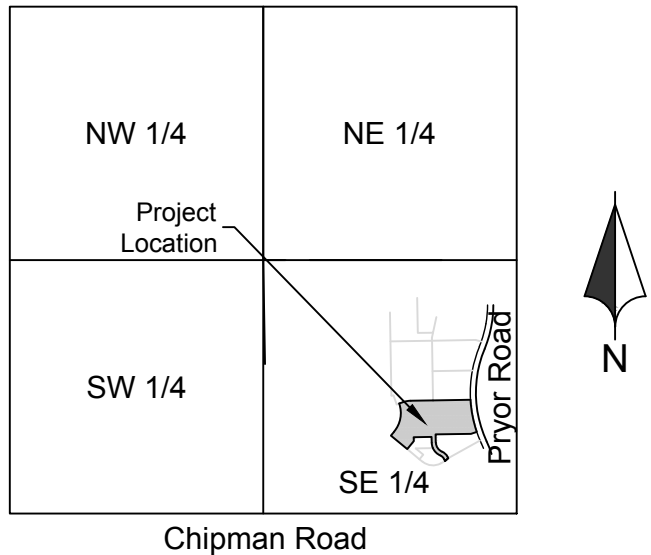


Final Development Plans For
McKeever's Market & Eatery #950
840 NW Pryor Road
Lee's Summit, Jackson County, Missouri



LOCATION MAP
SECTION 35-48-32
Scale 1" = 2000'

UTILITIES

WATER & SANITARY SEWER
City of Lee's Summit Water Utilities
1200 SE Hamblen Road
Lee's Summit, MO
Phone: 816.969.1900

TELEPHONE
AT&T
Phone: 800.288.2020

ELECTRICITY
Kansas City Power and Light
Phone: 816.471.5275

CABLE TV
Comcast
Phone: 816.795.1100

GAS
Missouri Gas Energy
PO Box 219255
Kansas City, Missouri 64141
Phone: 816.756.5252

Time Warner Cable
Phone: 816.222.5952

Time Warner Cable
Phone: 816.358.8833

Oil / Gas Well Note:
There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri", by Edward Alton May.

Flood Plain Note
We have reviewed the F.E.M.A. Flood Insurance Rate Map Number 29095C0417G, revised January 20, 2017, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

DATUM BENCHMARK:
VERTICAL DATUM IS NAVD 88 ESTABLISHED USING
OPUS PROJECTS ON PROJECT CONTROL.

BENCHMARKS:
BM #1: CHISELED "SQUARE" ON TOP OF CURB POINT
OF INTERSECTION OF WEST PARK PARKING LOT AT
EAST DRIVE ENTRANCE. ELEV=985.05

BM #2: CHISELED "SQUARE" ON NORTHWEST CORNER
AREA INLET, 25'± EAST OF CURB LINE AND ON-LINE
WITH SOUTH CURB OF NW LOWENSTEIN DRIVE AT 90'
BEND IN ROAD. ELEV=971.06



LEGEND

— — — — —	Existing Section Line	— — — — —	Proposed Right-of-Way
— — — — —	Existing Right-of-Way Line	— — — — —	Proposed Property Line
— — — — —	Existing Lot Line	— — — — —	Proposed Lot Line
- - - - -	Existing Easement Line	— U/E —	Proposed Easement
=====	Existing Curb & Gutter	=====	Proposed Curb & Gutter
=====	Existing Sidewalk	=====	Proposed Sidewalk
=====	Existing Storm Sewer	=====	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
— WA — WA —	Existing Waterline	⋈	Proposed Fire Hydrant
— GAS — GAS —	Existing Gas Main	— WL —	Proposed Waterline
— SAN —	Existing Sanitary Sewer	— SS —	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	●	Proposed Sanitary Manhole
— — — — —	Existing Contour Major	— — — — —	Proposed Contour Major
— — — — —	Existing Contour Minor	— — — — —	Proposed Contour Minor
		=====	Future Curb and Gutter

DEVELOPER/APPLICANT

Super Market Developers, Inc.
Attn: Joel Riggs
5000 Kansas Avenue
Kansas City, Kansas 66106

CONSULTANT

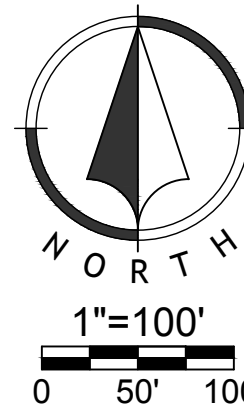
Renaissance Infrastructure Consulting
Dustin Burton, P.E.
1815 McGee Street, Suite 200
Kansas City, MO 64108

INDEX OF SHEETS

Sheet Number	Sheet Title
C01	Title Sheet
C02	General Layout
C03	Improvements By Others
C04	Site Plan
C05	Grading Plan
C06	Grading Details
C07	Grading Details
C08	Site Utility Plan
C09	Site Drainage - Roof Drains
C10	Site Drainage - Roof Drains Profiles
C11	Site Drainage - Roof Drains Profiles
C12	Drainage Area Map
C13	Erosion Control Phase I
C14	Erosion Control Phase II
C15	Erosion Control Phase III
C16	TYPICAL DETAILS- GENERAL
C17	TYPICAL DETAILS-GENERAL
C18	TYPICAL DETAILS-WATER
L01- L02	Landscape Plans

GENERAL NOTES

- All construction shall be in accordance with the current City of Lee's Summit "Design and Construction Manual" as adopted by Ordinance 5813. Where discrepancies exist between the Final Development Plan and the Design and Construction Manual, the Design and Construction Manual shall govern.
- The Contractor shall be responsible for obtaining insurance and securing all bonds, as required by the Contract Documents, the City of Lee's Summit, Mo., and all other governing agencies (including local, county, state, and federal authorities) having jurisdiction over the work proposed by these Construction Documents. The cost for all bonds, and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
 - All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and not shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his/her expense.
 - The contractor shall be responsible for all damages to existing utilities, pavement, fences, structures, and other features caused by construction activities not designated for removal. The contractor shall repair all damages at his/her expense.
 - The demolition of existing pavement, curbs, structures, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state, and federal regulations.
 - By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
 - The contractor shall be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
 - Contractor shall furnish evidence that his/her insurance meets the requirements of the City of Lee's Summit, Missouri Municipal Code.
 - Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage systems to the storm sewer), contact the City of Lee's Summit Development Engineering Inspections.
 - Connections to the public storm sewers between structures shall not be permitted.
 - Contractor shall verify and accept existing topography shown herein. Contractor shall notify Engineer of any discrepancies found prior to any earthwork activities.
 - Planning and Codes Administration require retaining wall design by a registered engineer in the State of Missouri.
 - Geogrid, footings, or other elements of the retaining wall(s) shall not encroach into the right of way or public easements.
 - All building and life safety issues shall comply with the 2018 International Fire Code and local amendments as adopted by the City of Lee's Summit.



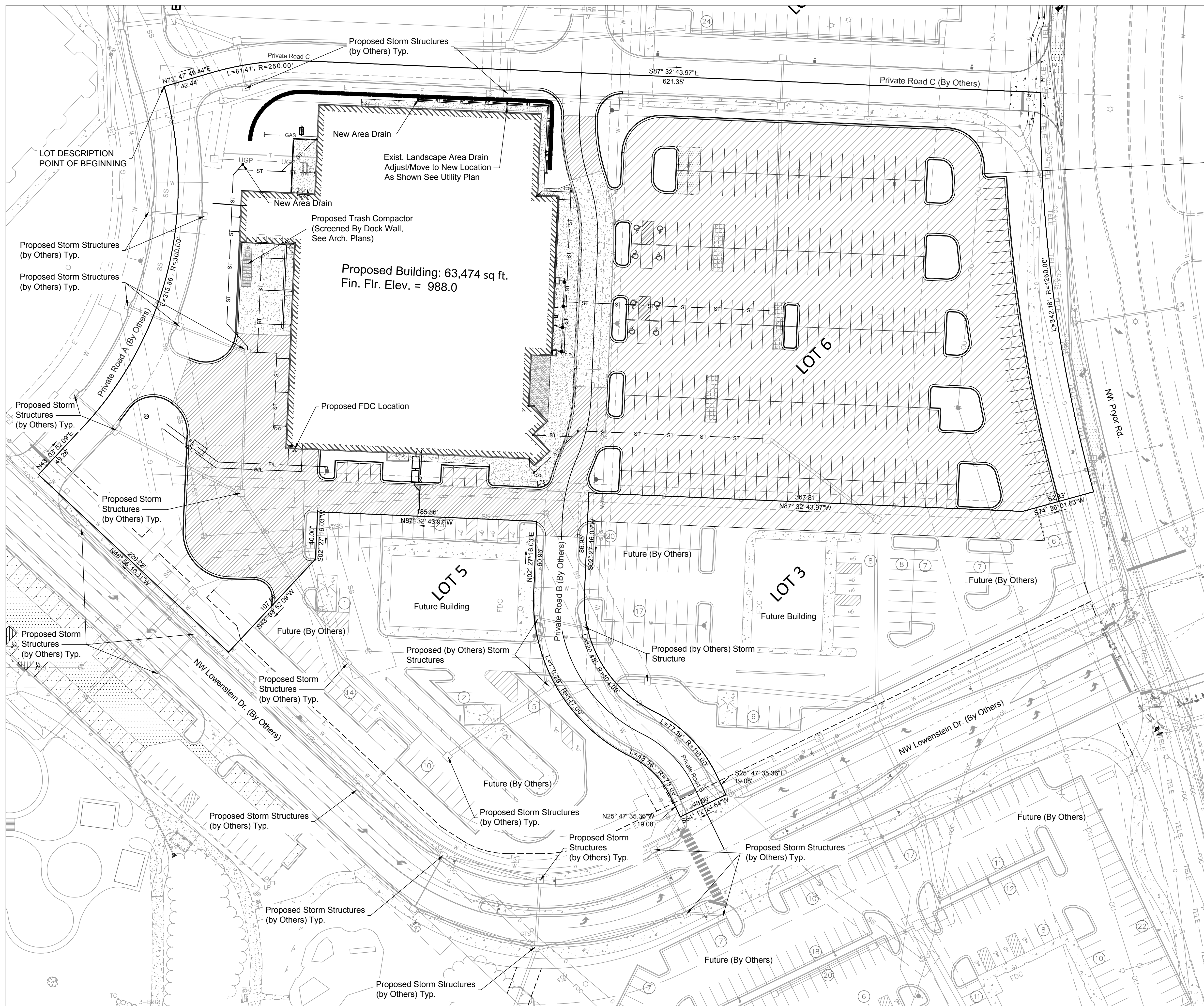
[illegible]

LOT 6 of
STREETS OF WEST PRYOR
LOTS 1 THRU 14,
TRACTS "A", "B", "C", & "D"

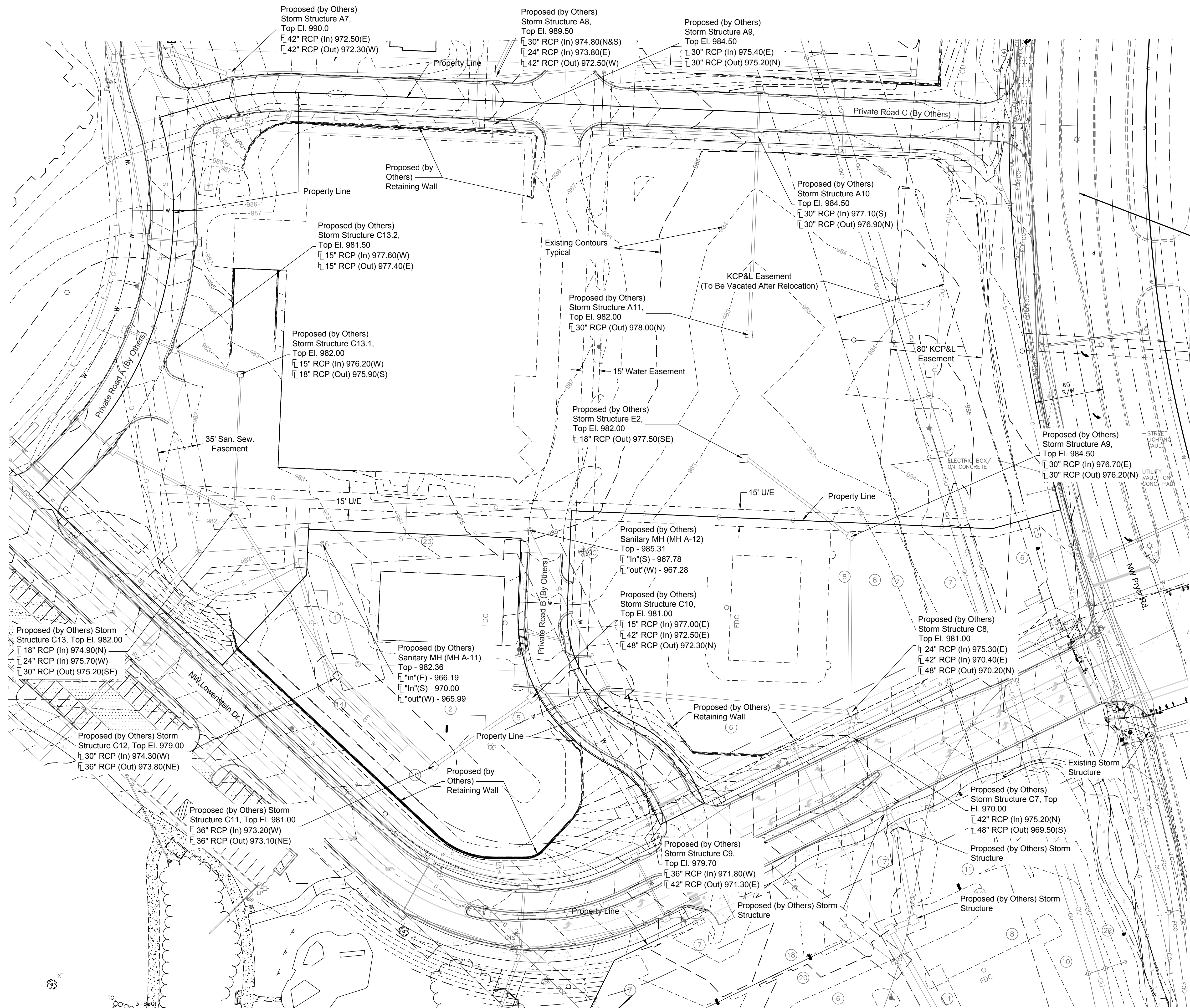
LOT DESCRIPTION

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 35; THENCE ON THE WEST LINE OF SAID SOUTHEAST QUARTER, ON AN ASSUMED BEARING OF S 02°27'18" W 332.72 FEET; THENCE N 31°23'08" E 362.27 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 470; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, S 85°14'51" E 358.55 FEET TO THE NORTHWEST CORNER OF GERBER HEIGHTS RECORDED IN BLOCK 151, PAGE 74; THENCE ON THE WESTERLY LINE OF SAID GERBER HEIGHTS, S 24°49'45" E 579.75 FEET TO THE SOUTHWEST CORNER OF SAID GERBER HEIGHTS; THENCE ON THE SOUTH LINE OF SAID GERBER HEIGHTS, S 85°07'20" E 511.36 FEET TO THE SOUTHEAST CORNER OF SAID GERBER HEIGHTS; THENCE S 02°27'18" W 866.84 FEET; THENCE S 87°32'44" E 21.89 FEET; THENCE S 16°12'11" E 87.91 FEET; THENCE S 73°45'02" E 122.42 FEET TO THE BEGINNING OF A TANGENT CURVE THE RIGHT; THENCE 73°45'02" E 122.42 FEET, TO THE BEGINNING OF A TANGENT CURVE THE RIGHT; THENCE NORTHEASTERLY AND EASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 250.00 FEET, AN ARC LENGTH OF 81.41 FEET, AND WHOSE CHORD BEARS N 83°07'33" E 81.05 FEET; THENCE S 87°32'44" E 621.35 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF NW PRYOR ROAD; THENCE SOUTHEASTERLY ON THE ARC OF SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE, HAVING A RADIUS OF 1260.00 FEET, AN ARC LENGTH OF 342.18 FEET, AND WHOSE CHORD BEARS S 07°37'10" E 341.13 FEET; THENCE S 74°36'02" W 62.33 FEET; THENCE N 87°32'44" W 367.81 FEET; THENCE S 02°27'18" W 86.95 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT; THENCE SOUTHERLY AND SOUTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 116.00 FEET, AN ARC LENGTH OF 77.19 FEET, AND WHOSE CHORD BEARS S 30°43'59" E 113.86 FEET TO THE BEGINNING OF A REVERSE CURVE TO THE RIGHT; THENCE SOUTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 116.00 FEET, AN ARC LENGTH OF 77.19 FEET, AND WHOSE CHORD BEARS S 44°51'25" E 75.78 FEET; THENCE S 25°47'35" E 19.08 FEET; THENCE S 64°12'25" W 43.00 FEET; THENCE N 25°47'35" E 19.08 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 73.00 FEET, AN ARC LENGTH OF 48.58 FEET, AND WHOSE CHORD BEARING N 44°51'25" W 47.69 FEET TO THE BEGINNING OF A REVERSE CURVE TO THE RIGHT; THENCE NORTHWESTERLY AND NORTHERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 147.00 FEET, AN ARC LENGTH OF 170.29 FEET, AND WHOSE CHORD BEARS, N 30°43'59" W 160.93 FEET; THENCE N 02°27'18" E 60.96 FEET; THENCE N 87°32'44" W 185.86 FEET; THENCE S 44°51'25" E 100.00 FEET; THENCE S 43°03'52" W 107.65 FEET; THENCE N 46°58'08" W 222.02 FEET; THENCE N 43°03'52" E 108.78 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY AND NORTHERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 300.00 FEET, AN ARC LENGTH OF 315.86 FEET, AND WHOSE CHORD BEARS N 13°57'34" E 301.47 FEET TO THE POINT OF BEGINNING.

