

TACO BELL FINAL DEVELOPMENT PLAN

851 NE WOODS CHAPEL ROAD
LOT 7B-1, CHAPEL RIDGE, LEE'S SUMMIT, MISSOURI

UTILITY CONTACTS

CITY OF LEE'S SUMMIT, MO

DEVELOPMENT SERVICES
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1200
FAX: (816) 969-1201
Contact: Mike Wisenborn

WATER UTILITIES
CITY HALL
1200 SE HAMBLEN RD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1900
FAX: (816) 969-1935

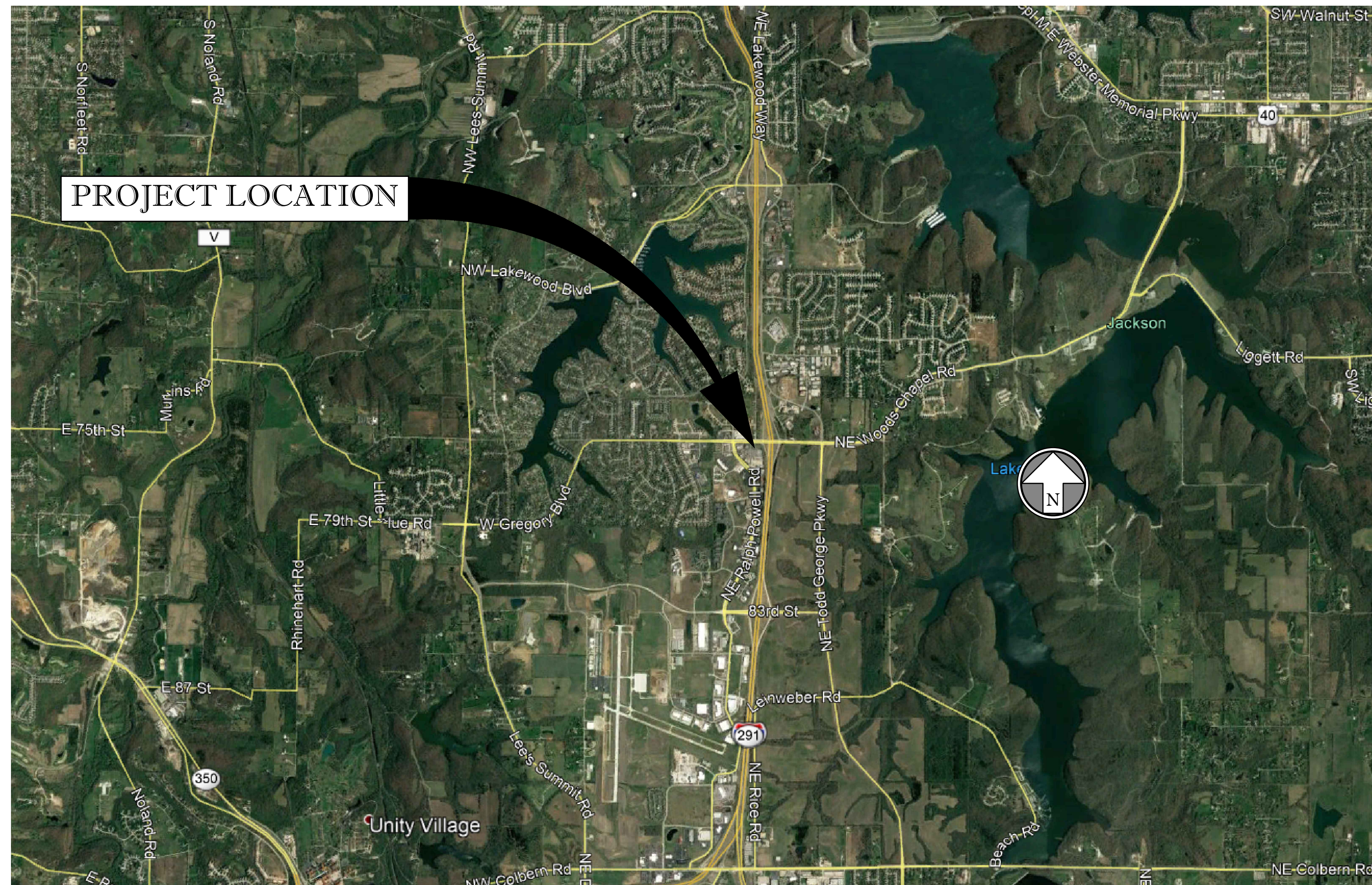
PUBLIC WORKS
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1800
FAX: (816) 969-1809

ELECTRIC COMPANY
KANSAS CITY POWER & LIGHT
TEL: (888) 471-5275
Contact: Nathan Michael

GAS COMPANY
SPIRE ENERGY
TEL: (816) 756-5252
Contact: Bobbie Saulsberry

LEE'S SUMMIT FIRE DEPARTMENT
207 SE DOUGLAS ROAD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1300

TELEPHONE COMPANY
AT&T
TEL: (800) 464-7928



All existing utility locations shown are approximate only and are not guaranteed to be accurate or all inclusive. Contractor shall be responsible for contacting all utility companies and verifying the actual field locations of all utilities prior to any construction activity. Contractor shall keep all utility locations current. Utilities damaged through the negligence of the contractor to obtain the proper field locations shall be the responsibility of the contractor to repair or replace at their expense and at the direction of the utility company. The contractor shall pothole and survey all utility crossings prior to construction of any portion of storm sewer, sanitary sewer laterals, underdrains, conduit and any other subsurface element of the project. The survey information shall be forwarded to the project engineer for review. The contractor shall not begin construction on any subsurface element on the project without the approval of the project engineer. Utility coordination, potholing/surveying shall be subsidiary to other bid items.

Sheet Number	Sheet Title
--	COVER SHEET
A1.0	TACO FLOOR PLAN
A3.0	TACO ROOF PLAN
A4.0	TACO EXTERIOR ELEVATIONS
A4.0	TACO EXTERIOR ELEVATIONS COLORED
A4.1	TACO EXTERIOR ELEVATIONS
A4.1	TACO EXTERIOR ELEVATIONS COLORED
A9.0	ARCHITECTURAL DETAILS
A10.0	PHOTOMETRIC
ALTA	ALTA SURVEY
C0.0	GENERAL INFORMATION
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	DIMENSION PLAN
C3.1	COORDINATE PLAN
C3.2	JOINT LAYOUT PLAN
C4.0	GRADING PLAN
C4.1	DETAILED GRADING PLAN
C5.0	UTILITY PLAN
C5.1	SANITARY PLAN AND PROFILE
C6.0	DRAINAGE MAP
C7.0	PLAN AND PROFILE
C8.0	EROSION CONTROL PLAN
C8.1	EROSION CONTROL DETAILS
C8.2	EROSION CONTROL DETAILS
C8.3	EROSION CONTROL DETAILS
C8.4	EROSION CONTROL DETAILS
C9.0	CIVIL DETAILS
C9.1	CIVIL DETAILS
C9.2	CIVIL DETAILS
C9.3	CIVIL DETAILS
C11.0	OFFSITE RESTORATION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
L2.1	IRRIGATION SPEC 1
L2.2	IRRIGATION SPEC 2

APPROVED BY:

Administrator, Engineering Services Division Date

SUBMITTED BY:

BHC RHODES
OVERLAND PARK, KANSAS

Mark S. Sherfy 09/06/2019

Mark S. Sherfy, P.E. Date
MO PE-2017010253

OIL AND GAS NOTE

BASED ON REVIEW OF THE PLAT, ALTA SURVEY'S PERFORMED, AND FIELD OBSERVATION THERE ARE NOT OIL OR GAS WELLS PRESENT ON THE PROPERTY.

BENCHMARKS

MILITARY GRID REFERENCE SYSTEM (MGRS) BENCHMARK
BENCHMARK NUMBER: JA-134
ELEVATION= 969.81
DATUM: NAVD88

CIVIL ENGINEER

BHC RHODES
7101 COLLEGE BOULEVARD, SUITE 400
OVERLAND PARK, KANSAS 66210
P (913) 663-1900
F (913) 663-1633
CONTACT: MARK SHERFY, P.E.
EMAIL: MARK.SHERFY@IBHC.COM

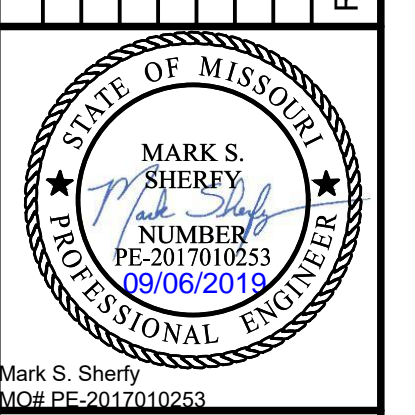
DEVELOPER

FIRST STREET DEVELOPMENT
2929 E CAMELBACK ROAD, SUITE 116
PHOENIX, AZ 85016
PH: (602) 714-3099
CONTACT: CHRIS CZYZ

SURVEYOR OF RECORD

MCLAUGHLIN MUELLER, INC.
218 WEST MILL STREET
LIBERTY, MO 64068
CORP. L.S.: 1999141096
P (816) 407-0002
F (816) 407-0003
CONTACT: MARTIN MUELLER, PLS 2487

Rev	Date	Description
1		
2	8/21/19	FDP Comments/Site VE Items
3	9/06/19	Updated Sheet List



BHC RHODES
Civil Engineering • Surveying • Utilities
7101 College Blvd., Suite 400
Overland Park, Kansas 66210
P: (913) 663-1900 F: (913) 663-1633
BHC Rhodes is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

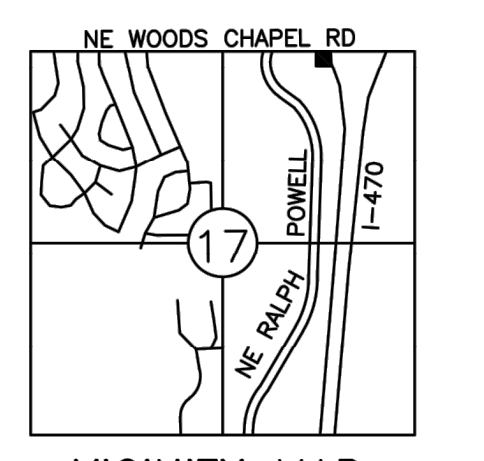
TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
COVER SHEET

Design: MGG Drawn: MGG
Checked: MSS
Issue Date:
Project Number: 026040.08

UTILITIES:
THE INFORMATION CONCERNING LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS AND FIELD LOCATIONS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN FIELD VERIFIED BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT.

ALTA/NSPS LAND TITLE SURVEY

CRYSTAL CLEAR INVESTMENTS, LLC
PO BOX 698
BLUE SPRINGS MO 64013
850 NE WOODS CHAPEL RD

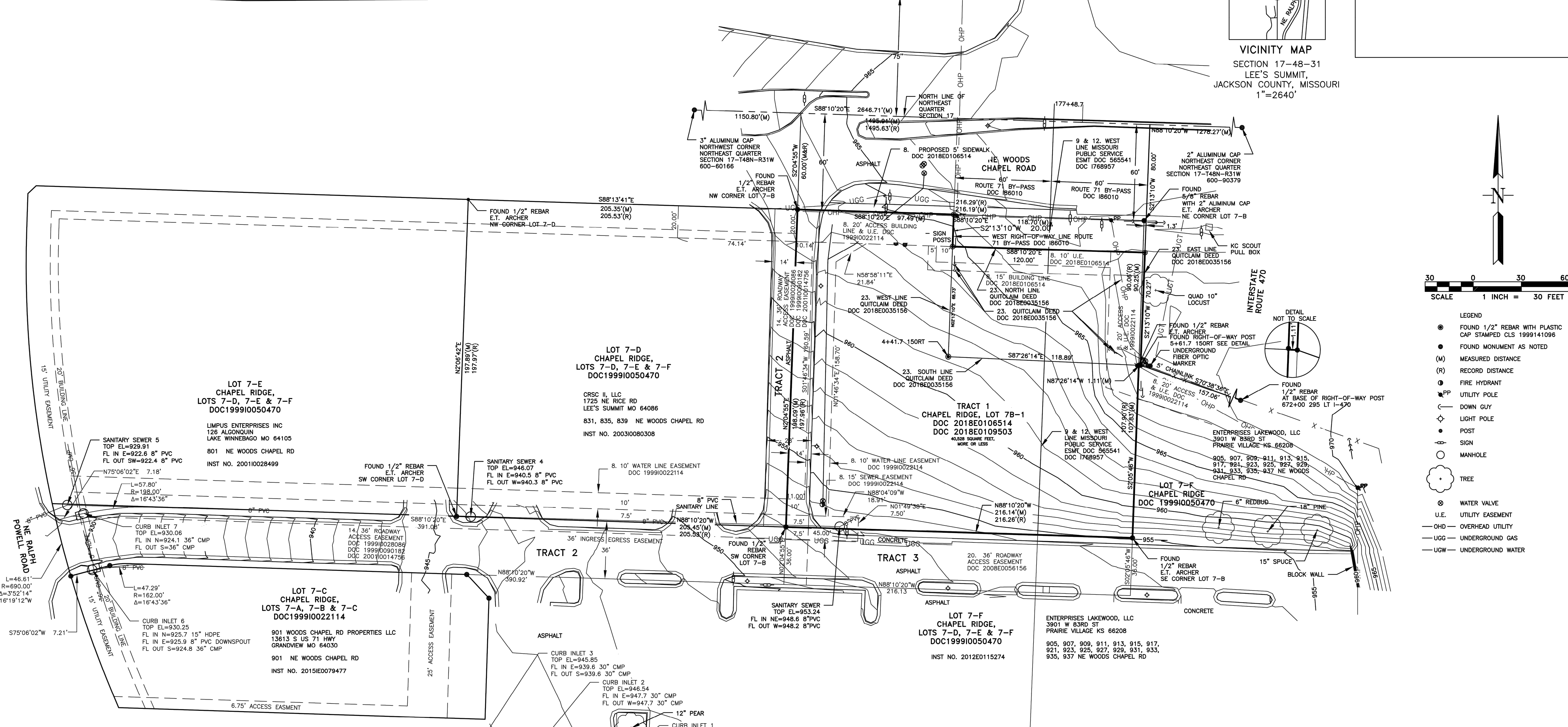


VICINITY MAP
SECTION 17-48-31
LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI
1"=2640'

RESERVED FOR THE RECORDER OF DEEDS

Project No. 19017
Sht. No. 1

McLaughlin Mueller, Inc 2019



- LEGEND
- FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED CLS 1999141096
 - FOUND MONUMENT AS NOTED
 - (M) MEASURED DISTANCE
 - (R) RECORD DISTANCE
 - FIRE HYDRANT
 - UTILITY POLE
 - DOWN GUY
 - LIGHT POLE
 - POST
 - SIGN
 - MANHOLE
 - TREE
 - WATER VALVE
 - U.E. UTILITY EASEMENT
 - OHD OVERHEAD UTILITY
 - UGG UNDERGROUND GAS
 - UGW UNDERGROUND WATER

ORDERED BY: BRUNGARDT HONOMICHL & COMPANY, P.A.
7101 COLLEGE BLVD SUITE 400
OVERLAND PARK, KS 66210

DESCRIPTION PROVIDED IN EXHIBIT A FROM THE ALTA COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT:

- TRACT 1
CHAPEL RIDGE, LOT 7B-1, CHAPEL RIDGE, LOT 7B-1, A SUBDIVISION OF LAND IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE PLAT RECORDED IN BOOK 180, PAGE 49, AS DOCUMENT NO. 2018E0106514, AS AMENDED BY AFFIDAVIT RECORDED AS DOCUMENT NO. 2018E0109503.
- TRACT 2
NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN DEDICATION OF ROADWAY/ACCESS EASEMENT FILED APRIL 16, 1999 AS DOCUMENT NO. 19990028086 AMENDED BY DOCUMENT NO. 19990090182 AND RE-RECORDED AS DOCUMENT NO. 20011014756.
- TRACT 3
NON-EXCLUSIVE ACCESS EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN ACCESS EASEMENT FILED MAY 22, 2008 AS DOCUMENT NO. 2008E005156.
- ITEMS 8, 9, 12, 13, 14, 15, 18, 19 AND 23 FROM THE SCHEDULE B, PART II EXCEPTIONS FROM THE ALTA COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT:
8. EASEMENTS, RESTRICTIONS AND SETBACK LINES, AS PER PLAT, RECORDED AS DOCUMENT NO. 19990022114. SHOWN HEREON.
 - EASEMENTS, RESTRICTIONS AND SETBACK LINES, AS SET FORTH ON THE RECORDED PLAT FILED DECEMBER 14, 2018 AS DOCUMENT NO. 2018E0106514 IN BOOK 180, PAGES 49-50. SHOWN HEREON.
 - AS AMENDED BY AFFIDAVIT RECORDED DECEMBER 27, 2018 AS DOCUMENT NO. 2018E0109503. SHOWN HEREON.
 9. EASEMENT GRANTED TO MISSOURI PUBLIC SERVICE CORPORATION, A DELAWARE CORPORATION, BY THE INSTRUMENT RECORDED AS DOCUMENT NO. 565541 IN BOOK 862, PAGE 453, SHOWN HEREON.
 12. EASEMENT GRANTED TO MISSOURI PUBLIC SERVICE CORPORATION, A DELAWARE CORPORATION, BY THE INSTRUMENT RECORDED AS DOCUMENT NO. 1788957 IN BOOK 11673, PAGE 1422, SHOWN HEREON.
 13. TERMS AND PROVISIONS OF THE RESTRICTIONS CONTAINED IN THE INSTRUMENT RECORDED AS DOCUMENT NO. 98-1-44075 IN BOOK 13213, PAGE 914 CORRECTED BY DOCUMENT NO. 20020087160. LIES WITHIN THE BOUNDARY DESCRIBED.
 14. DEDICATION OF ROADWAY/ACCESS EASEMENT FILED APRIL 16, 1999 AS DOCUMENT NO. 19990028086 AMENDED BY DOCUMENT NO. 19990090182 AND RE-RECORDED AS DOCUMENT NO. 20011014756. SHOWN HEREON.

15. RESTRICTIONS AS SET FORTH IN THE RESTRICTIVE COVENANT AGREEMENT RECORDED AS DOCUMENT NO. 19990018754. LIES WITHIN THE BOUNDARY DESCRIBED.
 18. TERMS AND PROVISIONS OF AN ACCESS EASEMENT FILED MAY 22, 2008 AS DOCUMENT NO. 2008E005156. SHOWN HEREON.
 19. RESERVATION IN AND TO THE OIL, GAS AND OTHER MINERALS OF EVERY NATURE ON, IN AND UNDER OR THAT BE PRODUCED FROM THE LAND AND THE TERMS AND PROVISIONS RELATED THERETO, ALL AS SET FORTH IN A SPECIAL WARRANTY DEED FROM N3 DEVELOPMENT, LTD., A TEXAS LIMITED PARTNERSHIP TO M&I MARSHALL & ILSLEY BANK, A WISCONSIN STATE CHARTERED BANK, FILED MAY 22, 2008, AS DOCUMENT NO. 2008E005157. LIES WITHIN THE BOUNDARY DESCRIBED.
 23. ABUTTER'S RIGHT OF ACCESS RESERVED IN QUITCLAIM DEED BY THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION RECORDED APRIL 24, 2018 AS DOCUMENT NO. 2018E0035156. SHOWN HEREON. SEE NOTE.
- TABLE A:
1. MONUMENTS HAVE BEEN PLACED OR FOUND AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY.
 2. ADDRESSES SHOWN HEREON HAVE BEEN TAKEN FROM THE JACKSON COUNTY ASSESSOR.
 3. THIS PROPERTY IS DESIGNATED AS ZONE X, ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 29095C0430G, DATE JANUARY 20, 2017, AS CLEAR.
 4. THE GROSS LAND AREA OF CHAPEL RIDGE, LOT 7B-1 CONTAINS 0.93 ACRES, MORE OR LESS.
 5. VERTICAL RELIEF BASED ON MGRS STATION JA-134, EL=969.81 NAVD 1988.
 - 7A. NO BUILDINGS OBSERVED.
 8. SUBSTANTIAL FEATURES ARE SHOWN HEREON.
 9. NO PARKING SPACES WERE OBSERVED.
 11. OBSERVED EVIDENCE OF UTILITIES TOGETHER WITH EVIDENCE FROM PLANS FROM APPROPRIATE SOURCES HAS BEEN SHOWN HEREON. MISSOURI ONE-CALL WAS CONTACTED, TICKET NUMBER 190092705 INDICATING THAT SPIRE MO WEST, THE CITY OF LEE'S SUMMIT AND CENTURYLINK FIBER WERE MARKED, ALL OTHERS NOTED AS CLEAR.
 13. NAMES OF ADJOINING OWNERS OF PLATTED LANDS SHOWN HEREON HAVE BEEN TAKEN FROM THE JACKSON COUNTY ASSESSOR.
 16. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELDWORK.

NOTES:

ITEM NUMBER 23 IN THE SCHEDULE B, PART II EXCEPTIONS DISCLOSED DOCUMENT 2018E0035156 A QUITCLAIM DEED, WHICH RESERVES ABUTTER'S RIGHT OF NO ACCESS TO ROUTE I-470 AND WOODS CHAPEL ROAD AND FOR KNOWN OR UNKNOWN UTILITY FACILITIES CURRENTLY LOCATED WITHIN THE AREA OF THE QUITCLAIM DEED.

THE EASEMENT THAT DESCRIBES TRACT 2 PURPORTS TO DEDICATE AN EASEMENT TO FUTURE OWNERS FROM THE OWNER.

BEARINGS SHOWN HEREON ARE BASED ON MISSOURI STATE PLANE COORDINATES 1983 FROM MGRS STATION JA-134. N=312470.096M E=862368.275M GRID FACTOR=0.9999018 DATE OF ADJUSTMENT=2003

THIS ALTA/NSPS LAND TITLE SURVEY WAS MADE FOR THE EXCLUSIVE USE OF BRUNGARDT HONOMICHL & COMPANY, P.A. AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSONS OR LEGAL ENTITIES WITHOUT WRITTEN CERTIFICATION EXPRESSLY NAMING THOSE PERSONS OR LEGAL ENTITIES.

THIS SURVEY WAS BASED ON THE COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT.

TO: BRUNGARDT HONOMICHL & COMPANY, P.A. AND FIRST AMERICAN TITLE INSURANCE COMPANY, THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 8, 9, 11, 13 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 20, 2019. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS. TYPE URBAN. DIGITAL MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT. ONLY A SIGNED AND SEALED DRAWING IS TO BE CONSIDERED THE ORIGINAL DOCUMENT.

MCLAUGHLIN MUELLER, INC.
Professional Land Surveyors
218 West Mill Street
Liberty, MO 64068
PH 816-407-0002 FX 816-407-0003
Corporation LS 1999141096

Designed By: MAM
Drawn By: MTW
Checked By: MAM
Approved By: MAM
Date: APRIL 4, 2019

ALTA/NSPS, CHAPEL RIDGE, LOT 7B-1, 851 N.E. WOODS CHAPEL ROAD,
SECTION 17, T48N, R31W, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY
THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT.
MARTIN MUELLER, PLS 2487

LEGEND

Proposed Line Types and Symbols shown. Existing Line Types and Symbols shall be the same, but screened, unless designated otherwise by the inclusion of a survey by others.

●	Set Survey Monument	STH	Storm Sewer Line
●	Set Survey Monument (in concrete)	SM	Storm Sewer Manhole
○	Found Survey Monument	CI	Curb Inlet
○	Found Survey Monument in Box	FI	Field Inlet
(O.U.)	Origin Unknown	JB	Junction Box
△	Found Right-of-Way Marker	GI	Grate Inlet
▲	Control Point	GR	Grate Inlet (Round/Domed)
◆	Benchmark	ES	End Section
■	Set Hub	HW	Headwall
---	Overhead Utility Line(s)	DS	Down Spout
---	Underground Electric Line Marker	RD	Roof Drain
---	Underground Electric Line	CMP	Corrugated Metal Pipe
---	Underground KCP&L Line (e.g.)	CMP	Corrugated Metal Arch Pipe
○	Utility Pole	CPP	Corrugated Plastic Pipe
○	Utility Pole with Transformer	HDPPE	High Density Polyethylene Pipe
○	Guy Anchor	RCP	Reinforced Concrete Pipe
○	Utility Pole w/Light & arm	RCP	Reinforced Concrete Arch Pipe
○	Street Light Pole w/ arm	RCS	Reinforced Concrete Box
○	Street Light Pole (14')	RES	Raised End Section
○	Electric Pedestal (above ground)	FES	Pipe Continues-Outlet or Source Not Found or Not Surveyed
○	Electric Meter	□	Wood Fence
○	Electric Access Vault (underground)	□	Chain Link Fence
○	Electric Access Box (mounted)	□	Wire Fence (with or without barb)
○	Electric Manhole	□	Barbed Wire Fence
○	Electric Pull Box (underground)	□	Plastic Fence
○	Transformer (pad mounted)	□	Iron or Metal Fence
○	Yard Light	○	Gate Post
○	Air Conditioner Unit	—	Retaining Wall
—	Water Line	—	Single Pole Sign
—	Water Service Line	—	Single Pole Sign
—	Underground Water Line Marker	—	Double Pole Sign
—	Water Valve	—	Railroad Crossing Gate
—	Fire Hydrant	—	Railroad Switch Machine
—	Fire Hydrant Assembly	—	Railroad Tracks
—	Water Meter	—	Wheel Stop
—	Water Manhole	—	ADA Parking Stall
—	Water Vault (underground)	—	ADA Detection Warning Pad
—	Sprinkler Control Box	—	Bush
—	Sprinkler Head	—	Deciduous Tree and Size (Scaled for Size)
—	Yard Hydrant	—	Coniferous Tree and Size (Scaled for Size)
—	Backflow Valve (BFV)	—	Tree Stump
—	Backflow Preventer (BFP)	—	Foliage Drip Line/Edge of Timber
—	Blow-Off Assembly	—	Hedge
—	Gas Line	—	Center Line
—	Gas Service Line	—	Property Line
—	Underground Spire Line (e.g.)	—	Right-of-Way Line
—	Underground Gas Line Marker	—	Radius
—	Gas Manhole or Access Lid	—	R=
—	Gas Valve	—	L=
—	Regulator Unit	—	CB
—	Gas Meter	—	CD
—	Casing Vent	—	Δ
—	Underground Pipe Line (High Capacity)	—	I.T.B.
—	Underground Pipe Line Marker	—	R/W
—	Underground Telephone Line	—	(M)
—	Underground AT&T Line (e.g.)	—	(m)
—	Underground Telephone Line Marker	—	(D)
—	Telephone Pedestal (above ground)	—	(P)
—	Telephone Manhole	—	(C)
—	Telephone Access Vault (underground)	—	(CR)
—	Telephone Access Box (mounted)	—	(CM)
—	Underground Fiber Optic Line	—	(PR)
—	Underground Fiber Optic Line Marker	—	BK.
—	Fiber Optic Pedestal	—	PG.
—	Fiber Optic Manhole	—	DOC.
—	Fiber Optic Vault (underground)	—	INS.
—	Fiber Optic Pedestal on top of Vault	—	VOL.
—	Traffic Signal Post w/ Mast Arm	—	ESMT.
—	Pedestrian Signal Pole	—	B/L
—	Traffic Control Manhole	—	U/E
—	Traffic Control Cabinet	—	D/E
—	Traffic Control Vault (underground)	—	ST/E
—	Underground Cable TV Line	—	S/E
—	Underground Spectrum Line (e.g.)	—	IE/E
—	Underground Cable TV Marker	—	TC/E
—	Cable TV Pedestal (above ground)	—	SQ. FT.
—	Manhole-Unknown Purpose	—	AC
—	Grease Trap Access Lid	—	CY
—	Monitoring Well	—	LF
—	Bore Hole	—	CO.
—	Fill Lid (for Underground Tank)	—	L/S
—	Sanitary Sewer Line	—	Company
—	Sanitary Sewer Service Line	—	Landscaping (Bushes, Trees, Flowers, Border, Mulch, any or all of them)
—	Sanitary Sewer Manhole	—	ASPH
—	Clean-out	—	CONC
—	Vitrified Clay Pipe	—	COR
—	Ductile Iron Pipe	—	R.WALL
—	Polyvinyl Chloride Pipe	—	STA.
—	Cast Iron Pipe	—	LT
—	Underground Utility Line Marker	—	RT
—	Metal Guard Rail or Handrail	—	PI
—	Flag Pole	—	PC
—	Satellite Dish	—	PT
—	Mailbox	—	NTS
—	Concrete or Metal Bollard	—	
—	Wood Bollard or Wood Post	—	

LEGAL DESCRIPTION

CHAPEL RIDGE LOT 7B-1

SURVEY NOTES

- Bearings shown here are based on Missouri State Plane Coordinates 1983 from MGRS station JA-134. N=312470.096m E=862368.275m grid factor=0.9999018 date of adjustment=2003
- This Tract contains 40,528 square feet or 0.93 acres.
- Contours are shown at 1 foot intervals.
- Based on record research and field exploration, there were no oil or gas wells located on site.

