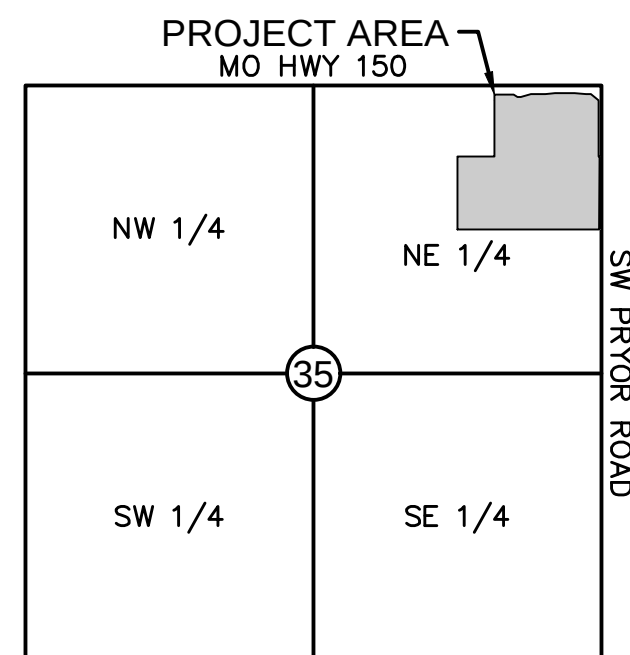


OSAGE REZONING & PRELIMINARY DEVELOPMENT PLAN

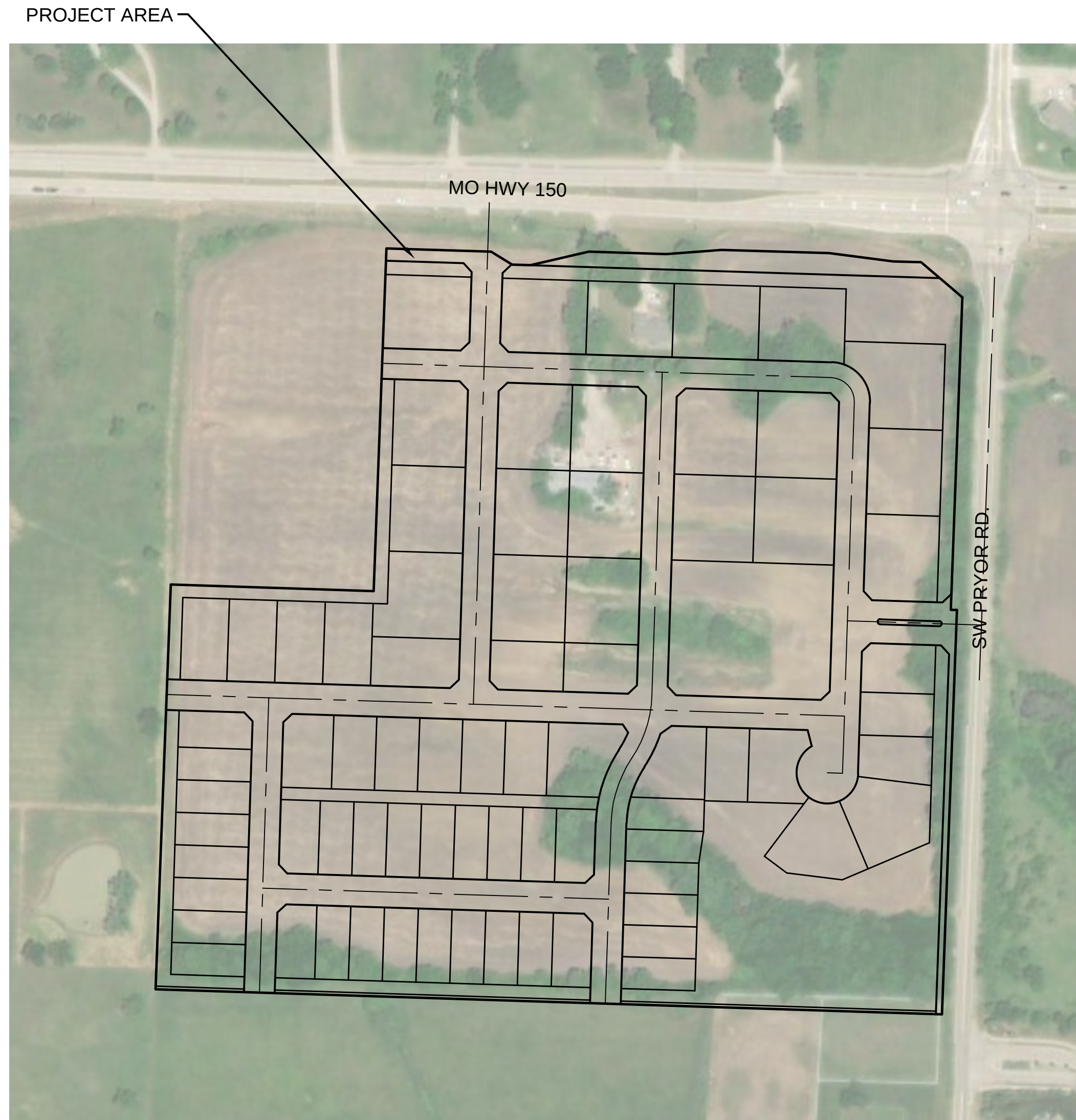
SECTION 35, TOWNSHIP 47N, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



VICINITY MAP

S35, T47N, R32W
SCALE 1"=2000'

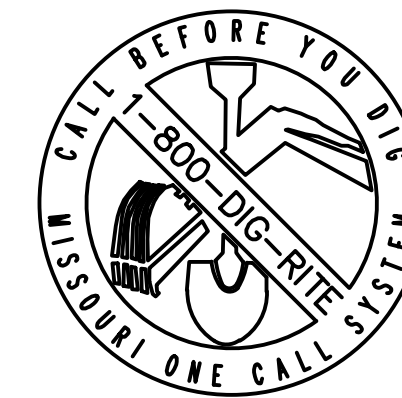
PROJECT TEAM CONTACT LIST
<u>OWNER / DEVELOPER</u> CLAYTON PROPERTIES GROUP, INC. DBA SUMMIT HOMES 120 SE 30TH ST. LEE'S SUMMIT, MO 64082 CONTACT: VINCENT WALKER PHONE: 816.246.6700 EMAIL: VINCENT@SUMMITHOMESKC.COM
<u>ENGINEER</u> OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JOHN ERPELDING PHONE: 816.361.1177 EMAIL: JERPELDING@OLSSON.COM



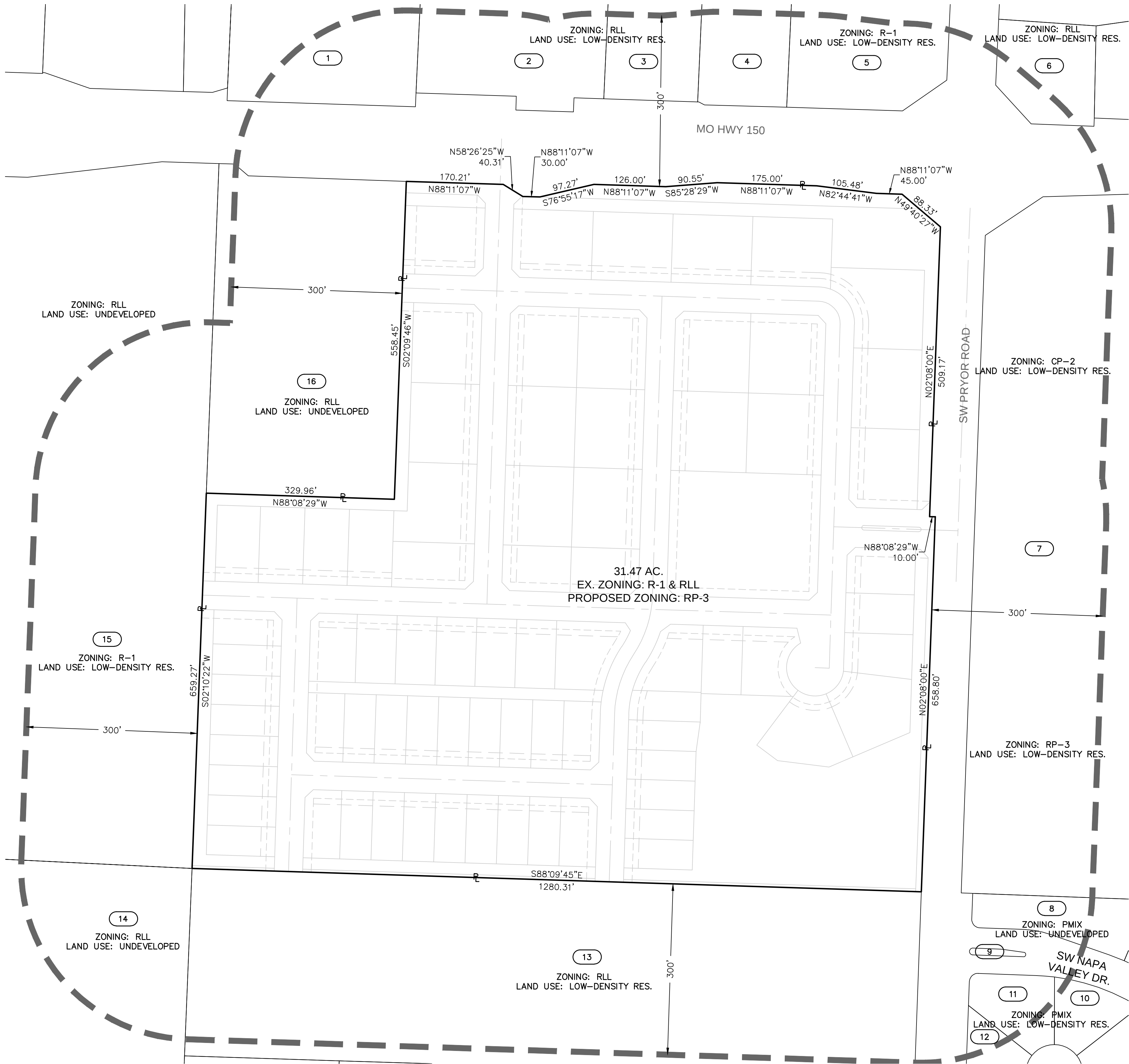
PROPERTY DESCRIPTION:

A tract of land in the Northeast Quarter of the Northeast Quarter of Section 35, Township 47 North, Range 32 West of the 5th Principal Meridian, including part of Lots 1, 2 and 3, SALVAGGIO'S RANCH, a subdivision of land, all in Lee's Summit, Jackson County, Missouri, being bounded and described as follows: Commencing at the Northeast corner of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along the East line of said Northeast Quarter, 658.78 feet to the Southeast corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°08'29" West, along the South line of said North Half, 50.00 feet to the Southeast Corner of said Lot 3, said point also being on the Westerly right of way line of SW Pryor Road as now established and the Point of Beginning of the tract of land to be herein described; thence North 88°08'29" East, along the South line of said North Half, 100.00 feet to the Southeast corner of said Lot 3, said point also being on the Pryor Road as established by Document 1963B144660, in Book 1634, at page 487, being on a line that 40.00 West of and parallel with the East line of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along last said Westerly right of way line and said parallel line, 658.80 feet to a point on the South line of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°09'45" West, along said South line, 1280.31 feet to the Southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°10'22" East, along the West line of the Northeast Quarter of the Northeast Quarter of said Section 35, 659.27 feet to the Southwest corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence South 88°08'29" East, along the South line of said North Half of the Northeast Quarter of the Northeast Quarter of said Section 35, 100.00 feet to the Southeast corner of said Lot 3, said point also being on the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°09'46" East, along the West line of East Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35, 558.45 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0064160, being 80.00 feet right of centerline Station 316+29.79 (Station 316+29.51 Deed); thence South 88°11°07" East, along said Southerly right of way line 170.21 feet to a point that is 80.00 feet right of centerline Station 318+00.00; thence South 58°26'25" East, along said Southerly right of way line, 40.31 feet to a point that is 100.00 feet right of centerline Station 318+35.00; thence South 88°11°07" East, along said Southerly right of way line, 30.00 feet to a point that is 100.00 feet right of centerline Station 318+65.00; thence South 76°55'17" East, along said Southerly right of way line, 97.27 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0064160, being 75.00 feet right of centerline Station 320+85.00; thence North 88°28'29" East, along said Southerly right of way line, 126.00 feet to a point that is 75.00 feet right of centerline Station 320+85.00; thence North 88°28'29" East, along said Southerly right of way line, 90.55 feet to a point that is 65.00 feet right of centerline Station 321+75.00; thence South 88°11°07" East, along said Southerly right of way line and along the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E006351, 175.00 feet to a point that is 65.00 feet right of centerline Station 323+50.00; thence South 88°41°41" East, along said Southerly right of way line, 105.48 feet to a point that is 75.00 feet right of centerline Station 324+55.00; thence South 88°11°07" East, along said Southerly right of way line, 45.00 feet to a point that is 75.00 feet right of centerline Station 325+00.00; thence South 49°40'27" East, along said Southerly right of way line, 88.33 feet to a point that is 130.00 feet right of centerline Station 325+69.12 (Station 325+69.30 Deed), said point also being on the East line of said Lot 2, SALVAGGIO'S RANCH and on the West right of way of said SW Pryor Road as now established; thence South 02°08'00" West, along said East lot line and said West right of way line, 509.11 feet to the Point of Beginning Containing 1,370,951 square feet or 31.473 acres, more or less.