CONTAINS 311,668 SQUARE FEET, 7.15 ACRES MORE OR LESS

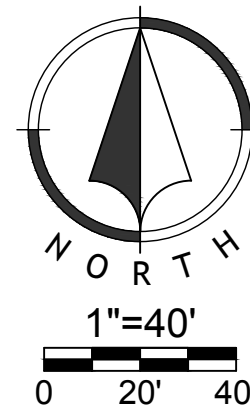


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NOTES

- See "Title Sheet" C01 for General Notes.
- Storm Structure Information shown is taken from the "Streets of West Pryor Final Drainage Study" Prepared by Kaw Valley Engineering, Inc., 2319 N. Jackson, Junction City, Kansas, 66441, (785)762-5040. Renaissance Infrastructure Consulting is not responsible for the accuracy of the information shown hereon and the accompanying tables shown on sheet C09.
- The Contractor shall verify existing structures locations, sizes and descriptive type information prior to beginning construction activities.



Sheet
C03

Final Development Plans

18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

Improvements By Others

NO.	BY	DD	DATE	REVISION
5	C.R.	DJB	09/27/19	Revised Per FDP Comments
4	C.R.	DJB	07/30/19	Issued For Building Permit
3	C.R.	DJB	07/23/19	Resubmitted To City
2	C.R.	DJB	07/11/19	Check Set
1	C.R.	DJB	05/24/19	Submitted To City

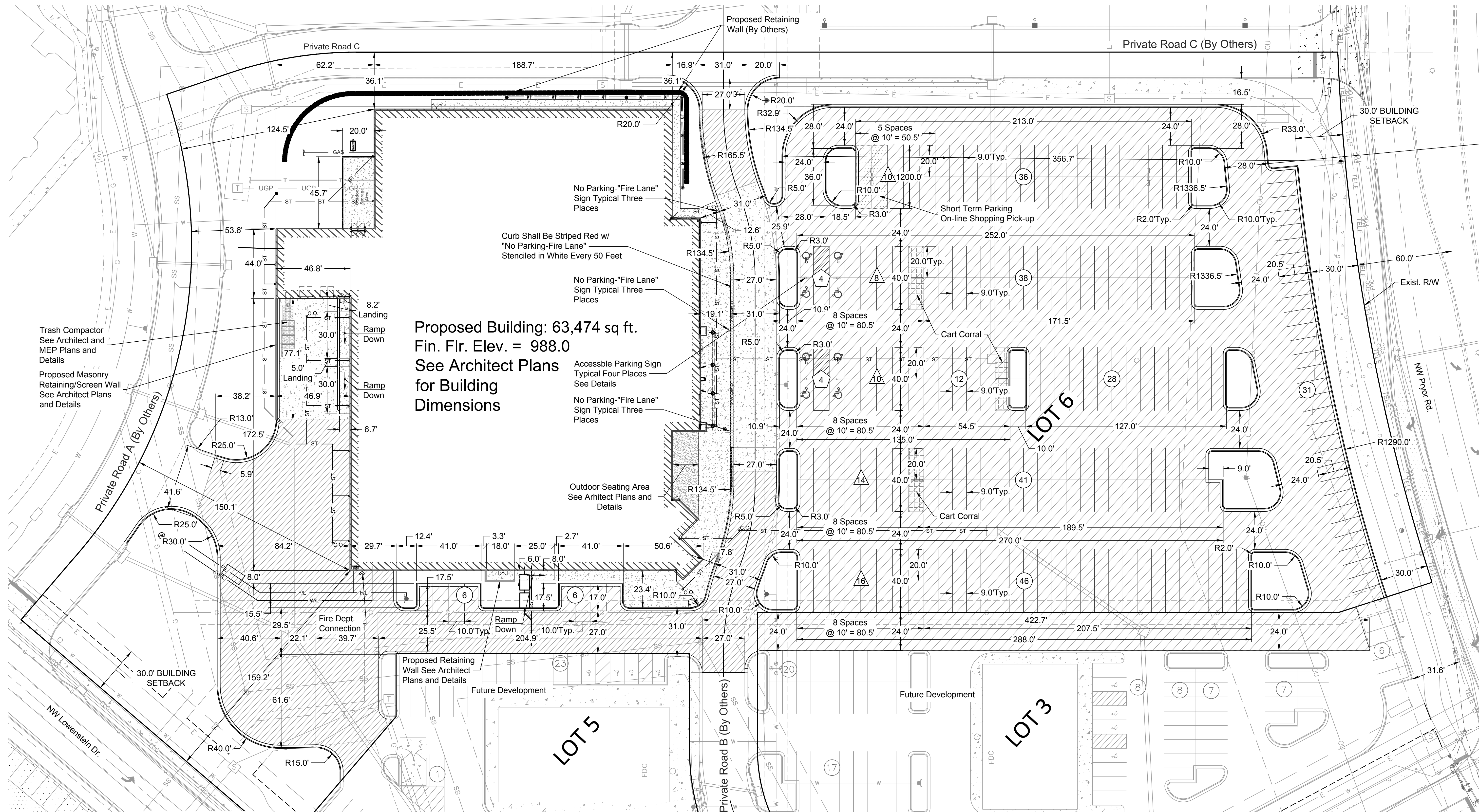
**Renaissance
Infrastructure
Consulting**

913.317.9500
WWW.RIC-CONSULT.COM
132 ABBIE AVENUE
KANSAS CITY, KANSAS 66103



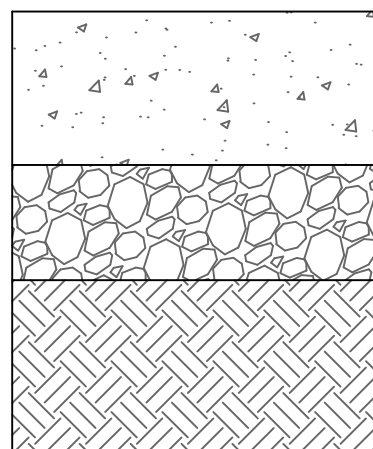
MO Certificate of Authority: E-2010033630

NO.	BY	DATE	REVISION
5	C.R.	D.J.B.	09/27/19
4	C.R.	D.J.B.	07/30/19
3	C.R.	D.J.B.	07/23/19
2	C.R.	D.J.B.	07/11/19
1	C.R.	D.J.B.	05/24/19

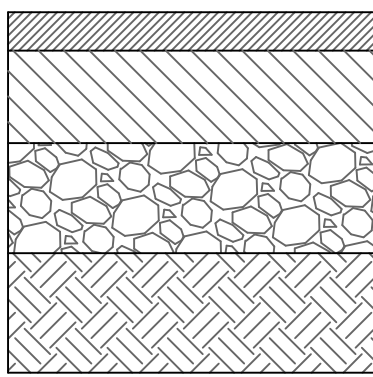


Proposed Building: 63,474 sq ft.
Fin. Flr. Elev. = 988.0
See Architect Plans
for Building
Dimensions

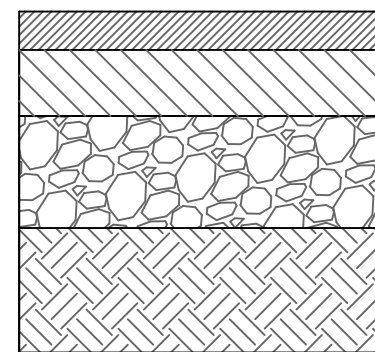
PC Concrete Pavement



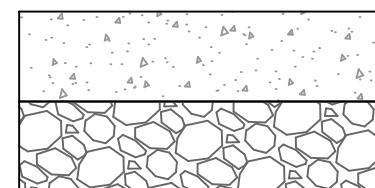
Heavy Duty Asphalt Pavement



Light Duty Asphalt Pavement

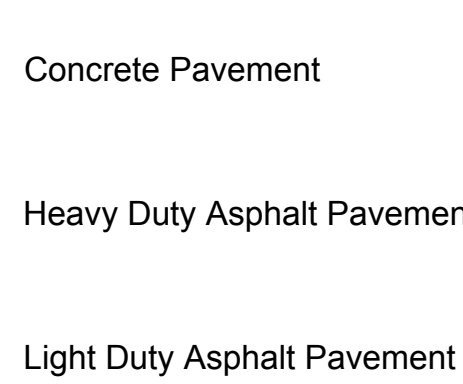


Concrete Walk/Storage Area Pavement

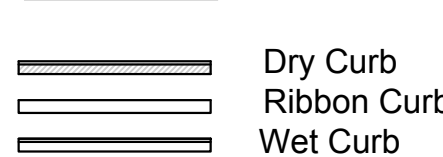


Pavement Sections are based on information from
a Geotechnical Report, Dated 06/15/2018
Prepared By Cook, Flatt & Strobel Engineers, P.A.

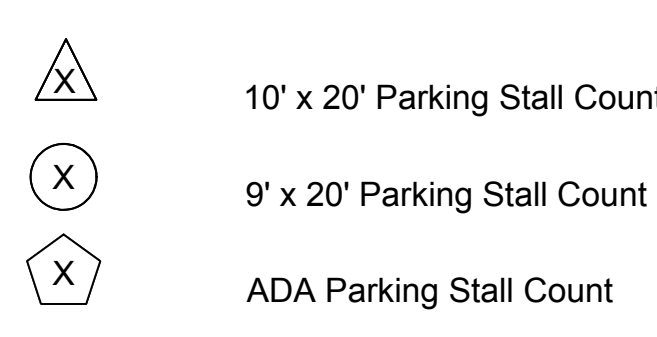
Pavement Legend



Curb Legend



Parking Count Legend:

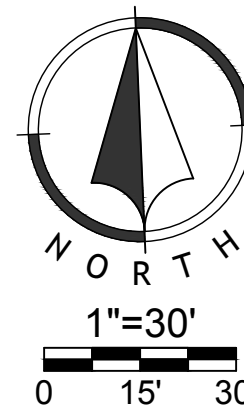


Parking Required

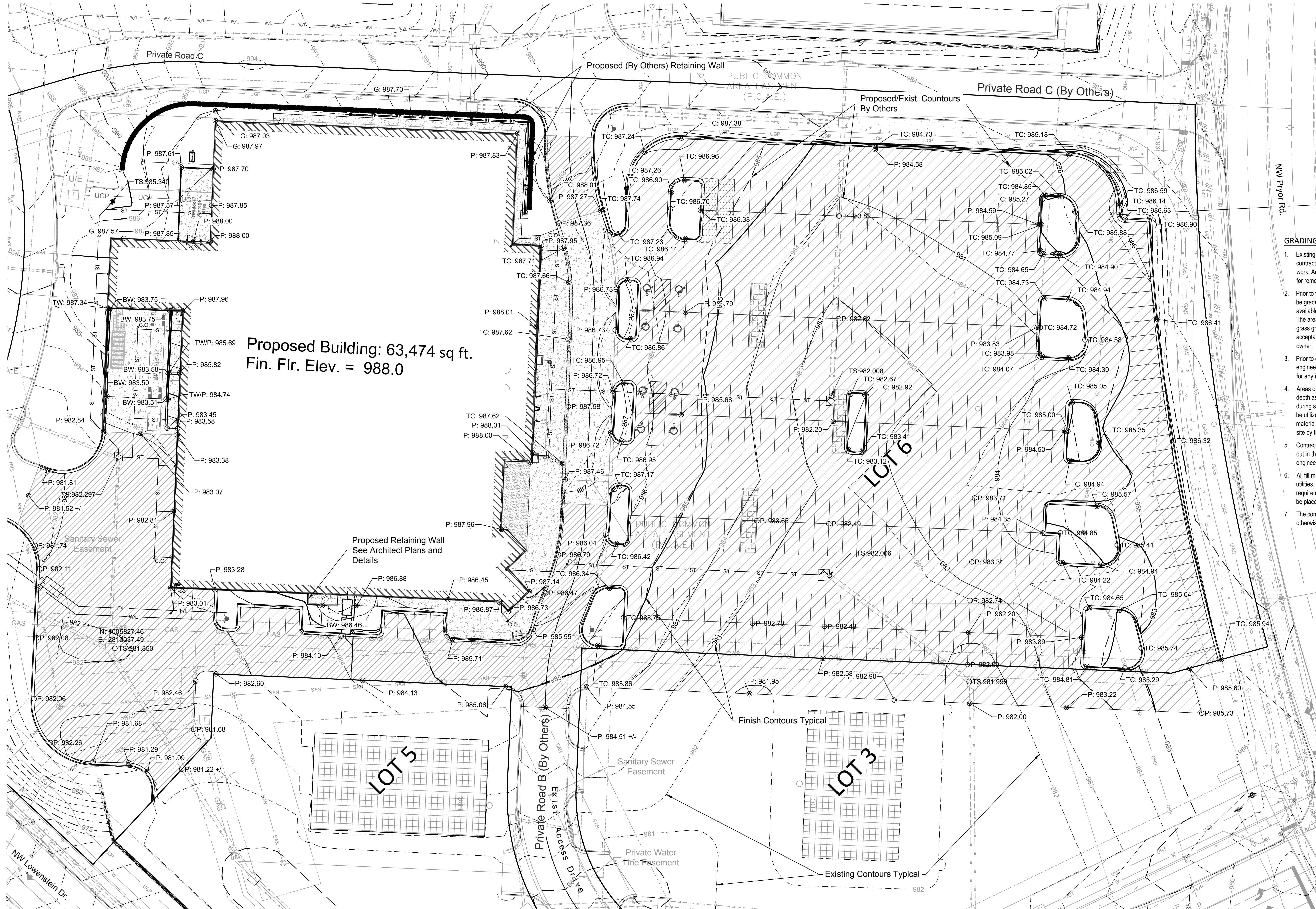
253 Stalls
Parking Provided
58 10' Stalls
238 9' Stalls
8 10' ADA Stalls
304 Total Stalls Provided

SITE DATA TABLE

FAR :	(63474 / 311668) = 20.4%
Lot Area (sf):	311,668 sf
Lot Area (ac):	7.15 ac
Building Area:	63,474 sf
Paved Area:	186,285 sf
Impervious Area:	249,454 sf (80%)
Pervious Area:	62,214 sf (20%)



Oct 01, 2019 - 7:32am
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Overall Grading Plan
Scale: 1" = 30'

LEGEND

- TC: Top of Curb
- P: Pavement
- TS: Top of Structure
- FL: Flowline of Pipe
- G: Ground
- (HP) High Point
- (LP) Low Point
- TW: Top of Wall
- BW: Bottom of Wall

GRADING AND CLEARING NOTES:

- Existing utilities as shown are approximate locations only, it shall be the responsibility of the contractor to verify the locations of all existing utilities prior to the start of any construction work. Any damage to existing structures, utilities, fences and/or incidentals not designated for removal shall be repaired at the contractor's expense.
- Prior to final acceptance of the project, all slopes and areas disturbed by construction shall be graded smooth and a minimum of four inches of topsoil applied. If adequate topsoil is not available on site, the contractor shall provide topsoil, approved by the owner, as needed. The area shall then be seeded, fertilized, mulched, watered and maintained until hardy grass growth is established in all areas. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the contractor at no additional cost to the owner.
- Prior to ordering precast structures, shop drawings shall be submitted to the design engineer for approval. The contractor is responsible obtaining, city, state, or utility approval for any items under their jurisdiction.
- Areas of construction shall be stripped of all vegetation, organic matter and topsoil to a depth as recommended by geotechnical engineer and/or testing agency. Soils removed during site stripping should be evaluated to determine if portions of the topsoil stratum may be utilized as structural fill within pavement areas. Any material not deemed as suitable fill material by the geotechnical engineer and/or testing agency shall be removed from the job site by the contractor at his expense.
- Contractor shall adhere to the site preparation and structural fill recommendations as called out in the geotechnical report and engineering evaluation as provided by the geotechnical engineer.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the city.