UTILITY NOTES

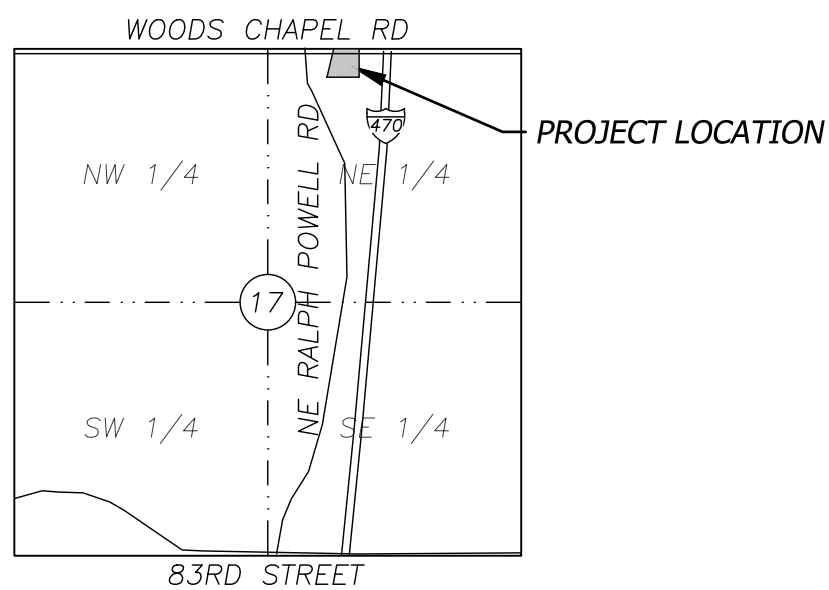
The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

FLOOD STATEMENT

The subject property lies within Flood Zone X, as shown on the JACKSON COUNTY, MISSOURI Flood Insurance Rate Map (F.I.R.M.).

Map Number: 29095C0430G
Effective Date: 01/20/2017

NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.



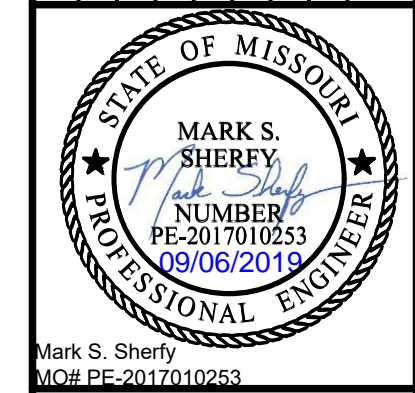
SECTION MAP

SCALE: 1" = 2000'
SECTION 18-T14S-R25E
JOHNSON COUNTY, KANSAS

GENERAL NOTES

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Lee's Summit, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of an Topographic Survey prepared by McLaughlin Mueller, Inc. and dated April 4, 2019. BHC Rhodes makes no guarantees as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- Unless specified otherwise, all construction shall meet the requirements of the City of Lee's Summit's Design and Construction Manual, except as modified by these plans.

Rev.	Date	Description
1	9/6/19	Sheet Re-issued
2	8/21/19	Sheet Re-issued
3		



BHC RHODES
Civil Engineering • Surveying • Utilities
7101 College Blvd., Suite 400
Overland Park, Kansas 66210
P: (913) 662-1900 F: (913) 662-1633
BHC excess is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

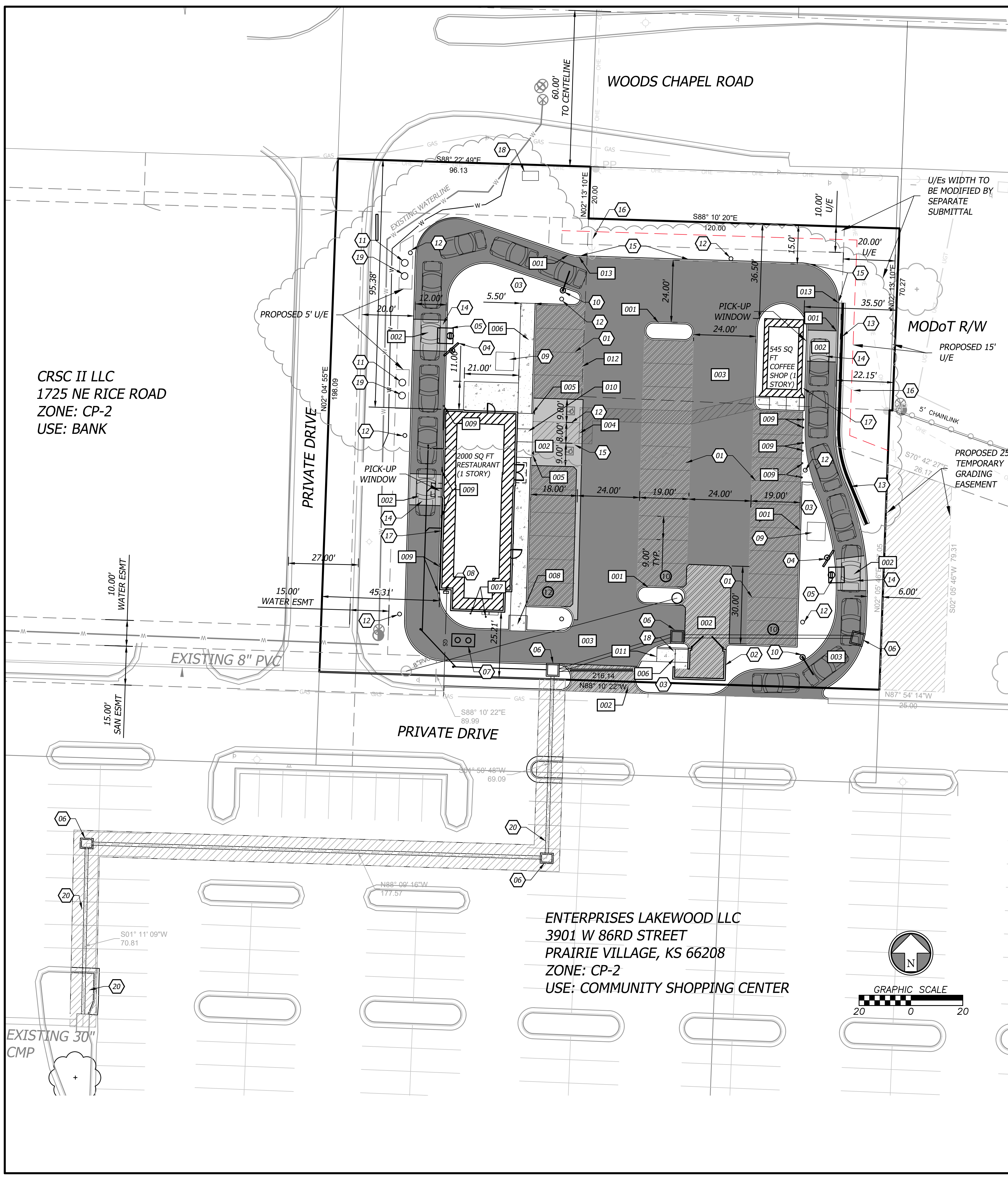
Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
GENERAL INFORMATION

Design: MGG Drawn: MGG
Checked: MSS
Issue Date:
Project Number: 026040.08

C0.0

Sep 06, 2019 - 10:37am Plotted By: mchd.abbas V:\026040-08-Final Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Site\026040.08-SITE-FDP-SITE.dwg Layout: Site Plan



SITE DATA

TOTAL FLOOR AREA: 2,545 SQ FT
 TACO BELL 2,000 SQ FT
 DRIVE-THRU COFFEE (NO SIT-DOWN) 545 SQ FT
 SITE AREA: 40,528 SQ FT (± 0.93 ACRES)
 DISTURBED AREA: 44,361 SQ FT (± 1.02 ACRES)

PARKING DATA

CITY REQUIREMENTS-
 RESTAURANT (FAST FOOD AND SIT-DOWN) 28 STALLS
 14 SPACES REQUIRED FOR EACH 1000 SF OF GROSS FLOOR AREA
 COFFEE SHOP 4 STALLS
 2 SPACES PER BUILDING, 1 PER EACH EMPLOYEE MAX SHIFT (2 MAX SHIFT)

STALLS REQUIRED 32
 TOTAL STALLS PROVIDED 32

STANDARD STALLS PROVIDED 2 (1 VAN)
 ADA ACCESSIBLE STALLS REQUIRED

STACKING REQUIRED 4 CARS FROM MENU BOARD
 STACKING PROVIDED 4 CARS FROM MENU BOARD

IMPERVIOUS AREA: 26,788 SQ FT
 FLOOR AREA RATIO: 0.063

ZONING: CP-2
 WATERSHED (HUC12): MAY BROOK-LITTLE BLUE RIVER

CONSTRUCTION NOTES

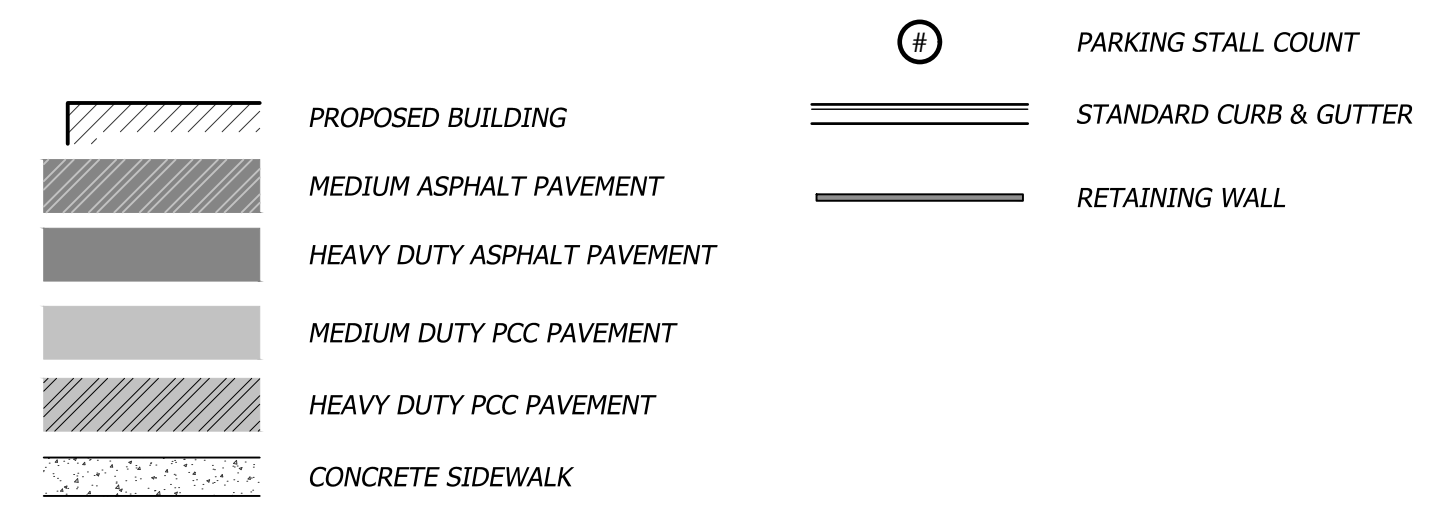
- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT STRIPING. COORDINATE WITH ARCHITECT AND DEVELOPER PRIOR TO CONSTRUCTION.
- 02 DUMPSTER ENCLOSURE. SEE SHEET A9.0
- 03 LANDSCAPING AREA. SEE SHEET L1.0
- 04 MENU BOARD
- 05 SPEAKER BOX
- 06 PROPOSED STORM STRUCTURES. SEE SHEET C6.0 & C7.0
- 07 1000 GALLON TRAFFIC RATED GREASE INTERCEPTOR. SEE SHEET C5.0 & C5.1 FOR MORE INFORMATION.
- 08 GAS METER
- 09 TRANSFORMER PAD. SEE SHEET C5.0
- 10 CLEARANCE BAR
- 11 WATER METER. SEE SHEET C5.0
- 12 LIGHT POLE
- 13 PROPOSED VERSA-LOK RETAINING WALL. MAXIMUM 30" EXPOSED HEIGHT.
- 14 CURB AND GUTTER ADJACENT TO CONCRETE PARKING PAVEMENT SHALL BE POURED INTEGRAL.
- 15 CONCRETE CURB WALL. SEE DETAIL ON SHEET C9.3
- 16 EXISTING GUY WIRES TO BE RELOCATED.
- 17 BACK OF CURB ALONG DRIVE-THRU, ADJACENT TO BUILDING SHALL EXTEND BACK TO FOOTING
- 18 KCP&L SECTIONALIZER
- 19 IRRIGATION METER
- 20 OFFSITE STORM SEWER EXTENSION. SEE SHEET C11.0

DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C9.0-C9.3

- 001 CONCRETE CURB (CITY STANDARD)
- 002 P.C.C. PAVEMENT SECTION
- 003 ASPHALT PAVEMENT SECTION
- 004 (ADA) ACCESSIBLE PARKING STRIPING
- 005 (ADA) ACCESSIBLE PARKING SIGNAGE
- 006 CONCRETE SIDEWALK SECTION
- 007 SANITARY SEWER CLEANOUT
- 008 TYPE "A" SIDEWALK RAMP
- 009 STEEL/CONCRETE BOLLARD
- 010 TYPE "B" SIDEWALK RAMP
- 011 TYPE "C" SIDEWALK RAMP
- 012 VALLEY GUTTER
- 013 CONCRETE CURB WALL

SITE LEGEND



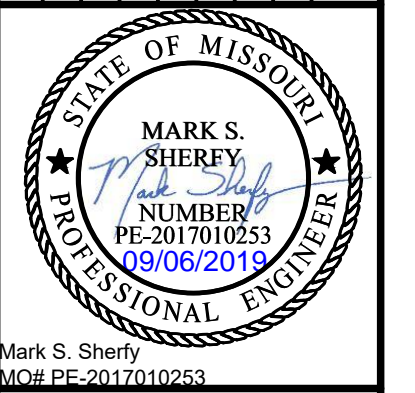
DEVELOPER

FIRST STREET DEVELOPMENT
 2929 E CAMELBACK ROAD, SUITE 116
 PHOENIX, AZ 85016
 PH: (602) 714-3099
 CONTACT: CHRIS CZYZ

PROPERTY OWNER

FSD WOODS CHAPEL LLC
 851 NE WOODS CHAPEL ROAD
 LEE'S SUMMIT, MO 64064

Rev	Date	Description
3	9/6/19	Sheet Re-issued
2	8/21/19	FDP Comments/Site UE Items
		MSS
		MGG
		By
		App.



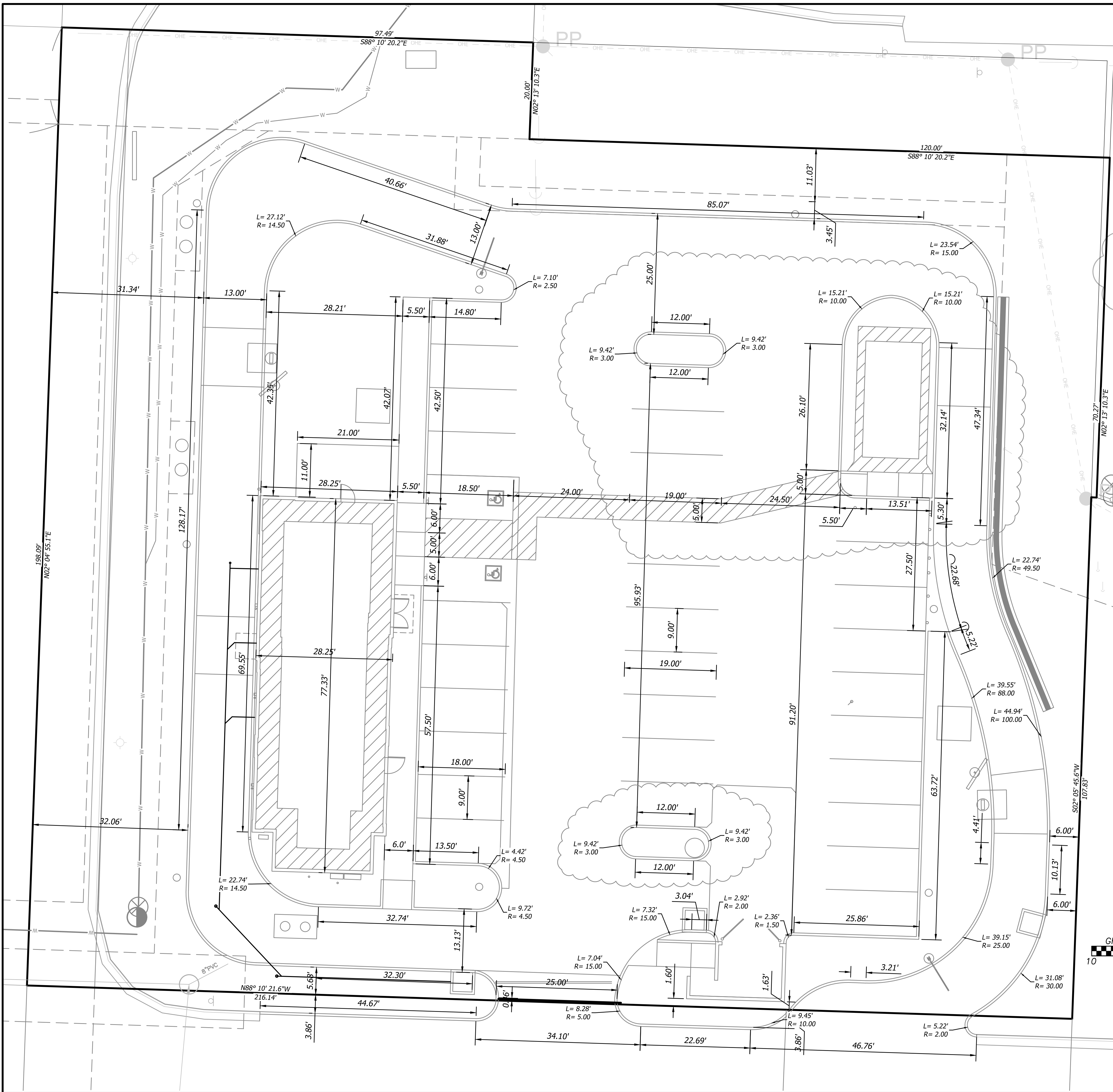
BHC RHODES
 Civil Engineering • Surveying • Utilities
 7101 College Blvd., Suite 400
 Overland Park, Kansas 66210
 P: (913) 463-1900 F: (913) 663-1633
BHC Rhodes is a trademark of Fluigent Homestead & Company, P.A.
 Certificate of Authority Number: MO# E-1355-F

Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
SITE PLAN

Design: MGG | Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

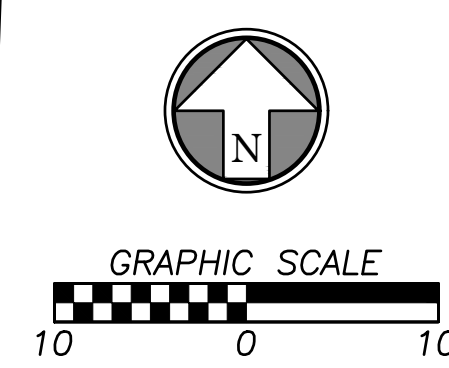
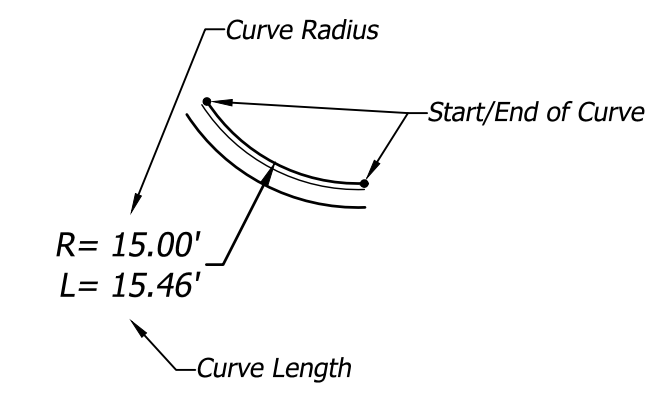
C2.0



DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

DIMENSION LEGEND



BHC RHODES
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 Overland Park, Kansas 66210
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Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
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 PHOENIX, ARIZONA 85018
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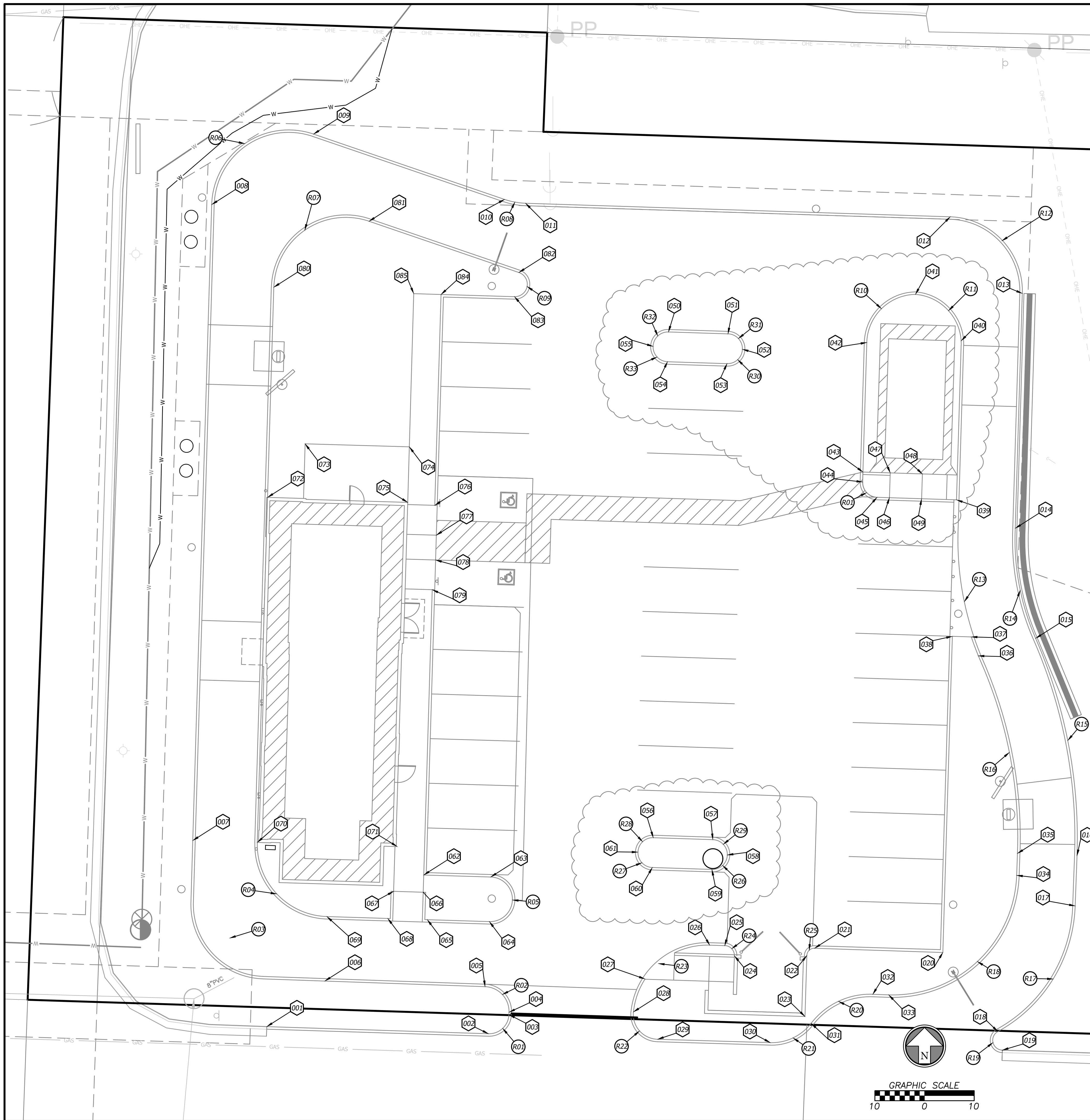
**TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 DIMENSION PLAN**

