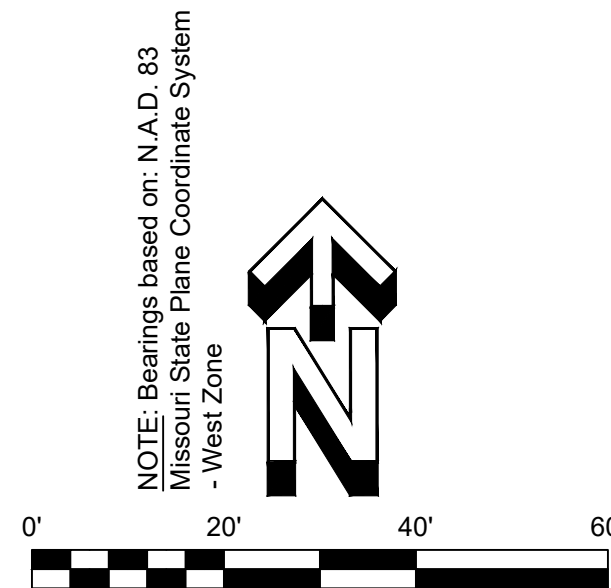


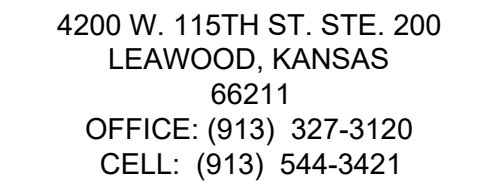


UTILITIES SHOWN HEREON ARE BASED ON PLAN INFORMATION AND ABOVE GROUND FEATURES TO THE BEST OF OUR KNOWLEDGE. THESE EXISTING CONDITIONS DRAWING DOES NOT GUARANTEE THE "EXISTENCE OR NON EXISTENCE" OF UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 AND FIELD VERIFY UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY UTILITIES ENCOUNTERED BUT NOT SHOWN HEREON OR IF LOCATION OF UTILITIES VARIES FROM THAT SHOWN ON THE PLANS

ALL EXISTING ITEMS ON THE SITE SHALL BE DEMOLISHED UNLESS OTHERWISE INDICATED. ITEMS TO BE DEMOLISHED SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL HAUL DEMO ITEMS OFF-SITE. EXISTING WATER METER SHALL REMAIN.

ALL REMOVAL AREAS SHOWN SHALL BE SAW CUT TO FULL DEPTH WHEN ADJACENT TO REMAINING PAVEMENT.

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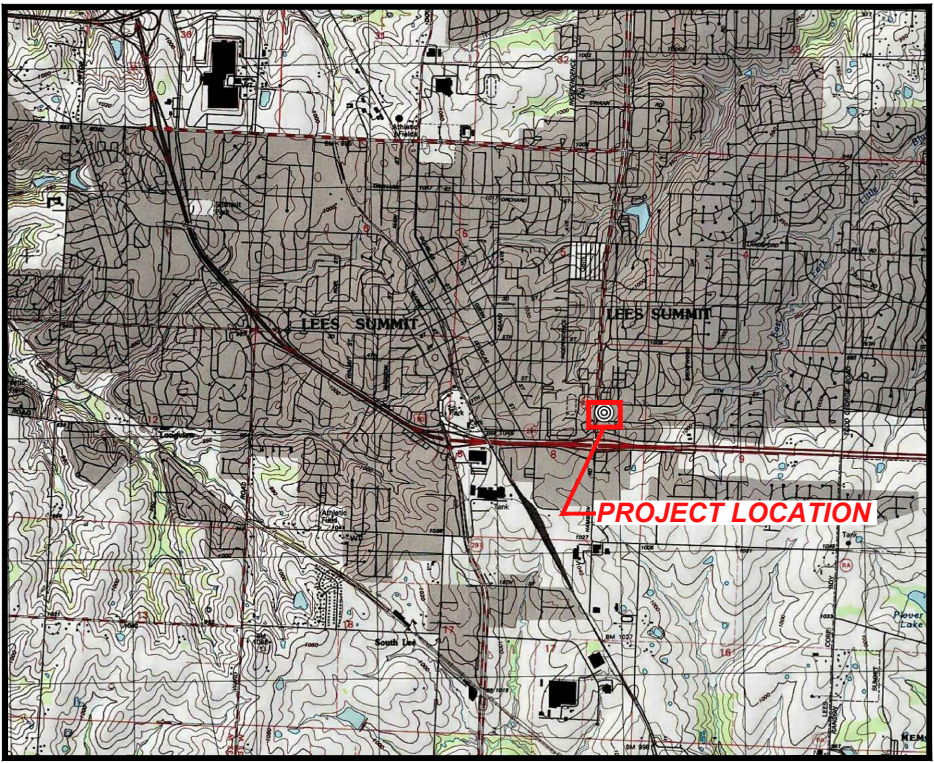
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EXISTING CONDITIONS

SHEET NUMBER

C1

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VICINITY MAP
(NOT TO SCALE)

SITE PLAN DESIGN NOTES

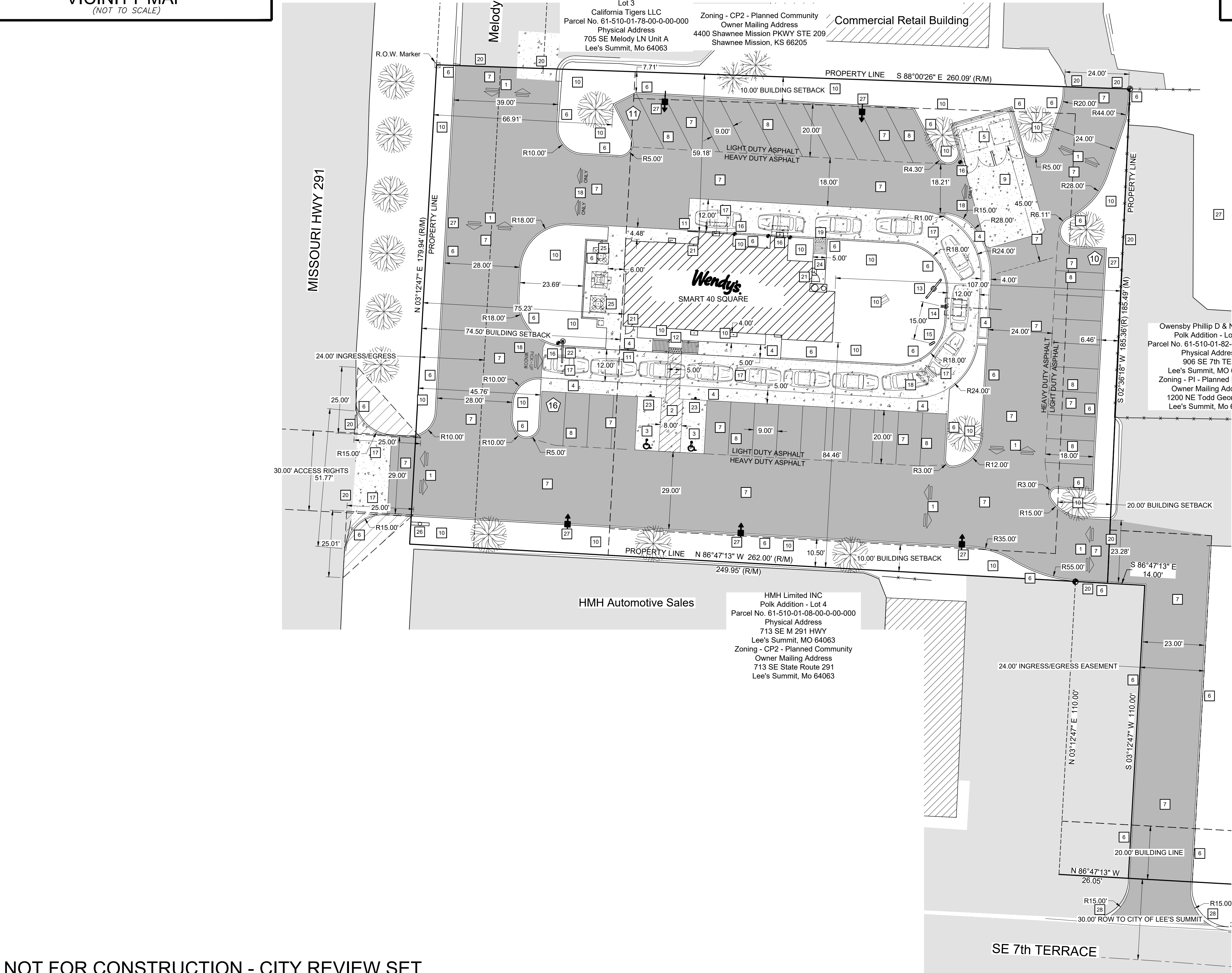
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|--|-------|---|--|------|
| 1 TRAFFIC DIRECTIONAL MARKER | 5 C7 | 10 LANDSCAPING AREA | 19 SIDEWALK WITH MIN. 24" DETECTABLE WARNING | 4 C7 |
| 2 DIAGONAL STRIPING - 4" YELLOW @ 24" O.C. | 2 C7 | 11 SAFETY RAILING SEE ARCHITECTURAL DETAILS | 20 SAWCUT CURB / PAVEMENT FULL DEPTH FOR CLEAN JOINT | |
| 3 ADA ACCESSIBLE PARKING STALLS | 2 C7 | 12 SIDEWALK RAMP WITH MIN. 24" DETECTABLE WARNING | 21 5' x 5' CONCRETE STOOP | 1 C7 |
| 4 INTEGRAL CURB AND SIDEWALK | 8 C7 | 13 MENU BOARD | 22 CANOPY PROTECTION BAR | 7 C8 |
| 5 DUMPSTER ENCLOSURE | 9 C8 | 14 ORDER STATION | 23 ADA ACCESSIBLE PARKING SIGN | 7 C7 |
| 6 CONCRETE CURB | 11 C7 | 15 PRE-SELL BOARD | 24 CONCRETE SIDEWALK | 3 C7 |
| 7 ASPHALT PAVEMENT | 9B C7 | 16 BOLLARD | 25 OUTDOOR PATIO SEE ARCHITECTURAL SHEETS | |
| 8 PAVEMENT STRIPING - 4" YELLOW | | 17 CONCRETE PAVEMENT | 26 PYLON SIGN SEE ARCHITECTURAL SHEETS | |
| 9 DUMPSTER PAD - 8" CONCRETE PAVEMENT W/ APRON | 12 C7 | 18 PAVEMENT MARKER DETAIL | 27 AREA LIGHT - SEE SHEET C9 | |
| | | | 28 TRANSITION FROM 6" CURB TO EXISTING CURB | |

LEGEND	
	Benchmark
	Iron Pin Found
	Backflow Preventer
	Bollard
	Soil Boring Location
	Sanitary Sewer Cleanout
	Gas Meter
	Storm Sewer Curb Inlet
	Storm Sewer MH/Open Lid
	Light Pole or Traffic Light
	Storm Sewer Manhole
	Air Conditioner
	Sanitary Sewer Manhole
	Sign
	Water Meter
	Water Valve
	Utility Pole
	To Be Removed
	Top of Curb
	Pavement
	Match Existing
	Grade point
	Number of Parking Spaces
	To Be Removed
	Water Line
	Sanitary Sewer Main
	Fence
	Existing Contours
	Proposed Contours
	Underground Electric
	Storm Sewer
	Limits of Pavement Removal
	Overhead Utility Lines
	Gas Lines
	Ditch / Swale
	Existing Asphalt
	New Asphalt
	New Concrete
	Gravel
	Existing Concrete

SITE DATA

- AREA OF SITE: 47,692.73 SQ.FT. - 1.09 ACRES.
- PARKING CONDITIONS ARE AS FOLLOWS:
MIN. REQUIRED SPACES: 14 PER 1000 SQ.FT. GROSS FLOOR SPACE
TOTAL GROSS FLOOR SPACE: 2,504 SQ. FT.
PARKING REQUIRED: 35 STALLS
ACTUAL SPACES:
35 REGULAR SPACES
2 ACCESSIBLE SPACES
TOTAL SPACES: 37
- PROPERTY ZONING
CP-2, PLANNED COMMUNITY COMMERCIAL
- EXISTING USE: RESTAURANT
PROPOSED USE: RESTAURANT WITH DRIVE THRU DRIVE THRU STACKING REQUIRED: 4 FROM MENU BOARD AND 4 FROM FIRST WINDOW STACKING SUPPLIED: 14 FROM FIRST WINDOW
- PHYSICAL ADDRESS : 711 SE M 291 HWY
LEE'S SUMMIT, MO 64063
- PARCEL INFORMATION: LEE'S SUMMIT 29197 LLC
POLK ADDITION - LOT 5A
PARCEL NO. 61-510-01-81-01-0-00-000
- OWNER ADDRESS: 605 W 47TH ST 100,
KANSAS CITY, MO 64112
- BUILDING FLOOR AREA: 2,506 SQ.FT.
FLOOR AREA RATIO = 2,506 / 47,692.73 (LOT AREA) = 5.25%
- BUILDING HEIGHT: 24 FT.
- DRAINAGE: LOT AREA= 47,692.73 SQ.FT.
EXISTING:
IMPERVIOUS AREA: 43,283 SQ.FT. = 90.75%
PERVIOUS AREA: 4,409.73 S.F.T. = 9.25%
PROPOSED:
IMPERVIOUS AREA: 35,431.21 SQ.FT. = 74.29%
PERVIOUS AREA: 12,260.52 SQ.FT. = 25.71%

ZONING REQUIREMENTS:
Zoning - CP2 - Planned Community
1. Minimum Front Yard: 15'
2. Minimum Side Yard: 10'
3. Minimum Rear Yard: 20'
4. Building Height: 40'
*74.5 Front Building Setback line per Exception 8



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BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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Marc Brundige,
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LEAWOOD, KANSAS
66211
OFFICE: (913) 327-3120
CELL: (913) 544-3421

PROJECT TYPE: NEW
SMART 55 - NARROW

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Phone: (618) 263-4100

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REV.	DATE	DESCRIPTION

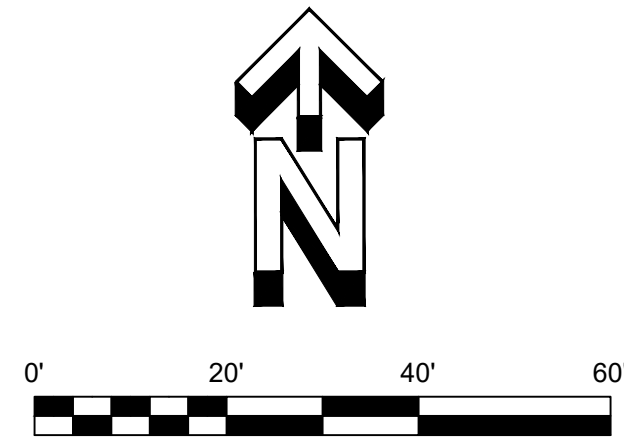
ISSUE DATE: 09-05-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: T.J.L. RM
CHECKED BY: MEN. T.J.L.



