

CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

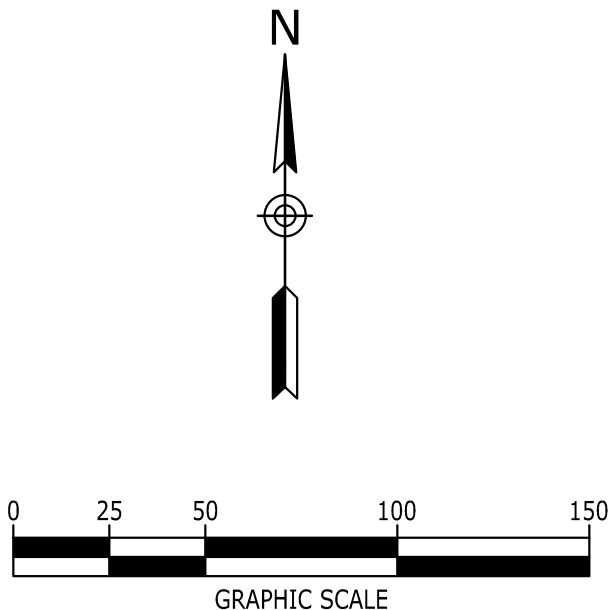
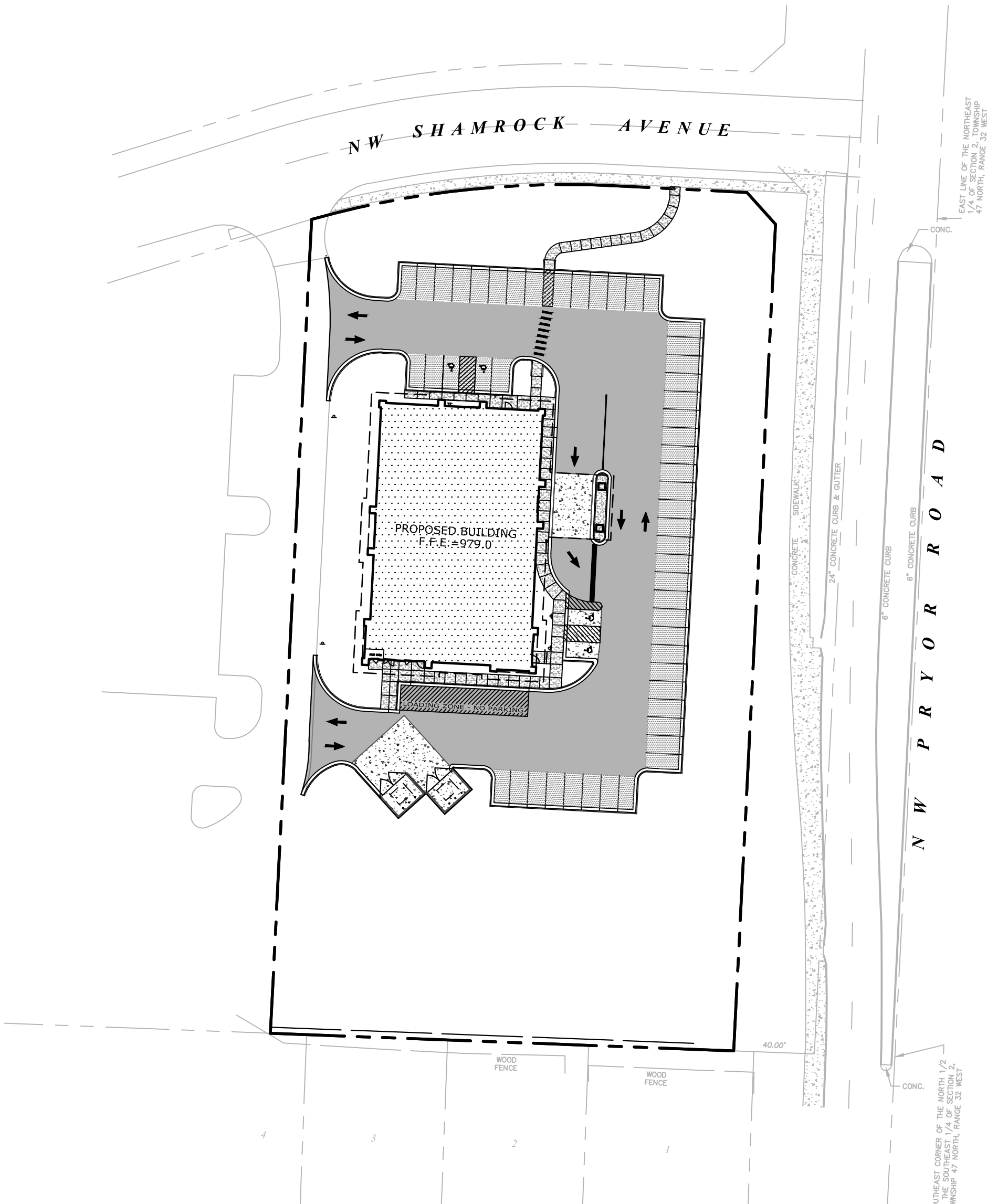
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CATALYST PROJECT NO. 20180111  
8/23/2019

