

TACO BELL FINAL DEVELOPMENT PLAN

851 NE WOODS CHAPEL ROAD
LOT 7B-1, CHAPEL RIDGE, LEE'S SUMMIT, MISSOURI

UTILITY CONTACTS

CITY OF LEE'S SUMMIT, MO

DEVELOPMENT SERVICES
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1200
FAX: (816) 969-1201
Contact: Mike Wisenborn

WATER UTILITIES
CITY HALL
1200 SE HAMBLEN RD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1900
FAX: (816) 969-1935

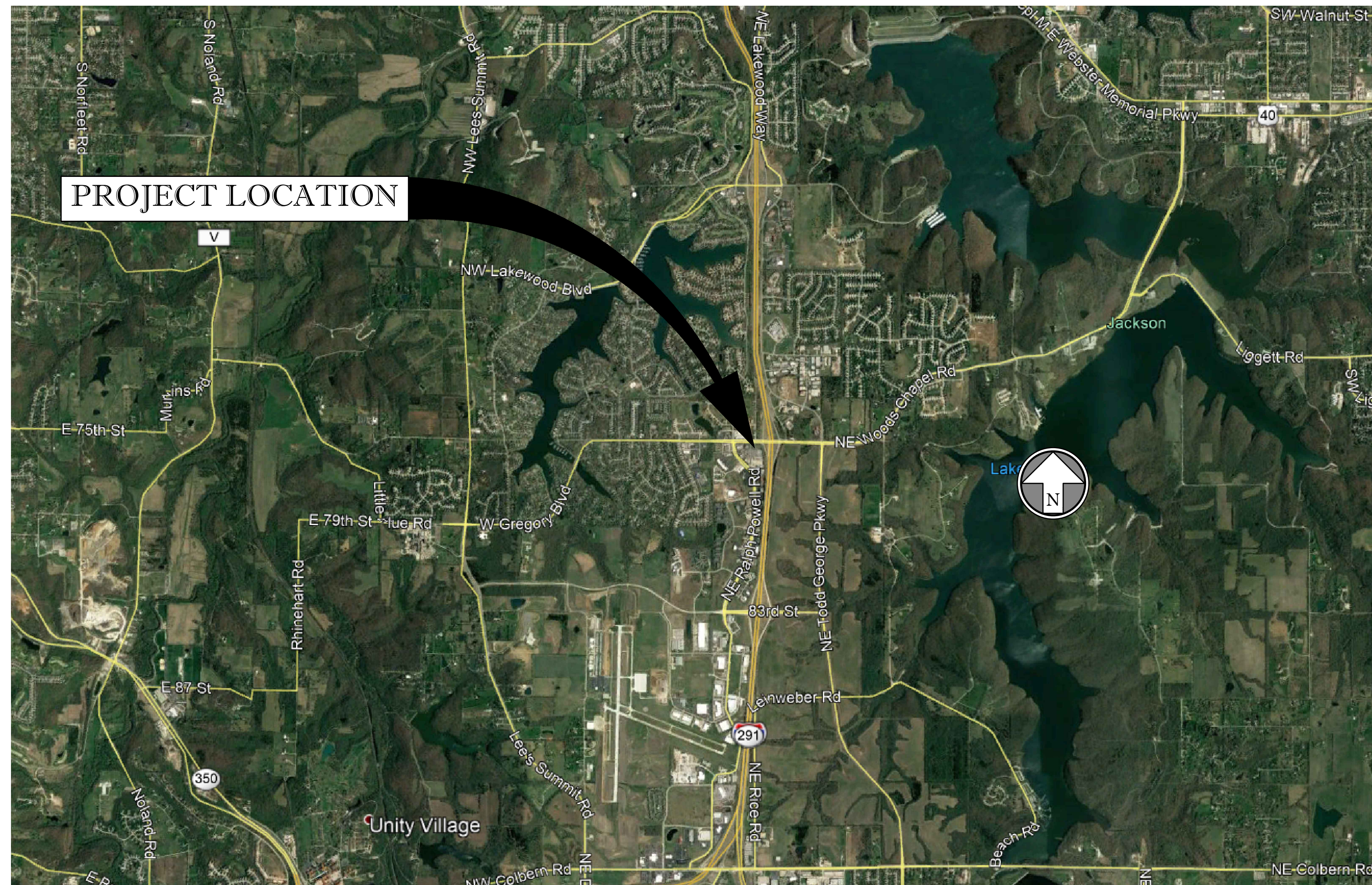
PUBLIC WORKS
CITY HALL
220 SE GREEN STREET
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1800
FAX: (816) 969-1809

ELECTRIC COMPANY
KANSAS CITY POWER & LIGHT
TEL: (888) 471-5275
Contact: Nathan Michael

GAS COMPANY
SPIRE ENERGY
TEL: (816) 756-5252
Contact: Bobbie Saulsberry

LEE'S SUMMIT FIRE DEPARTMENT
207 SE DOUGLAS ROAD
LEE'S SUMMIT, MO 64063
TEL: (816) 969-1300

TELEPHONE COMPANY
AT&T
TEL: (800) 464-7928



All existing utility locations shown are approximate only and are not guaranteed to be accurate or all inclusive. Contractor shall be responsible for contacting all utility companies and verifying the actual field locations of all utilities prior to any construction activity. Contractor shall keep all utility locations current. Utilities damaged through the negligence of the contractor to obtain the proper field locations shall be the responsibility of the contractor to repair or replace at their expense and at the direction of the utility company. The contractor shall pothole and survey all utility crossings prior to construction of any portion of storm sewer, sanitary sewer laterals, underdrains, conduit and any other subsurface element of the project. The survey information shall be forwarded to the project engineer for review. The contractor shall not begin construction on any subsurface element on the project without the approval of the project engineer. Utility coordination, potholing/surveying shall be subsidiary to other bid items.

Sheet Number	Sheet Title
--	COVER SHEET
A1.0	TACO FLOOR PLAN
A3.0	TACO ROOF PLAN
A4.0	TACO EXTERIOR ELEVATIONS
A4.0	TACO EXTERIOR ELEVATIONS COLORED
A4.1	TACO EXTERIOR ELEVATIONS
A4.1	TACO EXTERIOR ELEVATIONS COLORED
A9.0	ARCHITECTURAL DETAILS
A10.0	PHOTOMETRIC
ALTA	ALTA SURVEY
C0.0	GENERAL INFORMATION
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	DIMENSION PLAN
C3.1	COORDINATE PLAN
C3.2	JOINT LAYOUT PLAN
C4.0	GRADING PLAN
C4.1	DETAILED GRADING PLAN
C5.0	UTILITY PLAN
C5.1	SANITARY PLAN AND PROFILE
C6.0	DRAINAGE MAP
C7.0	PLAN AND PROFILE
C8.0	EROSION CONTROL PLAN
C8.1	EROSION CONTROL DETAILS
C8.2	EROSION CONTROL DETAILS
C8.3	EROSION CONTROL DETAILS
C8.4	EROSION CONTROL DETAILS
C9.0	CIVIL DETAILS
C9.1	CIVIL DETAILS
C9.2	CIVIL DETAILS
C9.3	CIVIL DETAILS
C11.0	OFFSITE RESTORATION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
L2.1	IRRIGATION SPEC 1
L2.2	IRRIGATION SPEC 2

APPROVED BY:

Administrator, Engineering Services Division Date

SUBMITTED BY:

BHC RHODES
OVERLAND PARK, KANSAS

Mark S. Sherfy 09/06/2019

Mark S. Sherfy, P.E. Date
MO PE-2017010253

OIL AND GAS NOTE

BASED ON REVIEW OF THE PLAT, ALTA SURVEY'S PERFORMED, AND FIELD OBSERVATION THERE ARE NOT OIL OR GAS WELLS PRESENT ON THE PROPERTY.

BENCHMARKS

MILITARY GRID REFERENCE SYSTEM (MGRS) BENCHMARK
BENCHMARK NUMBER: JA-134
ELEVATION= 969.81
DATUM: NAVD88

CIVIL ENGINEER

BHC RHODES
7101 COLLEGE BOULEVARD, SUITE 400
OVERLAND PARK, KANSAS 66210
P (913) 663-1900
F (913) 663-1633
CONTACT: MARK SHERFY, P.E.
EMAIL: MARK.SHERFY@IBHC.COM

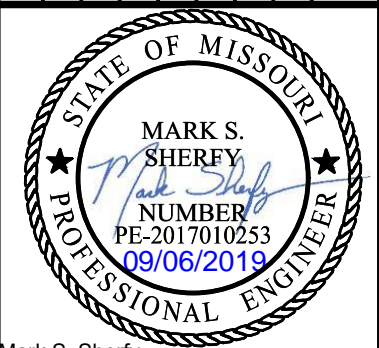
DEVELOPER

FIRST STREET DEVELOPMENT
2929 E CAMELBACK ROAD, SUITE 116
PHOENIX, AZ 85016
PH: (602) 714-3099
CONTACT: CHRIS CZYZ

SURVEYOR OF RECORD

MCLAUGHLIN MUELLER, INC.
218 WEST MILL STREET
LIBERTY, MO 64068
CORP. L.S.: 1999141096
P (816) 407-0002
F (816) 407-0003
CONTACT: MARTIN MUELLER, PLS 2487

Rev	Date	Description
1	9/6/19	Updated Sheet List
2	8/21/19	FDP Comments/Site VE Items
3		

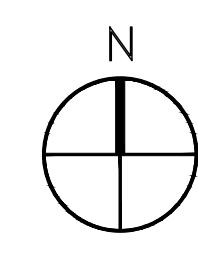
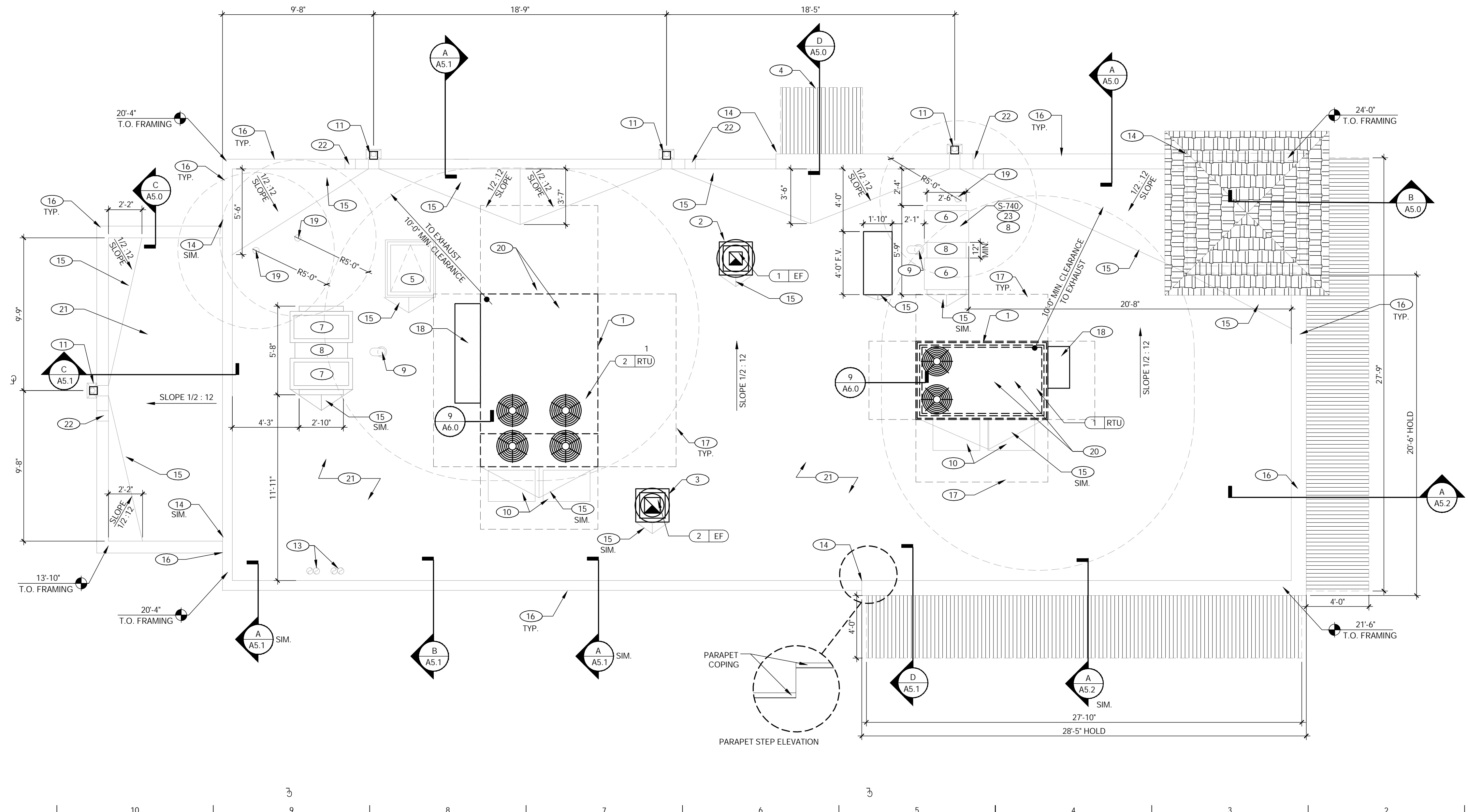


BHC RHODES
Civil Engineering • Surveying • Utilities
7101 College Blvd., Suite 400
Overland Park, Kansas 66210
P: (913) 663-1900 F: (913) 663-1633
BHC Rhodes is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

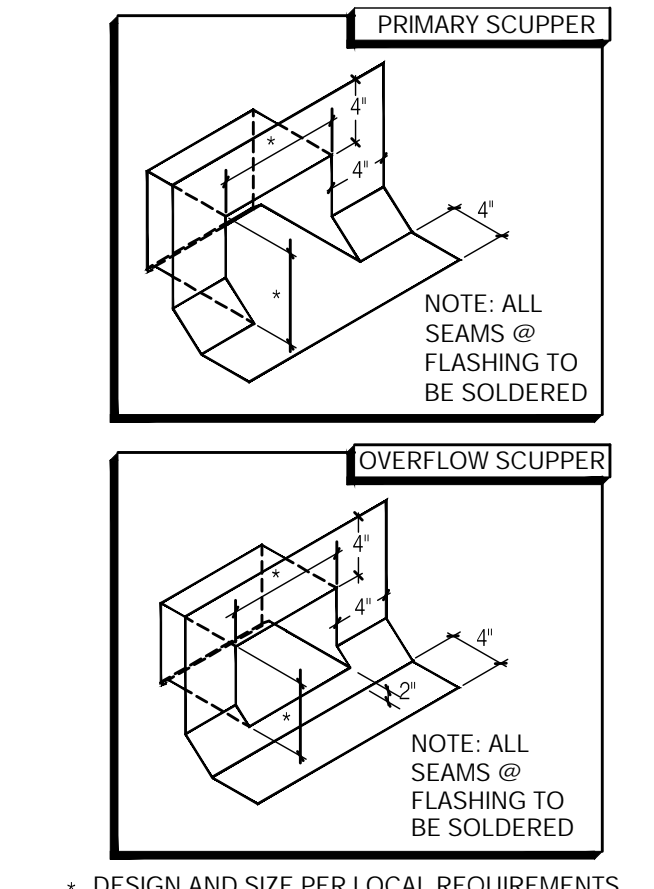
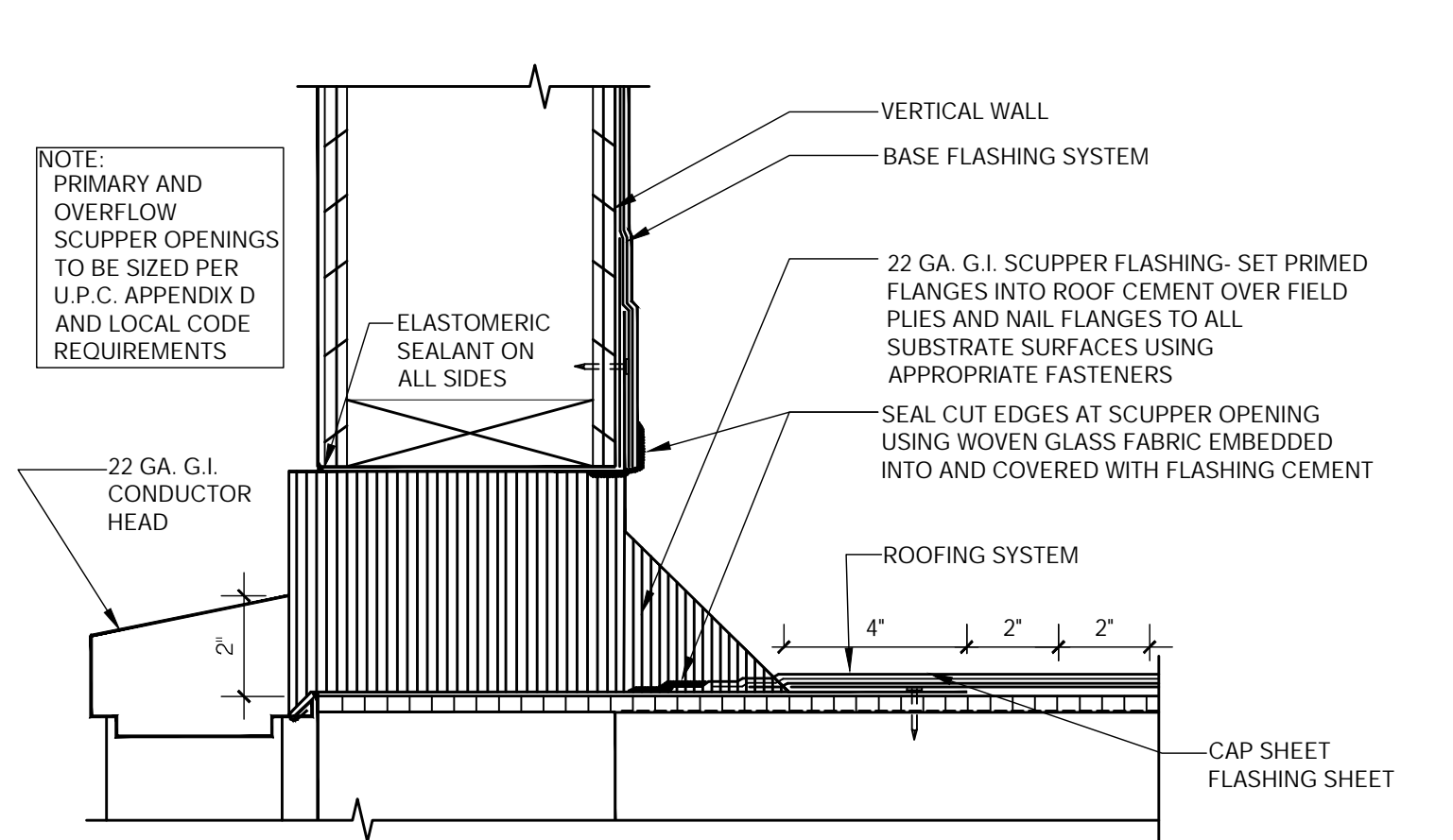
Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
COVER SHEET

Design: MGG	Drawn: MGG
Checked: MSS	
Issue Date:	
Project Number: 026040.08	



ROOF PLAN 1/4"=1'-0" A



SCUPPER FLASHING D

WATERPROOFING:
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER.
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED.
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS.
 D. SEE SPECIFICATIONS FOR SEALANT SPECS.
 E. ALL SHEET MTL FLASHING SHALL BE 22 GA MIN.

MISCELLANEOUS:
 A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED.
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

ROOF PLAN NOTES C

- 1 ROOFTOP UNIT. INSTALL PLUMB AND LEVEL.
- 2 KITCHEN HOOD EXHAUST FAN. SEE SHEETS M3.0 & DETAIL 14/A6.0.
- 3 RESTROOM EXHAUST FAN. SEE 13/A6.0.
- 4 CANOPY INSTALL PER MFR RECOMMENDATIONS.
- 5 ROOF HATCH: SEE 4/A6.0.
- 6 ICE MACHINE CONDENSERS.
- 7 WALK-IN COOLER / FREEZER CONDENSERS. SEE SCOPE OF WORK SHEET.
- 8 EQUIPMENT PLATFORM. SEE DETAIL 10/A6.0.
- 9 PIPE HOOD FOR UTILITIES. SEE DETAIL 6/A6.0.
- 10 24x36 WALK MATS. SEE ROOF SPECS.
- 11 SCUPPER AND DOWNSPOUT. SEE DETAIL D/A3.0.
- 12 NOT USED
- 13 WATER HEATER INTAKE AND FLUE VENT TERMINATION. RE-MEP
- 14 CHANGE IN PARAPET ELEVATION SEE DETAIL 11/A6.2.
- 15 ROOF CRICKET. SEE DETAIL 11/A6.0.
- 16 METAL PARAPET CAP. SEE DETAIL 1 & 3/A6.0.
- 17 MAINTAIN MFR'S ROOFTOP UNIT MAINTENANCE CLEARANCE.
- 18 OUTSIDE AIR INTAKE FOR ROOFTOP UNIT. MAINTAIN MIN 10'-0" SEPARATION FROM PLUMBING VENTS, FLUES AND BUILDING EXHAUST.
- 19 WASTE VENT THROUGH ROOF. THE TOP OF WASTE VENTS SHALL BE 12" HIGHER THAN THE CLOSEST PARAPET CAP U.N.O. OR NOT ALLOWED BY LOCAL JURISDICTION. SEE 12/A6.0 FOR FLASHING ASSEMBLY.
- 20 POWER / GAS / CONDENSATE ENTRY UNDER HVAC UNIT (PER HVAC MFR. SPECS.) REFER TO MECH. AND PLUMB DWGS. UTILITY ACCESS FROM WITHIN CURB - NO ROOF PENETRATIONS. DO NOT RUN ON ROOF SURFACE. SEE 13/P6.0.
- 21 "DURO-LAST" SINGLE PLY ROOF MEMBRANE OVER MINIMUM R-20 RIGID INSULATION BOARD OVER 5/8" APA RATED EXTERIOR GRADE PLYWOOD OVER TRUSSES. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 22 OVERFLOW SCUPPER, SEE DETAIL F/A3.0.
- 23 DUAL REMOTE CONDENSER. REFER ELECTRICAL AND PLUMBING.

KEY NOTES B



GLMV ARCHITECTURE
 MISSOURI STATE OF AUTHORITY
 #F00364807

MARK D. MCLUGGAGE
 ARCHITECT
 LIC. NO. A-7139

07.03.19

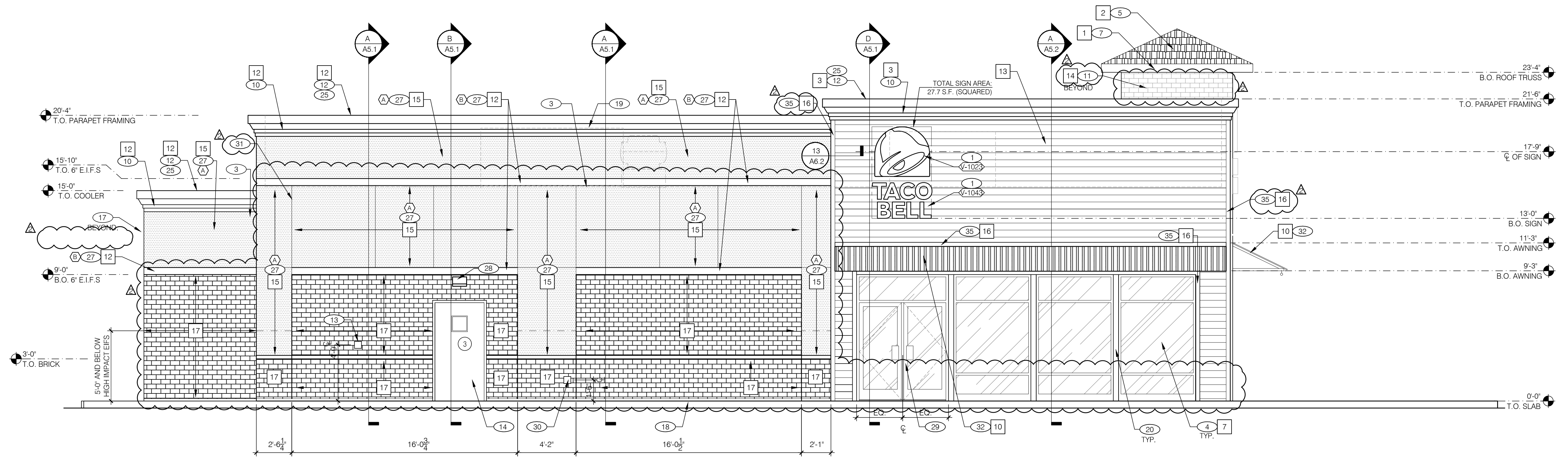
18048.19003

CONTRACT DATE: 07.03.19
 BUILDING TYPE: TE40M
 PLAN VERSION:
 SITE NUMBER:
 STORE NUMBER:

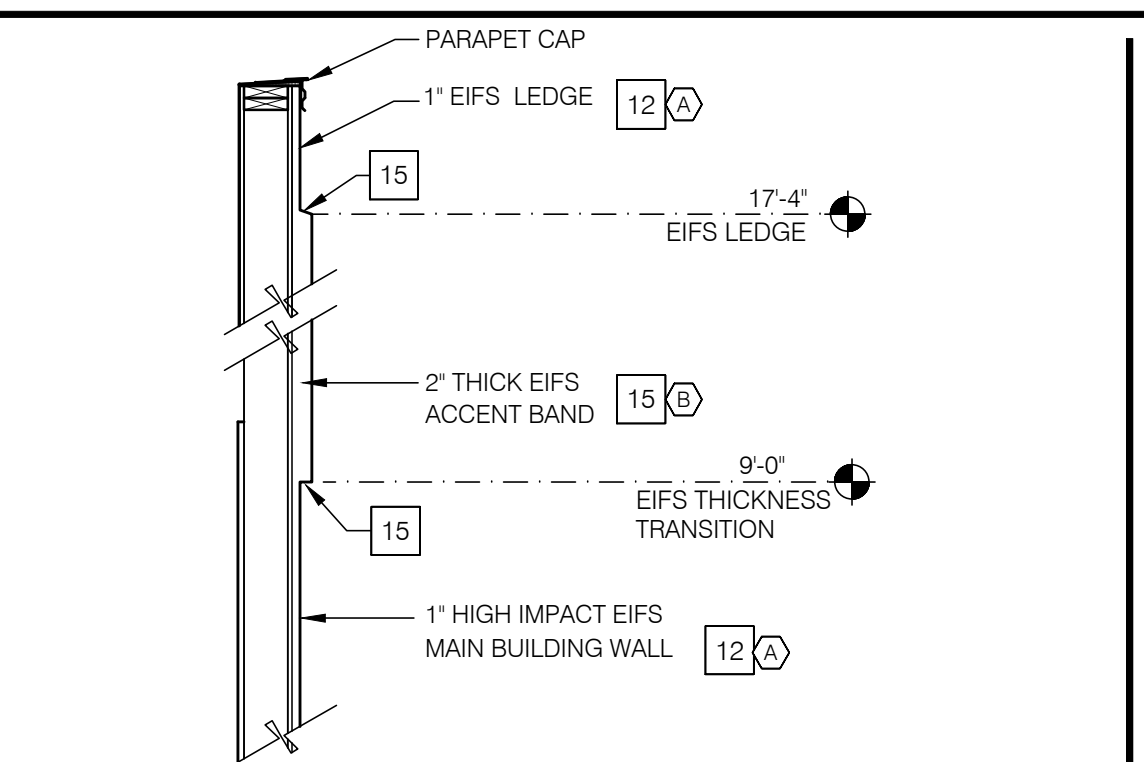
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MO

EXPLORER
 MEDIUM40

ROOF PLAN
 A3.0



SOUTH SIDE ELEVATION 1/4" = 1'-0" **A**

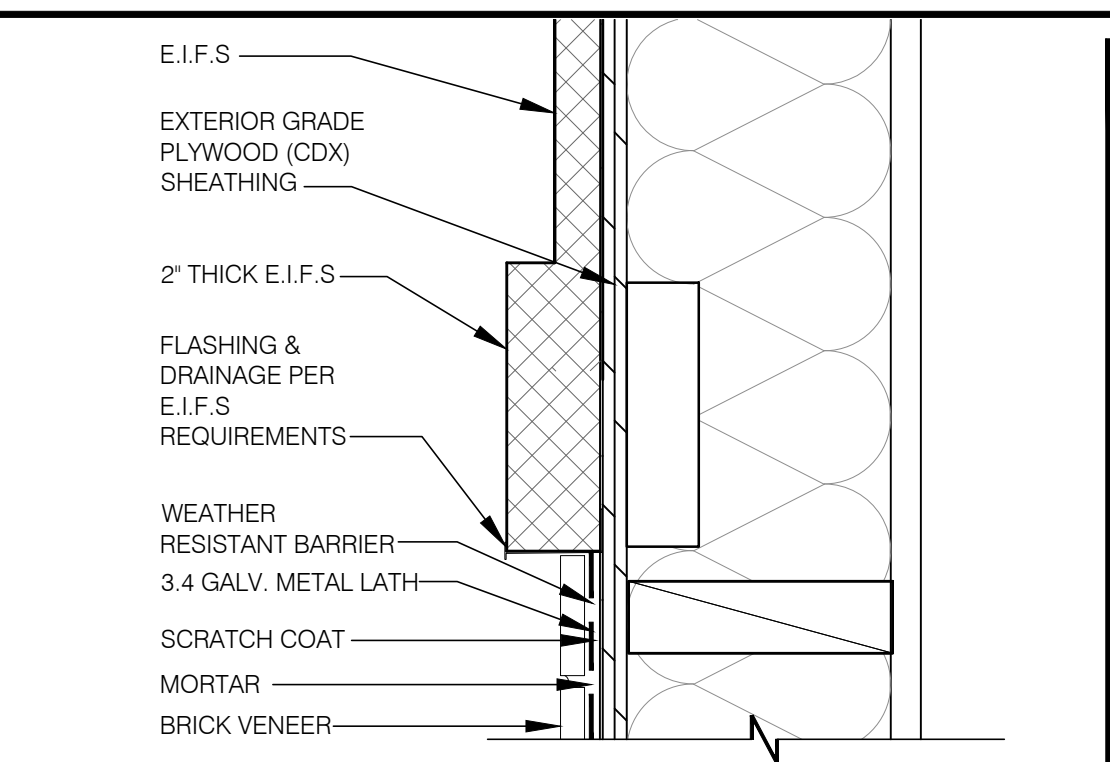


MISCELLANEOUS
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

"CRITICAL" DIMENSIONS:
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.