SHEET NAME
SITE PLAN

SHEET NUMBER

C2



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UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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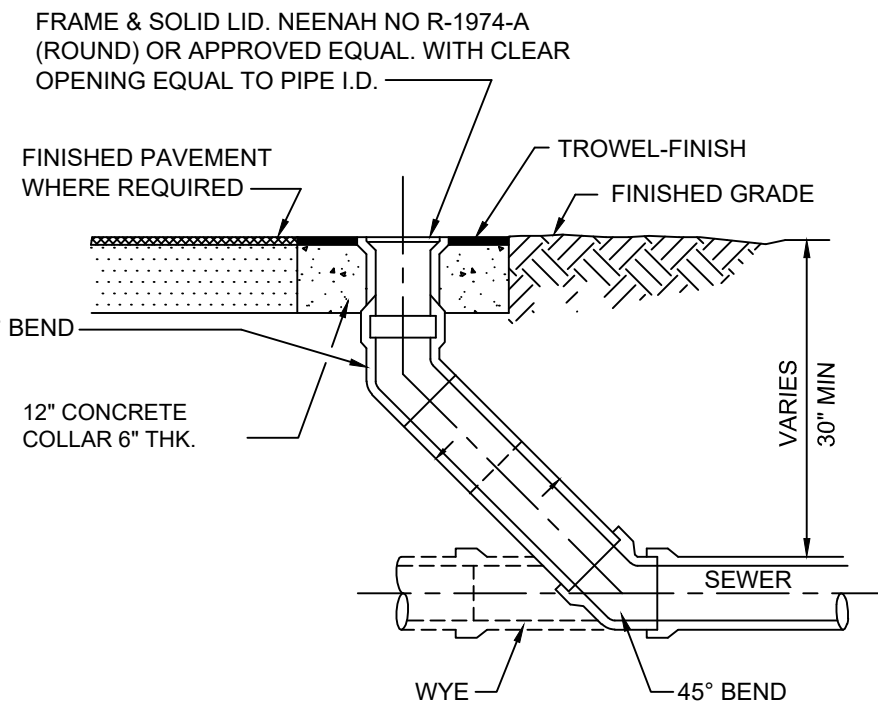
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ISSUE DATE: 09-05-19
PROJECT NUMBER:
IPCQB#6042
DRAWN BY: TJL RM
CHECKED BY: MEN, TJL



GRADING & DRAINAGE

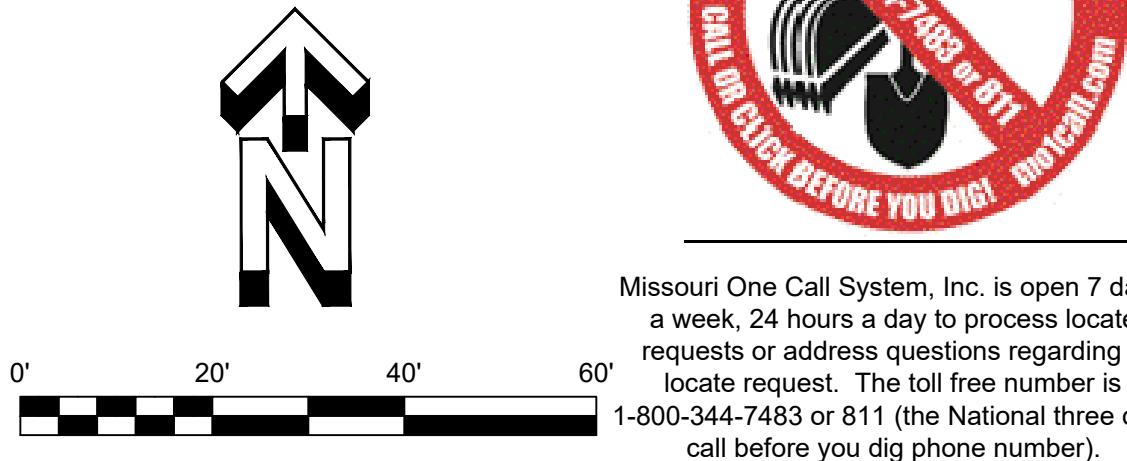
C3



NOT FOR CONSTRUCTION - CITY REVIEW SET

CONTRACTOR CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL WATER CONNECTIONS SHALL BE COORDINATED WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
2. CONTRACTOR SHALL COORDINATE CONNECTION POINT, SERVICE SIZE AND TRANSFORMER LOCATION WITH ELECTRICAL SERVICE PROVIDER PRIOR TO CONSTRUCTION. METER BASES CANNOT BE MOUNTED ON TRANSFORMERS. CURRENT TRANSFORMERS FOR SERVICES ABOVE 400 AMPERES CAN BE INSTALLED ON POLES. BUILDINGS, OR INSIDE TRANSFORMERS, WILSON ENERGY WILL SPOT ALL TRANSFORMER AND METER LOCATIONS. PLEASE NOTIFY WILSON ENERGY OF EXACT ELECTRICAL REQUIREMENTS SUCH AS TOTAL CONNECTED LOAD AND VOLTGE REQUIREMENTS, AND LOCATIONS OF ANY UTILITY THAT INTERFERES WITH WILSON ENERGY ELECTRICAL LINES IN THE FUTURE WILL BE REMOVED.
3. CONTRACTOR SHALL VERIFY LOCATION, SIZE AND INVERT OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND COORDINATE WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL INSPECT THE EXISTING LINE TO ENSURE IT IS NOT DAMAGED AND NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
4. CONTRACTOR SHALL COORDINATE WITH GAS SERVICE PROVIDER PRIOR TO CONSTRUCTION. EXPOSURES ARE TO BE MADE ON EXISTING GAS MAIN LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL GAS AND PLUMBING CODE.
5. CONTRACTOR SHALL COORDINATE CONNECTION POINT AND SERVICE SIZE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION. PROVIDER FOR BOTH TELEPHONE AND CABLE TV SERVICE.



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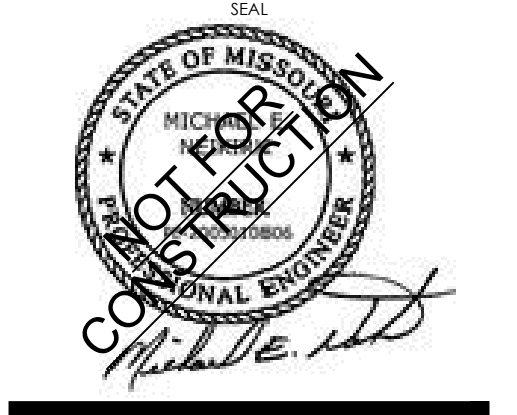


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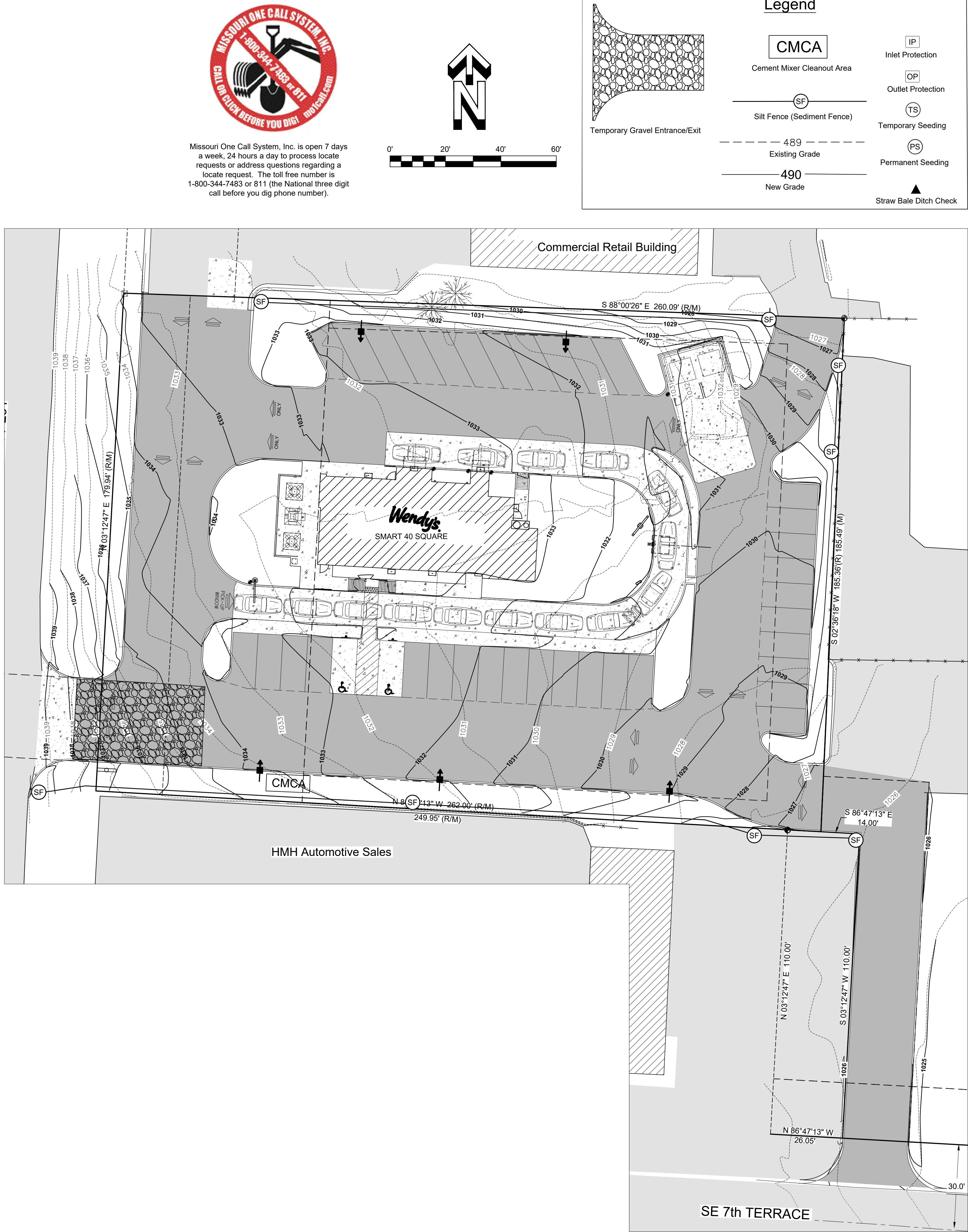
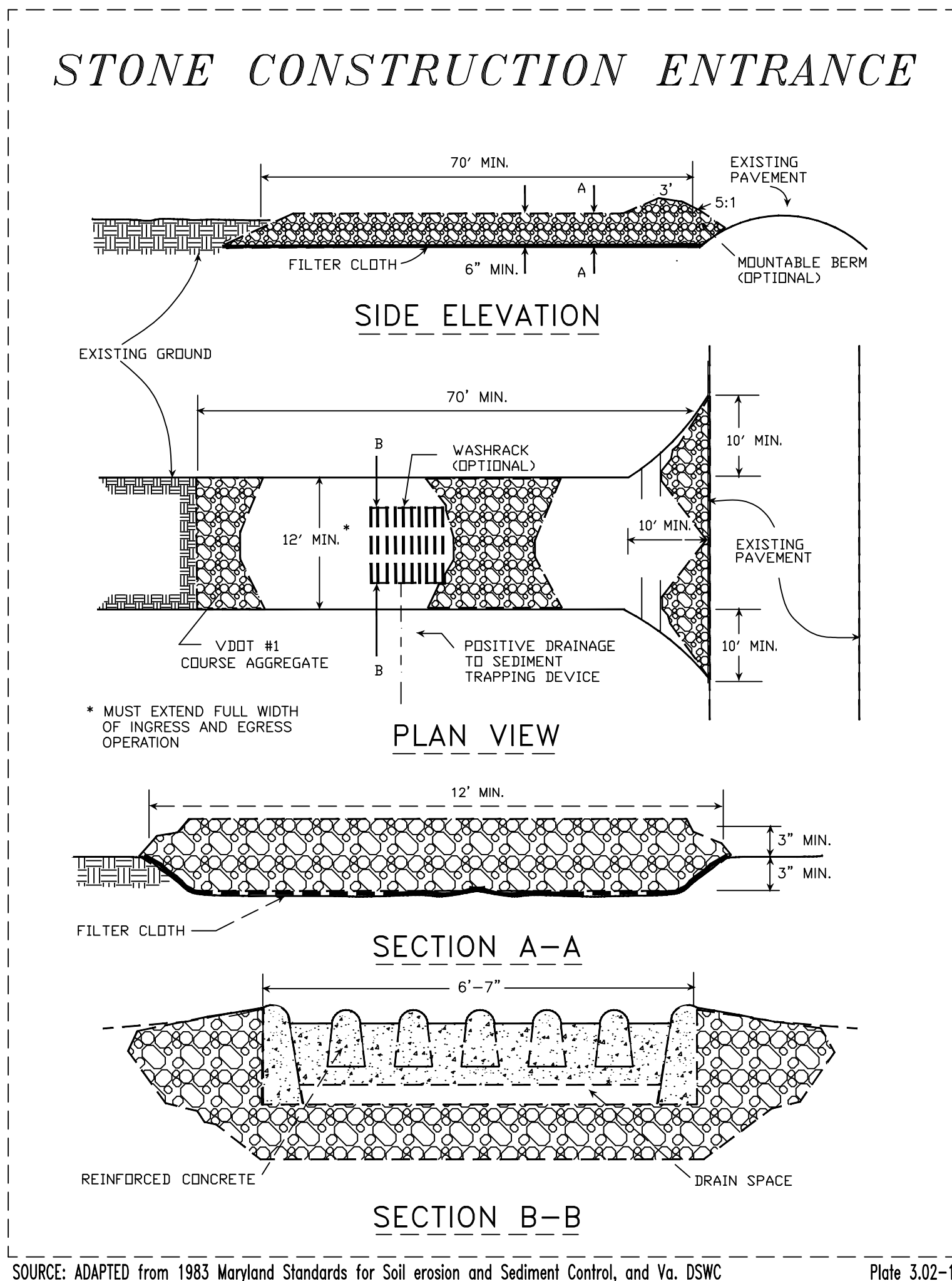
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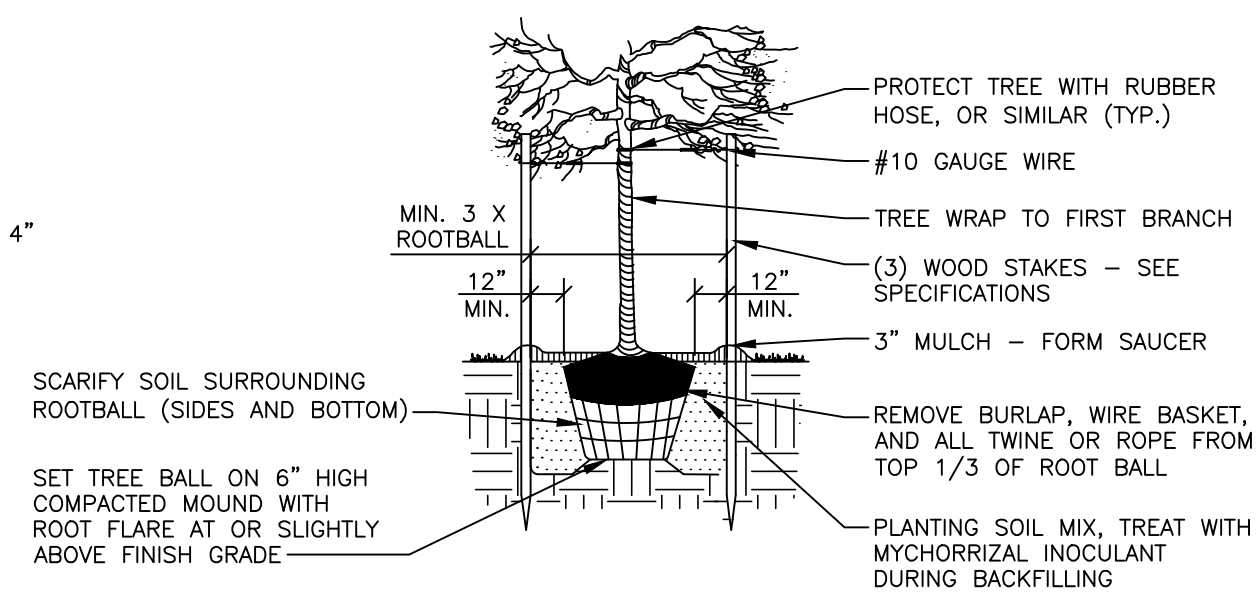
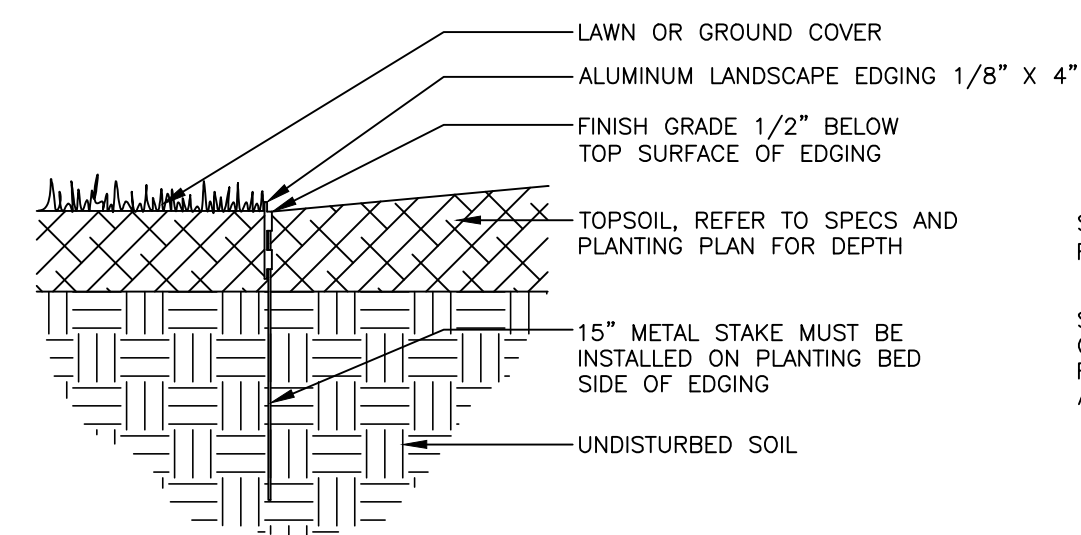
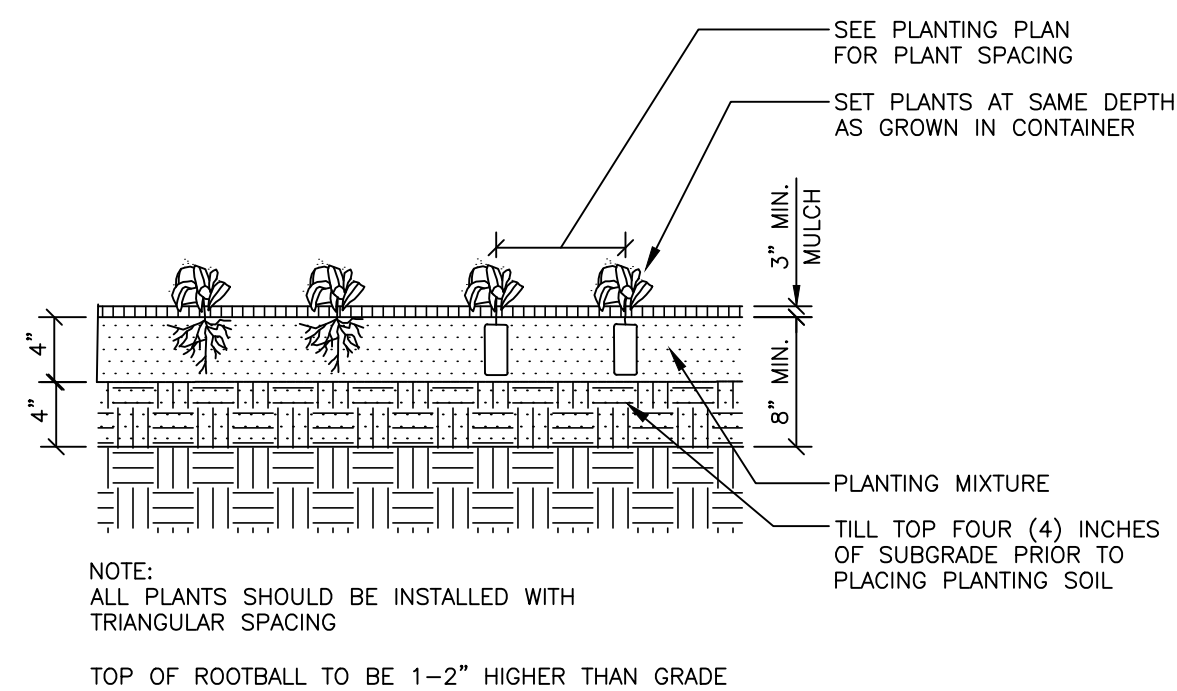
UTILITY PLAN