Sheet Title	Sheet Number
TITLE SHEET	01
REZONING PLAN	02
EXISTING CONDITIONS	03
SITE PLAN	04
PRELIMINARY GRADING PLAN	05
PRELIMINARY UTILITY PLAN	06
PRELIMINARY UTILITY PLAN (CONT'D.)	07
OVERALL PLAN (LANDSCAPE)	L1
ENTRY MONUMENTS	L2
ENTRY MONUMENTS	L3
ENTRY MONUMENTS	L4
AMENITY AREA PLAN	L5
AMENITY AREA PLAN	L6
ARCHITECTURAL ELEVATIONS - LOTS 1-21	A1
ARCHITECTURAL ELEVATIONS - LOTS 22-43	A2
ARCHITECTURAL ELEVATIONS - LOTS 44-75	A3
POOL RENDERINGS	A4

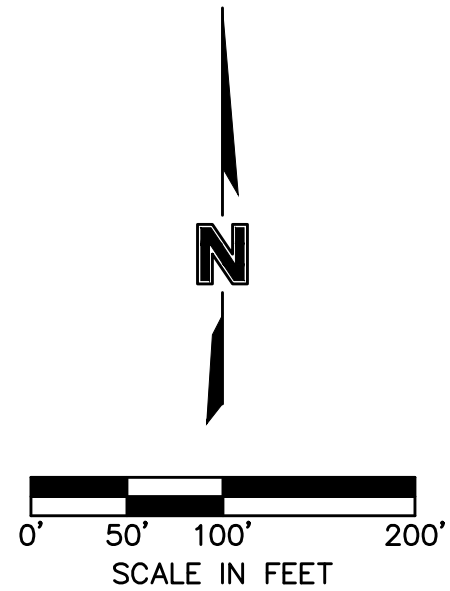
[illegible]

PROPERTY OWNERS WITHIN 300'		
KEY	ADDRESS	OWNER(S) & MAILING ADDRESS
1	2124 SW MO 150 HWY LEE'S SUMMIT, MO 64082	DANIELS NANCY SUE & G MARK-TR 13320 S PRATT RD LEE'S SUMMIT, MO 64086
2	2052 SW MO 150 HWY LEE'S SUMMIT, MO 64082	DALE DONALD RAY-TRUSTEE 2052 SW MO 150 HWY LEE'S SUMMIT, MO 64082
3	2040 SW MO 150 HWY LEE'S SUMMIT, MO 64082	RYAN JOHN C 2040 SW MO 150 HWY LEE'S SUMMIT, MO 64082
4	2030 SW MO 150 HWY LEE'S SUMMIT, MO 64082	HARRISON JERRY DALE & DONNA C 2030 SW MO 150 HWY LEE'S SUMMIT, MO 64063
5	3540 SW PRYOR RD LEE'S SUMMIT, MO 64082	DOANE ERIC J & JULIE A-TRUSTEES 3540 SW PRYOR RD LEE'S SUMMIT, MO 64082
6	3699 SW PRYOR RD LEE'S SUMMIT, MO 64082	MC MILLIN PAULA 3699 SW PRYOR RD LEE'S SUMMIT, MO 64082
7	1905 SW MO 150 HWY LEE'S SUMMIT, MO 64082	GRIFFIN RILEY INVESTMENTS LLC 120 SE 30TH ST LEE'S SUMMIT, MO 64082
8	** NO ADDRESS **	NAPA VALLEY INVESTMENTS LLC PO BOX 375 GREENWOOD, MO 64034
9	TRAFFIC MEDIAN LEE'S SUMMIT, MO 64082	NAPA VALLEY INVESTMENTS LLC PO BOX 375 GREENWOOD, MO 64034
10	1912 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082	COX COLIN G & JESSICA S 1912 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082
11	1916 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082	DEL FRATTE GEORGE & BETTY J TRUSTEE 1916 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082
12	1917 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082	THOMAS JOHN R & CHRISTINE D 1917 SW SAGE CANYON RD LEE'S SUMMIT, MO 64082
13	** NO ADDRESS **	THOMPSON GARY L & DEBORAH L 1313 SW PACIFIC DR LEE'S SUMMIT, MO 64081
14	** NO ADDRESS **	HIGHVIEW PROPERTIES LLC 2422 SW SPRINGWATER RDG LEE'S SUMMIT, MO 64081
15	2201 SW MO 150 HWY LEE'S SUMMIT, MO 64082	SOLANO CESAR E & CARLA EVANS 316 S SHORE DR LAKE WINNEBAGO, MO 64034
16	14501 SW MO 150 HWY LEE'S SUMMIT, MO 64082	SHERRARD LAWRENCE III & MARY 4603 W 122ND ST APT 715 LEAWOOD, KS 66209



PROPERTY DESCRIPTION:

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Missouri Certificate of Authority #001592

1301 Burlington Street

North Kansas City, MO 64116

TEL 816.361.1177

www.olsson.com

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REZONING PLAN

OSAGE

REZONING & PRELIMINARY DEVELOPMENT PLAN

2019

LEE'S SUMMIT, MO

drawn by: CJH

checked by: CGW

approved by: JFE

QA/QC by: MGD

project no.: 019-2339

drawing no.: C-REZ01_0192339

date: 2019.09.13

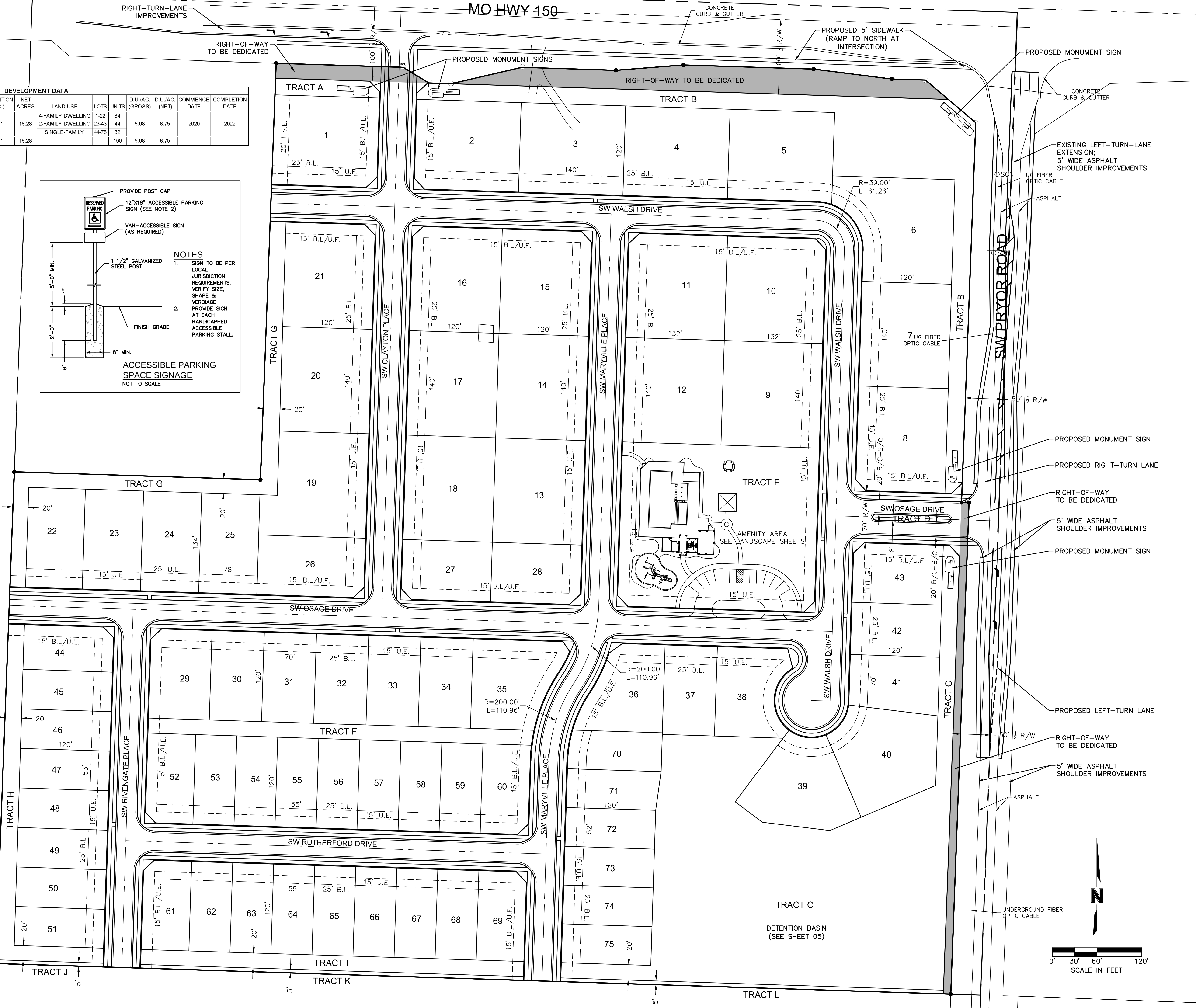
SHEET

02

DEVELOPMENT DATA										
PHASE	EX ZONING	PR ZONING	GROSS ACRES	STREET R/W (AC.)	OPEN SPACE (AC.)	DETENTION (AC.)	NET ACRES	LAND USE	LOTS	UNITS
1	R-1 & RLL	RP-3	31.47	6.88	3.70	2.61	18.28	4-FAMILY DWELLING	1-22	84
								2-FAMILY DWELLING	23-43	44
								SINGLE-FAMILY	44-75	32
TOTAL			31.47	6.88	3.70	2.61	18.28		160	160

TRACTS	
TRACT AREA (AC.)	USE
A 0.07	OPEN SPACE
B 0.97	OPEN SPACE
C 2.61	DETENTION
D 0.02	OPEN SPACE (MEDIAN)
E 1.33	OPEN SPACE (AMENITY)
F 0.24	OPEN SPACE
G 0.40	OPEN SPACE
H 0.29	OPEN SPACE
I 0.24	OPEN SPACE
J 0.02	OPEN SPACE
K 0.06	OPEN SPACE
L 0.06	OPEN SPACE

- NOTES:
- RIGHT-OF-WAY WIDTH SHALL BE 50', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC R/W SHALL BE A 50' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC.
 - STREET WIDTHS AS MEASURED BETWEEN BACKS OF CURBS SHALL BE 28', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC PAVEMENT SHALL BE A 39' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC TO BACK OF CURB.
 - 5' SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL PROPOSED STREETS.
 - TRACTS A, B, & C SHALL BE A MINIMUM OF 20' WIDE WHERE SEPARATING REAR LOT LINES AND RIGHT-OF-WAY.
 - MEDIUM-DENSITY BUFFERS TO ADJACENT LAND USES SHALL BE LOCATED WITHIN 20' LANDSCAPE EASEMENTS WITHIN LOTS.
 - LOTS 1, 2, 8, 43 SHALL NOT BE PERMITTED DRIVEWAY ACCESS TO STREETS ALONG SIDES OF LOTS.
 - LOT DIMENSIONS AND SETBACKS:
 - LOTS 1-21 (4-FAMILY BUILDINGS):
 - MINIMUM DEPTH: 120'
 - MINIMUM WIDTH: 140'
 - MINIMUM AREA: 16,800 SF
 - FRONT SETBACK: 25'
 - SIDE YARD SETBACK: 10' MIN.
 - REAR YARD SETBACK: 30' MIN.
 - CORNER LOTS: 15' MIN.
 - LOTS 22-43 (2-FAMILY BUILDINGS):
 - MINIMUM DEPTH: 118'
 - MINIMUM WIDTH: 70'
 - MINIMUM AREA: 8260 SF
 - FRONT SETBACK: 25'
 - SIDE YARD SETBACK: 5' MIN.
 - REAR YARD SETBACK: 20' MIN.
 - CORNER LOTS: 15' MIN.
 - LOTS 44-75 (SINGLE-FAMILY):
 - MINIMUM DEPTH: 120'
 - MINIMUM WIDTH: 50'
 - MINIMUM AREA: 6000 SF
 - FRONT SETBACK: 25'
 - SIDE YARD SETBACK: 5' MIN.
 - REAR YARD SETBACK: 20' MIN.
 - CORNER LOTS: 15' MIN.