E.I.F.S. THICKNESS N.T.S. **B**

NOTE: SIGNAGE UNDER SEPARATE PERMIT

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-1023	3	TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
V-1043	3	TB 14" CHANNEL LETTER WHITE	X

EXTERIOR FINISH SCHEDULE **H**

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	HARDIETRIM BOARD	JAMES HARDIE	TO BE PAINTED SW 6098 'PACER WHITE'			
2	CONCRETE ROOF TILE	EAGLE ROOFING PRODUCTS	TAPERED SLATE			
3	PARAPET CAP (TOWER)	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 'IRON ORE'	DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
4	NOT USED	---	---			
5	PARAPET CAP (SIDES)	DUROLAST (25)	REGAL WHITE (FACTORY FINISH)			
6	PARAPET CAP (COOLER)	DUROLAST (25)	GALVALUME PLUS (FACTORY FINISH)			
7	STOREFRONT WINDOWS	TBD	CLEAR ANODIZED			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED 'TAN.' EQUAL ALTERNATE ALLOWED.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
10	AWNING, COOLER WALL	BERRIDGE	S-DECK PREWEATHERED GALVALUME			
11	NOT USED	---	---			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7067 'CITYSCAPE'			
13	FIBER CEMENT PANELS	NICHIHA - ROUGH SAWN	'SMOKE'			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
14	BRICK VENEER	CORONADO STONE PRODUCTS	SPECIAL USED BRICK: BEAR CREEK			1/2" DEEP RAKED GROUT JOINT
15	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 'PACER WHITE'			
16	FIBER CEMENT BOARD TRIM	JAMES HARDIE	HARDIETRIM - 5/4" X 3 1/2" SMOOTH			
17	BRICK VENEER	CORONADO STONE PRODUCTS	SPECIAL USED BRICK: 70% WOLF GREY - 30% BEAR CREEK			1/2" DEEP RAKED GROUT JOINT

- GENERAL NOTES** **F**
- BUILDING SIGN, BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET S5.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
 - DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
 - DASHED LINE INDICATES ROOF BEYOND.
 - STOREFRONT, TYPICAL.
 - CONCRETE ROOF TILES.
 - SWITCH GEAR. PAINT TO MATCH WALL.
 - HARDIETRIM BOARD TO BE PAINTED
 - EXTERIOR LIGHT FIXTURE. RE:ELEC
 - ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
 - EPS CORNICE WITH EIFS FINISH
 - TOWER WITH BRICK VENEER FINISH
 - PARAPET COPING, IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
 - CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
 - PAINT DOOR TO MATCH ADJACENT WALL FINISH
 - GAS SERVICE.
 - WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
 - SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL UNLESS SPECIFIED OTHERWISE.
 - CONCRETE CURB.
 - RTU BEYOND.
 - BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1 OVERFLOW SCUPPER
 - NOT USED.
 - BOLLARD - SEE CIVIL.
 - DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
 - IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
 - NOT USED.
 - EIFS (TYP)
 - WALL PACK LIGHT FIXTURE.
 - STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
 - HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
 - EIFS REVEAL PER DETAIL 13/A6.2
 - METAL AWNING - BY OTHERS. INSTALLATION AND BLOCKING BY GC.
 - 4" Ø BOLLARDS AT ALL DOWNSPOUTS.
 - PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
 - 3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.

KEY NOTES **D**

NOT USED N.T.S. **H**

EIFS THICKNESS COLOR TRANSITION N.T.S. **G**

EIFS/BRICK TRANSITION DETAIL **E**

SIGN SCHEDULE N.T.S. **C**

18048.19003

VE ITEMS 08.21.19

CONTRACT DATE: 05.20.19
 BUILDING TYPE: TE40M
 PLAN VERSION:
 SITE NUMBER:
 STORE NUMBER:

TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MO



EXTERIOR ELEVATIONS
A4.0

18048.19003

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- △

CONTRACT DATE: 05.20.19
 BUILDING TYPE: TE40M
 PLAN VERSION:
 SITE NUMBER:
 STORE NUMBER:

TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MO



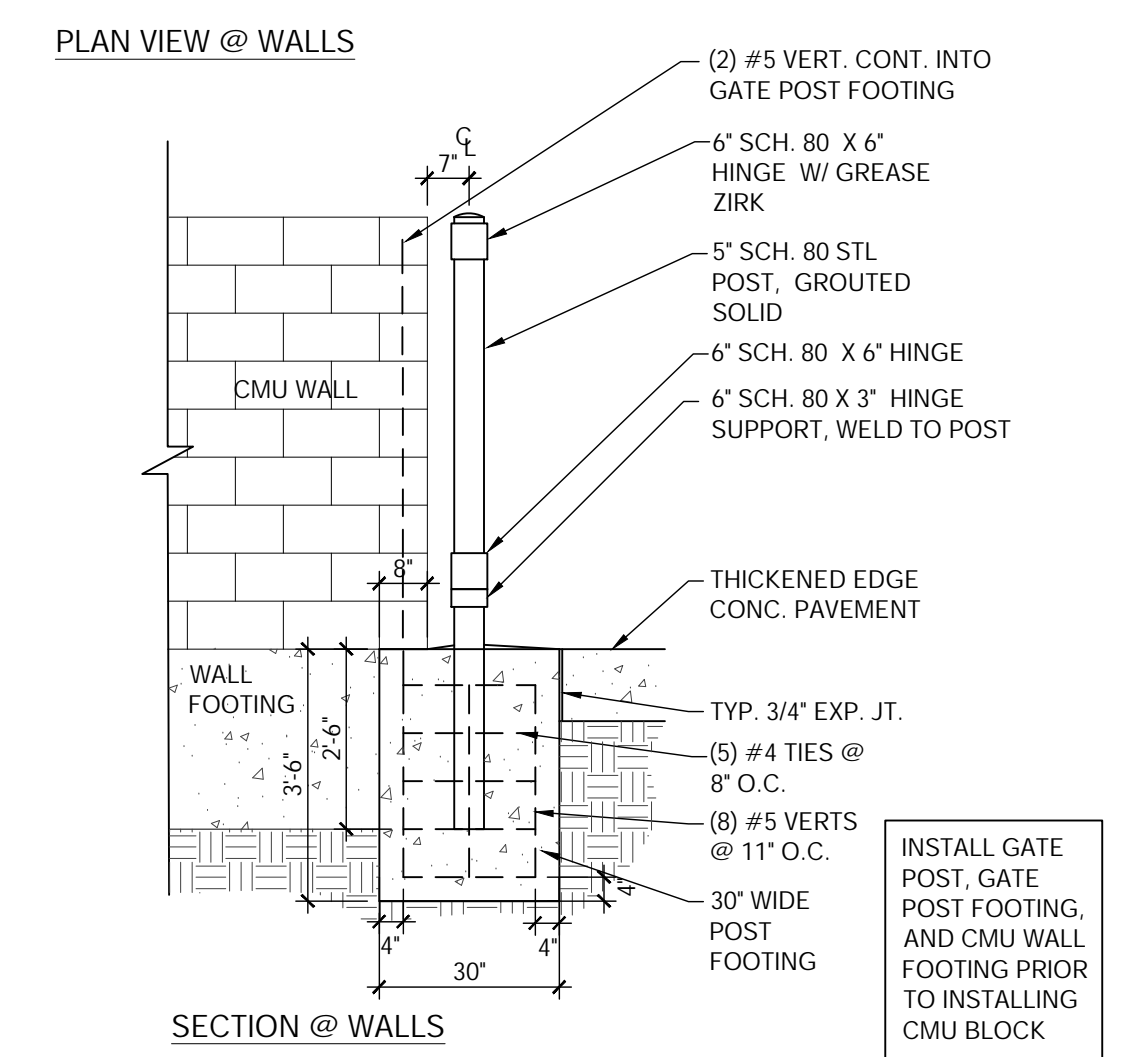
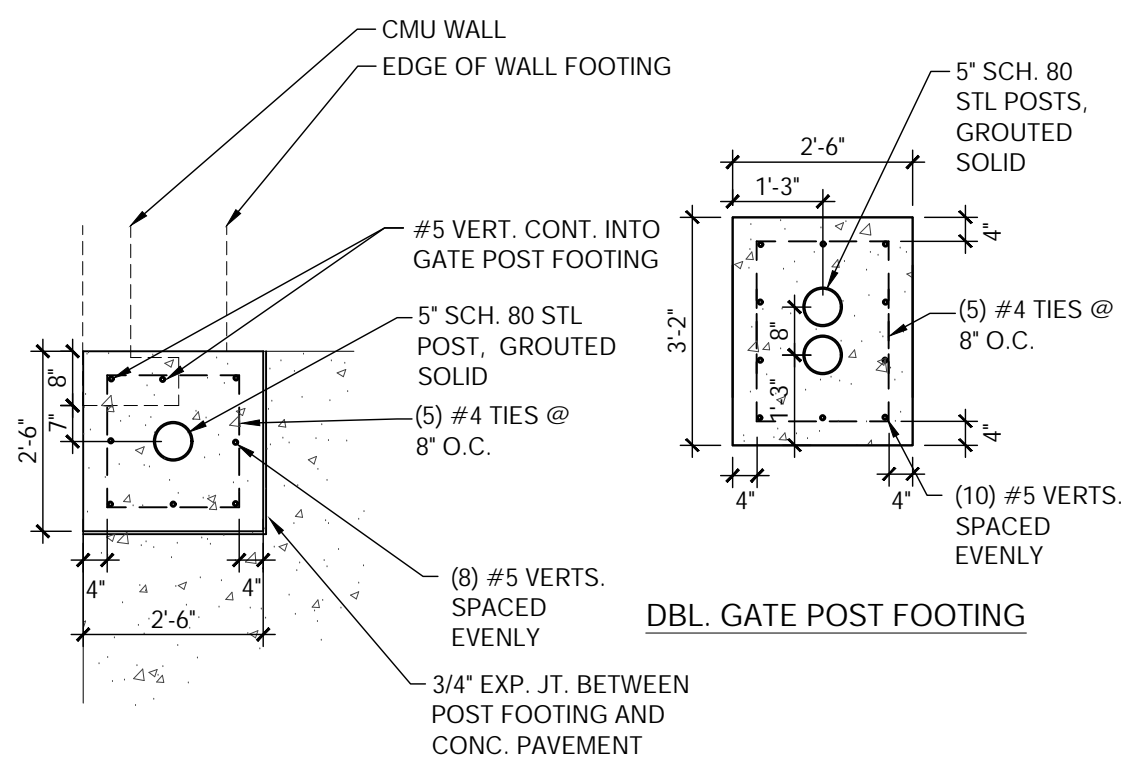
NORTH SIDE ELEVATION 1/4" = 1'-0" **A**



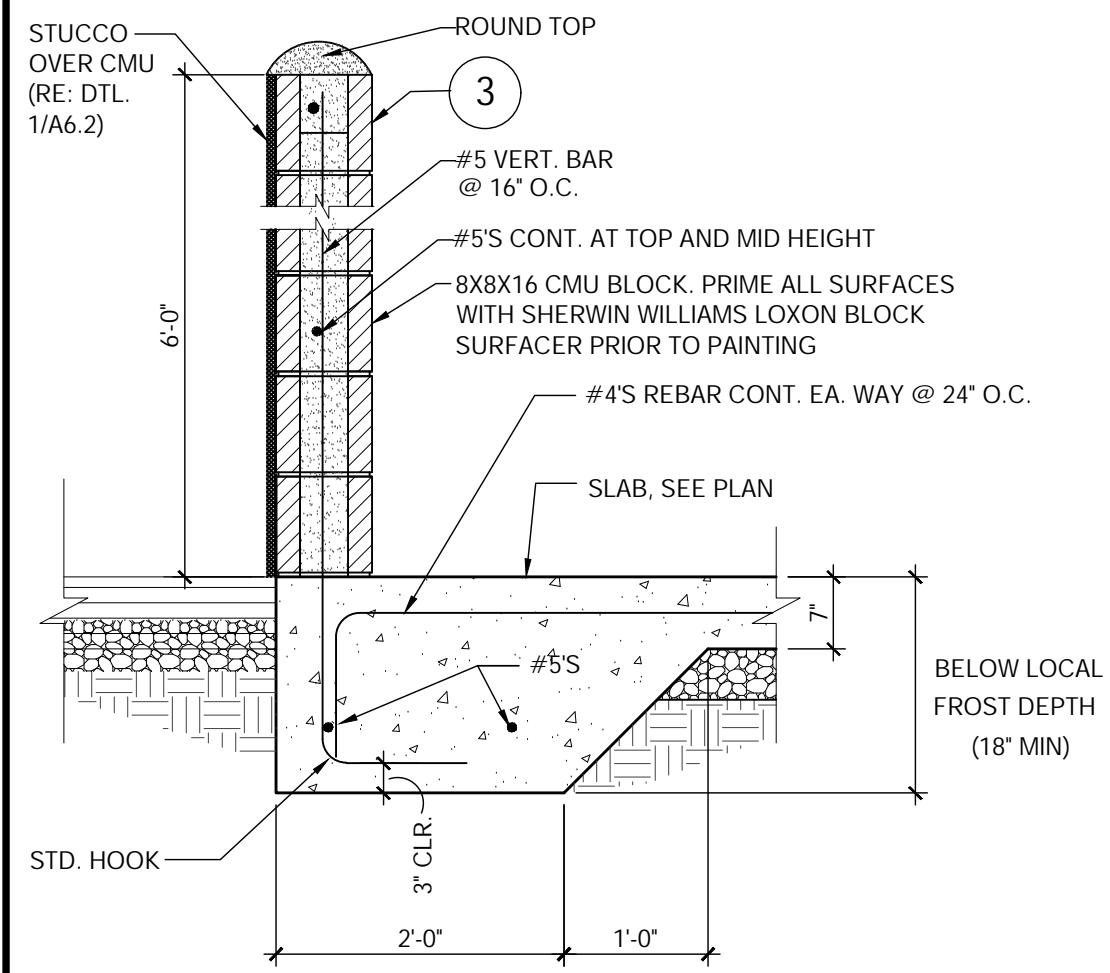
WEST ELEVATION 1/4" = 1'-0" **C**



EAST ELEVATION 1/4" = 1'-0" **B**



GATE POST FOOTINGS N.T.S. F



CMU WALL SECTION N.T.S. D

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

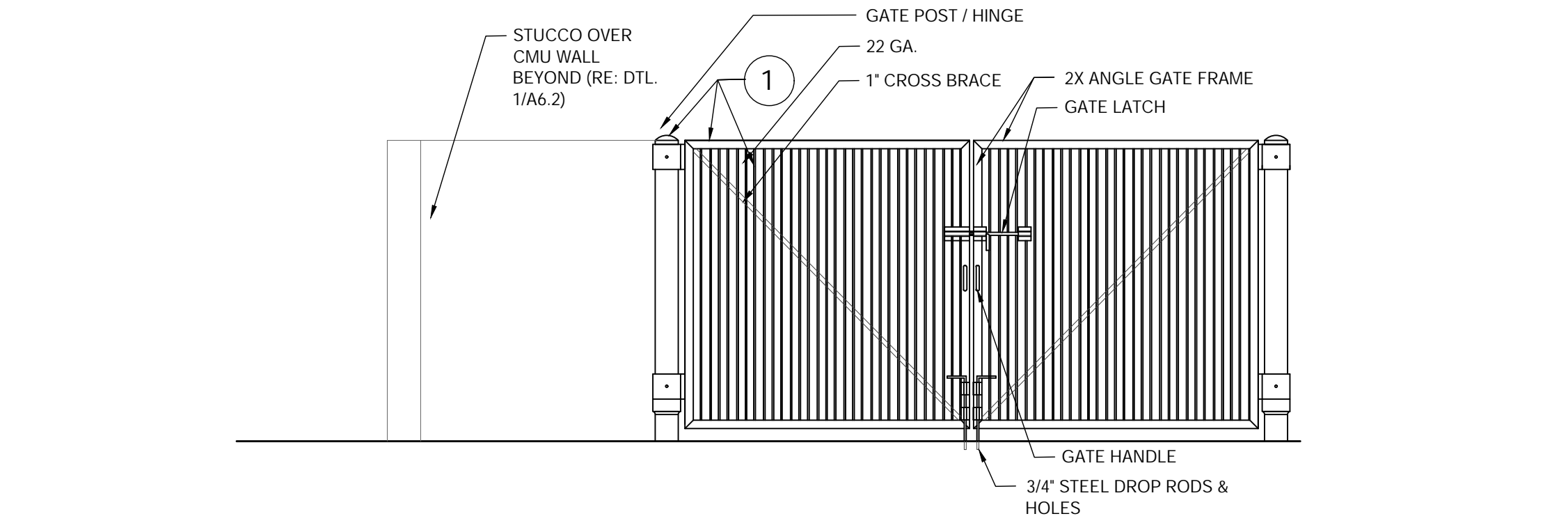
GATE NOTES: (4) EQUAL WIDE X 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

SYMBOL	AREA	MANUFACTURER	COLOR
①	GATE COLOR	SHERWIN WILLIAMS	IRON ORE SW 7069
②	PIPE BOLLARDS	SHERWIN WILLIAMS	SAFETY YELLOW
③	CMU/STUCCO	SHERWIN WILLIAMS	PACER WHITE SW 6098

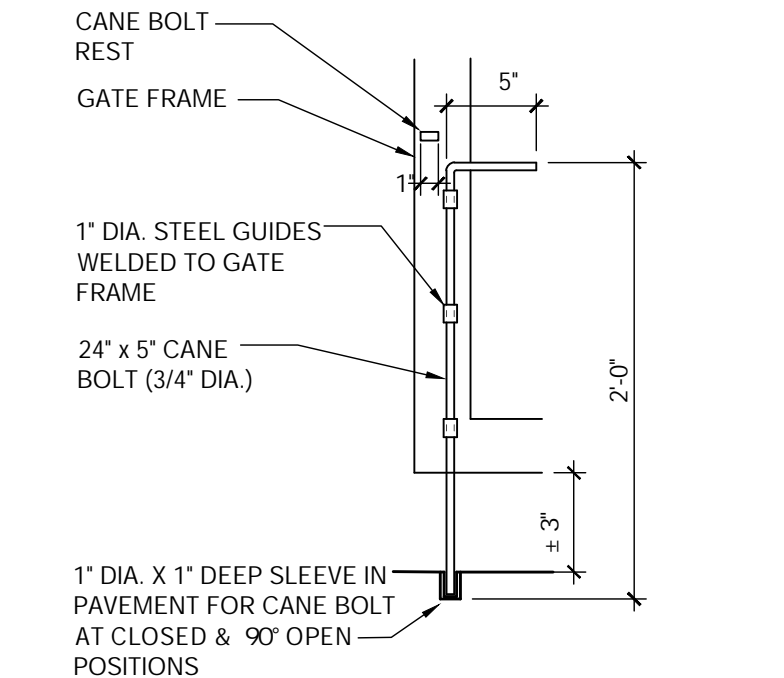
VERIFY ALL COLORS WITH ARCHITECT PRIOR TO CONSTRUCTION

ENCLOSURE NOTES N.T.S. I

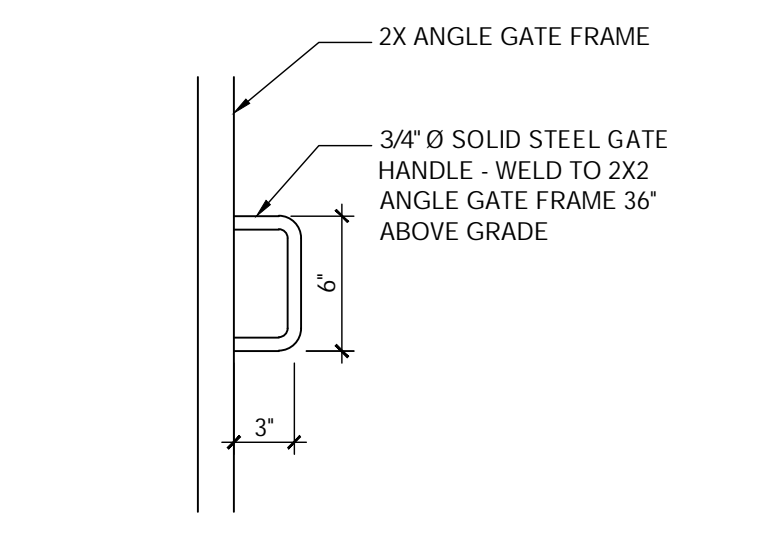
SCHEDULE N.T.S. G



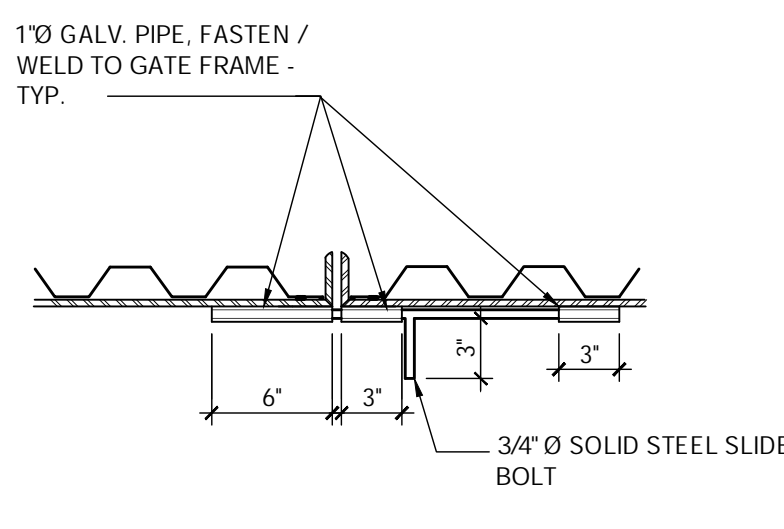
FRONT ELEVATION N.T.S. E



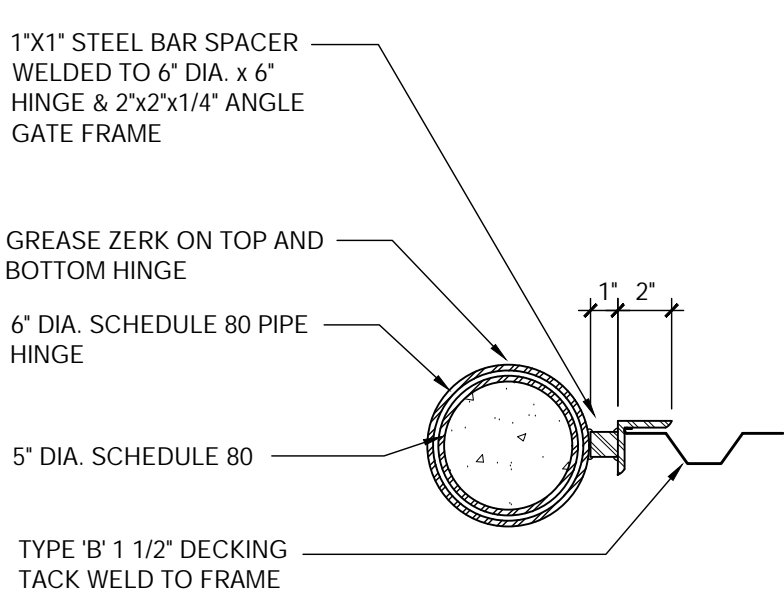
5 CANE BOLT (1 PER GATE)