Sheet
C05

Final Development Plans

18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

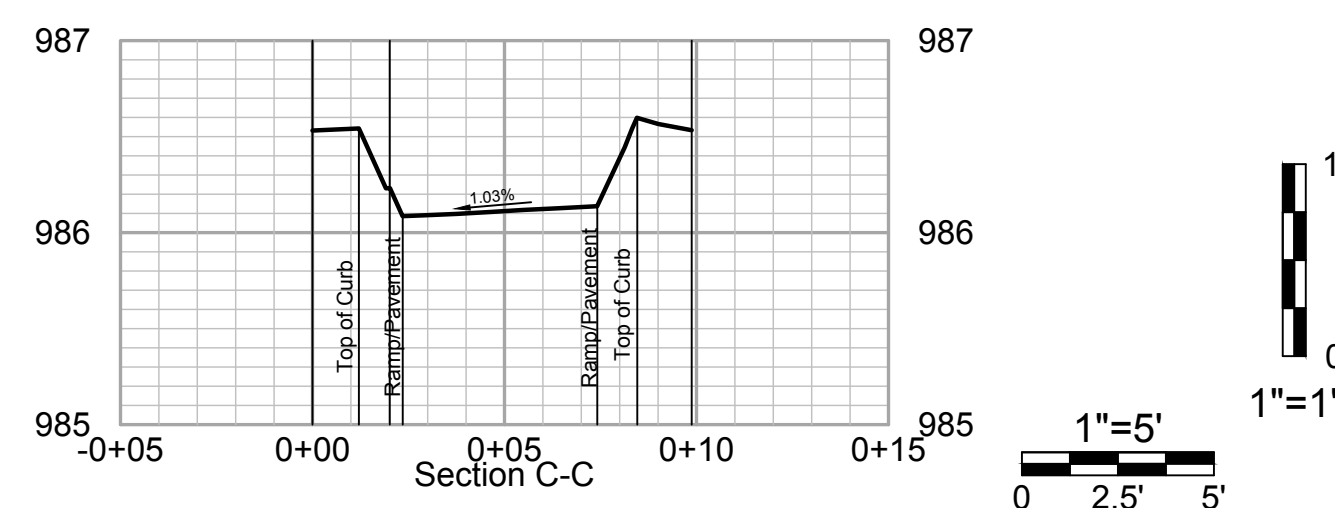
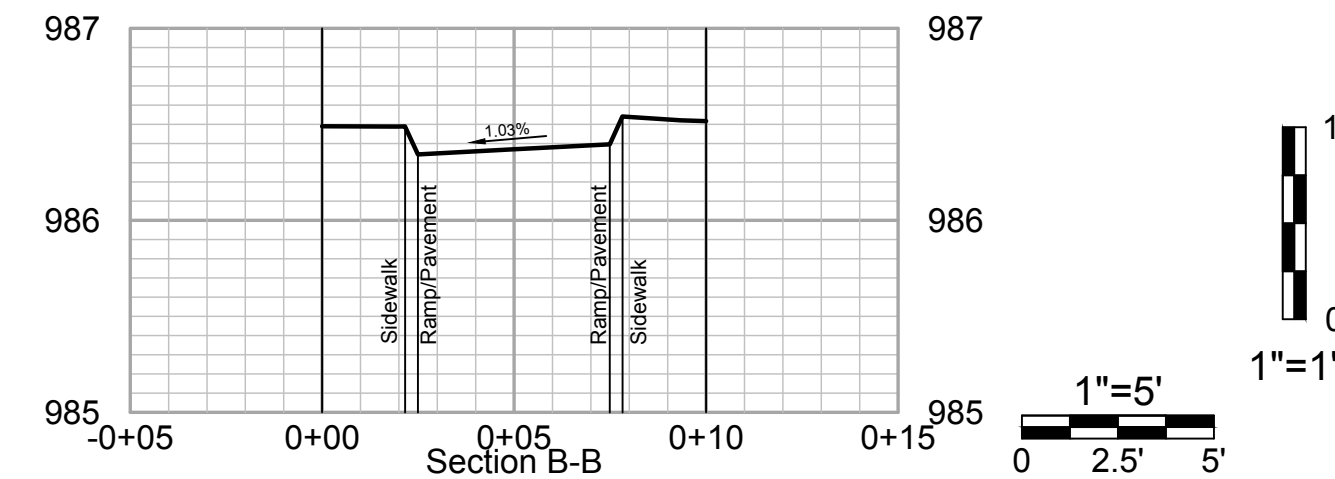
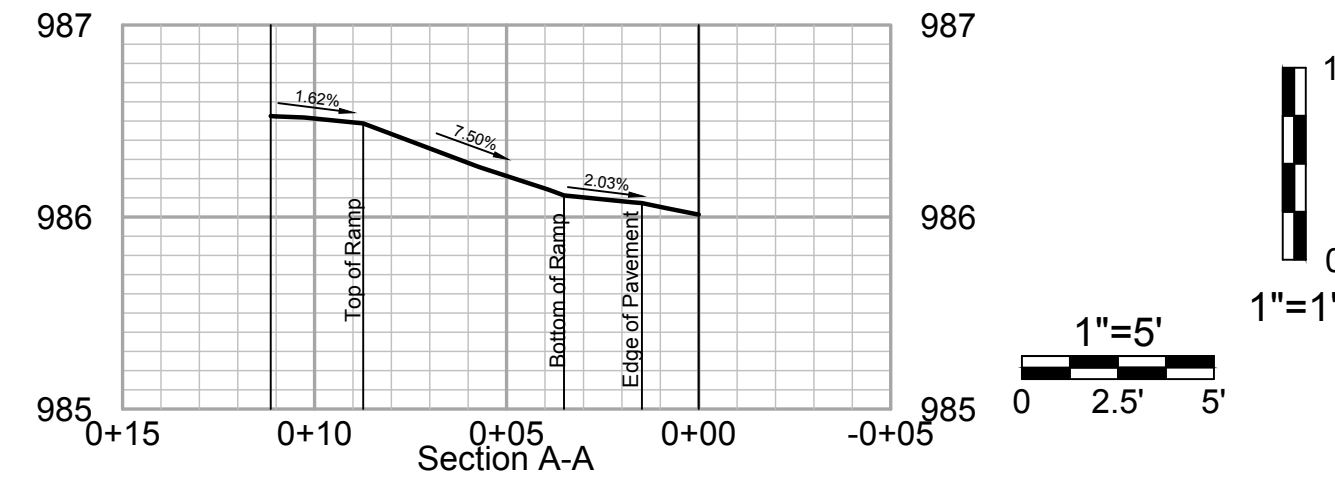
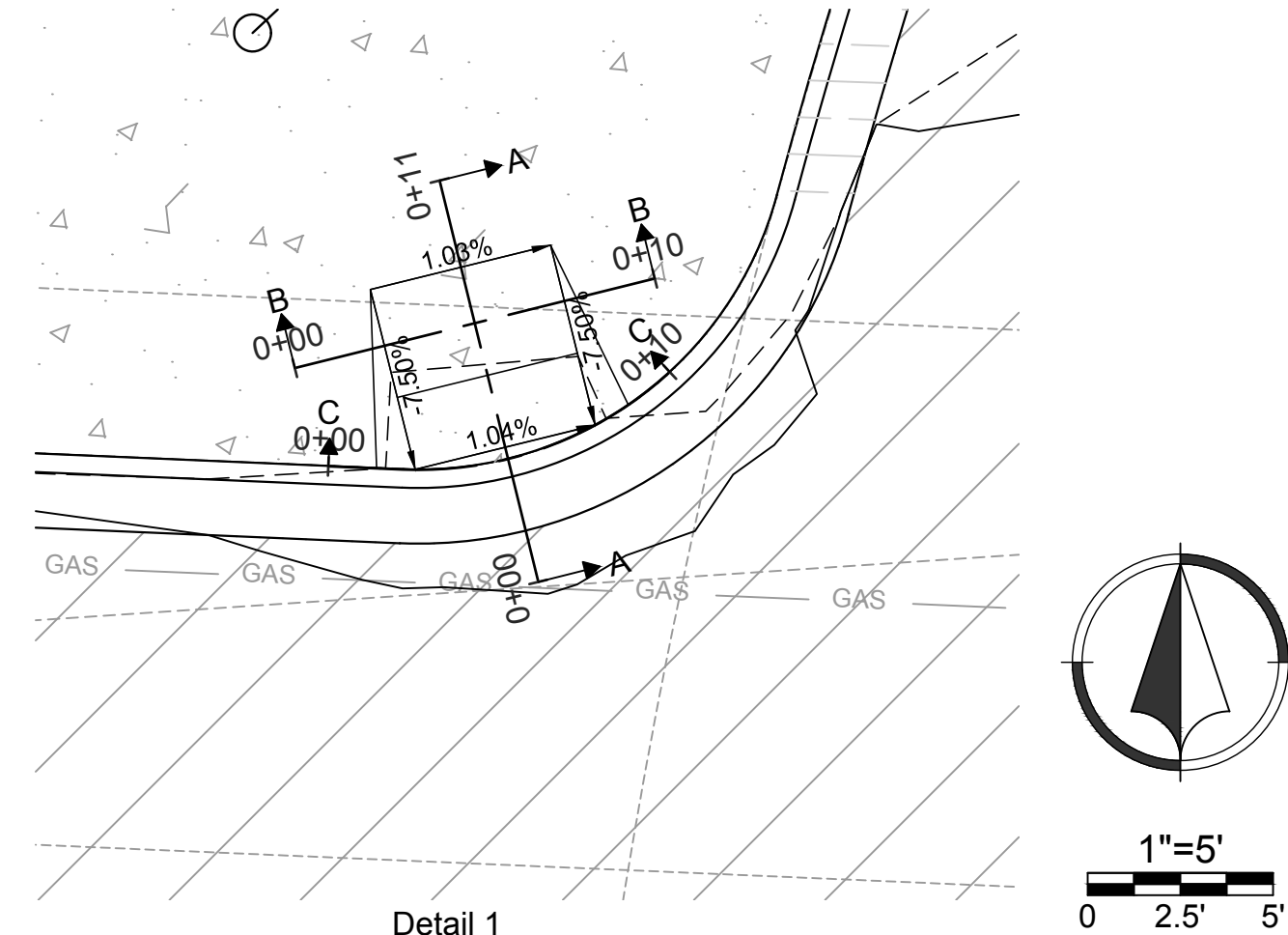
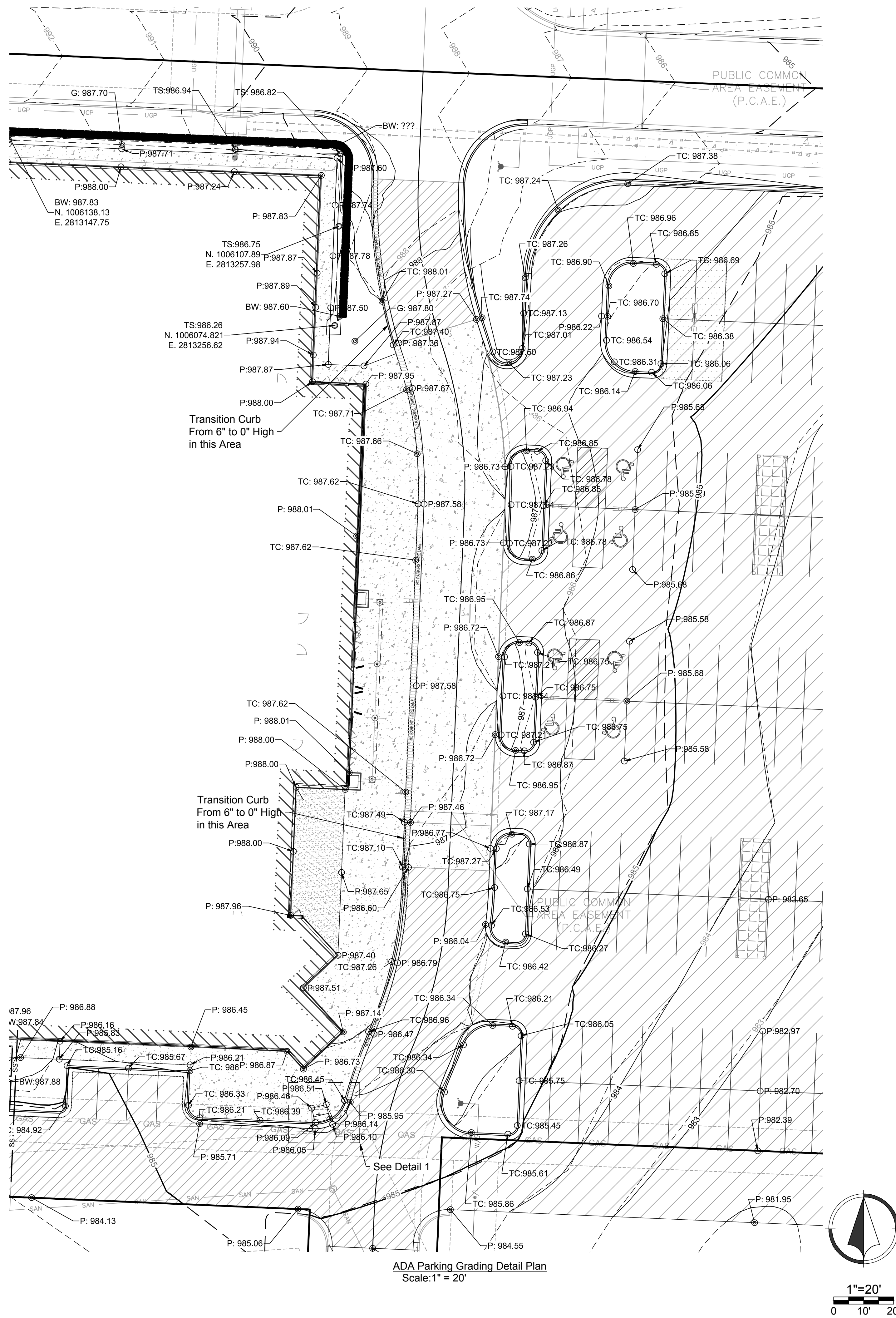
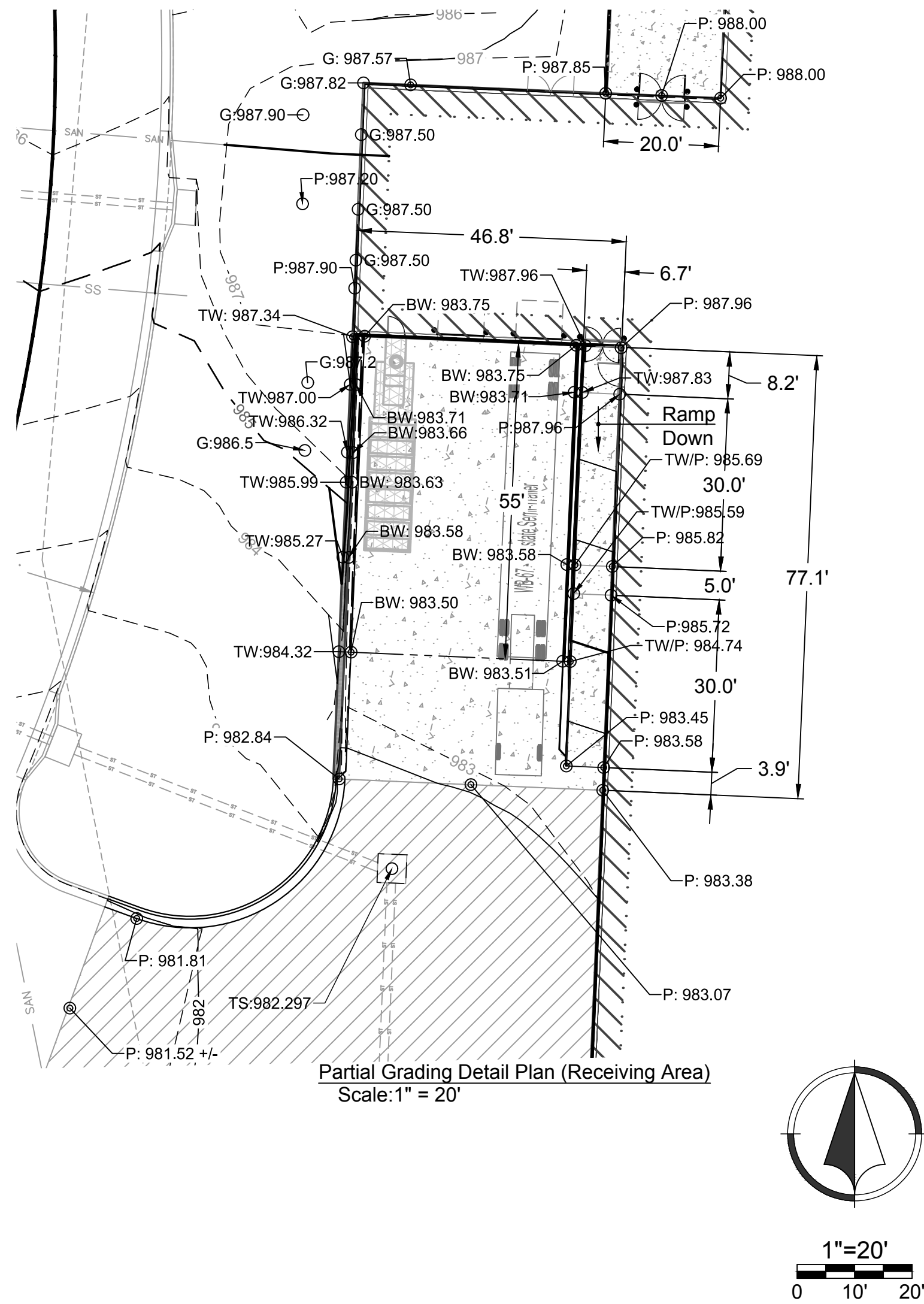
Grading Plan