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

C3.0

Rev.	Date	Description	By	App.
1	9/6/19	Sheet Re-issued	MGG	
2	8/21/19	FDP Comments/Site VE Items	MGG	
3	9/6/19			

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POINTS		
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004	2829298.6561	1025172.4147
005	2829293.8338	1025177.5708
006	2829261.5567	1025178.7020
007	2829234.9595	1025207.0065
008	2829238.7765	1025335.1224
009	2829259.2867	1025349.3263
010	2829297.7580	1025336.1654
011	2829301.9889	1025335.3922
012	2829387.5244	1025332.6664
013	2829402.0351	1025317.2227
014	2829400.6171	1025269.9016
015	2829404.7210	1025247.7387
016	2829413.0533	1025203.9654
017	2829412.6835	1025193.8377
018	2829397.1150	1025168.5353
019	2829398.0113	1025164.7823
020	2829386.0322	1025184.4565
021	2829360.1900	1025185.3096
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028	2829323.7094	1025172.4835
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053	2829342.5700	1025303.0814
054	2829330.5761	1025303.4641
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068	2829274.2411	1025191.3134
069	2829261.9778	1025191.6952
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071	2829276.1485	1025205.7888
072	2829250.0250	1025276.1398
073	2829257.5883	1025286.9267
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075	2829278.2576	1025275.1318
076	2829283.6991	1025274.5346
077	2829284.0202	1025268.5223
078	2829283.8713	1025263.5245
079	2829283.1928	1025257.5421
080	2829251.2862	1025318.4722
081	2829270.4732	1025331.7598
082	2829300.6415	1025321.4393
083	2829299.7578	1025316.5750
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085	2829279.4672	1025317.1795

RADIUS POINTS			
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R01	1025172.0858	2829294.6436	4.00
R02	1025172.5739	2829293.6587	5.00
R03	1025206.1876	2829262.4473	27.50
R04	1025206.1876	2829262.4473	14.50
R05	1025195.1708	2829294.8439	4.50
R06	1025334.6608	2829254.2697	15.50
R07	1025318.0404	2829265.7798	14.50
R08	1025349.8848	2829302.4514	14.50
R09	1025319.0739	2829299.8323	2.50
R10	1025307.0372	2829380.7101	10.00
R11	1025307.0667	2829379.7209	10.00
R12	1025317.6741	2829387.0419	14.88
R13	1025267.5963	2829450.0633	61.00
R14	1025267.5963	2829450.0633	49.50
R15	1025207.6228	2829313.1202	100.00

R16	1025207.6224	2829313.1179	88.00
R17	1025194.8454	2829382.7004	30.00
R18	1025200.9080	2829375.9170	25.00
R19	1025166.7813	2829398.0760	2.00
R20	1025161.0439	2829371.3886	15.00
R21	1025176.2896	2829351.5752	10.00
R22	1025171.9686	2829328.6828	5.00
R23	1025170.9390	2829338.6296	15.00
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R26	1025204.1913	2829339.6124	3.00
R27	1025204.5793	2829327.6187	3.00
R28	1025204.5793	2829327.6187	3.00
R29	1025204.1913	2829339.6124	3.00
R30	1025306.0799	2829342.6657	3.00
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R32	1025306.4626	2829330.6718	3.00
R33	1025306.4626	2829330.6718	3.00

Prepared For:

FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

Mark S. Sherry
 No. PE 2017010253

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08

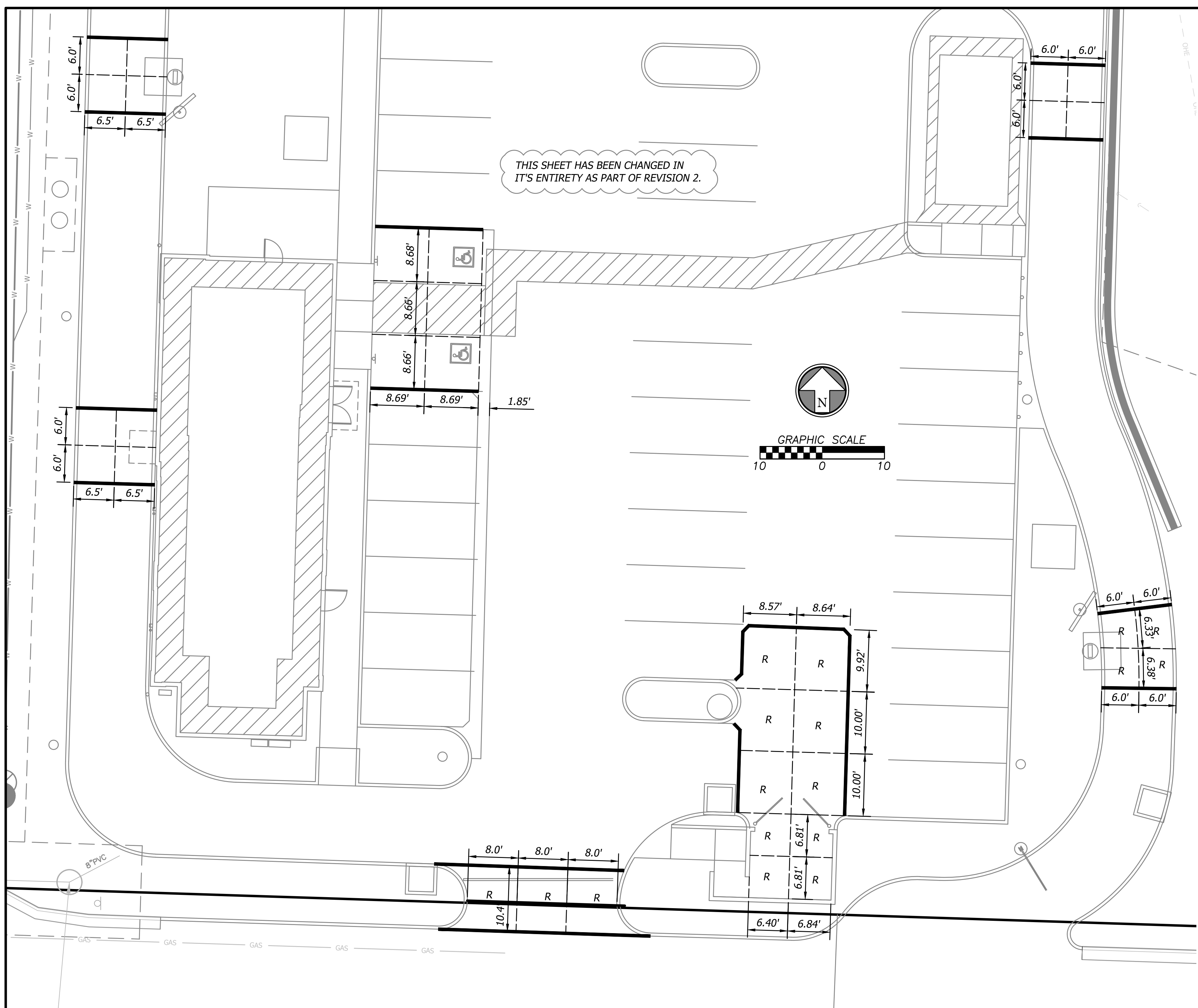
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI

FINAL DEVELOPMENT PLAN
 COORDINATE PLAN

Rev. Date Description
 3 9/6/19 Sheet Re-issued
 2 8/21/19 FDP Comments/Site VE Items
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C3.1

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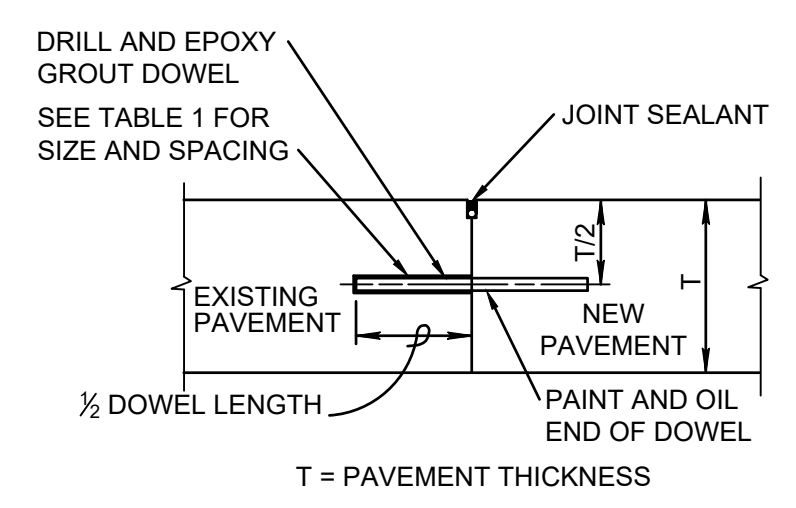


JOINTING AND DOWEL NOTES

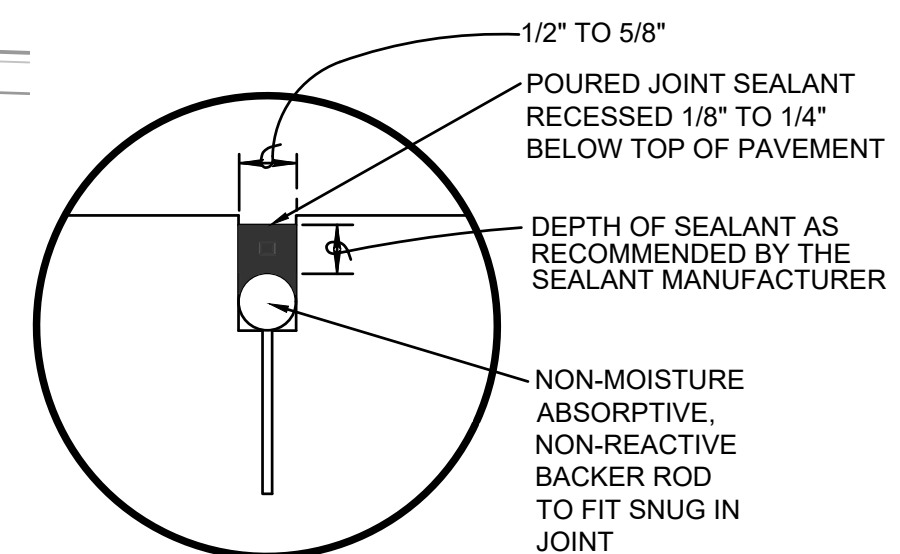
- CONSTRUCTION JOINTS SHOWN ARE RECOMMENDATIONS. CONTRACTOR TO DETERMINE IF ALTERATIONS ARE NEEDED PER CONSTRUCTION SCHEDULE AND METHODS.
- WIDTH TO LENGTH RATIO TO NOT EXCEED 1.25 TIMES
- SLABS MARKED "R" SHALL BE REINFORCED WITH STEEL WELDED WIRE FABRIC OF THE SIZES SHOWN IN TABLE 2. OTHER WWF SIZES MAY BE USED PROVIDED THE STEEL AREA (SQ INCHES/FOOT) IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IS EQUAL TO OR EXCEEDS THAT SHOWN IN TABLE 2.
- EPOXY COATED DOWEL BARS SHALL BE DRILLED 9" DEEP (9" IN EXISTING PAVEMENT AND 9" INTO PROPOSED PAVEMENT), 12" ON CENTER OF THE VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG, CLEAN HOLES THROUGH OUT
- DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE
- DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION
- ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT
- FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER
- INSTALL CLOSED CELL BACKER RODS AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS
- AREA'S WHERE SIDEWALK ABUTS CURB, EITHER ISOLATION JOINTS WITH FELT EXPANSION MATERIAL SHALL BE USED OR SAWCUTS IN CURB SHALL BE IN LINE WITH CURB CUTS OF SIDEWALK
- INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH
- JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

LEGEND

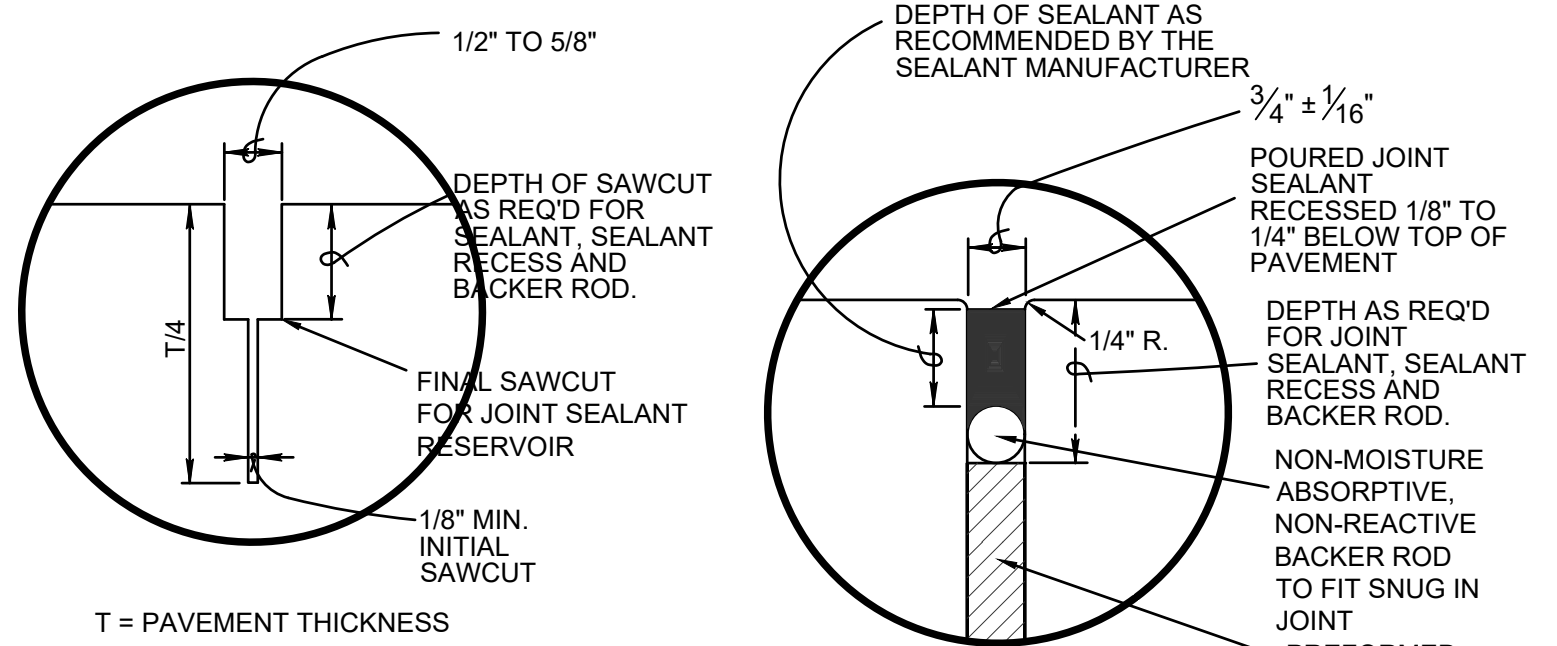
- PROPERTY LINE
- EXISTING SANITARY SEWER MAIN
- EXISTING STORM SEWER MAIN
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- CONCRETE CURB AND GUTTER
- ISOLATION JOINT
- CONTRACTION JOINT
- THICKENED EDGE



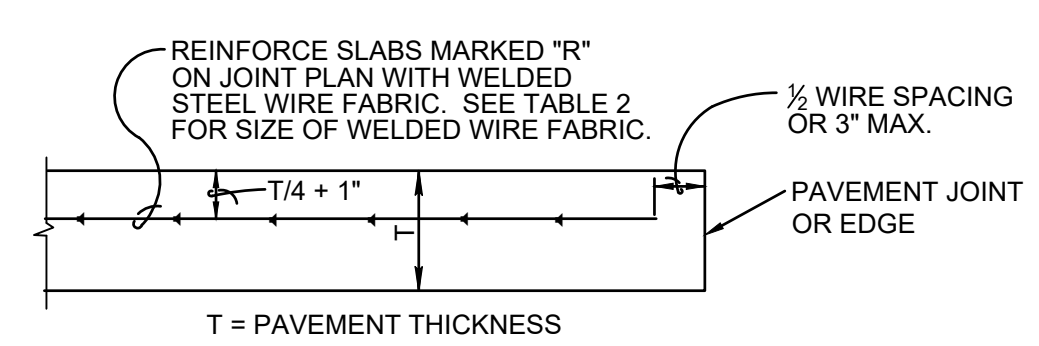
DOWELED JOINT BETWEEN NEW & EXISTING PAVEMENT



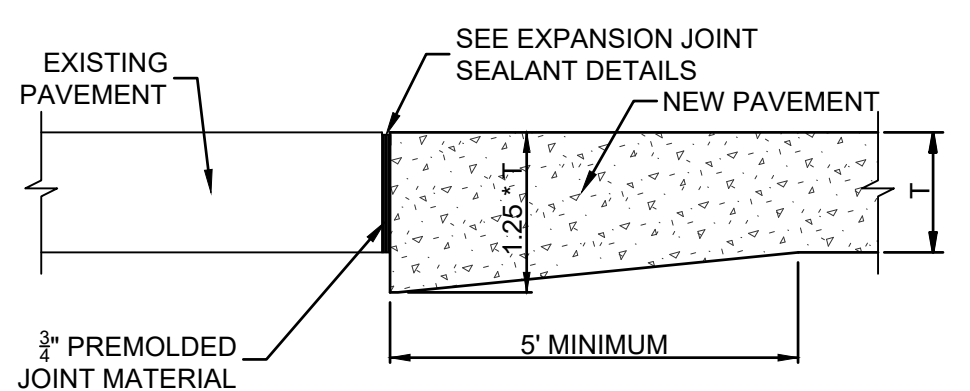
COMPLETED CONSTRUCTION JOINT SEALANT DETAIL



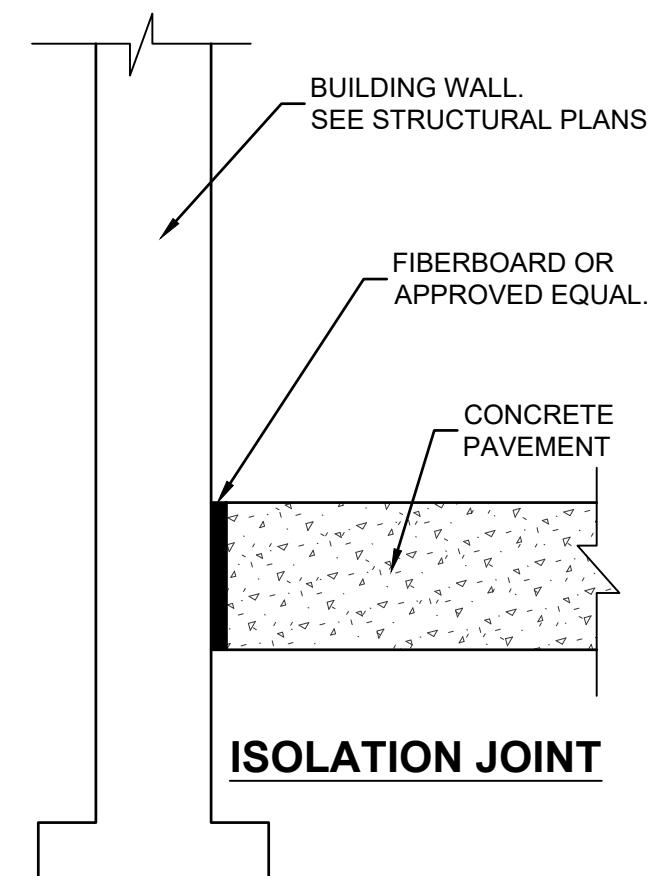
COMPLETED EXPANSION JOINT SEALANT DETAIL



SLAB REINFORCING DETAIL



THICKENED EDGE EXPANSION JOINT



ISOLATION JOINT

TABLE 1

PAVEMENT THICKNESS	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8"	12"	16"	3/4"
8" TO 11"	12"	16"	1"
12" TO 15"	15"	20"	1-1/4"

TABLE 2

PAVEMENT THICKNESS	MINIMUM REQUIRED AREA OF STEEL (SQ. IN. / FT)	WELDED WIRE FABRIC
6"	0.036	4 x 4 - W1.4 x W1.4 6 x 6 - W2.0 x W2.0
8"	0.048	4 x 4 - W2.0 x W2.0 6 x 6 - W2.9 x W2.9

TABLE 3

PAVEMENT THICKNESS	MAXIMUM TIE BAR SPACING	MINIMUM TIE BAR LENGTH	MINIMUM TIE BAR SIZE
LESS THAN 8"	12"	16"	NO. 6
8" TO 11"	12"	16"	NO. 8

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

C3.2

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

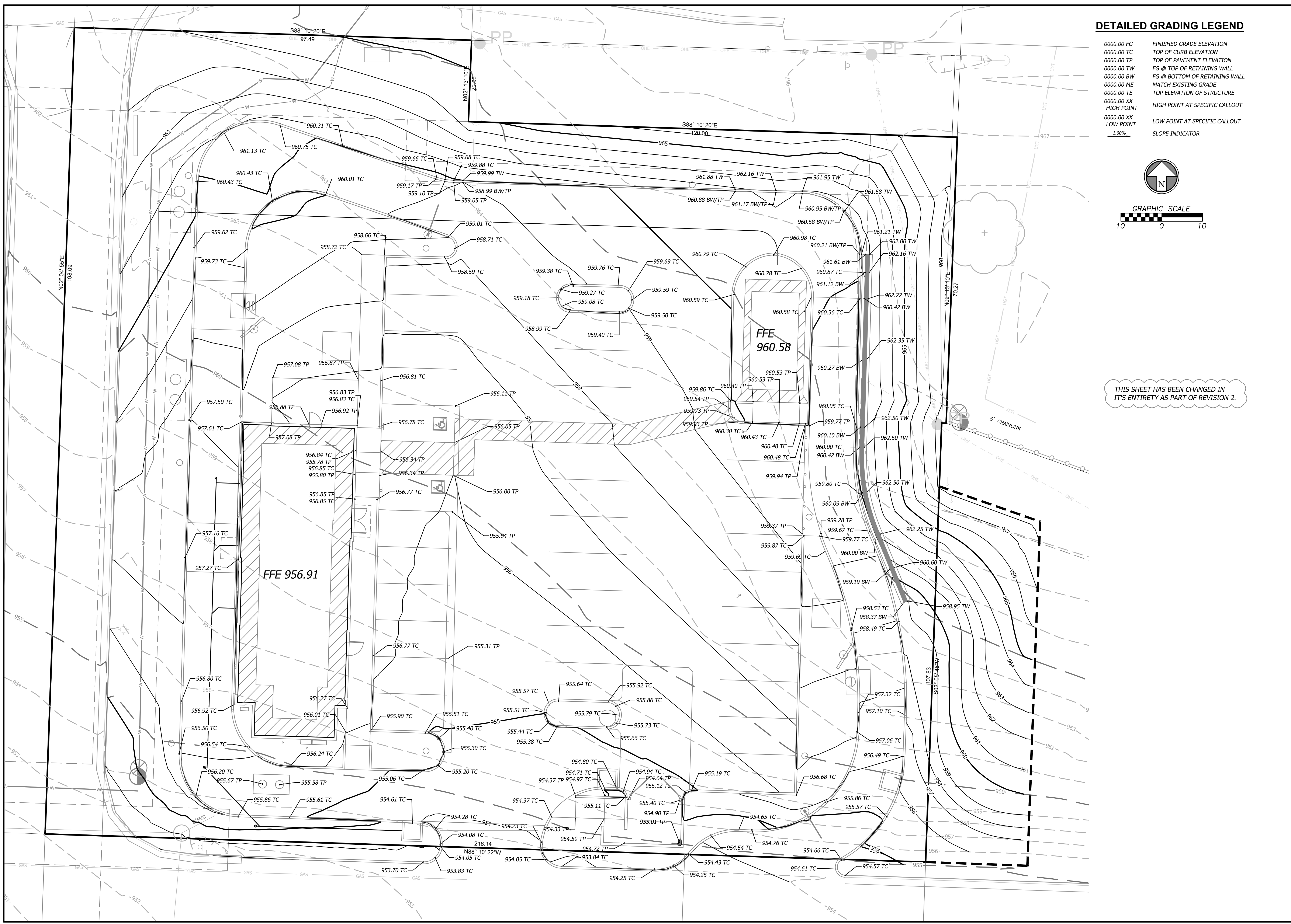
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 JOINT LAYOUT PLAN

BHC RHODES
 Civil Engineering • Surveying • Utilities
 7101 College Blvd., Suite 400
 Overland Park, Kansas 66210
 P. (913) 663-1900 F. (913) 663-1633
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 Certificate of Authority Number: MO# E-1355-F

Mark S. Sherry
 MO# PE-2017010253

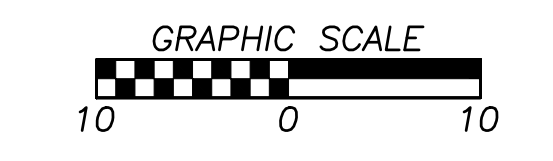
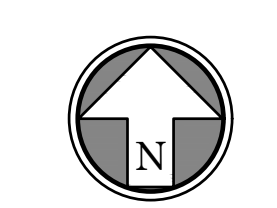
Sheet Re-issued
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DETAILED GRADING LEGEND

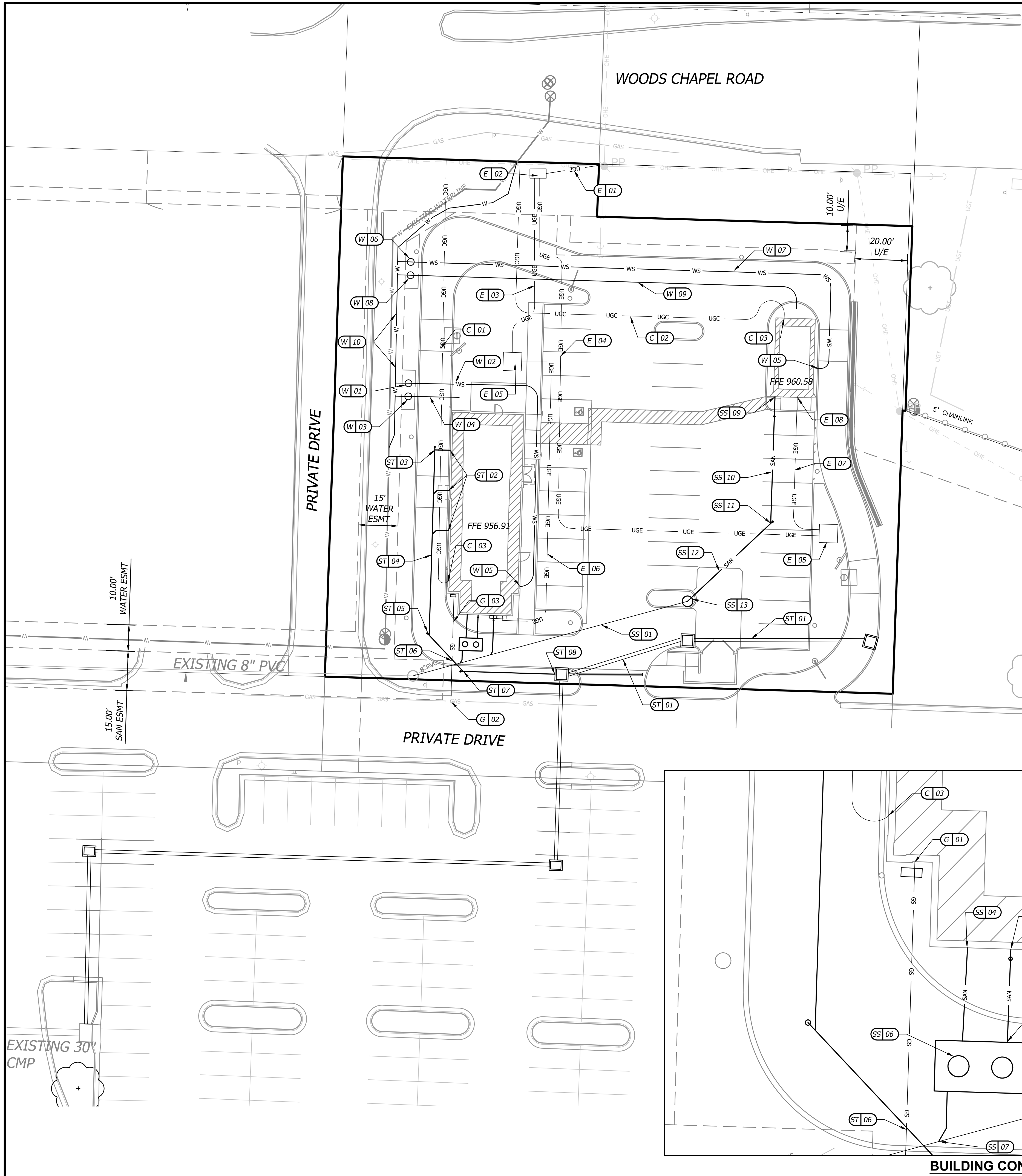
- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT AT SPECIFIC CALLOUT
- 0000.00 XX LOW POINT AT SPECIFIC CALLOUT
- 1.00% SLOPE INDICATOR



THIS SHEET HAS BEEN CHANGED IN ITS ENTIRETY AS PART OF REVISION 2.