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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

SITE PLAN

OSAGE
REZONING & PRELIMINARY DEVELOPMENT PLAN

2019

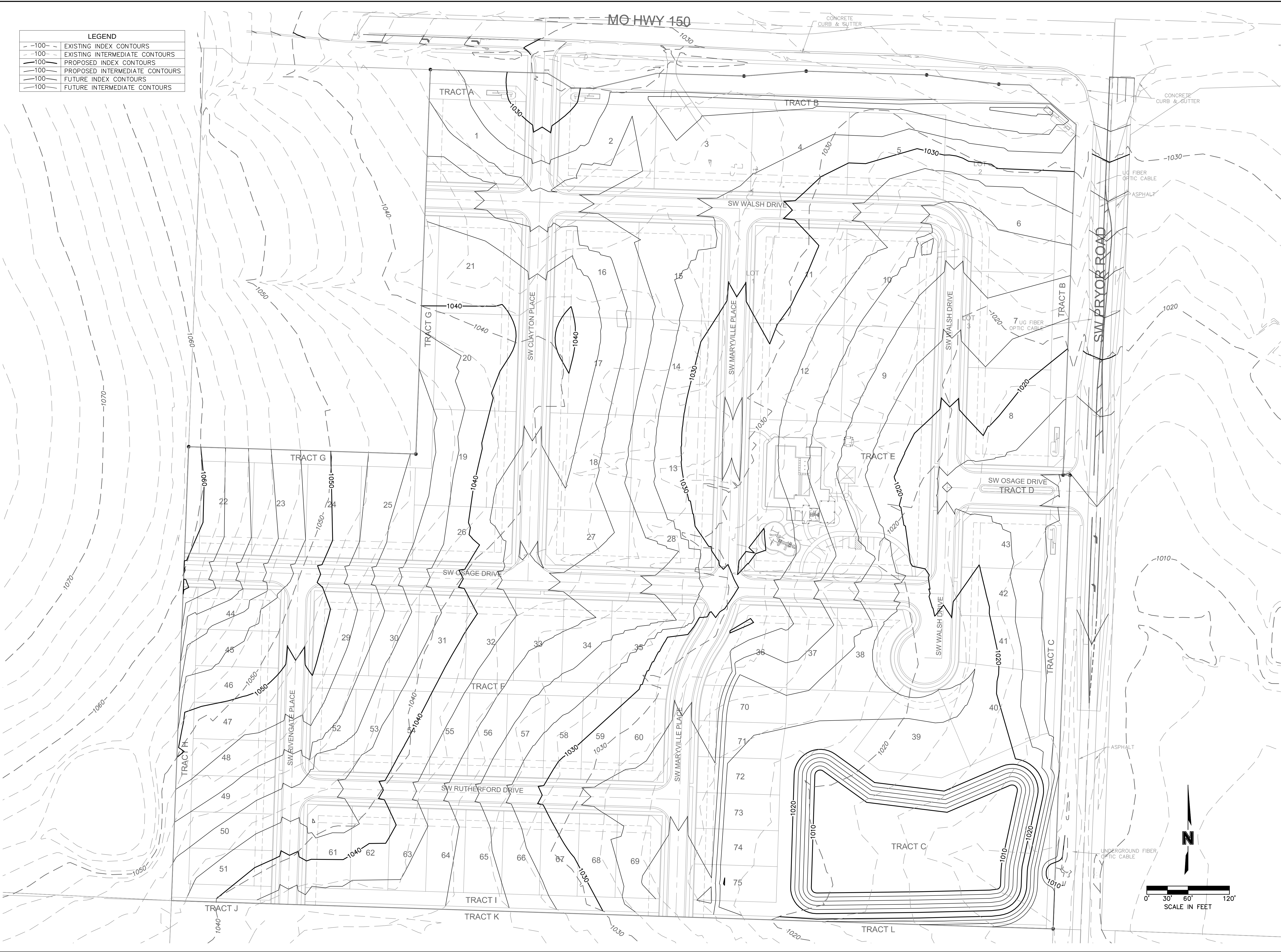
LEE'S SUMMIT, MO

drawn by: CJH
checked by: CGW
approved by: JFE
QA/QC by: MGD
project no.: C_SIT01_019-2339
drawing no.: 2019.09.13

SHEET
04

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-100-	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS
100	FUTURE INDEX CONTOURS
100	FUTURE INTERMEDIATE CONTOURS



PRELIMINARY GRADING PLAN

OSAGE
REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

REVISIONS DESCRIPTION

DATE

REV. NO.

BY

REVISIONS

2019

SHEET
05

drawn by: CJH
checked by: CGW
approved by: JFE
QA/QC by: MGD
project no.: 019-2339
drawing no.: C_GRD01_0192339
date: 2019.09.13

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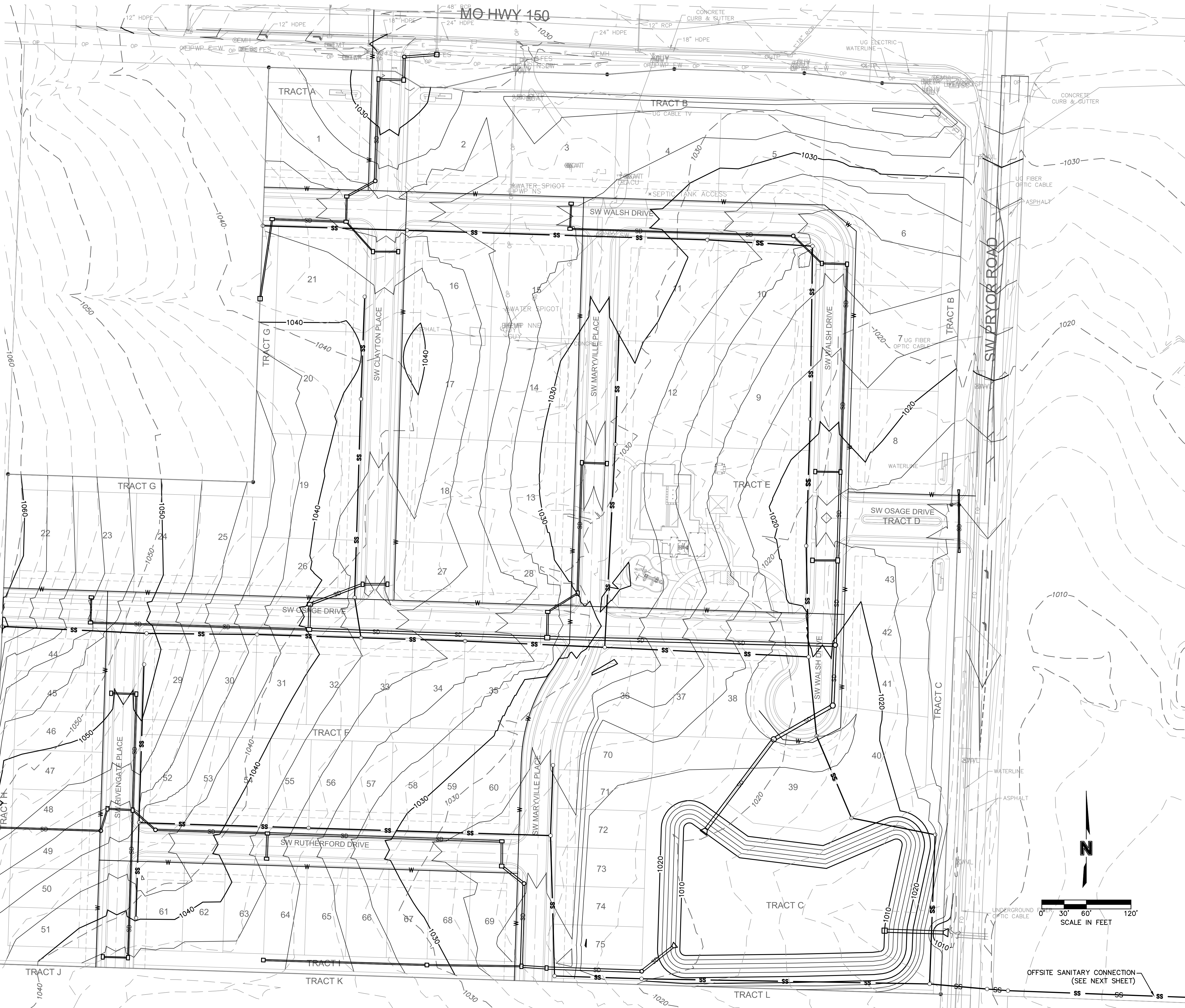
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TEL 816.361.1177
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ECTV	EXISTING CABLE TV, UNDERGROUND
CTVOH	PROPOSED CABLE TV, OVERHEAD
CTV	PROPOSED CABLE TV, UNDERGROUND
FGTVOH	FUTURE CABLE TV, OVERHEAD
FGTV	FUTURE CABLE TV, UNDERGROUND
EFOOH	EXISTING FIBER OPTIC, OVERHEAD
EFO	EXISTING FIBER OPTIC, UNDERGROUND
FOOH	PROPOSED FIBER OPTIC, OVERHEAD
FO	PROPOSED FIBER OPTIC, UNDERGROUND
FGTOH	FUTURE FIBER OPTIC, OVERHEAD
FGT	FUTURE FIBER OPTIC, UNDERGROUND
EFP	EXISTING FIRE PROTECTION SYSTEM LINE
FP	PROPOSED FIRE PROTECTION SYSTEM LINE
FGP	FUTURE FIRE PROTECTION SYSTEM LINE
EFL	EXISTING FUEL LINE
FL	PROPOSED FUEL LINE
FTL	FUTURE FUEL LINE
EG	EXISTING NATURAL GAS LINE
G	PROPOSED NATURAL GAS LINE
FG	FUTURE NATURAL GAS LINE
ETELOH	EXISTING TELEPHONE LINE, OVERHEAD
ETEL	EXISTING TELEPHONE LINE, UNDERGROUND
TELOH	PROPOSED TELEPHONE LINE, OVERHEAD
TEL	PROPOSED TELEPHONE LINE, UNDERGROUND
FTELOH	FUTURE TELEPHONE LINE, OVERHEAD
FTEL	FUTURE TELEPHONE LINE, UNDERGROUND
EEOH	EXISTING POWER/ELECTRIC LINE, OVERHEAD
EE	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
EEOH	PROPOSED POWER/ELECTRIC LINE, OVERHEAD
E	PROPOSED POWER/ELECTRIC LINE, UNDERGROUND
FTEOH	FUTURE POWER/ELECTRIC LINE, OVERHEAD
FE	FUTURE POWER/ELECTRIC LINE, UNDERGROUND
ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
FSS	FUTURE SANITARY SEWER
ESL	EXISTING STEAM LINE
SL	PROPOSED STEAM LINE
FSL	FUTURE STEAM LINE
ESD	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
FSD	FUTURE STORM SEWER
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE
FW	FUTURE WATER LINE

LEGEND	
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-100-	FUTURE INDEX CONTOURS
-100-	FUTURE INTERMEDIATE CONTOURS



PRELIMINARY UTILITY PLAN

OSAGE
REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

REVISIONS

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

2019

drawn by: CJH
checked by: CGW
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QA/QC by: MGD
project no.: C-UTL01_019-2339
drawing no.: 019-2339
date: 2019.09.13