SHEET NUMBER

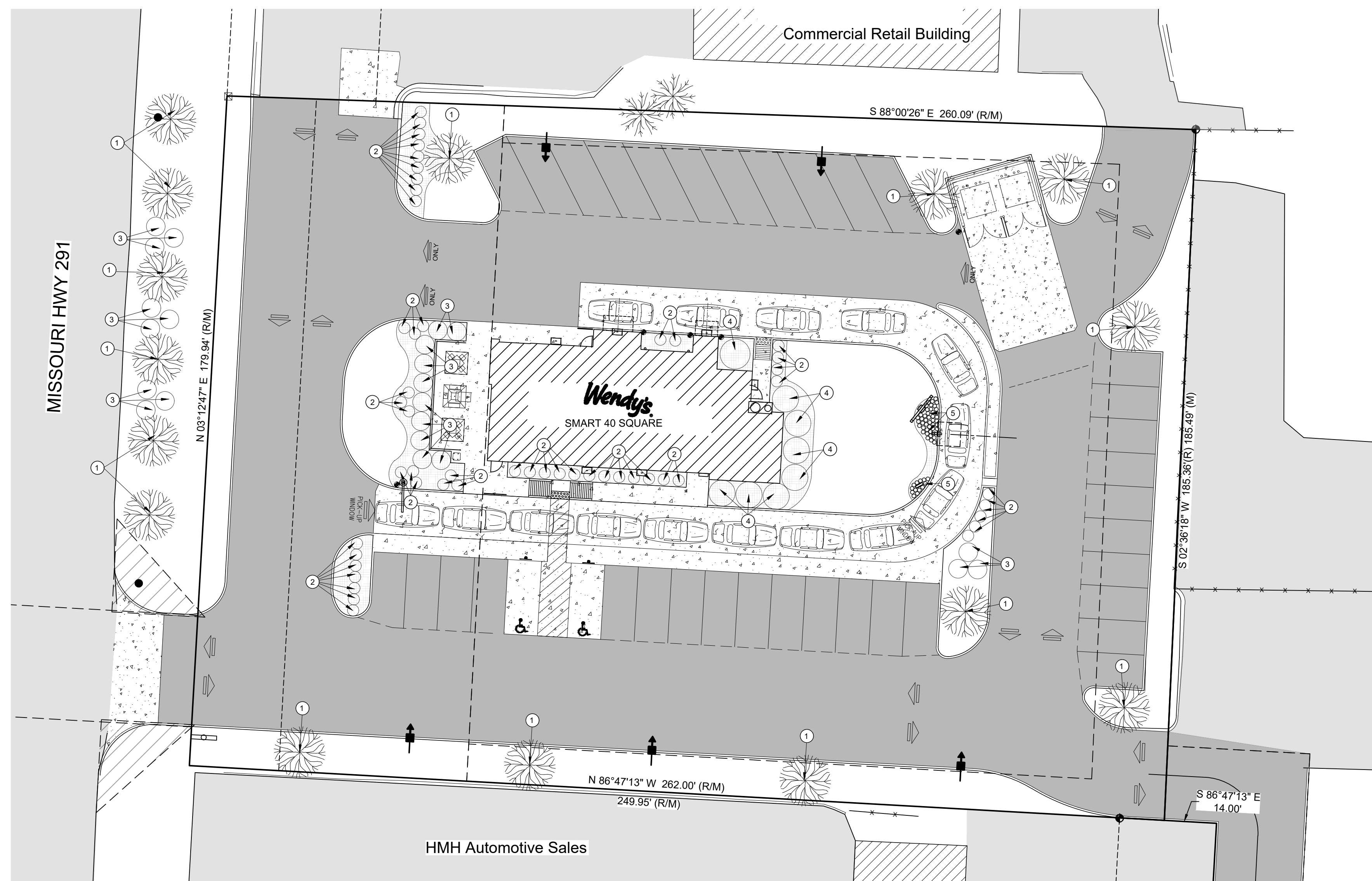
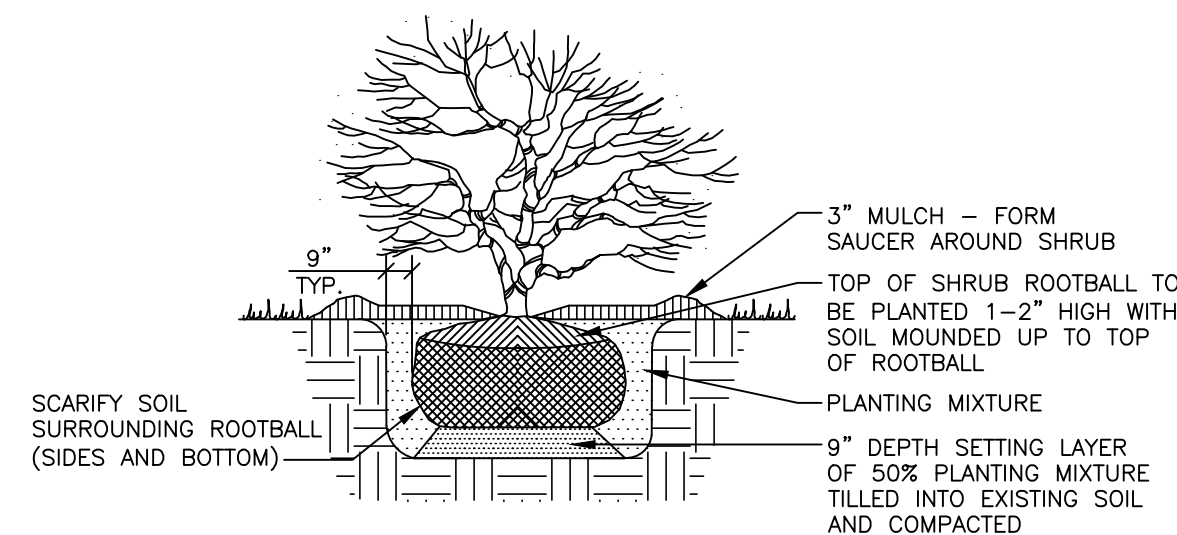
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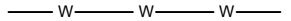
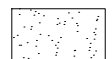
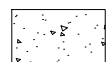
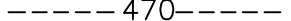
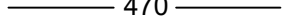
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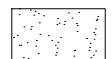
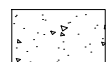
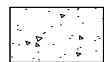


- NOTES
1. TREES WITH 2.5" CALIPER MUST HAVE A MINIMUM VOLUME OF 500 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
 2. TREES WITH 3" CALIPER MUST HAVE A MINIMUM VOLUME OF 750 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
 3. CONTRACTOR TO CONFIRM PERCOLATION OF ALL PLANTING PITS PRIOR TO TREE INSTALLATION. IF PITS DO NOT PERCOLATE, INSTALL 4" PERFORATED UNDERDRAIN AT BOTTOM OF PIT AND CONNECT TO NEAREST DOWNSTREAM STORM CATCHBASIN/MANHOLE.



	Benchmark		Sanitary Sewer Manhole	LEGEND
	Iron Pin Found		Sign	
	Iron Pin Set		Water Meter	
	Bollard		Water Valve	
	Soil Boring Location		Utility Pole	
	Sanitary Sewer Cleanout		To Be Removed	
	Gas Meter		Top of Curb	
	Storm Sewer Curb Inlet		Pavement	
	Storm Sewer MH/Open Lid		Match Existing	
	Light Pole or Traffic Light		Grade point	
	Storm Sewer Manhole		Number of Parking Spaces	
	Air Conditioner		To Be Removed	

	Water Line		Gravel
	Sanitary Sewer Main		Existing Concrete
	Fence		Stormwater Easement
	Existing Contours		
	New Contours		
	Underground Electric		
	Storm Sewer		
	Limits of Pavement Removal		
	Overhead Utility Lines		
	Gas Lines		
	Ditch / Swale		

	Existing Asphalt		Gravel
	New Asphalt		Existing Concrete
	New Concrete		Stormwater Easement
	Existing Asphalt TBR		

KEYNOTE	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
①	Red Maple	Acer rubrum	18	3" CALIPER
②	Green Velvet Boxwood	Buxus x 'Green Velvet'	35	2 GAL. CONTAINER
③	Koreanspice Viburnum	Viburnum carlesii 'Compactum'	15	2 GAL. CONTAINER
④	Blue Point Juniper	Juniperus chinensis 'Blue Point'	8	24"-30" BALLED AND BURLAPPED
⑤	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	56	2 1/2" PEA POT

LANDSCAPING REQUIREMENTS

1. Planting areas shall be mulched. All planting areas and lawn areas shall be separated by steel edging. No steel edging needs to be installed adjacent to buildings, sidewalks, or curbs. Cut steel edging at 45 degree angle where it intersects walks and curbs.
2. All landscaped and lawn areas shall be irrigated through the use of an automatic underground irrigation system with rain and freeze sensors and evapotranspiration weather-based controllers. Irrigation system shall be designed and installed by a licensed irrigation contractor. Hunter Irrigation System shall be used unless equal is approved by owner.
3. All landscape material shall be maintained in accordance with the American Standard for Nursery Stock as published by the American Association of Nurserymen. All dead, dying, or diseased material will be replaced, in kind, by the owner within the next available planting season.
4. All portion of the site not covered with paving or buildings shall be landscaped. Open area not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slopes.
5. Street Frontage = 179.94'
Required Trees: 1 tree required for each 30 feet of street frontage = 6 required trees
Actual Trees: 6 trees along frontage
Required Shrubs: 1 shrubs for each 20 feet of street frontage = 9 required shrubs
Actual Shrubs = 9 shrubs along frontage
6. Parking Lot Screening = 48.50'
Required Shrubs: 12 shrubs required for each 40 feet of Parking Lot = 15 Shrubs
Actual Shrubs: 16 Shrubs along Parking lot Frontage
7. Total Lot Area minus Building Footprint = 45,186.73 Sq. Ft.
Required Shrubs: 2 shrubs per 5,000 sq. ft. of total lot area = 18 Shrubs
Actual Shrubs = 56 Shrubs on Lot (not used for Street Frontage or Parking Lot Screening)
Required Trees: 1 Tree per 5,000 sq. ft. of total lot area = 9 Trees
Actual Trees = 9 Trees
8. Total Vehicle Use Area = 30,676.20 Sq. Ft.
Required Interior Landscape Area: 5% of VUA = 1,534 Sq. Ft.
Actual Interior Landscape Area = 1,876 Sq. Ft.