	<p>Mark S. Sherfy MO# PE-2017010253</p>	<p>9/6/19 8/2/19</p>	<p>Sheet Re-issued FDP Comments/Site VE Items</p>	<p>By MGG</p>	<p>App. MSS</p>
<p>BHC RHODES Civil Engineering • Surveying • Utilities</p>	<p>7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 BHC is a trademark of Fluigent Homestead & Company, P.A. Certificate of Authority Number: MO# E-1355-F</p>	<p>3</p>	<p>2</p>	<p>Date</p>	<p>Rev.</p>
<p>Prepared For:</p>	<p>TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN DETAILED GRADING PLAN</p>	<p>4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>	<p>Design: MGG Drawn: MGG</p>	<p>Checked: </p>	<p>Issue Date: 08/06/2019</p>
<p>Project Number: 026040.08</p>		<p style="font-size: 2em; font-weight: bold;">C4.1</p>			

Sep 06, 2019 - 10:38am Plotted By: mchd.abbas V:\026040-First Street Development - Woods Chapel\04-SWD\Eng\Sheet\04-SWD\04-08-Woods Chapel\04-SWD\04-08-SRFS-FDP-UTIL.dwg Layout: Util Plan



X 00 CONSTRUCTION NOTES

W - WATER SERVICE INFORMATION - LEES SUMMIT WATER
 01 INSTALL 1" DOMESTIC WATER METER FOR TACO BELL SERVICE
 02 INSTALL 133 LF OF 1 1/4" TYPE K COPPER TO TACO BELL BUILDING
 03 INSTALL 1" IRRIGATION METER FOR TACO BELL IRRIGATION SERVICE.
 04 INSTALL 25 LF OF 1" PVC IRRIGATION LINE FOR TACO BELL.
 05 CONNECT TO BUILDING SERVICE LINES. REFER TO PLUMBING PLANS
 06 INSTALL 1" DOMESTIC WATER METER FOR COFFEE SHOP SERVICE
 07 INSTALL 202 LF OF 1" TYPE K COPPER TO COFFEE SHOP BUILDING
 08 INSTALL 1" IRRIGATION METER FOR COFFEE SHOP IRRIGATION SERVICE.
 09 INSTALL 158 LF OF 1" PVC IRRIGATION LINE FOR COFFEE SHOP
 10 SEE PUBLIC IMPROVEMENT PLANS FOR WATER MAIN IMPROVEMENTS

E - ELECTRIC SERVICE INFORMATION - KANSAS CITY POWER & LIGHT (KCP&L)
 01 INSTALL 22 L.F. OF 4" CONDUIT FROM POLE TO SECTIONALIZER PAD.
 02 CONSTRUCT SECTIONALIZER PAD. COORDINATE WITH KCP&L FOR EXACT LOCATION.
 03 INSTALL 71 L.F. OF 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED TACO BELL.
 04 INSTALL 236 L.F. OF P 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED COFFEE SHOP.
 05 INSTALL 3 PHASE PAD TRANSFORMER WITH BOLLARDS.
 06 INSTALL 125 L.F. 3" CONDUIT AND CONDUCTOR FOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED TACO BELL.
 07 CONTRACTOR TO INSTALL 58 L.F. 3" CONDUIT AND CONDUCTOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED COFFEE SHOP.
 08 CONNECT TO PROPOSED BUILDING SERVICE. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

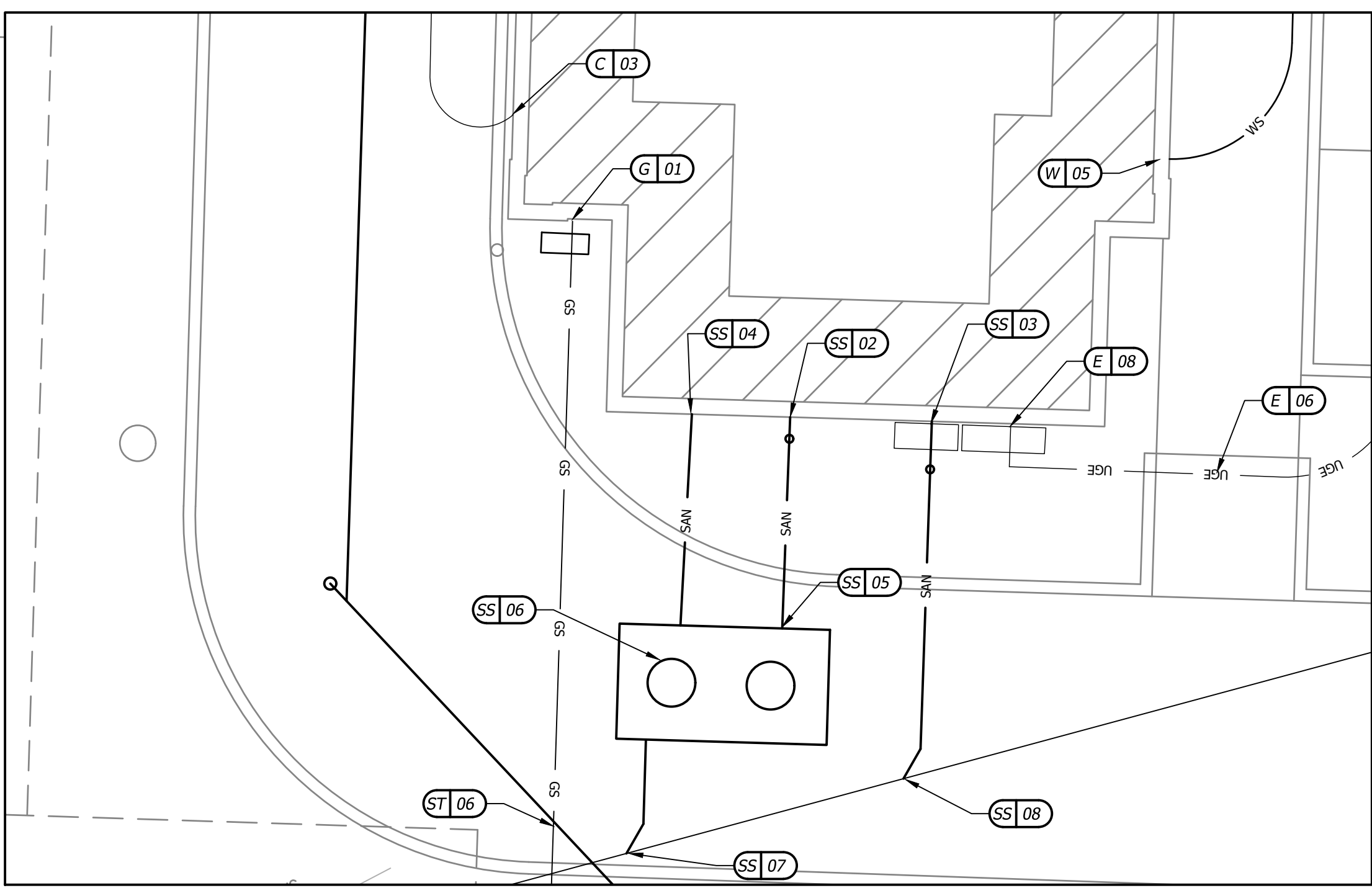
C - COMMUNICATION SERVICE INFORMATION
 01 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED TACO BELL. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 02 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED COFFEE SHOP. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 03 CONNECT COMMUNICATIONS CONDUITS TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

G - GAS SERVICE INFORMATION - SPIRE ENERGY
 01 CONNECT 2" PVC CONDUIT TO BUILDING FOR GAS SERVICE TO TACO BELL
 02 SPIRE ENERGY TO INSTALL CONDUIT AND MAKE TAP
 03 PROPOSED GAS METER LOCATION

ST - STORM SEWER INFORMATION
 01 PRIVATE STORM SEWER LINE. SEE SHEET C7.0
 02 CONNECT TO 4" ROOF DRAIN. FLOW LINE AT BUILDING 952.78
 03 INSTALL 4"X 6" WYE WITH CLEANOUT. FL 952.78
 04 INSTALL TOTAL OF 71 LF OF 6" HDPE AT 1% FOR ROOF DRAIN CONNECTION.
 05 INSTALL 45 DEGREE BEND WITH CLEANOUT, FL 952.07
 06 UTILITY CROSSING. TOP OF SANITARY 949.98, BOT OF STORM 951.68, TOP OF STORM 952.53, BOT OF GAS 953.43
 07 INSTALL 19 LF OF 6" HDPE AT 1% WITH 45 DEGREE BEND WITH CLEANOUT, FL 951.88
 08 INSTALL 35 LF OF 6" HDPE AND CONNECT TO STORM INLET 103. FL IN 951.63

SS - SANITARY SEWER INFORMATION
 01 PRIVATE 8" SEWER EXTENSION. SEE SHEET C5.1
 02 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR GREASE SERVICE. FL @ BUILDING = 952.91
 03 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR SANITARY SEWER SERVICE. FL @ BUILDING = 952.91
 04 INSTALL 8.9 LF 2" VENT PIPE
 05 INSTALL 8.9 LF 6" SDR-26 PVC FROM BUILDING TO GREASE INTERCEPTOR @ 10.0% SLOPE. FL = 952.01
 06 1000 GALLON GREASE INTERCEPTOR. FL IN 952.01 FL OUT 951.75
 07 INSTALL 5.0 LF 6" SDR-26 PVC FROM GREASE INTERCEPTOR @ 53.6% SLOPE. FL 949.07
 08 INSTALL 15.3 LF OF 6" SDR-26 PVC FOR NON-GREASE WASTE @ 15.6% SLOPE. FL 949.37
 09 NON-GREASE WASTE CONNECTION TO COFFEE SHOP BUILDING. FL 956.58.
 10 INSTALL 48.3 LF OF 6" SDR-26 PVC @ 6.31% SLOPE.
 11 INSTALL 45° BEND WITH CLEANOUT. FL 953.83
 12 INSTALL 43.4 LF OF 6" SDR-26 PVC @ 3.98% SLOPE
 13 CONNECT TO PROPOSED PRIVATE SANITARY MANHOLE. FL 951.81

THIS SHEET HAS BEEN CHANGED IN ITS ENTIRETY AS PART OF REVISION 2.

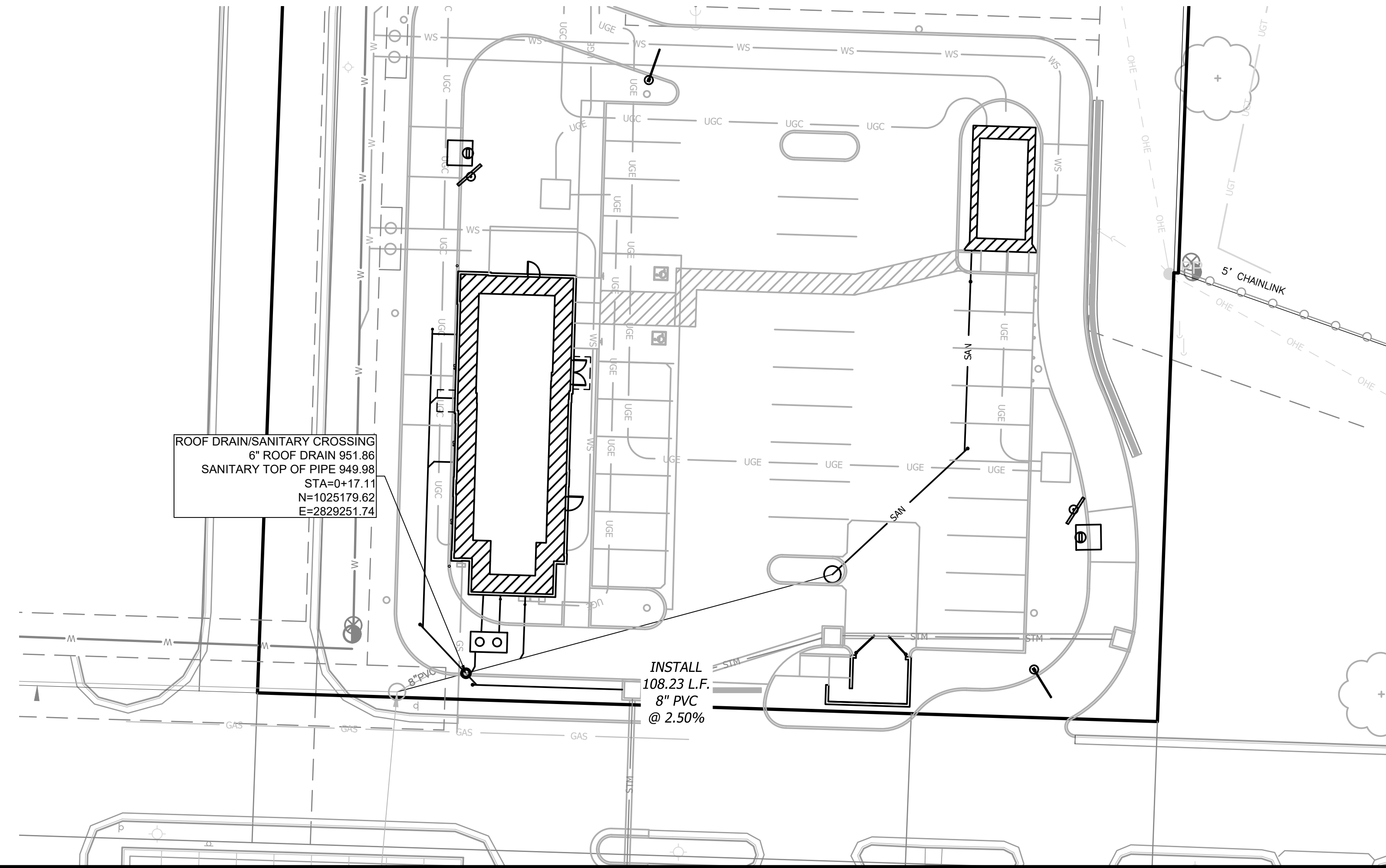


BUILDING CONNECTION DETAIL

UTILITY NOTES

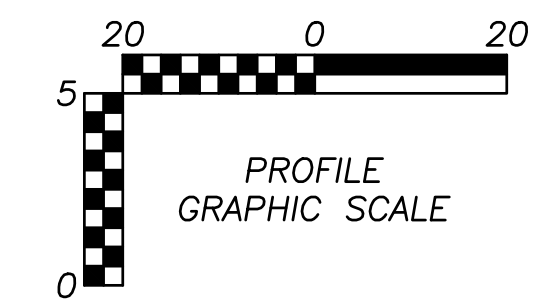
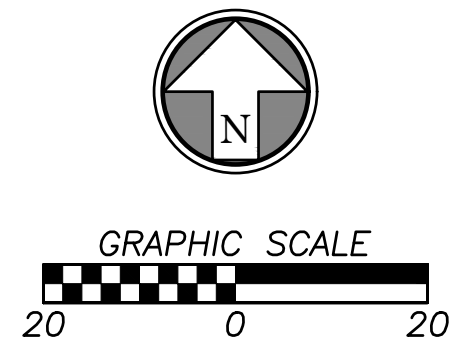
- Contractor shall refer to all specifications, guidelines, and installation drawings from Lees Summit, Spire Energy, and KCP&L for the installation of all service lines.
- Contractor to ensure 12" minimum vertical separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.
- All utilities shall be installed in separate trenches unless otherwise specified

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<p>Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>	<p>TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN UTILITY PLAN</p>
<p>Design: MGG Drawn: MGG Checked: MSS Issue Date: Project Number: 026040.08</p>	<p style="font-size: 2em; font-weight: bold;">C5.0</p>

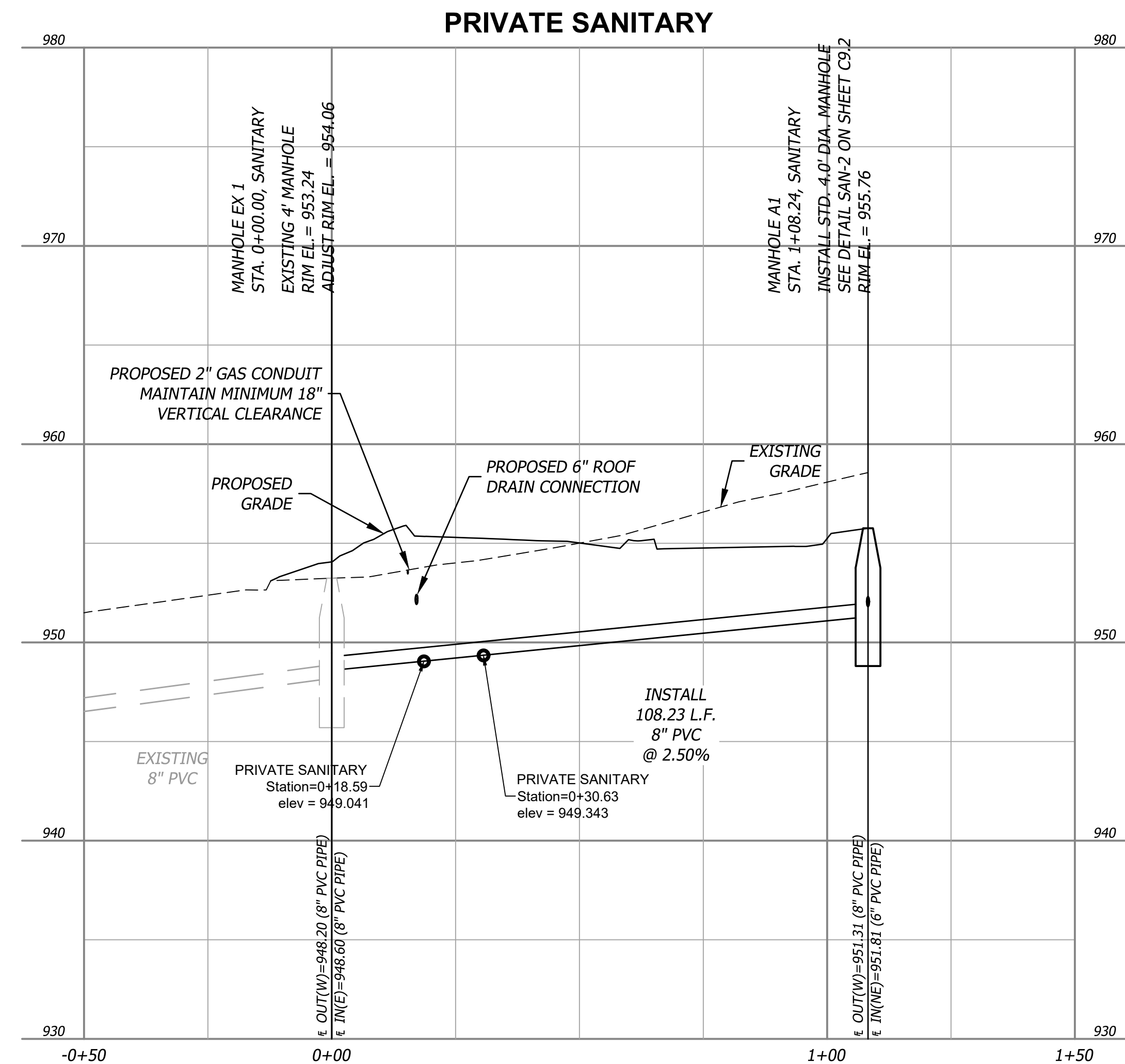


SANITARY NOTES

1. ALL NORTHINGS, EASTINGS, AND ALIGNMENT STATIONING FOR STORM STRUCTURES ARE TO CENTER OF STRUCTURE UNLESS STATED OTHERWISE.
2. ALL CONSTRUCTION SHALL BE ACCORDING TO THE CITY OF LEE'S SUMMIT'S SANITARY SEWER MAIN CONSTRUCTION STANDARDS
3. SEE SHEET C9.2 FOR SANITARY MANHOLE DETAILS



THIS SHEET HAS BEEN CHANGED IN IT'S ENTIRETY AS PART OF REVISION 2.