NO.	BY	DD	DATE	REVISION
5	C.R.	D.J.B.	08/27/19	Revised Per FDP Comments
4	C.R.	D.J.B.	07/30/19	Issued For Building Permit
3	C.R.	D.J.B.	07/23/19	Resubmitted To City
2	C.R.	D.J.B.	07/11/19	Check Set
1	C.R.	D.J.B.	05/24/19	Submitted To City

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Consulting



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132 ABBIE AVENUE
KANSAS CITY, KANSAS 66103
E-2010033830
MO Certificate of Authority



- NOTES**
- See "Title Sheet" C01 for General Notes. See "Grading Plan" C05 for Grading Notes.
 - Storm Structure Information shown is taken from the "Streets of West Pryor Final Drainage Study" Prepared by Kaw Valley Engineering, Inc., 2319 N. Jackson, Junction City, Kansas, 66441, (785)762-5040. Renaissance Infrastructure Consulting is not responsible for the accuracy of the information shown hereon and the accompanying tables shown on sheet C09.
 - The Contractor shall verify existing structures locations, sizes and descriptive type information prior to beginning construction activities.

LEGEND

TC:	Top of Curb
P:	Pavement
TS:	Top of Structure
FL:	Flowline of Pipe
G:	Ground
(HP)	High Point
(LP)	Low Point
TW:	Top of Wall
BW:	Bottom of Wall

Sheet
C06

Final Development Plans
18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

Grading Details

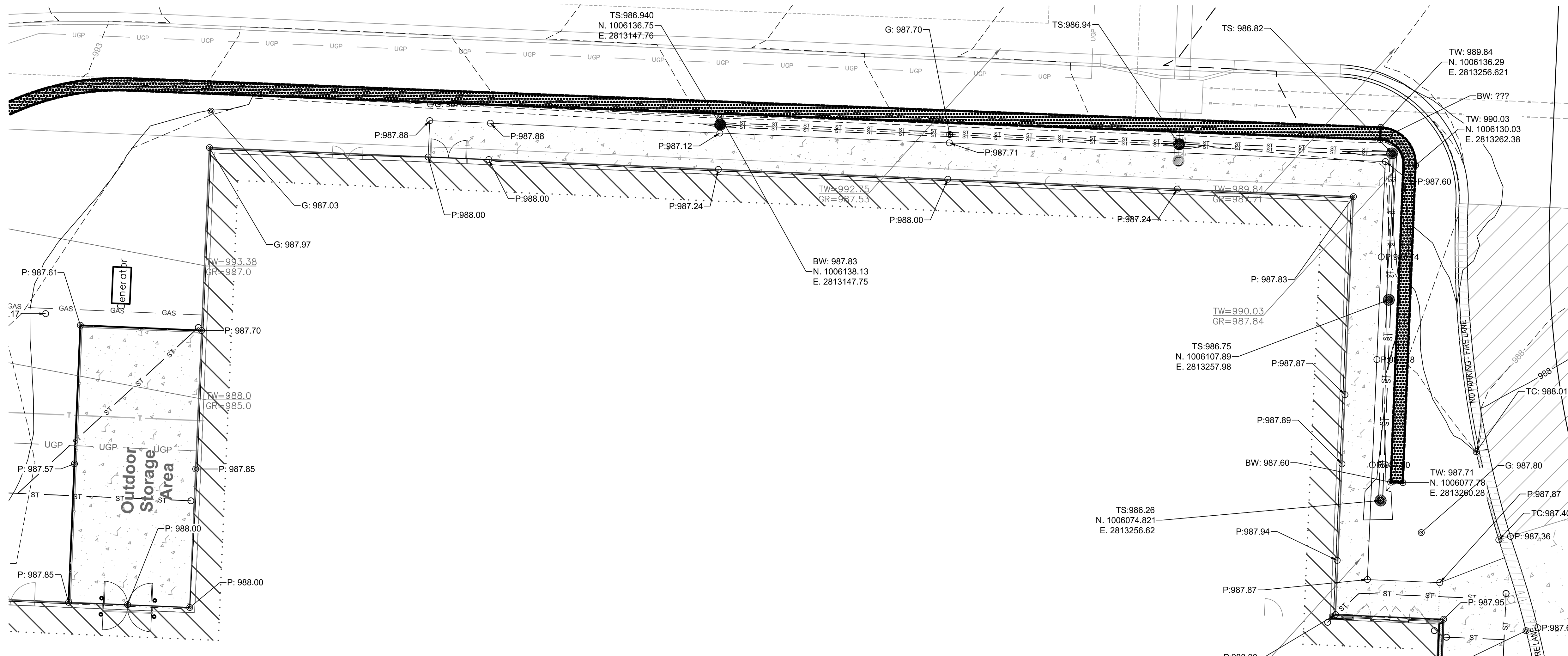
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Resubmitted To City	4	C.R.	DJB	07/30/19
Check Set	3	C.R.	DJB	07/23/19
Submitted To City	2	C.R.	DJB	07/11/19
REVISION	1	C.R.	DJB	05/24/19
	NO.	BY	DD	DATE

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Infrastructure
Consulting

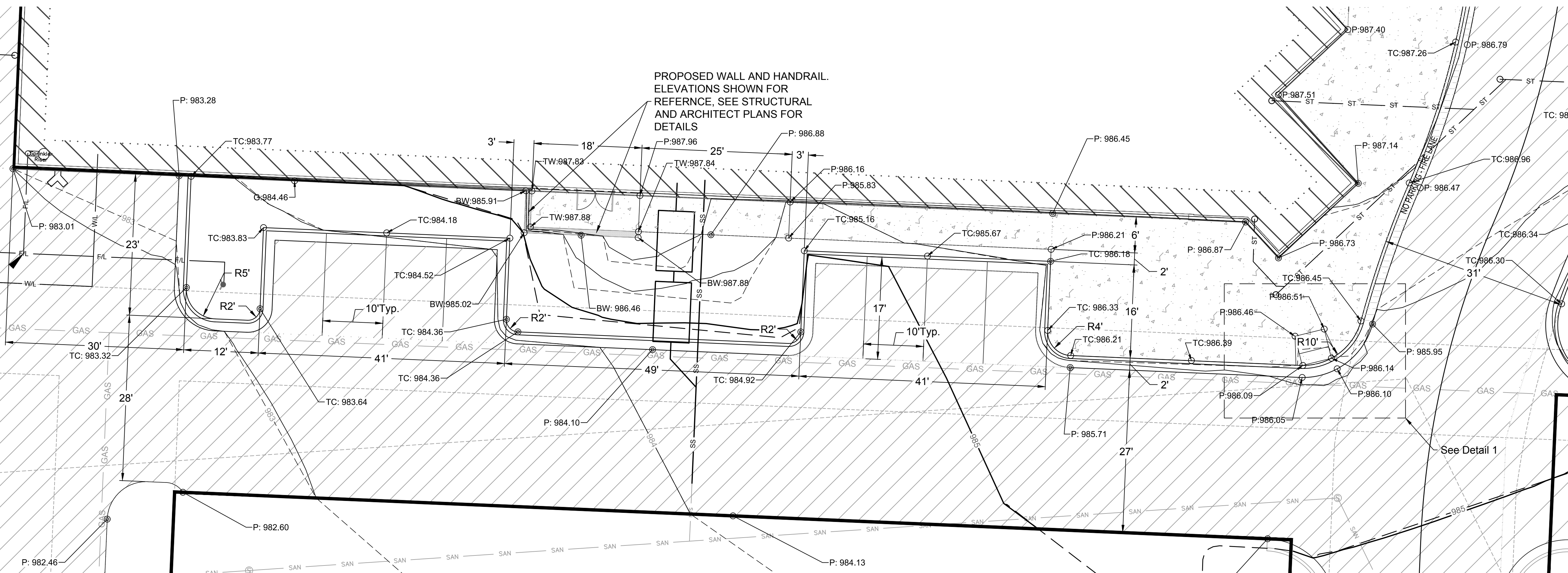
STATE OF MISSOURI
BURTON
NUMBER
PE-2010101709
PROFESSIONAL ENGINEER

913.317.9500
132 ABBIE AVENUE
KANSAS CITY, KANSAS 66103
WWW.RIC-CONSULT.COM

MO Certificate of Authority: E-2010033630



Partial Grading Detail Plan (Northeast Corner)
Scale: 1" = 10'



Partial Grading Detail Plan (South Building)
Scale: 1" = 10'

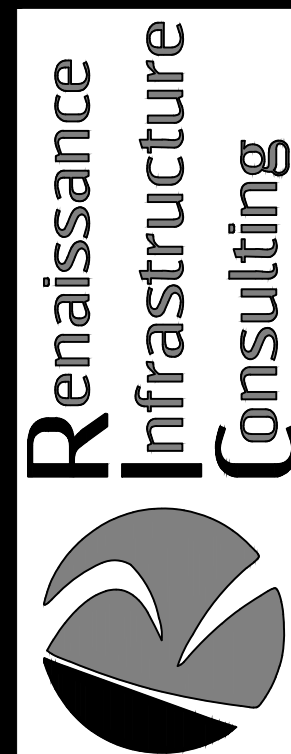
LEGEND

- TC: Top of Curb
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- TS: Top of Structure
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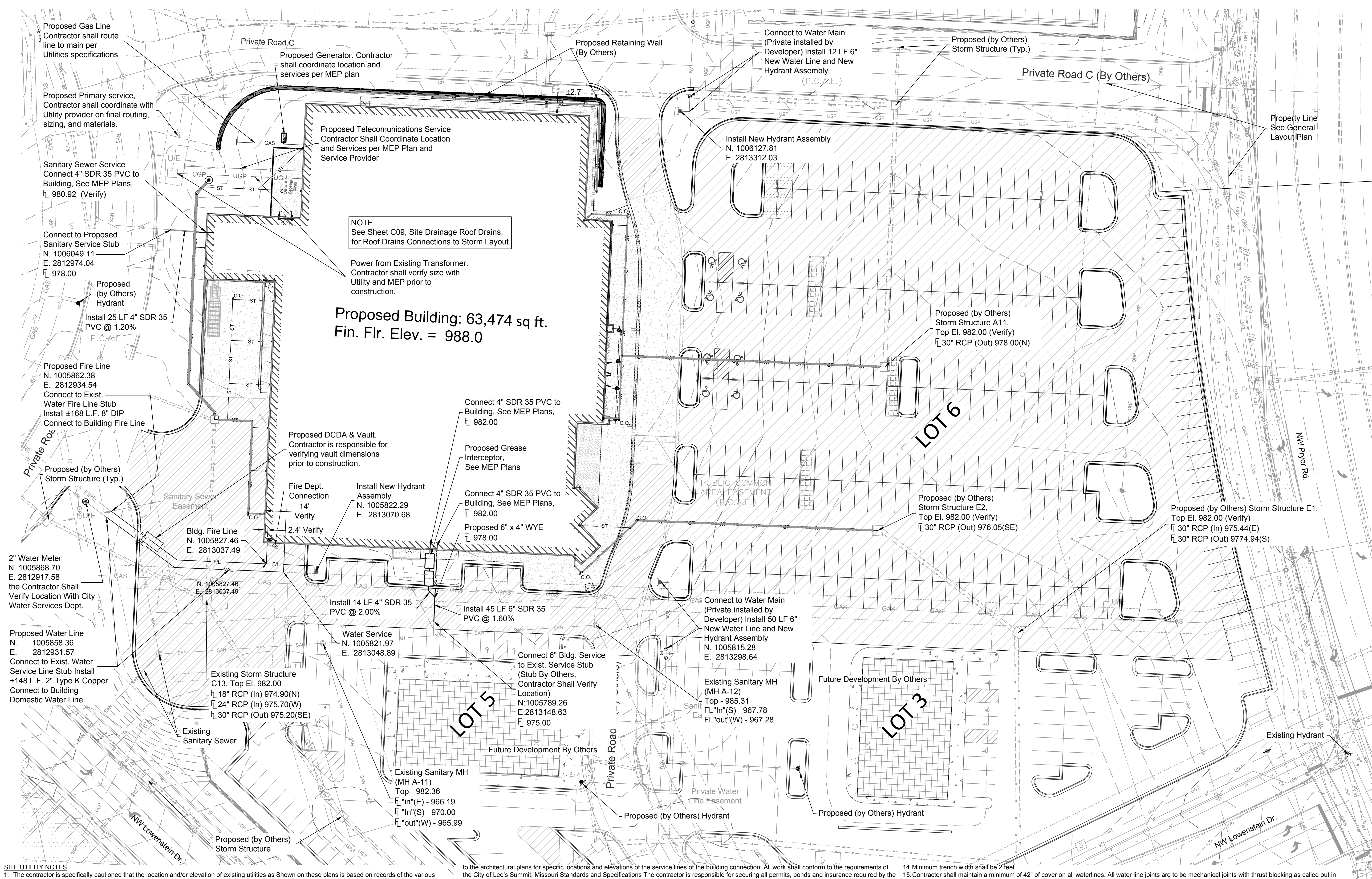
NOTES

1. See "Title Sheet" C01 for General Notes. See "Grading Plan" C05 for Grading Notes.
2. Storm Structure Information shown is taken from the "Streets of West Pryor Final Drainage Study" Prepared by Kaw Valley Engineering, Inc., 2319 N. Jackson, Junction City, Kansas, 66441, (785)762-5040. Renaissance Infrastructure Consulting is not responsible for the accuracy of the information shown hereon and the accompanying tables shown on sheet C09.
3. The Contractor shall verify existing structures locations, sizes and descriptive type information prior to beginning construction activities.

