUMENTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.

8. THE PROJECT BENCHMARKS AND ALL ELEVATIONS SHOWN ON THE PROFILES ARE N.G.V.D.

9. THE DEVELOPER S SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELAVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON BEING EXACTLY COMPLETE. THE DEVELOPER WILL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION INFORMATION. IT IS THE DEVELOPERS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.

10. THE DEVELOPER SHALL ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC." 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. THE NAMES AND TELEPHONE NUMBERS OF UTILITY COMPANIES, EVEN IF ONLY REMOTELY INVOLVED WITH THIS HIS PROJECT ARE LISTED UNDER "UTILITY CONTACTS" THIS SHEET.

11. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD—LATEST EDITION).

12. THE SITE PLAN IS BASED ON SURVEY BY OLSSON ASSOCIATES, COMPLETED 12-13-16. CONDITIONS ON SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. DEVELOPER SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.

13. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL PERMITS (EXCEPT LAND DISTURBANCE), BONDS, INSURANCE, ETC. AND PAYING ALL FEES. THE COST OF DEVELOPERS BONDS AND INSURANCE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.

14. DEVELOPER SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REQUIRED BY THE CITY AND THE STATE.

15. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".

16. VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). THE DEVELOPER IS ADVISED TO USE BENCHMARK INFORMATION FOR VERTICAL CONTROL. HORIZONTAL CONTROL (CONTROL POINT INFORMATION) IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE DEVELOPER IS ADVISED TO USE CONTROL POINT INFORMATION FOR HORIZONTAL CONTROL.

PLUMBING NOTES:

1. ALL LOTS HAVE BEEN SUPPLIED WITH WYES, TEES OR LATERALS. PLUMBER SHALL CONNECT HOUSE SERVICE TO MAIN AT LOCATIONS INDICATED.

2. ALL SERVICE LINES SHALL BE LAID AT 2% MINIMUM SLOPE, UNLESS OTHERWISE NOTED.

3. M.S.E. ELEVATION - INDICATES BASEMENT FLOOR ELEVATION OR LOWEST FLOOR ELEVATION SERVICEABLE BY PROPOSED SANITARY SEWER.

EXCAVATING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTROL
DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF
CONSTRUCTION.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING ROCK ELEVATIONS AT 25 FOOT (MAXIMUM) INTERVALS WHERE ENCOUNTERED, AND FURNISHING THIS INFORMATION TO THE DESIGN ENGINEER FOR USE ON AS-BUILTS.

3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.

4. NO SUBSURFACE EXPLORATION FOR THE DETERMINATION OF AND/OR THE LOCATION OF EXISTING ROCK HAS BEEN MADE.

5. WHEN SEWER LINES CROSS A LOW POINT IN A CREEK, THE SEWER LINE MUST BE ENCASED ACCORDING TO LEE'S SUMMIT.

6. DEVELOPER IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT. INSPECTIONS AND CLEANUP TO OCCUR ON A DAILY BASIS.

7. DEVELOPER SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS AND TRASH AT ALL TIMES. DEVELOPER SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. DEVELOPER SHALL PROVIDE METHODS, MEANS AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.E. FUEL) USED DURING CONSTRUCTION.

8. THE DEVELOPER SHALL ERECT AND MAINTAIN ORANGE COLORED TEMPORARY CONSTRUCTION FENCE AROUND ALL AREAS INDICATED ON THE PLANS TO BE LEFT UNDISTURBED BOTH TEMPORARY AND PERMANENTLY THE DEVELOPER WILL BE GIVEN NOTICE WHEN HE MAY ENTER THESE AREAS MARKED TEMPORARY BY THE OWNER ONCE PERMITS HAVE BEEN OBTAINED. THE FENCE MATERIAL SHALL BE 48" TALL, HIGH DENSITY POLYETHYLENE (HDPE) WITH NOMINAL MESH OPENING SIZE OF 1.25 INCHES X 1.25 INCHES.