SITE DATA

PARCEL ID.: 62-240-99-04-00-0-00-000  
SITE ADDRESS: 2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI 64081  
LEGAL DESCRIPTION: LOT 2, WEST VILLAGE COMMERCIAL DEVELOPMENT  
LOTS 1-3, SUBDIVISION IN LEE'S SUMMIT,  
JACKSON COUNTY, MISSOURI  
SITE ACREAGE: 2.225 AC. (96,932 FT²)  
EXISTING ZONING: PMIX - PLANNED MIXED USE DISTRICT  
PROPOSED USE: DIALYSIS CLINIC  
PROPOSED MAX. BUILDING HEIGHT: 1 STORIES  
PROPOSED BUILDING SQUARE FOOTAGE: 10,442 S.F.  
FLOOR AREA RATIO OF SITE: 0.11 (10,442 FT²/ 96,932 FT²)  
IMPERVIOUS SURFACE AREA  
BUILDINGS: 0.24 AC. (10,442 FT²)  
DRIVES/SIDEWALKS: 0.78 AC. (34,316 FT²)  
TOTAL PROPOSED IMPERVIOUS AREA: 1.02 AC. (44,590 FT²)  
PROPOSED ISR: 0.46  
ALLOWED ISR: 0.80  
PARKING SUMMARY  
PARKING REQUIRED: 5 SPACES PER 1,000 S.F.  
(PARKING REQUIREMENTS) 52 SPACES REQUIRED  
PARKING PROVIDED: 52 SPACES (4 ACCESSIBLE)  
OWNER: DIALYSIS CLINIC, INC.  
ADDRESS: 1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061  
CONTACT NAME: BILL WOOD  
CONTACT E-MAIL ADDRESS: bwood@dcilinc.org  
PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP  
ADDRESS: 5016 CENTENNIAL BLVD., STE 200  
NASHVILLE, TN 37209  
615.866.2410  
PHONE NO.: PHILLIP PIERCY  
CONTACT NAME: ppiercy@catalyst-dg.com  
CONTACT E-MAIL ADDRESS:

FEMA PANEL:  
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO  
COMMUNITY PANEL NO. 29095C0416G, JANUARY 20, 2017, COMMUNITY NAME: FEMA COMMUNITY NAME.



VICINITY MAP  
NOT TO SCALE

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\* DRAWINGS NOT INCLUDED, BUT AVAILABLE UPON REQUEST

ARCHITECT

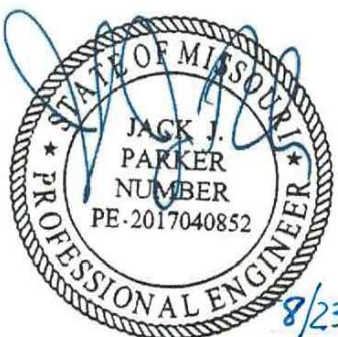
RANDY DOVER

4121 HILLSBORO RD SUITE 303  
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PREPARED FOR

DIALYSIS CLINIC, INC.

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CIVIL ENGINEER/LANDSCAPE ARCHITECT

Catalyst  
DESIGN GROUP

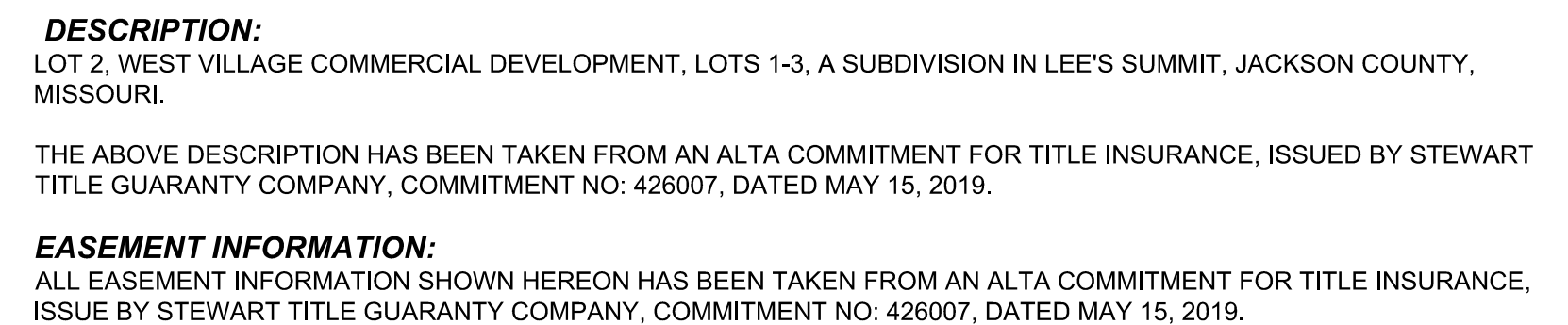
5016 CENTENNIAL BLVD., SUITE 200  
NASHVILLE, TN 37209  
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COVER SHEET

C0.0





**UTILITY INFORMATION:**  
THE INFORMATION CONCERNING THE EXISTENCE, LOCATION, SIZE OR TYPE OF MATERIALS OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN COMPILED FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES OR OTHER SOURCES OF INFORMATION ALONG WITH FIELD LOCATIONS OF PAINTED MARKINGS BY MISSOURI ONE CALL, TICKET NUMBER 191503896. THIS INFORMATION IS NOT TO BE CONSTRUED AS ACCURATE, COMPLETE NOR EXACT. ANY INFORMATION CONCERNING UNDERGROUND UTILITIES SHOWN HEREON MUST BE CONFIRMED BY THE DESIGN PROFESSIONAL PRIOR TO DESIGNING ANY IMPROVEMENTS WHICH MAY BE AFFECTED BY THIS INFORMATION OR BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY.

**FLOOD INFORMATION:**  
ACCORDING TO THE U. S. FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29095C0416G, REVISED JANUARY 20, 2017, THIS PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN THEREON.

**ZONING INFORMATION:**  
A ZONING REPORT OR LETTER HAS NOT BEEN PROVIDED TO ANDERSON SURVEY COMPANY.  
ACCORDING TO THE CITY OF LEE'S SUMMIT, MO, ARCGIS WEBSITE AT  
<https://www.arcgis.com/home/webmap/viewer.html?webmap=bfb28fa7c6fa41c09fa5d39811a9bf6>, AND THE UNIFIED DEVELOPMENT  
ORDINANCE WEBSITE AT [https://library.municode.com/mo/lee/s\\_summit/codes/unified\\_development\\_ordinance](https://library.municode.com/mo/lee/s_summit/codes/unified_development_ordinance), THE ZONING  
REQUIREMENTS ARE AS FOLLOWS:  
THE SUBJECT PROPERTY IS ZONED RP-3 - PLANNED RESIDENTIAL MIXED USE.