SHEET
06

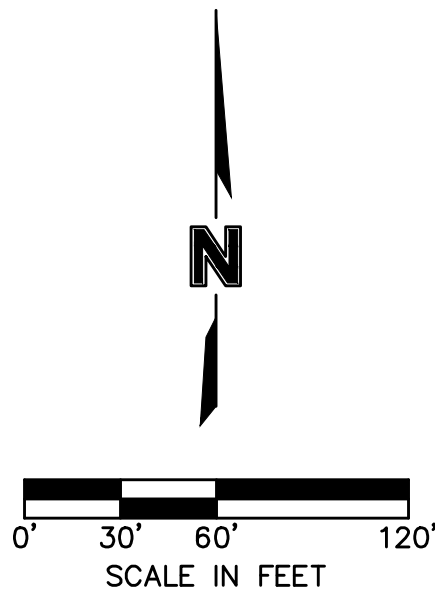
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DWG: F:\2019\2001-2500\019-2339\40-Design\AutoCAD\Preliminary Plans\Sheets\GNV\C_UTL02_0192339.dwg USER: chelmuist
DATE: Sep 13, 2019 1:47pm XREFS: C_PBASE_0192339 C_PSURF_0192339 C_PUTIL_0192339

LEGEND	
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	EXISTING CABLE TV, UNDERGROUND
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	PROPOSED CABLE TV, UNDERGROUND
	FUTURE CABLE TV, OVERHEAD
	FUTURE CABLE TV, UNDERGROUND
	EXISTING FIBER OPTIC, OVERHEAD
	EXISTING FIBER OPTIC, UNDERGROUND
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	PROPOSED FIBER OPTIC, UNDERGROUND
	FUTURE FIBER OPTIC, OVERHEAD
	FUTURE FIBER OPTIC, UNDERGROUND
	EXISTING FIRE PROTECTION SYSTEM LINE
	PROPOSED FIRE PROTECTION SYSTEM LINE
	FUTURE FIRE PROTECTION SYSTEM LINE
	EXISTING FUEL LINE
	PROPOSED FUEL LINE
	FUTURE FUEL LINE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	FUTURE NATURAL GAS LINE
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	PROPOSED TELEPHONE LINE, OVERHEAD
	PROPOSED TELEPHONE LINE, UNDERGROUND
	FUTURE TELEPHONE LINE, OVERHEAD
	FUTURE TELEPHONE LINE, UNDERGROUND
	EXISTING POWER/ELECTRIC LINE, OVERHEAD
	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
	PROPOSED POWER/ELECTRIC LINE, OVERHEAD
	PROPOSED POWER/ELECTRIC LINE, UNDERGROUND
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	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STEAM LINE
	PROPOSED STEAM LINE
	FUTURE STEAM LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE

LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS



PRELIMINARY UTILITY PLAN (CONT'D.)

OSAGE
REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: CJH
checked by: CGW
approved by: JFE
QA/QC by: MGD
project no.: 019-2339
drawing no.: C_UTL02_0192339
date: 2019.09.13

SHEET
07

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

2019

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Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177 www.olsson.com

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	55	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust		3"	6' min. clear., ground to canopy	
	104	Platanus x acerifolia	London Plane Tree		3"	6' min. clear., ground to canopy	
	121	Acer x truncatum "Warrenred"	Pacific Sunset Maple		3"	6' min. clear., ground to canopy	
	53	Quercus bicolor	Swamp White Oak		3"	6' min. clear., ground to canopy	
	68	Acer griseum	Paperbark Maple		3"	6' min. clear., ground to canopy	
	36	Ulmus parvifolia	Lacebark Elm		3"	6' min. clear., ground to canopy	
EVERGREEN TREES							
	107	Juniperus chinensis "Keteleeri"	Keteleeri Juniper		8" ht.	symmetrical pyramidal form	
	78	Picea abies	Norway Spruce		8" ht.	symmetrical pyramidal form	
	101	Picea pungens	Colorado Blue Spruce		6" ht.	symmetrical pyramidal form	
ORNAMENTAL TREES							
	82	Cercis canadensis	Eastern Redbud		1.5"		
	20	Cornus florida "Cloud Nine"	Cloud 9 Dogwood		1.5"		
DECIDUOUS SHRUBS/GRASSES							
	101	Lil'ope spicata "Silver Dragon"	Silver Dragon Lil'ope	1 gal.		Plant @ 18" O.C.	
	80	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.		Plant @ 18" O.C.	
	13	Abelia x grandiflora Kaleidoscope	Kaleidoscope Abelia	3 gal. 18" ht. min.		Plant @ 4' O.C.	
	138	Equisetum hyemale	Horsetail Reed	1 gal.		Plant @ 18" O.C.	
EVERGREEN SHRUBS							
	51	Juniperus chinensis "Spartan"	Spartan Juniper		5' ht.	Symmetrical pyramidal form	

Landscape Calculations/Requirements

Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty (30) feet of street frontage, within 20' setback. REQUIREMENTS MET

Amenity Parking: (For all Districts) One parking stall per every 16 units. 160 total units.
10 Stalls required.
10 stalls provided.
REQUIREMENTS MET

Buffer Landscape: Medium Density Buffer (type B) provided on all West and South sides of development.
REQUIREMENTS MET

Planting Notes

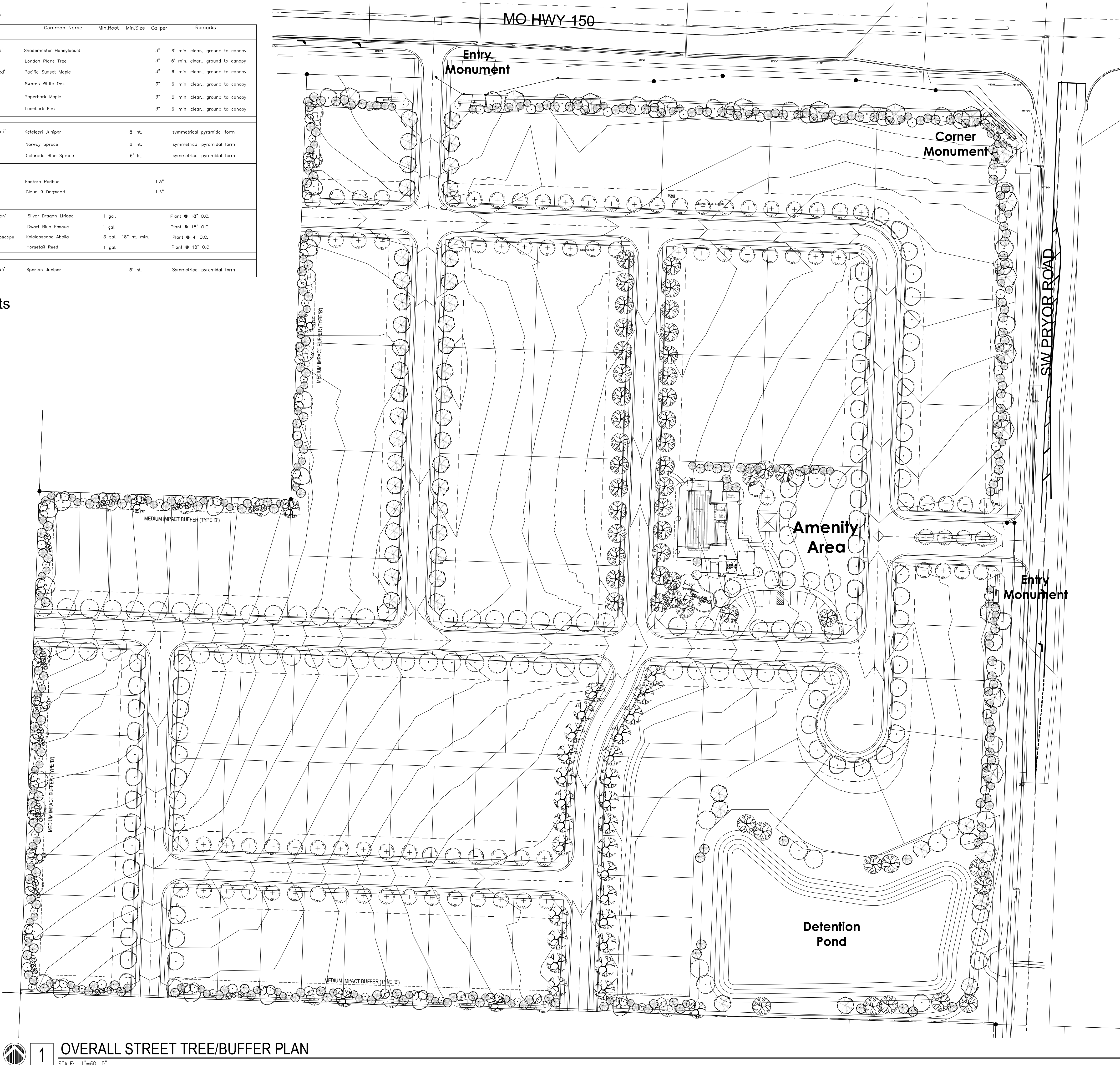
- Location of all existing utilities needs to done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
- Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:

- Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
- Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:

- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
- After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
- Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
- Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
- Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