NO.	BY	DATE	REVISION
5	C.R. DUB	09/27/19	Revised Per FDP Comments
4	C.R. DUB	07/30/19	Issued For Building Permit
3	C.R. DUB	07/23/19	Resubmitted To City
2	C.R. DUB	07/11/19	Check Set
1	C.R. DUB	05/24/19	Submitted To City



NO.	BY	DATE	REVISION
5	C.R.	DJB	09/27/19
4	C.R.	DJB	07/30/19
3	C.R.	DJB	07/22/19
2	C.R.	DJB	07/11/19
1	C.R.	DJB	05/24/19
			Submitted To City
			Check Set
			Resubmitted To City
			Issued For Building Permit
			Revised Per FDP Comments

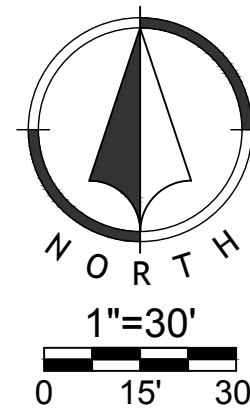


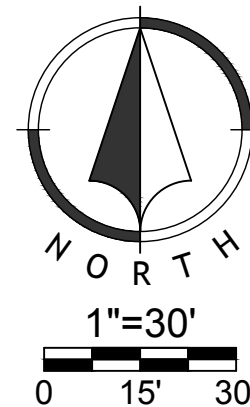
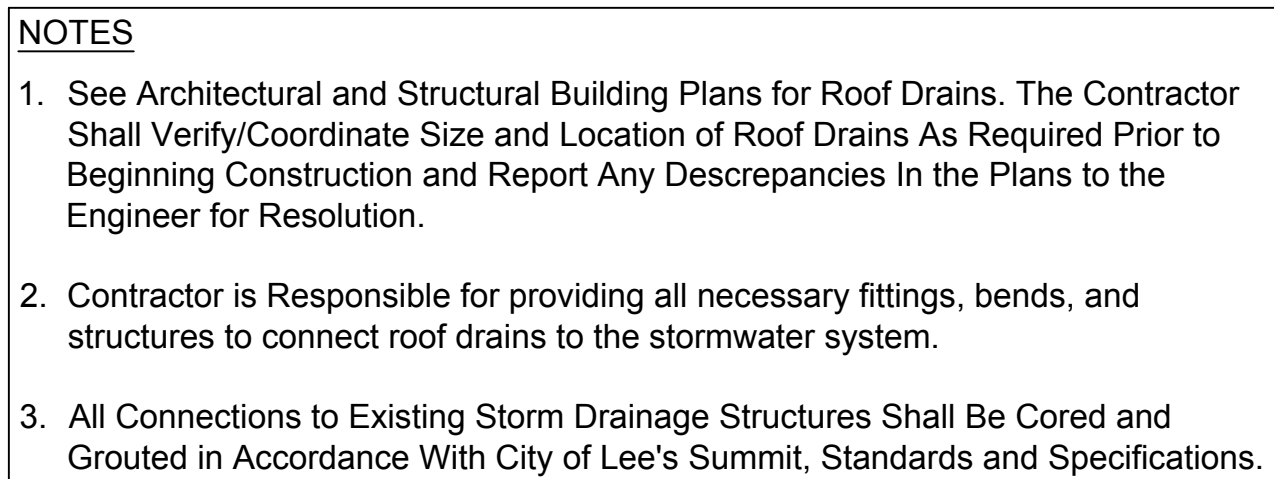
SITE UTILITY NOTES

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as Shown on these plans is based on records of the various utility Companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate and/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the Technical Specifications for this Project.
- The contractor shall field verify the exact location and elevation of the existing storm sewer locations and the existing elevations at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, The contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It is the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the finish grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of the curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. spacing and at all bend points. Do not connect roof drains directly to storm sewer pipes.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, back flow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system, if not furnished or installed by the Water Utility. The Contractor shall Coordinate with the Water Utility. All costs associated with the complete water system for the building shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Lee's Summit, Missouri Standards and Specifications.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the building to the public line. The contractor shall refer

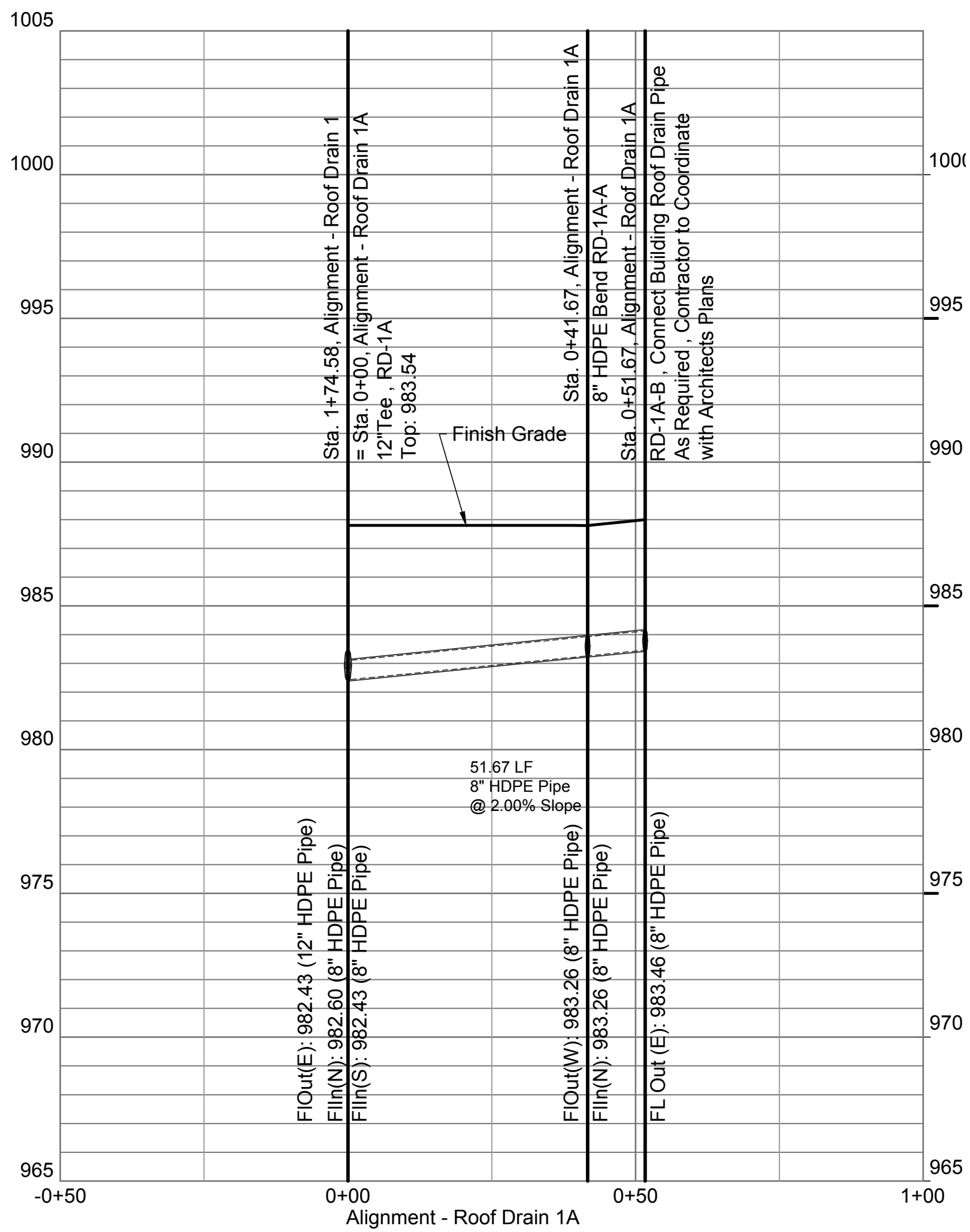
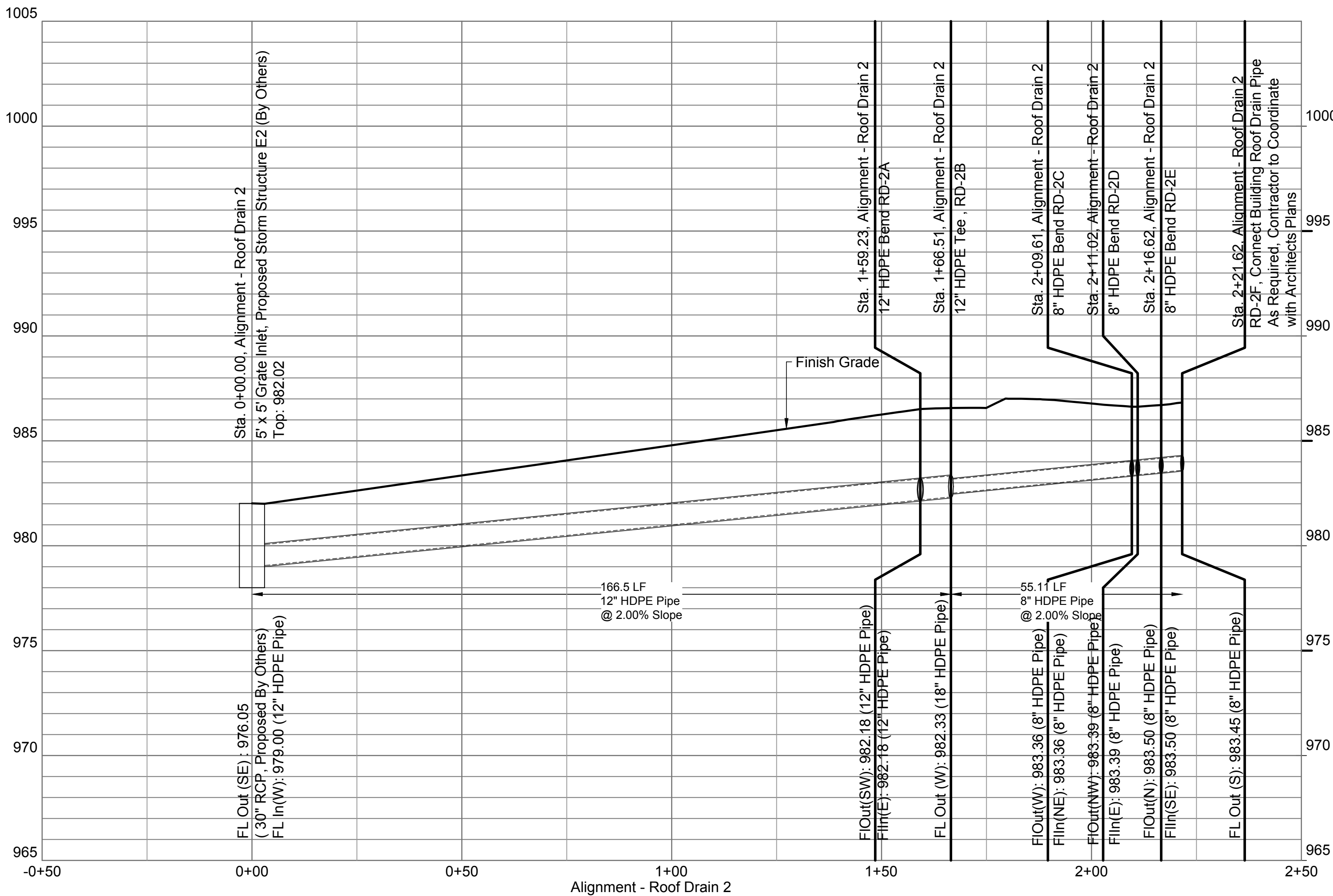
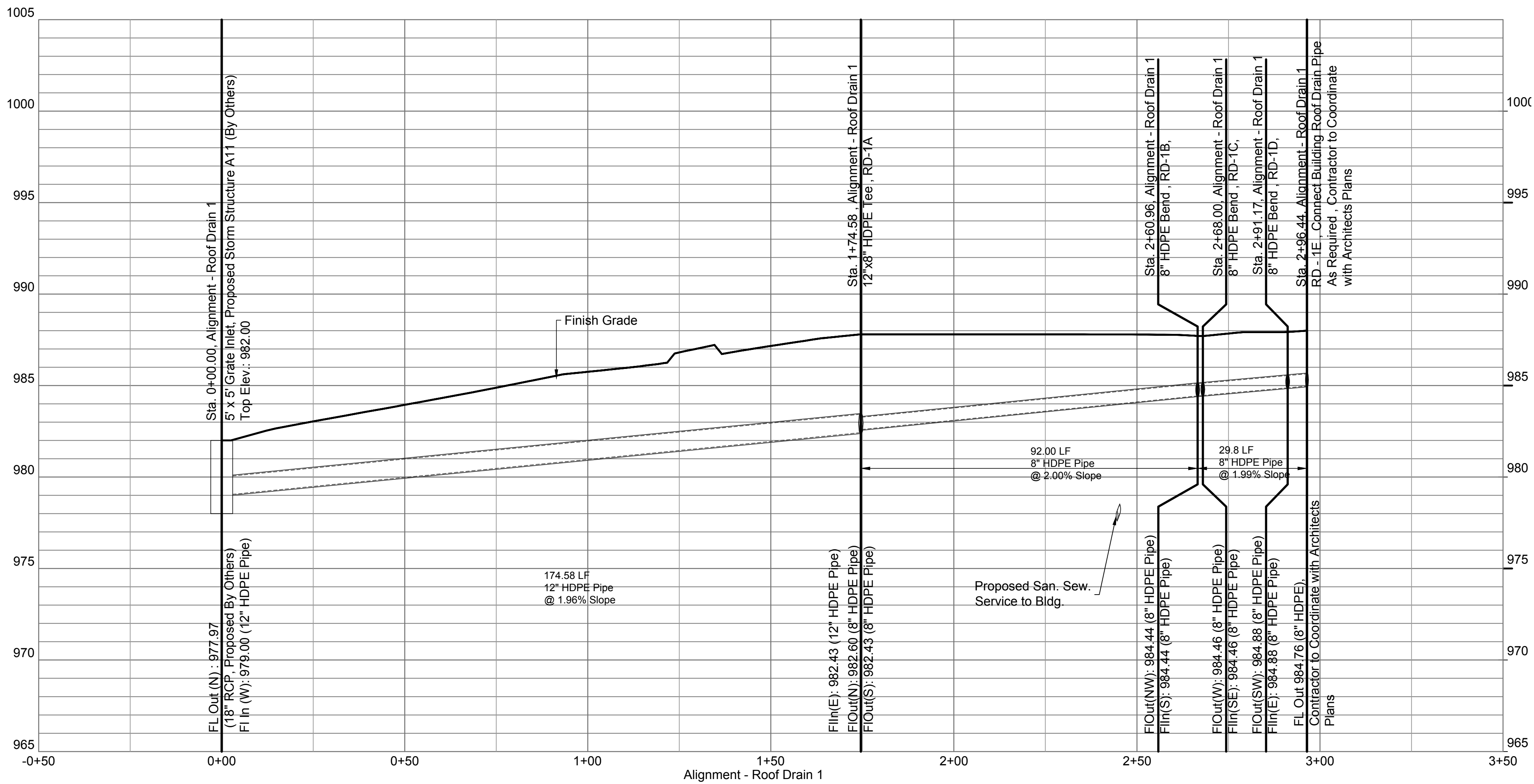
- to the architectural plans for specific locations and elevations of the service lines of the building connection. All work shall conform to the requirements of the City of Lee's Summit, Missouri Standards and Specifications The contractor is responsible for securing all permits, bonds and insurance required by the contract documents, City of Lee's Summit, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by the construction documents. The cost for all permit bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The contractor shall be responsible for the procurement and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structure. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Storm sewer roof drains(st) shall be as follows (unless otherwise shown on plans).
 - PVC SDR 35 per ASTM D3034, for pipes less than 12' deep.
 - PVC SDR 26 per ASTM D3034, for pipes 12' to 20' deep.
- Waterlines shall be as follows (unless otherwise shown on plans):
 - for 8" and larger: ductile iron pipe per AWWA C150
 - between 3" and 6": DR14 PVC per AWWA C900
 - For smaller than 2": copper tube Type "K" per ANSI 816.22

- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" of cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the Public Works, Engineering Division of the City of Lee's Summit, Missouri Standards and Specifications for commercial services.
- All waterlines shall be kept ten feet (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 18" vertical clearance (outside edge of pipe to outside edge of pipe) of the waterline above the sewer line is required.
- Water meter provided by City of Lee's Summit, Water Services and Installed by The Contractor in Accordance with the Direction, Standards and Specifications of the City Water services Department.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of the crossing (or encased in concrete the same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance. Meeting requirements ANSI A21.10 or ANSI 21.11 (AWWA C151)(Class 50).
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place and tested prior to paving.
- When a building utility Connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such utility terminations.



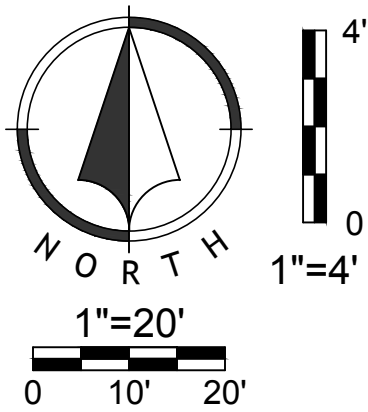


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NOTES

1. See Architectural and Structural Building Plans for Roof Drains. The Contractor Shall Verify/Coordinate Size and Location of Roof Drains As Required Prior to Beginning Construction and Report Any Descrpancies In the Plans to the Engineer for Resolution.
2. Contractor is Responsible for providing all necessary fittings, bends, and structures to connect roof drains to the stormwater system.
3. All Connections to Existing Storm Drainage Structures Shall Be Cored and Grouted in Accordance With City of Lee's Summit, Standards and Specifications.