- DENSITY = 10 UNITS/ACRE (FLOOR AREA RATIO: RATIO OF BUILDING SQUARE FOOTAGE TO LOT SQUARE FOOTAGE)
- MINIMUM LOT SIZE (PER UNIT) = 4000 SQ. FT.
- MINIMUM LOT WIDTH MAJOR STREETS = NA
- MINIMUM LOT WIDTH OTHER STREETS = 50 FEET (SINGLE-FAMILY) & 35 FEET PER UNIT FOR DUPLEX, TRIPLEX OR QUAD PLEX

- MINIMUM PRINCIPAL BUILDING SETBACKS -
  - FRONT YARD (MAJOR STREET) = 50 FEET
  - FRONT YARD (ALL OTHER STREETS) = 20 FEET BUILDING & 25 FEET GARAGE
  - SIDE YARD = SF AND 2F-5 FEET; MULTIFAMILY: 10-FEET FROM LOT LINE AND 20 FOOT SEPARATION BETWEEN BUILDINGS
  - REAR YARD = SF AND 2F-20 FEET; 4 FEET (ALLEY ENTRY GARAGE); MF 30 FEET

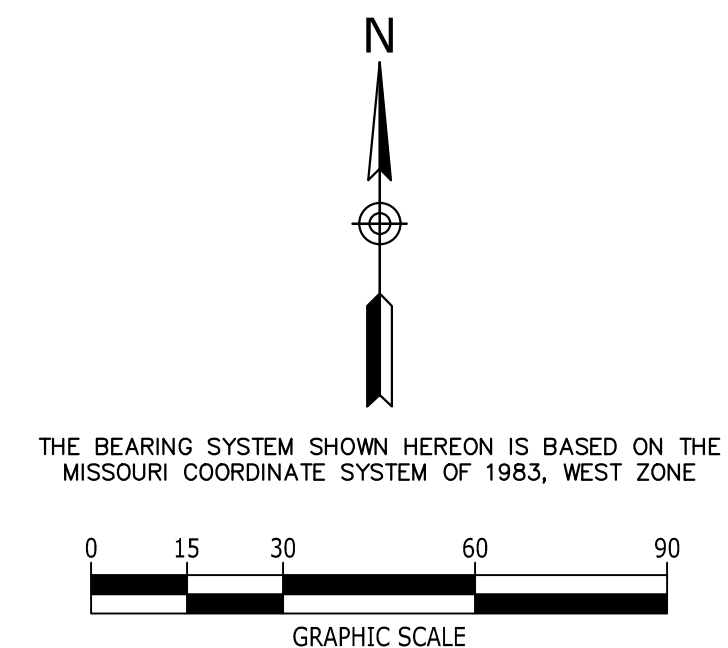
THE ABBREVIATIONS SHOWN ABOVE ARE DEFINED AS FOLLOWS: SF = SINGLE FAMILY; 2F = TWO FAMILY (DUPLEX); MF = MULTI-FAMILY (APARTMENT).

MAXIMUM STRUCTURE HEIGHTS -

- MAXIMUM STRUCTURE HEIGHT IN FEET (STORIES) = 45 (3 STORIES)

**NOTES:**

1. THE SUBJECT PROPERTY ADDRESS IS 2023 NORTHWEST SHAMROCK AVENUE, LEE'S SUMMIT, MISSOURI.
2. THE APPROXIMATE DISTANCE FROM THE INTERSECTION OF NORTHWEST SHAMROCK AVENUE & NORTHWEST PRYOR ROAD TO THE INTERSECTION OF NORTHWEST PRYOR ROAD & SOUTHWEST STERLING DRIVE IS 4606 FEET.
3. THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS IN THE PROCESS OF CONDUCTING THE FIELDWORK ON THE SUBJECT PROPERTY. HOWEVER, THERE WAS OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK AND BUILDING CONSTRUCTION ON THE LOT NORTH & WEST OF THE SUBJECT PROPERTY.
4. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS IN THE PROCESS OF CONDUCTING THE FIELDWORK ON THE SUBJECT PROPERTY.
5. PROPOSED CHANGES IN STREET RIGHT OF WAYS - WAITING ON RETURN CALL FROM MICHAEL PARKS WITH PUBLIC WORKS DEPT.
6. THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 AS ESTABLISHED USING GPS ON THE MODOT VRS SYSTEM.
7. THE FOLLOWING UTILITIES WERE LISTED ON THE MISSOURI ONE CALL TICKET #191503896 AS POSSIBLE SERVICE PROVIDERS FOR THE SUBJECT PROPERTY: ATT DISTRIBUTION; CONSOLIDATED COMM ENTNRSP SVCS; GOOGLE FIBER JOHN KNOX VILLAGE, SPIRE MO WEST; CITY OF LEE'S SUMMIT FIBER; CITY OF LEE'S SUMMIT WATER; CITY OF LEE'S SUMMIT SEWER; CITY OF LEE'S SUMMIT STORMSEWER; MNA-UBUED; TIME WARNER CABLE & KANSAS CITY POWER & LIGHT.



BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY ANDERSON SURVEY COMPANY, DATED 06/03/2019. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

**Catalyst**  
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CONSTRUCTION DRAWINGS

**DCI - LEE'S SUMMIT**

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

[illegible]

DRAWING TITLE	
EXISTING CONDITIONS	
PROJECT NUMBER 20180111	
DRAWING NUMBER C1.0	



1. EROSION PREVENTION AND SEDIMENT CONTROL (EPC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
2. PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT.
3. EPC MEASURES SHALL BE INSTALLED AND INSPECTED BY LOCAL OFFICIALS (IF REQUIRED) PRIOR TO BEGINNING EARTH MOVING OPERATIONS. EPC MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENT OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL AND STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PROVIDE THE CERTIFIED EROSION CONTROL INSPECTOR AND CONTINUAL MAINTENANCE OF THE EPC MEASURES.
5. AS THE WORK PROGRESSES THE LOCATION AND TYPE OF MEASURES MAY REQUIRE ADJUSTMENTS. TEMPORARY MEASURES MAY BE REQUIRED IN CERTAIN AREAS THAT CAN BE REMOVED DURING THE WORK DAY AND RE-ESTABLISHED WHEN WORK CEASES FOR THE DAY OR PRIOR TO A DAYTIME RAIN EVENT.
6. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL MEASURES WHEN THE DESIGN CAPACITIES HAVE BEEN REDUCED BY 50% OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY. PROPERLY DISPOSE OF ACCUMULATED SEDIMENT.
7. THE CONTRACTOR SHALL PROVIDE A RAIN GAUGE AT THE SITE AND DOCUMENT RAINFALL EVENTS DURING THE CONSTRUCTION PERIOD.
8. THE CONTRACTOR SHALL MAINTAIN THE FOLLOWING RECORDS AT THE SITE: DATE WHEN MAJOR GRADING ACTIVITIES OCCUR, THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE, THE DATES WHEN STABILIZATION MEASURES ARE INITIATED, INSPECTION RECORDS AND RAINFALL EVENTS.
9. EXISTING SITE VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND SHALL NOT BE REMOVED MORE THAN 10 DAYS PRIOR TO THE DATE AT WHICH EARTHMOVING OPERATIONS ARE TO BEGIN UNLESS TEMPORARY COVER IS INSTALLED DO NOT REMOVE VEGETATION OR TREES UNLESS NECESSARY FOR GRADING OR OTHER PROJECT PURPOSES.
10. THE CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE LENGTH OF TIME THE SITE SOILS ARE EXPOSED TO EROSION PROVIDE TEMPORARY COVER AS NECESSARY.
11. EPC MEASURES SHALL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED AND WHEN DEEMED NO LONGER NEEDED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY.

1. INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS ON SITE IN ACCORDANCE WITH THE DETAIL AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL STAKE THE LIMITS OF CONSTRUCTION TO ENSURE THE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.
3. THE TREE PROTECTION MEASURES SHALL CONSIST OF 48" TALL CHAIN LINK FENCE WITH STEEL TEE POST OR ORANGE CONSTRUCTION BARRICADE FENCE PRIOR TO CONSTRUCTION OPERATIONS. TREE PROTECTION FENCE INSTALLATION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND GOVERNING AUTHORITY IF REQUIRED.
4. ANY GRADING OR EXCAVATION WITHIN THE PROTECTED ROOT ZONE SHALL BE ACCOMPLISHED BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE DAMAGE.
5. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF CONSTRUCTION OPERATIONS WILL DELAY THE PLACEMENT OF BACK FILL THE ROOTS SHALL BE TEMPORARILY COVERED WITH MULCH AND WATERED UNTIL BACKFILL OPERATIONS CAN BE ACCOMPLISHED.
6. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
7. WHEN GRADING OR TRENCHING OPERATIONS ARE DIRECTED WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED THE ROOTS SHALL FIRST BE CUT USING A "DITCH WITCH" OR SIMILAR EQUIPMENT TO PROVIDE A CLEAN CUT OF THE ROOTS AT THE LIMIT OF DISTURBANCE, PRIOR TO USE OF OTHER GRADING MACHINERY. ONCE THE ROOTS HAVE BEEN CUT AS NOTED ALL EQUIPMENT SHALL BE RESTRICTED FROM ENTERING THE AREA BETWEEN THE CUT LINE AND TREE TRUNK. TRENCHES SHALL BE BACKFILLED AND TAMPED TO MINIMIZE SETTLEMENT.
8. BARRICADES SHALL BE INSTALLED WITHIN THE LIMITS OF PROPOSED PAVEMENTS WHEN EXTENDING UNDER THE DRIP LINE OF TREES TO BE PRESERVED UNTIL OPERATIONS TO CONSTRUCT THE PAVED AREAS ARE INITIATED. THEN THE BARRICADES CAN BE RELOCATED TO PROVIDE THE MINIMUM AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED WORK AND SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
9. PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION DURING PERIODS OF DROUGHT EXCEED SEVEN DAYS. EVENLY DISTRIBUTE WATER OVER THE ENTIRE ROOT ZONE.
10. ROOT ZONE AREAS OF TREES THAT HAVE BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE AERATED AT THE DIRECTION OF A QUALIFIED ARBORIST.
11. HOSE DOWN FOLIAGE OF SPECIMEN TREES SUBJECT TO HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE GRASS TO LESS THAN 12" IN HEIGHT WITHIN THE AREAS OF TREE PROTECTION DURING THE CONSTRUCTION PERIOD. DO NOT USE PESTICIDES TO CONTROL VEGETATION WITHIN THE TREE PROTECTION AREA.
13. REMOVAL OF TREE PROTECTION FENCING SHALL NOT OCCUR UNTIL APPROVED BY THE GOVERNING AUTHORITY WHERE REQUIRED OR THE OWNER'S REPRESENTATIVE. ALL REMNANTS OF THE FENCING SHALL BE REMOVED, AND RESTORATION OF THE AREAS SHALL BE COMPLETED.