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ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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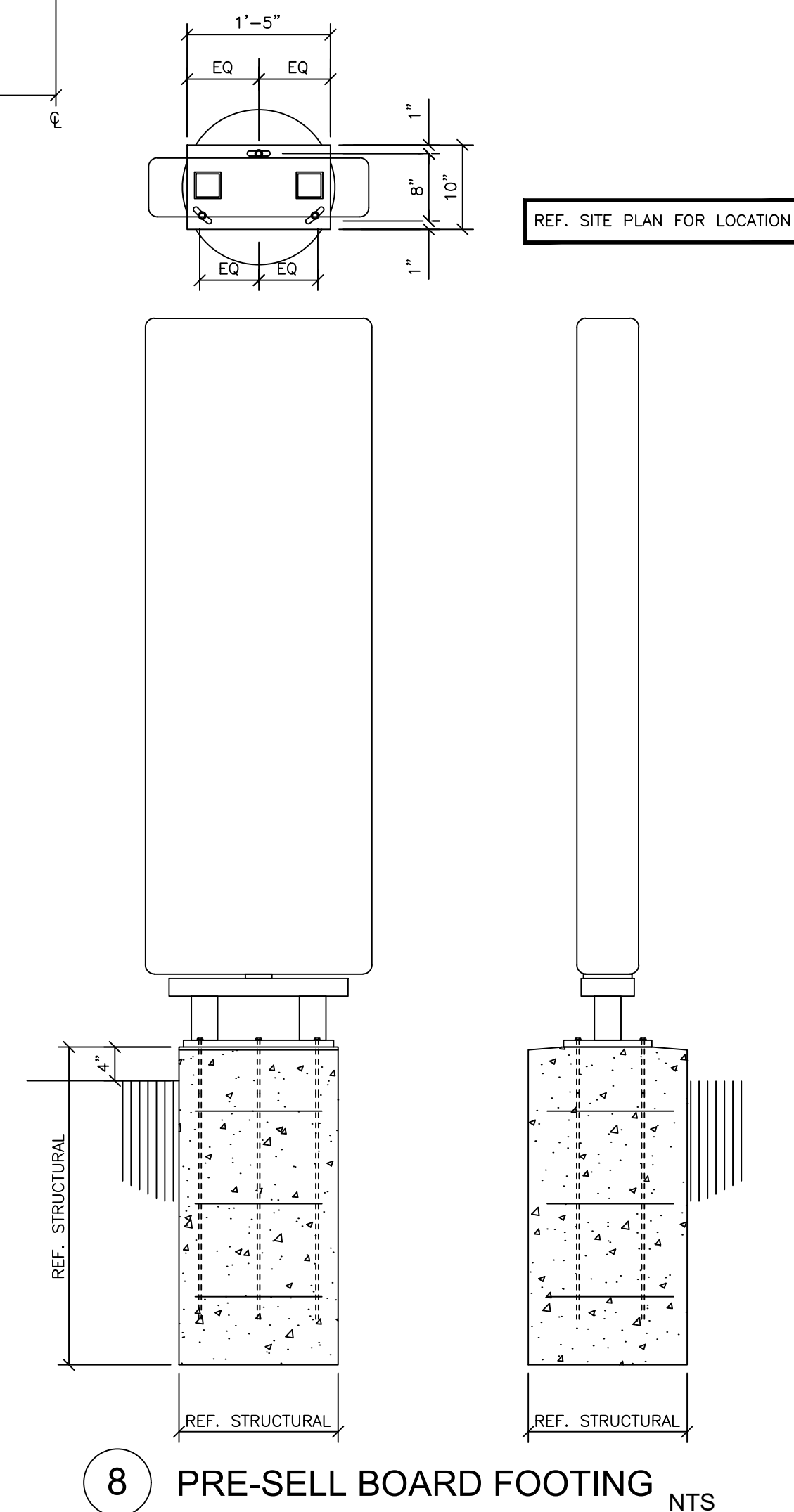
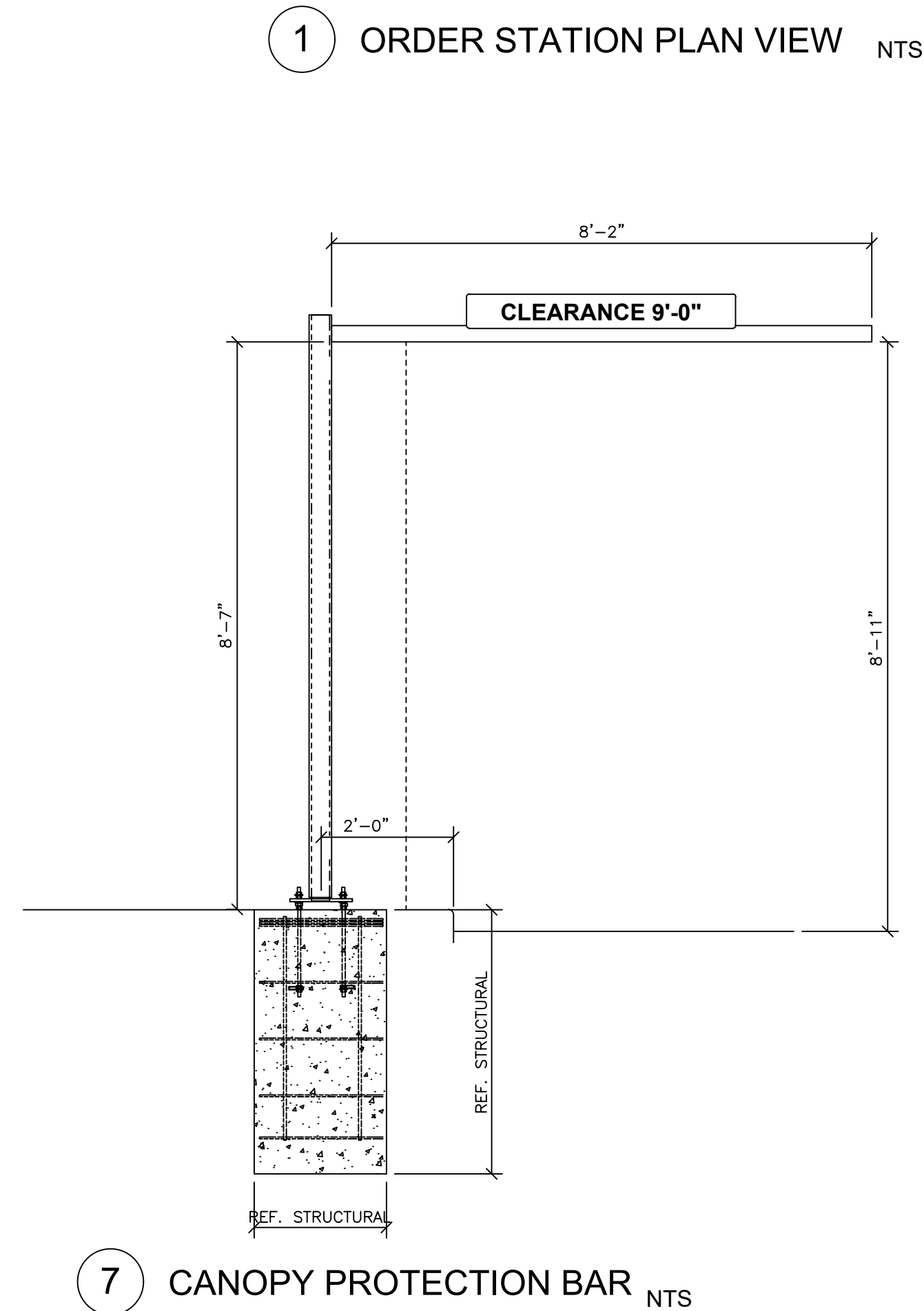
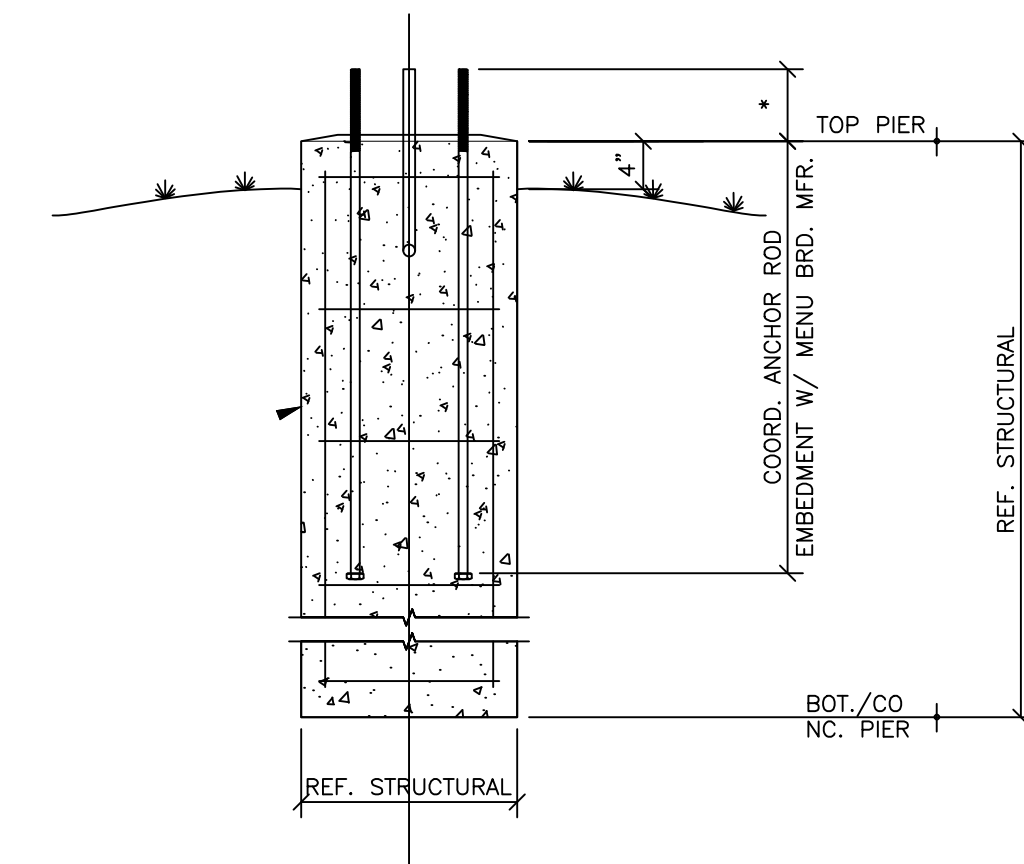
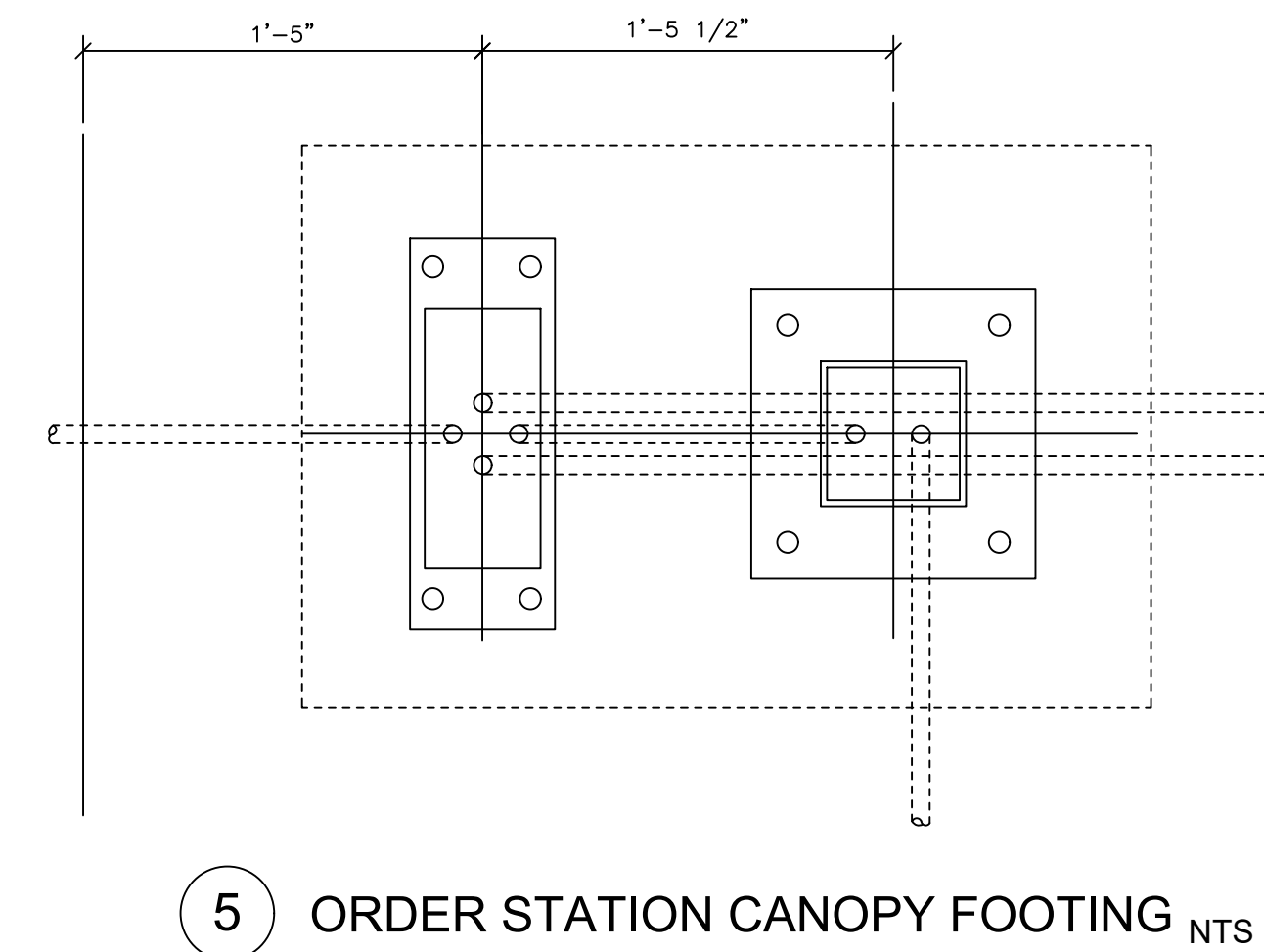
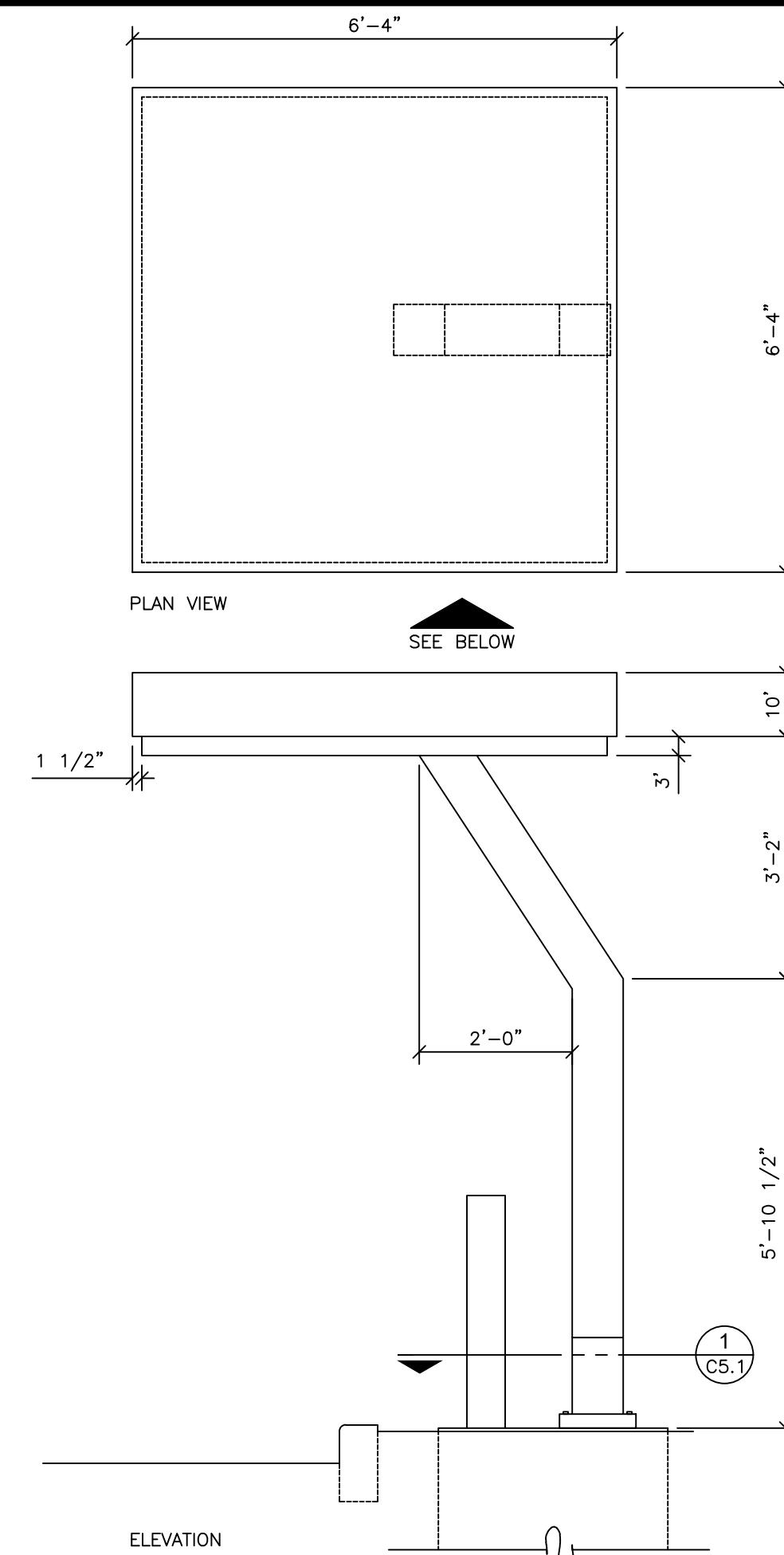
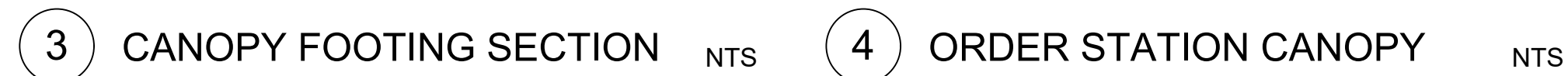
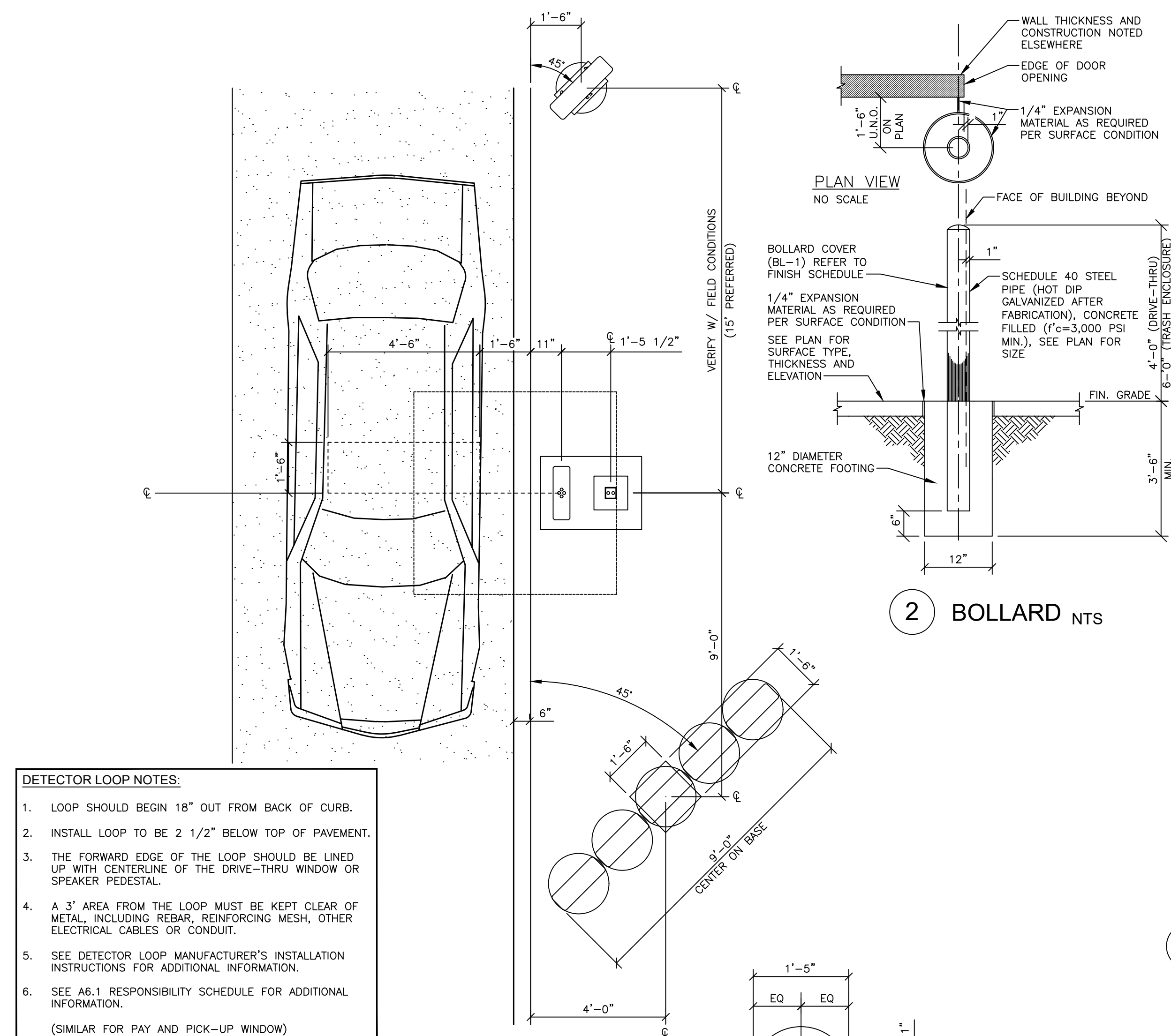
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SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