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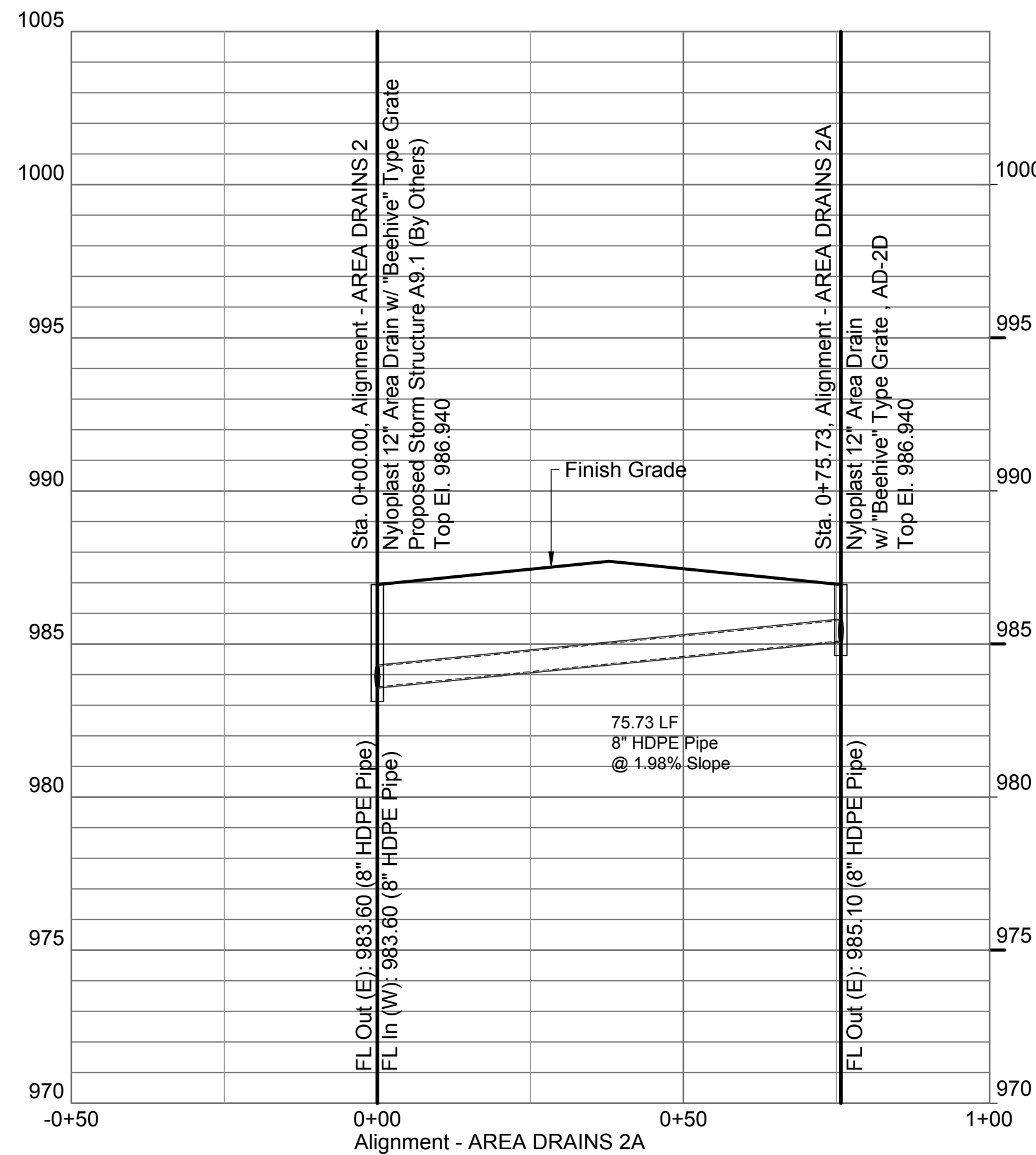
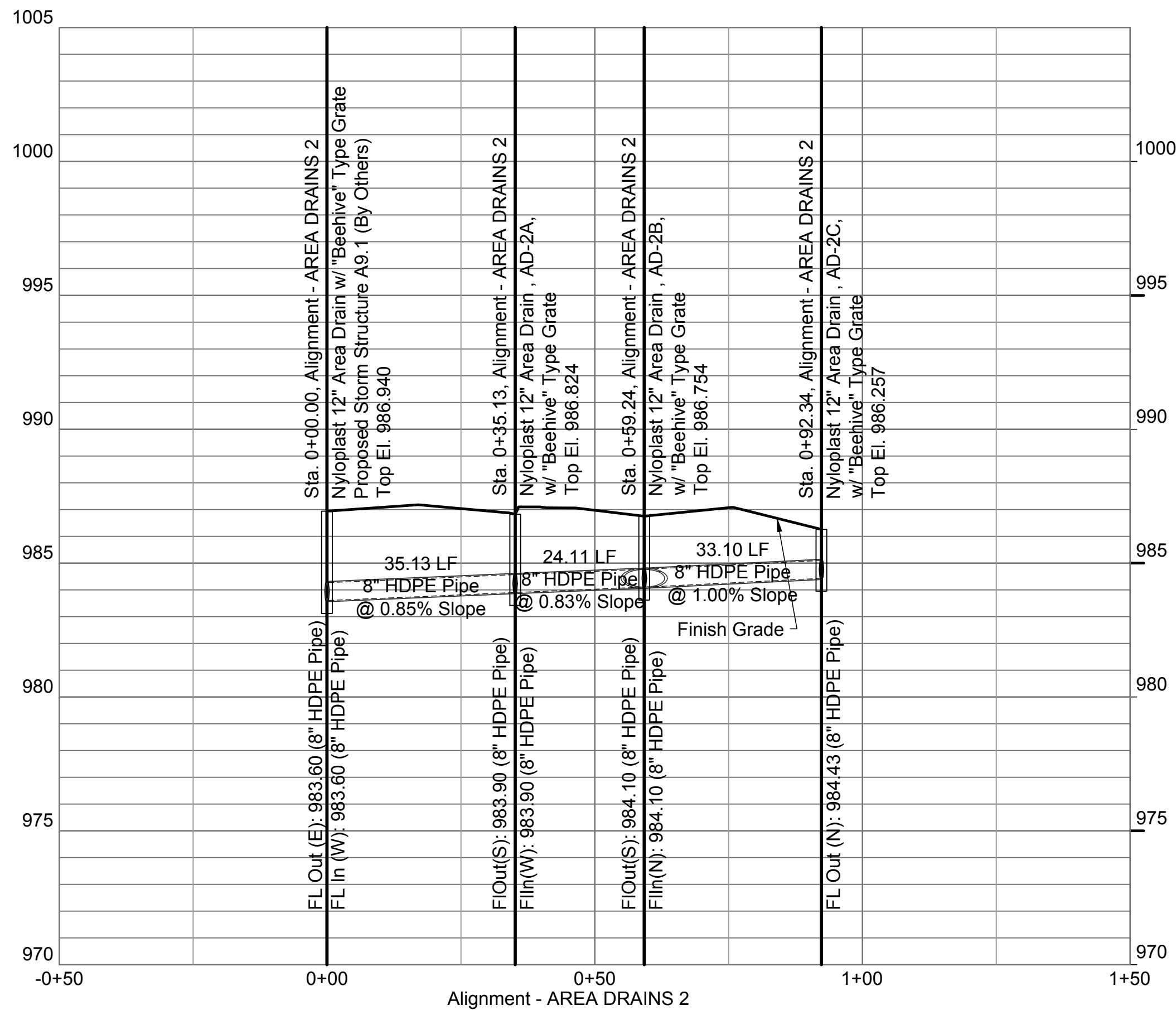
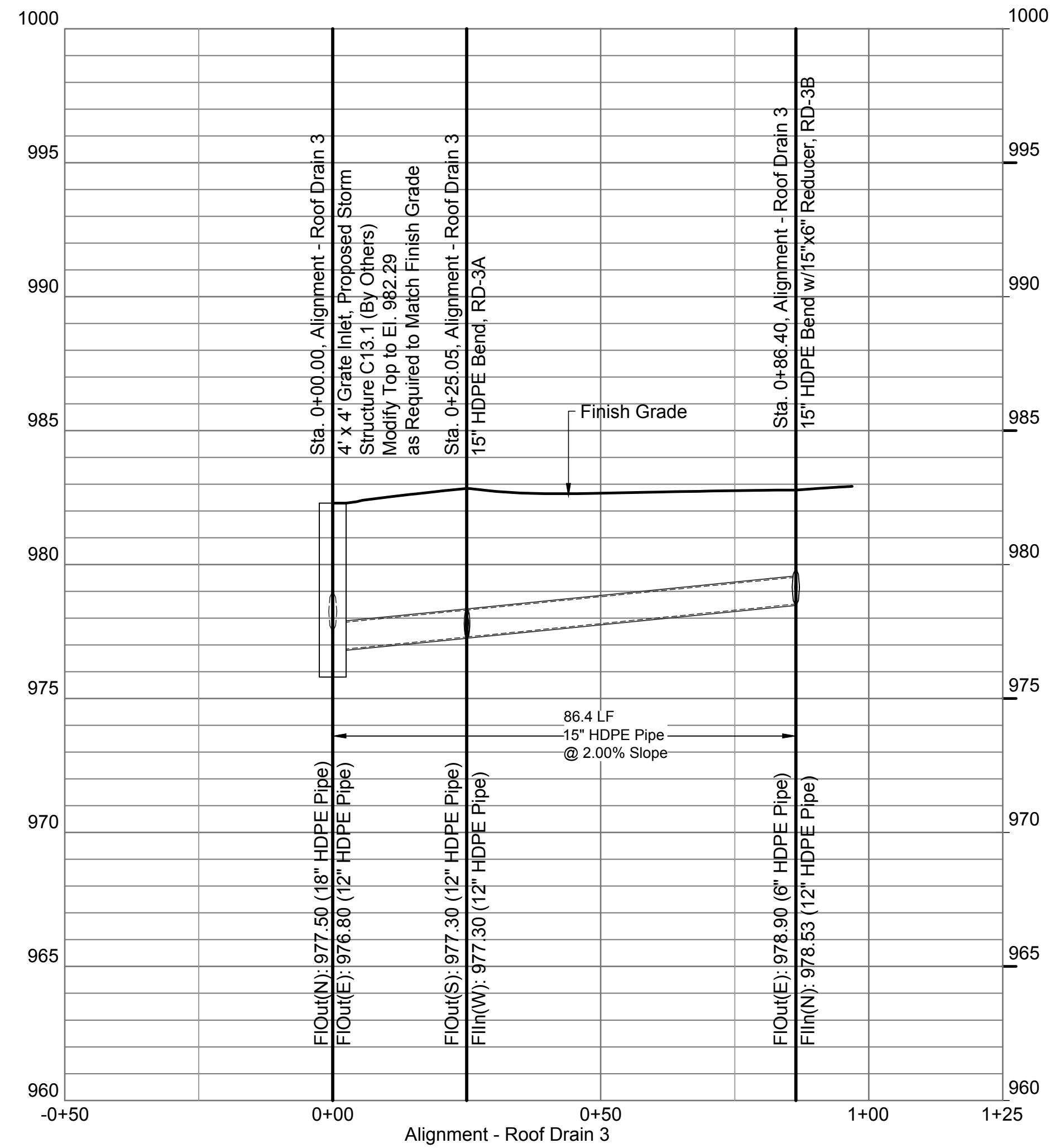
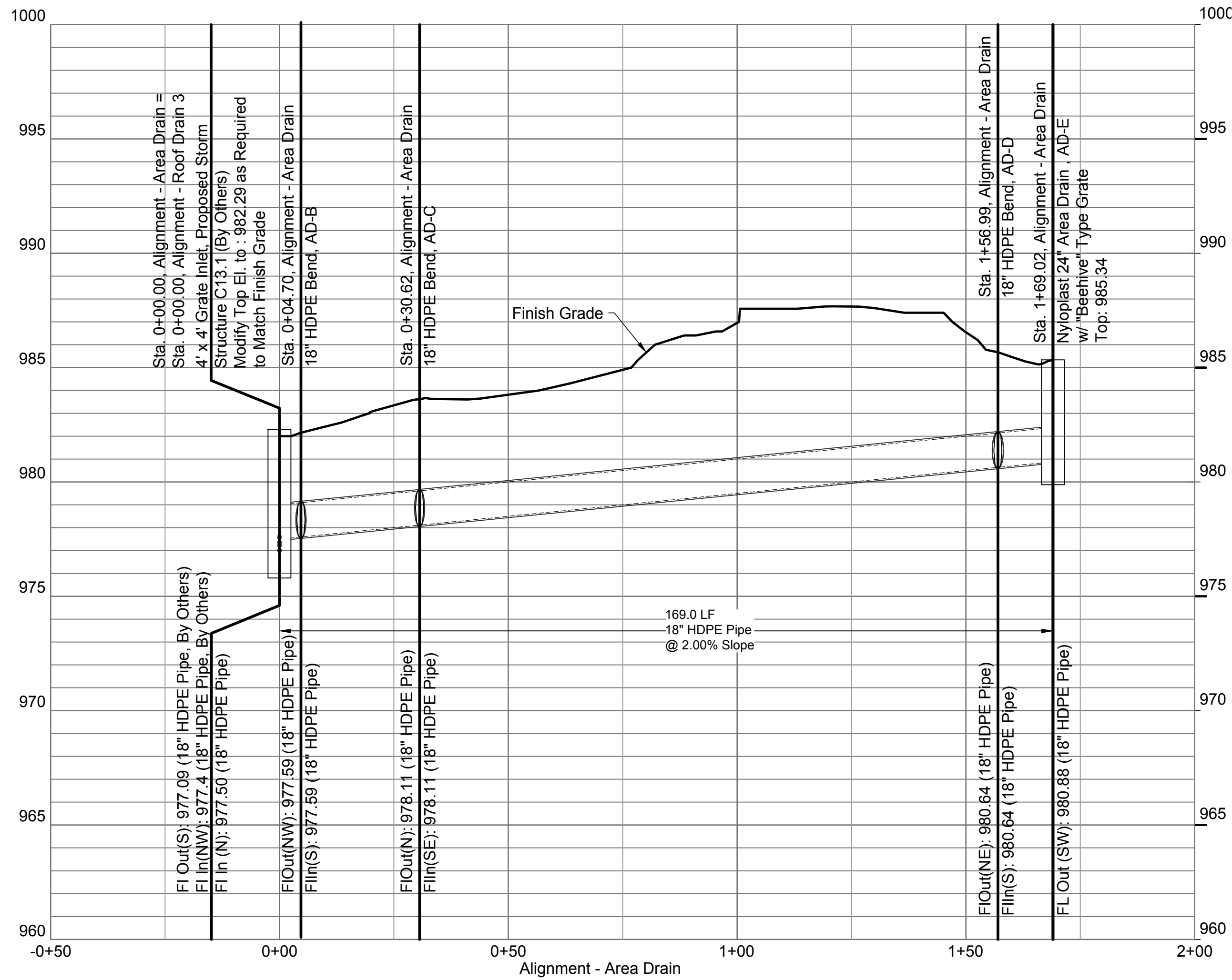
NO.	BY	DD	DATE	REVISION
5	C.R.	DJB	08/27/19	Revised Per FDP Comments
4	C.R.	DJB	07/30/19	Issued For Building Permit
3	C.R.	DJB	07/23/19	Resubmitted To City
2	C.R.	DJB	07/11/19	Check Set
1	C.R.	DJB	05/24/19	Submitted To City

Site Drainage - Roof Drains Profiles

Final Development Plans

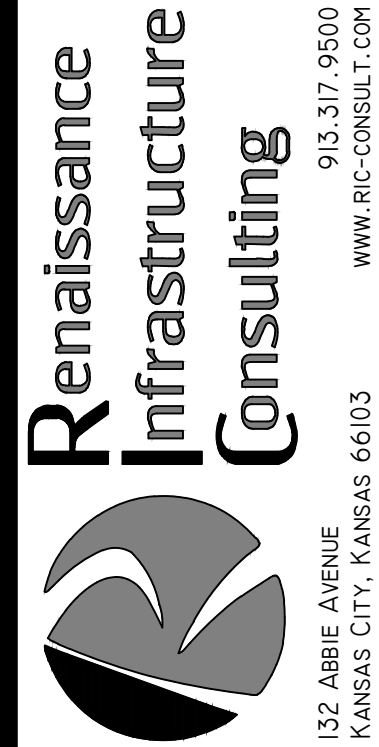
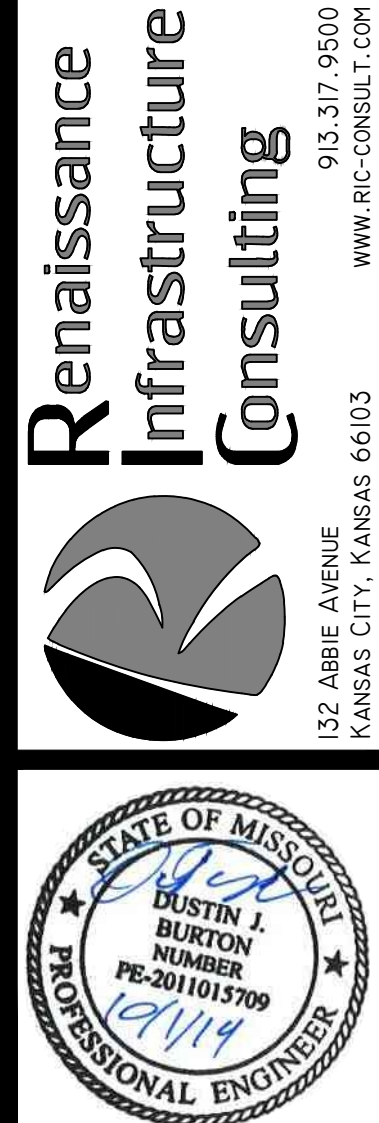
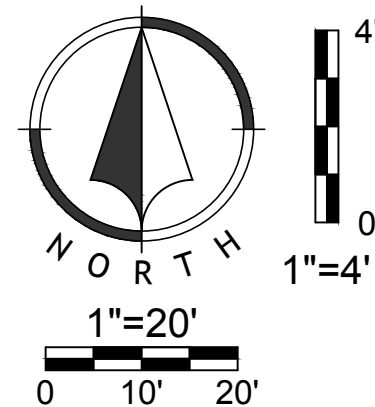
18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