ESTIMATE OF QUANTITIES

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	AS-BUILT
SANITARY				
1	8" SANITARY PVC (SDR-26)	L.F.	257.06	
2	8" DIP	L.F.	250	
3	MANHOLES, STD. 4' DIA.	EA.	2	
4	CONNECTION TO EXISTING M.H.	EA.	1	

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

AS-BUILT / SERVICE LINE NOTE

1.) CONTRACTOR SHALL PLACE 2"x4" TIMBER OR METALLIC TAPE AT END OF EACH SERVICE LINE STUB. STANDARD 8' LENGTH MAY BE VARIED WITH 3' EXPOSED WHEN PLACED DIRECTLY OVER THE SERVICE LINE TERMINATION POINT. 2"x4" TIMBER SHALL BE MARKED APPROPRIATELY TO IDENTIFY SEWER SERVICE STUB.

2.) CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING OF ROCK ELEVATIONS AT 25' INTERVALS WHERE ENCOUNTERED. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR RECORDING SERVICE LINE LOCATIONS FROM THE DOWNSTREAM OR UPSTREAM MANHOLE AND SERVICE LINE LENGTHS DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO RECORD VERTICAL ELEVATIONS WITH A REFERENCE POINT. ALL INFORMATION SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR PREPARATION OF AS-BUILT PLANS.