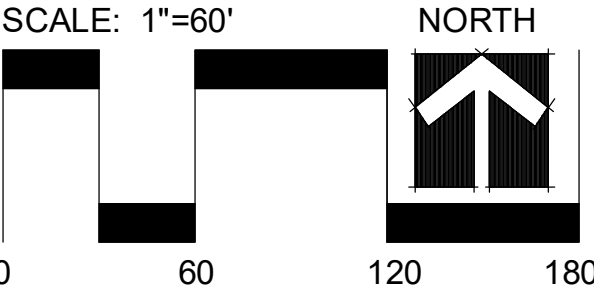


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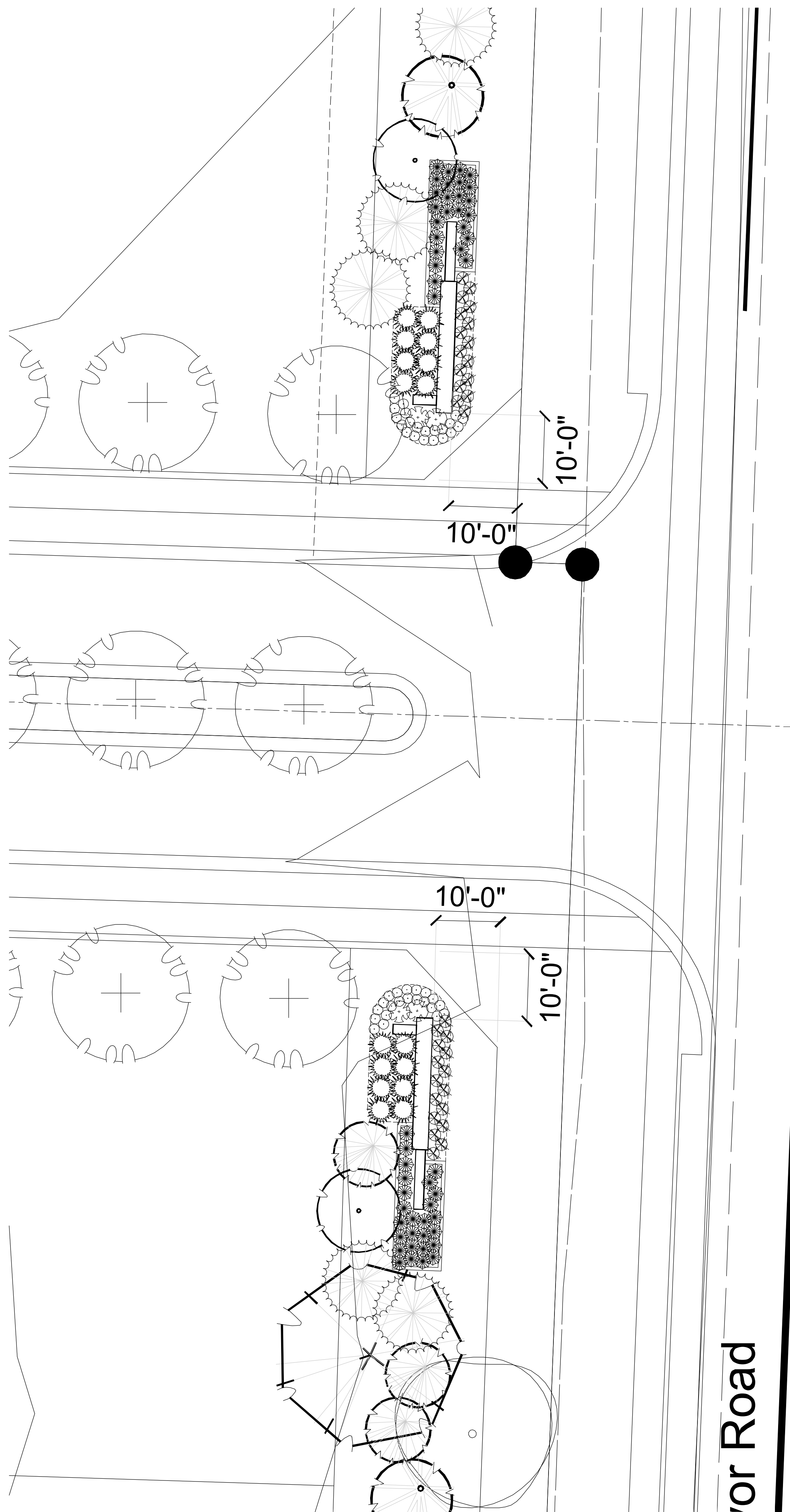
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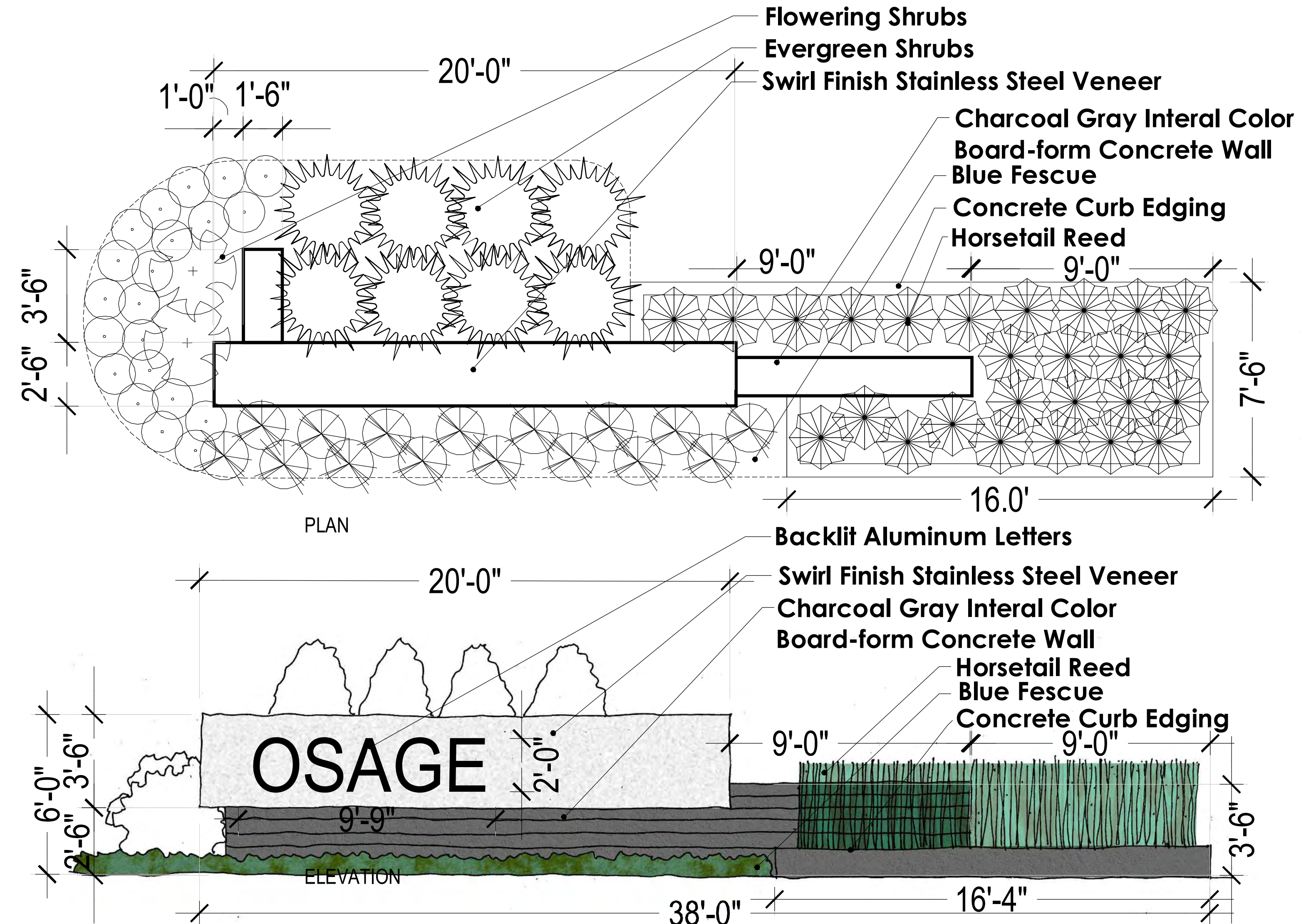


Date: 9.13.19
Overall Plan

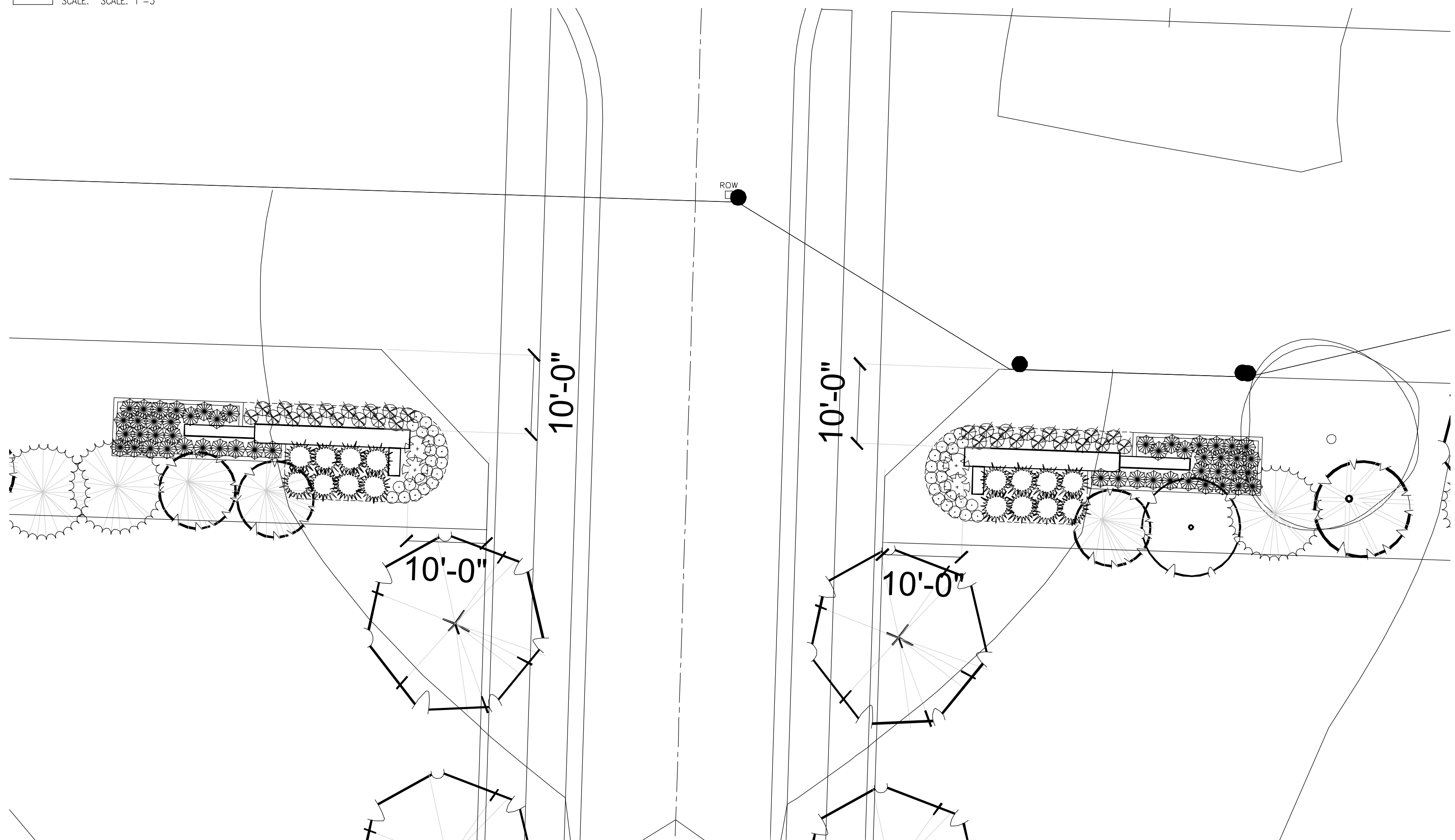
L1



1 PRYOR ROAD ENTRY MONUMENT LANDSCAPE PLAN
SCALE: 1"=10'-0"



2 MAIN ENTRY MONUMENT PLAN VIEW, AND ELEVATION VIEW
SCALE: SCALE: 1"=3'

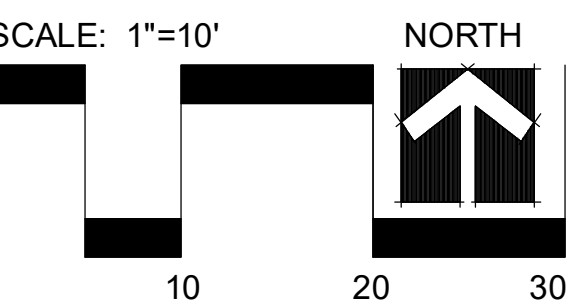


3 150 HIGHWAY ENTRY MONUMENT LANDSCAPE PLAN
SCALE: 1"=20'-0"