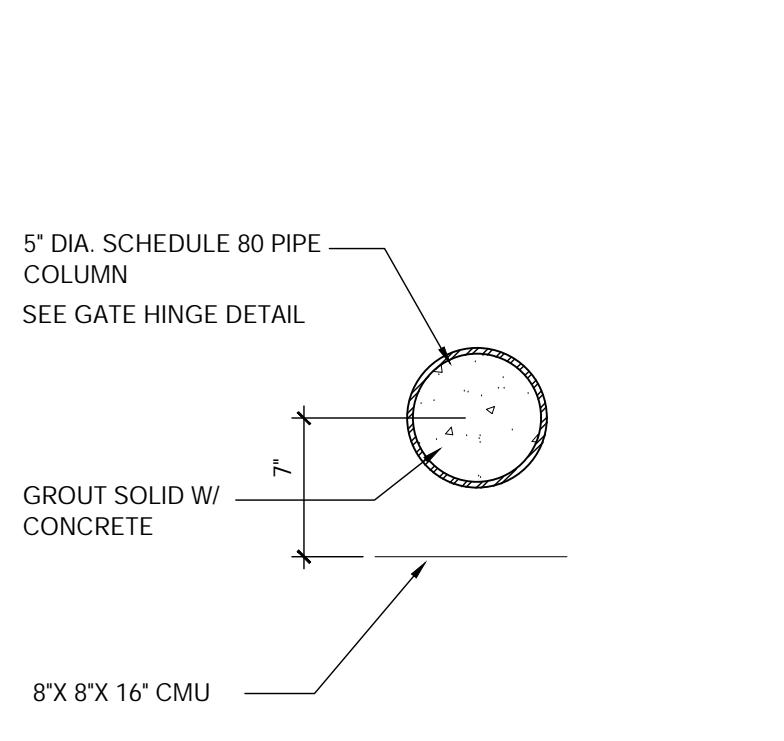
4 GATE HANDLE



3 GATE LATCH

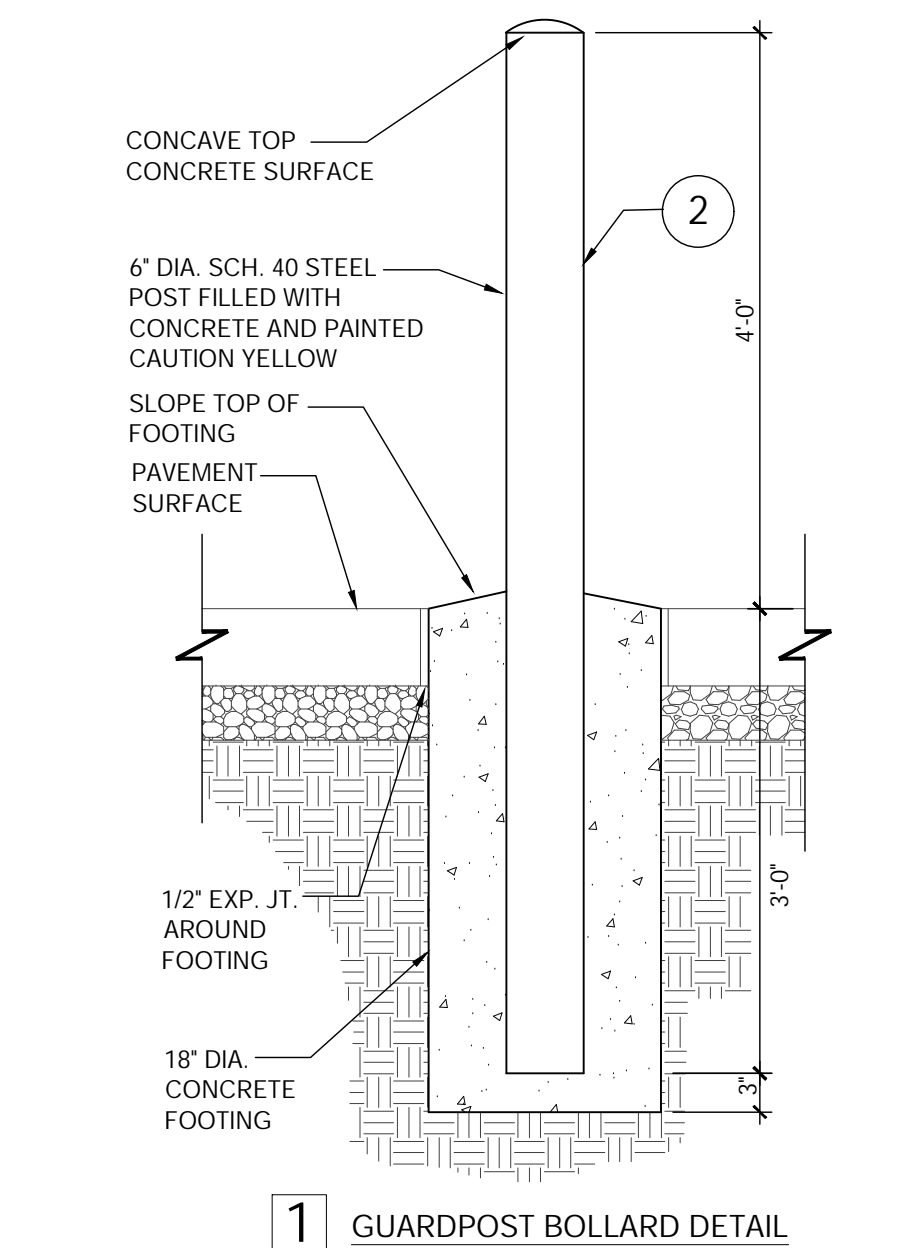


2 GATE HINGE DETAIL



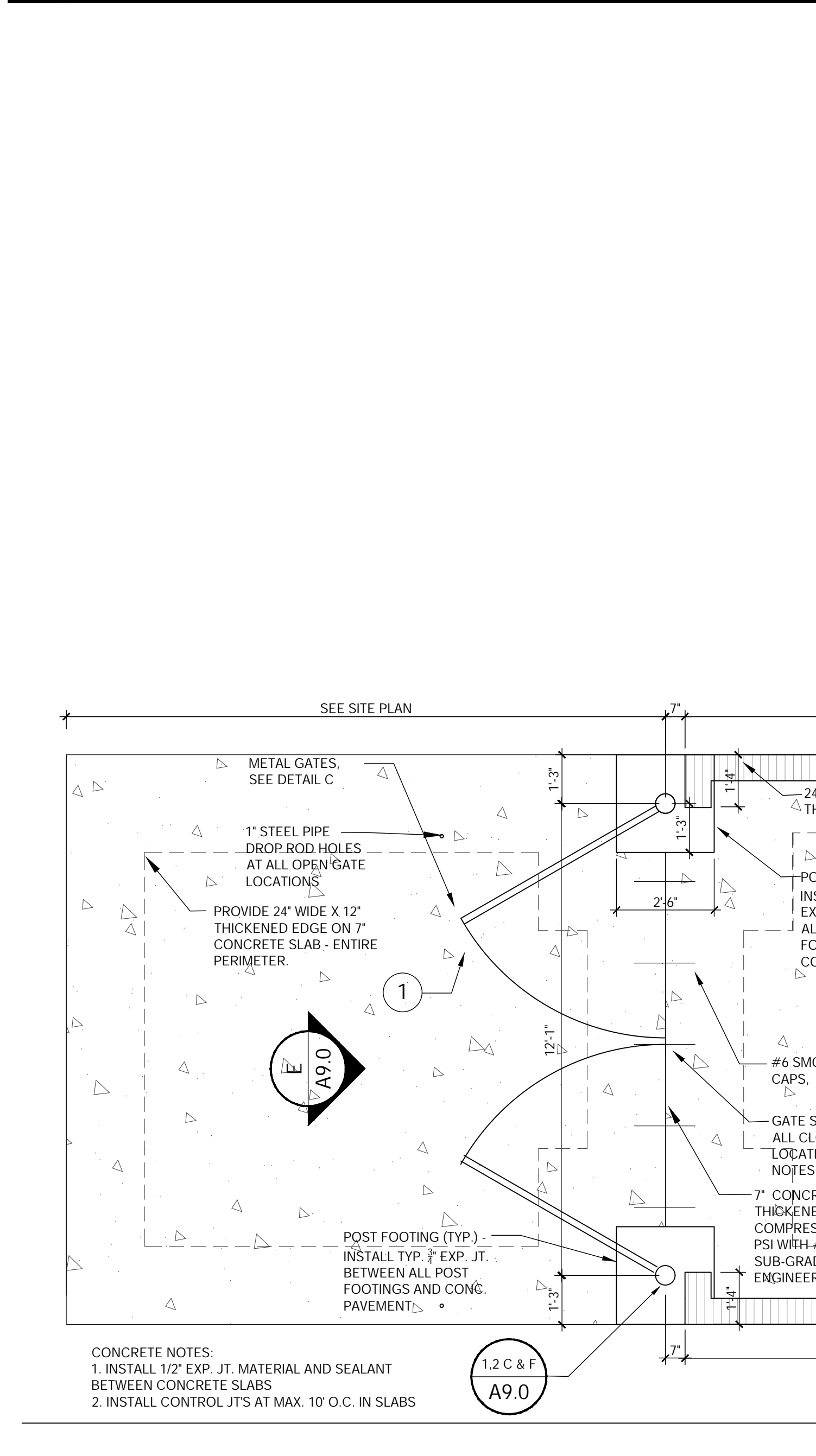
1 JAMB DETAIL

GATE DETAILS VARIES C



1 GUARDPOST BOLLARD DETAIL

BOLLARD DETAILS 1/4\"/>



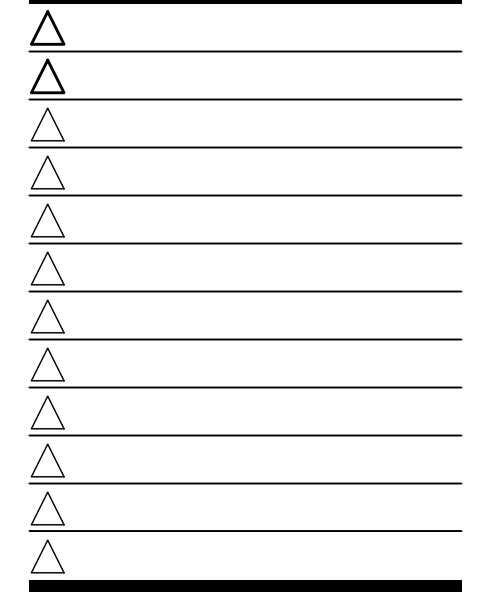
DUMPSTER PLAN N.T.S. A



GLMV ARCHITECTURE
MISSOURI STATE OF
AUTHORITY
#F00364807



18048.19003



CONTRACT DATE: 07.03.19
BUILDING TYPE: TE40M
PLAN VERSION:
SITE NUMBER:
STORE NUMBER:

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MO

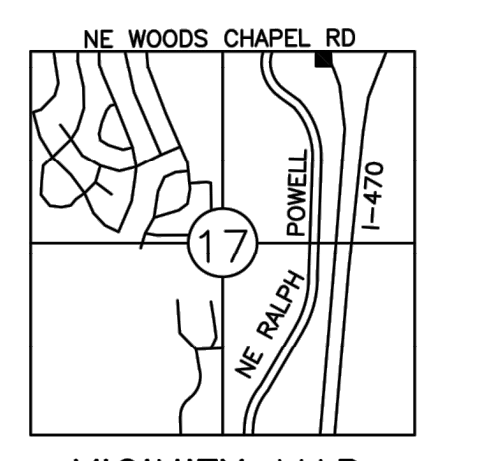


SMALL
CMU
DUMP.
ENCLOSURE
PLAN &
DETAILS
A9.0

UTILITIES:
THE INFORMATION CONCERNING LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS AND FIELD LOCATIONS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN FIELD VERIFIED BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT.

ALTA/NSPS LAND TITLE SURVEY

CRYSTAL CLEAR INVESTMENTS, LLC
PO BOX 698
BLUE SPRINGS MO 64013
850 NE WOODS CHAPEL RD

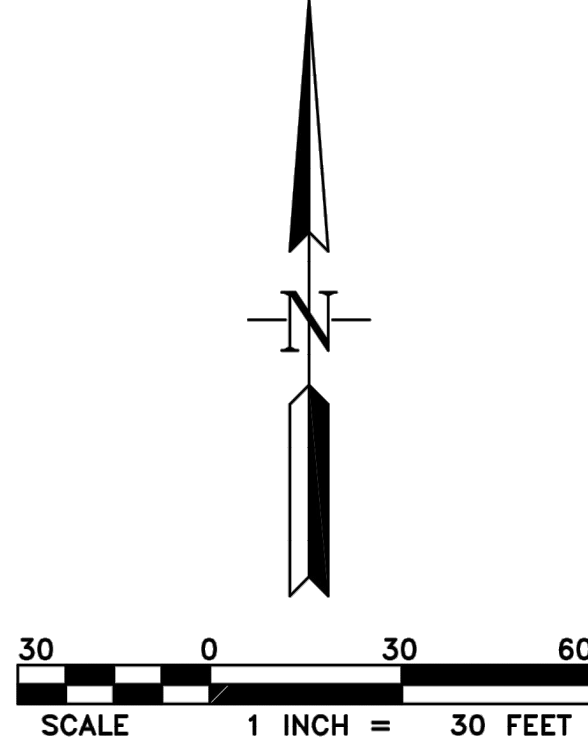
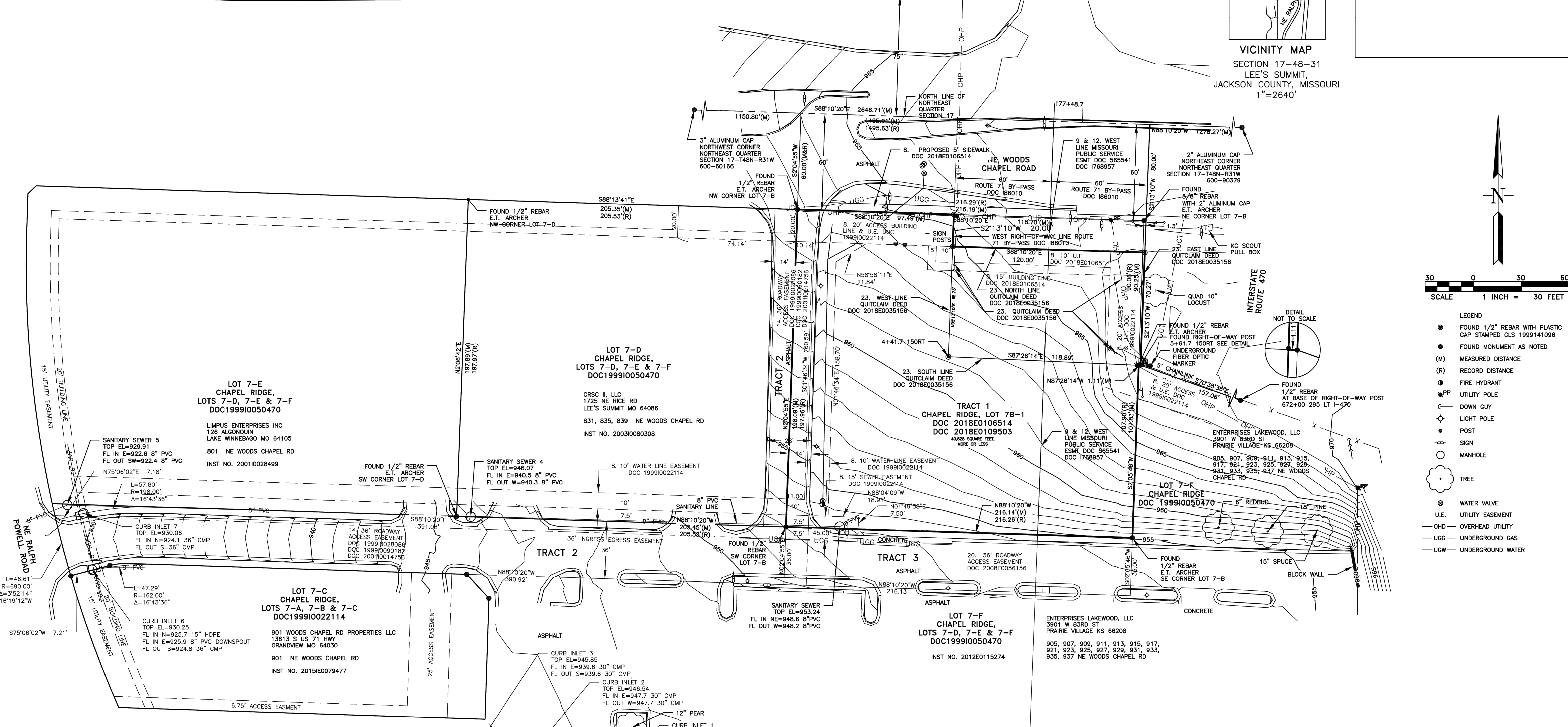


VICINITY MAP
SECTION 17-48-31
LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI
1"=2640'

RESERVED FOR THE RECORDER OF DEEDS

Project No. 19017
Sht. No. 1

McLaughlin Mueller, Inc 2019



- LEGEND
- FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED CLS 1999141096
 - FOUND MONUMENT AS NOTED
 - (M) MEASURED DISTANCE
 - (R) RECORD DISTANCE
 - FIRE HYDRANT
 - UTILITY POLE
 - DOWN GUY
 - LIGHT POLE
 - POST
 - SIGN
 - MANHOLE
 - TREE
 - WATER VALVE
 - U.E. UTILITY EASEMENT
 - OHD OVERHEAD UTILITY
 - UGG UNDERGROUND GAS
 - UGW UNDERGROUND WATER

ORDERED BY: BRUNGARDT HONOMICHL & COMPANY, P.A.
7101 COLLEGE BLVD SUITE 400
OVERLAND PARK, KS 66210

DESCRIPTION PROVIDED IN EXHIBIT A FROM THE ALTA COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT:

TRACT 1
CHAPEL RIDGE, LOT 7B-1, CHAPEL RIDGE, LOT 7B-1, A SUBDIVISION OF LAND IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE PLAT RECORDED IN BOOK 180, PAGE 49, AS DOCUMENT NO. 2018E0106514, AS AMENDED BY AFFIDAVIT RECORDED AS DOCUMENT NO. 2018E0109503.

TRACT 2
NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN DEDICATION OF ROADWAY/ACCESS EASEMENT FILED APRIL 16, 1999 AS DOCUMENT NO. 19990028086 AMENDED BY DOCUMENT NO. 19990090182 AND RE-RECORDED AS DOCUMENT NO. 20011014756.

TRACT 3
NON-EXCLUSIVE ACCESS EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN ACCESS EASEMENT FILED MAY 22, 2008 AS DOCUMENT NO. 2008E005156.

ITEMS 8, 9, 12, 13, 14, 15, 18, 19 AND 23 FROM THE SCHEDULE B, PART II EXCEPTIONS FROM THE ALTA COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT:

8. EASEMENTS, RESTRICTIONS AND SETBACK LINES, AS PER PLAT, RECORDED AS DOCUMENT NO. 19990022114. SHOWN HEREON.

EASEMENTS, RESTRICTIONS AND SETBACK LINES, AS SET FORTH ON THE RECORDED PLAT FILED DECEMBER 14, 2018 AS DOCUMENT NO. 2018E0106514 IN BOOK 180, PAGES 49-50. SHOWN HEREON.

AS AMENDED BY AFFIDAVIT RECORDED DECEMBER 27, 2018 AS DOCUMENT NO. 2018E0109503. SHOWN HEREON.

9. EASEMENT GRANTED TO MISSOURI PUBLIC SERVICE CORPORATION, A DELAWARE CORPORATION, BY THE INSTRUMENT RECORDED AS DOCUMENT NO. 565541 IN BOOK 862, PAGE 453, SHOWN HEREON.

12. EASEMENT GRANTED TO MISSOURI PUBLIC SERVICE CORPORATION, A DELAWARE CORPORATION, BY THE INSTRUMENT RECORDED AS DOCUMENT NO. 1788957 IN BOOK 11673, PAGE 1422, SHOWN HEREON.

13. TERMS AND PROVISIONS OF THE RESTRICTIONS CONTAINED IN THE INSTRUMENT RECORDED AS DOCUMENT NO. 98-1-44075 IN BOOK 13213, PAGE 914 CORRECTED BY DOCUMENT NO. 20020087160. LIES WITHIN THE BOUNDARY DESCRIBED.

14. DEDICATION OF ROADWAY/ACCESS EASEMENT FILED APRIL 16, 1999 AS DOCUMENT NO. 19990028086 AMENDED BY DOCUMENT NO. 19990090182 AND RE-RECORDED AS DOCUMENT NO. 20011014756. SHOWN HEREON.

15. RESTRICTIONS AS SET FORTH IN THE RESTRICTIVE COVENANT AGREEMENT RECORDED AS DOCUMENT NO. 19990018754. LIES WITHIN THE BOUNDARY DESCRIBED.
18. TERMS AND PROVISIONS OF AN ACCESS EASEMENT FILED MAY 22, 2008 AS DOCUMENT NO. 2008E005156. SHOWN HEREON.
19. RESERVATION IN AND TO THE OIL, GAS AND OTHER MINERALS OF EVERY NATURE ON, IN AND UNDER OR THAT BE PRODUCED FROM THE LAND AND THE TERMS AND PROVISIONS RELATED THERETO, ALL AS SET FORTH IN A SPECIAL WARRANTY DEED FROM N3 DEVELOPMENT, LTD., A TEXAS LIMITED PARTNERSHIP TO MARSHALL & ILSLEY BANK, A WISCONSIN STATE CHARTERED BANK, FILED MAY 22, 2008, AS DOCUMENT NO. 2008E005157. LIES WITHIN THE BOUNDARY DESCRIBED.
23. ABUTTER'S RIGHT OF ACCESS RESERVED IN QUITCLAIM DEED BY THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION RECORDED APRIL 24, 2018 AS DOCUMENT NO. 2018E0035156. SHOWN HEREON. SEE NOTE.
- TABLE A:
- MONUMENTS HAVE BEEN PLACED OR FOUND AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY.
 - ADDRESSES SHOWN HEREON HAVE BEEN TAKEN FROM THE JACKSON COUNTY ASSESSOR.
 - THIS PROPERTY IS DESIGNATED AS ZONE X, ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 29095C0430G, DATE JANUARY 20, 2017, AS CLEAR.
 - THE GROSS LAND AREA OF CHAPEL RIDGE, LOT 7B-1 CONTAINS 0.93 ACRES, MORE OR LESS.
 - VERTICAL RELIEF BASED ON MGRS STATION JA-134, EL=969.81 NAVD 1988.
 - NO BUILDINGS OBSERVED.
 - SUBSTANTIAL FEATURES ARE SHOWN HEREON.
 - NO PARKING SPACES WERE OBSERVED.
 - OBSERVED EVIDENCE OF UTILITIES TOGETHER WITH EVIDENCE FROM PLANS FROM APPROPRIATE SOURCES HAS BEEN SHOWN HEREON. MISSOURI ONE-CALL WAS CONTACTED, TICKET NUMBER 190092705 INDICATING THAT SPIRE MO WEST, THE CITY OF LEE'S SUMMIT AND CENTURYLINK FIBER WERE MARKED, ALL OTHERS NOTED AS CLEAR.
 - NAMES OF ADJOINING OWNERS OF PLATTED LANDS SHOWN HEREON HAVE BEEN TAKEN FROM THE JACKSON COUNTY ASSESSOR.
 - NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELDWORK.

NOTES:

ITEM NUMBER 23 IN THE SCHEDULE B, PART II EXCEPTIONS DISCLOSED DOCUMENT 2018E0035156 A QUITCLAIM DEED, WHICH RESERVES ABUTTER'S RIGHT OF NO ACCESS TO ROUTE I-470 AND WOODS CHAPEL ROAD AND FOR KNOWN OR UNKNOWN UTILITY FACILITIES CURRENTLY LOCATED WITHIN THE AREA OF THE QUITCLAIM DEED.

THE EASEMENT THAT DESCRIBES TRACT 2 PURPORTS TO DEDICATE AN EASEMENT TO FUTURE OWNERS FROM THE OWNER.

BEARINGS SHOWN HEREON ARE BASED ON MISSOURI STATE PLANE COORDINATES 1983 FROM MGRS STATION JA-134. N=312470.096M E=862368.275M GRID FACTOR=0.9999018 DATE OF ADJUSTMENT=2003

THIS ALTA/NSPS LAND TITLE SURVEY WAS MADE FOR THE EXCLUSIVE USE OF BRUNGARDT HONOMICHL & COMPANY, P.A. AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSONS OR LEGAL ENTITIES WITHOUT WRITTEN CERTIFICATION EXPRESSLY NAMING THOSE PERSONS OR LEGAL ENTITIES.

THIS SURVEY WAS BASED ON THE COMMITMENT FOR TITLE INSURANCE FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO: NCS-924722-KCTY, DATED DECEMBER 18, 2018, SEVENTH AMENDMENT.

TO: BRUNGARDT HONOMICHL & COMPANY, P.A. AND FIRST AMERICAN TITLE INSURANCE COMPANY, THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 8, 9, 11, 13 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 20, 2019. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS. TYPE URBAN. DIGITAL MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT. ONLY A SIGNED AND SEALED DRAWING IS TO BE CONSIDERED THE ORIGINAL DOCUMENT.

MCLAUGHLIN MUELLER, INC.
Professional Land Surveyors
218 West Mill Street
Liberty, MO 64068
PH 816-407-0002 FX 816-407-0003
Corporation LS 1999141096

Designed By: MAM
Drawn By: MTW
Checked By: MAM
Approved By: MAM
Date: APRIL 4, 2019

ALTA/NSPS, CHAPEL RIDGE, LOT 7B-1, 851 N.E. WOODS CHAPEL ROAD,
SECTION 17, T48N, R31W, LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY
THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT.
MARTIN MUELLER, PLS 2487

LEGEND

Proposed Line Types and Symbols shown. Existing Line Types and Symbols shall be the same, but screened, unless designated otherwise by the inclusion of a survey by others.

●	Set Survey Monument	STH	Storm Sewer Line
●	Set Survey Monument (in concrete)	SM	Storm Sewer Manhole
○	Found Survey Monument	CI	Curb Inlet
○	Found Survey Monument in Box	FI	Field Inlet
(O.U.)	Origin Unknown	JB	Junction Box
△	Found Right-of-Way Marker	GI	Grate Inlet
▲	Control Point	GR	Grate Inlet (Round/Domed)
◆	Benchmark	ES	End Section
■	Set Hub	HW	Headwall
---	Overhead Utility Line(s)	DS	Down Spout
---	Underground Electric Line Marker	RD	Roof Drain
---	Underground Electric Line	CMP	Corrugated Metal Pipe
---	Underground KCP&L Line (e.g.)	CMP	Corrugated Metal Arch Pipe
○	Utility Pole	CPP	Corrugated Plastic Pipe
○	Utility Pole with Transformer	HDPPE	High Density Polyethylene Pipe
○	Guy Anchor	RCP	Reinforced Concrete Pipe
○	Utility Pole w/Light & arm	RCP	Reinforced Concrete Arch Pipe
○	Street Light Pole w/ arm	RCS	Reinforced Concrete Box
○	Street Light Pole (14')	RES	Raised End Section
○	Electric Pedestal (above ground)	FES	Pipe Continues-Outlet or Source Not Found or Not Surveyed
○	Electric Meter	□	Wood Fence
○	Electric Access Vault (underground)	□	Chain Link Fence
○	Electric Access Box (mounted)	□	Wire Fence (with or without barb)
○	Electric Manhole	□	Barbed Wire Fence
○	Electric Pull Box (underground)	□	Plastic Fence
○	Transformer (pad mounted)	□	Iron or Metal Fence
○	Yard Light	○	Gate Post
○	Air Conditioner Unit	—	Retaining Wall
---	Water Line	—	Single Pole Sign
---	Water Service Line	—	Single Pole Sign
---	Underground Water Line Marker	—	Double Pole Sign
---	Water Valve	—	Railroad Crossing Gate
---	Fire Hydrant	—	Railroad Switch Machine
---	Fire Hydrant Assembly	—	Railroad Tracks
---	Water Meter	—	Wheel Stop
---	Water Manhole	—	ADA Parking Stall
---	Water Vault (underground)	—	ADA Detection Warning Pad
---	Sprinkler Control Box	—	Bush
---	Sprinkler Head	—	Deciduous Tree and Size (Scaled for Size)
---	Yard Hydrant	—	Coniferous Tree and Size (Scaled for Size)
---	Backflow Valve (BFV)	—	Tree Stump
---	Backflow Preventer (BFP)	—	Foliage Drip Line/Edge of Timber
---	Blow-Off Assembly	—	Hedge
---	Gas Line	—	Center Line
---	Gas Service Line	—	PL Property Line
---	Underground Spire Line (e.g.)	—	R/W Right-of-Way Line
---	Underground Gas Line Marker	—	R= Radius
---	Gas Manhole or Access Lid	—	L= Arc Length
---	Gas Valve	—	CB Chord Bearing
---	Regulator Unit	—	CD Chord Distance
---	Gas Meter	—	Δ Interior Angle (Delta)
---	Casing Vent	—	I.T.B. Initial Tangent Bearing
---	Underground Pipe Line (High Capacity)	—	R/W Right-of-Way
---	Underground Pipe Line Marker	—	(M) Monumented
---	Underground Telephone Line	—	(m) Measured
---	Underground AT&T Line (e.g.)	—	(D) Deeded
---	Underground Telephone Line Marker	—	(P) Platted
---	Telephone Pedestal (above ground)	—	(C) Calculated
---	Telephone Manhole	—	(CR) Calculated from Record Dimensions
---	Telephone Access Vault (underground)	—	(CM) Calculated from Found Monuments
---	Telephone Access Box (mounted)	—	(PR) Proportioned
---	Underground Fiber Optic Line	—	BK. Book
---	Underground Fiber Optic Line Marker	—	PG. Page
---	Fiber Optic Pedestal	—	DOC. Document Number
---	Fiber Optic Manhole	—	INS. Instrument Number
---	Fiber Optic Vault (underground)	—	VOL. Volume
---	Fiber Optic Pedestal on top of Vault	—	ESMT. Easement
---	Traffic Signal Post w/ Mast Arm	—	B/L Building Setback Line
---	Pedestrian Signal Pole	—	U/E Utility Easement
---	Traffic Control Manhole	—	D/E Drainage Easement
---	Traffic Control Cabinet	—	ST/E Storm Sewer Easement
---	Traffic Control Vault (underground)	—	S/E Sanitary Sewer Easement
---	Underground Cable TV Line	—	IE/E Ingress/Egress Easement
---	Underground Spectrum Line (e.g.)	—	TC/E Temporary Construction Easement
---	Underground Cable TV Marker	—	SQ. FT. Square Feet
---	Cable TV Pedestal (above ground)	—	AC Acres
---	Manhole-Unknown Purpose	—	CY Cubic Yard
---	Grease Trap Access Lid	—	LF Linear Feet
---	Monitoring Well	—	CO. Company
---	Bore Hole	—	L/S Landscaping (Bushes, Trees, Flowers, Border, Mulch, any or all of them)
---	Fill Lid (for Underground Tank)	—	ASPH Asphalt
---	Sanitary Sewer Line	—	CONC Concrete
---	Sanitary Sewer Service Line	—	COR Corner
---	Sanitary Sewer Manhole	—	R.WALL Retaining Wall
---	Clean-out	—	STA. Station
---	Vitrified Clay Pipe	—	LT Left
---	Ductile Iron Pipe	—	RT Right
---	Polyvinyl Chloride Pipe	—	PI Point of Intersection
---	Cast Iron Pipe	—	PC Point of Curve
---	Underground Utility Line Marker	—	PT Point of Tangent
---	Metal Guard Rail or Handrail	—	NTS Not To Scale
---	Flag Pole	—	NTS Not To Scale
---	Satellite Dish	—	
---	Mailbox	—	
---	Concrete or Metal Bollard	—	
---	Wood Bollard or Wood Post	—	

LEGAL DESCRIPTION

CHAPEL RIDGE LOT 7B-1

SURVEY NOTES

- Bearings shown here are based on Missouri State Plane Coordinates 1983 from MGRS station JA-134. N=312470.096m E=862368.275m grid factor=0.9999018 date of adjustment=2003
- This Tract contains 40,528 square feet or 0.93 acres.
- Contours are shown at 1 foot intervals.
- Based on record research and field exploration, there were no oil or gas wells located on site.

UTILITY NOTES

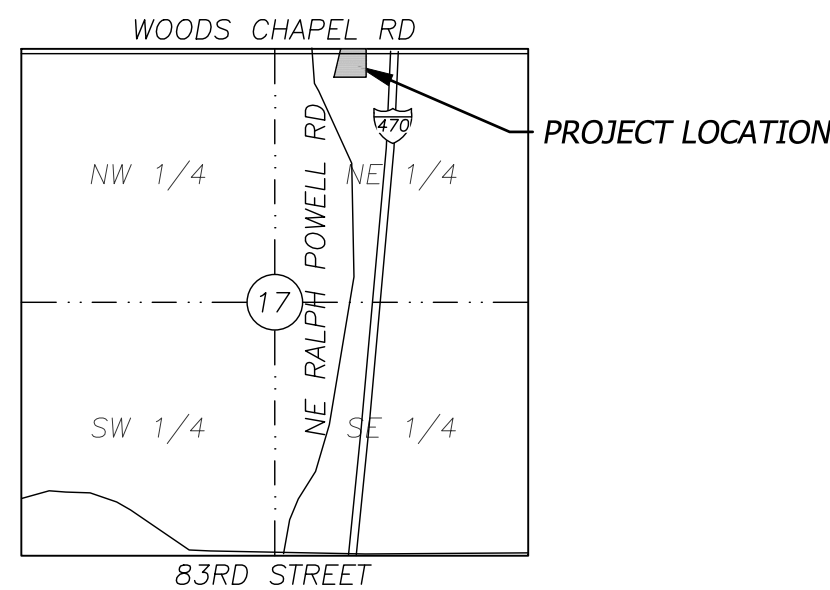
The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

FLOOD STATEMENT

The subject property lies within Flood Zone X, as shown on the JACKSON COUNTY, MISSOURI Flood Insurance Rate Map (F.I.R.M.).

Map Number: 29095C0430G
Effective Date: 01/20/2017

NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.



SECTION MAP

SCALE: 1" = 2000'
SECTION 18-T14S-R25E
JOHNSON COUNTY, KANSAS

GENERAL NOTES

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Lee's Summit, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of an Topographic Survey prepared by McLaughlin Mueller, Inc. and dated April 4, 2019. BHC Rhodes makes no guarantees as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- Unless specified otherwise, all construction shall meet the requirements of the City of Lee's Summit's Design and Construction Manual, except as modified by these plans.