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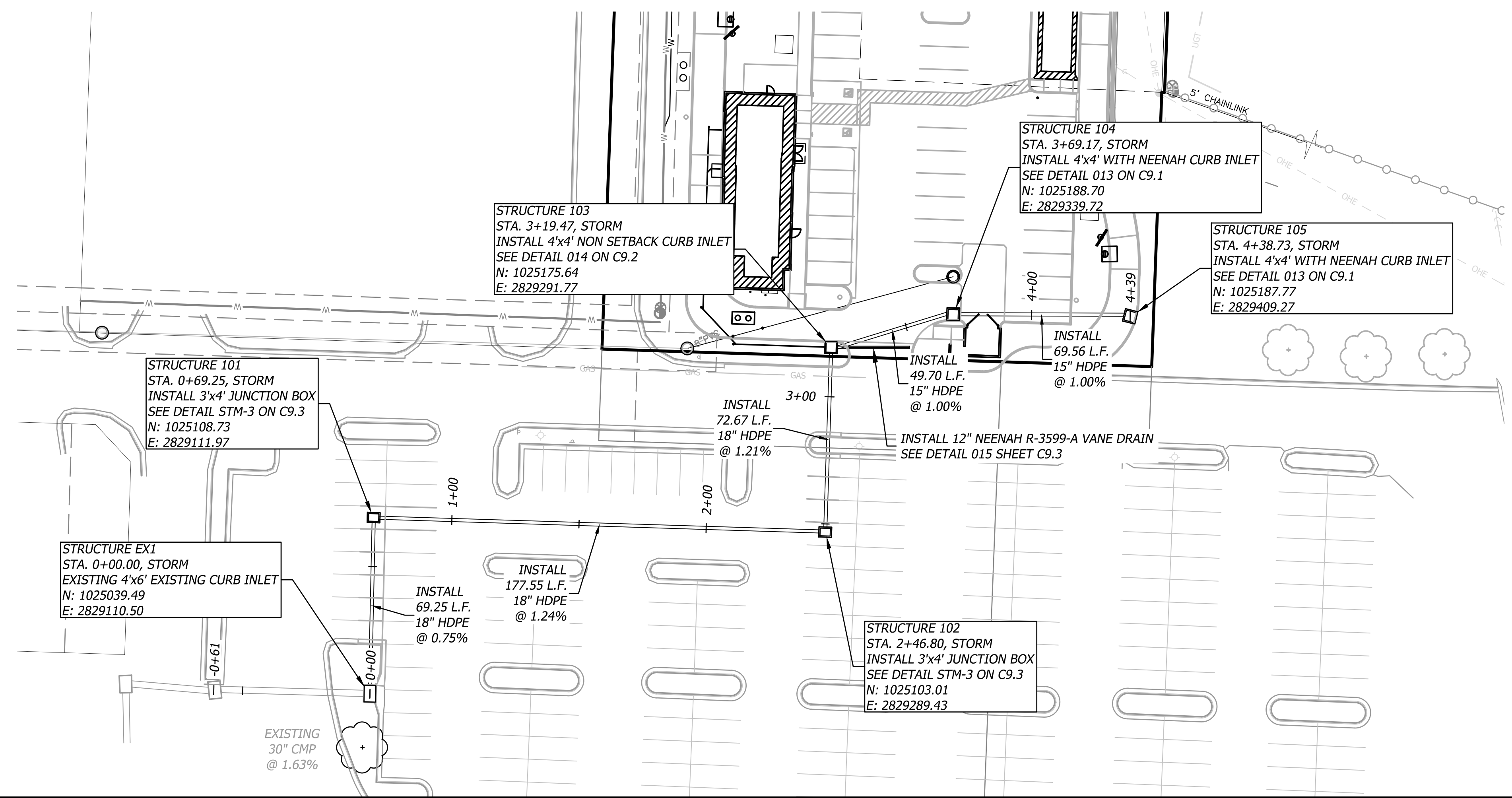
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TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
SANITARY PLAN AND PROFILE

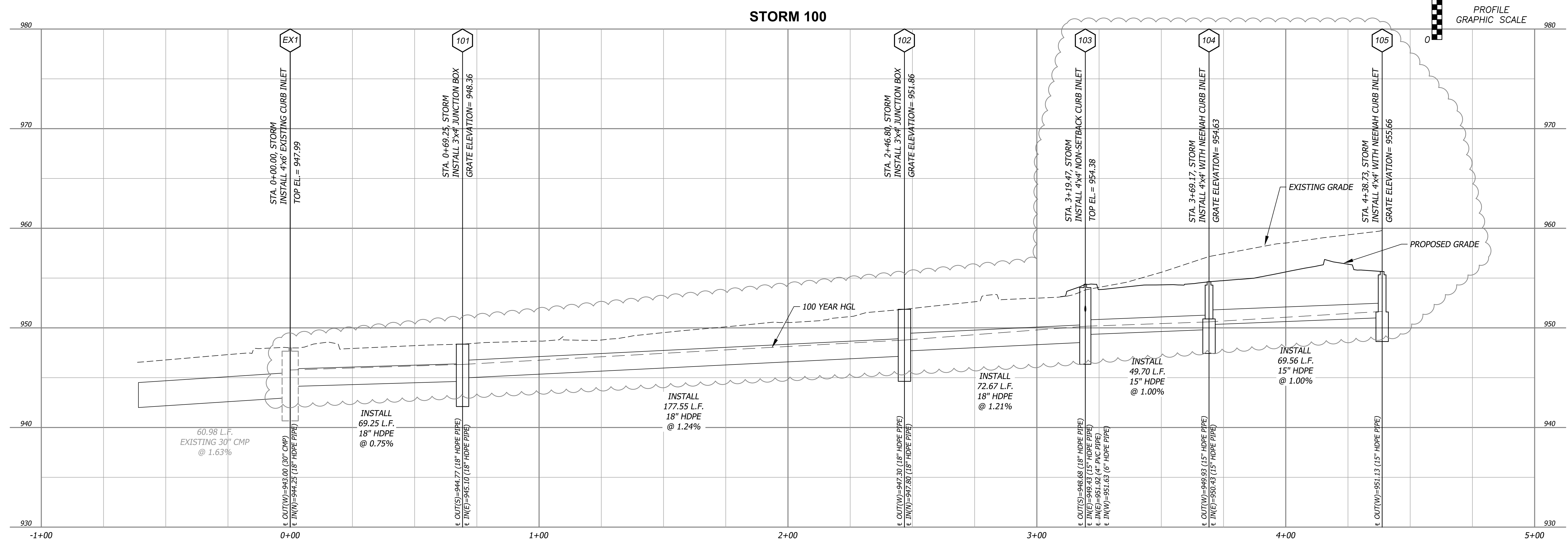
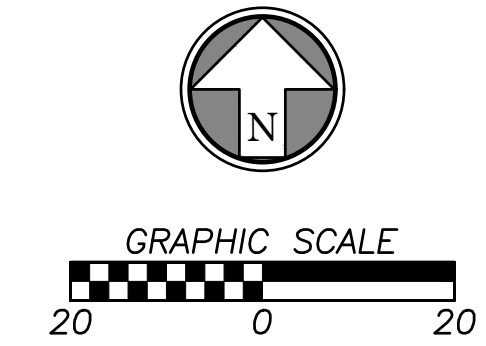
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 Issue Date:
 Project Number: 026040.08

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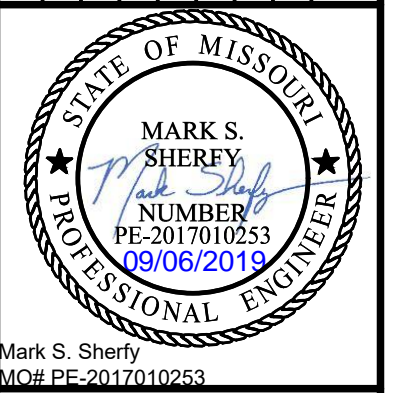
Rev.	Date	Description	By	App.
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2	8/21/19	FDP Comments/Site VE Items	MGG	App.



STORM NOTE
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Rev.	Date	Description
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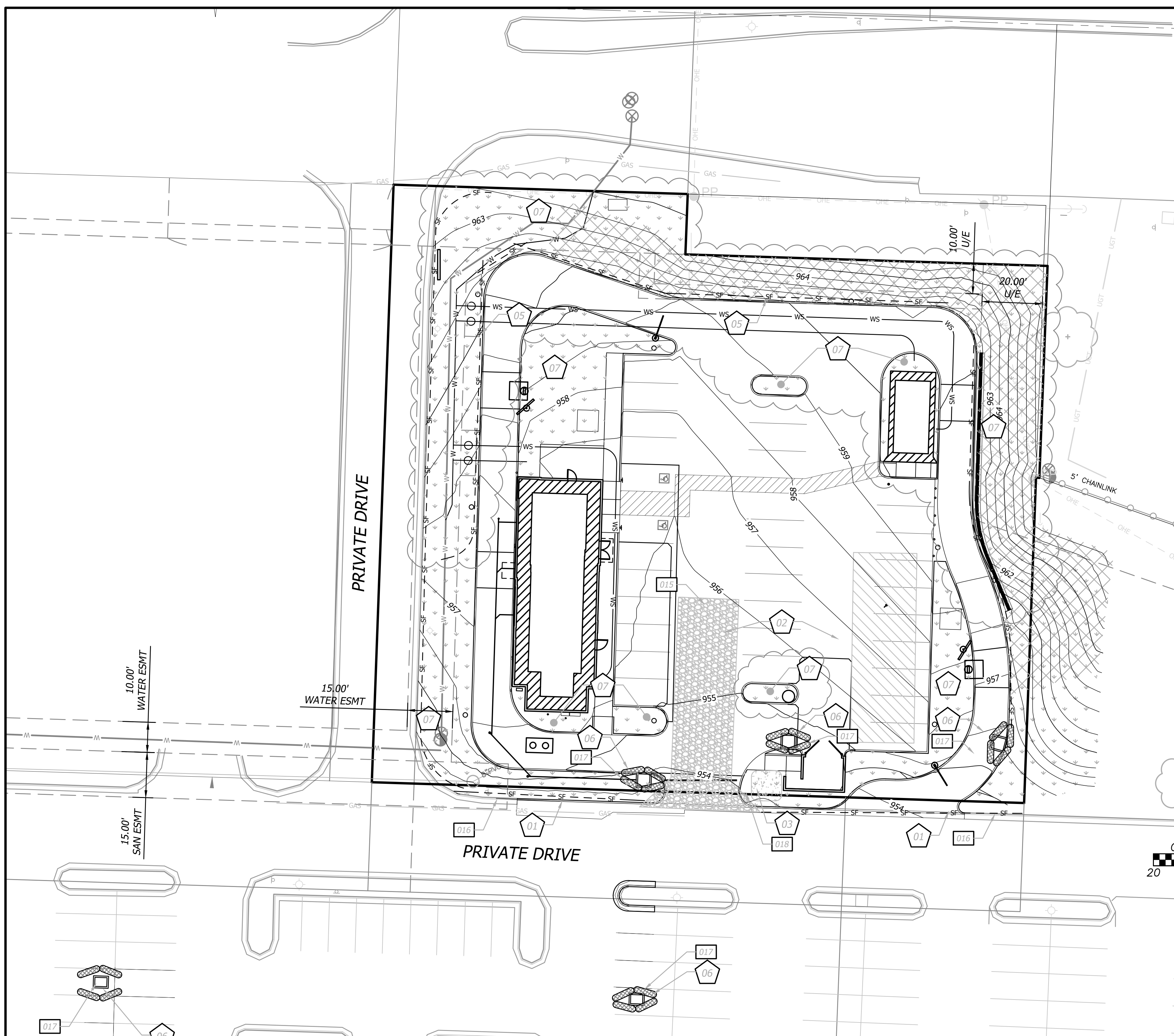
Prepared For:
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TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
PLAN AND PROFILE

Design: MGG Drawn: MGG
Checked: MSS
Issue Date: 04/23/2019
Project Number: 026040.08

C7.0

Sep 06, 2019 - 10:40am Plotted By: macth.abbas V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-SWC\Eng\Sheet\04-SWC\04-08-SWIS-FDP-ERSV.dwg Layout: Eran-Pre



EROSION AND SEDIMENT CONTROL GENERAL NOTES

- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any natural stream corridor designated with construction fencing.
 - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.
- The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
 - During active construction phases - at least once per week
 - During periods of inactivity - at least once per 14 days
 - After each rainfall event of 1/2 inch or more - within 24 hours of the rain event
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
 - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
- Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
- The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
- Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
- Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.

Rev.	Date	Description	By	App.
1	8/13/19	Land Disturbance Comments	MGG	MSS
2	8/21/2019	Sheet Re-issued	MGG	MSS
3	9/6/19	Revised Turf Reinforcement Mats	MGG	MSS



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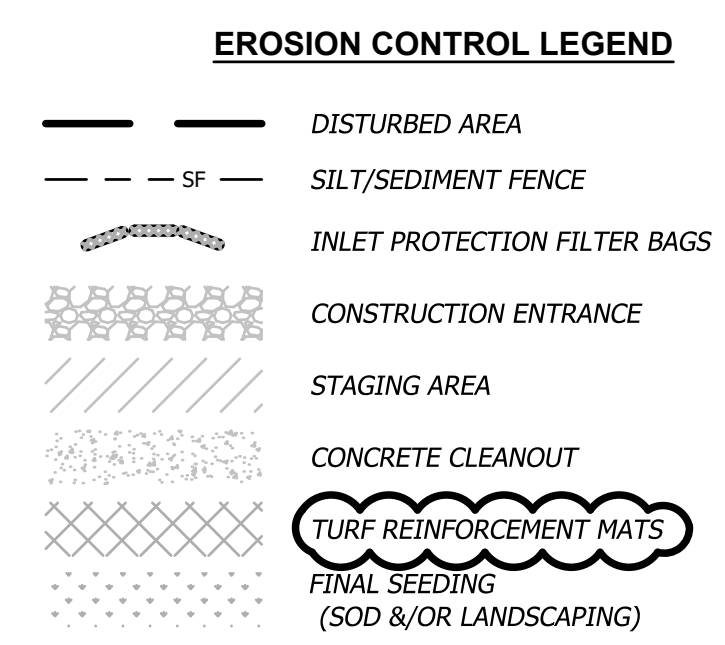
Prepared For:
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 PHOENIX, ARIZONA 85018
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TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
EROSION CONTROL PLAN

Design: MGG Drawn: MGG
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C8.0

EROSION & SEDIMENT CONTROL STAGING CHART

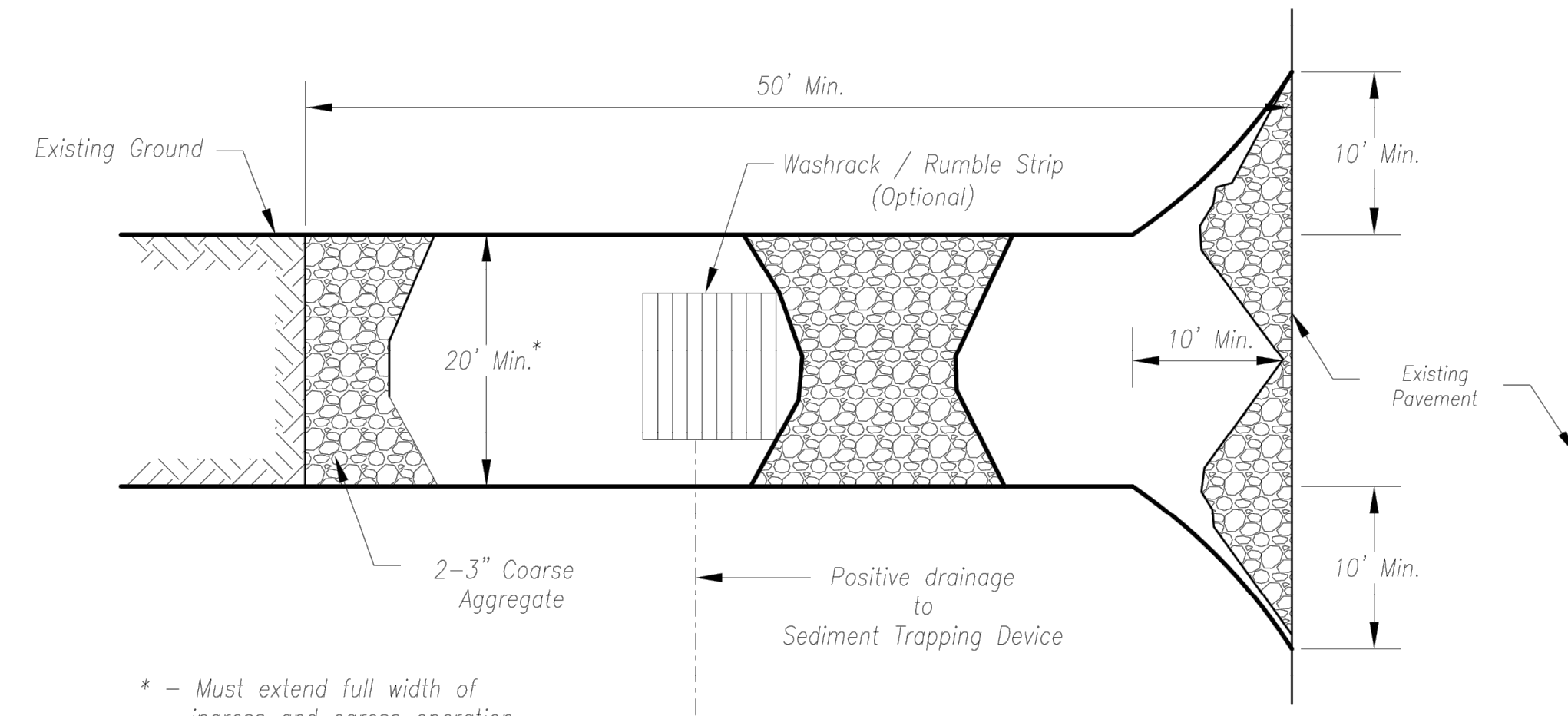
Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Concrete Entrance & Staging Area	E	Place as shown on plan
		03	Concrete Wash-Out	E	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence (See Note 9)	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	E	Place as shown on plan
Phase III (POST-CON)	E - Final Grading, Paving & Landscaping	07	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site. (RE: L1.1 Landscape Plan for the stormwater treatment facility)



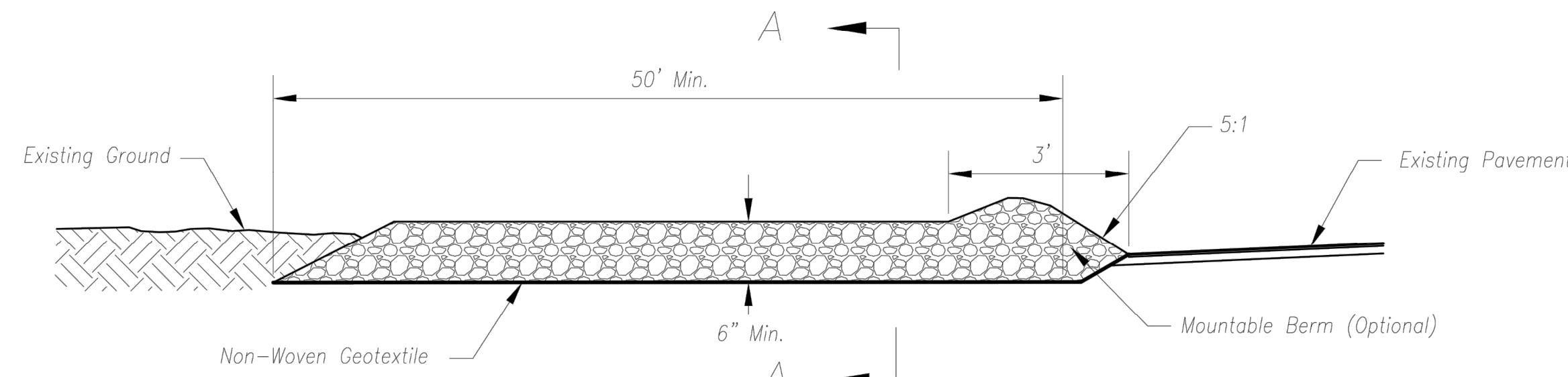
DETAILS

SEE EROSION CONTROL DETAIL SHEETS FOR THE FOLLOWING

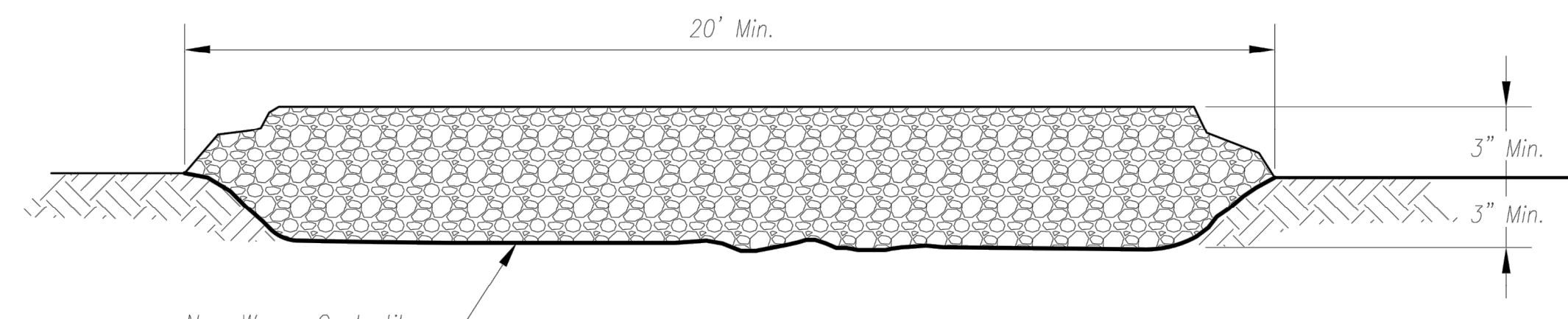
015	CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (SHEET C8.1)
016	EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS (SHEET C8.2)
017	CURB INLET PROTECTION (SHEET C8.3)
018	FILTER FABRIC SILT FENCE (SHEET C9.1)



Plan View
Not to Scale



Side Elevation
Not to Scale



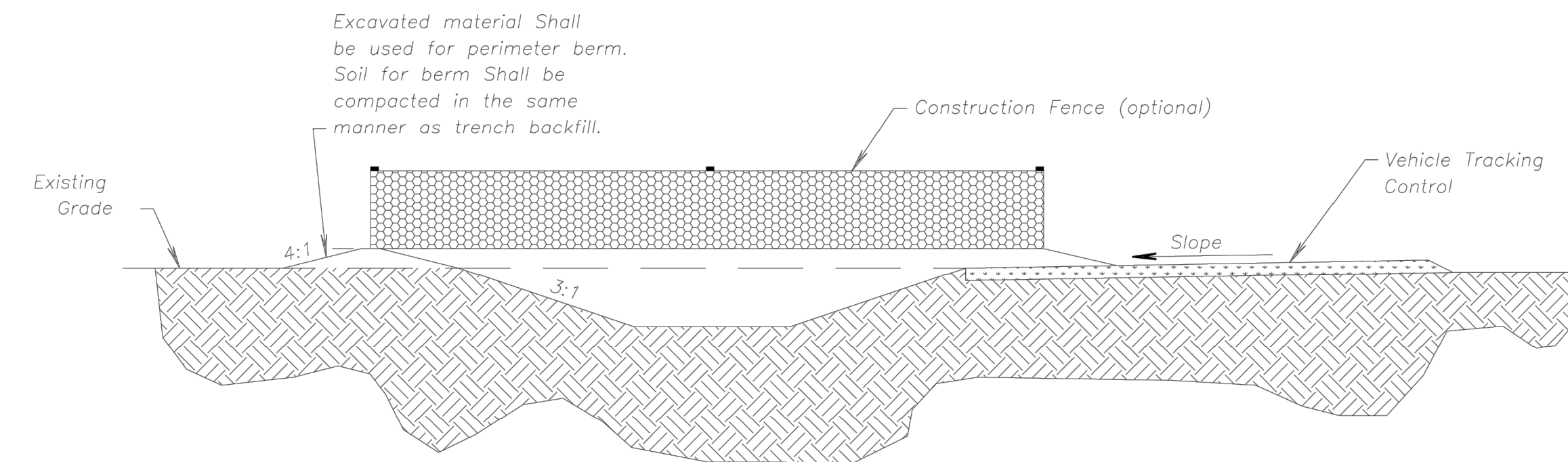
Section A-A
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Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of Installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

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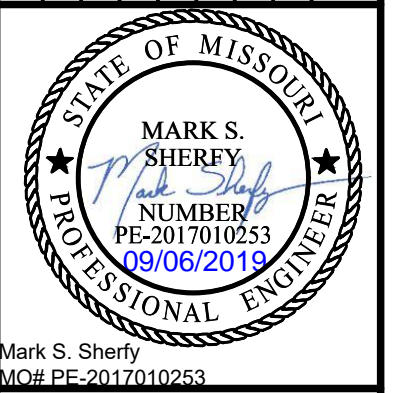
KANSAS CITY METRO CHAPTER

CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT

STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Rev.	Date	Description
3	9/6/19	Sheet Re-issued
2	8/21/19	Sheet Re-issued



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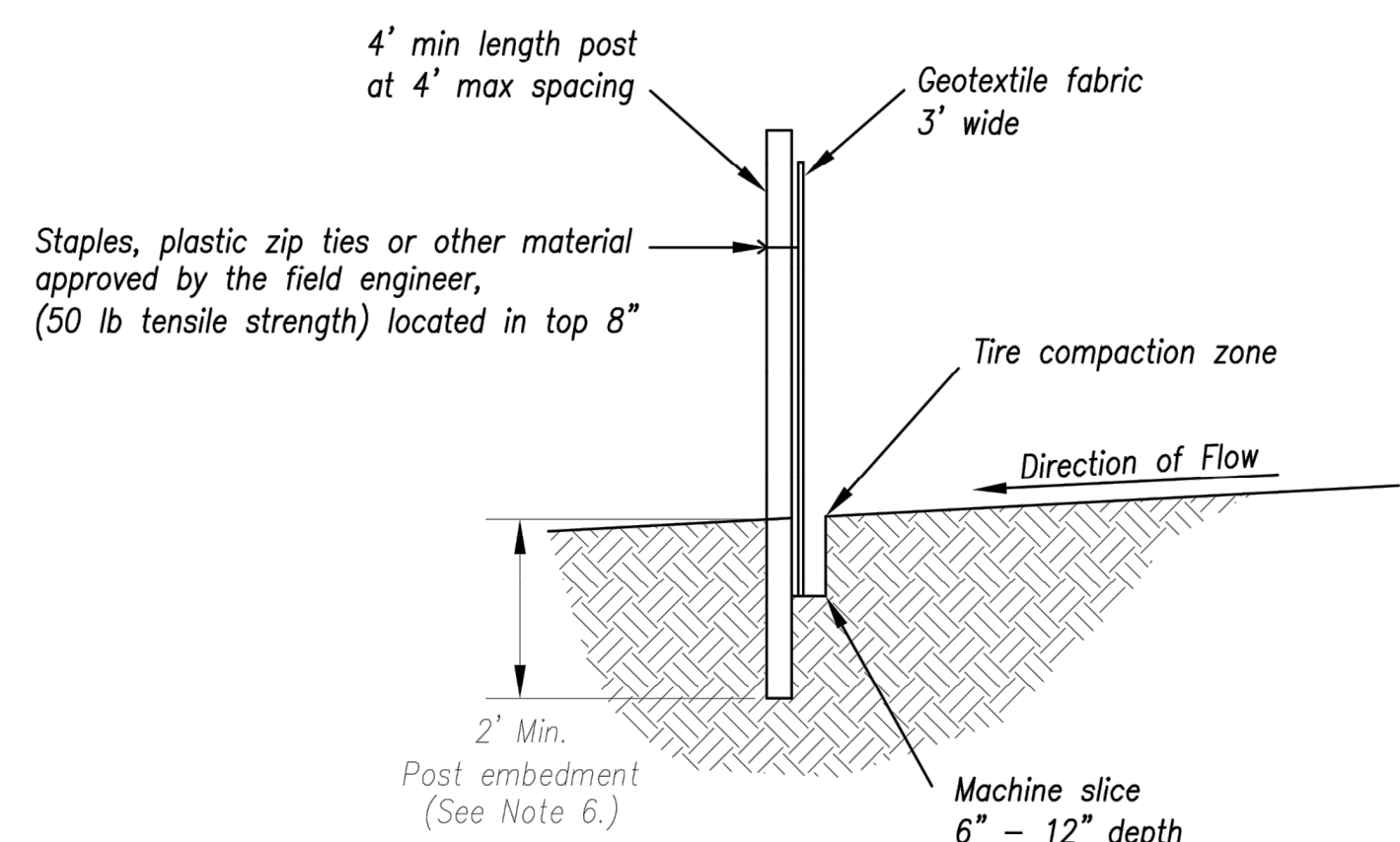
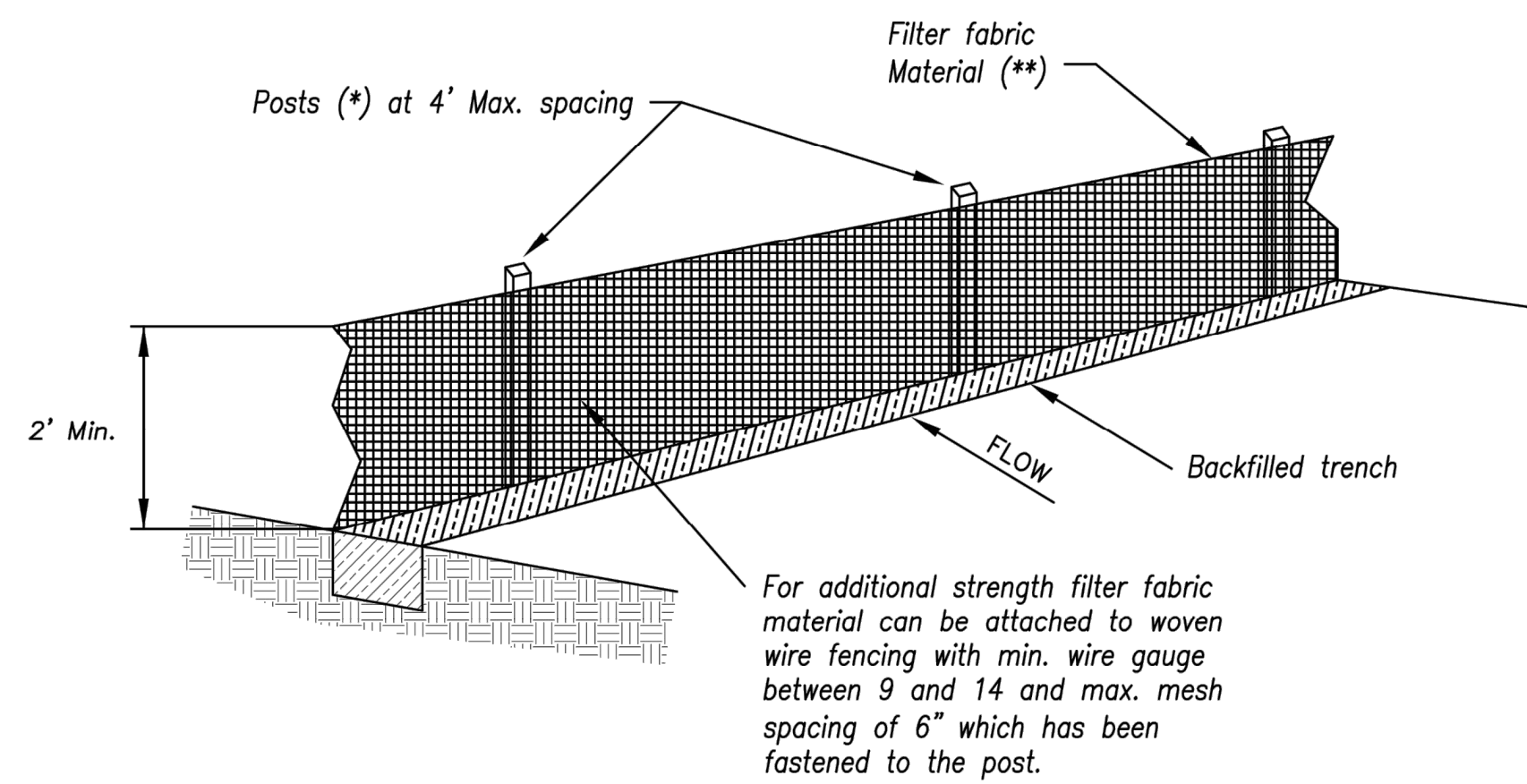
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TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
EROSION CONTROL DETAILS