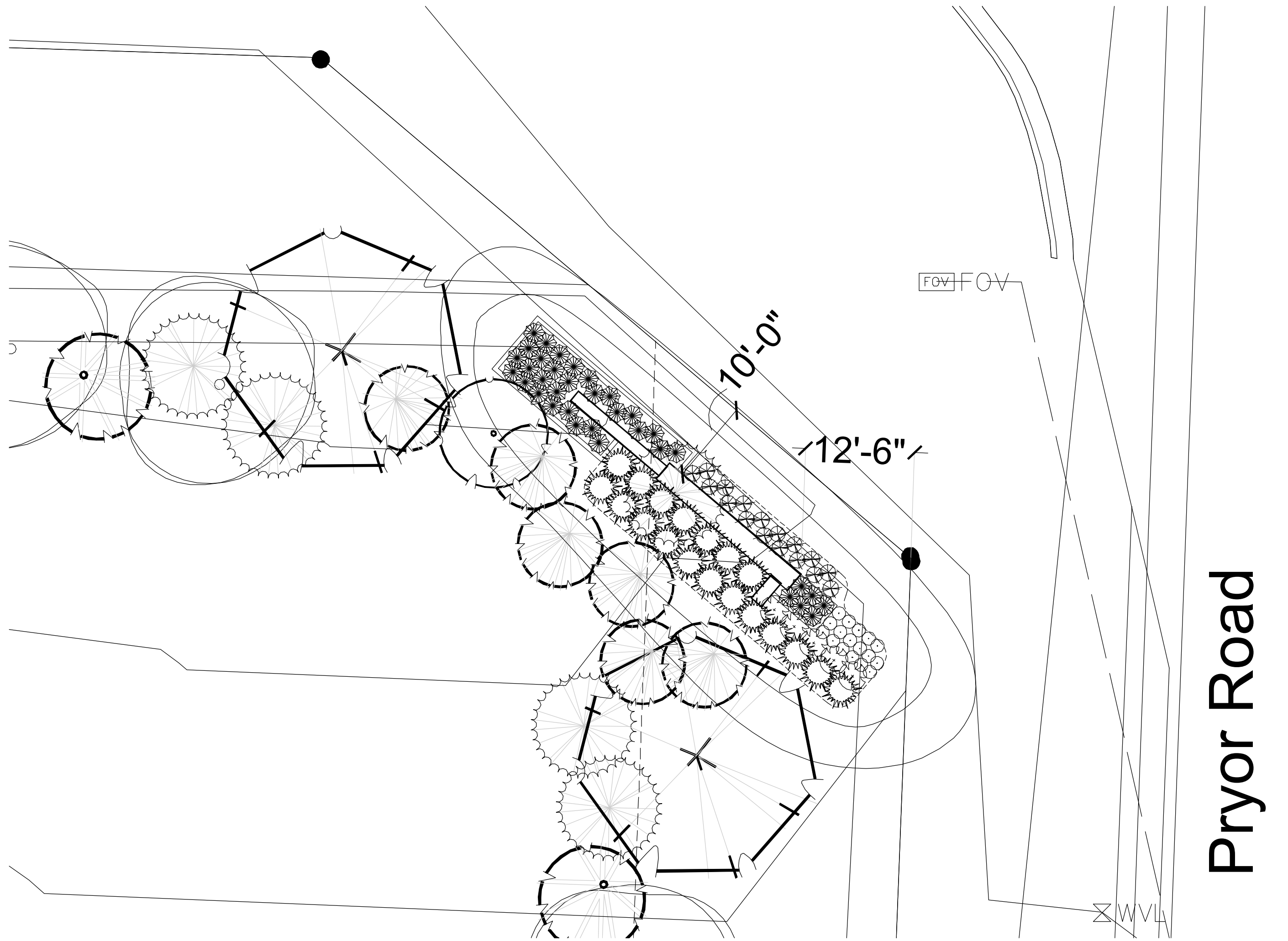


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Entry Monuments



1 CORNER ENTRY MONUMENT LANDSCAPE PLAN
SCALE: 1"=10'-0"

Pryor Road

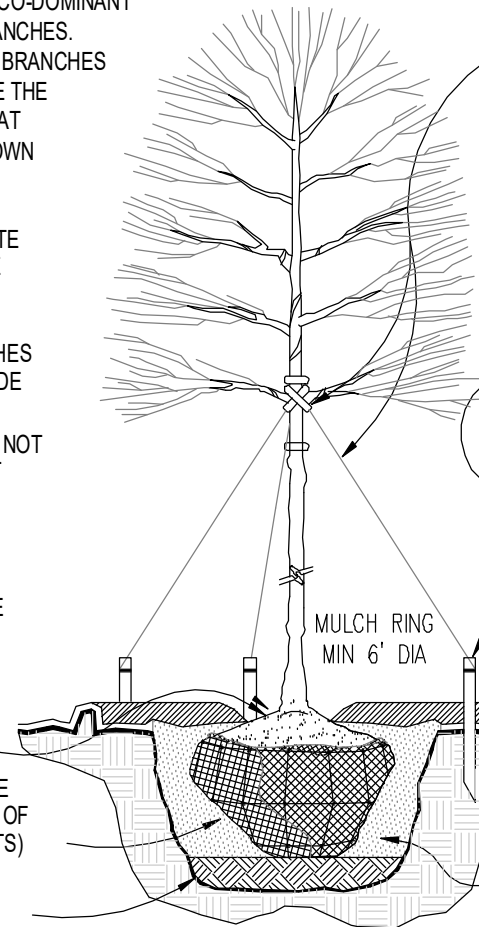
- TREE PLANTING NOTES:
- 1) DO NOT HEAVILY PRUNE THE TREE, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
 - 4) APPLY 4"THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
 - 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
 - 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

2

PLANTING INSTALLATION DETAILS

SCALE: NTS

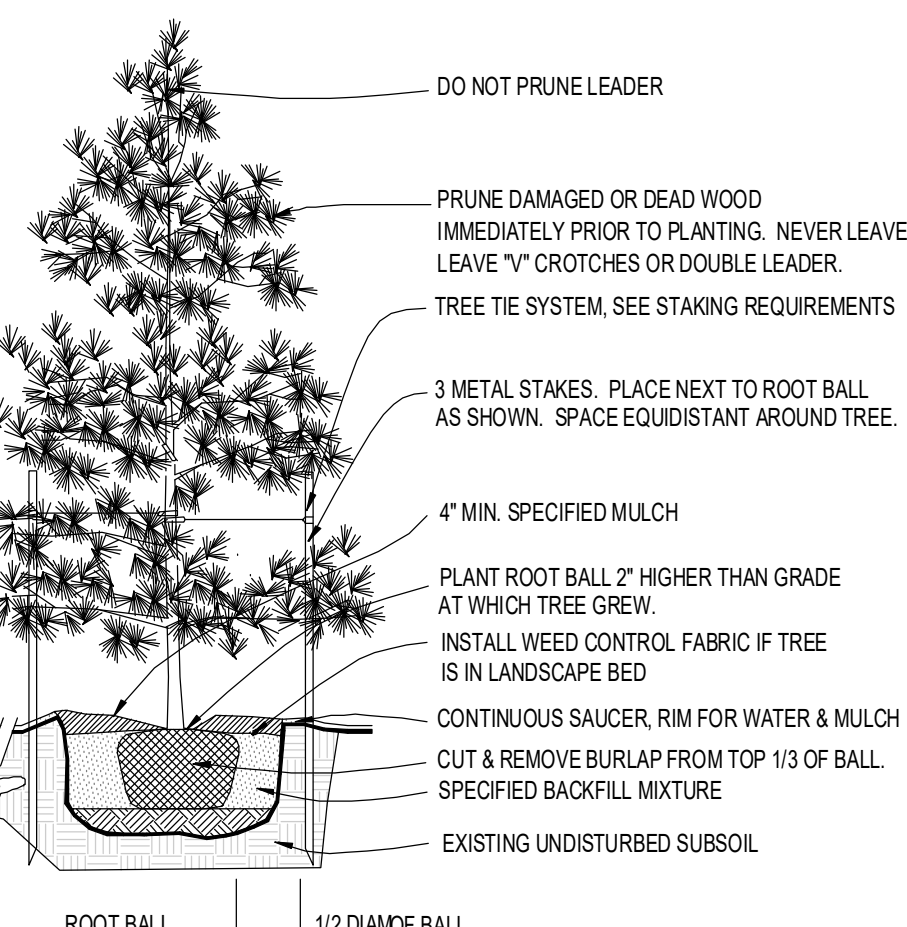
- STAKING REQUIREMENTS:
- 1) WIRE / CABLE SHALL BE GALV, 12-GAUGE
 - 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
 - 3) STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL



- PERENNIAL PLANTING NOTES:
- 1) APPLY 2"THK BED OF MULCH ON PERENNIAL PLANT BED, DO NOT COVER PLANTS
 - 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

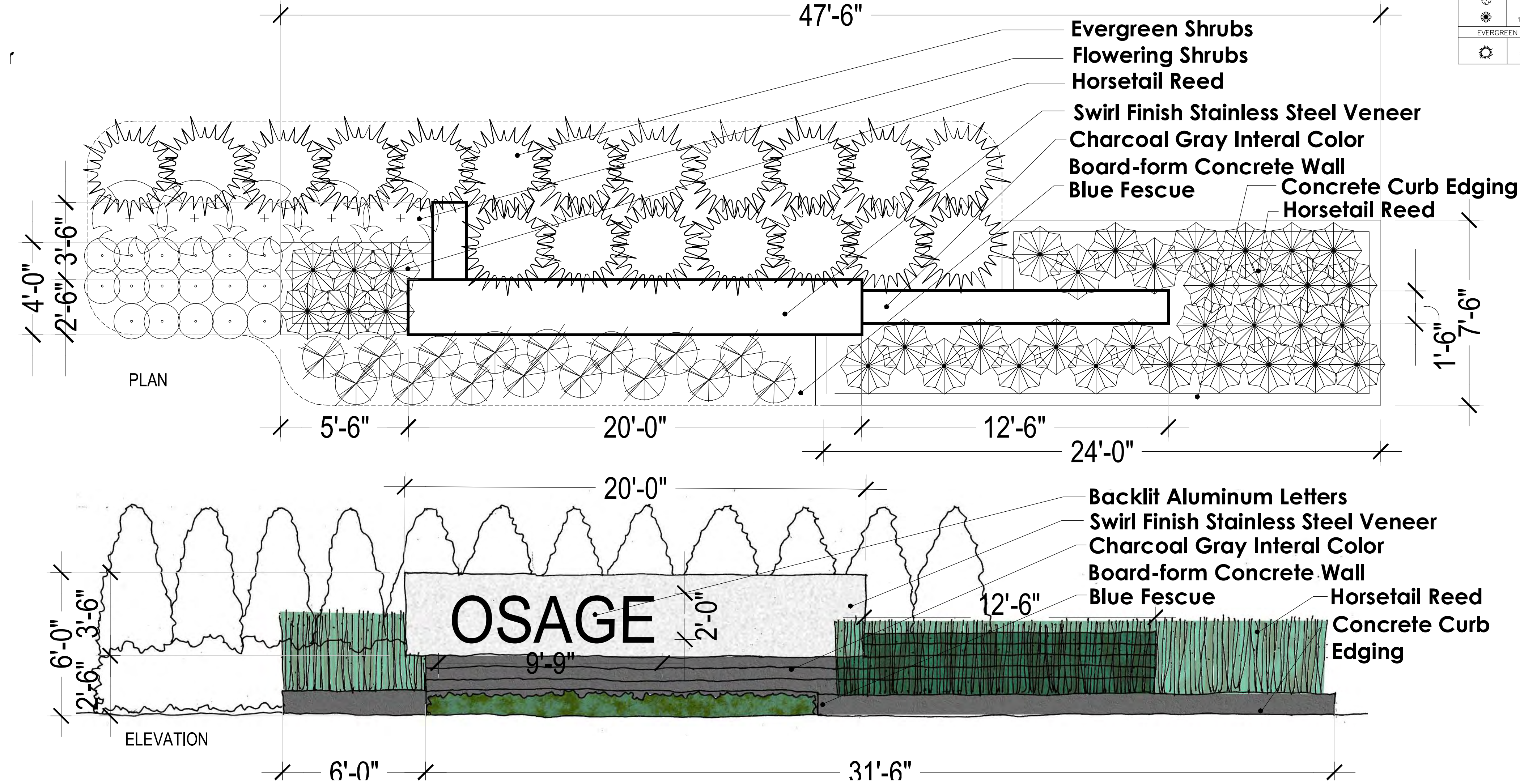
- SHRUB PLANTING NOTES:
- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

- INITIAL WATERING:
- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE



Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	55	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust			3"	6' min. clear., ground to canopy
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	121	Acer x truncatum "Warrenred"	Pacific Sunset Maple			3"	6' min. clear., ground to canopy
	53	Quercus bicolor	Swamp White Oak			3"	6' min. clear., ground to canopy
	68	Acer griseum	Paperbark Maple			3"	6' min. clear., ground to canopy
	36	Ulmus parvifolia	Lacebark Elm			3"	6' min. clear., ground to canopy
EVERGREEN TREES							
	107	Juniperus chinensis "Keteleeri"	Keteleeri Juniper		8' ht.		symmetrical pyramidal form
	78	Picea abies	Norway Spruce		8' ht.		symmetrical pyramidal form
	101	Picea pungens	Colorado Blue Spruce		6' ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
	82	Cercis canadensis	Eastern Redbud			1.5"	
	20	Cornus florida "Cloud Nine"	Cloud 9 Dogwood			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	101	Liriope spicata "Silver Dragon"	Silver Dragon Liriope	1 gal.			Plant @ 18" O.C.
	80	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.			Plant @ 18" O.C.
	13	Abelia x grandiflora Kaleidoscope	Kaleidoscope Abelia	3 gal. 18" ht. min.			Plant @ 4' O.C.
	138	Equisetum hyemale	Horsetail Reed	1 gal.			Plant @ 18" O.C.
EVERGREEN SHRUBS							
	51	Juniperus chinensis "Spartan"	Spartan Juniper		5' ht.		Symmetrical pyramidal form

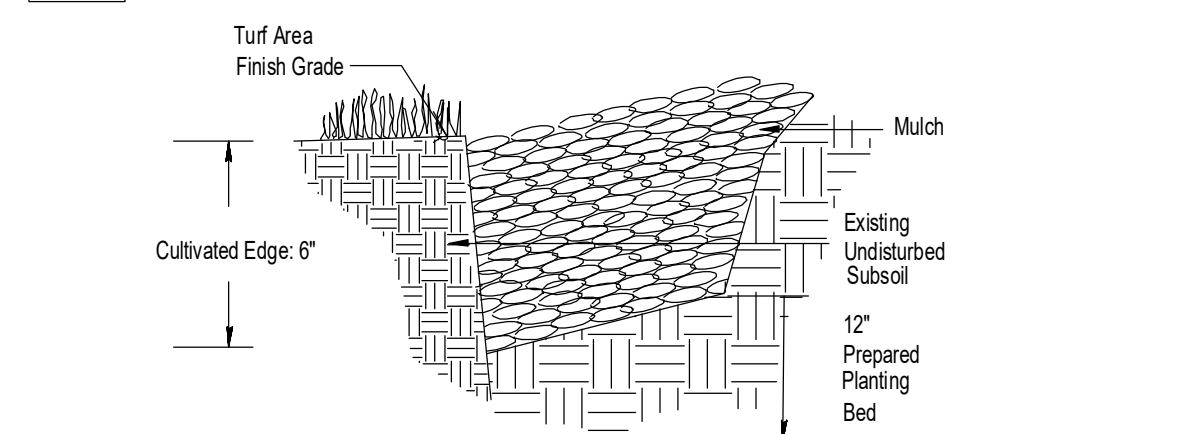


3 CORNER ENTRY MONUMENT
SCALE: 1"=3'

Groundcover or Shrub Pit	Container	Shredded Bark Mulch	Notes
			Notes: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS. 2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS.