C6



REF. SITE PLAN FOR LOCATION

DETECTOR LOOP NOTES:

1. LOOP SHOULD BEGIN 18" OUT FROM BACK OF CURB.
2. INSTALL LOOP TO BE 2 1/2" BELOW TOP OF PAVEMENT.
3. THE FORWARD EDGE OF THE LOOP SHOULD BE LINED UP WITH CENTERLINE OF THE DRIVE-THRU WINDOW OR SPEAKER PEDESTAL.
4. A 3' AREA FROM THE LOOP MUST BE KEPT CLEAR OF MATERIAL INCLUDING REBAR, REINFORCING MESH, OTHER ELECTRICAL CABLES OR CONDUIT.
5. SEE DETECTOR LOOP MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION.
6. SEE A6.1 RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION.

(SIMILAR FOR PAY AND PICK-UP WINDOW)

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PROJECT TYPE: NEW
SMART 55 - NARROW

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Civil Engineer
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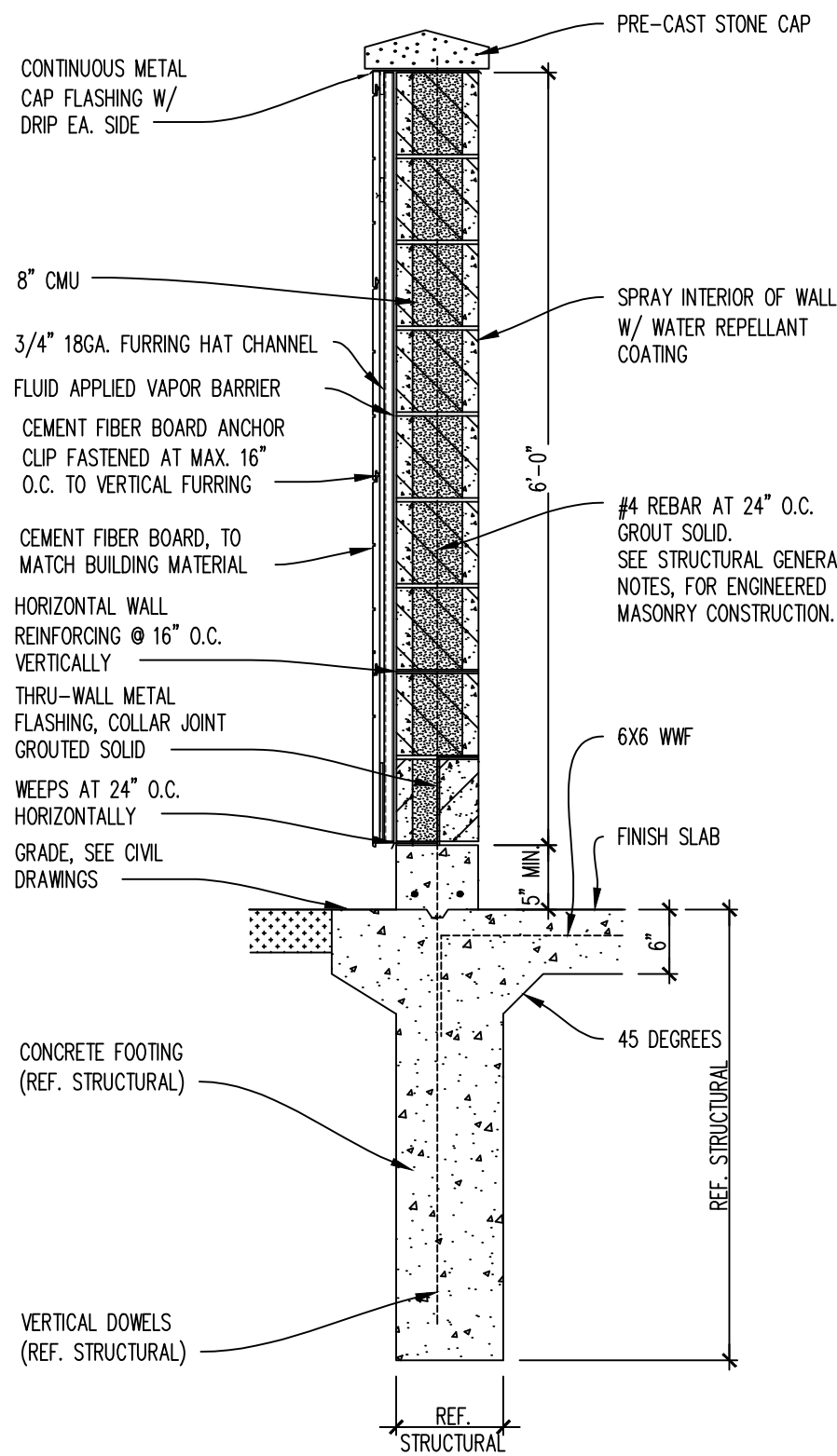
[illegible]

A circular professional engineer seal for the State of Missouri. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. Inside the ring, the name "MICHAEL E. SMITH" is written in a larger font, and "LICENSE NO. 08606" is written below it. A diagonal stamp reading "COPY FOR CONSTRUCTION" is overlaid across the center of the seal. Below the seal is a handwritten signature that reads "Michael E. Smith". Above the seal, the word "SEAL" is printed.