Design: MGG Drawn: MGG
Checked: MSS
Issue Date:
Project Number: 026040.08

C8.1

THIS SHEET WAS ADDED AS PART OF REVISION 1



- (*) POSTS**
- MIN. LENGTH 4'
 - HARDWOOD 1 3/8" x 1 3/8"
 - NO.2 SOUTHERN PINE 2 5/8" x 2 5/8"
 - STEEL 1.33 LB/FT

()** - Geotextile Fabric shall meet the requirements of AASHTO M288

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

SILT FENCE DETAILS
Not to Scale

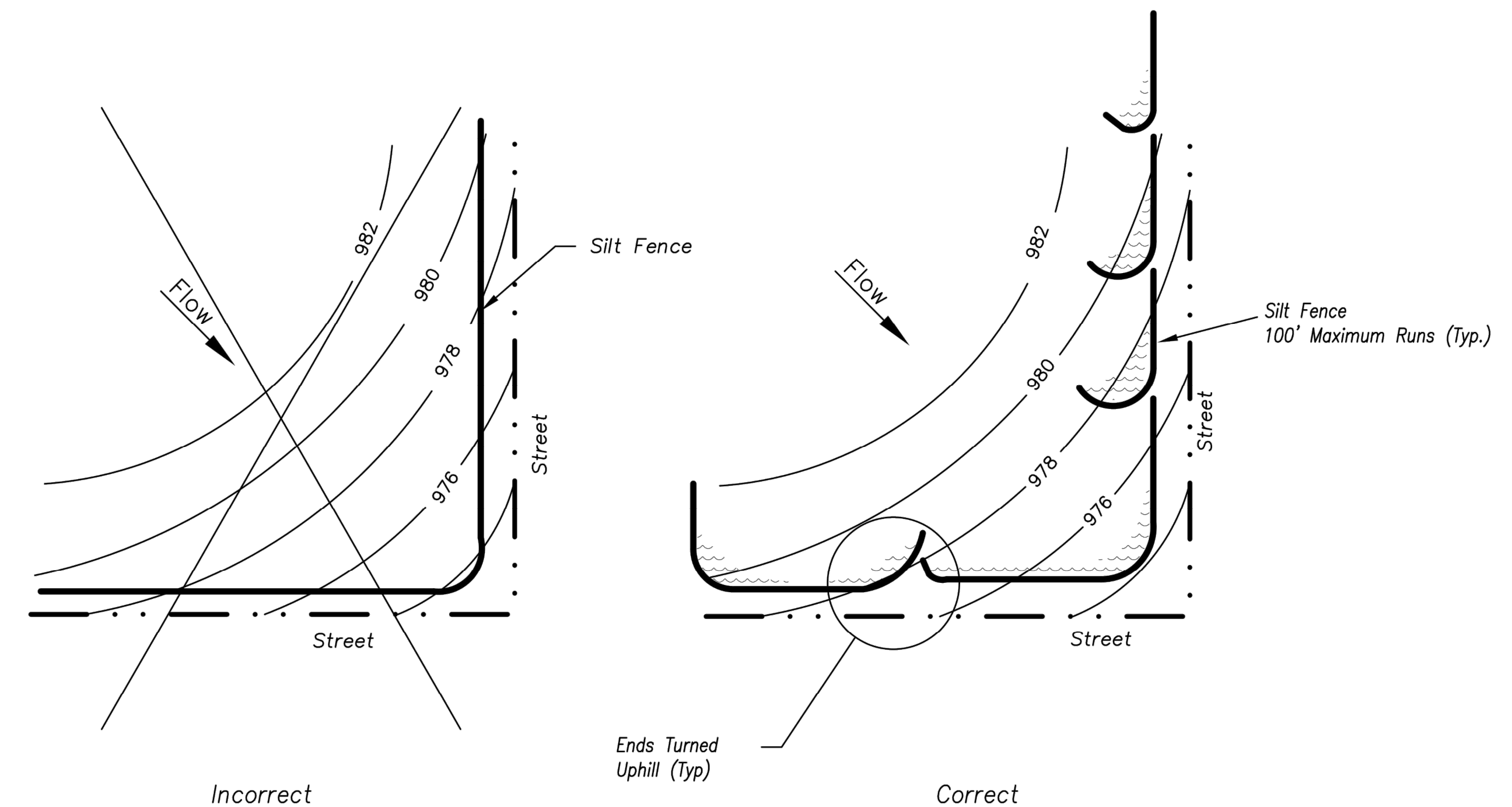
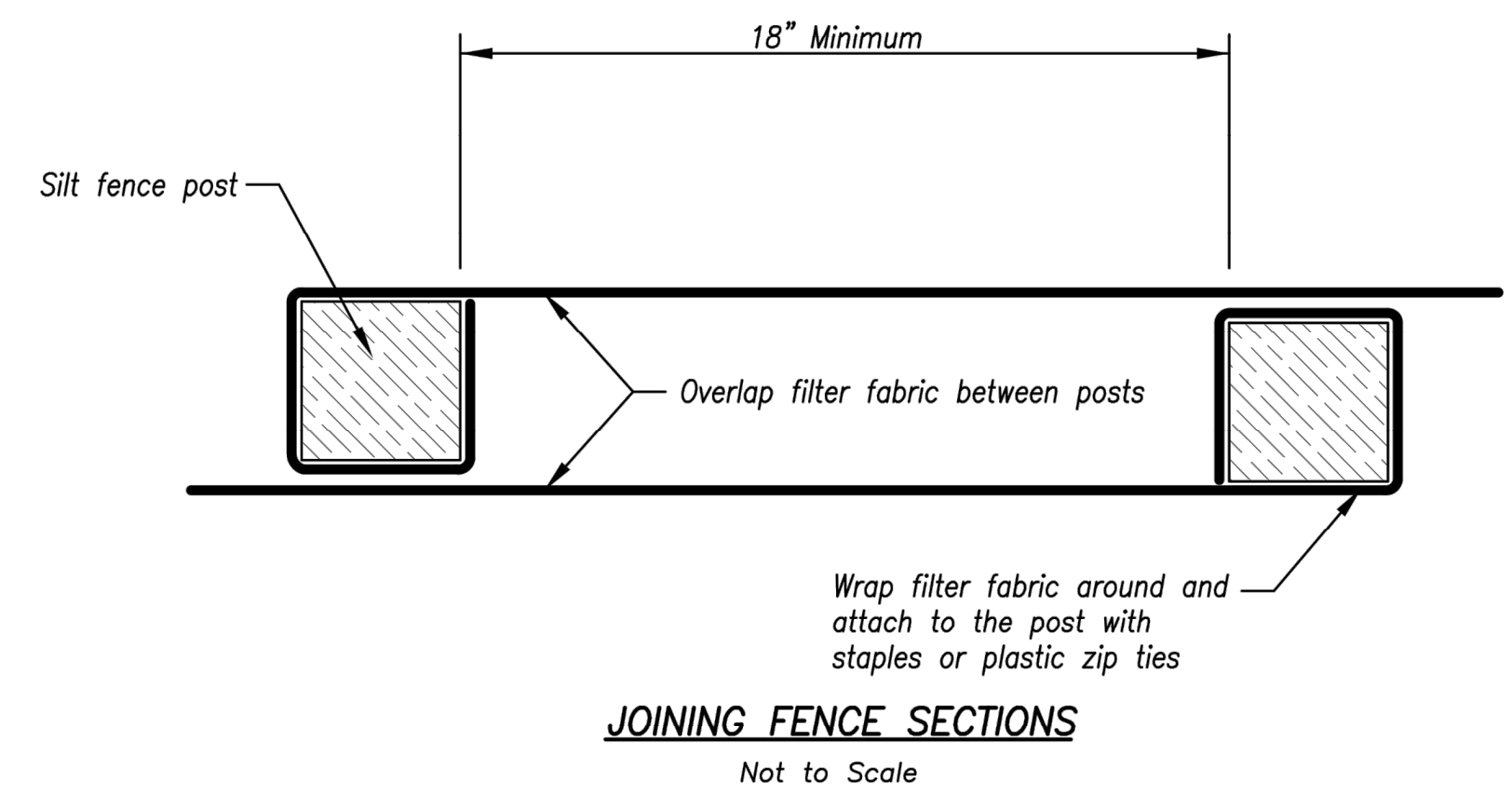
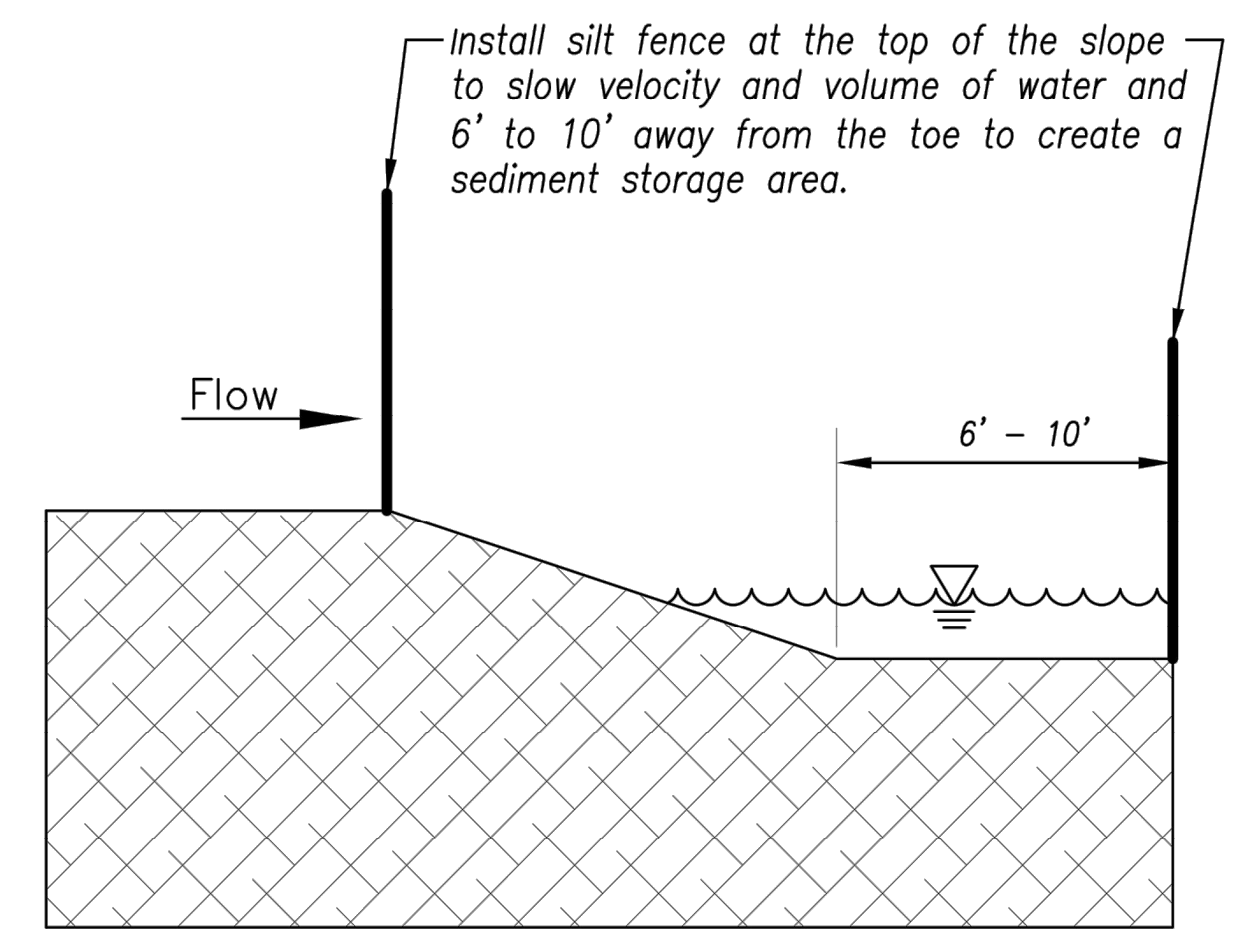


Figure A

SILT FENCE LAYOUT
Not to Scale



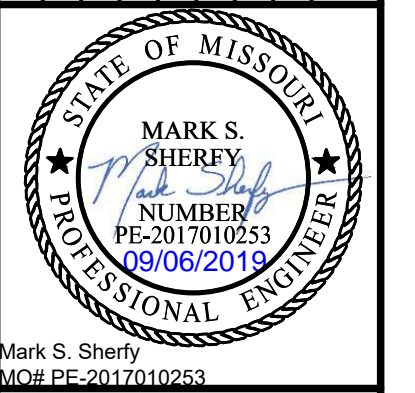
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KANSAS CITY METRO CHAPTER

STANDARD DRAWING NUMBER ESC-03
ADOPTED: 10/24/2016

SILT FENCE

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



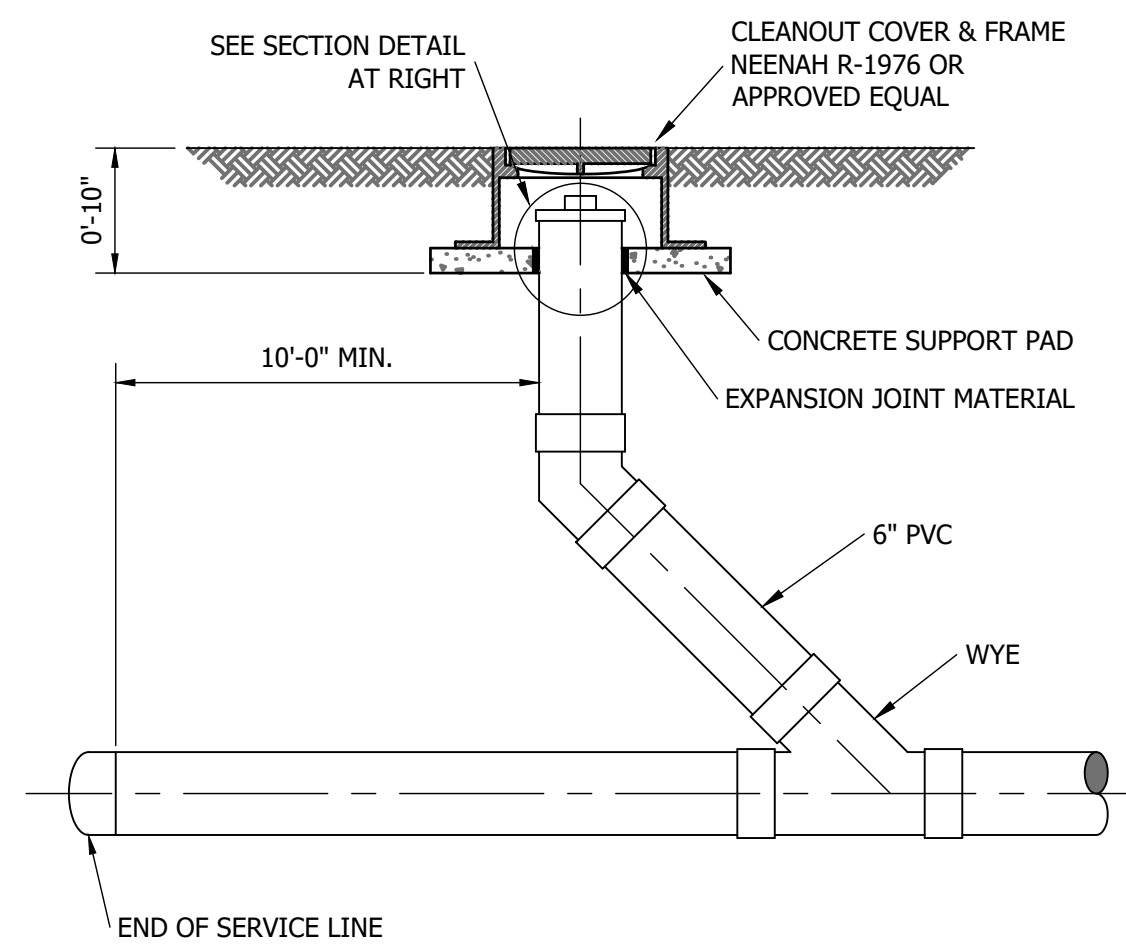
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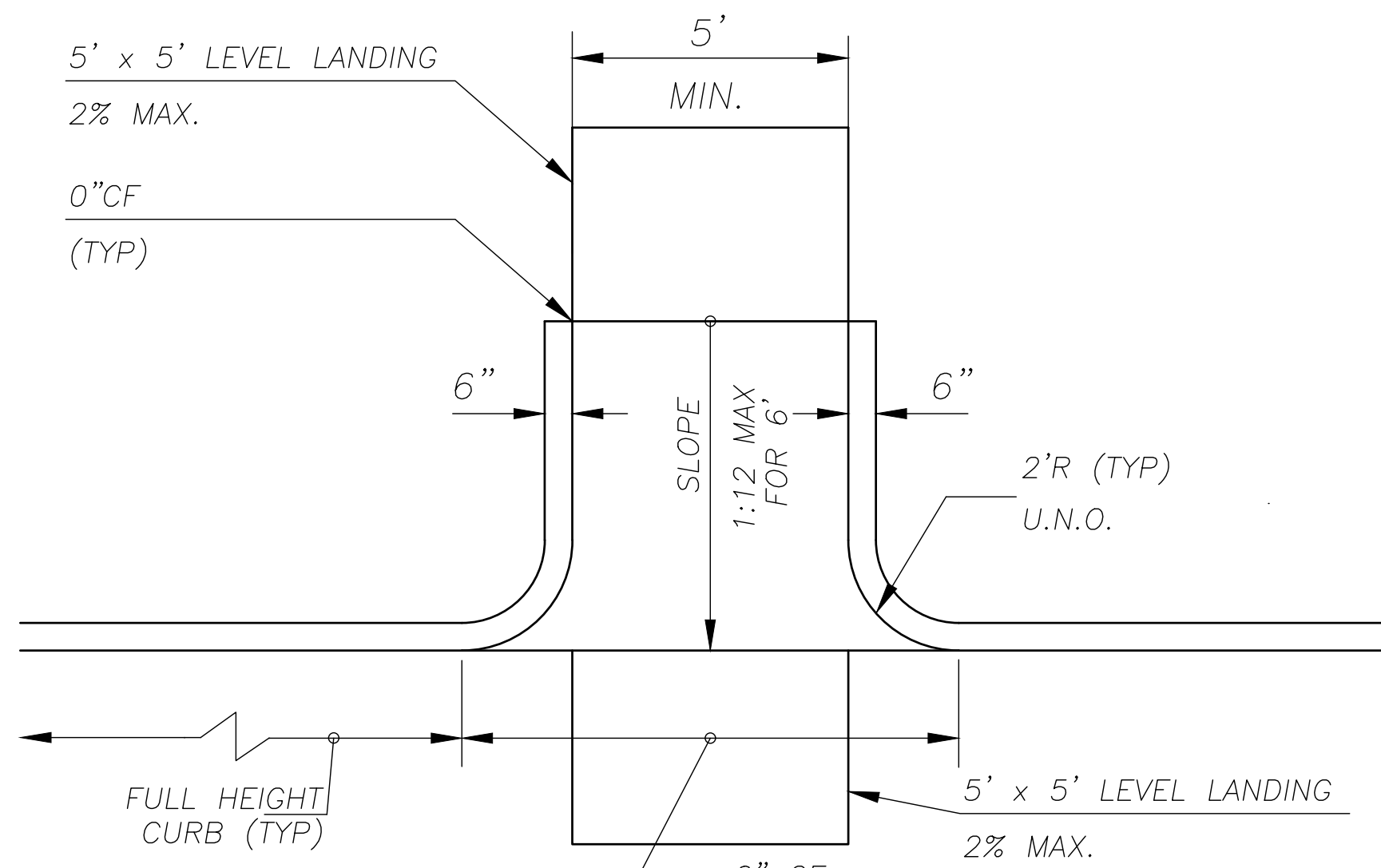
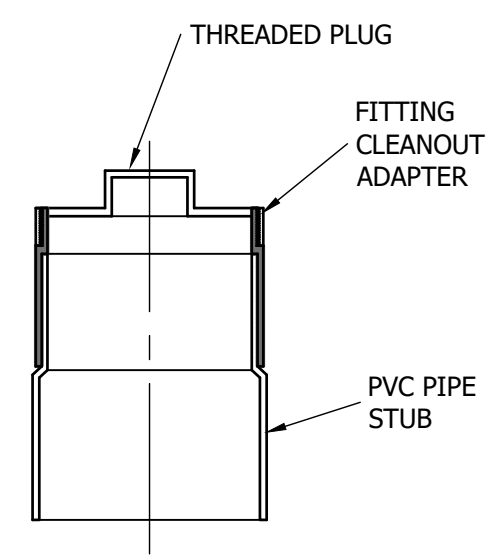
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Project Number: 026040.08

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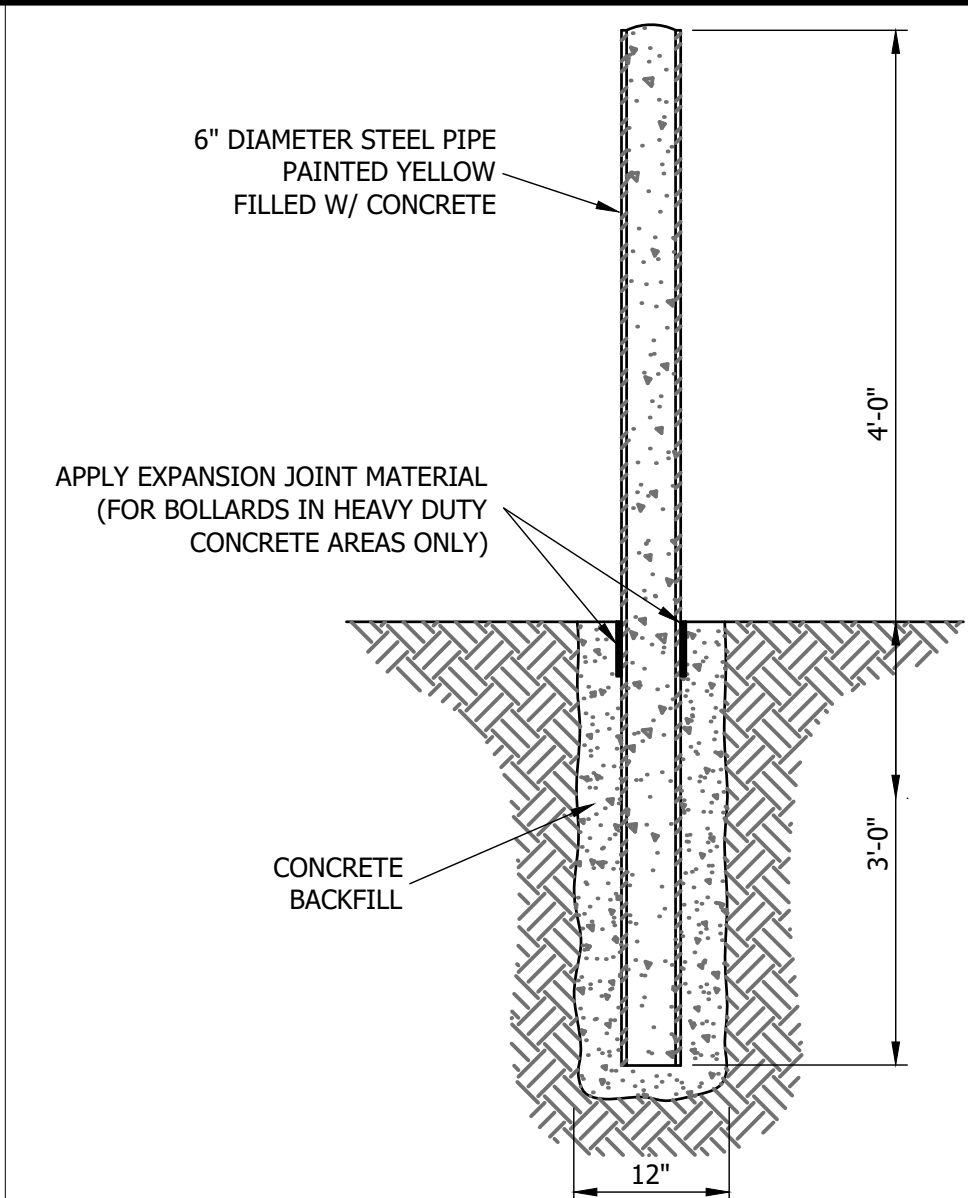
Sanitary Sewer Cleanout
Not to Scale