GENERAL			LEGEND			SURVEY MARKERS		
	ACU	AIR CONDITIONING UNIT		BMK	BENCHMARK		CPT	CONTROL POINT
	AST	ARROW STRAIGHT		CPT	CONTROL POINT		FND	FOUND MONUMENT
	ATL	ARROW TURN LEFT		ROW	ROW MARKER		SCR	SECTION CORNER
	ATR	ARROW TURN RIGHT		SET	SET MONUMENT			
	BLB	BILLBOARD	BOUNDARIES					
	BOV	BLOW OFF VALVE	— —		SECTION LINE			
	BSH	BUSH	—EP—		EXISTING PROPERTY BOUNDARY			
	COL	COLUMN	—P—		PROPOSED PROPERTY BOUNDARY			
	CTR	CONIFEROUS TREE	---		EXISTING LOT LINE			
	DRN	DRAIN GRATE	---		PROPOSED LOT LINE			
	DTR	DECIDUOUS TREE	—ER/W—		EXISTING RIGHT-OF-WAY			
	FLP	FLAG POLE	—R/W—		PROPOSED RIGHT-OF-WAY			
	GDP	GUARD POST						
	GPL	GUY POLE	UTILITIES					
	GTP	GREASE TRAP		CAB	CABLE BOX			
	GUY	GUY WIRE		CAV	CABLE VAULT			
	HCP	ACCESSABLE PARKING MARKER		TVP	TELEVISION PEDESTAL			
	LST	LIFT STATION		TVR	TELEVISION RISER			
	MLB	MAILBOX	—ECTVOH—		EXISTING CABLE TV, OVERHEAD			
	MP	MAIL POST MARKER	—ECTV—		EXISTING CABLE TV, UNDERGROUND			
	MWL	MONITORING WELL	—CTVOH—		PROPOSED CABLE TV, OVERHEAD			
	PIV	POST INDICATOR VALVE	—CTV—		PROPOSED CABLE TV, UNDERGROUND			
	PPT	PROPANE TANK		FOB	FIBER OPTIC BOX			
	RAT	RADIO TOWER		FOM	FIBER OPTIC MANHOLE			
	SAD	SATELLITE		FOP	FIBER OPTIC PEDESTAL			
	SCV	SPRINKLER CONTROL VALVE		FOV	FIBER OPTIC VAULT			
	SGN	SIGN	—EFOGH—		EXISTING FIBER OPTIC, OVERHEAD			
	SLB	STREET LIGHT BOX	—EFO—		EXISTING FIBER OPTIC, UNDERGROUND			
	SLC	STREET LIGHT CABINET	—FOH—		PROPOSED FIBER OPTIC, OVERHEAD			
	SPB	SPRINKLER BOX	—FO—		PROPOSED FIBER OPTIC, UNDERGROUND			
	SPH	SPRINKLER HEAD		FDC	FIRE DEPT. CONNECTION			
	STP	STUMP	—EFP—		EXISTING FIRE PROTECTION SYSTEM LINE			
	SVL	SEWER VALVE	—FP—		PROPOSED FIRE PROTECTION SYSTEM LINE			
	TCB	TRAFFIC CONTROL BOX	—EFL—		EXISTING FUEL LINE			
	TSA	TRAFFIC SIGNAL WITH MAST ARM	—FPL—		PROPOSED FUEL LINE			
	TSC	TRAFFIC SIGNAL CABINET		GAR	GAS RISER			
	TSMH	TRAFFIC SIGNAL MANHOLE		GMH	GAS MANHOLE			
	TSP	TRAFFIC SIGNAL POLE		GMR	GAS MARKER			
		EXISTING TREELINE		GMT	GAS METER			
		PROPOSED TREELINE		GRG	GAS REGULATOR			
		EXISTING SIDEWALK		GVL	GAS VALVE			
		PROPOSED SIDEWALK	—EG—		EXISTING NATURAL GAS LINE			
		EXISTING BUILDINGS	—G—		PROPOSED NATURAL GAS LINE			
		PROPOSED BUILDINGS		TEC	TELEPHONE CABINET			
		EXISTING EDGE OF PAVEMENT		TEP	TELEPHONE PEDESTAL			
		PROPOSED EDGE OF PAVEMENT		TER	TELEPHONE RISER			
		EXISTING ROADWAY CENTER LINE		TEV	TELEPHONE VAULT			
		PROPOSED ROADWAY CENTER LINE		TMH	TELEPHONE MANHOLE			
		EXISTING CURB & GUTTER	—ETELOH—		EXISTING TELEPHONE LINE, OVERHEAD			
		PROPOSED CURB & GUTTER	—ETEL—		EXISTING TELEPHONE LINE, UNDERGROUND			
			—TELH—		PROPOSED TELEPHONE LINE, OVERHEAD			
			—TEL—		PROPOSED TELEPHONE LINE, UNDERGROUND			
	R	RADIUS		GLT	GROUND LIGHT			
	L	ARC DISTANCE		LTP	LIGHT POLE			
	D	DELTA / CENTRAL ANGLE		PWP	POWER POLE			
EASEMENTS & SETBACKS				TRF	ELECTRIC TRANSFORMER			
A.E.	ACCESS EASEMENT			EBX	ELECTRIC BOX			
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT			ELC	ELECTRIC CABINET			
B.L.	BUILDING SETBACK			ELR	ELECTRIC RISER			
C.T.V.E.	CABLE TV EASEMENT			EMH	ELECTRIC MANHOLE			
C.E.	CONSERVATION EASEMENT			EMT	ELECTRIC METER			
C.G.E.	CONSTRUCTION GRADING EASEMENT			ESC	ELECTRIC SECTIONALIZER			
F.P.E.	FLOOD PLAIN EASEMENT			EVT	ELECTRIC VAULT			
F.O.E.	FIBER OPTIC EASEMENT			YDL	YARD LIGHT			
F.P.S.E.	FIRE PROTECTION SYSTEM EASEMENT		—EEOH—		EXISTING POWER/ELECTRIC LINE, OVERHEAD			
F.L.E.	FUEL LINE EASEMENT		—EE—		EXISTING POWER/ELECTRIC LINE, UNDERGROUND			
L.S.E.	LANDSCAPE EASEMENT			SCO	SEWER CLEANOUT			
G.E.	NATURAL GAS EASEMENT			SSMH	SANITARY MANHOLE			
T.E.	TELEPHONE EASEMENT		—ESS—		EXISTING SANITARY SEWER			
E.E.	POWER/ELECTRIC EASEMENT		—SS—		PROPOSED SANITARY SEWER			
P.S.	PARKING SETBACK		—ESL—		EXISTING STEAM LINE			
S.B.	STREAM BUFFER		—SL—		PROPOSED STEAM LINE			
S.D.E.	SURFACE DRAINAGE EASEMENT			SDMH	STORM SEWER MANHOLE			
SIGHT DIST. ESMT.	SIGHT DISTANCE EASEMENT			FES	FLARED END SECTION			
S.E.	SANITARY SEWER EASEMENT			RDN	ROOF DRAIN			
S.L.E.	STEAM LINE EASEMENT		—EST—		EXISTING STORM SEWER			
D.E.	STORM DRAINAGE EASEMENT		—ST—		PROPOSED STORM SEWER			
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT			FH	FIRE HYDRANT			
T.C.D.S.E.	TEMPORARY CUL-DE-SAC EASEMENT			WMH	WATER MANHOLE			
TEMP. ESMT.	TEMPORARY EASEMENT			WMK	WATER MARKER			
TRAIL ESMT.	TRAIL/PATH EASEMENT			WMT	WATER METER			
U.E.	UTILITY EASEMENT			WVL	WATER VALVE			
W.E.	WATER EASEMENT		—EW—		EXISTING WATER LINE			
F.Y.S	FRONT YARD SETBACK		—W—		PROPOSED WATER LINE			
R.Y.S.	REAR YARD SETBACK							
S.Y.S.	SIDE YARD SETBACK							
			CONTOURS					
			- -100- -		EXISTING INDEX CONTOURS			
			-100-		EXISTING INTERMEDIATE CONTOURS			
			-100-		PROPOSED INDEX CONTOURS			
			-100-		PROPOSED INTERMEDIATE CONTOUR			