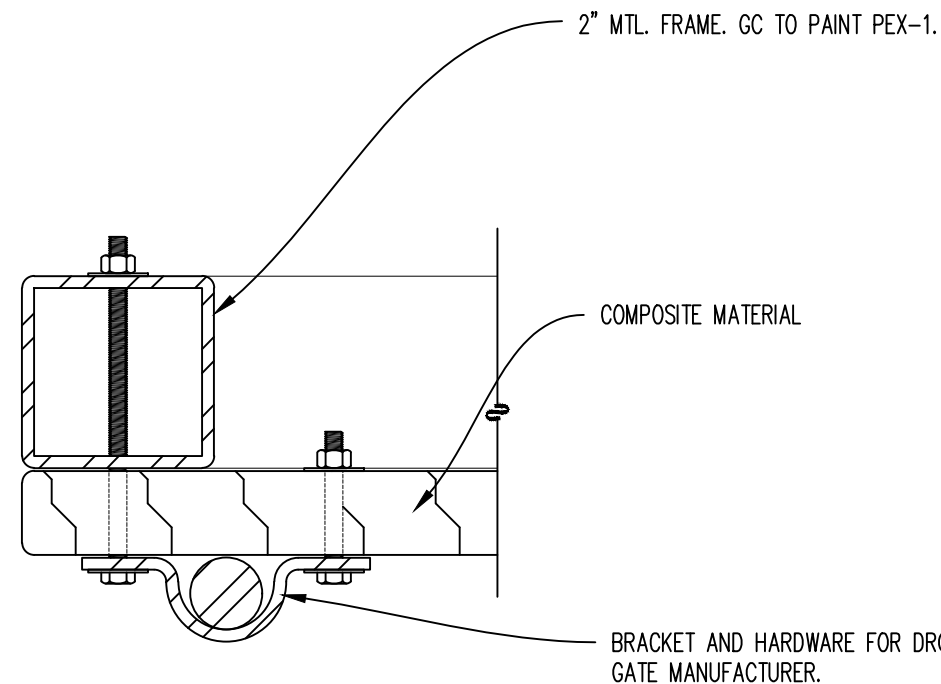
SHEET NAME

DETAILS

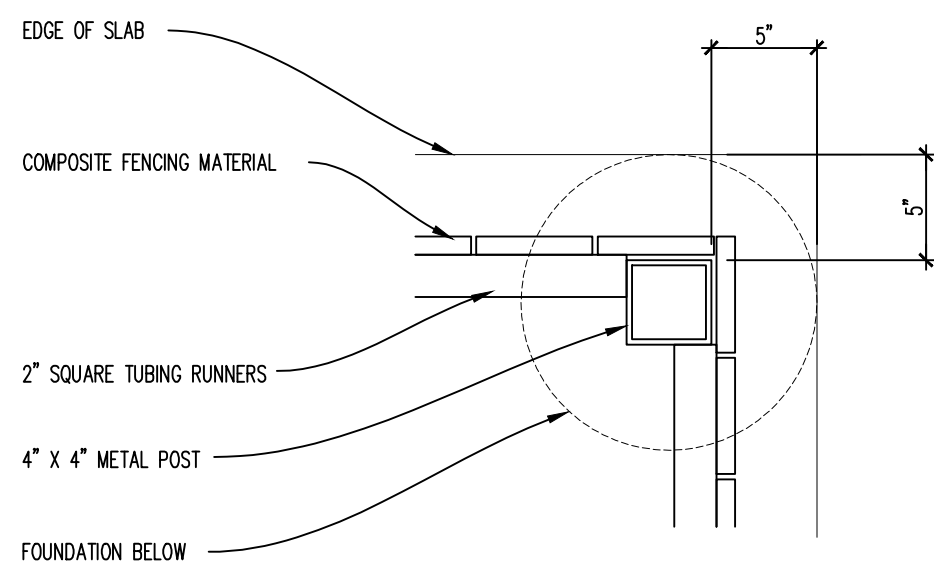
SHEET NUMBER



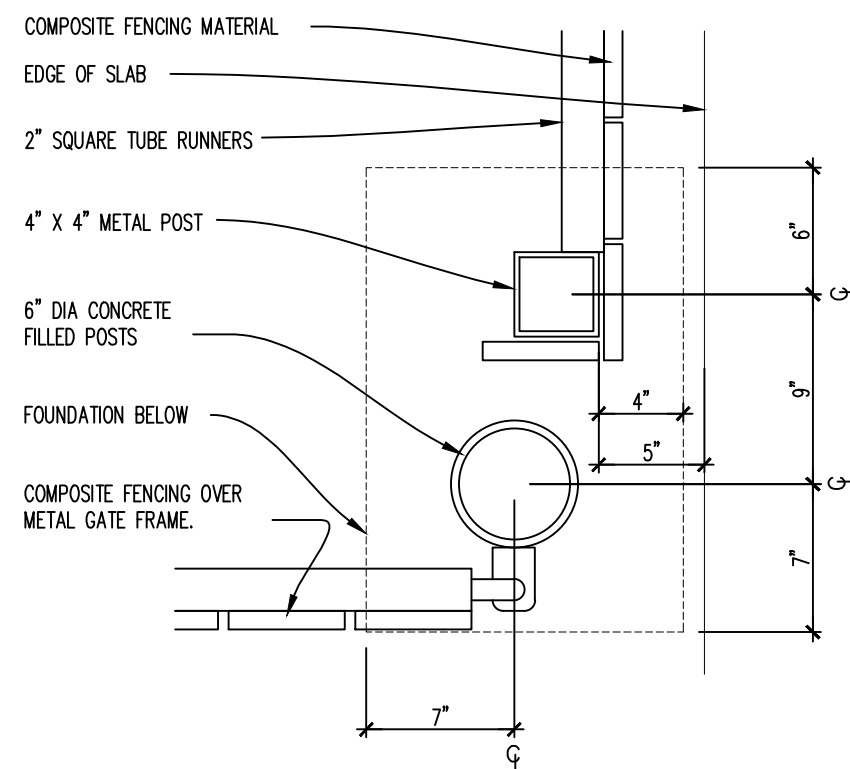
08 WALL SECTION
SCALE: 3/4\"=1'-0"



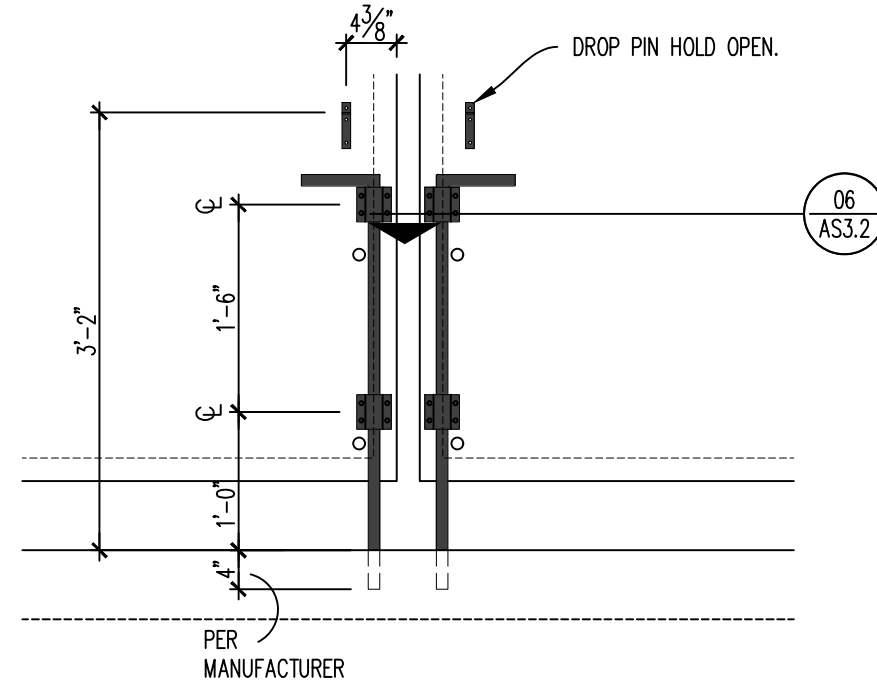
07 DROP-PIN DETAIL COMPOSITE GATE
SCALE: 6\"=1'-0"



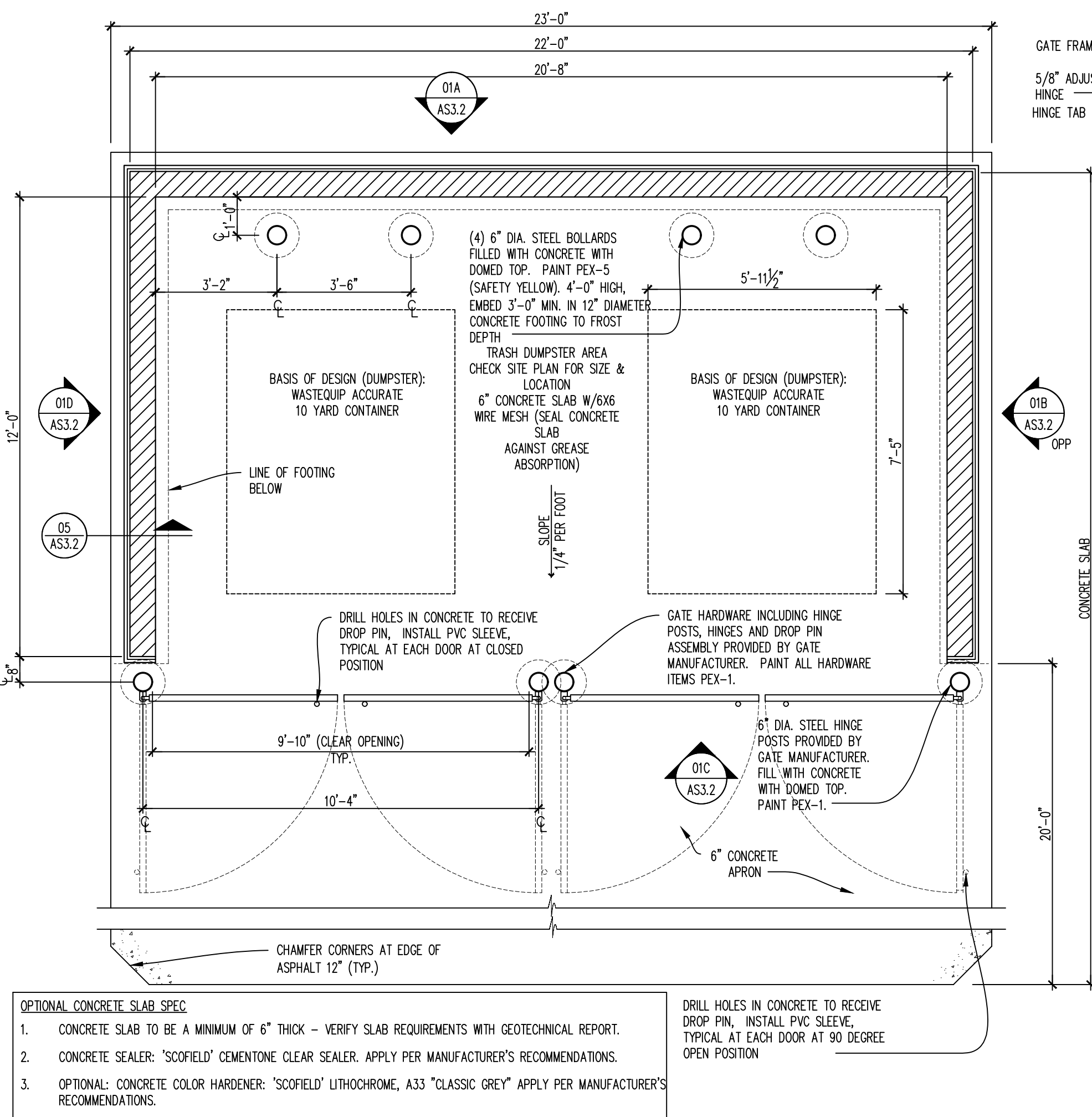
06 PLAN DETAIL
SCALE: 1 1/2\"=1'-0"



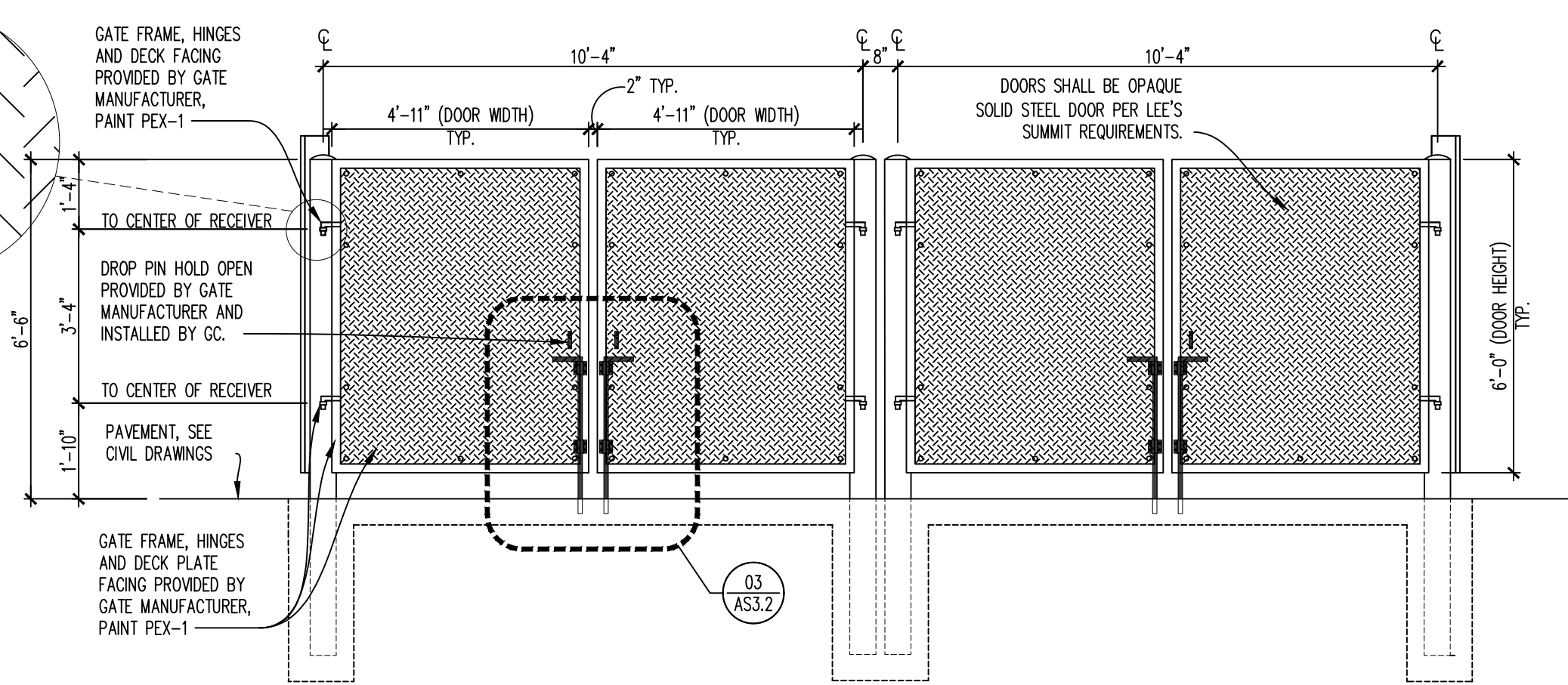
05 PLAN DETAIL
SCALE: 1 1/2\"=1'-0"