Sheet
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NOTES

1. See Architectural and Structural Building Plans for Roof Drains. The Contractor Shall Verify/Coordinate Size and Location of Roof Drains As Required Prior to Beginning Construction and Report Any Discrepancies In the Plans to the Engineer for Resolution.
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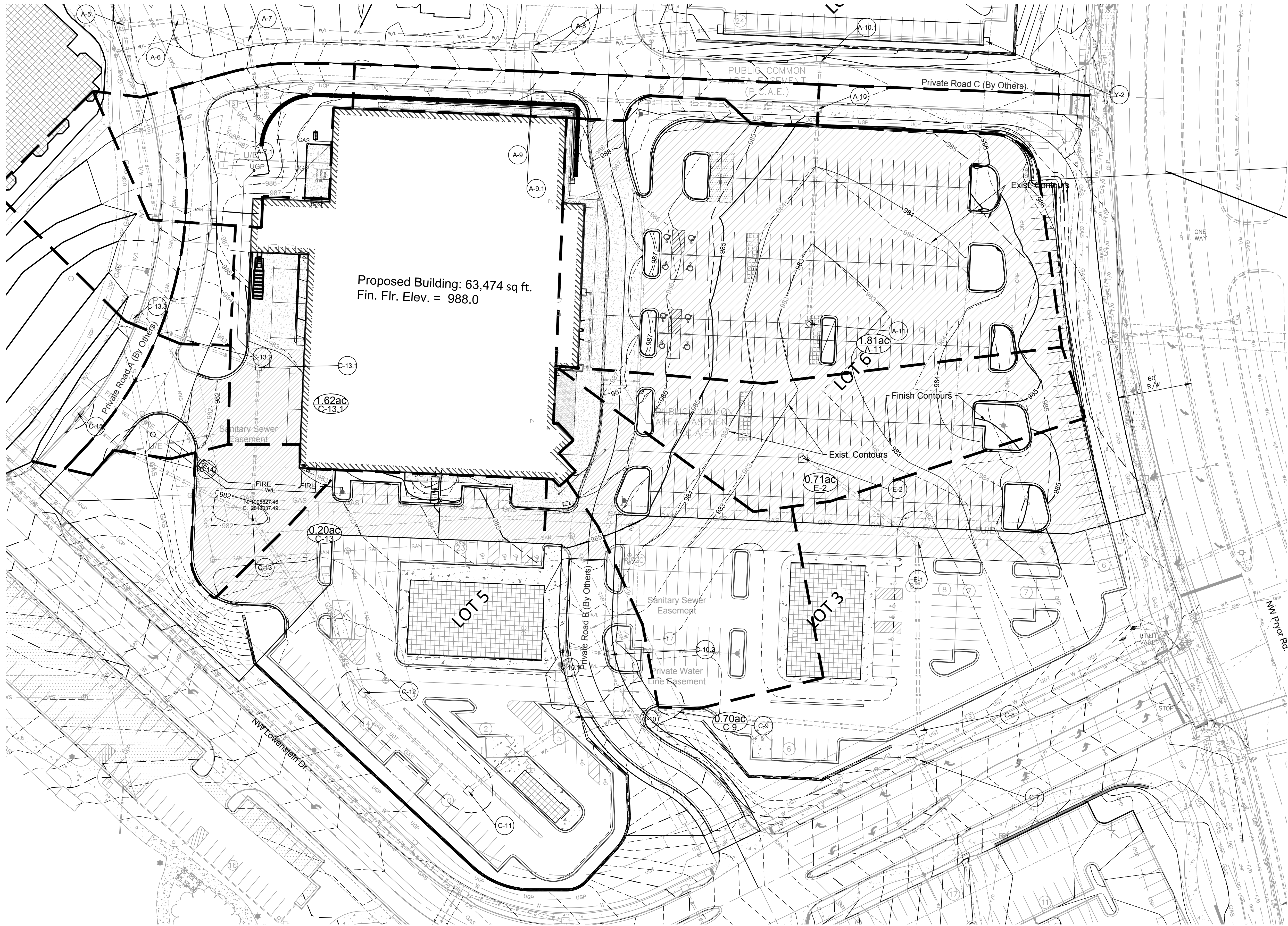
NO.	BY	DD	DATE	REVISION
1	C.R.	DJB	05/24/19	Submitted To City
2	C.R.	DJB	07/11/19	Check Set
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4	C.R.	DJB	07/30/19	Issued For Building Permit
5	C.R.	DJB	08/27/19	Revised Per FDP Comments

Site Drainage - Roof Drains Profiles

Final Development Plans
18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

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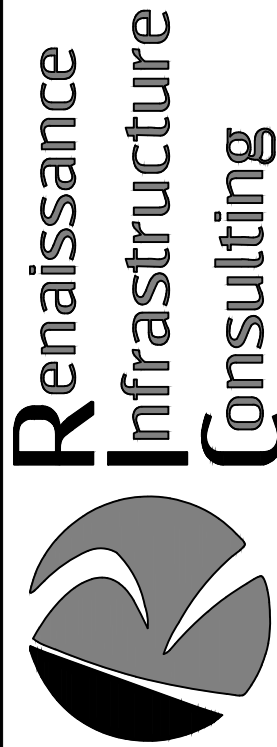
LEGEND:

Drainage Area (Acres)
Discharge Point

Proposed Drainage
Structure (By Others)

NOTE

Information shown is taken from the "Streets of West Pryor Final Drainage Study" Prepared by Kaw Valley Engineering, Inc., 2319 N. Jackson, Junction City, Kansas, 66441, (785)762-5040 . Renaissance Infrastructure Consulting is not responsible for the accuracy of the information shown hereon and the accompanying tables shown on sheet C09.



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Drainage Area Map

Final Development Plans

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McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

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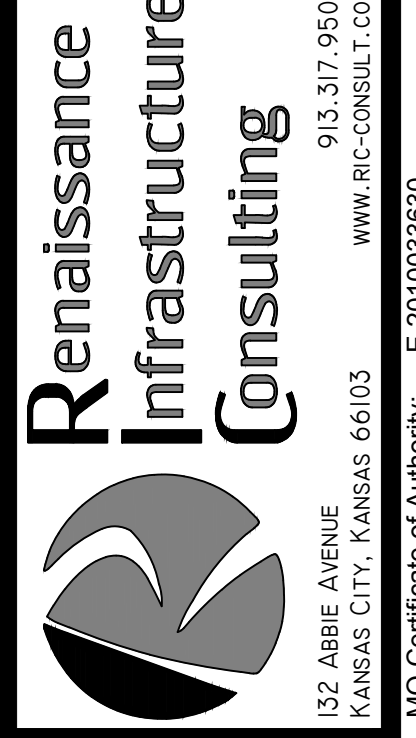
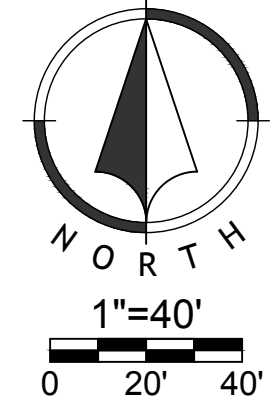
Disturbed Area for Site Improvements : 6.64 Acres




1. All work in public easements and right-of-way and all erosion control work must comply with the latest specifications set forth by the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), and MoDOT plans and specifications. If any of the specification and/or general notes conflict with the requirements provided by the City of Lee's Summit, the City of Lee's Summit's standards shall override.
2. The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to the requirements of the City of Lee's Summit, MO, the Kansas City Chapter of American Public Works Association (APWA), and MoDOT plans and specifications.
3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
4. The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
5. The contractor shall temporarily seed and mulch all disturbed areas if there is to be no construction activity on them for a period of fourteen (14) calendar days.
6. Install "J" Hooks on silt fence every 100 LF
7. Contractor to install all Phase I erosion control devices prior to construction.
8. Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
9. Topsoil replacement shall be 6" thick.
10. Silt fence to be installed in accordance with the City of Lee's Summit, MO.
11. Contractor shall remove mud and debris from City Streets and Outer Roadway within 4 hours of notification by City staff that it is a nuisance.

WRITTEN SEQUENCING

1. Implement Pre-Construction Plan:
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
2. Clear and Stabilize Work Areas:
Grade contractor areas and place all-weather surface on contractor areas.
3. Clearing and Grubbing:
After Phase A BMP's are installed, contractor may clear, grub, and demo required areas as necessary.



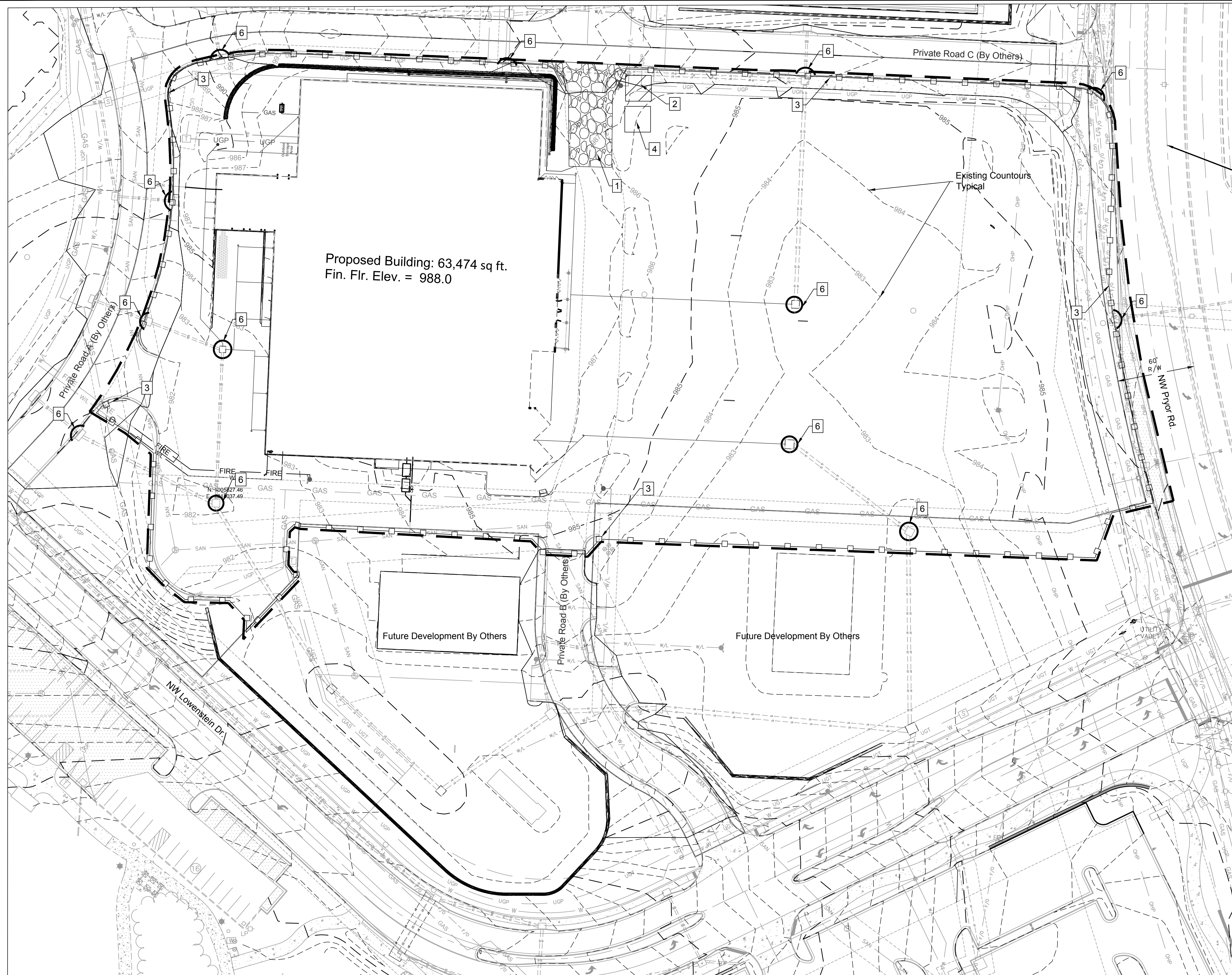
Phase II

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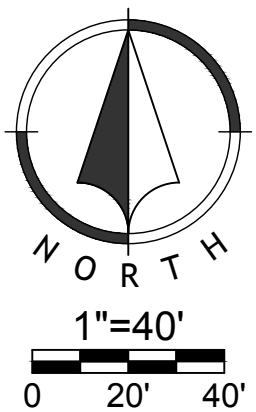