Rev.	Date	Description
1	9/6/19	Sheet Re-issued
2	8/21/19	Sheet Re-issued
3		



BHC RHODES
Civil Engineering • Surveying • Utilities
7101 College Blvd., Suite 400
Overland Park, Kansas 66210
P: (913) 662-1900 F: (913) 662-1633
BHC excess is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

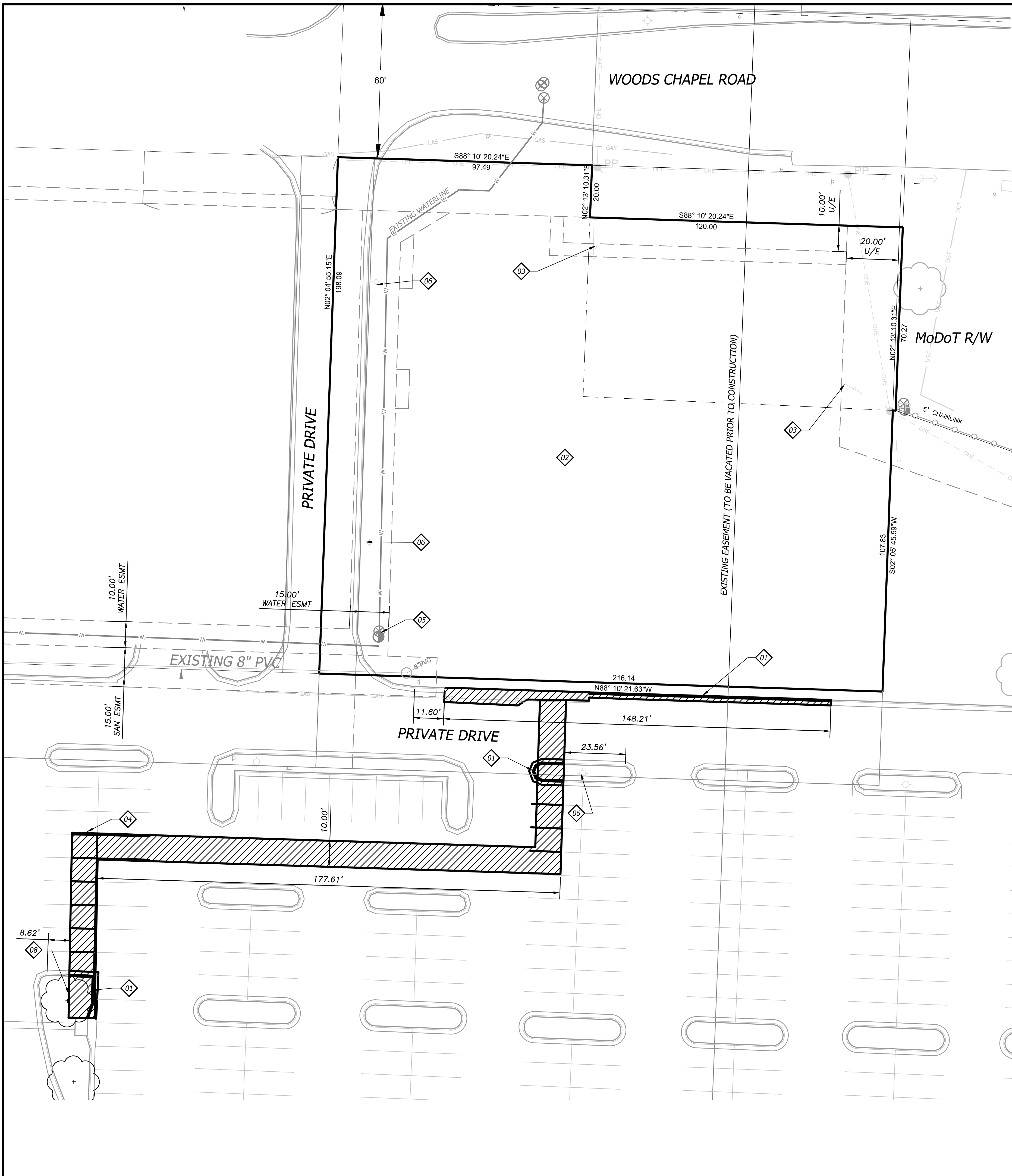
Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
GENERAL INFORMATION

Design: MGG Drawn: MGG
Checked: MSS
Issue Date:
Project Number: 026040.08

C0.0

Sep 06, 2019 - 10:37am Plotted By: mchd.gibbs V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Sheet\FDP_Sht\026040.08-SHFS-FDP-04.DWG Layout: Demo Plan

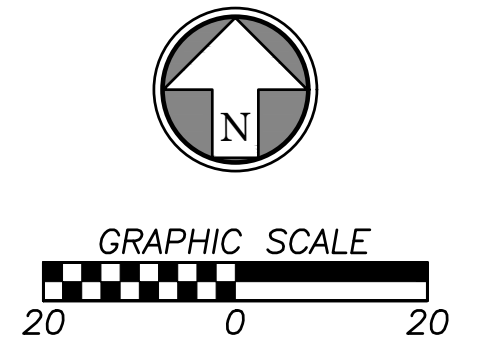


GENERAL NOTES

- All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- All protection fencing shall be installed prior to demolition/construction activity.
- Contractor shall verify location of all utilities prior to any excavation or construction activity.
- Ensure demolition and construction activity has minimal impact on the operations of adjacent property owners.
- All offsite disturbed areas shall be restored to pre-construction condition or as directed and agreed upon by property owner and First Street Development

DEMOLITION NOTES

- SAW CUT AND REMOVE EXISTING CURB FOR LIMITS SHOWN
- CLEAR, GRUB AND PREPARE SITE PER RECOMMENDATIONS OF GEOTECHNICAL REPORT
- CONTRACTOR TO COORDINATE REMOVAL/REALIGNMENT OF GUY WIRES WITH KCP&L PRIOR TO GRADING OPERATIONS NEAR UTILITY EASEMENT
- LIMITS OF OFFSITE DEMOLITION FOR STORM SEWER SHOWN FOR REFERENCE ONLY. SEE DETAIL ON SHEET C11.0 FOR PAVEMENT PATCH/TRENCH DETAIL AND SPECIFICATIONS. SEE GENERAL NOTE 5 ON THIS SHEET FOR MORE INFORMATION.
- DO NOT DISTURB EXISTING HYDRANT
- DO NOT DISTURB EXISTING LIGHT POLES OR ELECTRICAL CONDUIT/WIRING
- NOT USED
- EXISTING TREE TO BE REMOVED FOR STORM CONSTRUCTION



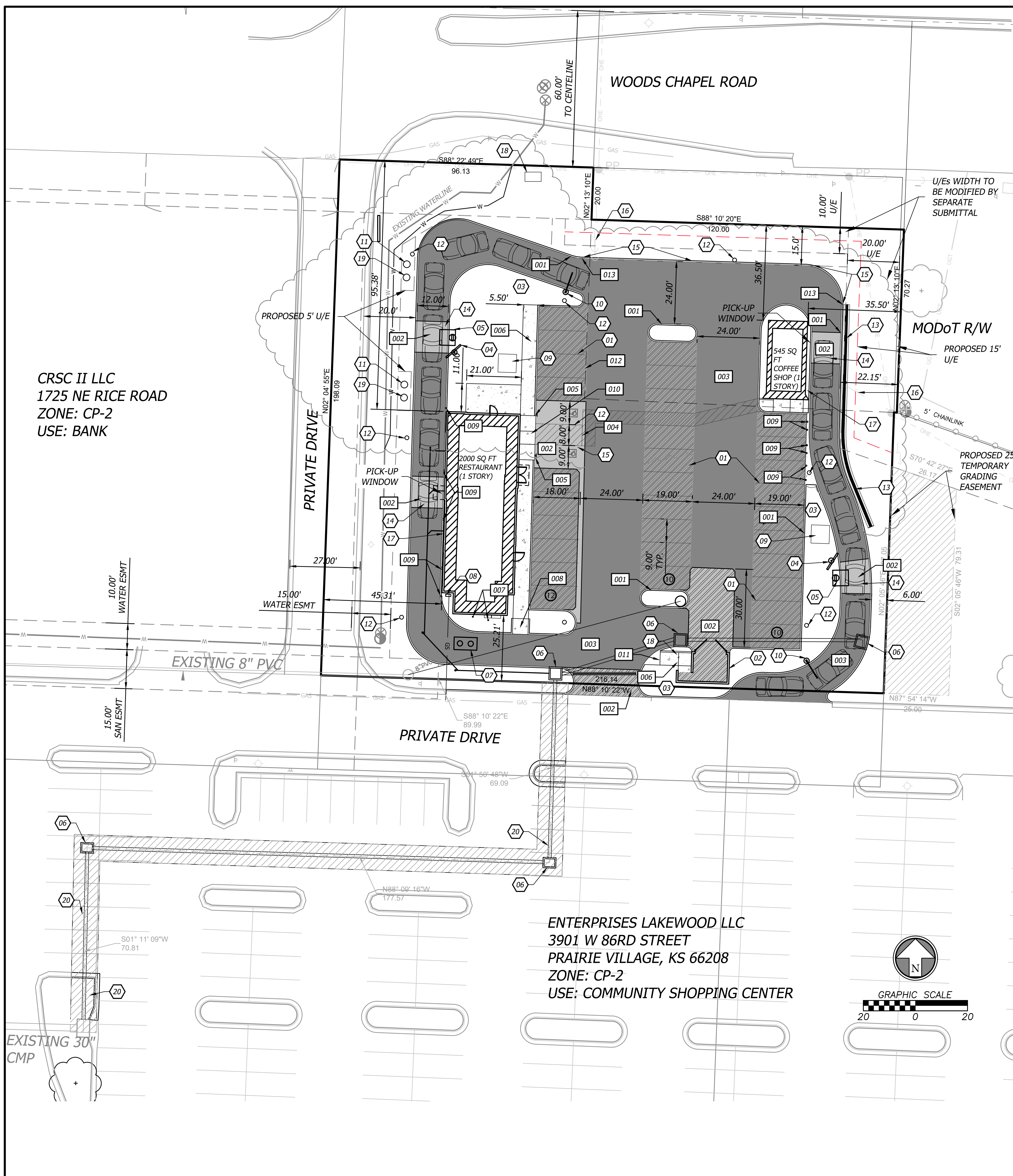
<p>TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN</p>	<p>DEMOLITION PLAN</p>
C1.0	Design: MGG Drawn: MGG Checked: MSS Issue Date: Project Number: 026040.08

Mark S. Sherry
 Missouri Professional Engineer
 No. PE-2017010253
 09/06/2019

BHC RHODES
 Civil Engineering • Surveying • Utilities
 7101 College Blvd., Suite 400
 Overland Park, Kansas 66210
 P: (913) 663-1900 F: (913) 663-1633
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 Certificate of Authority Number: MO# E-1355-F

Rev.	Date	Description	By	App.
3	9/6/19	Sheet Re-issued	MGG	MSS
2	8/21/19	FDP Comments/Site VE Items		

Sep 06, 2019 - 10:37am Plotted By: mchd.abbas V:\026040-08-Final Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Site\026040.08-SITE-FDP-SITE.dwg Layout: Site Plan



SITE DATA

TOTAL FLOOR AREA: 2,545 SQ FT
 TACO BELL 2,000 SQ FT
 DRIVE-THRU COFFEE (NO SIT-DOWN) 545 SQ FT
 SITE AREA: 40,528 SQ FT (± 0.93 ACRES)
 DISTURBED AREA: 44,361 SQ FT (± 1.02 ACRES)

PARKING DATA

CITY REQUIREMENTS-
 RESTAURANT (FAST FOOD AND SIT-DOWN) 28 STALLS
 14 SPACES REQUIRED FOR EACH 1000 SF OF GROSS FLOOR AREA
 COFFEE SHOP 4 STALLS
 2 SPACES PER BUILDING, 1 PER EACH EMPLOYEE MAX SHIFT (2 MAX SHIFT)

STALLS REQUIRED 32
 TOTAL STALLS PROVIDED 32

STANDARD STALLS PROVIDED 2 (1 VAN)
 ADA ACCESSIBLE STALLS REQUIRED

STACKING REQUIRED 4 CARS FROM MENU BOARD
 STACKING PROVIDED 4 CARS FROM MENU BOARD

IMPERVIOUS AREA: 26,788 SQ FT
 FLOOR AREA RATIO: 0.063

ZONING: CP-2
 WATERSHED (HUC12): MAY BROOK-LITTLE BLUE RIVER

CONSTRUCTION NOTES

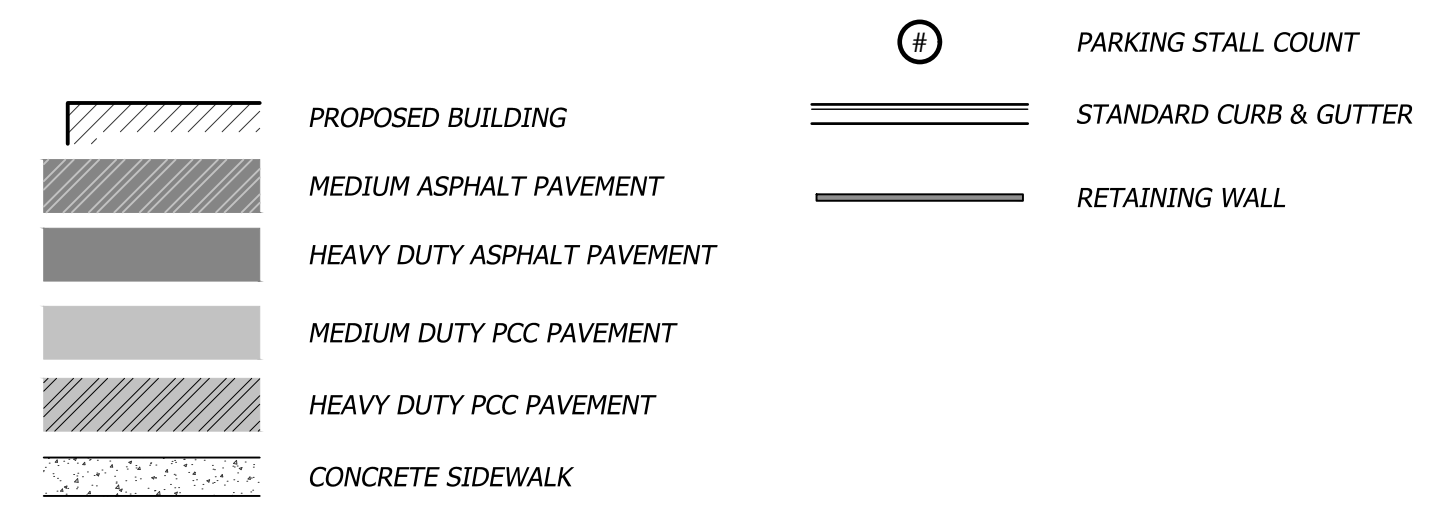
- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT STRIPING. COORDINATE WITH ARCHITECT AND DEVELOPER PRIOR TO CONSTRUCTION.
- 02 DUMPSTER ENCLOSURE. SEE SHEET A9.0
- 03 LANDSCAPING AREA. SEE SHEET L1.0
- 04 MENU BOARD
- 05 SPEAKER BOX
- 06 PROPOSED STORM STRUCTURES. SEE SHEET C6.0 & C7.0
- 07 1000 GALLON TRAFFIC RATED GREASE INTERCEPTOR. SEE SHEET C5.0 & C5.1 FOR MORE INFORMATION.
- 08 GAS METER
- 09 TRANSFORMER PAD. SEE SHEET C5.0
- 10 CLEARANCE BAR
- 11 WATER METER. SEE SHEET C5.0
- 12 LIGHT POLE
- 13 PROPOSED VERSA-LOK RETAINING WALL. MAXIMUM 30" EXPOSED HEIGHT.
- 14 CURB AND GUTTER ADJACENT TO CONCRETE PARKING PAVEMENT SHALL BE POURED INTEGRAL.
- 15 CONCRETE CURB WALL. SEE DETAIL ON SHEET C9.3
- 16 EXISTING GUY WIRES TO BE RELOCATED.
- 17 BACK OF CURB ALONG DRIVE-THRU, ADJACENT TO BUILDING SHALL EXTEND BACK TO FOOTING
- 18 KCP&L SECTIONALIZER
- 19 IRRIGATION METER
- 20 OFFSITE STORM SEWER EXTENSION. SEE SHEET C11.0

DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C9.0-C9.3

- 001 CONCRETE CURB (CITY STANDARD)
- 002 P.C.C. PAVEMENT SECTION
- 003 ASPHALT PAVEMENT SECTION
- 004 (ADA) ACCESSIBLE PARKING STRIPING
- 005 (ADA) ACCESSIBLE PARKING SIGNAGE
- 006 CONCRETE SIDEWALK SECTION
- 007 SANITARY SEWER CLEANOUT
- 008 TYPE "A" SIDEWALK RAMP
- 009 STEEL/CONCRETE BOLLARD
- 010 TYPE "B" SIDEWALK RAMP
- 011 TYPE "C" SIDEWALK RAMP
- 012 VALLEY GUTTER
- 013 CONCRETE CURB WALL

SITE LEGEND



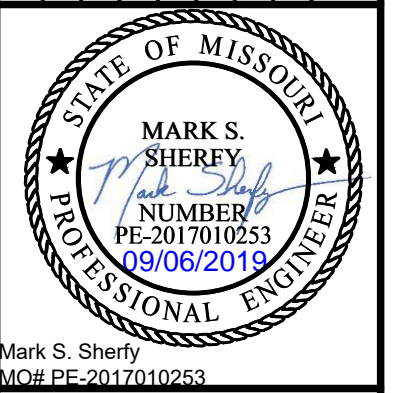
DEVELOPER

FIRST STREET DEVELOPMENT
 2929 E CAMELBACK ROAD, SUITE 116
 PHOENIX, AZ 85016
 PH: (602) 714-3099
 CONTACT: CHRIS CZYZ

PROPERTY OWNER

FSD WOODS CHAPEL LLC
 851 NE WOODS CHAPEL ROAD
 LEE'S SUMMIT, MO 64064

Rev	Date	Description
3	9/6/19	Sheet Re-issued
2	8/21/19	FDP Comments/Site UE Items
		MSS
		MGG
		By
		App.



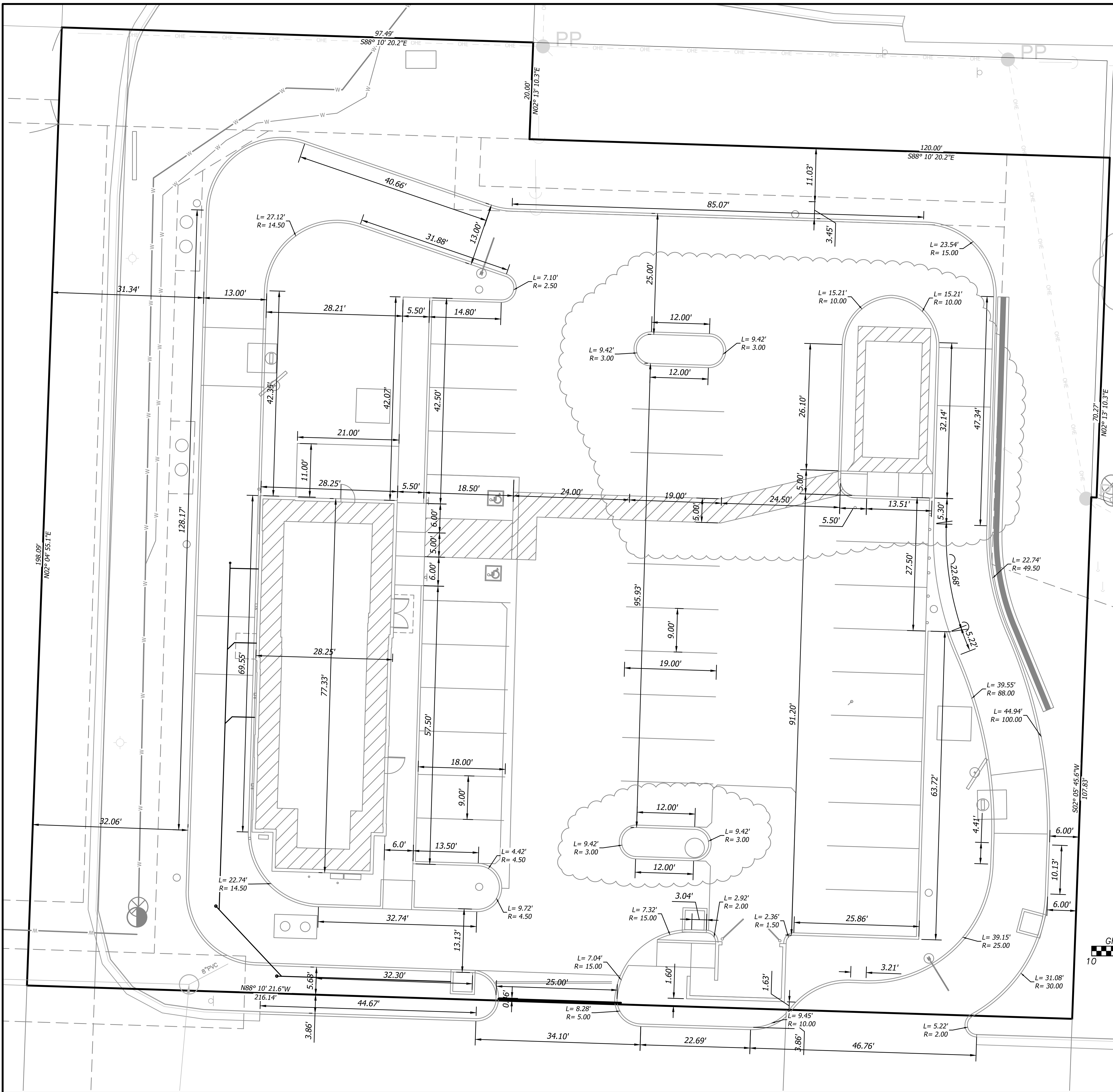
BHC RHODES
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 P: (913) 463-1900 F: (913) 663-1633
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 Certificate of Authority Number: MO# E-1355-F

Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
SITE PLAN

Design: MGG | Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

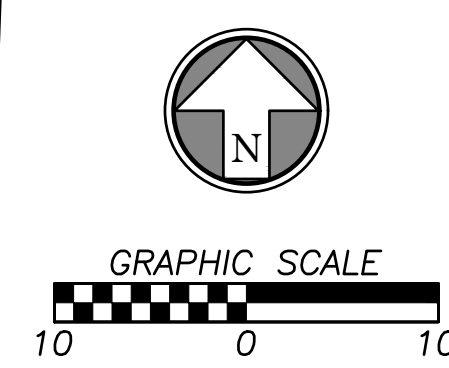
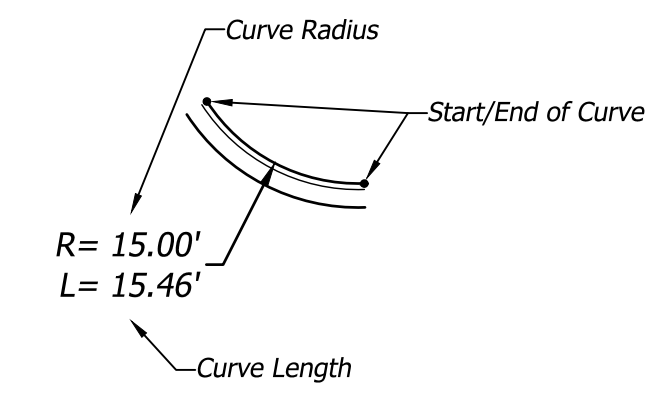
C2.0



DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

DIMENSION LEGEND



Rev	Date	Description	By	App.
1				
2	8/21/19	FDP Comments/Site VE Items	MGG	
3	9/06/19	Sheet Re-issued	MGG	



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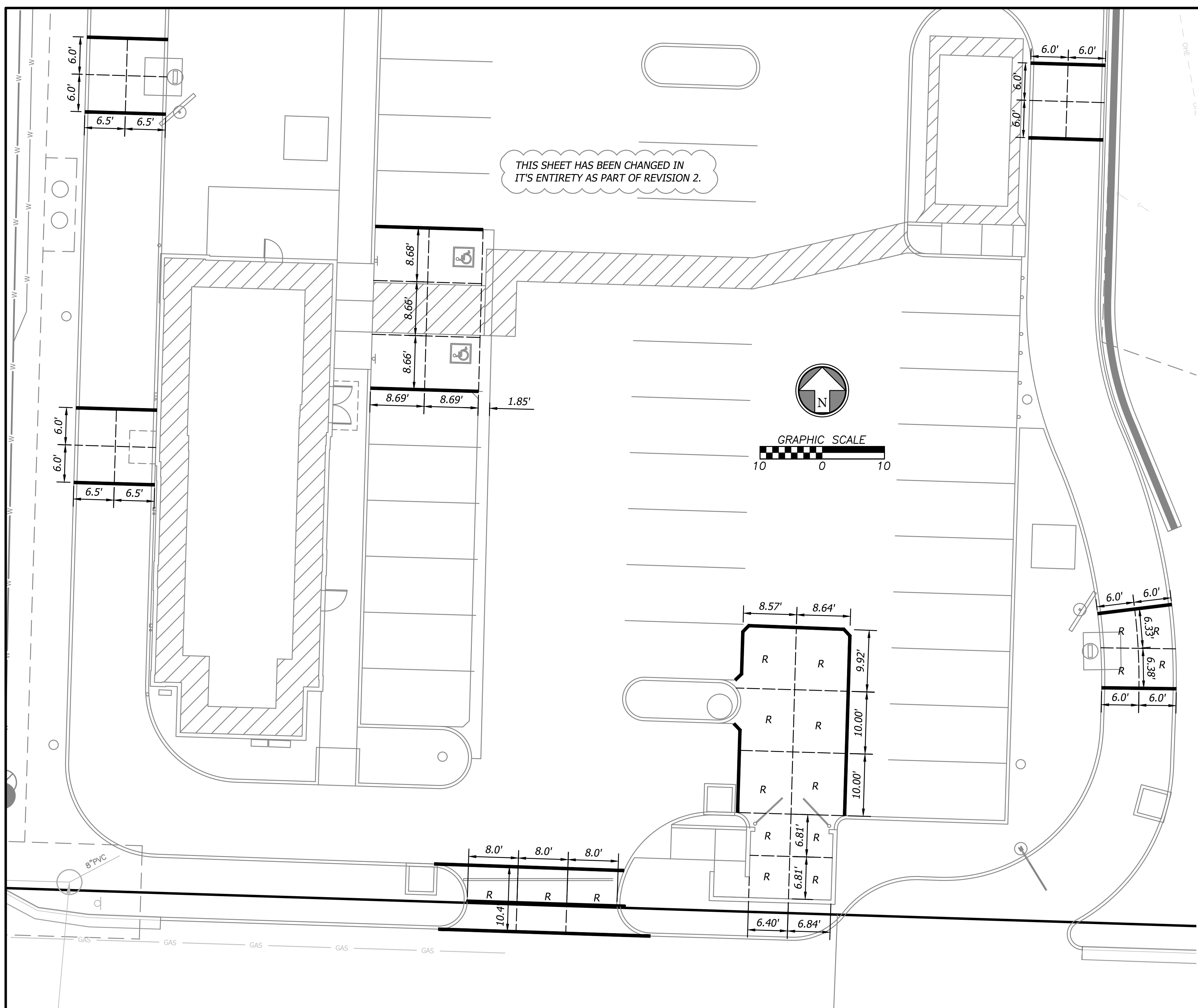
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

**TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 DIMENSION PLAN**

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

C3.0

Sep 06, 2019 - 10:38am Plotted By: mchc.ghbs V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sht\026040.08-SRFS-FDP-DIM.dwg Layout: Joints