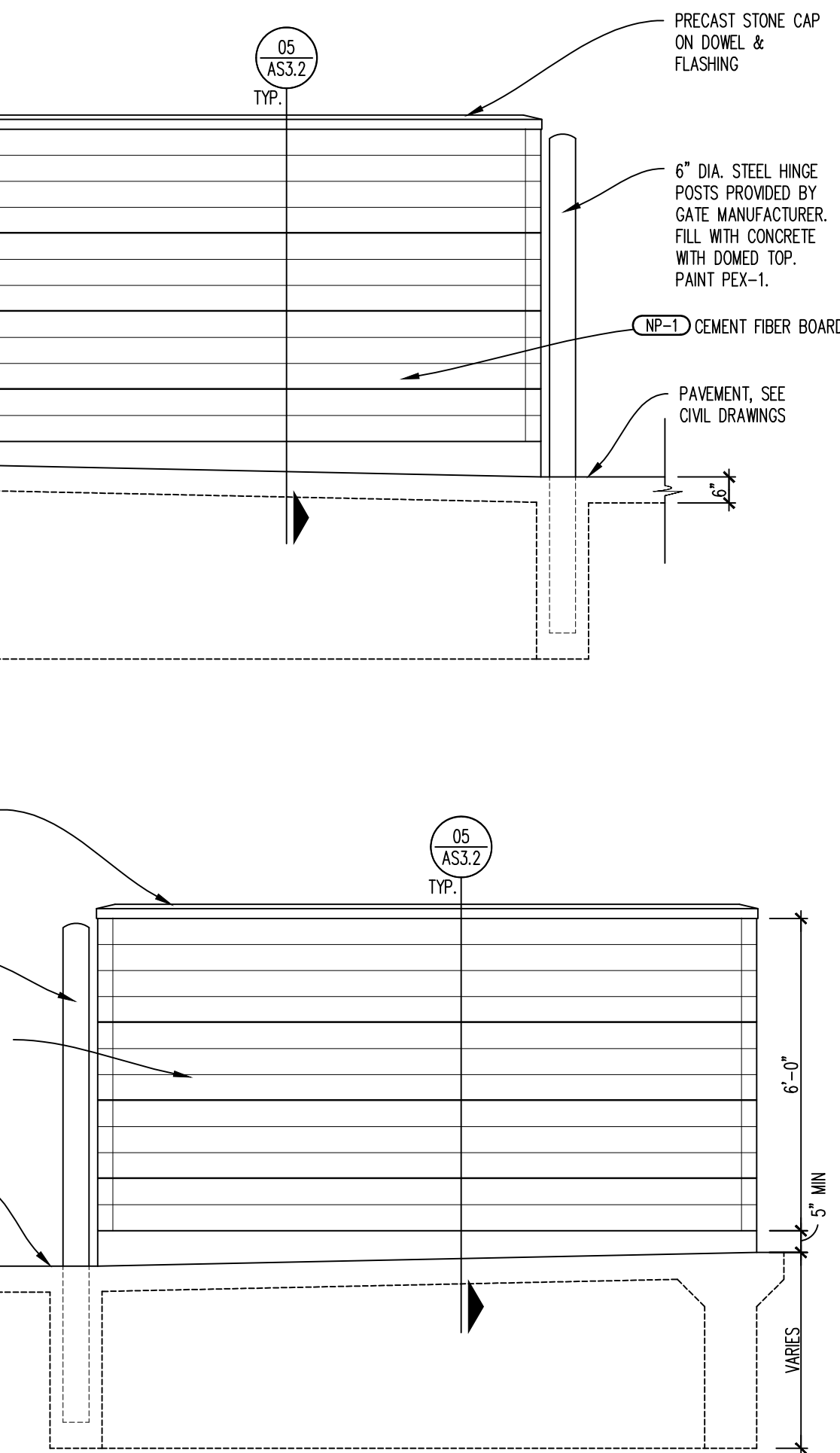
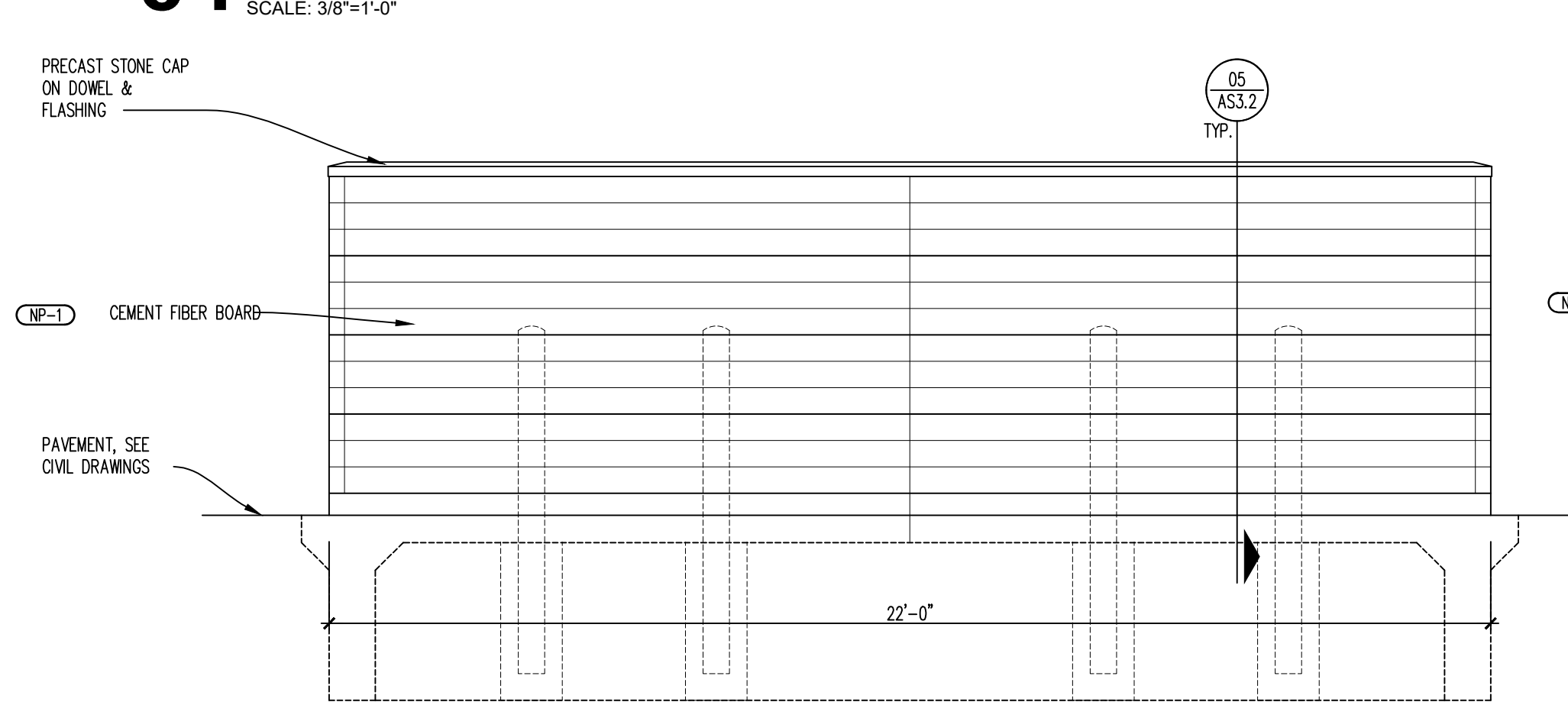
03 DROP PIN DETAIL
SCALE: 3/4\"=1'-0"



02 TRASH ENCLOSURE PLAN
SCALE: 3/8\"=1'-0"



04 ELEVATION - COMPOSITE GATE
SCALE: 3/8\"=1'-0"



01 TRASH ENCLOSURE ELEVATIONS
SCALE: 3/8\"=1'-0"

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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PROJECT TYPE: NEW
SMART 55 - NARROW

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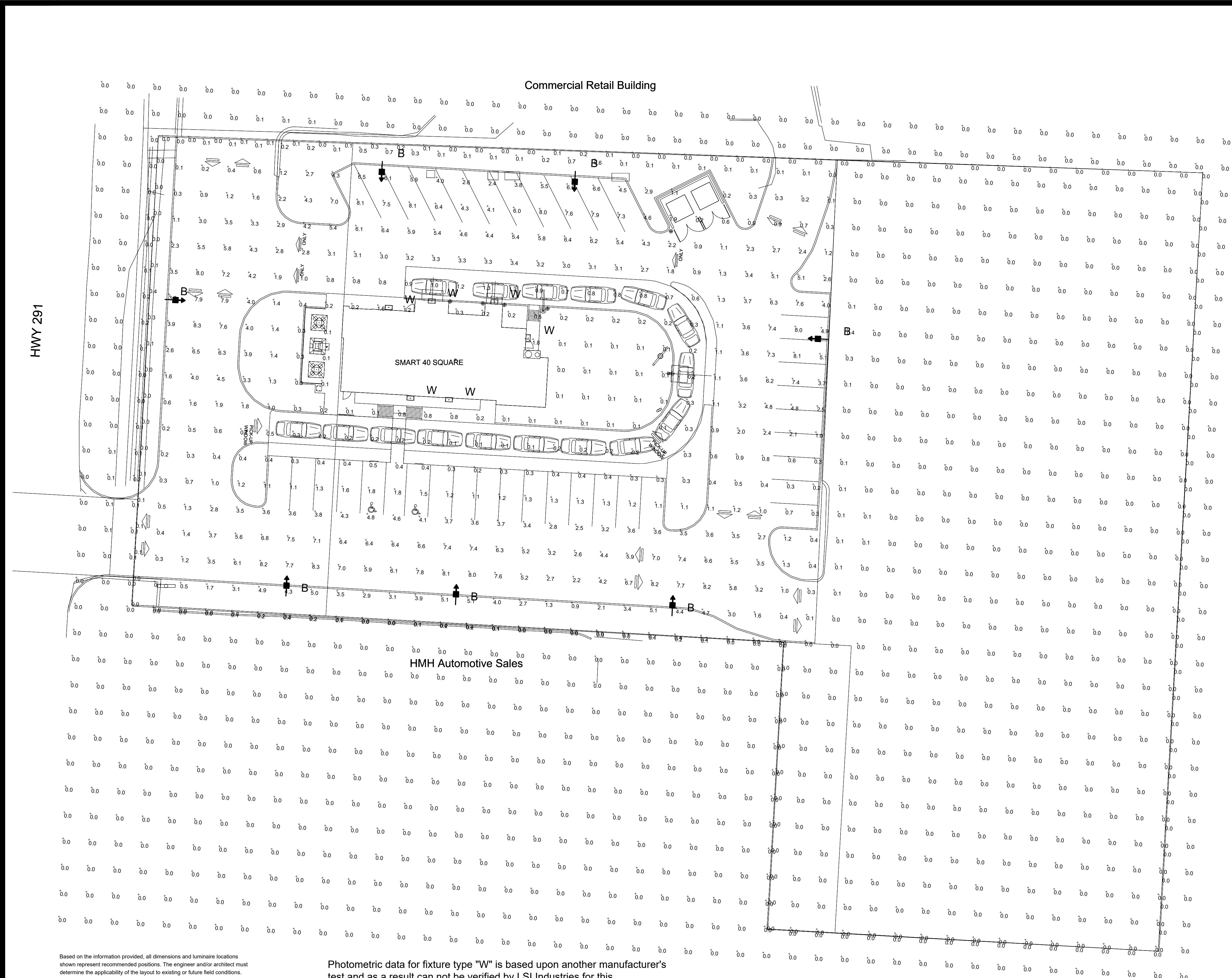
REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: T.J.L. RM
CHECKED BY: MEN. T.J.L.

STATE OF MISSOURI
MICHAEL E. NEIKIRK
Professional Engineer
No. 000000000
C9
SHEET NAME
DETAILS
SHEET NUMBER

C9

C:\Users\jblm\Google Drive\Projects\Dgn\2019\0253\1921 NPC - Wendy's Lee's Summit, MO.dwg
9/2/2019 10:46 AM



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Photometric data for fixture type "W" is based upon another manufacturer's test and as a result can not be verified by LSI Industries for this calculation.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CALCS @ GRADE-	Illuminance	Fc	0.78	8.3	0.0	N.A.
PROPERTY LINE	Illuminance	Fc	0.03	0.4	0.0	N.A.
CURB INTERIOR	Illuminance	Fc	2.91	8.3	0.0	N.A.

Total Project Watts
Total Watts = 1441.6

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLD	UDF
	7	B	SINGLE	SLM-LED-24L-SIL-FT-50-70CRI-IL-SINGLE-18" MH	1.000	1.000
	6	W	SINGLE	WENMS-L16_8-120-27TV (FIXTURE BY OTHERS) 10.5' MH	1.000	1.000

NOT FOR CONSTRUCTION - CITY REVIEW SET



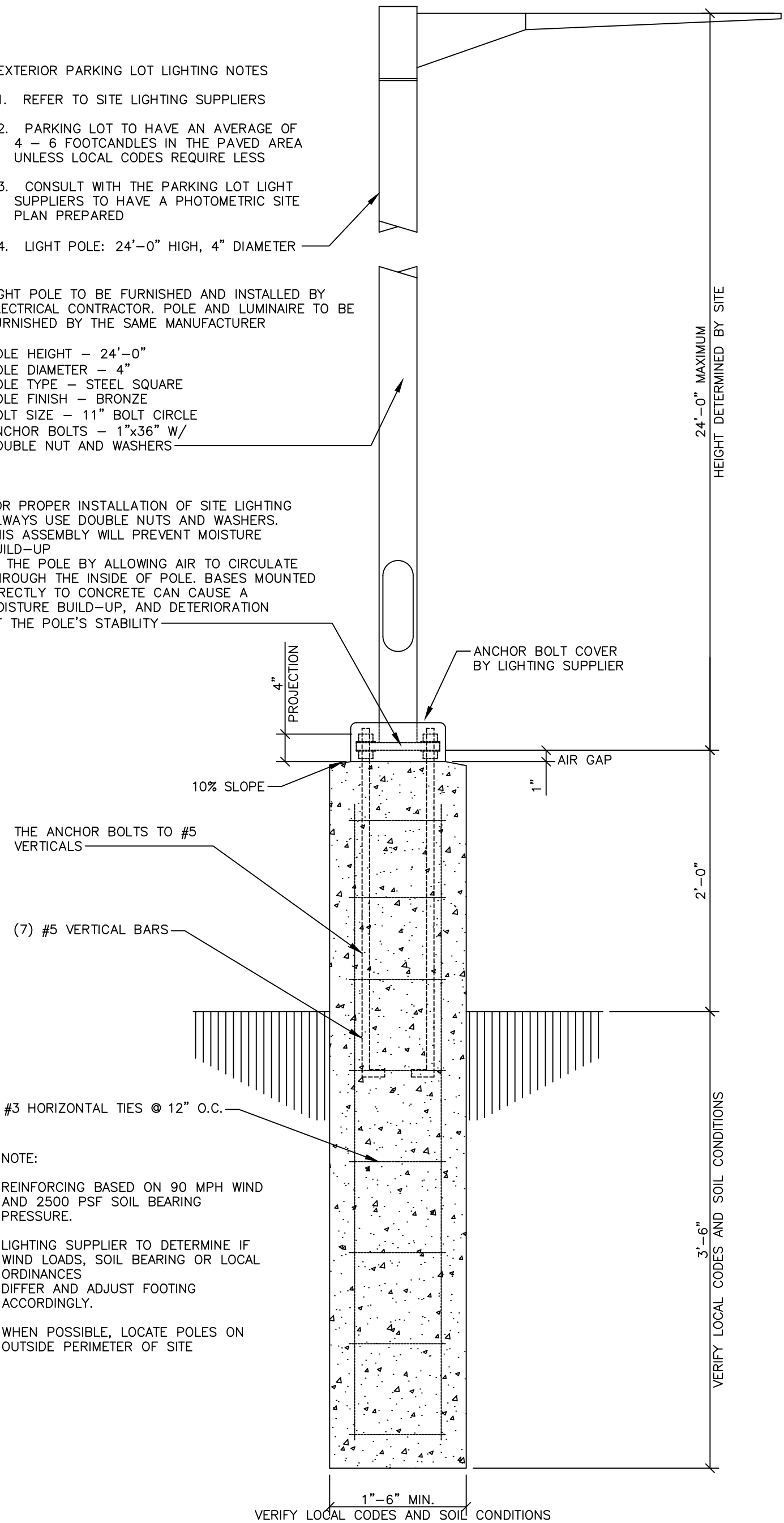
EXTERIOR PARKING LOT LIGHTING NOTES

1. REFER TO SITE LIGHTING SUPPLIERS
2. PARKING LOT TO HAVE AN AVERAGE OF 4 - 6 FOOTCANDLES IN THE PAVED AREA UNLESS LOCAL CODES REQUIRE LESS
3. CONSULT WITH THE PARKING LOT LIGHT SUPPLIERS TO HAVE A PHOTOMETRIC SITE PLAN PREPARED
4. LIGHT POLE: 24'-0" HIGH, 4" DIAMETER