Control Point Table				
Point Number	Northing	Easting	Point elevation	Raw Description
7371	995767.520	2803980.470	948.83	Set 3/8" IB/ Cap at the S.E. corner of SW. Pergola Park Drive and SW. Grandstand Circle. 5.0' N to back of curb, 14.0' W to FH, 43.0' E to MH
1000	996699.785	2803643.760	960.32	Set 3/8" IB/ Cap N.W. corner of SW. Rockbridge Drive and SW. Redbuck Circle. 3' S to back of curb, 19.1' E to stop sign, 37.4' NE to MH
1001	996444.728	2802574.004	970.72	Set 3/8" IB/ Cap N.E. corner of SW. Longview Park Drive and SW. Areana Street. 11.7' W to Stop Sign, 10.4' S.E. to back of curb at pc return, 6.6' N to sidewalk
1002	995493.880	2802676.202	953.54	Set 3/8" IB/ Cap off of the S.E. corner of the parking lot on the East side to the Longview Lake Mansion House. 9.0' W to S.E. corner gravel parking lots, 58.5' W-N.W. to S.E. for asphalt parking lot, 69.5' S.W. to 50' +/- tree

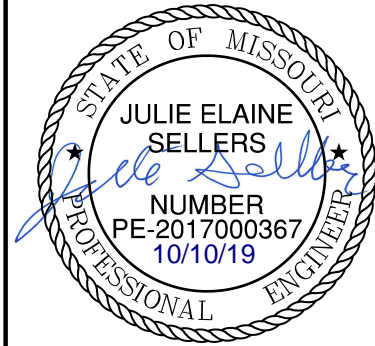
OWNER:
M-III LONGVIEW, LLC

EL ID:
-01-3-00-000
VER:
3VIEW, LLC

STRUCTURES		
STRUCTURE ID	NORTHING	EASTING
EX MH. 42-005	994454.0608	2803187.1447
EX MH. 42-006	994243.0218	2803074.4817
EX MH. 42-007	994115.7961	2802965.5667
MH. 1-1	994550.8465	2802956.6405
MH. 1-2	994650.3659	2802719.6258