007



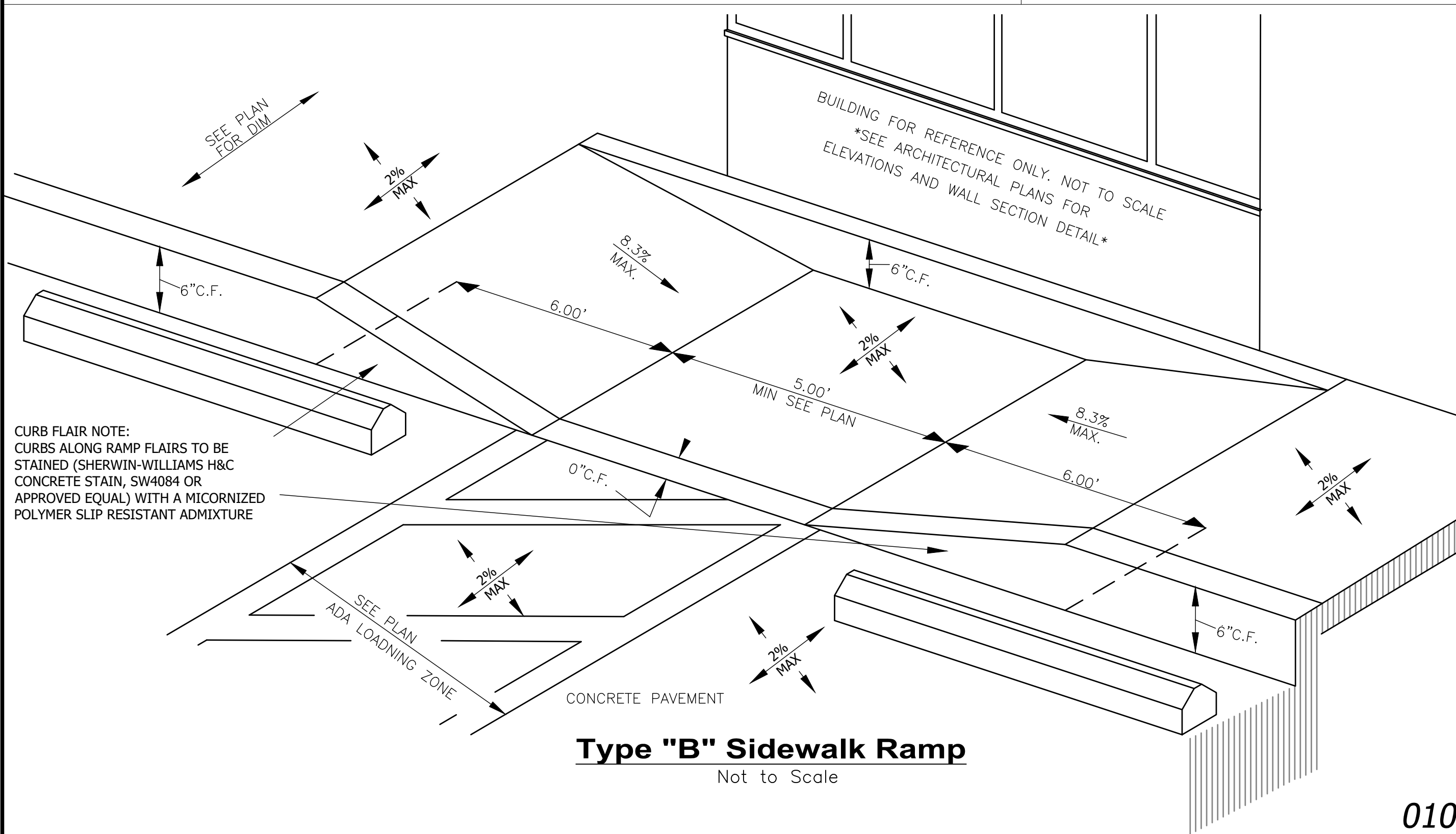
Type "A" Sidewalk Ramp
Not to Scale

008



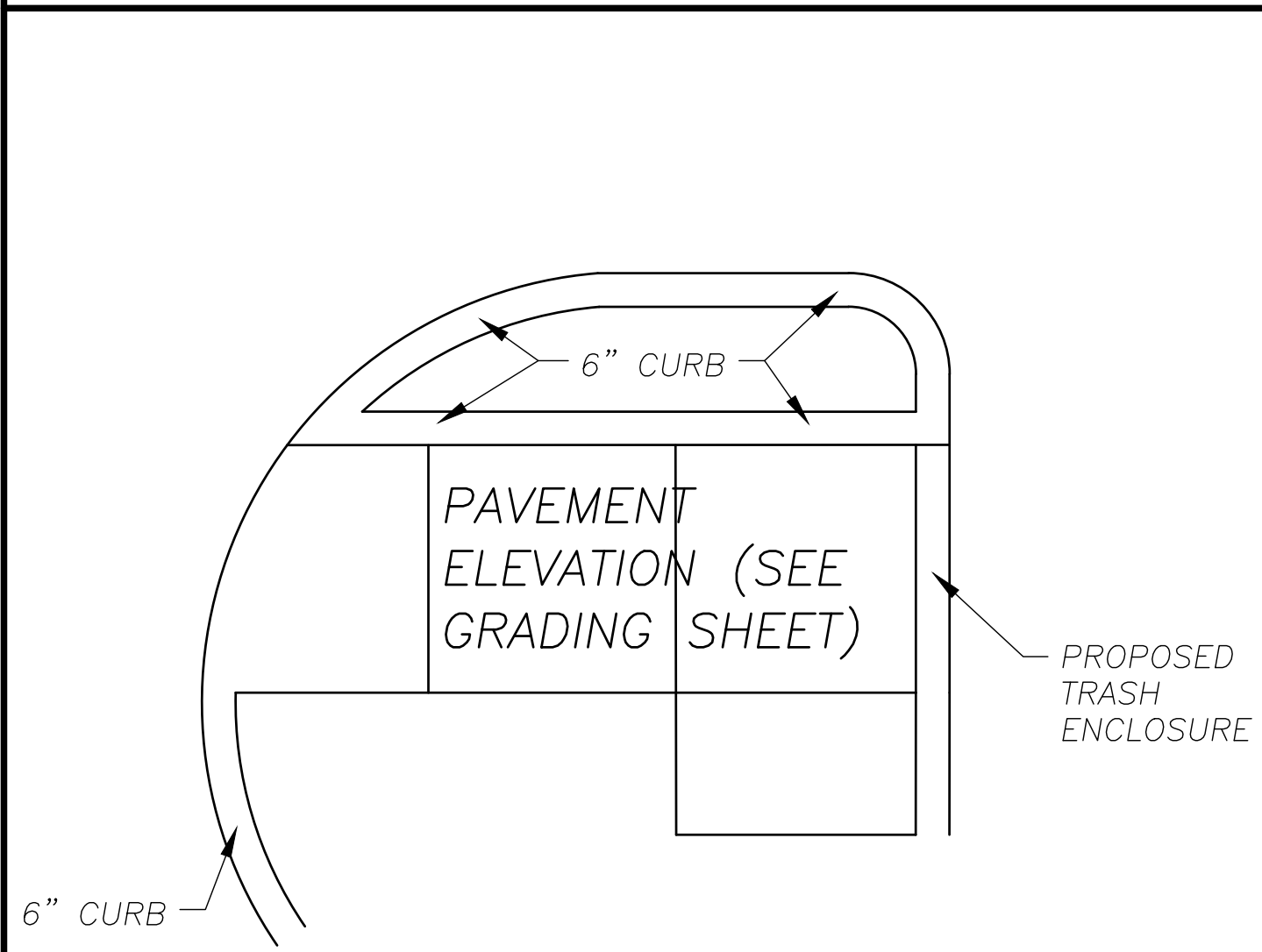
Steel/Concrete Bollard
Not to Scale

009



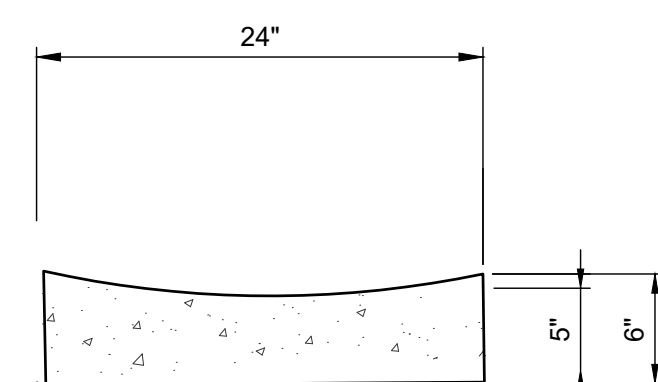
Type "B" Sidewalk Ramp
Not to Scale

010



Trash Access Detail
Not to Scale

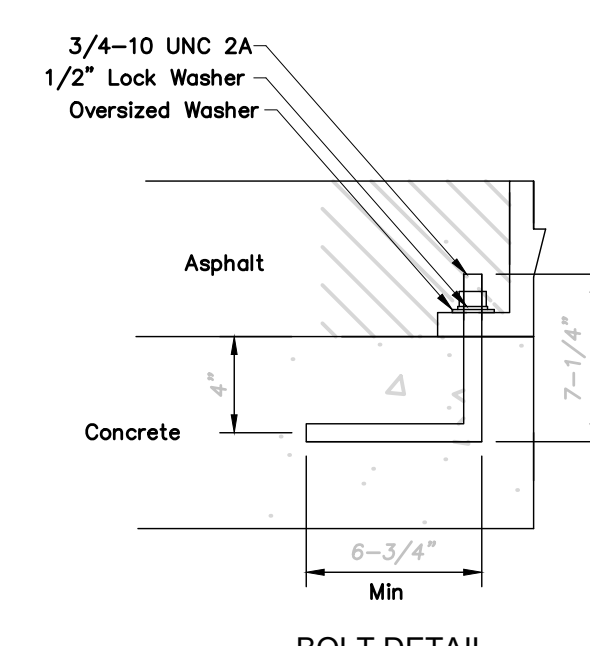
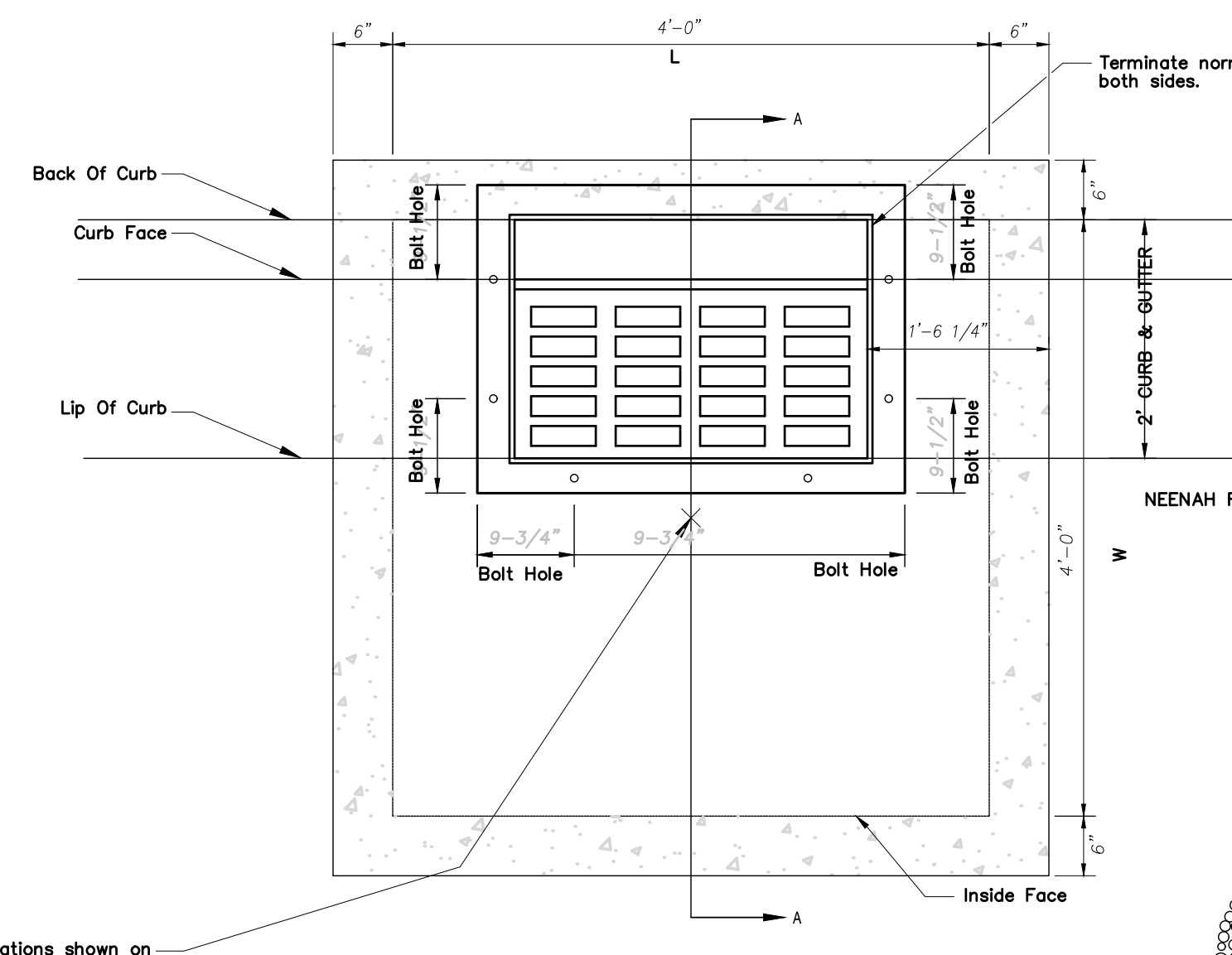
011



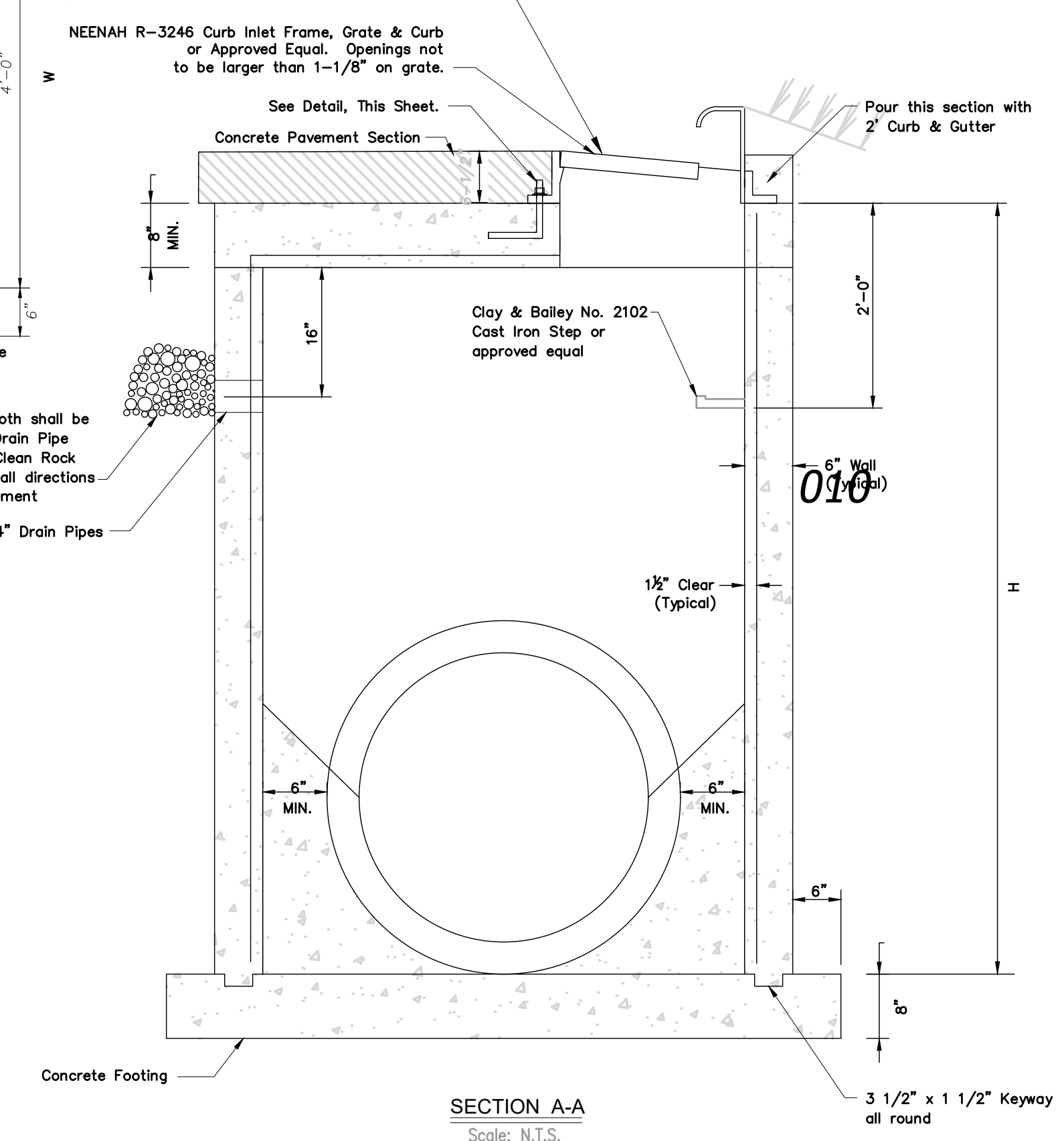
- NOTES:**
1. ALL JOINTS WITH EXISTING CURB SHALL BE TYPE #2 JOINTS.
 2. A TYPE #2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.
 3. A TYPE #1 JOINT SHALL BE PLACED AT 15' OC.
 4. AB-3 MAY BE USED AS A LEVELING COURSE TO BRING SUBGRADE TO PROPER ELEVATION (6" MAX.).
 5. DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% MIN. SLOPE.

Valley Gutter
Not to Scale

012



- GENERAL NOTES:**
- SEE SHEET STORM SEWER STRUCTURE NOTES THIS SHEET.
 - BOLT TO BE ALL THREAD, GALVANIZED STEEL.
 - OVERSIZED HOLE TO BE FIELD DRILLED IN 2045 CURB INLET FRAME AT INDICATED LOCATIONS TO MATCH UP TO ANCHOR BOLTS SET IN CONCRETE.



NEENAH CURB INLET
Not to Scale

013

Rev.	Date	Description	By	App.
3	9/6/19	Sheet Re-issued		
2	8/21/19	Sheet Re-issued		



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Civil Engineering • Surveying • Utilities
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P: (913) 662-1900 F: (913) 662-1633
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Certificate of Authority Number: MO# E-1355-F

Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

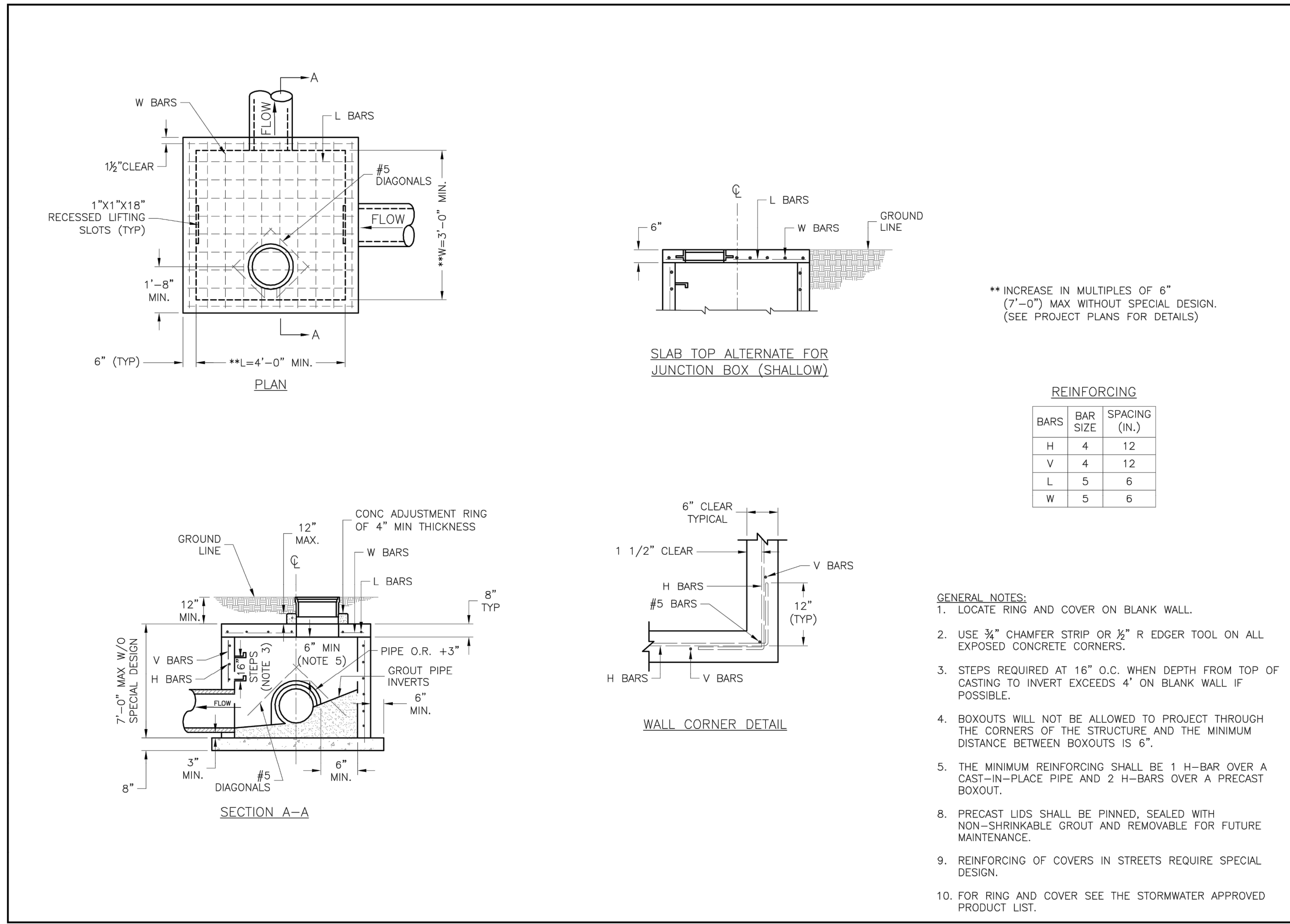
TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
CIVIL DETAILS

Design: MGG | Drawn: MGG
Checked: MSS
Issue Date: 04/23/2019
Project Number: 026040.08