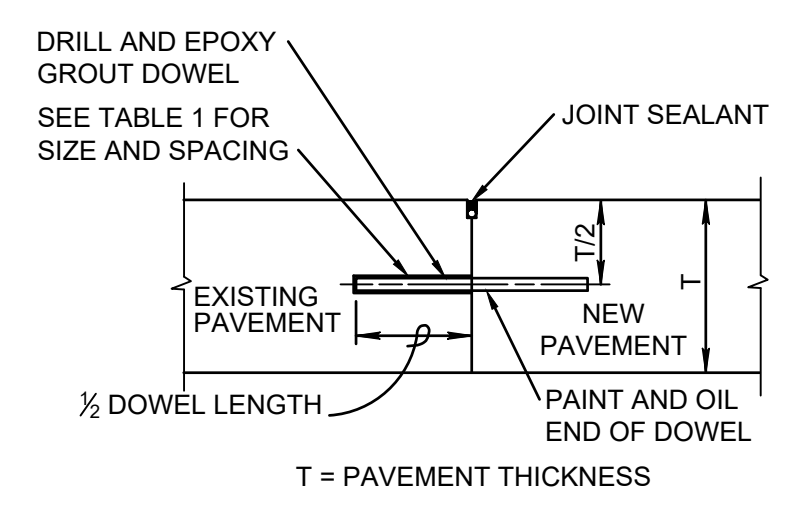


JOINTING AND DOWEL NOTES

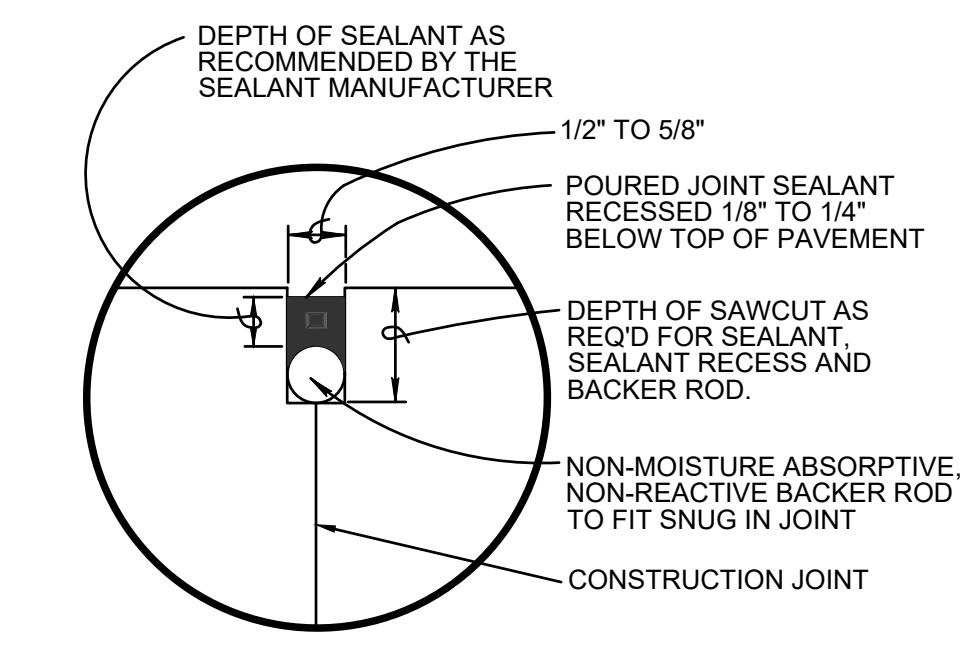
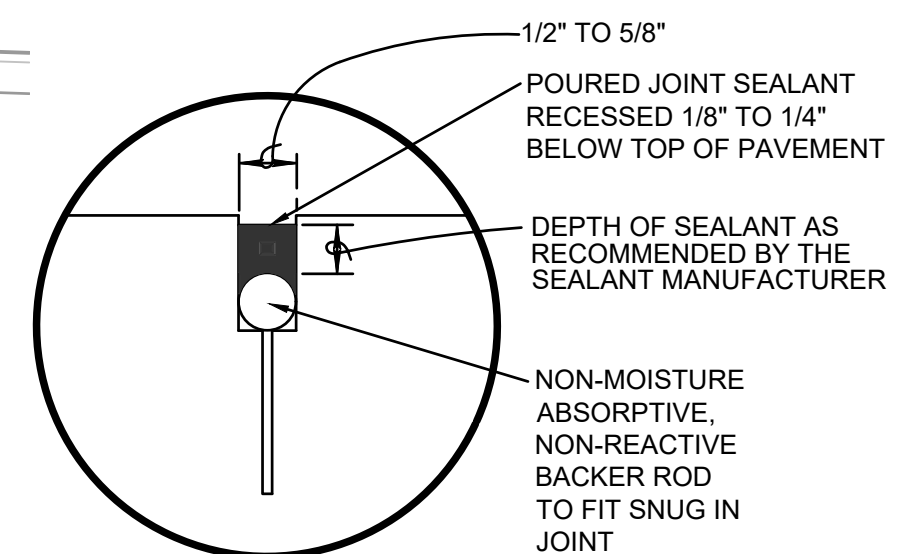
- CONSTRUCTION JOINTS SHOWN ARE RECOMMENDATIONS. CONTRACTOR TO DETERMINE IF ALTERATIONS ARE NEEDED PER CONSTRUCTION SCHEDULE AND METHODS.
- WIDTH TO LENGTH RATIO TO NOT EXCEED 1.25 TIMES
- SLABS MARKED "R" SHALL BE REINFORCED WITH STEEL WELDED WIRE FABRIC OF THE SIZES SHOWN IN TABLE 2. OTHER WWF SIZES MAY BE USED PROVIDED THE STEEL AREA (SQ INCHES/FOOT) IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IS EQUAL TO OR EXCEEDS THAT SHOWN IN TABLE 2.
- EPOXY COATED DOWEL BARS SHALL BE DRILLED 9" DEEP (9" IN EXISTING PAVEMENT AND 9" INTO PROPOSED PAVEMENT), 12" ON CENTER OF THE VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG, CLEAN HOLES THROUGH OUT
- DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE
- DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION
- ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT
- FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER
- INSTALL CLOSED CELL BACKER RODS AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS
- AREA'S WHERE SIDEWALK ABUTS CURB, EITHER ISOLATION JOINTS WITH FELT EXPANSION MATERIAL SHALL BE USED OR SAWCUTS IN CURB SHALL BE IN LINE WITH CURB CUTS OF SIDEWALK
- INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH
- JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

LEGEND

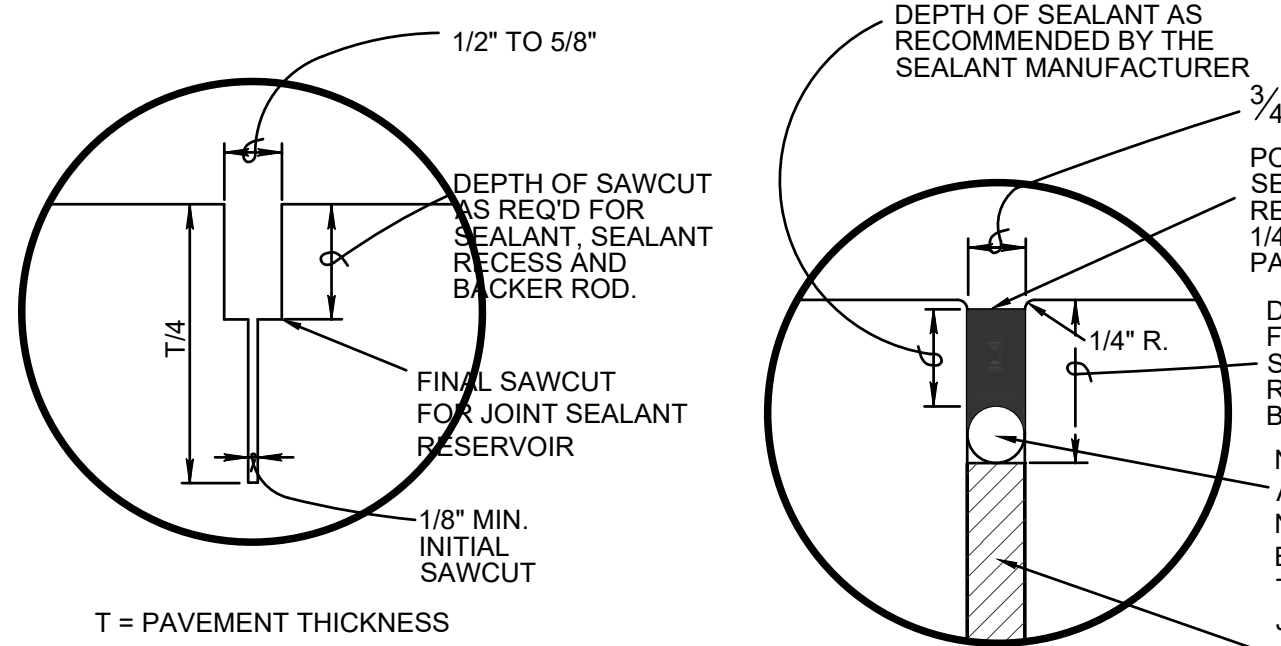
- PROPERTY LINE
- SS — EXISTING SANITARY SEWER MAIN
- — EXISTING STORM SEWER MAIN
- GAS — EXISTING GAS MAIN
- W — EXISTING WATER MAIN
- UGE — EXISTING UNDERGROUND ELECTRIC
- CONCRETE CURB AND GUTTER
- - - ISOLATION JOINT
- - - CONTRACTION JOINT
- THICKENED EDGE



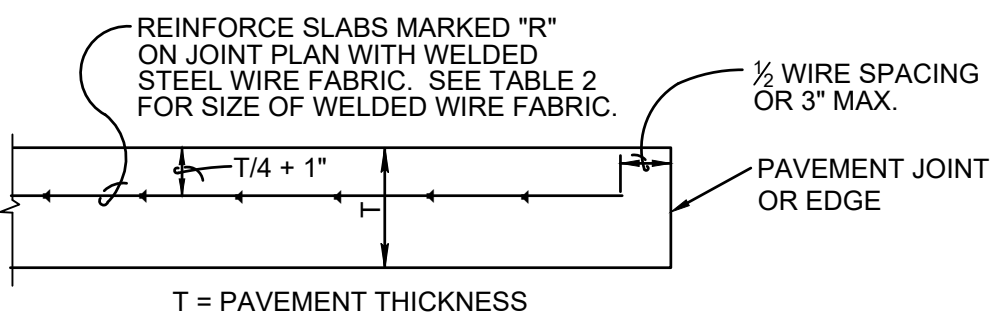
DOWELED JOINT BETWEEN NEW & EXISTING PAVEMENT



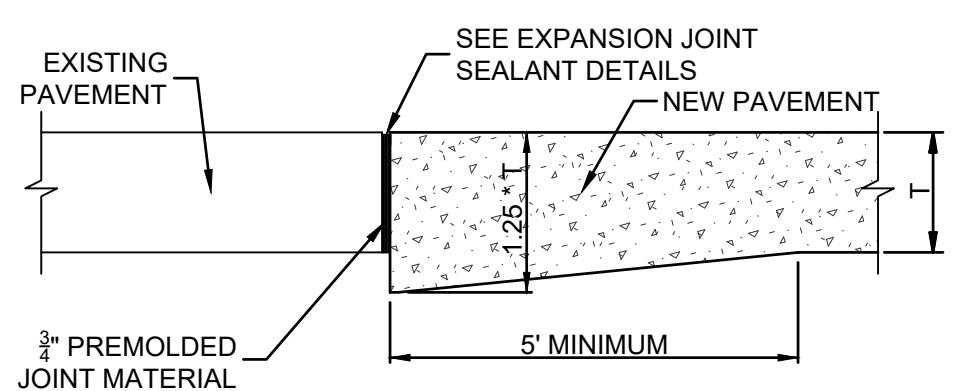
COMPLETED CONSTRUCTION JOINT SEALANT DETAIL



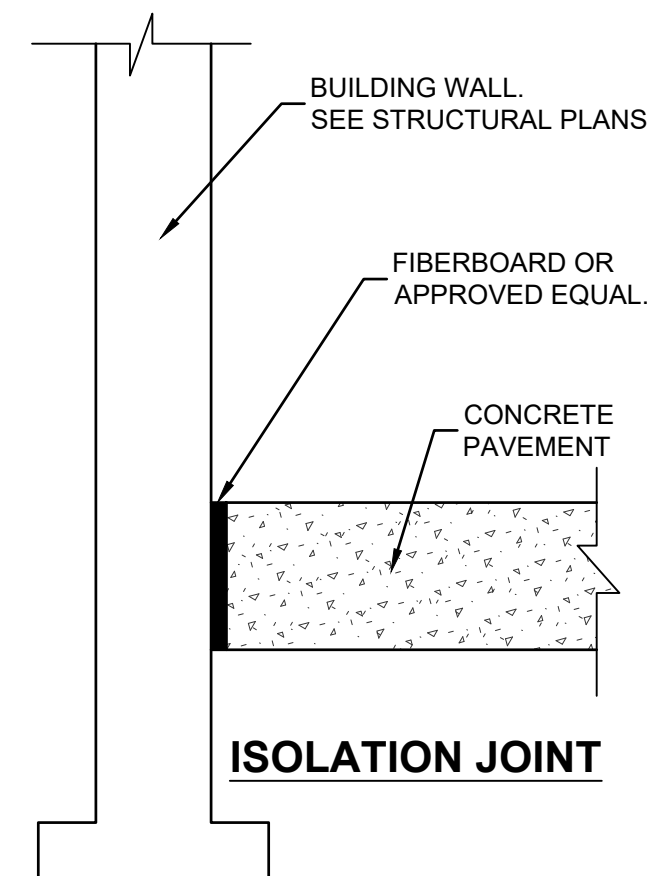
COMPLETED EXPANSION JOINT SEALANT DETAIL



SLAB REINFORCING DETAIL



THICKENED EDGE EXPANSION JOINT



ISOLATION JOINT

TABLE 1

PAVEMENT THICKNESS	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8"	12"	16"	3/4"
8" TO 11"	12"	16"	1"
12" TO 15"	15"	20"	1-1/4"

TABLE 2

PAVEMENT THICKNESS	MINIMUM REQUIRED AREA OF STEEL (SQ. IN. / FT)	WELDED WIRE FABRIC
6"	0.036	4 x 4 - W1.4 x W1.4 6 x 6 - W2.0 x W2.0
8"	0.048	4 x 4 - W2.0 x W2.0 6 x 6 - W2.9 x W2.9

TABLE 3

PAVEMENT THICKNESS	MAXIMUM TIE BAR SPACING	MINIMUM TIE BAR LENGTH	MINIMUM TIE BAR SIZE
LESS THAN 8"	12"	16"	NO. 6
8" TO 11"	12"	16"	NO. 8

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

C3.2

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date:
 Project Number: 026040.08

Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

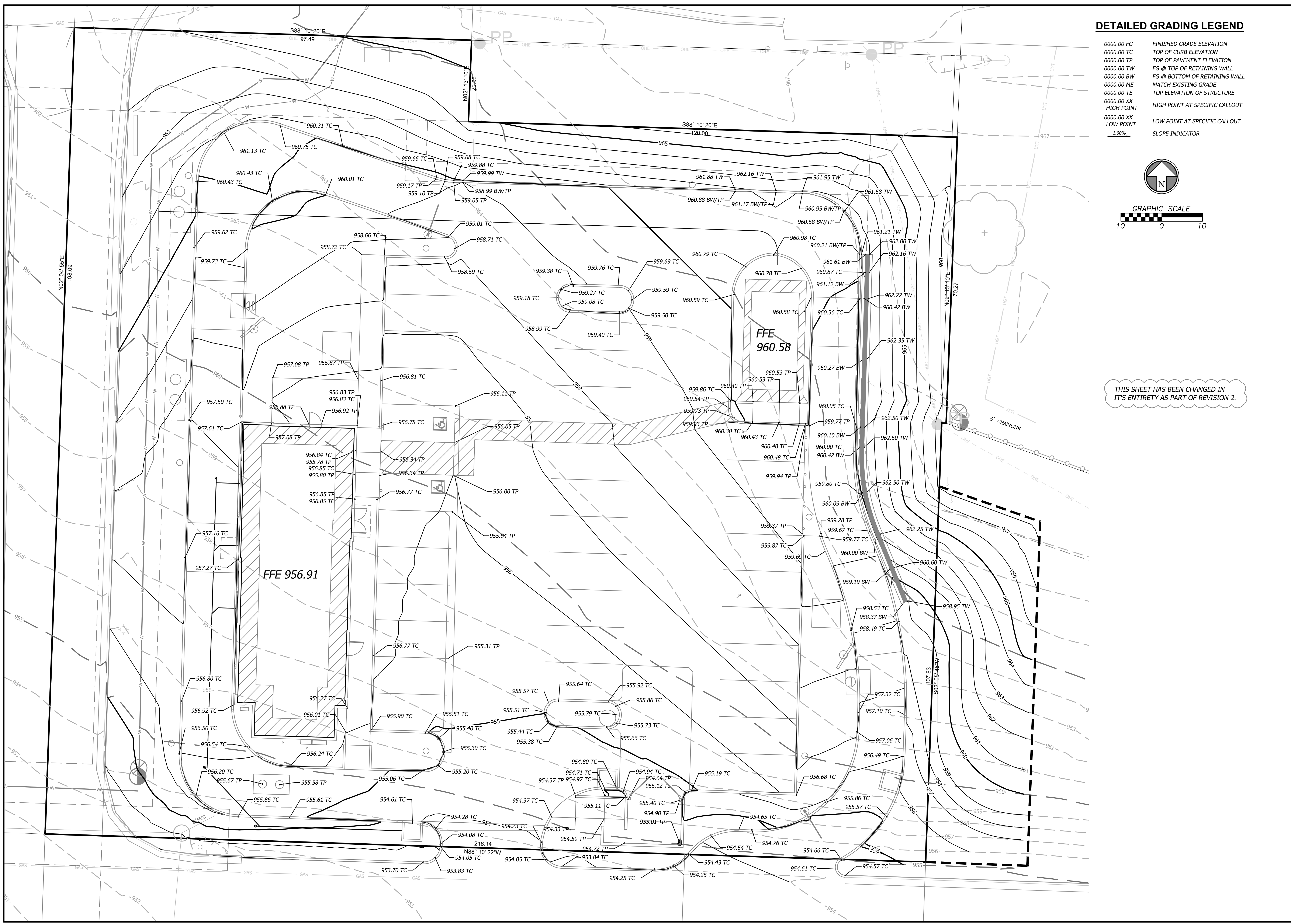
TACO BELL
 851 NE WOODS CHAPEL RD
 LEE'S SUMMIT, MISSOURI
 FINAL DEVELOPMENT PLAN
 JOINT LAYOUT PLAN

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Mark S. Sherry
 MO# PE-2017010253

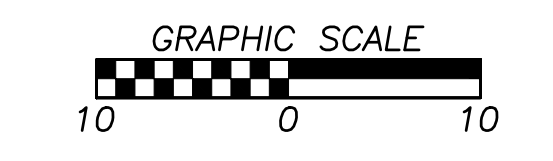
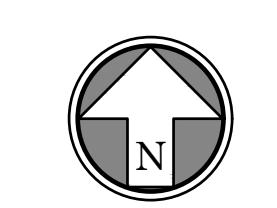
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Sep 06, 2019 - 10:38am Plotted By: mchd.gibbs V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\FDP_Sht\026040.08-SRFS-FDP-CR40.dwg Layout: Grad Detl



DETAILED GRADING LEGEND

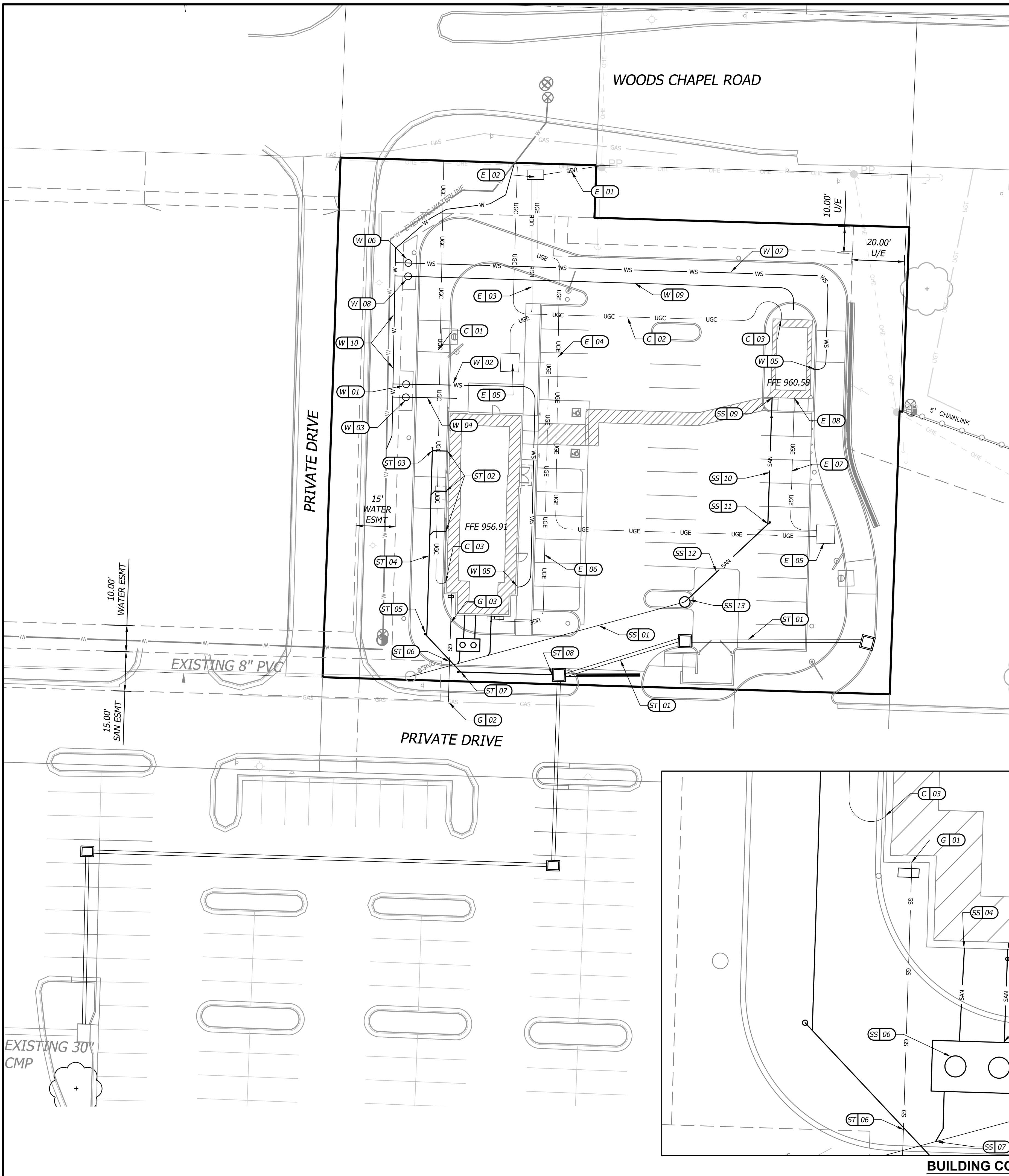
- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT AT SPECIFIC CALLOUT
- 0000.00 XX LOW POINT AT SPECIFIC CALLOUT
- 1.00% SLOPE INDICATOR



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CONSTRUCTION NOTES

- W - WATER SERVICE INFORMATION - LEES SUMMIT WATER**
- 01 INSTALL 1" DOMESTIC WATER METER FOR TACO BELL SERVICE
 - 02 INSTALL 133 LF OF 1 1/4" TYPE K COPPER TO TACO BELL BUILDING
 - 03 INSTALL 1" IRRIGATION METER FOR TACO BELL IRRIGATION SERVICE.
 - 04 INSTALL 25 LF OF 1" PVC IRRIGATION LINE FOR TACO BELL.
 - 05 CONNECT TO BUILDING SERVICE LINES. REFER TO PLUMBING PLANS
 - 06 INSTALL 1" DOMESTIC WATER METER FOR COFFEE SHOP SERVICE
 - 07 INSTALL 202 LF OF 1" TYPE K COPPER TO COFFEE SHOP BUILDING
 - 08 INSTALL 1" IRRIGATION METER FOR COFFEE SHOP IRRIGATION SERVICE.
 - 09 INSTALL 158 LF OF 1" PVC IRRIGATION LINE FOR COFFEE SHOP
 - 10 SEE PUBLIC IMPROVEMENT PLANS FOR WATER MAIN IMPROVEMENTS

- E - ELECTRIC SERVICE INFORMATION - KANSAS CITY POWER & LIGHT (KCP&L)**
- 01 INSTALL 22 L.F. OF 4" CONDUIT FROM POLE TO SECTIONALIZER PAD.
 - 02 CONSTRUCT SECTIONALIZER PAD. COORDINATE WITH KCP&L FOR EXACT LOCATION.
 - 03 INSTALL 71 L.F. OF 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED TACO BELL.
 - 04 INSTALL 236 L.F. OF P 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED COFFEE SHOP.
 - 05 INSTALL 3 PHASE PAD TRANSFORMER WITH BOLLARDS.
 - 06 INSTALL 125 L.F. 3" CONDUIT AND CONDUCTOR FOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED TACO BELL.
 - 07 CONTRACTOR TO INSTALL 58 L.F. 3" CONDUIT AND CONDUCTOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED COFFEE SHOP.
 - 08 CONNECT TO PROPOSED BUILDING SERVICE. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

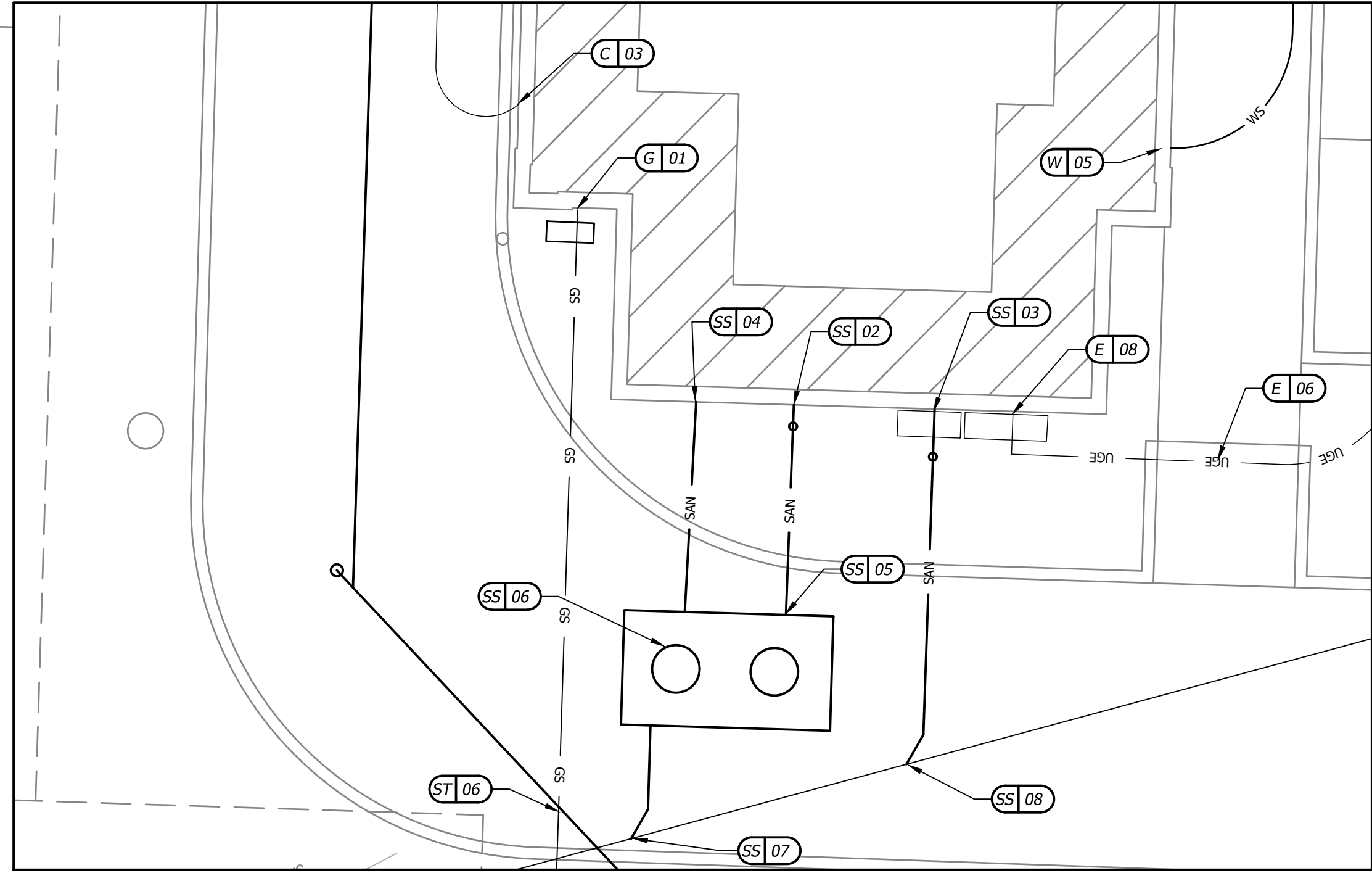
- C - COMMUNICATION SERVICE INFORMATION**
- 01 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED TACO BELL. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 - 02 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED COFFEE SHOP. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.
 - 03 CONNECT COMMUNICATIONS CONDUITS TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

- G - GAS SERVICE INFORMATION - SPIRE ENERGY**
- 01 CONNECT 2" PVC CONDUIT TO BUILDING FOR GAS SERVICE TO TACO BELL
 - 02 SPIRE ENERGY TO INSTALL CONDUIT AND MAKE TAP
 - 03 PROPOSED GAS METER LOCATION

- ST - STORM SEWER INFORMATION**
- 01 PRIVATE STORM SEWER LINE. SEE SHEET C7.0
 - 02 CONNECT TO 4" ROOF DRAIN. FLOW LINE AT BUILDING 952.78
 - 03 INSTALL 4"X 6" WYE WITH CLEANOUT. FL 952.78
 - 04 INSTALL TOTAL OF 71 LF OF 6" HDPE AT 1% FOR ROOF DRAIN CONNECTION.
 - 05 INSTALL 45 DEGREE BEND WITH CLEANOUT, FL 952.07
 - 06 UTILITY CROSSING. TOP OF SANITARY 949.98, BOT OF STORM 951.68, TOP OF STORM 952.53, BOT OF GAS 953.43
 - 07 INSTALL 19 LF OF 6" HDPE AT 1% WITH 45 DEGREE BEND WITH CLEANOUT, FL 951.88
 - 08 INSTALL 35 LF OF 6" HDPE AND CONNECT TO STORM INLET 103. FL IN 951.63

- SS - SANITARY SEWER INFORMATION**
- 01 PRIVATE 8" SEWER EXTENSION. SEE SHEET C5.1
 - 02 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR GREASE SERVICE. FL @ BUILDING = 952.91
 - 03 CONNECT 6" SDR-26 PVC TO TACO BELL BUILDING FOR SANITARY SEWER SERVICE. FL @ BUILDING = 952.91
 - 04 INSTALL 8.9 LF 2" VENT PIPE
 - 05 INSTALL 8.9 LF 6" SDR-26 PVC FROM BUILDING TO GREASE INTERCEPTOR @ 10.0% SLOPE. FL = 952.01
 - 06 1000 GALLON GREASE INTERCEPTOR. FL IN 952.01 FL OUT 951.75
 - 07 INSTALL 5.0 LF 6" SDR-26 PVC FROM GREASE INTERCEPTOR @ 53.6% SLOPE. FL 949.07
 - 08 INSTALL 15.3 LF OF 6" SDR-26 PVC FOR NON-GREASE WASTE @ 15.6% SLOPE. FL 949.37
 - 09 NON-GREASE WASTE CONNECTION TO COFFEE SHOP BUILDING. FL 956.58.
 - 10 INSTALL 48.3 LF OF 6" SDR-26 PVC @ 6.31% SLOPE.
 - 11 INSTALL 45° BEND WITH CLEANOUT. FL 953.83
 - 12 INSTALL 43.4 LF OF 6" SDR-26 PVC @ 3.98% SLOPE
 - 13 CONNECT TO PROPOSED PRIVATE SANITARY MANHOLE. FL 951.81