OLSSON[®]
ASSOCIATES

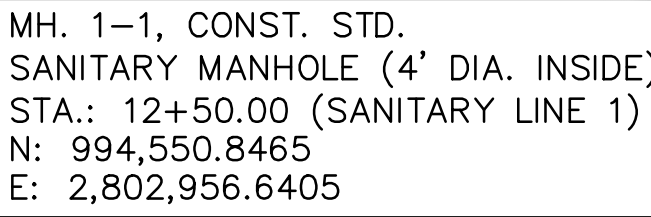
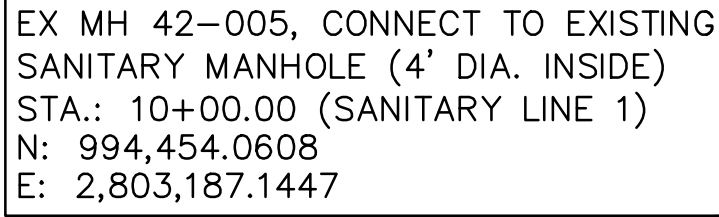
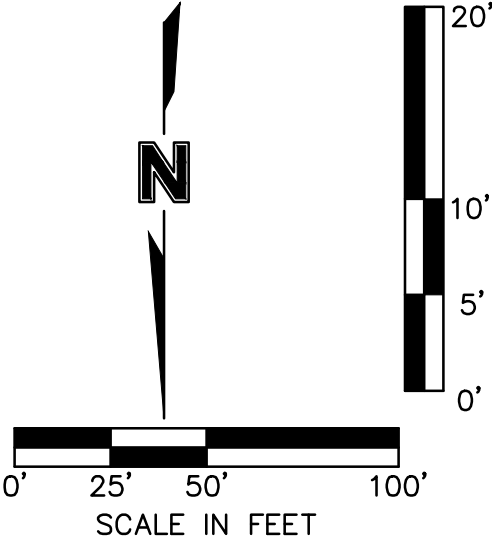
MO Certificate of Authority #: 0000000000 TEL 916.597.4320
NORTH KANSAS CITY, MO 64116 FAX 816.597.1353
NORTH KANSAS CITY, MO 64116 www.olsonassociates.com

[illegible]

GENERAL LAYOUT SANITARY SEWER PLANS	2018
OLD LONGVIEW LAKE REHABILITATION	LEE'S SUMMIT, MO

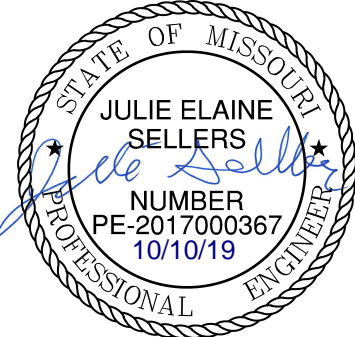
drawn by: D.A.H.O
checked by: J.E.S
designed by: J.E.S
QA/QC by: M.G.D
project no.: 017-0305
date: 2019.10.10

SHEET
C203



MH. 1-2, CONST. STD.
SANITARY MANHOLE (4' DIA. INSIDE)
STA.: 15+07.06 (SANITARY LINE 1)
N: 994,650.3659
E: 2,802,719.6258

NOTES:
CONTRACTOR SHALL FILL AND COMPACT TO 95%
STANDARD DENSITY TO A POINT 36" MINIMUM
ABOVE THE TOP OF PIPE PRIOR TO EXCAVATION
FOR THE PIPE.

[illegible]

SANITARY SEWER PLAN & PROFILE SANITARY SEWER PLANS	OLD LONGVIEW LAKE REHABILITATION	2018
	LEE'S SUMMIT, MO	

drawn by: D.A.H.O
checked by: J.E.S
designed by: J.E.S
QA/QC by: M.G.D
project no.: 017-0305
date: 2019.10.10

SHEET
C204