1. THE DISTURBED AREA FOR THIS PROJECT IS ESTIMATED TO BE ±12.26 ACRES.
2. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 29095C0416G OF THE FEMA FLOOD INSURANCE MAPS FOR JACKSON COUNTY, MISSOURI DATED JANUARY 20, 2017.
3. FOLLOW THE DIRECTIVES OF THE EROSION CONTROL AND TREE PROTECTION NOTICES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
4. THE CONTRACTOR SHALL REQUEST UTILITY RELOCATION (811) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
5. THE CONTRACTOR SHALL CHECK EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO INITIATING GRADING OPERATIONS.
7. POSITIVE DRAINAGE SHALL BE ESTABLISHED INITIALLY AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. LOCATION OF DIVERSION DITCHES SHALL BE ADJUSTED IN THE FIELD TO AVOID TREES AND OTHER EXISTING FEATURES.
9. STRIP TOPSOIL FROM PROPOSED GRADING AREAS AND STOCKPILE FOR REUSE. PROVIDE TEMPORARY SEEDING FOR STOCKPILE AREAS DURING CONSTRUCTION. REDISTRIBUTE TOPSOIL AT A MINIMUM DEPTH OF 6" IN LAWN AREAS AND 18" IN LANDSCAPE BEDS. PROVIDE ADDITIONAL TOPSOIL WHEN ONSITE QUANTITIES ARE INSUFFICIENT.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL REPRESENTATIVE PRIOR TO BEING HAULED TO THE SITE. MATERIAL SHALL BE PLACED AND COMPACTED IN LIFT DEPTHS AS NOTED IN THE SPECIFICATIONS AND INSPECTED BY THE GEOTECHNICAL REPRESENTATIVE. SUBGRADES SHALL BE PROOF ROLLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND GEOTECHNICAL REPRESENTATIVES DIRECTIONS. SOFT AREAS SHALL BE REMOVED AND RECOMPACTED AS DIRECTED.
11. THE CONTRACTOR SHALL AT HIS COST, PROVIDE OFFSITE MATERIAL MEETING THE GEOTECHNICAL REQUIREMENTS WHERE ONSITE SOIL QUANTITIES ARE NOT SUFFICIENT, AND REMOVE ONSITE MATERIALS WHEN EXCESSIVE QUANTITIES EXIST. SITES USED TO OBTAIN OR WASTE THIS MATERIAL SHALL BE PROPERLY PERMITTED AS REQUIRED BY THE GOVERNING AUTHORITY.
12. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III WALL B. HDPE PIPE SHALL BE TYPE N-12, SMOOTH INTERIOR, CORRUGATED EXTERIOR. ALL PIPES SHALL BE PROVIDED WITH SOIL TIGHT JOINTS.
13. PIPES UNDER EXISTING PAVEMENT AREAS SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE.
14. TOP OF GRATE ELEVATIONS AND COORDINATE LOCATIONS FOR DRAINAGE STRUCTURES SHALL BE PROVIDED PER THE DETAILS AND DRAINAGE TABLES.
15. COORDINATE THE LOCATION OF SITE DRAINAGE SYSTEMS WITH THE BUILDING ARCHITECTURE AND PLUMBING PLANS FOR COLLECTION OF ROOF DRAINS AND DOWNSPOUTS.
16. ADJUST THE CASTINGS OF ALL EXISTING AND NEW STRUCTURES TO MATCH PROPOSED FINISH GRADE.
17. THE CONTRACTOR SHALL REVIEW THE PROPOSED GRADING PLAN AND SPOT ELEVATIONS AND REQUEST INFORMATION FROM THE ENGINEER FOR SPOTS OR CONTOURS THAT DO NOT APPEAR TO CORRESPOND WITH OTHER SURROUNDING GRADING. PROPOSED GRADES REFLECT AN INTENT FOR THE SLOPES AND DIRECTION OF DRAINAGE. THE CONTRACTOR SHALL REQUEST DIRECTION FOR AREAS WHERE THE INTENT IS NOT CLEAR.
18. MAXIMUM CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL UNLESS DIRECTLY NOTED OTHERWISE ON THE PLAN. FILL SLOPES SHALL BE CONSTRUCTED BY FILLING BEYOND THE DESIRED GRADES TO OBTAIN COMPACTION AND THEN CUT BACK TO THE DESIRED GRADES.
19. MINIMUM GRADES ON PAVEMENT AREAS SHALL BE 1%, AND MINIMUM 2% IN LAWN AREAS UNLESS DIRECTLY SPECIFIED.
20. MAXIMUM GRADES WITHIN ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE 2% IN ANY DIRECTION. WITHIN ACCESSIBLE PATHS MAXIMUM SLOPES FOR SIDEWALKS SHALL BE 5%, FOR RAMP SHALL BE 1:12, AND CROSS SLOPES SHALL BE 2%. TURNING MOVEMENTS SHALL BE 5X5' MAXIMUM 2% IN ANY DIRECTION.
21. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
22. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS AFTER FINAL GRADING IS ACHIEVED.
23. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEYS OF THE EXCAVATED BIO-RETENTION AREAS PRIOR TO THE SPECIALTY SOIL AND GRAVEL BEING INSTALLED. AS-BUILTS OF COMPLETED BIO-RETENTION AREAS, OTHER WATER QUALITY MEASURES, DETENTION/RETENTION AREAS AND PUBLIC STORM SYSTEMS SHALL ALSO BE PROVIDED. SURVEYS SHALL BE STAMPED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.

1. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE TO THE GOVERNING AUTHORITY'S REQUIREMENTS AND SPECIFICATIONS.
2. SANITARY SEWER LINES SHALL BE AS SPECIFIED ON THE PLANS. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52, POLYVINYLCHLORIDE PIPE (PVC) SHALL BE SDR 35.
3. THE CONTRACTOR SHALL REQUEST UTILITY LOCATION (811) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS OF EACH UTILITY AND VERIFY THE SCOPE OF INSTALLATIONS OR RELOCATIONS THAT WILL BE REQUIRED AND IMPACT EACH COULD HAVE ON THE SCHEDULE OF THE PROJECT.
5. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES WHERE POSSIBLE. IN AREAS WHERE THESE CRITERIA CANNOT BE MET PROVIDE 18" OF VERTICAL SEPARATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF INSTALLATION OF THE UTILITIES TO AVOID CONFLICTING HORIZONTAL AND VERTICAL LOCATIONS.
7. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF THE PROPOSED SEWER CONNECTION POINT PRIOR TO INSTALLATION OF NEW LINES. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
8. CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE UTILIZING THE CORING AND RESILIENT SEAL METHOD.
9. THE CONTRACTOR SHALL VERIFY ANY PIPE LENGTHS, MATERIALS AND SIZES PROVIDED ON THE PLANS WITH FIELD CONDITIONS.
10. MINIMUM SLOPE OF 6" SANITARY SEWER SERVICES SHALL BE 1%. INSTALL PER INVERTS PROVIDED ON THE PLAN AND WITH A MINIMUM 48" OF COVER WITHIN ROADWAYS AND 30" OF COVER WITHIN LANDSCAPE AREAS.
11. MARK THE LOCATION OF PVC LINES WITH A #8 WIRE.
12. TRENCHES WITHIN EXISTING PAVEMENTS SHALL BE EVENLY SAW CUT FOR REMOVAL AND COMPLETELY BACKFILLED WITH CRUSHED STONE. REPAIR ROADWAYS PER GOVERNING AGENCY STANDARDS.
13. PROVIDE A MINIMUM OF 42" OF COVER OVER ALL WATER AND FIRE LINES.
14. ALL FIRE LINES SHALL BE INSTALLED FROM THE POINT OF CONNECTION TO THE BUILDING BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
15. COORDINATE THE EXACT LOCATION OF THE BUILDING SERVICES WITH THE PLUMBING PLANS.
16. PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL BENDS AND BLOCKING/RODDING ON WATER/FIRE LINES, TO ACHIEVE THE PROPOSED ALIGNMENT SHOWN ON THE PLANS.
17. BEFORE CONNECTIONS ARE MADE TO EXISTING LINES, INSTALLED LINES SHALL BE FLUSHED, TESTED AND APPROVED BY THE GOVERNING AUTHORITY IN ACCORDANCE WITH THEIR REQUIREMENTS.
18. REPAIR DAMAGE TO EXISTING FEATURES TO PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH GOVERNING AUTHORITY REQUIREMENTS IN A TIMELY MANNER.
19. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
20. EXISTING AND NEW CASTINGS SHALL BE ADJUSTED TO MATCH FINISH GRADE.
21. COORDINATE GAS SERVICE, ELECTRICAL SERVICE AND COMMUNICATION SERVICES WITH THE APPROPRIATE PROVIDER AND PAY NECESSARY FEES FOR INSTALLATION.

1. THE CONTRACTOR SHALL REQUEST UTILITY RELOCATION (811) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
2. THE CONTRACTOR SHALL PROTECT PROPERTY BOUNDARY PINS AND SURVEY CONTROL POINTS FROM DAMAGE.
3. THE CONTRACTOR SHALL COMPLY WITH EROSION CONTROL REQUIREMENTS AND INSTALL NECESSARY EPC MEASURES AND CONSTRUCTION ENTRANCE/ EXIT PRIOR TO DISTURBING EXISTING VEGETATION. THE CONTRACTOR SHALL ALSO USE WATER SPRINKLING OR OTHER MEASURES TO CONTROL DUST AND OTHER AIRBORNE DEBRIS RESULTING FROM DEMOLITION.
5. A TREE PROTECTION MEASURES SPECIFIED IN THESE PLANS SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION OPERATIONS.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION AND TREE REMOVAL.
6. THE CONTRACTOR MAY BE REQUIRED TO PHASE THE DEMOLITION TO MAINTAIN EXISTING UTILITY SERVICES, PROPER DRAINAGE OR ACCESS TO THE SITE OR ADJOINING SITES. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTION OF EXISTING ACTIVE UTILITIES AND TRAFFIC PATTERNS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A DEMOLITION PHASING SCHEDULE WHERE REQUESTED.
7. UTILITY AND STORM SEWER LINES SHOULD NOT BE DEMOLISHED UNTIL NEW OR RELOCATED LINES HAVE BEEN INSTALLED AND OPERATIONAL.
8. THE CONTRACTOR SHALL INCLUDE IN HIS COST ANY ISOLATION VALVES OR TEMPORARY MEASURES REQUIRED TO ACCOMPLISH RELOCATIONS AND DEMOLITION OF UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.
10. PAVEMENTS, SIDEWALKS, CURBS AND OTHER HARD SURFACES SHALL BE EVENLY SAW CUT AT THE LIMITS OF REMOVAL TO PROVIDE A CLEAN EDGE. COORDINATE LIMITS OF REMOVAL WITH PROPOSED CONSTRUCTION INCLUDING GRADING, UTILITY INSTALLATION, PROPOSED LAYOUT, ETC.
11. EXISTING SITE FEATURES NOTED AS BEING ABANDONED, MAY BE ABANDONED IF MORE OF THE ITEMS ARE LOCATED MORE THAN 24" BELOW FINAL SUBGRADES (TO TOP OF PIPE OR OTHER FEATURE) AND NOT LOCATED WITHIN THE PROPOSED OR PLAN FUTURE BUILDING FOOTPRINTS. ENDS OF PIPES SHALL BE SEALED WITH CONCRETE.
12. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTORS COST UNLESS NOTED TO BE PROVIDED TO THE OWNER.
13. CAVITIES LEFT BY DEMOLITION SHALL BE PROPERLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
14. WHERE EXISTING IRRIGATION LINES ARE LOCATED WITHIN THE AREA OF CONSTRUCTION, THEY SHALL BE PROTECTED OR RE-ROUTED AND CONNECTED TO MAINTAIN OPERATION OF LANDSCAPE AREAS WHICH REMAIN DURING CONSTRUCTION. COORDINATE TEMPORARY MEASURES WITH DESIGN OF NEW SYSTEM AND REMOVE TEMPORARY MEASURES WHEN NO LONGER NEEDED.