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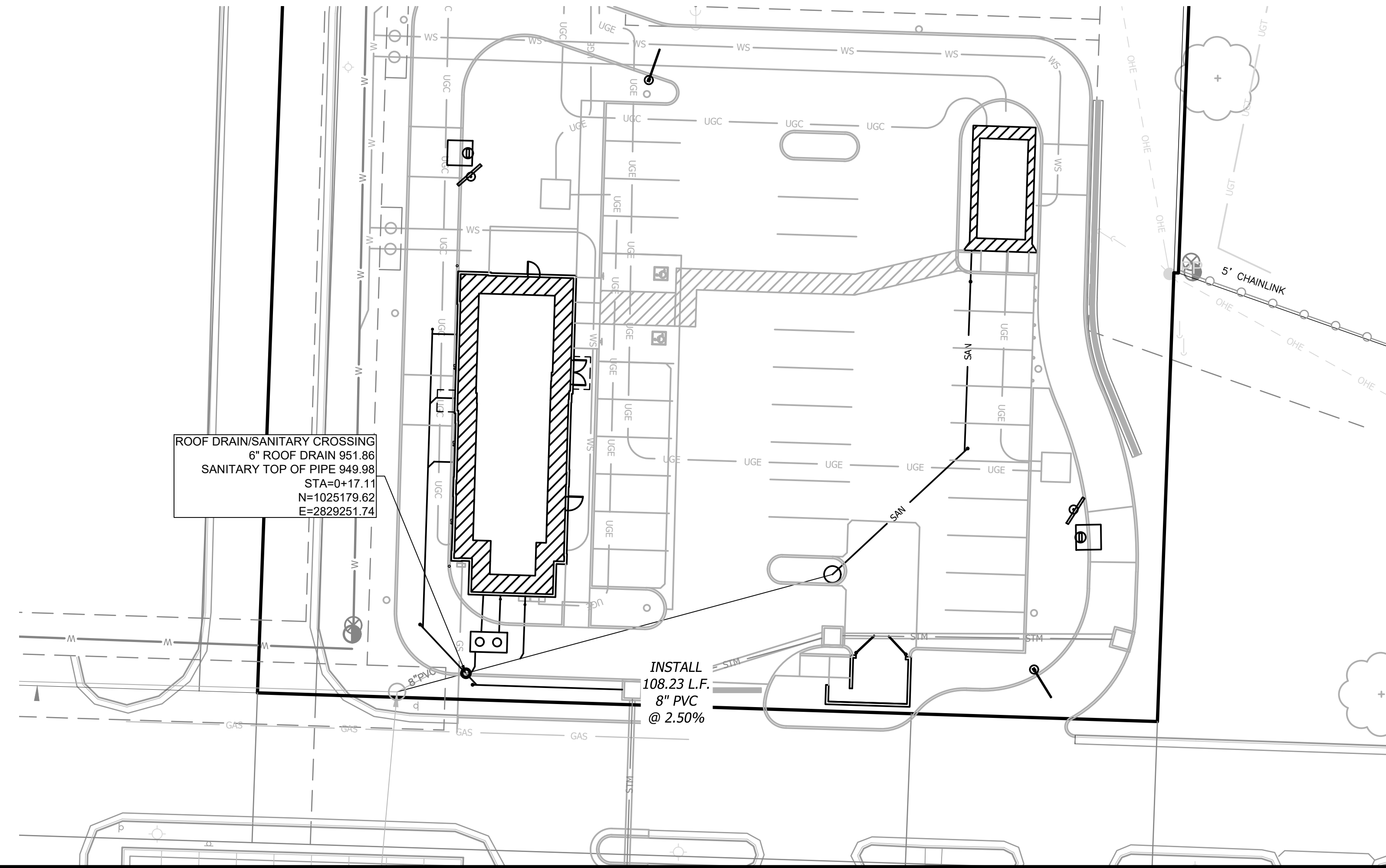


BUILDING CONNECTION DETAIL

UTILITY NOTES

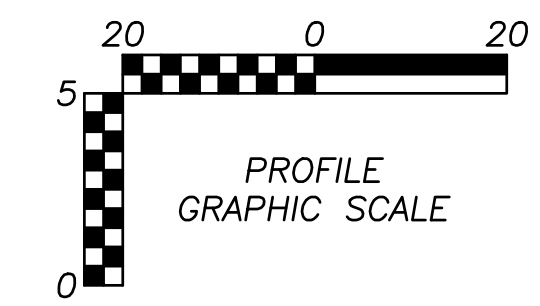
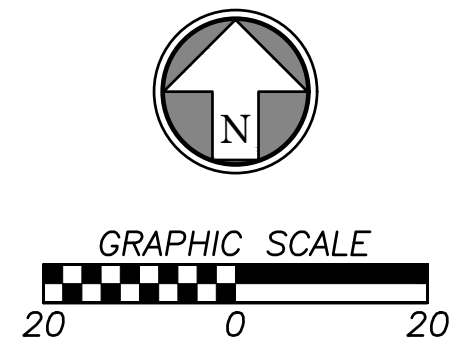
1. Contractor shall refer to all specifications, guidelines, and installation drawings from Lees Summit, Spire Energy, and KCP&L for the installation of all service lines.
2. Contractor to ensure 12" minimum vertical separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.
3. All utilities shall be installed in separate trenches unless otherwise specified

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<p>Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>	<p>TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN UTILITY PLAN</p>
<p>Design: MGG Drawn: MGG Checked: MSS Issue Date: Project Number: 026040.08</p>	<p>C5.0</p>

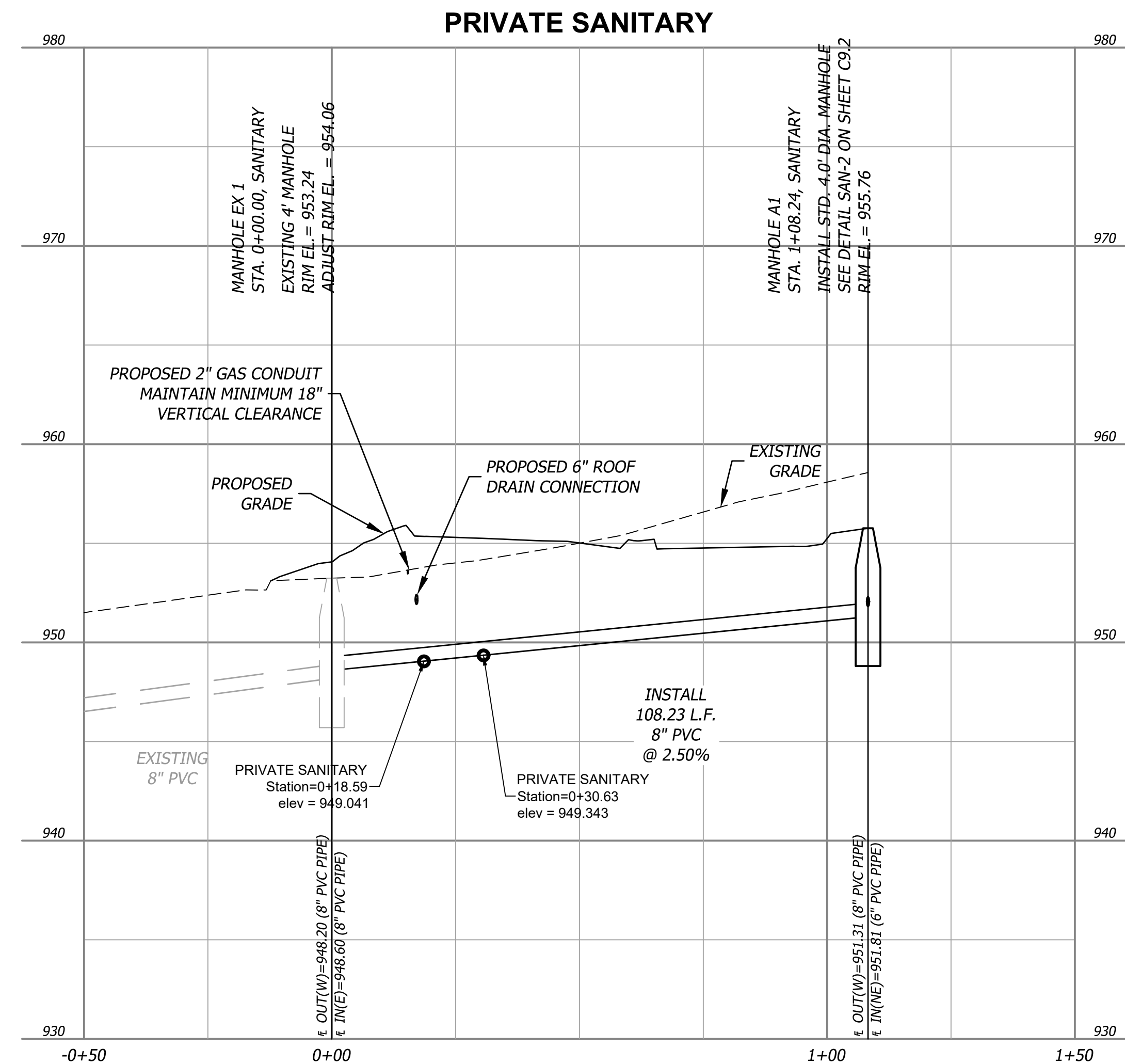


SANITARY NOTES

1. ALL NORTHINGS, EASTINGS, AND ALIGNMENT STATIONING FOR STORM STRUCTURES ARE TO CENTER OF STRUCTURE UNLESS STATED OTHERWISE.
2. ALL CONSTRUCTION SHALL BE ACCORDING TO THE CITY OF LEE'S SUMMIT'S SANITARY SEWER MAIN CONSTRUCTION STANDARDS
3. SEE SHEET C9.2 FOR SANITARY MANHOLE DETAILS



THIS SHEET HAS BEEN CHANGED IN IT'S ENTIRETY AS PART OF REVISION 2.



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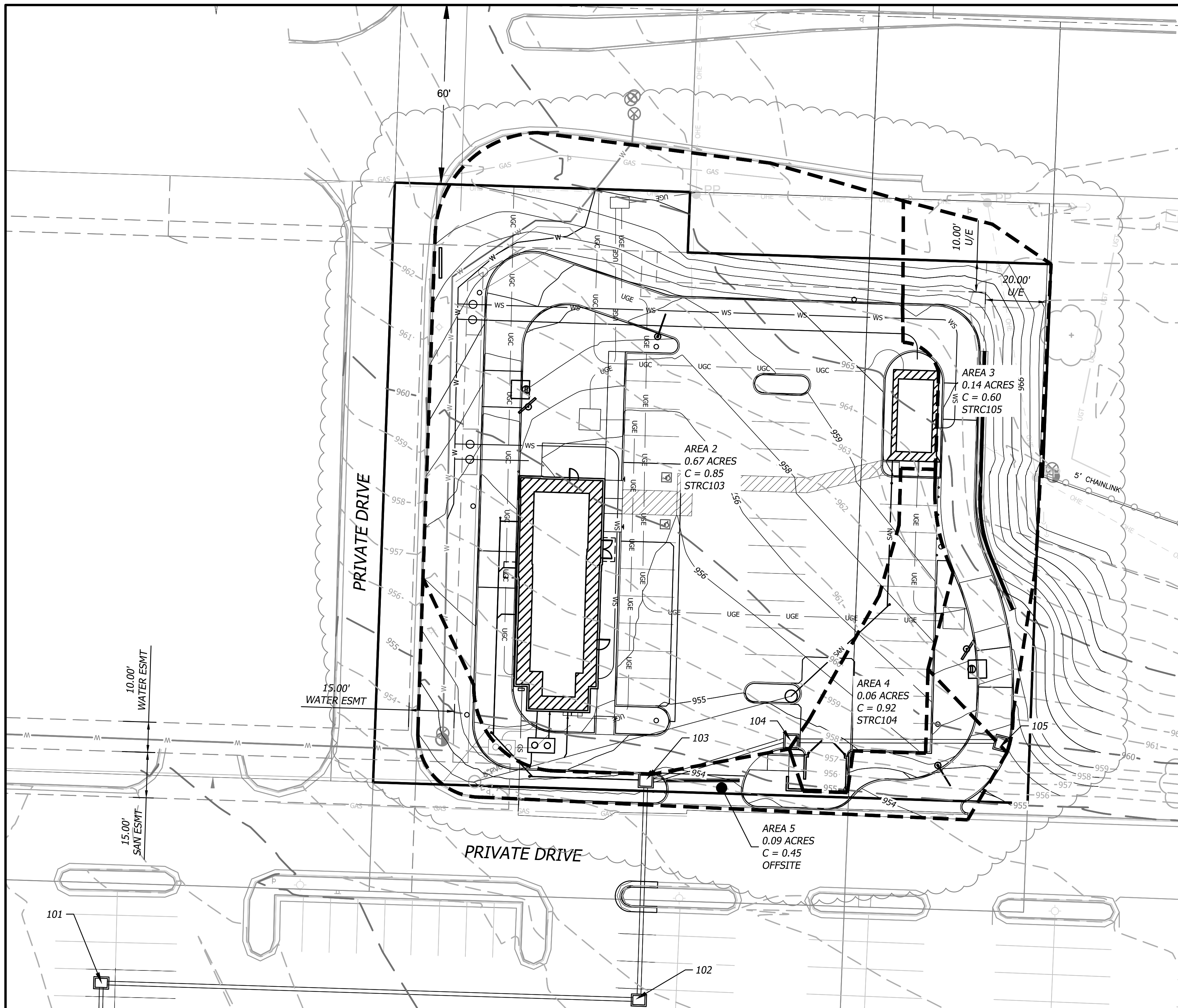
TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
SANITARY PLAN AND PROFILE

Design: MGG Drawn: **MGG**
 Checked: **MGG**
 Issue Date:
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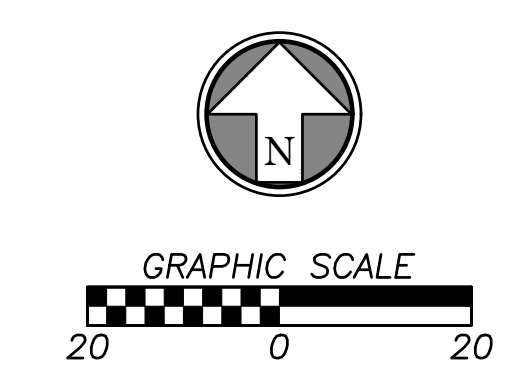
C5.1

Rev.	Date	Description	By	App.
3	9/6/19	Sheet Re-issued	MGG	MSS
2	8/21/19	FDP Comments/Site VE Items	MGG	MSS

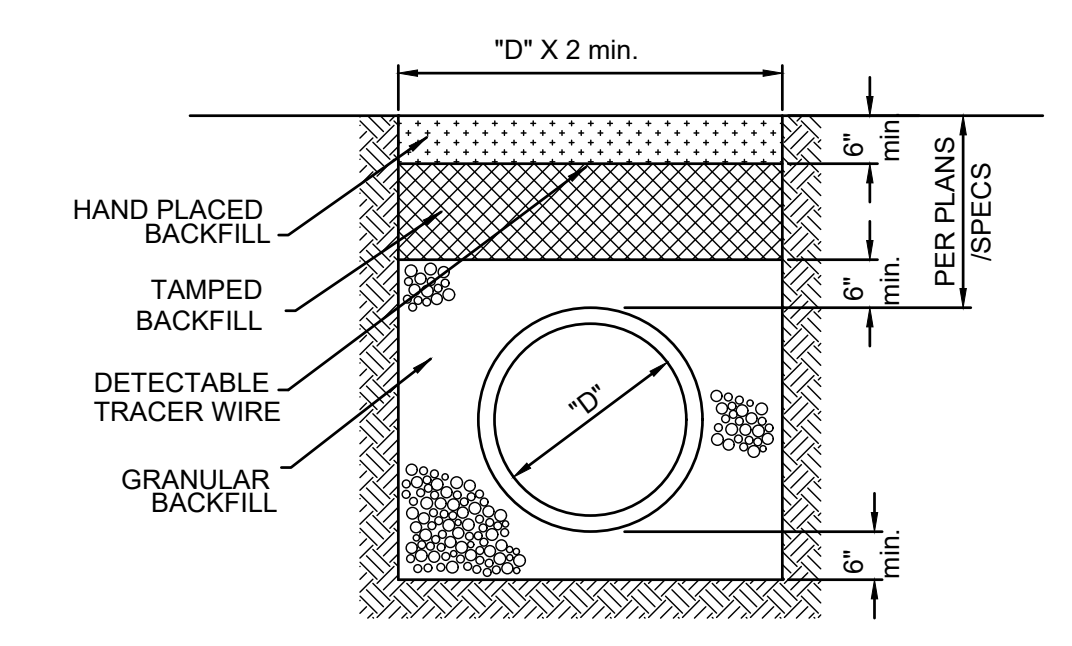
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- ### STORM NOTES
- UNDERGROUND STORM PIPE SYSTEM DESIGNED TO CARRY MINIMUM 10 YEAR 24 HOUR STORM EVENT USING INTENSITY VALUE GIVEN BY NOAA ATLAS 14 ($i=3.40$ for $T_c = 5$ min).
 - ALL STORM CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CITY OF LEE'S SUMMIT SPECIFICATIONS.
 - PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURE OR TO THE END OF FLARED END SECTION OR TO THE END OF PIPE (WHERE APPLICABLE). ALL PIPES SHALL BE FIELD STAKED TO THE INSIDE WALL FACE OF THE STRUCTURE.
 - ALL PIPE SHALL BE PLACED IN TRENCH CONDITIONS. PLACE A MINIMUM OF 6 INCHES OF FILL OVER PROPOSED PIPE BEFORE TRENCHING AND PIPE INSTALLATION. PROPOSED BACKFILL SHALL BE PLACED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
 - UTILITY LINES AND STRUCTURES IN FILL AREAS BELOW PIPE GRADE SHALL NOT BE CONSTRUCTED UNTIL ALL CONSOLIDATION OF THE FILL IS COMPLETE AND SO APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER.
 - ALL CURB INLETS AND OTHER STRUCTURE SET AT LOW POINTS ARE TO BE SET LEVEL. ALL OTHER CURB INLETS ARE TO BE SET WITH THE GRADE OF THE TOP OF CURB OR PAVEMENT.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
 - THE LIDS OF ALL PRECAST STRUCTURES SHALL BE GROUTED TO THE TOP OF THE WALLS
 - NORTHING AND EASTINGS SHOWN ARE CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
 - ALL HDPE PIPE SHALL BE ADS N-12, OR APPROVED EQUAL, MEETING AASHTO M294, TYPE S OR ASTM F2306. THE PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. PIPE JOINTS SHALL BE JOINTED USING A BELL & SPIGOT JOINT MEETING AASHTO M252, AASHTO M294 OR ASTM F2306. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
 - FITTINGS FOR PLASTIC PIPE SHALL CONFORM TO AASHTO M252, AASHTO M294, OR ASTM F2306 ALL WYES SHALL BE DUAL WALL WYES CONSISTENT WITH THE ADS N-12 PIPE WATERTIGHT CONNECTIONS.



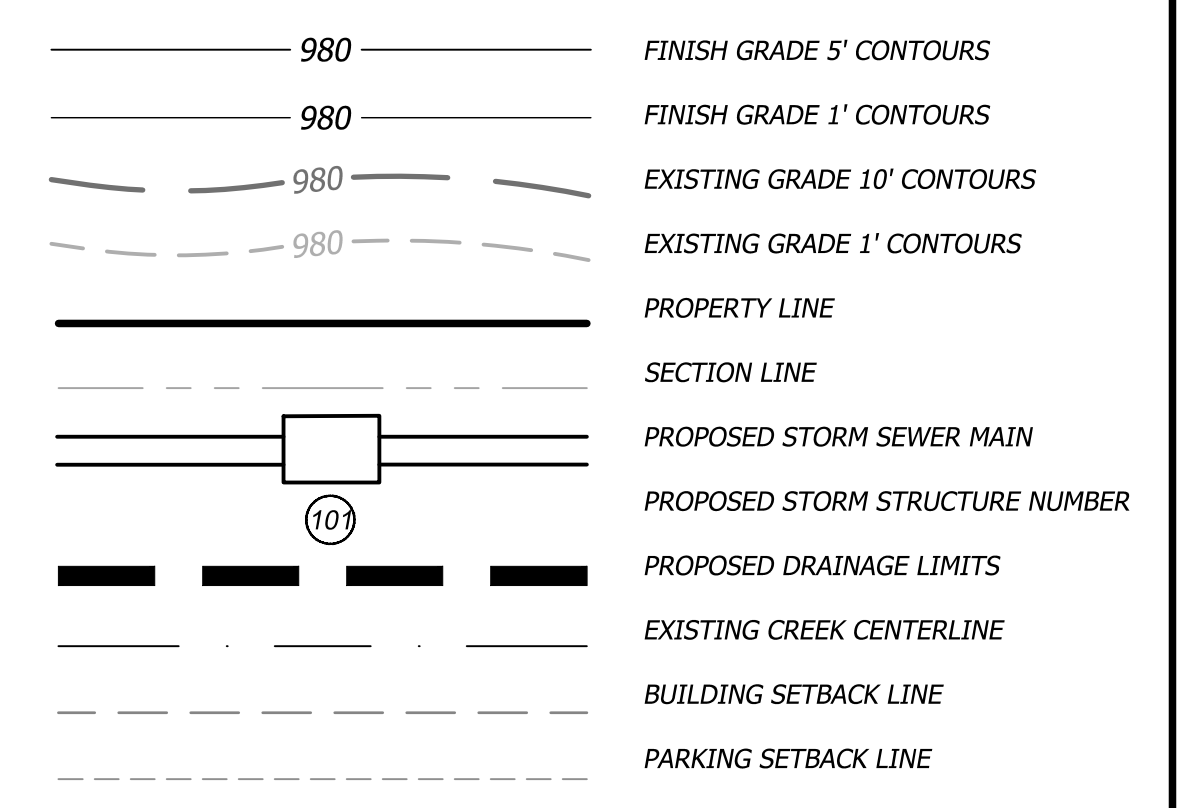
STORM TRENCH DETAILS



CLASS B (FLEXIBLE OR SEMI-FLEXIBLE PIPE)

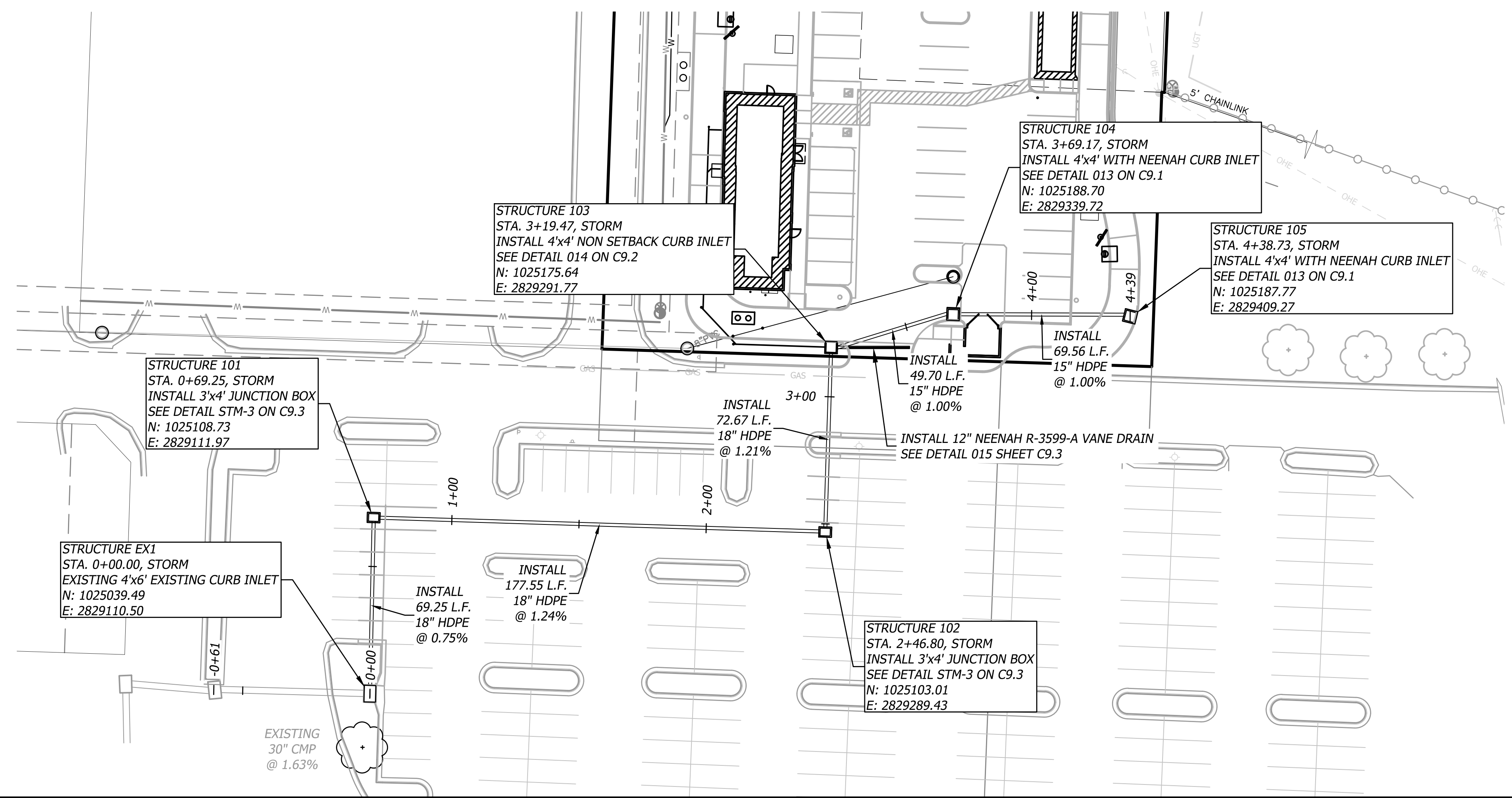
- NOTES:
- SEE SPECIFICATIONS FOR MATERIAL AND COMPACTION REQUIREMENTS.
 - TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED PER SPECIFICATIONS.
 - HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED PER SPECIFICATIONS. ALL PIPE SHALL BE INSPECTED PRIOR TO BACKFILL.
 - ALL PIPE COVERED PRIOR TO INSPECTION SHALL BE UNCOVERED AT THE CONTRACTORS EXPENSE.