4 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS



5 CULTIVATED EDGE DETAIL

SCALE: NTS

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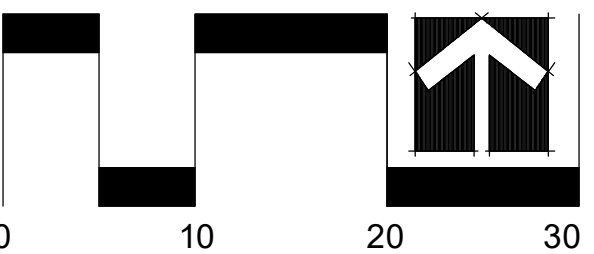
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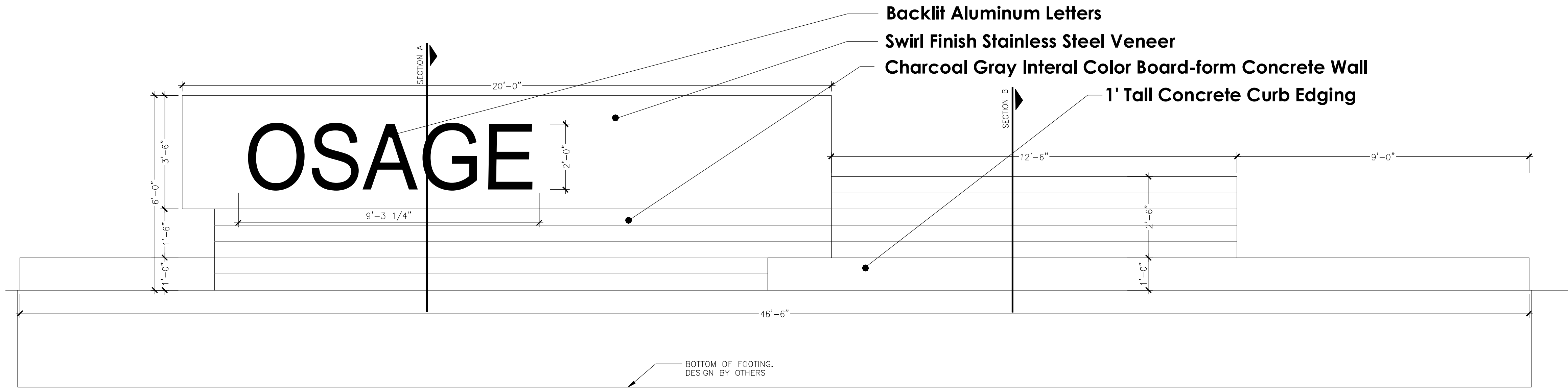
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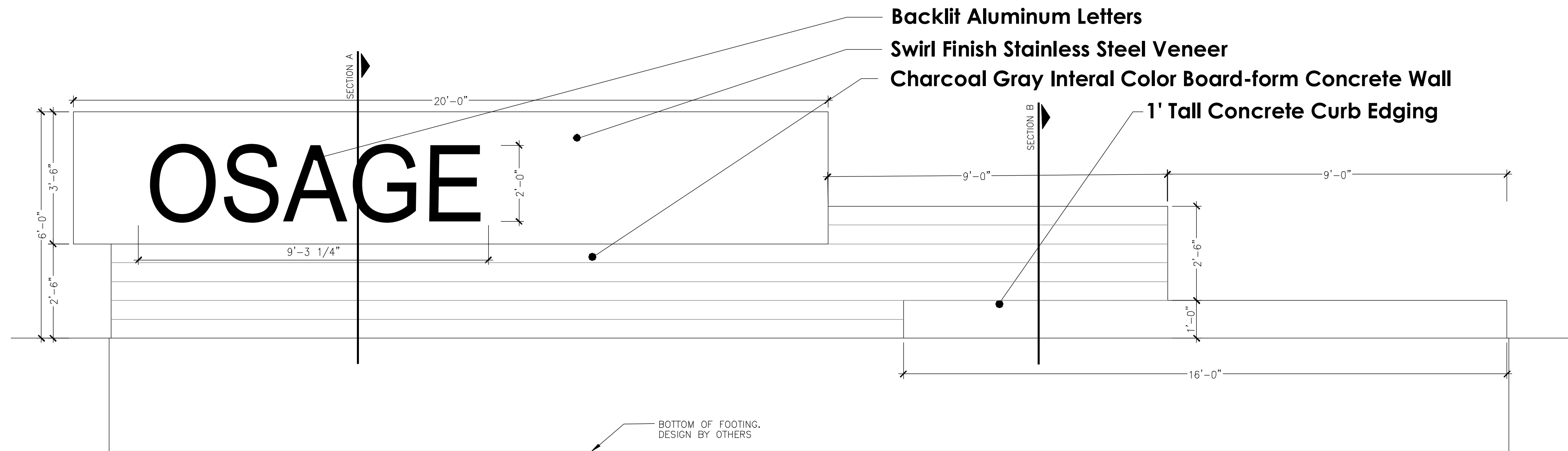
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Entry Monuments

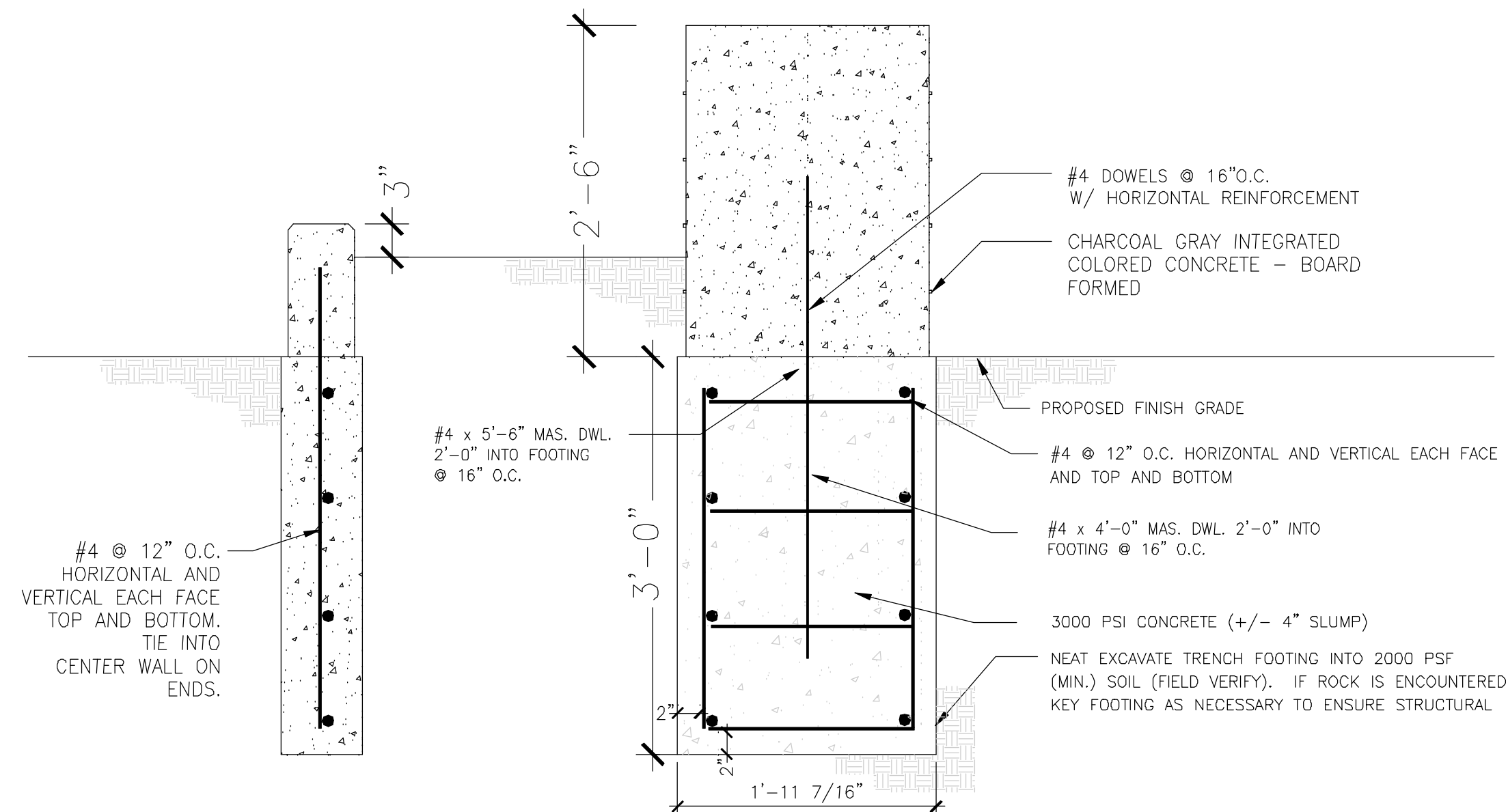
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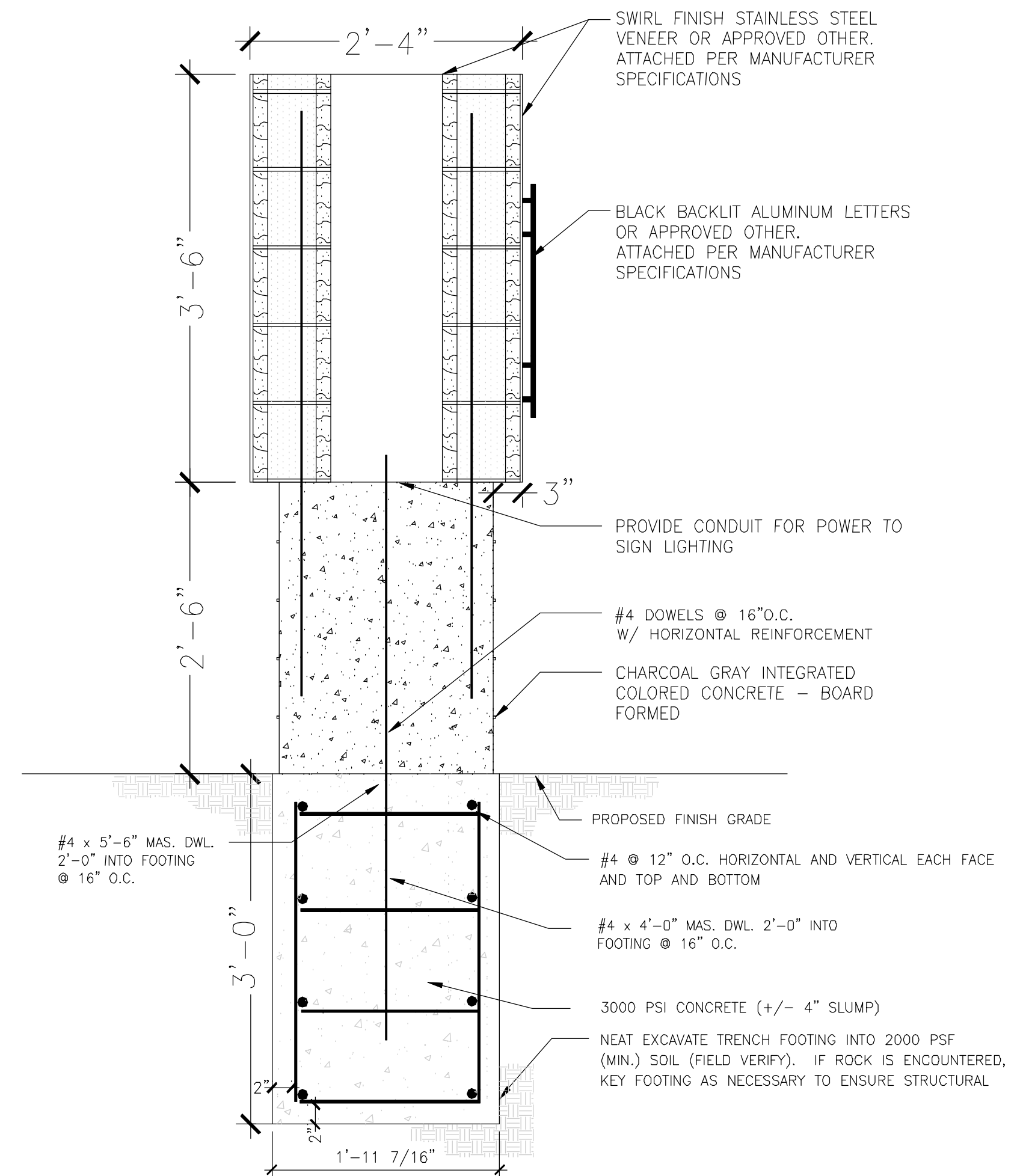
2 BOARD FORMED WALL IMAGE
SCALE: NTS