1. SUBJECT PROPERTY SHOWN AS PARCEL ID 62-240-99-04-00-0-00-000 OF THE JACKSON COUNTY TAX MAPS.
2. SITE EXISTING CONDITIONS TAKEN FROM SURVEY BY ANDERSON SURVEY COMPANY DATED 06/03/2019. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR OMISSIONS OF THE EXISTING CONDITIONS OR ERRORS RESULTING FROM THESE ITEMS.
3. THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO CONSTRUCTION AND MAKE THE ENGINEER AWARE OF ANY INCONSISTENCIES BETWEEN THE SITE CONDITIONS AND EXISTING CONDITION PLAN.
4. DIMENSIONS PROVIDED ON THE PLAN ARE TAKEN TO THE FACE OF CURBS, EDGE OF CONCRETE OR EDGE OF BUILDING.
5. SITE CONTROL SHALL BE BASED OFF THE REFERENCE POINTS PROVIDED. SEE THE ARCHITECTURAL PLANS FOR LAYOUT CONTROL OF BUILDING.
6. CATALYST DESIGN GROUP RECOMMENDS THAT CONSTRUCTION STAKING BE PROVIDED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.
7. THE CONTRACTOR SHALL SUBMIT A REQUEST FOR UTILITIES LOCATIONS (CALL 811) AND HAVE THE UTILITIES MARKED BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE FAMILIAR WITH THE UTILITY LOCATIONS, PROTECT UTILITIES WHICH REMAIN IN SERVICE AND REPAIR ANY DAMAGE TO UTILITY SYSTEMS PER THE UTILITY PROVIDER REQUIREMENTS.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO PERMIT REQUIREMENTS AS WORK PROCEEDS.
9. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC ROADWAYS, CURBS AND SIDEWALKS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS AT CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY WORK UNACCEPTABLE TO THE OWNER REPRESENTATIVE OR GOVERNING AGENCIES AT CONTRACTOR'S EXPENSE.
11. ACCESSIBLE PATHS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5%, CROSS SLOPE OF 2% AND MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN TURNING MOVEMENTS AND THE ACCESSIBLE PARKING SPACES / ACCESS AISLES. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND CROSS SLOPES AT 2% MAXIMUM. CURB RAMPS SHALL HAVE A LANDING AT THE TOP MATCHING THE WIDTH OF THE RAMP AND A DEPTH OF 36". RAMPS SHALL HAVE A 5' X 5' LANDING AT THE TOP AND BOTTOM OF THE RAMP.
12. WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL AND STATE REQUIREMENTS.
13. ON SITE ASPHALT PAVEMENT MATERIALS SHALL BE PER LOCAL AND STATE SPECIFICATIONS.
14. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS AND PRECAUTIONS.

**DIALYSIS CLINIC, INC.**  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061



CONSTRUCTION DRAWINGS

**DCI - LEE'S SUMMIT**

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

[illegible]