LEGEND

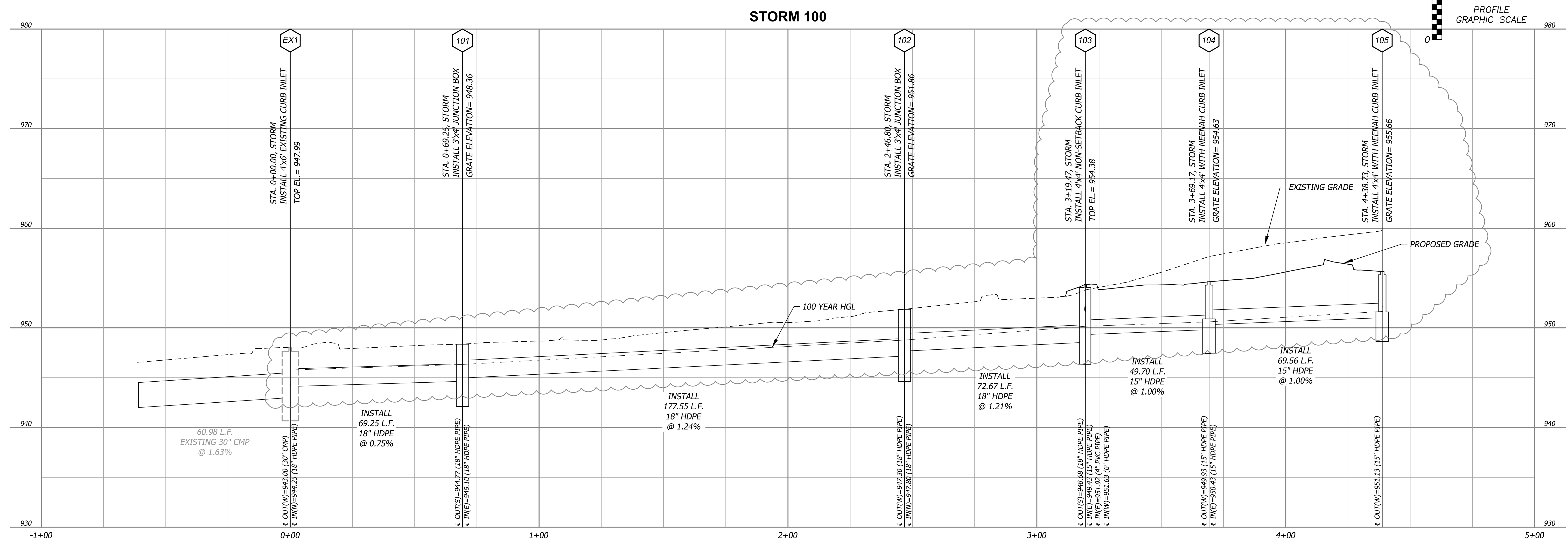
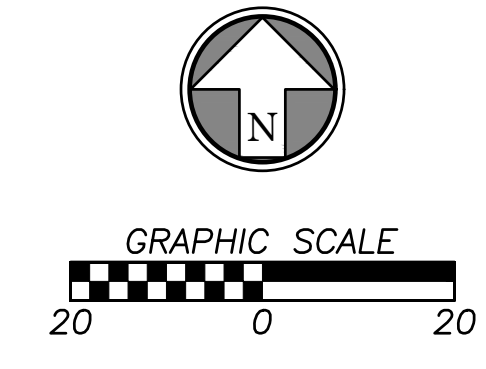


Runoff Calculations										Pipe Properties															
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	To	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlets	Up Piped Inlets	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top
Design Storm: 10 "K" Value: 1.00 "F" Factor: 1.00																									
LINE 100																									
EX1	3.27	0.78	4.16	3.26	6.1	8.14	20.64	26.50	40.05	8.16	0.00	0.00	0.00	0.00	EX1	EX	CMP	0.017	30	60.98	1.63	1.25	943.00	942.01	947.99
101	0.00	0.78	0.89	0.72	5.9	8.21	0.00	5.92	9.86	5.58	0.00	0.00	0.00	101	EX1	PEP	0.012	18	69.25	0.75	0.33	944.77	944.25	948.36	
102	0.00	0.78	0.89	0.72	5.5	8.35	0.00	6.02	12.67	7.17	0.00	0.00	0.00	102	101	PEP	0.012	18	177.55	1.24	0.50	947.30	945.10	951.86	
103	0.67	0.85	0.89	0.72	5.3	8.41	4.79	6.06	12.52	7.08	0.00	0.00	0.00	103	102	PEP	0.012	18	72.67	1.21	0.50	948.68	947.80	954.12	
104	0.06	0.92	0.22	0.15	5.2	8.46	0.47	1.28	7.00	5.70	0.00	0.00	0.00	104	103	PEP	0.012	15	49.70	1.00	0.50	949.68	949.18	954.61	
105	0.16	0.60	0.16	0.10	5.0	8.53	0.82	0.82	7.00	5.70	0.00	0.00	0.00	105	104	PEP	0.012	15	69.56	1.00	N/A	950.88	950.18	955.13	
Design Storm: 100 "K" Value: 1.25 "F" Factor: 1.00																									
LINE 100																									
EX1	3.27	0.78	4.16	3.26	6.1	9.87	31.28	40.17	40.05	8.16	0.00	0.00	0.00	0.00	EX1	EX	CMP	0.017	30	60.98	1.63	1.25	943.00	942.01	947.99
101	0.00	0.78	0.89	0.72	5.9	9.95	0.00	8.96	9.86	5.58	0.00	0.00	0.00	101	EX1	PEP	0.012	18	69.25	0.75	0.34	944.77	944.25	948.36	
102	0.00	0.78	0.89	0.72	5.5	10.11	0.00	9.11	12.67	7.17	0.00	0.00	0.00	102	101	PEP	0.012	18	177.55	1.24	0.50	947.31	945.11	951.86	
103	0.67	0.85	0.89	0.72	5.3	10.18	7.25	9.17	12.52	7.08	0.00	0.00	0.00	103	102	PEP	0.012	18	72.67	1.21	0.75	948.69	947.81	954.12	
104	0.06	0.92	0.22	0.15	5.2	10.24	0.71	1.94	7.00	5.70	0.00	0.00	0.00	104	103	PEP	0.012	15	49.70	1.00	0.50	949.94	949.44	954.61	
105	0.16	0.60	0.16	0.10	5.0	10.32	1.24	1.24	7.00	5.70	0.00	0.00	0.00	105	104	PEP	0.012	15	69.56	1.00	N/A	951.14	950.44	955.13	

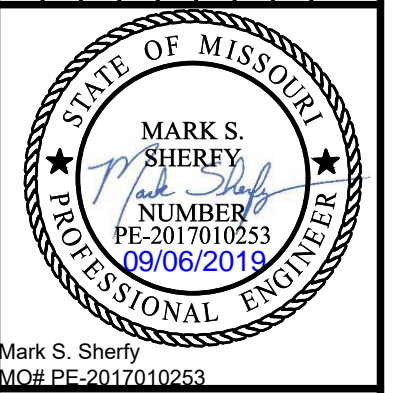
Rev.	Date	Description							
3	9/6/19	Sheet Re-issued							
2	8/21/19	FDP Comments/Sheet VE Items							
1									
Mark S. Sherry Missouri Professional Engineer No. 09062019									
BHC RHODES Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 <small>BHC is a trademark of Fluigent Homestead & Company, P.A.</small> Certificate of Authority Number: MO# E-1355-F									
Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099									
TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN DRAINAGE MAP									
Design: MGG Drawn: MGG Checked: MSS Issue Date: 04/23/2019 Project Number: 026040.08									
C6.0									



STORM NOTE
 ALL NORTHINGS, EASTINGS, AND ALIGNMENT STATIONING FOR STORM STRUCTURES ARE TO CENTER OF STRUCTURE UNLESS STATED OTHERWISE.



Rev.	Date	Description
3	9/6/19	Sheet Re-issued
2	8/21/19	FDP Comments/Site VE Items



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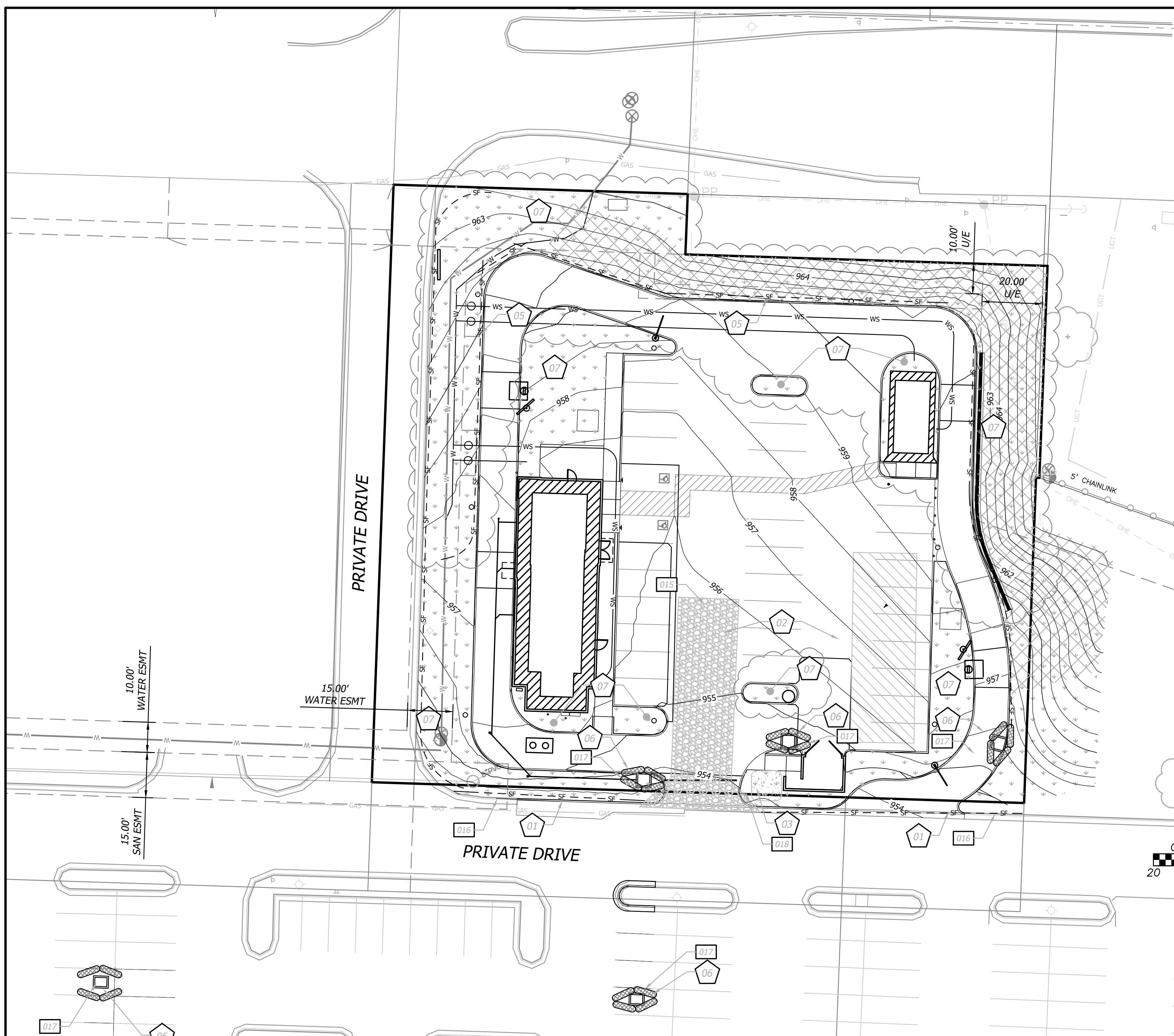
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
PLAN AND PROFILE

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08

C7.0

Sep 06, 2019 - 10:40am Plotted By: mott.dibbs V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-SWC\Eng\Sheet\04-SWC\04-08-SWIS-FDP-ERSV.dwg Layout: Eran-Pre



EROSION AND SEDIMENT CONTROL GENERAL NOTES

- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any natural stream corridor designated with construction fencing.
 - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.
- The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
 - During active construction phases - at least once per week
 - During periods of inactivity - at least once per 14 days
 - After each rainfall event of 1/2 inch or more - within 24 hours of the rain event
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
 - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
- Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
- The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
- Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
- Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.

Rev.	Date	Description	By	App.
1	8/13/19	Land Disturbance Comments	MGG	MSS
2	8/21/2019	Sheet Re-issued	MGG	MSS
3	9/6/19	Revised Turf Reinforcement Mats	MGG	MSS



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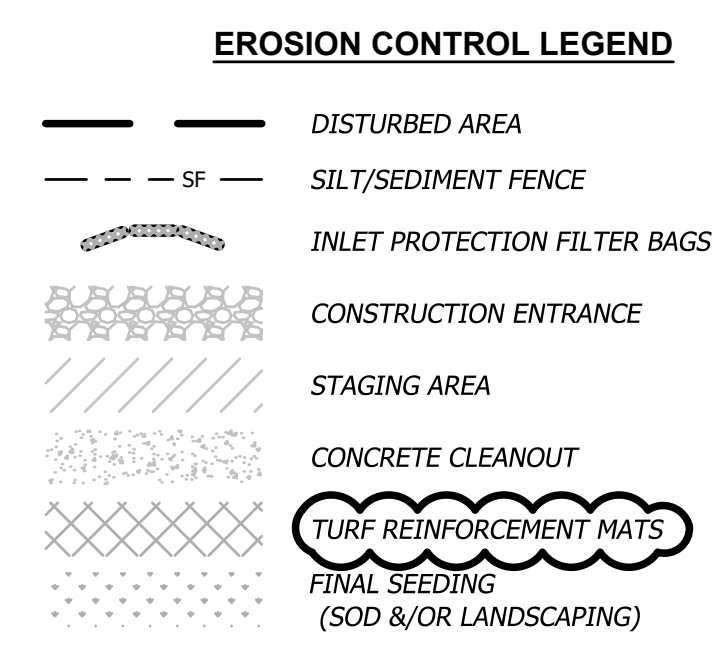
Prepared For:
 FIRST STREET DEVELOPMENT
 4455 E CAMELBACK ROAD
 BUILDING C 241
 PHOENIX, ARIZONA 85018
 602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
EROSION CONTROL PLAN

Design: MGG Drawn: MGG
 Checked: MSS
 Issue Date: 04/23/2019
 Project Number: 026040.08
C8.0

EROSION & SEDIMENT CONTROL STAGING CHART

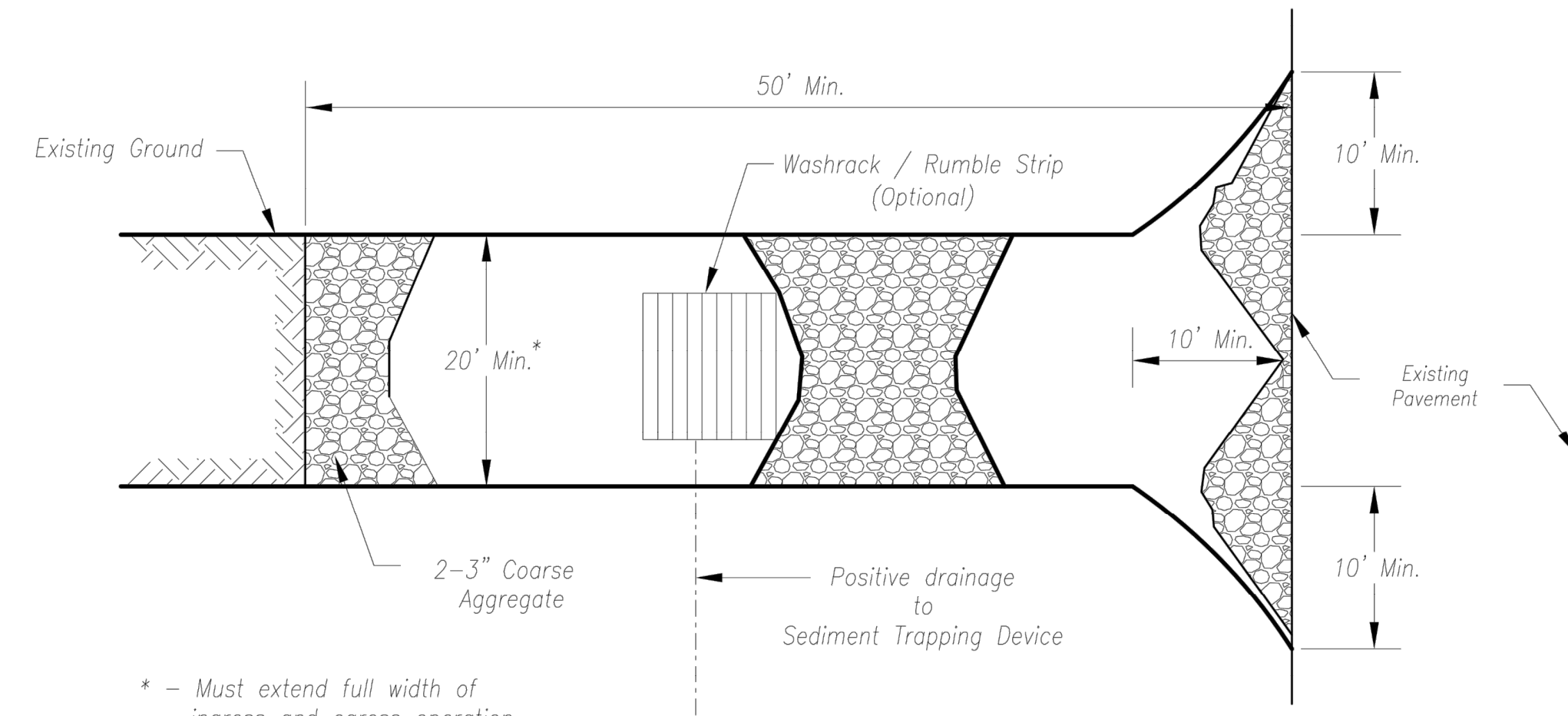
Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Concrete Entrance & Staging Area	E	Place as shown on plan
		03	Concrete Wash-Out	E	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence (See Note 9)	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	E	Place as shown on plan
Phase III (POST-CON)	E - Final Grading, Paving & Landscaping	07	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site. (RE: L1.1 Landscape Plan for the stormwater treatment facility)



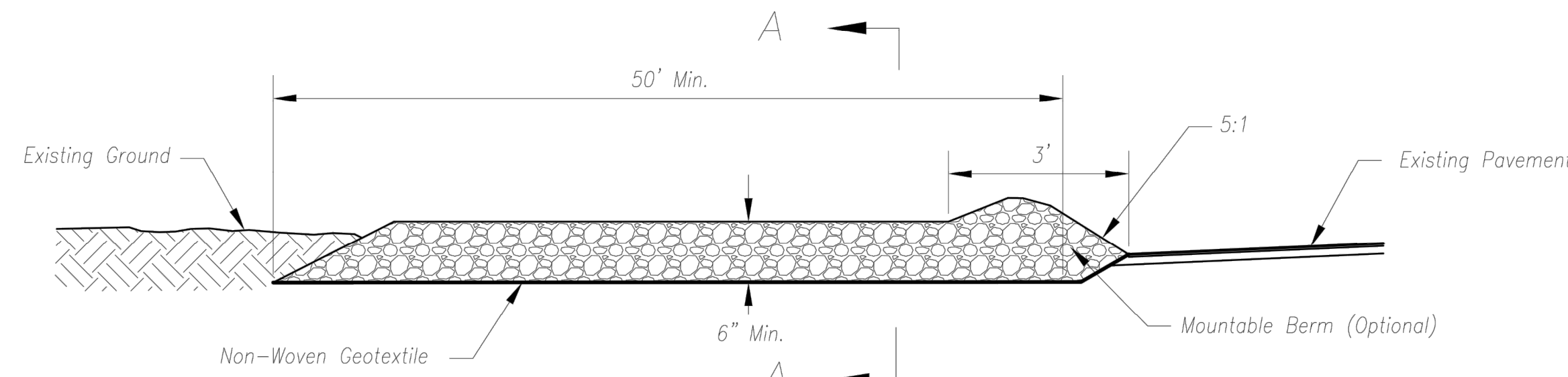
DETAILS

SEE EROSION CONTROL DETAIL SHEETS FOR THE FOLLOWING

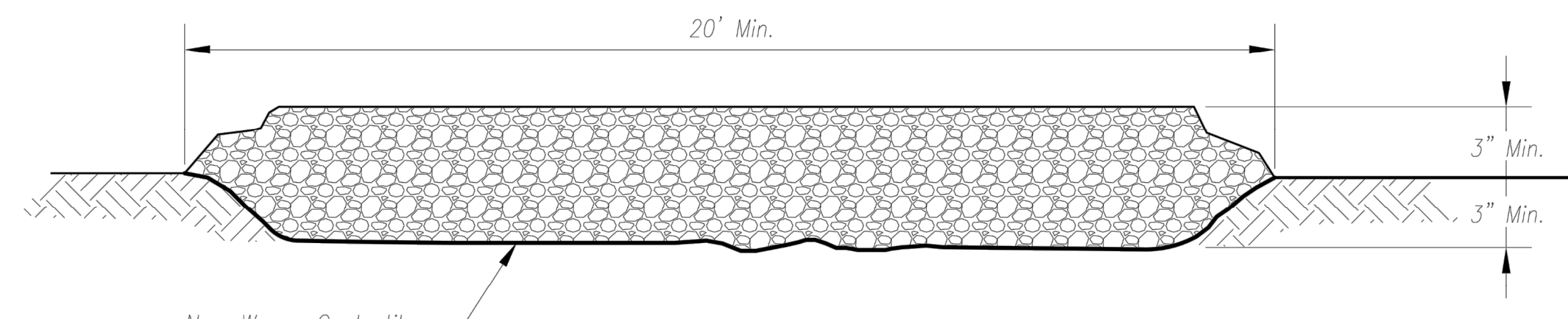
015	CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (SHEET C8.1)
016	EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS (SHEET C8.2)
017	CURB INLET PROTECTION (SHEET C8.3)
018	FILTER FABRIC SILT FENCE (SHEET C9.1)



Plan View
Not to Scale



Side Elevation
Not to Scale



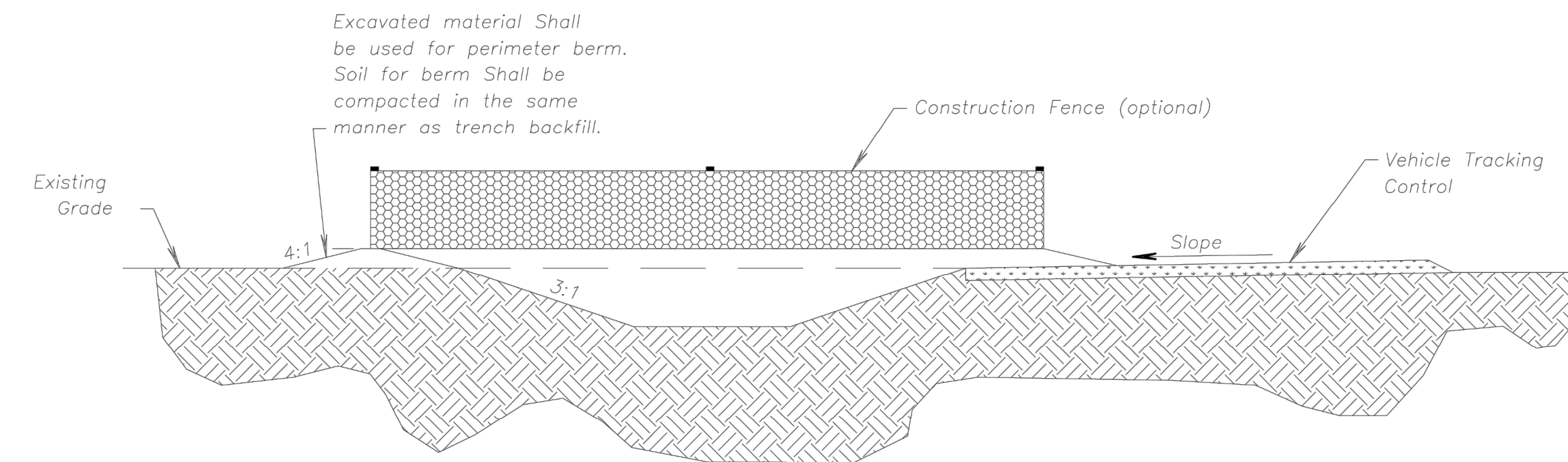
Section A-A
Not to Scale

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of Installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

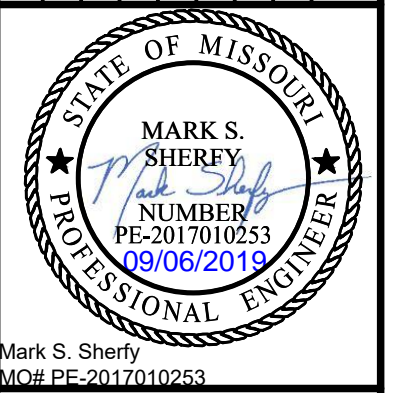
AMERICAN PUBLIC WORKS ASSOCIATION
Kansas City Metro Chapter
APWA
AMERICAN PUBLIC WORKS ASSOCIATION

CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT

STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Rev.	Date	Description
3	9/6/19	Sheet Re-issued
2	8/21/19	Sheet Re-issued



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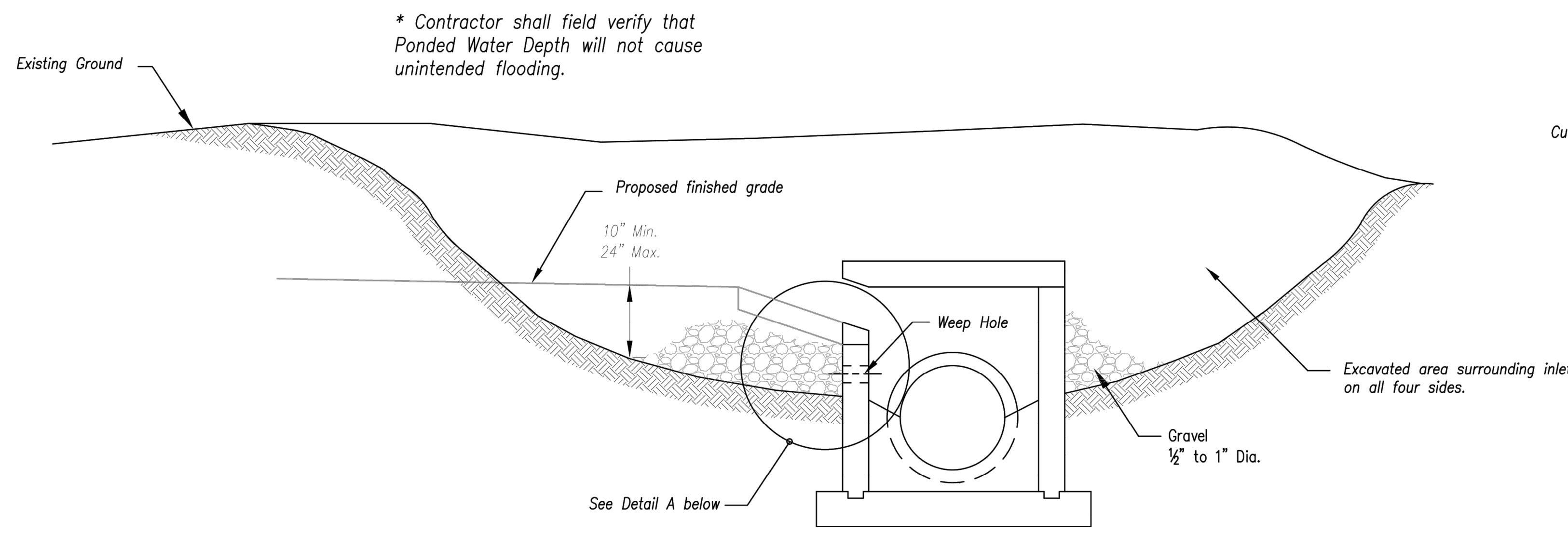
Prepared For:
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4455 E CAMELBACK ROAD
BUILDING C 241
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602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
EROSION CONTROL DETAILS

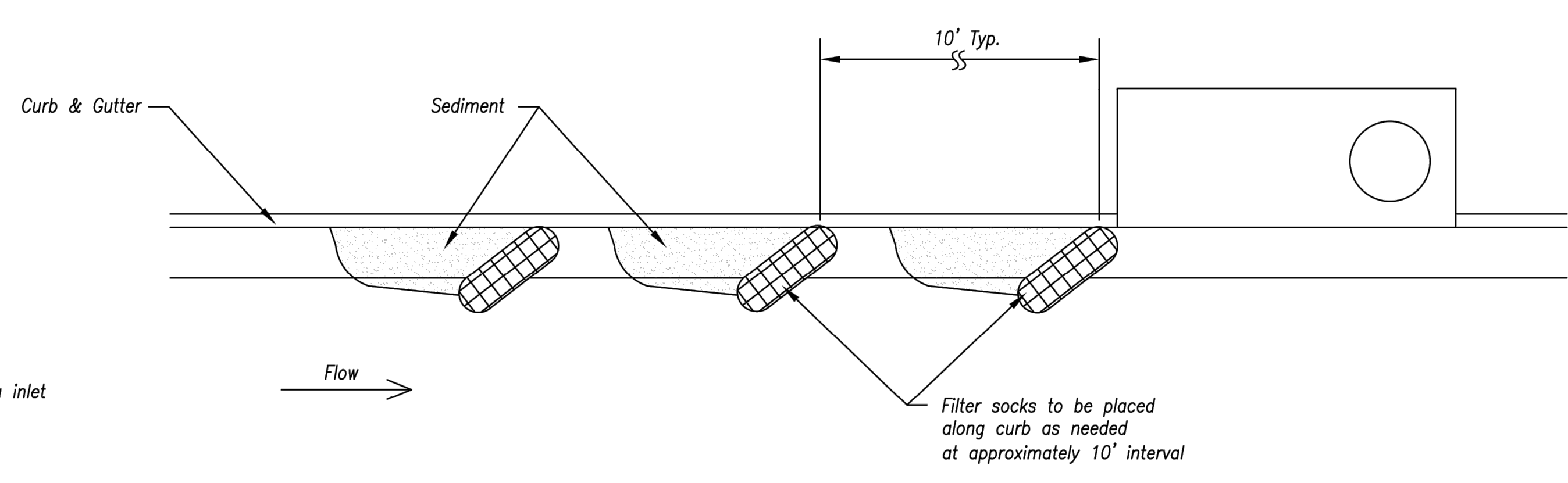
Design: MGG Drawn: MGG
Checked: MSS
Issue Date:
Project Number: 026040.08

C8.1

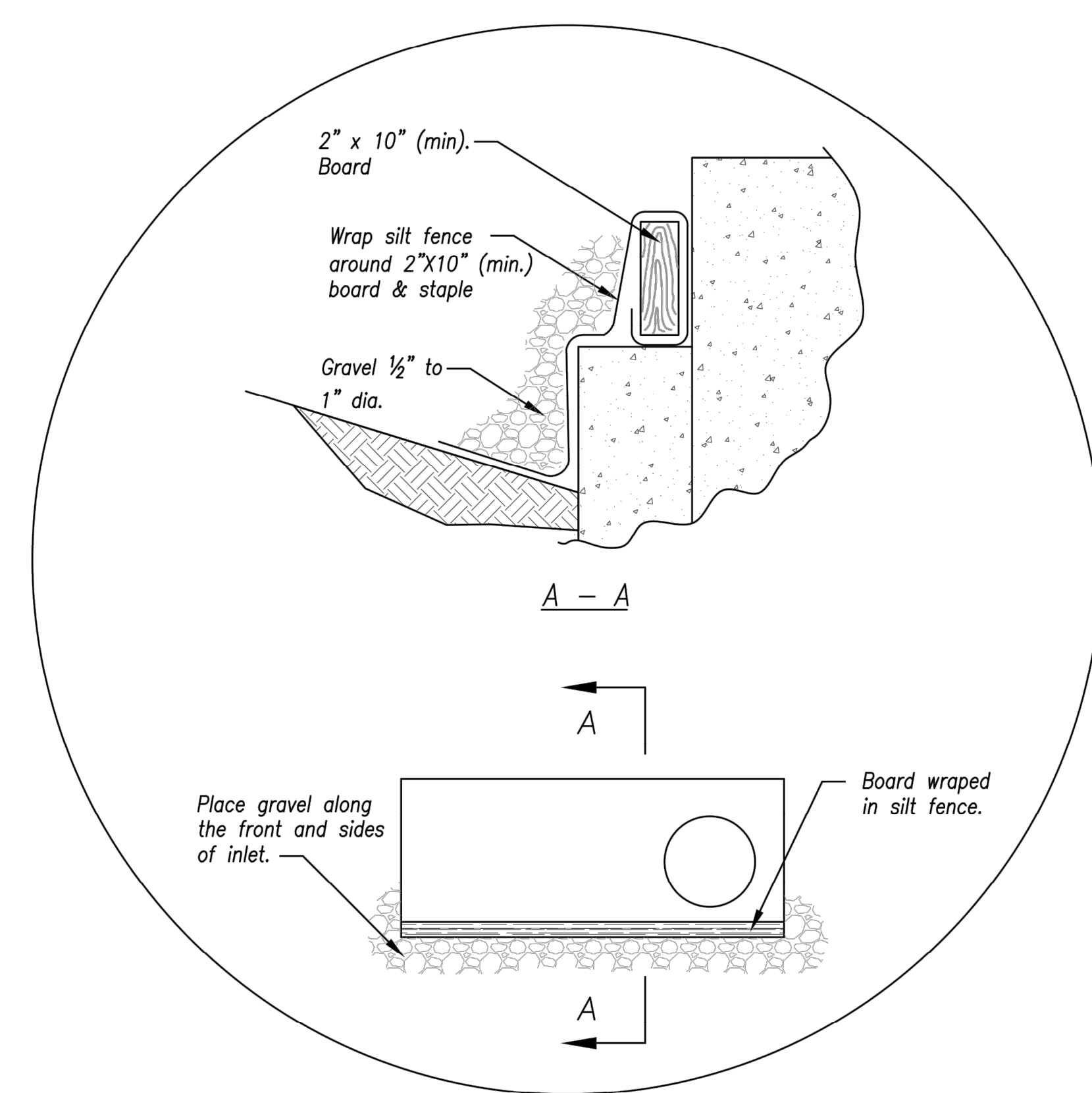
Sep 06, 2019 - 10:40am Plotted By: macth@bbs V:\026040-08-First Street Development - Master\026040-08-Woods Chapel\04-SW\Eng\Sheet\04-SW\04-08-SW\04-08-SW-01.dwg Layout: Area Inlet Protection



* Contractor shall field verify that Pounded Water Depth will not cause unintended flooding.