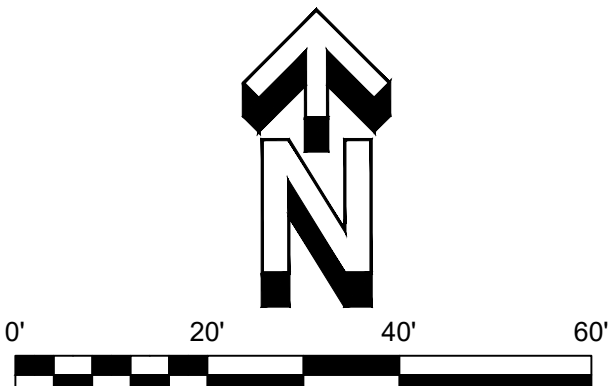
LIGHT POLE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. POLE AND LUMINAIRE TO BE FURNISHED BY THE SAME MANUFACTURER

POLE HEIGHT - 24'-0"
POLE DIAMETER - 4"
POLE TYPE - STEEL SQUARE
POLE FINISH - BRONZE
BOLT SIZE - 1" BOLT CIRCLE
ANCHOR BOLTS - 1"x36" W/
DOUBLE NUT AND WASHERS

FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP, AND DETERIORATION OF THE POLE'S STABILITY



EXTERIOR LIGHT POLE & STANDARD RAISED CONCRETE BASE DETAIL
NO SCALE



SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
NEW BUILD	
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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66211
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CELL: (913) 544-3421

PROJECT TYPE: NEW
SMART 55 - NARROW

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711 E MISSOURI 291 HWY
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REV.	DATE	DESCRIPTION

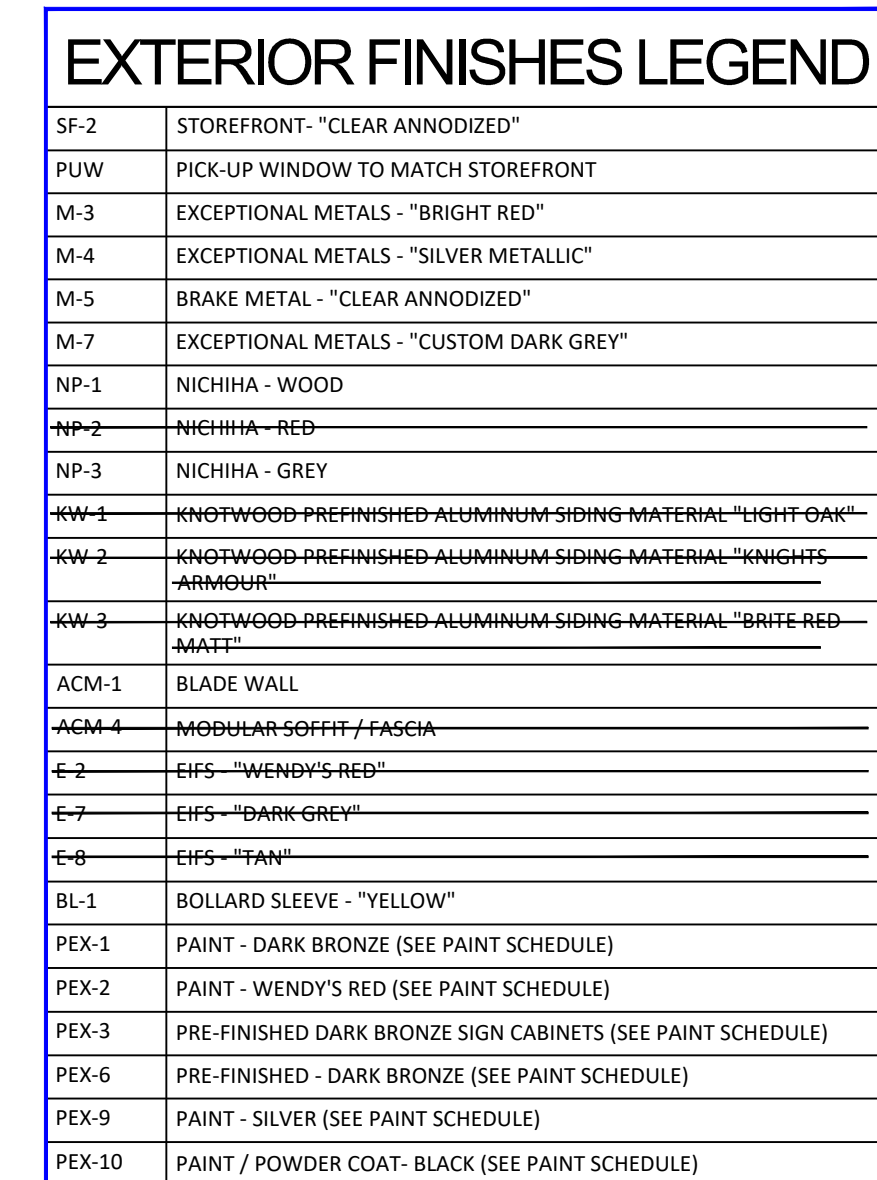
ISSUE DATE: 09-05-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: T.J.L. RM
CHECKED BY: MEN.T.J.L.



PHOTOMETRIC PLAN

SHEET NUMBER

C10



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66211
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FAX: (913) 327-5850

PROJECT TYPE: NEW
SMART 40 - SQUARE

ISSUED FOR
PERMIT
07/26/2019

Wendy's.
#12533 (NPCQB #6042)
711 SE M-291 HWY
LEE'S SUMMIT, MO 64063

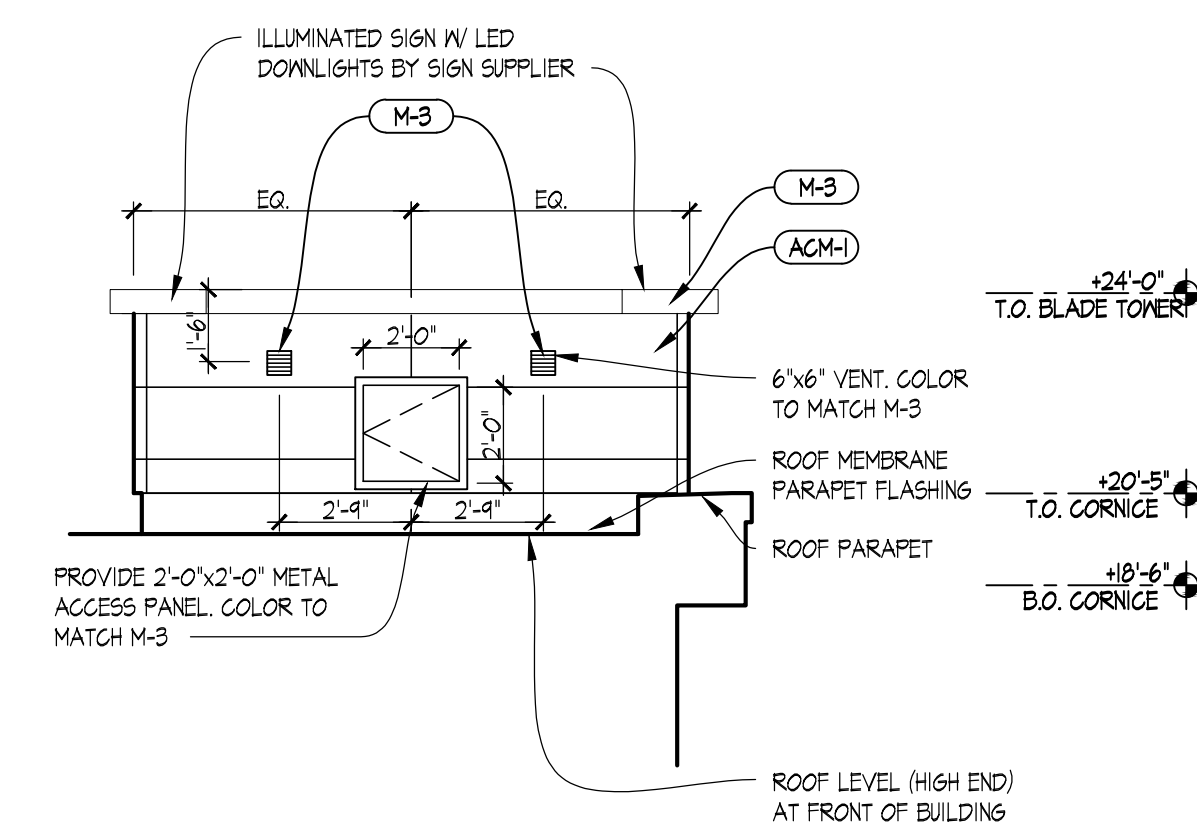
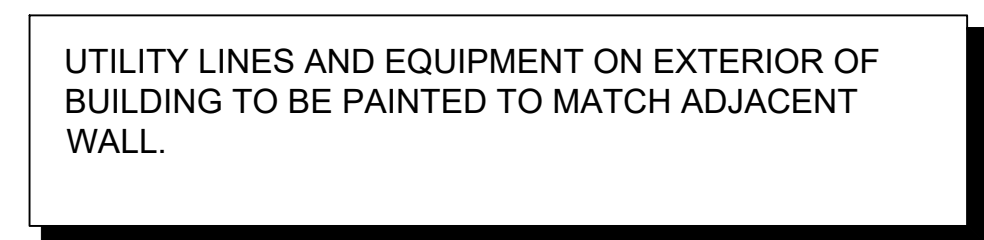
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SHEET NAME

NICHIHA FINISH OPTION
SMART 40 SQUARE

SHEET NUMBER

A2.1

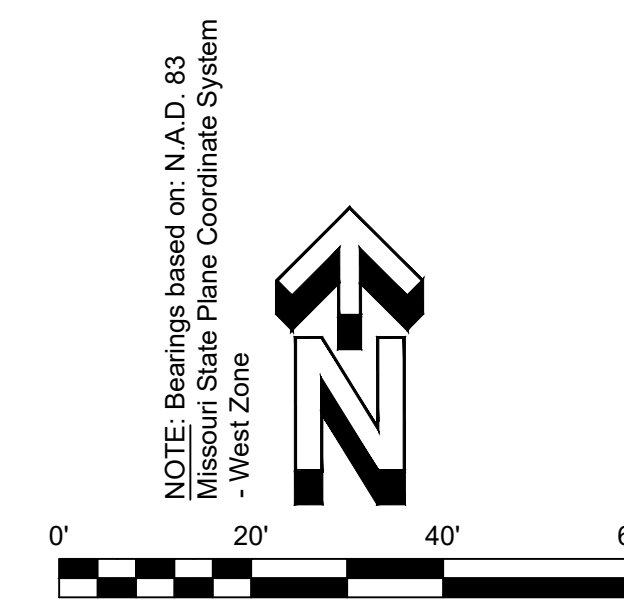


05 NORTH - DRIVE THRU ELEVATION

03 REAR DRIVE THRU ELEVATION

02 EAST - REAR ELEVATION

01 WEST - FRONT ELEVATION



EXISTING NORTHWEST DRAINAGE AREA:

TOTAL AREA = 0.12 ACRES
IMPERVIOUS AREA = 0.09 ACRES @ C=0.90
PERVIOUS AREA = 0.03 ACRES @ C=0.30
COMPOSITE C = 0.75

TIME OF CONCENTRATION = 7.75 MIN.
I 100 YEAR = 9.29 IN/HOUR

$Q = CIA = (0.75)(9.29 \text{ IN/HOUR})(0.12 \text{ ACRES}) = 0.84 \text{ CFS}$

EXISTING NORTHEAST DRAINAGE AREA:

TOTAL AREA = 0.15 ACRES
IMPERVIOUS AREA = 0.12 ACRES @ C = 0.90
PERVIOUS AREA = 0.03 ACRES @ C = 0.30
COMPOSITE C = 0.78

TIME OF CONCENTRATION = 2.09 MIN. THEREFORE USE 5 MIN. MIN.
I 100 YEAR = 10.3 IN/HOUR

$Q = CIA = (0.78)(10.3 \text{ IN/HOUR})(0.15 \text{ ACRES}) = 1.21 \text{ CFS}$

EXISTING SOUTHEAST DRAINAGE AREA:

TOTAL AREA = 0.82 ACRES
IMPERVIOUS AREA = 0.79 ACRES @ C = 0.90
PERVIOUS AREA = 0.03 ACRES @ C = 0.30
COMPOSITE C = 0.88

TIME OF CONCENTRATION = 6.99 MIN.
I 100 YEAR = 9.6 IN/HOUR

$Q = CIA = (0.88)(9.6 \text{ IN/HOUR})(0.82 \text{ ACRES}) = 6.93 \text{ CFS}$

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[illegible]

EXISTING DRAINAGE AREAS

EX. 1



Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).

C-VALUES ARE FROM TABLE 5602-3 RUNOFF PARAMETERS, TIME OF CONCENTRATION CALCULATIONS WERE COMPLETED USING EQUATION FROM SECTION 5602.7, AND INTENSITIES WERE CALCULATED USING TABLE 5602-5 FROM APWA STORM DRAINAGE SYSTEMS AND FACILITIES MANUAL.

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[illegible]

PROPOSED DRAINAGE AREA

SHEET NUMBER

EX. 2



1 WEST ELEVATION
NOT TO SCALE



2 SOUTH ELEVATION
NOT TO SCALE



3 EAST ELEVATION
NOT TO SCALE



4 NORTH ELEVATION
NOT TO SCALE

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: T.J.L. RM
CHECKED BY: MEN.T.J.L.



SHEET NAME
COLORED RENDERINGS

SHEET NUMBER

EX. 3