3 CORNER ENTRY MONUMENT ELEVATION DETAIL
SCALE: NTS



4 SECTION DETAILS FOR ENTRY MONUMENTS
SCALE: NTS

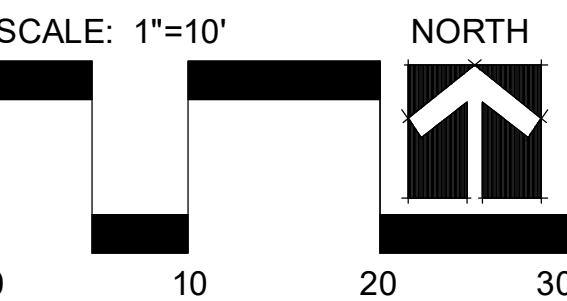


5 SECTION DETAILS FOR ENTRY MONUMENTS
SCALE: NTS



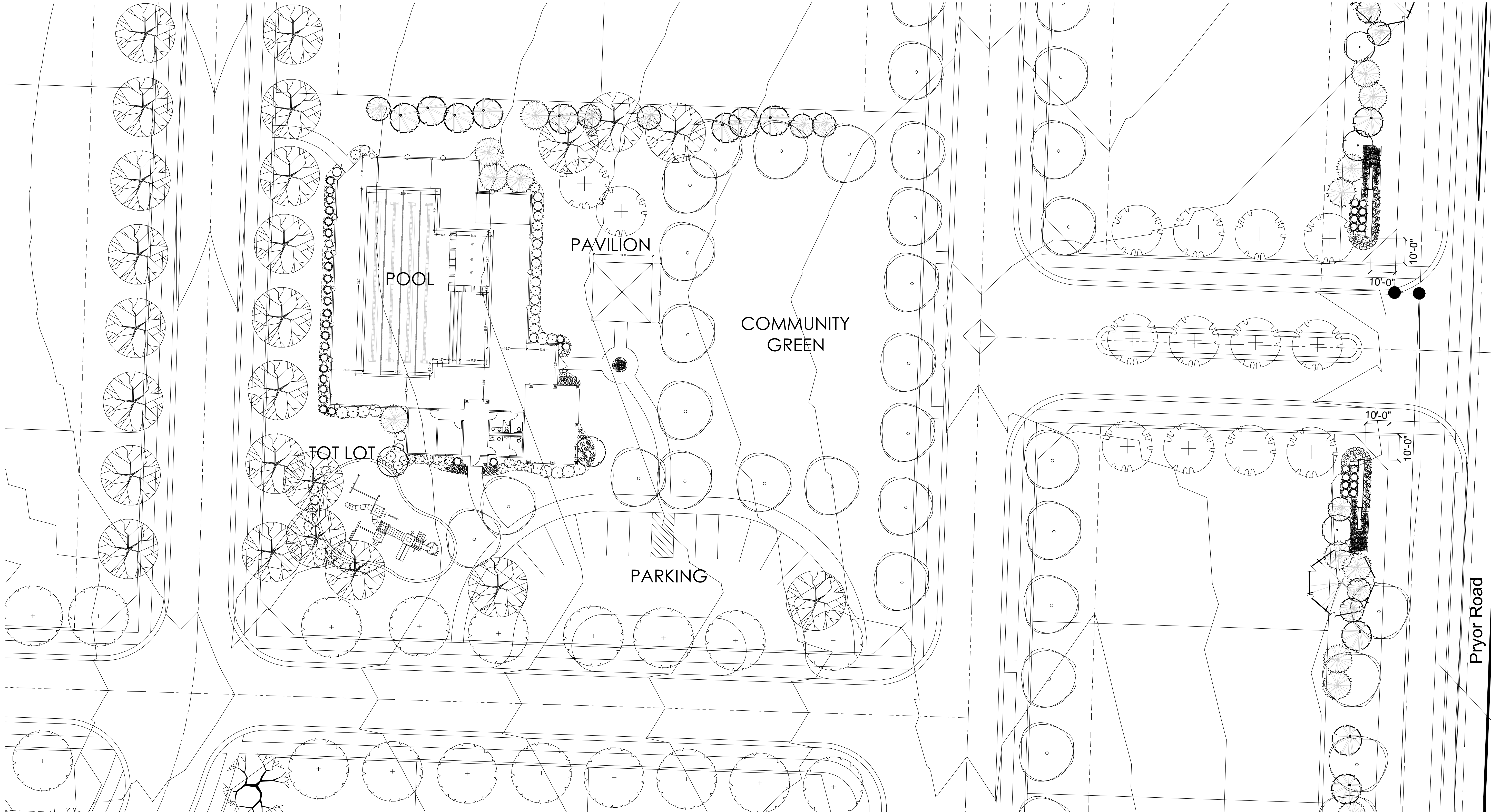
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Entry Monuments



Landscape Schedule (Amenity area only)

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
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EVERGREEN TREES							
	5	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		8' ht.		symmetrical pyramidal form
	8	Picea abies	Norway Spruce		8' ht.		symmetrical pyramidal form
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ORNAMENTAL TREES							
	2	Cercis canadensis	Eastern Redbud			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	16	Liriodendron spicata 'Silver Dragon'	Silver Dragon Liriodendron	1 gal.			Plant @ 18" O.C.
	40	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.			Plant @ 18" O.C.
	10	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.	18" H. min.		Plant @ 4' O.C.
	6	Equisetum hyemale	Horsetail Reed	1 gal.			Plant @ 18" O.C.
	15	Syringa X 'Penda'	Bloomerang Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	27	Juniperus chinensis 'Spartan'	Spartan Juniper		5' ht.		Symmetrical pyramidal form
	30	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	7	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.

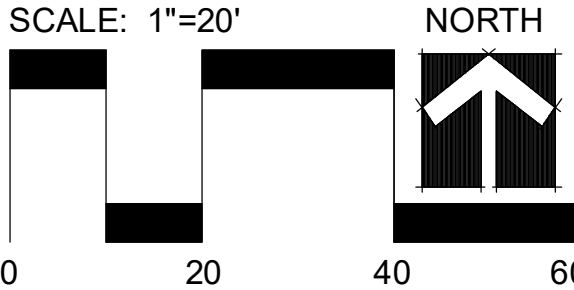
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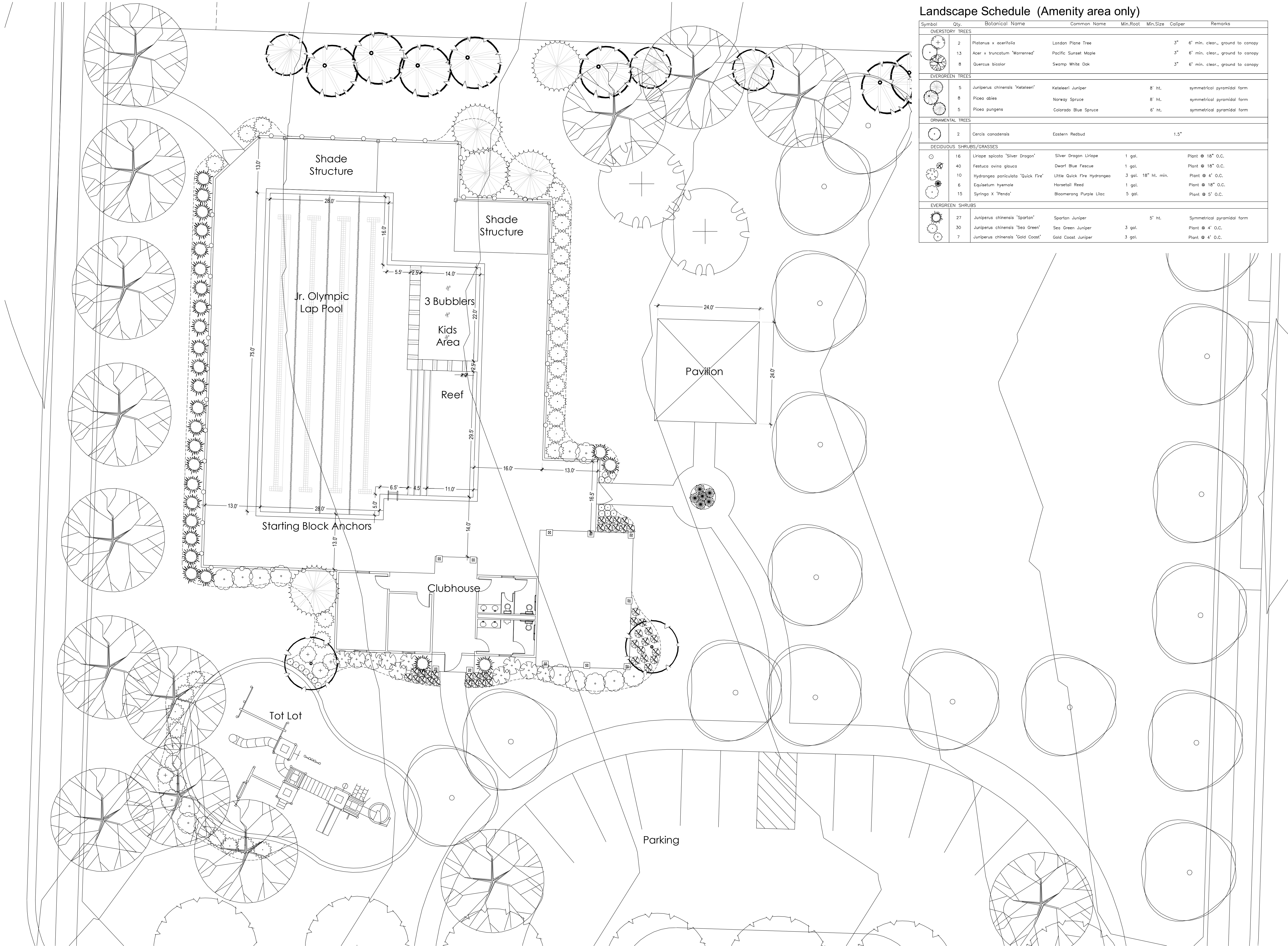
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Date: 9.13.19
Amenity Area Plan

L5



Landscape Schedule (Amenity area only)

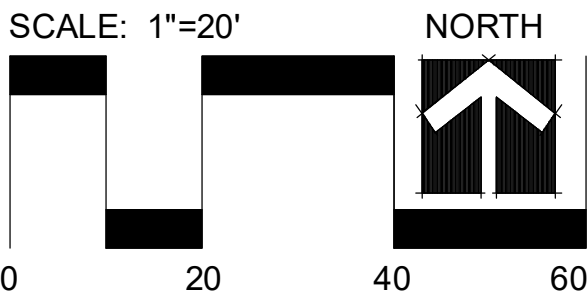
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	6	Equisetum hyemale	Horsetail Reed	1 gal.			Plant @ 18" O.C.
	15	Syringa X 'Penda'	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	27	Juniperus chinensis 'Spartan'	Spartan Juniper		5'	ht.	Symmetrical pyramidal form
	30	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
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Date: 9.13.19

Amenity Area Plan

L6





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LEE'S SUMMIT. MO

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checked by: _____ CGW
approved by: _____ JFE
QA/QC by: _____ MGD
project no.: _____ 019-2339
drawing no.: C ARC03 0192339
date: _____ 2019.09.13

SHEET
A3

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POOL RENDERINGS	
OSAGE REZONING & PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	2019

drawn by: CJH
checked by: CGW
approved by: JFE
QA/QC by: MGD
project no.: 019-2339
drawing no.: C ARC04 0192339
date: 2019.09.13