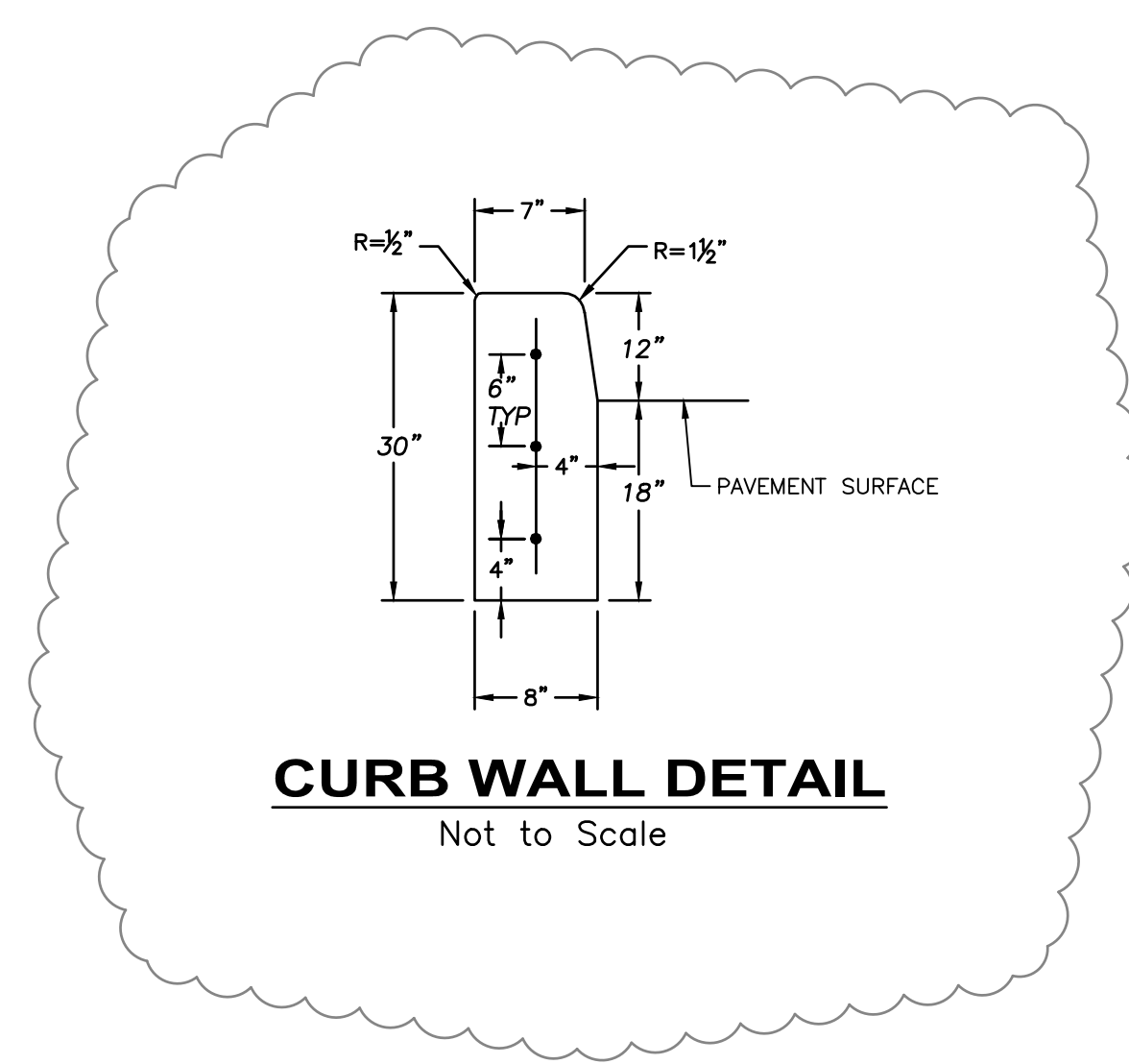
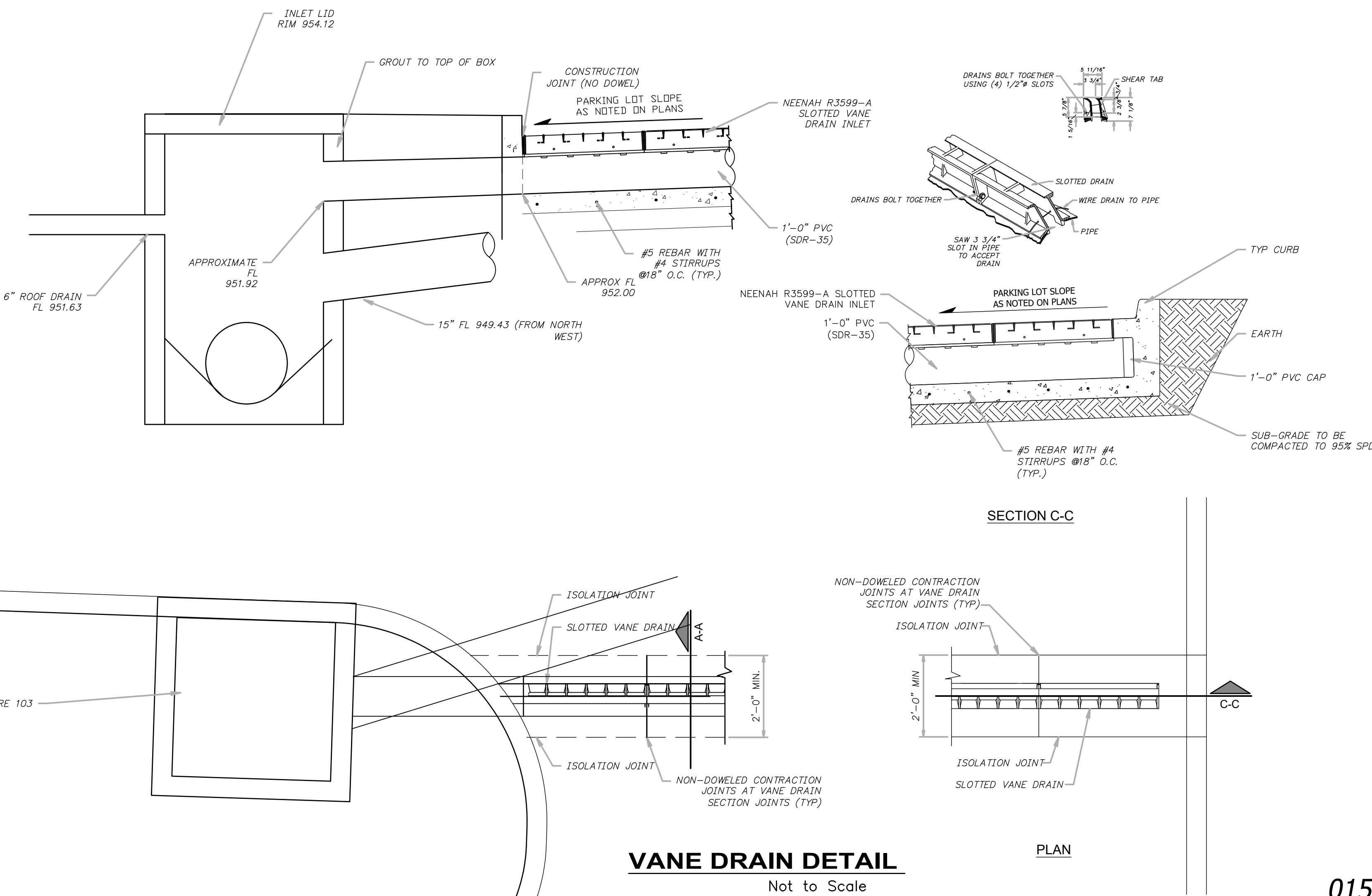
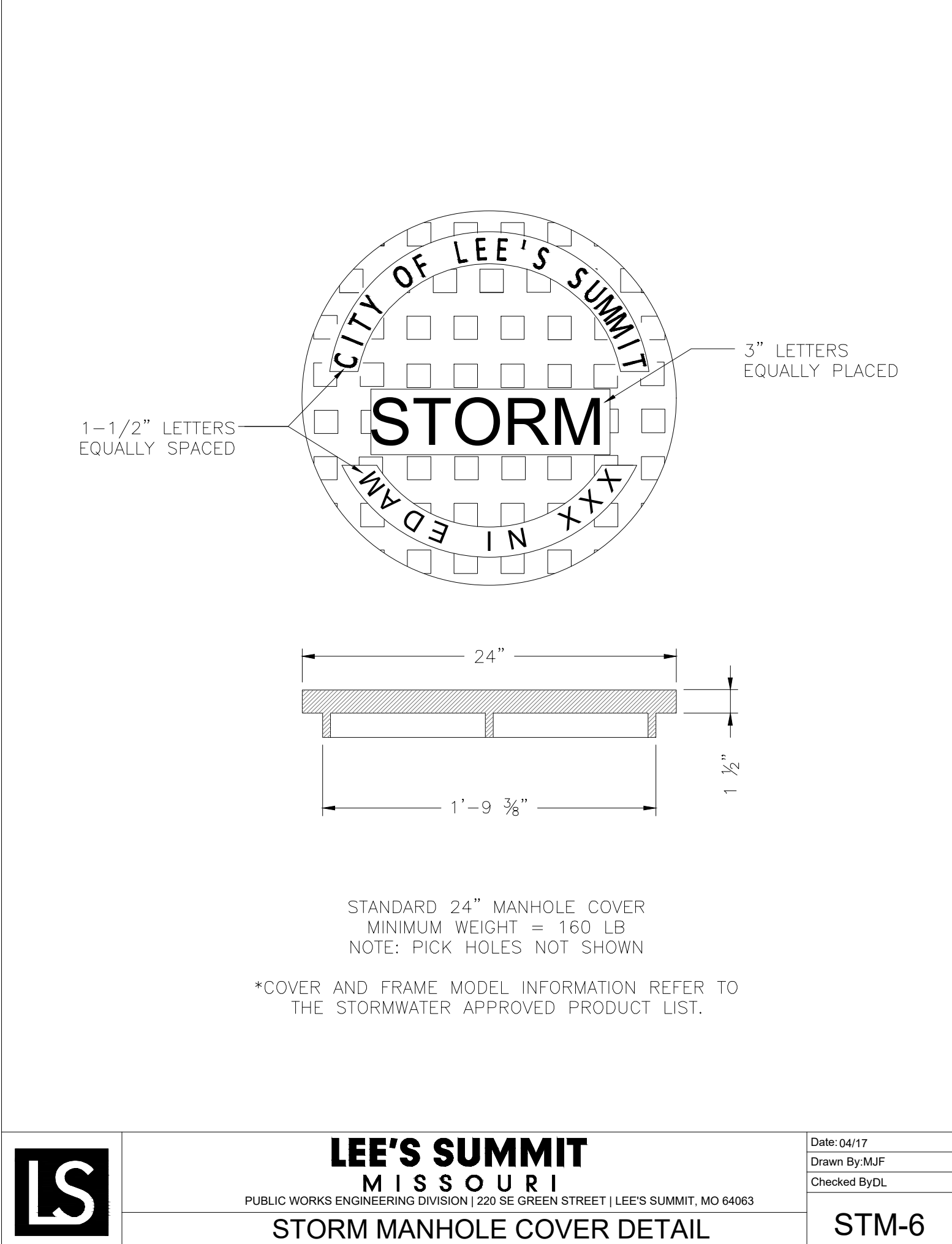
C9.1

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 Sep 06, 2019 - 10:44am Plotted By: mchd.03bbs

Sep 06, 2019 10:44am Plotted By: mch.dibbs V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Sheet\DWG\Sheet\FDP_Sht\026040.08-SHTS-FDP-DLS.dwg Layout: Detail4



LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063
 STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 JUNCTION BOX DETAIL
 STM-3



Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08

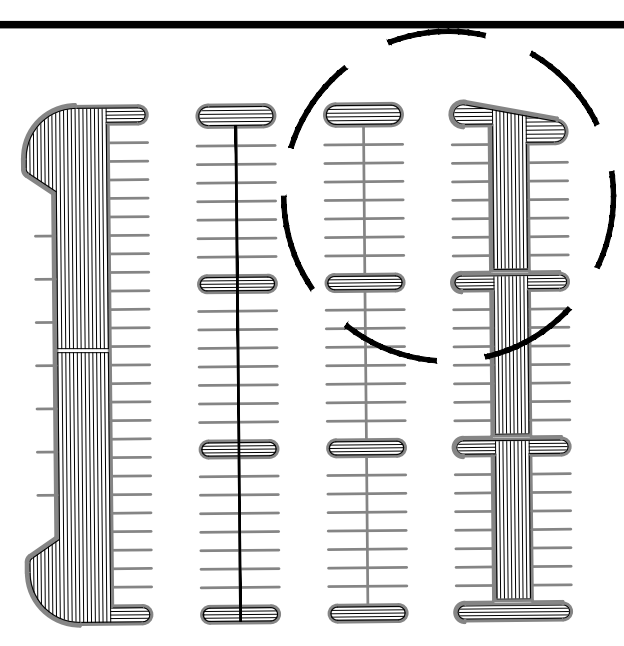
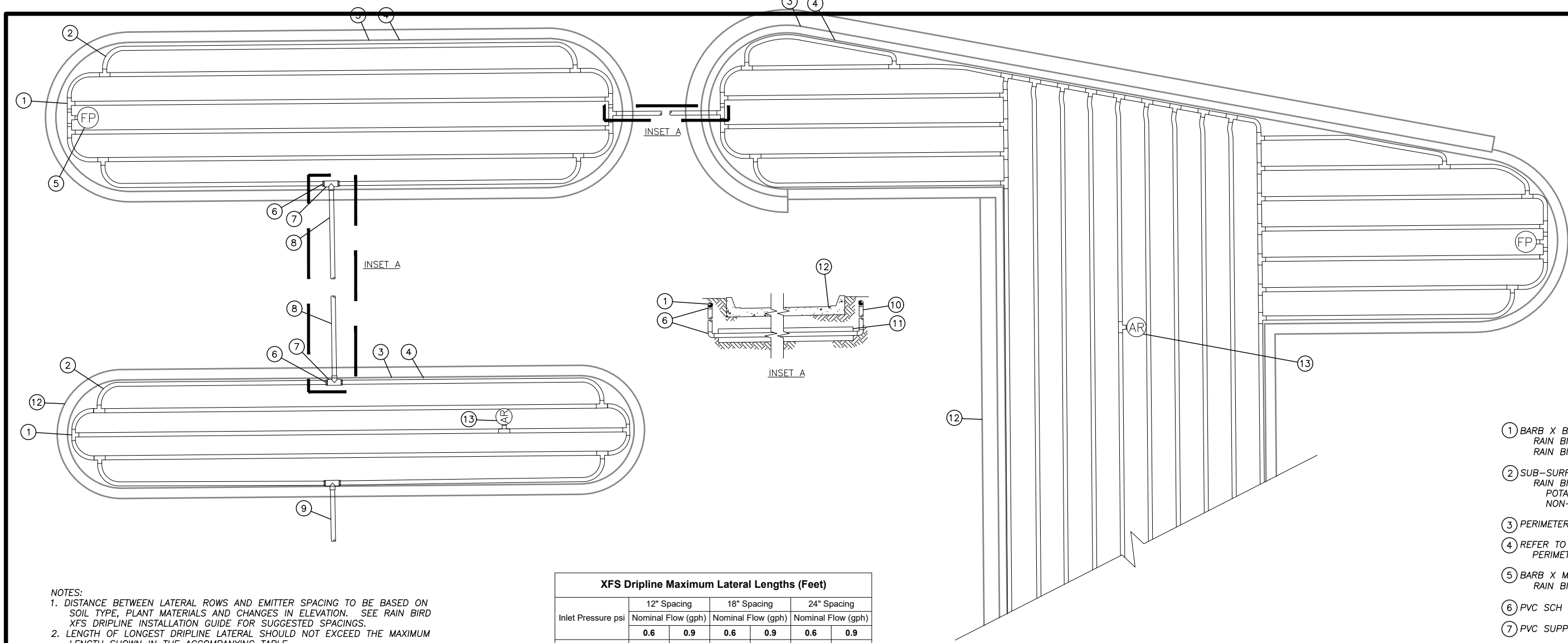
C9.3

Prepared For:
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 CIVIL DETAILS

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STATE OF MISSOURI
 MARK S. SHERIFF
 PROFESSIONAL ENGINEER
 NUMBER: PE-2017010253
 EXPIRES: 09/06/2019

Rev.	Date	By	Description
3	9/6/19	MGG	Sheet Re-issued
2	8/21/19	MGG	FDP Comments/Site VE Items
1			

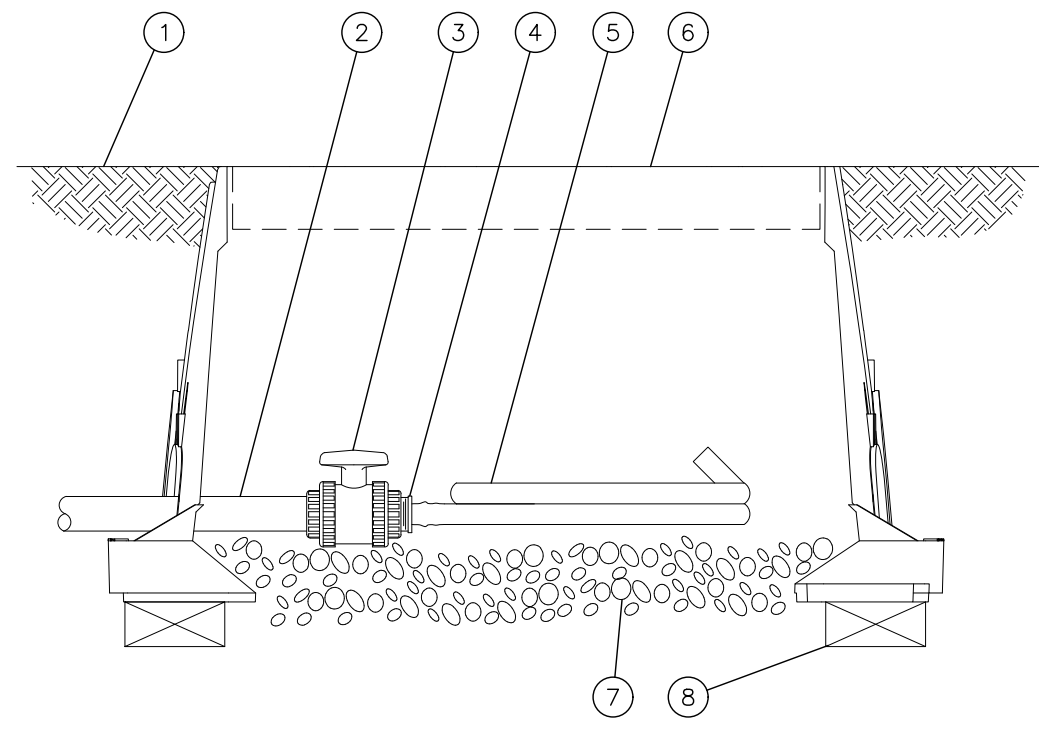


- 1 BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFF-TEE OR RAIN BIRD XFD-CROSS (TYPICAL)
- 2 SUB-SURFACE DRIPLINE PIPE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFS DRIPLINE
- 3 PERIMETER OF AREA
- 4 REFER TO DRAWINGS AND SPECIFICATIONS FOR PERIMETER DRIPLINE PIPE DISTANCE TO EDGE.
- 5 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 6 PVC SCH 40 TEE OR EL (TYPICAL)
- 7 PVC SUPPLY MANIFOLD
- 8 FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFS FLUSH POINT"
- 9 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 10 PVC SCH 40 RISER PIPE
- 11 PVC SCH 40 SLEEVE PIPE SIZED TWICE SIZE OF MANIFOLD PIPE SIZE.
- 12 PAVEMENT AND CURB
- 13 AIR RELIEF VALVE: RAIN BIRD MODEL: ARV050 SEE RAIN BIRD XFS DETAILS FOR AIR RELIEF INSTALLATION

Inlet Pressure (psi)	12" Spacing			18" Spacing			24" Spacing		
	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)
15	273	155	314	250	424	322			
20	318	169	353	294	508	368			
30	360	230	413	350	580	454			
40	395	255	465	402	652	474			
50	417	285	508	420	720	488			
60	430	290	538	425	750	514			

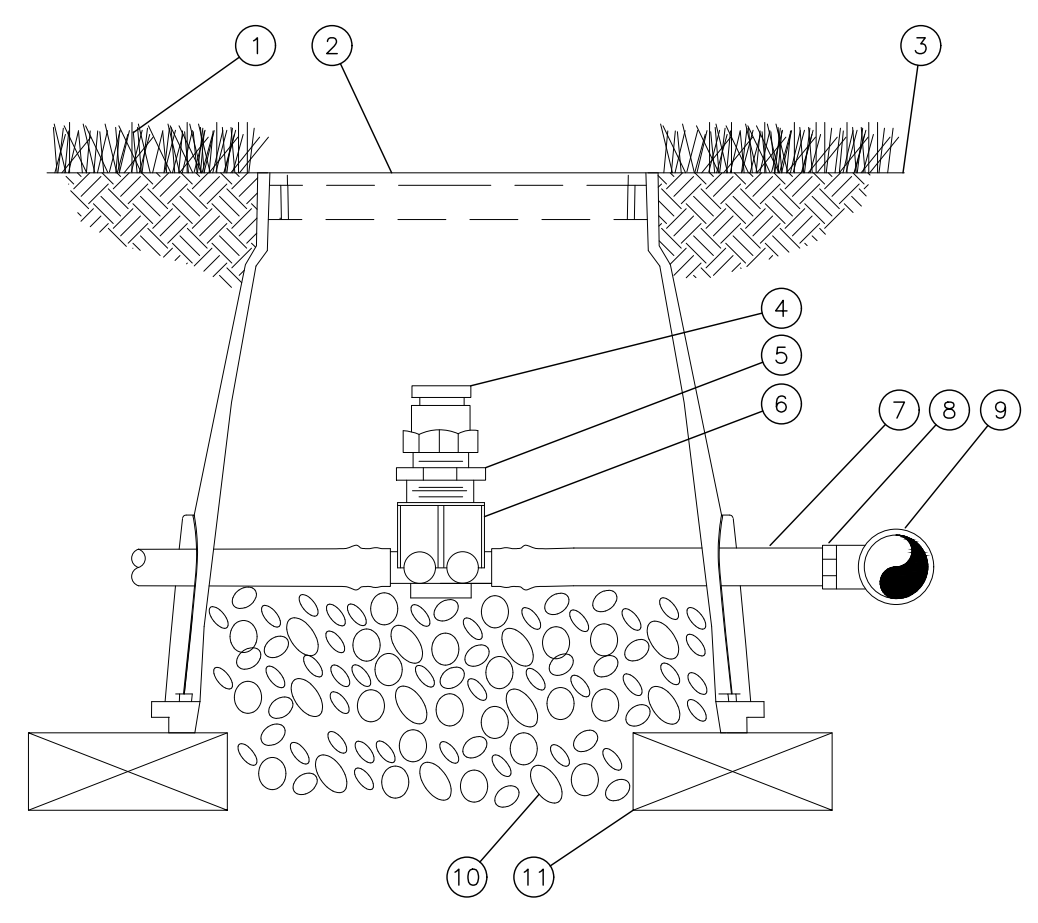
NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XFS DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
 3. AIR RELIEF VALVE TO BE INSTALLED AT ALL HIGH POINTS.
 4. DISTANCE FROM CURB TO ADJACENT DRIP LINE TO BE SPECIFIED BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS).
 5. WHEN USING 1/2" AIR RELIEF VALVE WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

907 TRYPCIAL ISLAND DRIPLINE LAYOUT
Not to Scale



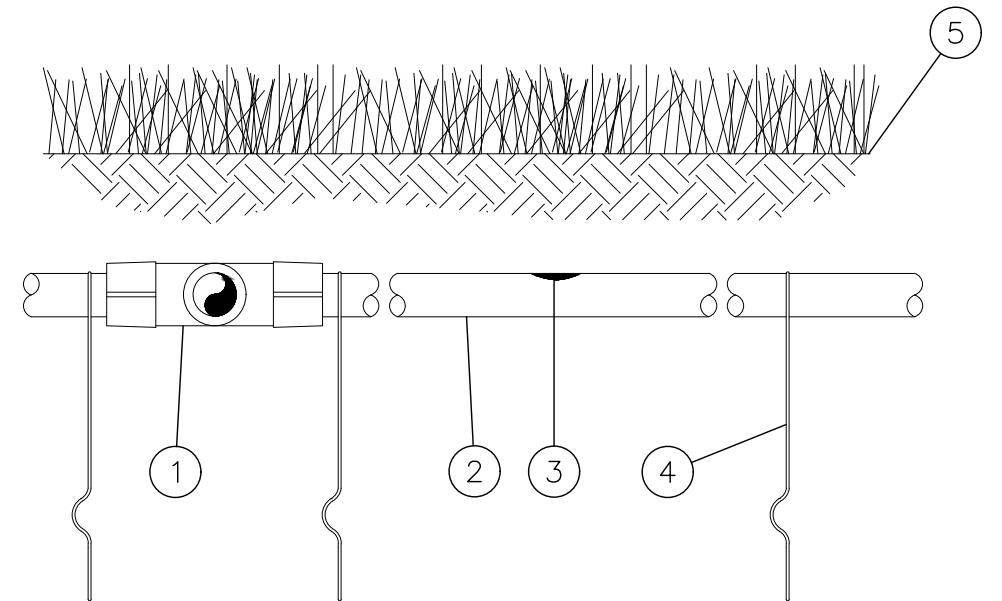
- 1 FINISH GRADE
- 2 PVC DRIP MANIFOLD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER: RAIN BIRD XFF-MA-075
- 5 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES BLANK TUBING
- 6 12-INCH VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 7 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 8 BRICK (1 OF 2)

908 XFS DRIPLINE FLUSH POINT W/BALL VALVE
Not to Scale



- 1 TURF GRASS
- 2 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 3 FINISH GRADE
- 4 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
- 5 1/2" X 3/4" PVC REDUCER BUSHING
- 6 BARB X FEMALE THREAD CONNECTOR: RAIN BIRD XFD-TFA FITTING
- 7 1/2" BLANK DRIPLINE TUBING: RAIN BIRD XF SERIES
- 8 BARB X MALE THREAD CONNECTOR: RAIN BIRD XFF-MA FITTING
- 9 PVC TEE CONNECTED TO PVC HEADER PIPE
- 10 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 11 BRICK (1 OF 2)

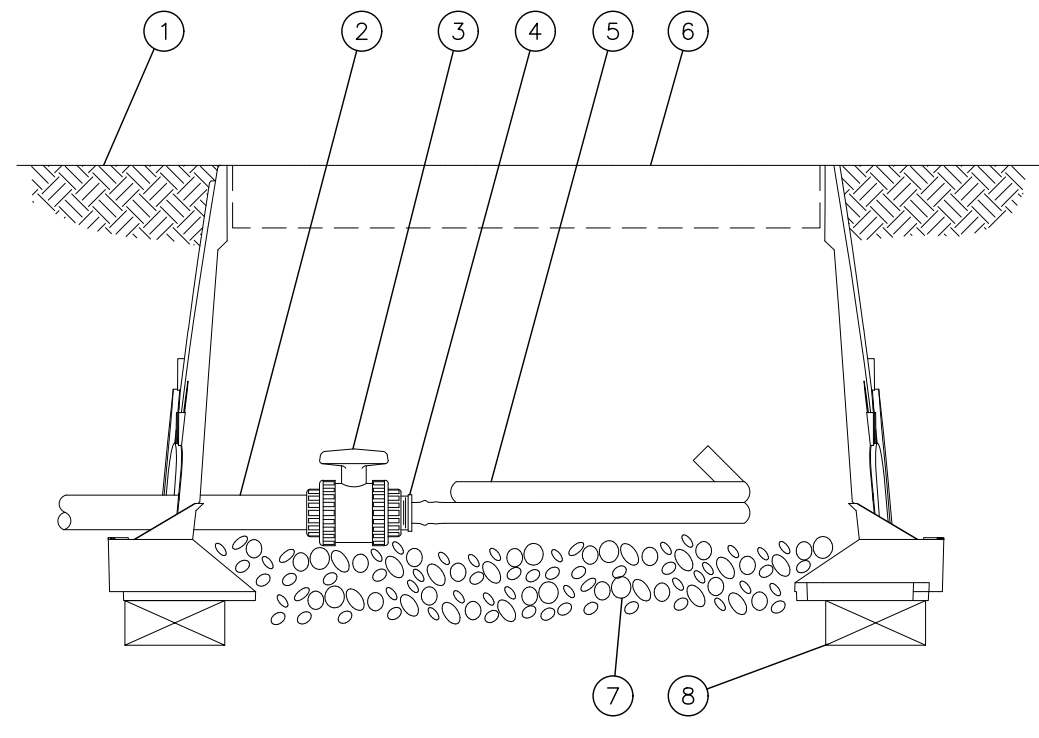
909 XFS DRIPLINE AIR RELIEF VALVE
Not to Scale



- 1 EASY FIT COMPRESSION TEE: RAIN BIRD MDCFTEE
- 2 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFS DRIPLINE
- 3 INLINE DRIP EMITTER
- 4 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 5 TURF/FINISH GRADE OR SHRUB BED WITH MULCH

NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 3. INSERTION FLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

910 XFS SUB-SURFACE DRIPLINE BURIAL
Not to Scale



- 1 FINISH GRADE
- 2 PVC DRIP MANIFOLD PIPE
- 3 PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4 EASY FIT MALE X BARB ADAPTER: RAIN BIRD XFF-MA-075
- 5 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES BLANK TUBING
- 6 12-INCH VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 7 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 8 BRICK (1 OF 2)

911 RAINBIRD REMOTE CONTROL VALVE
Not to Scale

000 NOT USED
Not to Scale

000 NOT USED
Not to Scale

000 NOT USED
Not to Scale

Rev.	Date	Description	By	App.



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 602-714-3099

TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 IRRIGATION SPEC 2

Design: NAB Drawn: NAB
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

L2.2