Inlet Protection

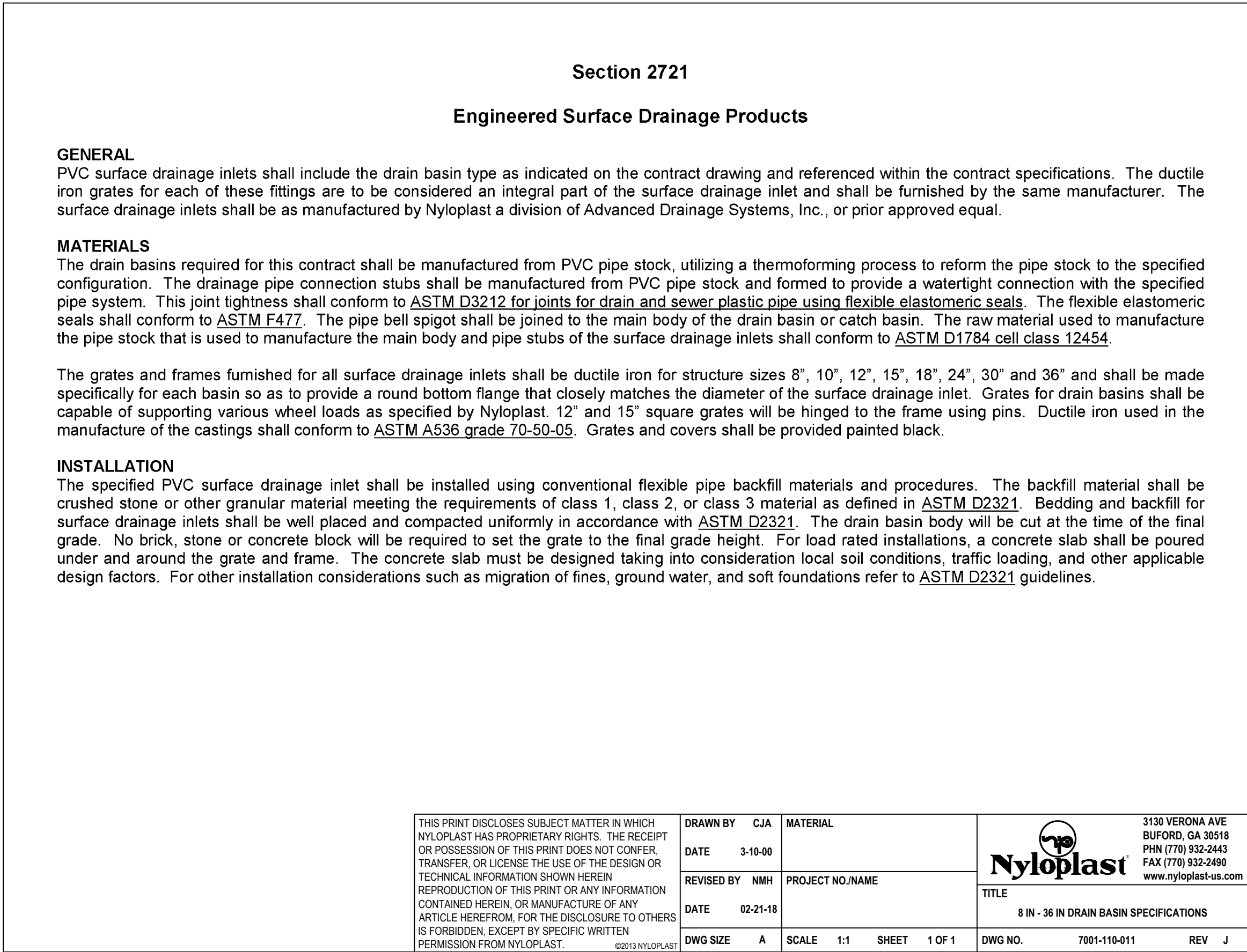
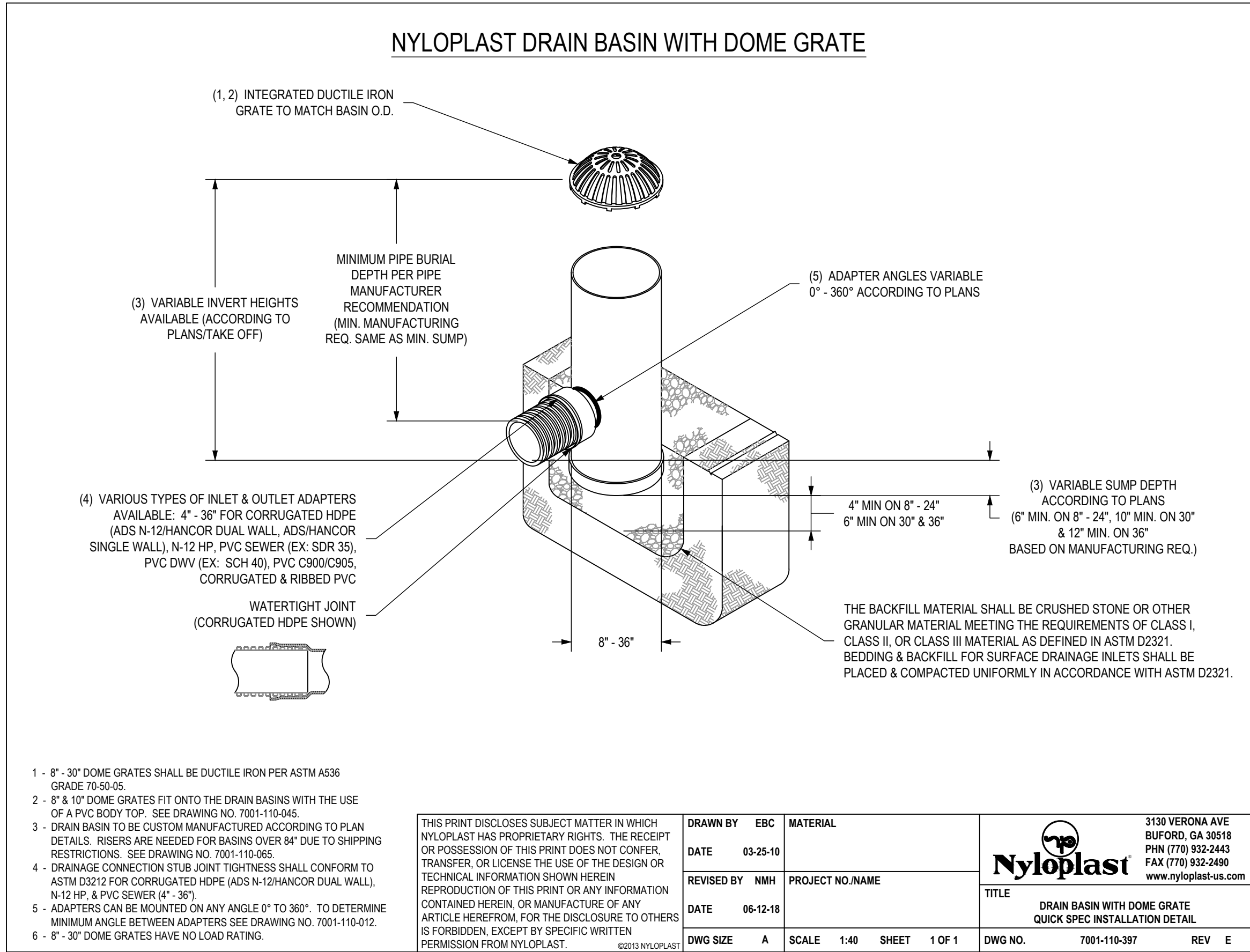
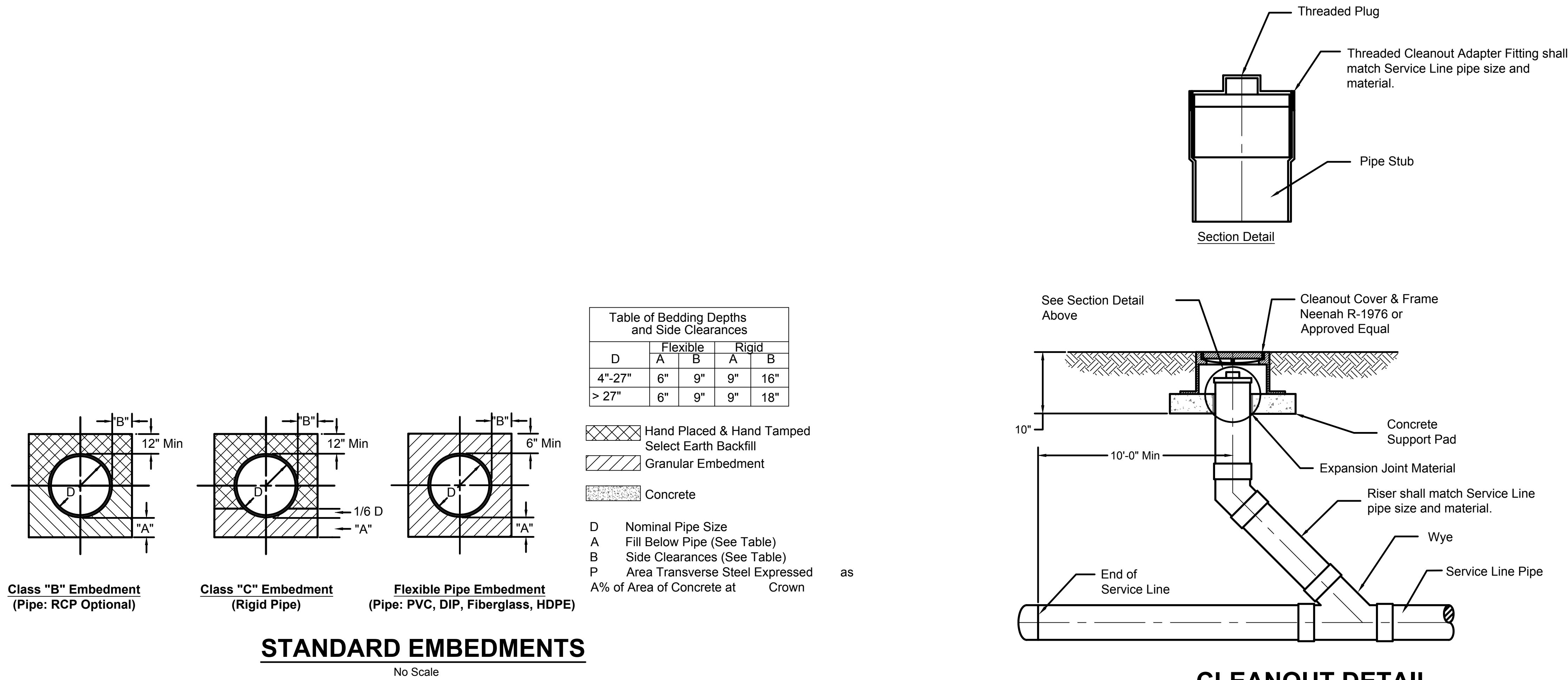
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	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES
Phase I	A-Prior to Construction	1	Construction Entrance	B	Maintain Construction Entrance in accordance with APWA Standard Detail ESC-01
		2	Staging Area	B	Maintain Staging Area
		3	Perimeter Silt Fence	C	Maintain Silt Fence in accordance with APWA Standard Detail ESC-03
		4	Concrete Washout	B	Maintain Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
Phase II	B-During Land Disturbance and Storm Infrastructure Installation	5	Concrete Washout	B	Maintain Concrete Washout as Shown on Plans Prior to Pouring Any Concrete in accordance with APWA Standard Detail ESC-01
		6	Inlet Protection	C	Install Filter Bags Prior to Construction
Phase III	C-Final Stabilization	7	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

Disturbed Area for Site Improvements : 6.64 Acres



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Final Development Plans
18-0281
McKeever's Market & Eatery #950
Lee's Summit, Jackson, Missouri

TYPICAL
DETAILS-GENERAL

Revised Per FDP Comments	09/27/19	5	C.R.	D.B.
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Check Set	07/11/19	2	C.R.	D.B.
Submit To City	06/24/19	1	C.R.	D.B.
REVISION	NO.	BY	DD	DATE

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STATE OF MISSOURI
DUSTIN I. BURTON
NUMBER
PE-2010101709
9/14/19
PROFESSIONAL ENGINEER

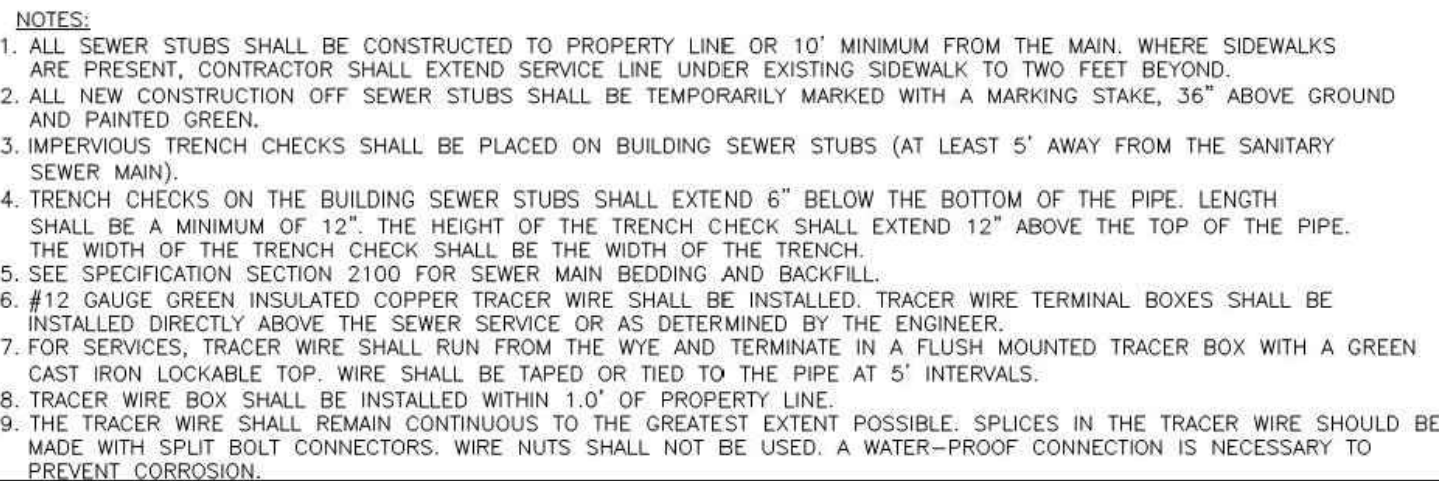
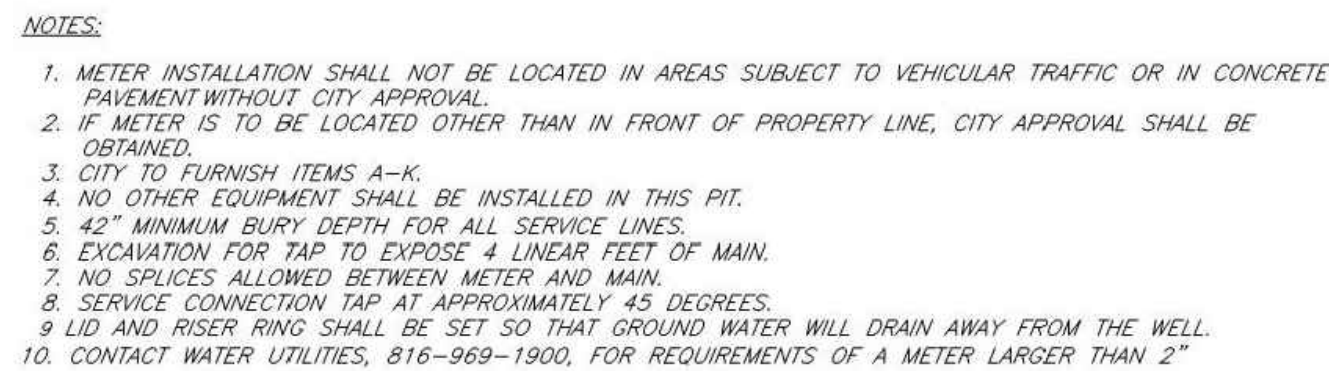
NOTES:

1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
2. MECA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

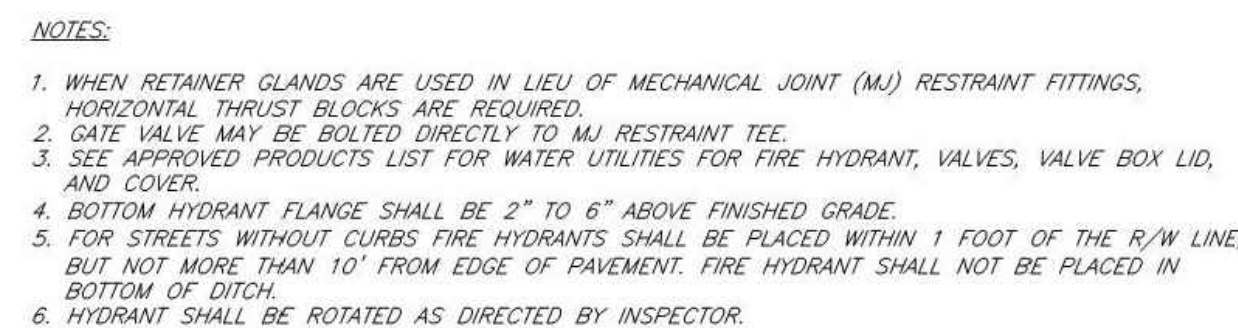


NOTES:

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2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.



1. METER VALVE WALLS TO BE POURED OR PRECAST CONCRETE. METER VALVE ROOF TO BE REINFORCED CONCRETE WITH OPENING CENTERED OVER DETECTOR METER. REINFORCED WALLS AND SLABS ARE TO BE DESIGNED BY THE OWNER'S ENGINEER OR PRECAST ENGINEER.
2. METER VALVE TO BE AS CLOSE AS POSSIBLE OUTSIDE TRAFFIC AREA AND WHERE SURFACE WATER WILL NOT DRAIN INTO IT. PROVIDE CONCRETE SUMP TO DRAIN TO AN ABOVE GROUND DISCHARGE POINT.
3. HIGH WATER LEVELS TO BE PREVENTED BY PROVIDING THROUGH THE VALVE SHALL BE PROVIDED WITH RESTRAINED JOINT FITTINGS.
4. ALL FITTINGS FOR THE DETECTOR METER TO BE BRASS.
5. STEPS SHALL BE IN ACCORDANCE WITH THE APPROVED PRODUCTS LIST FOR WATER UTILITIES.
6. A DEPARTMENT OF NATURAL RESOURCES APPROVED DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW PREVENTER MUST BE USED. FOR A COPY OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES APPROVED BACKFLOW PREVENTION ASSEMBLIES, CONTACT WATER UTILITIES AT 816-369-1900.
7. ALL VALVES SHALL HAVE RISING STEMS.
8. MANHOLE COVER SHALL BE A BILCO K-1 MODEL UNLESS IN A VEHICLE TRAFFIC AREA. ALL COVERS FOR MANHOLES TO BE USED FOR WATER UTILITIES FOR TRAFFIC CONDITIONS, THE COVER SHALL HAVE A 1-3/4" Ø HOLE DRILLED FOR A TOUCH/REAR DEVEE.
9. A MINIMUM OF 18" CLEARANCE SHALL BE PROVIDED AROUND ALL PIPING, VALVES, APPURTENANCES, ETC.
10. CONVEY ALL VALVES TO BE PROVIDED FOR VALUITS THAT INCLUDE A FIRE DEPARTMENT CONNECTION OR A 3" OR LARGER METER.

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