DRAWING TITLE

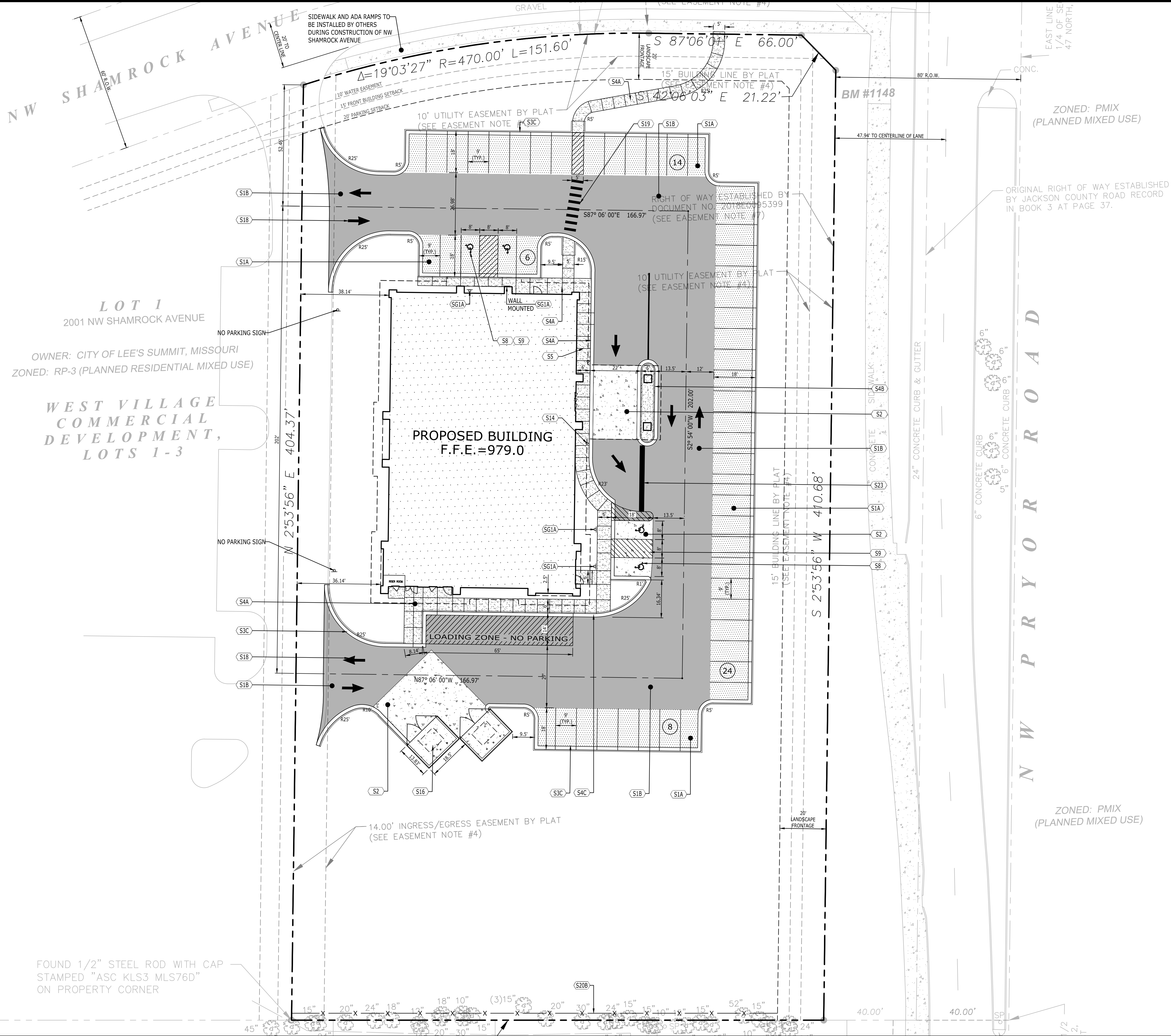
GENERAL NOTES

PROJECT NUMBER	20180111
DRAWING NUMBER	

C2.0



P:\2018\20180111\dwg\Construction\20180111\_C4-0\_LAYOUT PLAN Aug 23, 2019 ehil



VICINITY MAP  
NOT TO SCALE

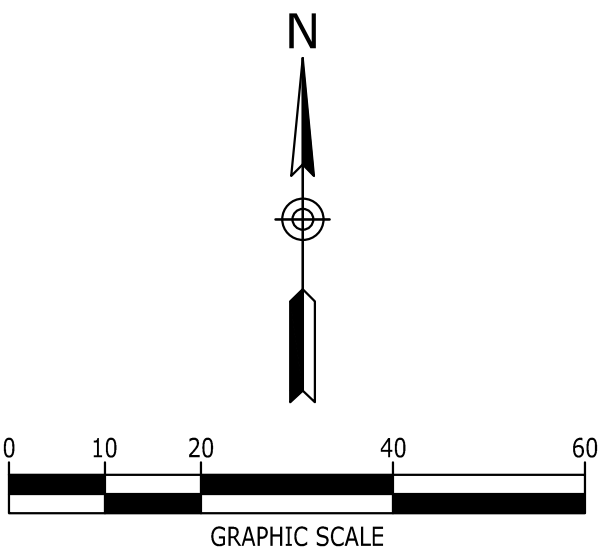
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(S1A)	ASPHALT PAVEMENT - LIGHT DUTY	7 / C7.0
(S1B)	ASPHALT PAVEMENT - HEAVY DUTY	7 / C7.0
(S2)	CONCRETE PAVEMENT	1 / C7.0
(S3C)	CONCRETE CURB & GUTTER	2 / C7.0
(S4A)	CONCRETE SIDEWALK	3 / C7.0
(S4B)	CONCRETE SIDEWALK WITH TURN DOWN CURB	4 / C7.0
(S4C)	CONCRETE SIDEWALK AT CURB & GUTTER	5 / C7.0
(S5)	SIDEWALK JOINTS	6 / C7.0
(S8)	ACCESSIBLE SYMBOL	4 / C7.1
(S9)	ACCESSIBLE PARKING SPACE	8 / C7.0
(S14)	BOLLARD	9 / C7.0
(S15)	UTILITY PAD	10 / C7.0
(S16)	DUMPSTER ENCLOSURE - SEE ARCHITECTURAL PLANS	-
(S18)	DIRECTIONAL ARROWS	1 / C7.1
(S19)	PEDESTRIAN CROSSWALK	2 / C7.2
(S20B)	OPAQUE VINYL SCREEN FENCE (6')	-
(S23)	PAINTED STOP BAR (24")	9 / C7.1

SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(SG1A)	ACCESSIBLE PARKING SIGN	10 / C7.0
(SG1B)	ACCESSIBLE PARKING SIGN IN BOLLARD	11 / C7.0

NOTE:

PER THE RECORDED PLAT AND ACCORDING TO AN ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MO, IN 1995 BY EDWARD ALTON MAY, JR., P.E., THERE ARE NO OIL AND GAS WELLS WITHIN THE SUBJECT PROPERTY.

LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]

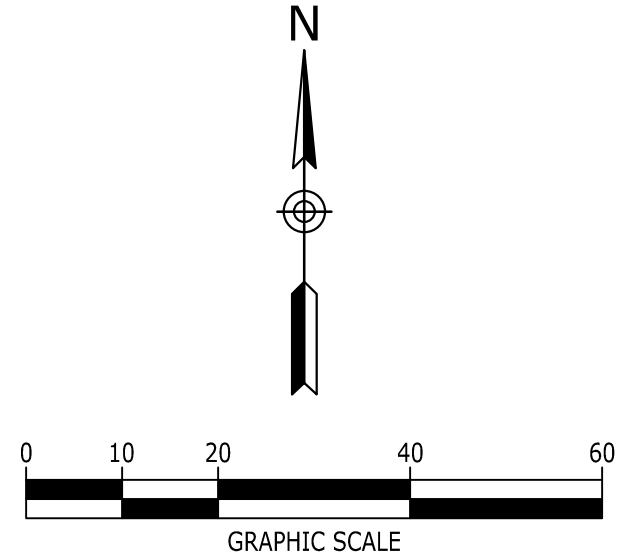


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2001 NW SHAMROCK AVENUE  
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JACKSON COUNTY

DRAWING TITLE LAYOUT PLAN	
PROJECT NUMBER 20180111	DATE
DRAWING NUMBER <b>C4.0</b>	NO.





DRAWING TITLE	
GRADING & DRAINAGE PLAN	
PROJECT NUMBER 20180111	
DRAWING NUMBER C5.0	