On Grade Curb Inlet Protection



Detail A

EARLY STAGE CURB INLET
(Open Box and Prior to Pouring
Curb and Inlet Throat)

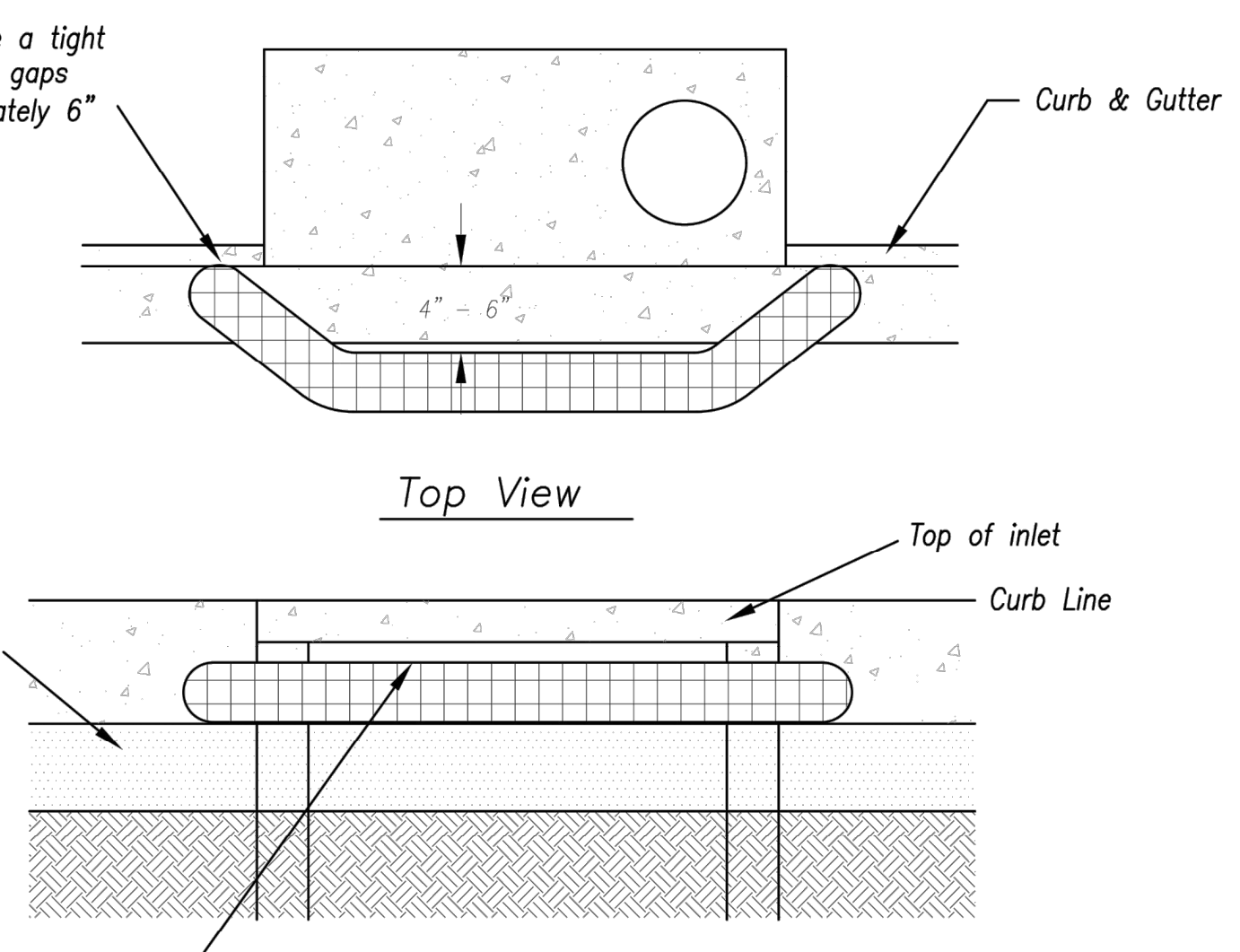
Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:


1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

Filter sock is to have a tight curb contact with no gaps and extend approximately 6" beyond inlet opening.

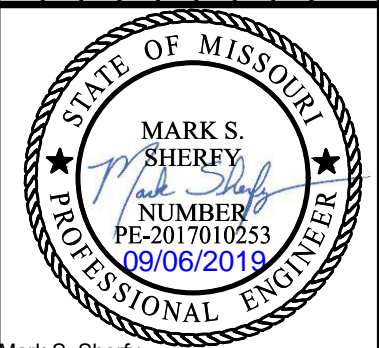
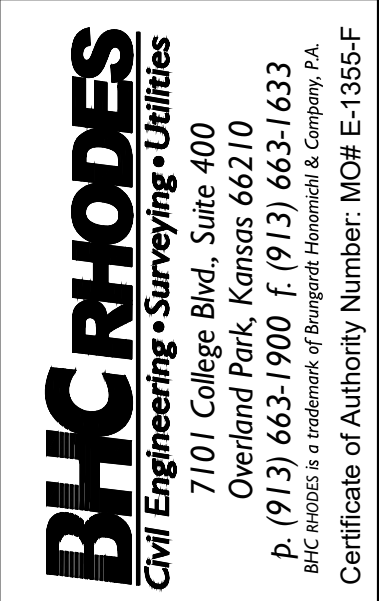


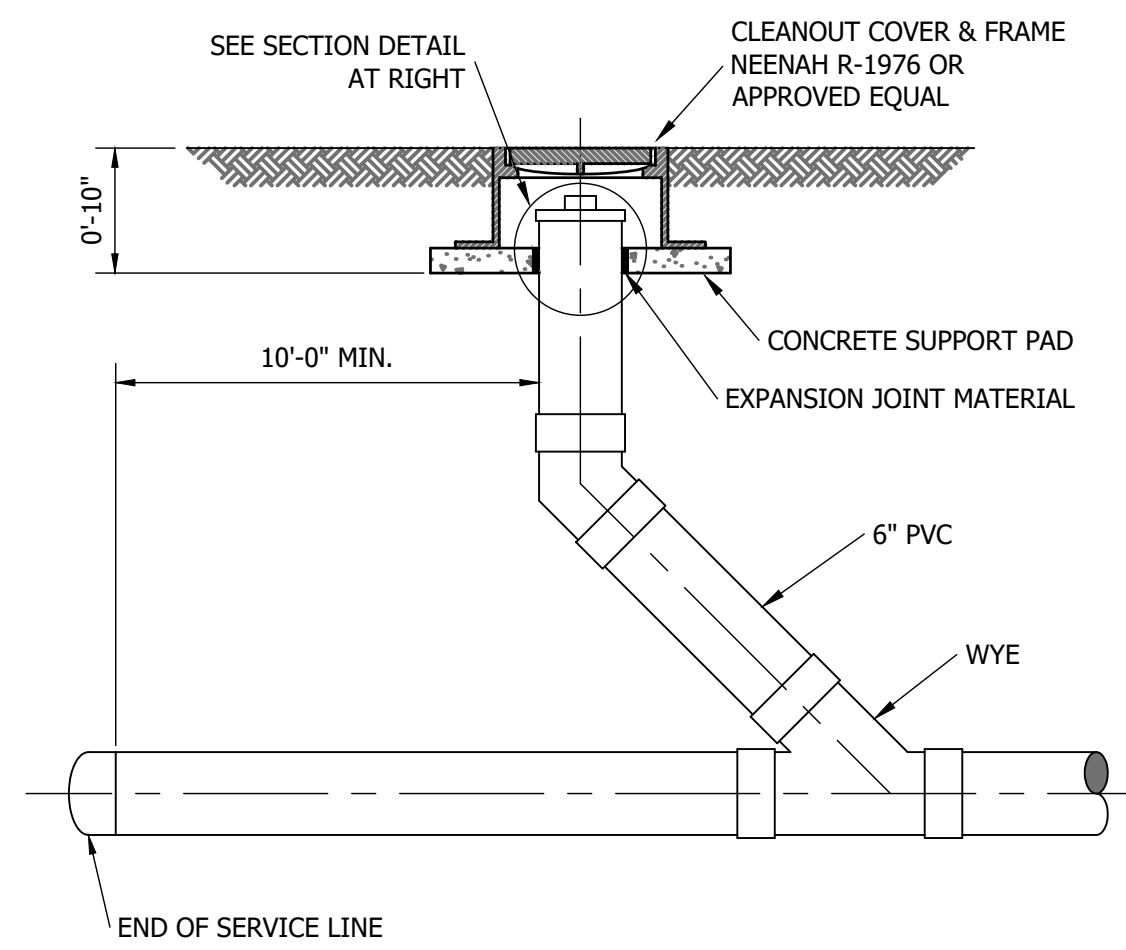
Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

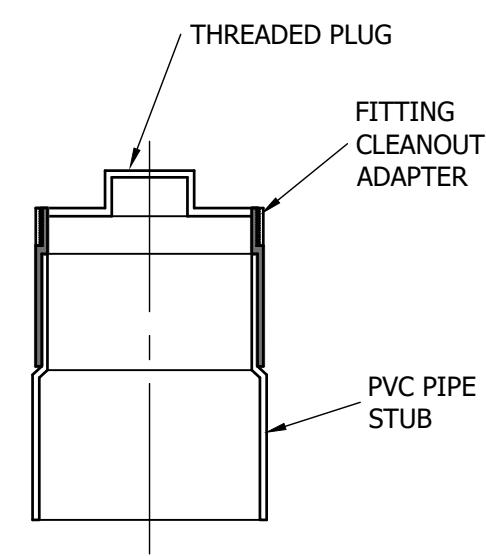
AMERICAN PUBLIC WORKS ASSOCIATION  KANSAS CITY METRO CHAPTER	
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

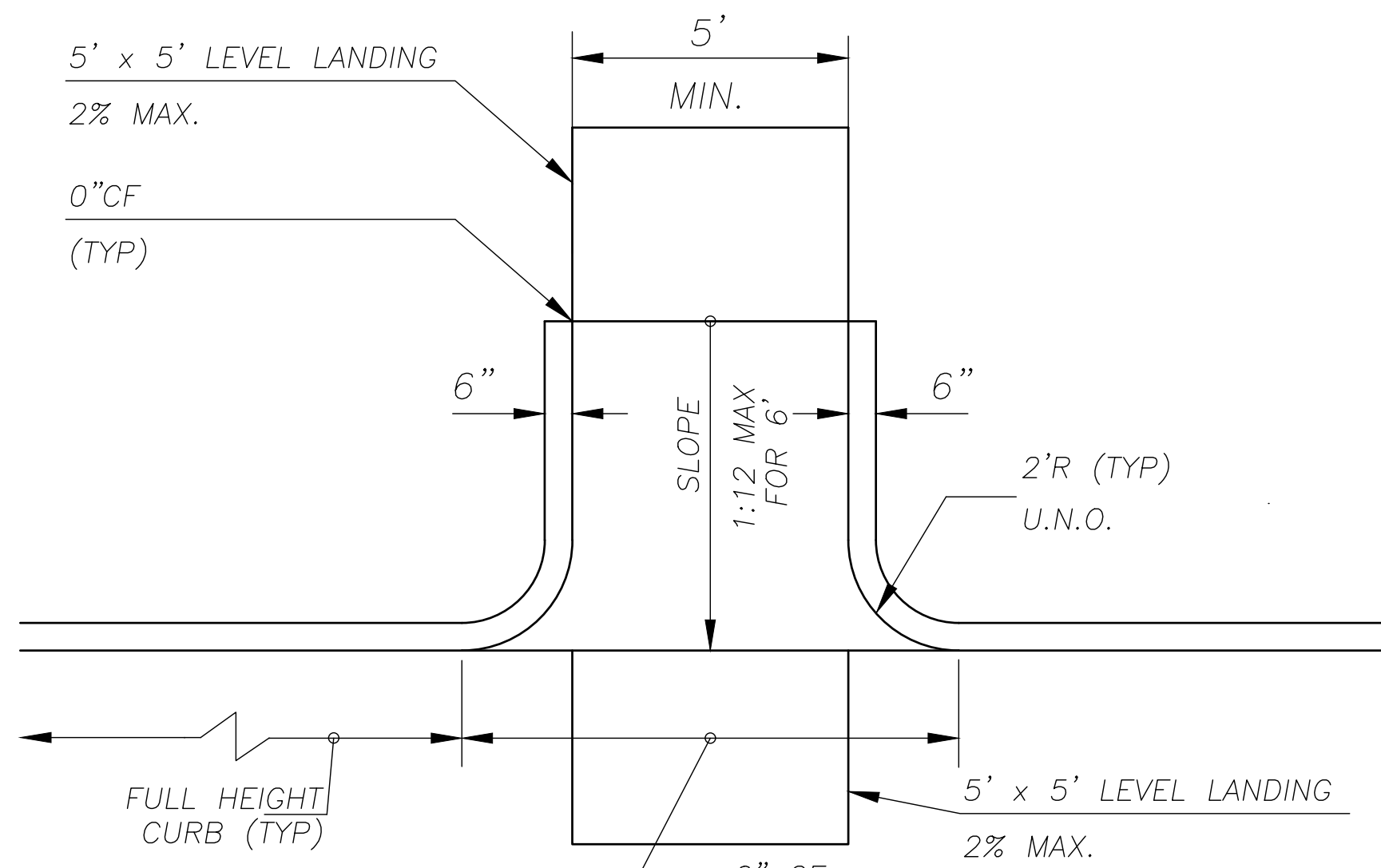
 Mark S. Sherry MO# PE-2017010253	 BHC RHODES Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P. (913) 663-1900 F. (913) 663-1633 <small>BHC RHODES is a trademark of Fluigent Homestead & Company, P.A.</small> Certificate of Authority Number: MO# E-1355-F		Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099	TACO BELL 851 NE WOODS CHAPEL RD LEE'S SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN EROSION CONTROL DETAILS	Design: MGG Drawn: MGG Checked: MSS Issue Date: 04/23/2019 Project Number: 026040.08	By Date Description Rev.	App.
C8.3							



Sanitary Sewer Cleanout
Not to Scale

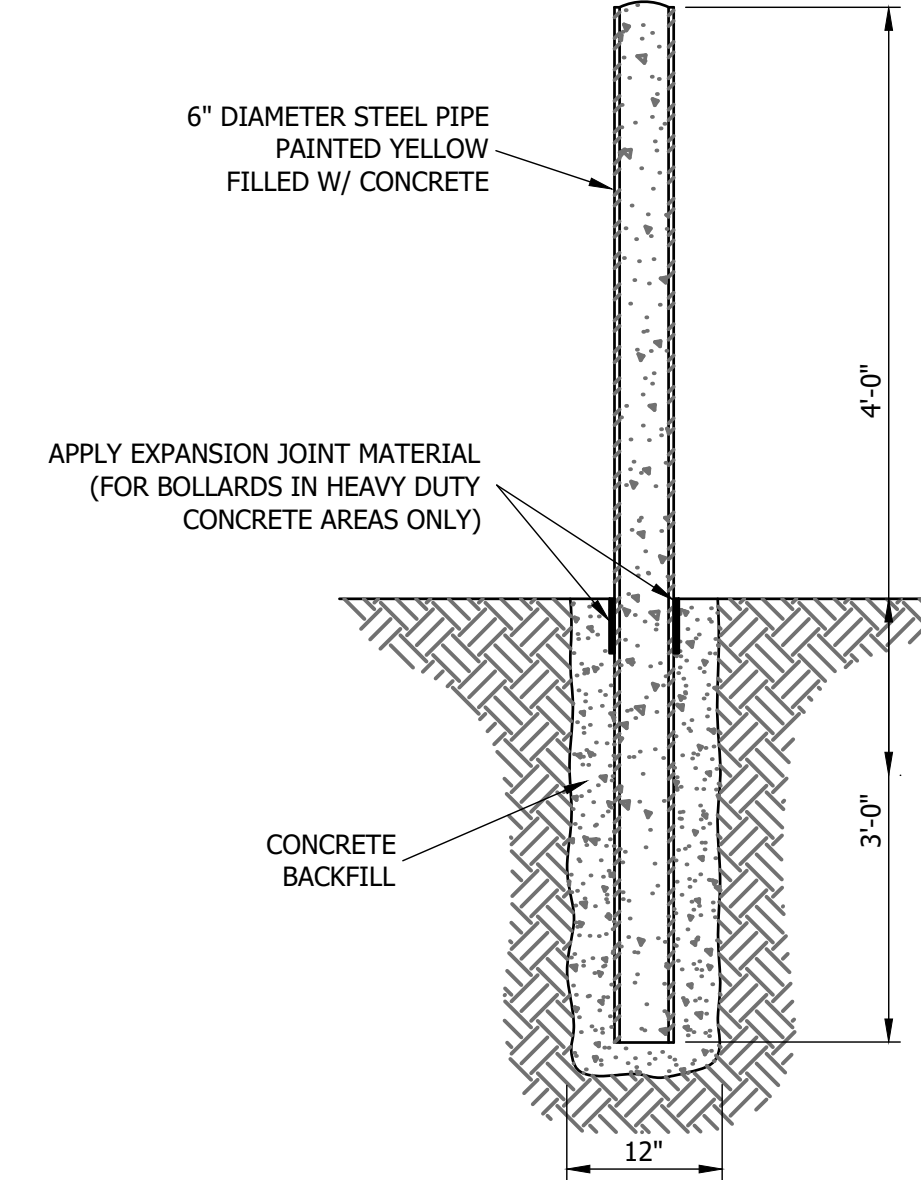


007



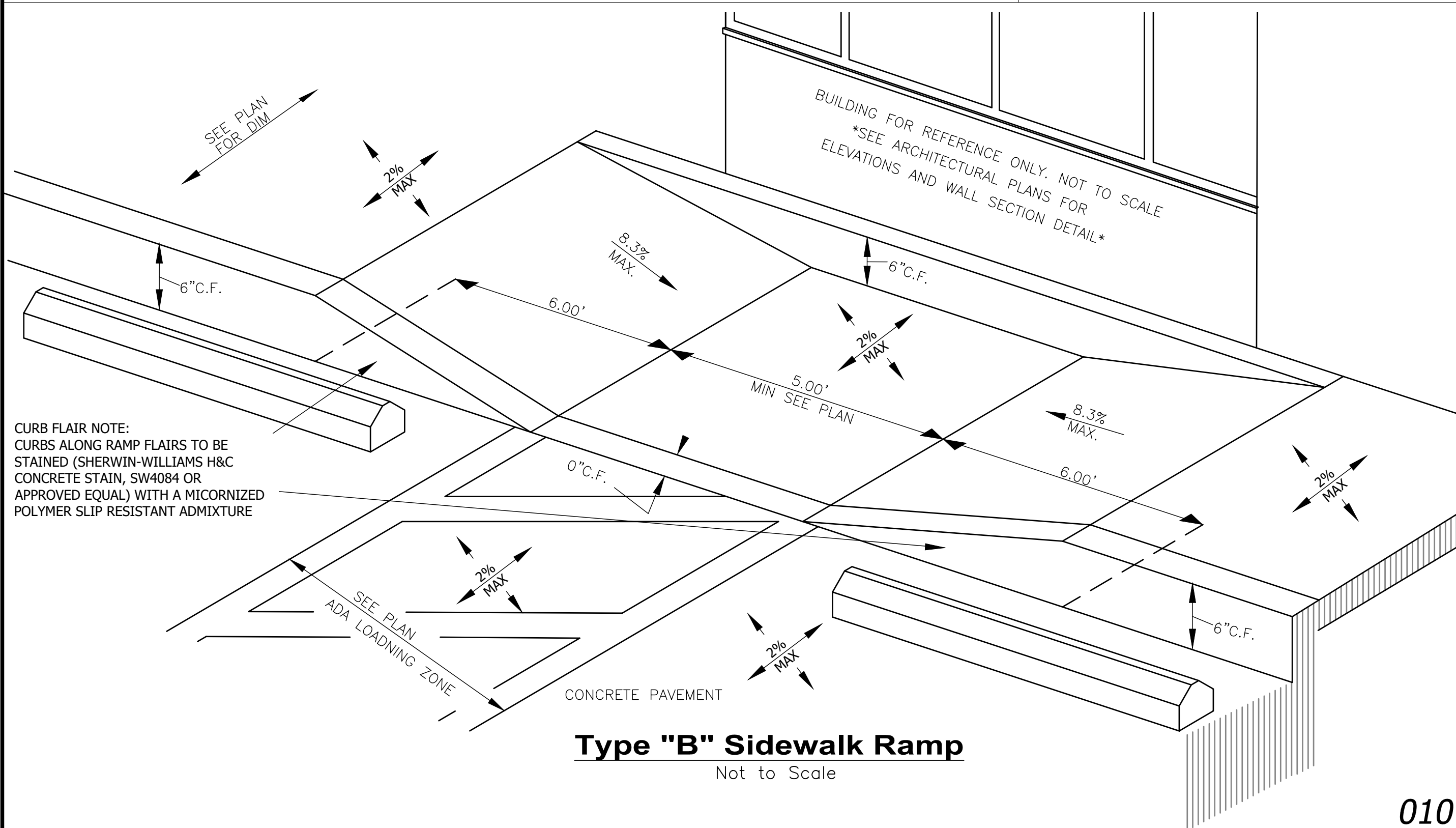
Type "A" Sidewalk Ramp
Not to Scale

008



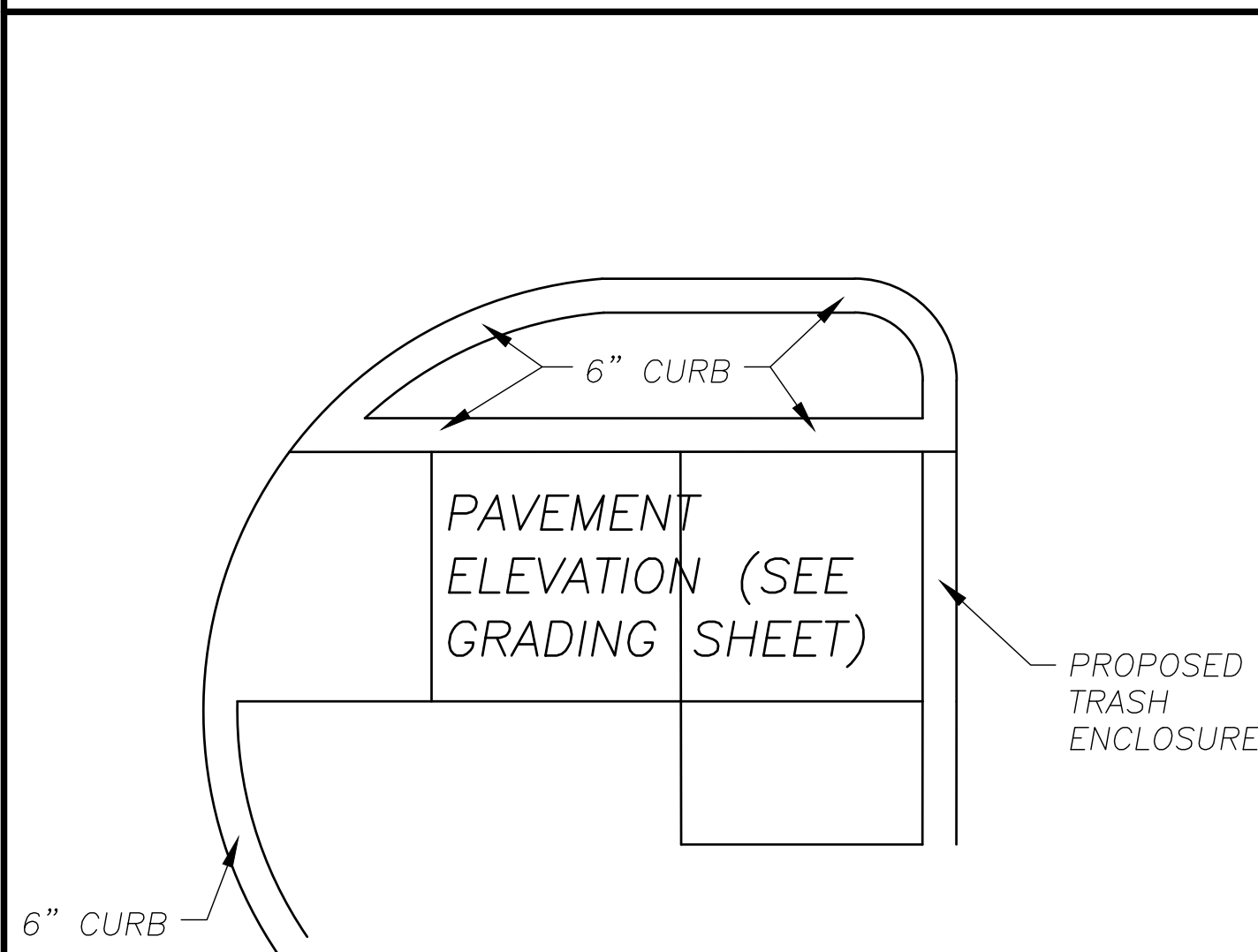
Steel/Concrete Bollard
Not to Scale

009



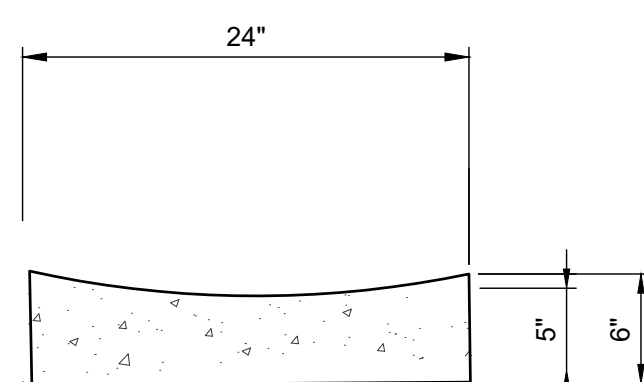
Type "B" Sidewalk Ramp
Not to Scale

010



Trash Access Detail
Not to Scale

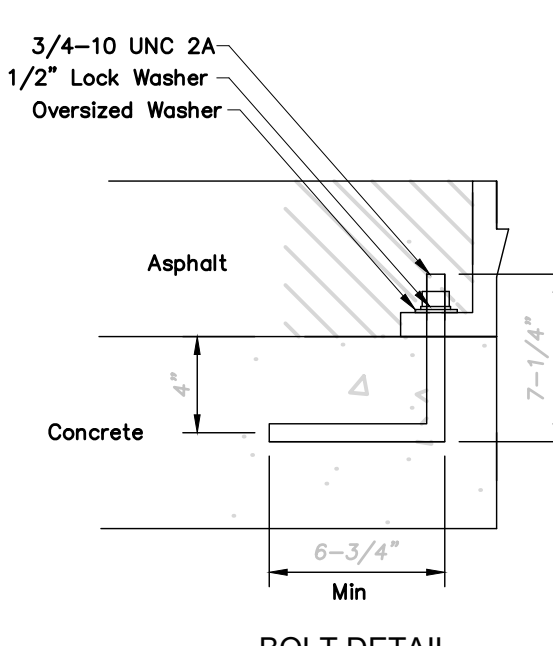
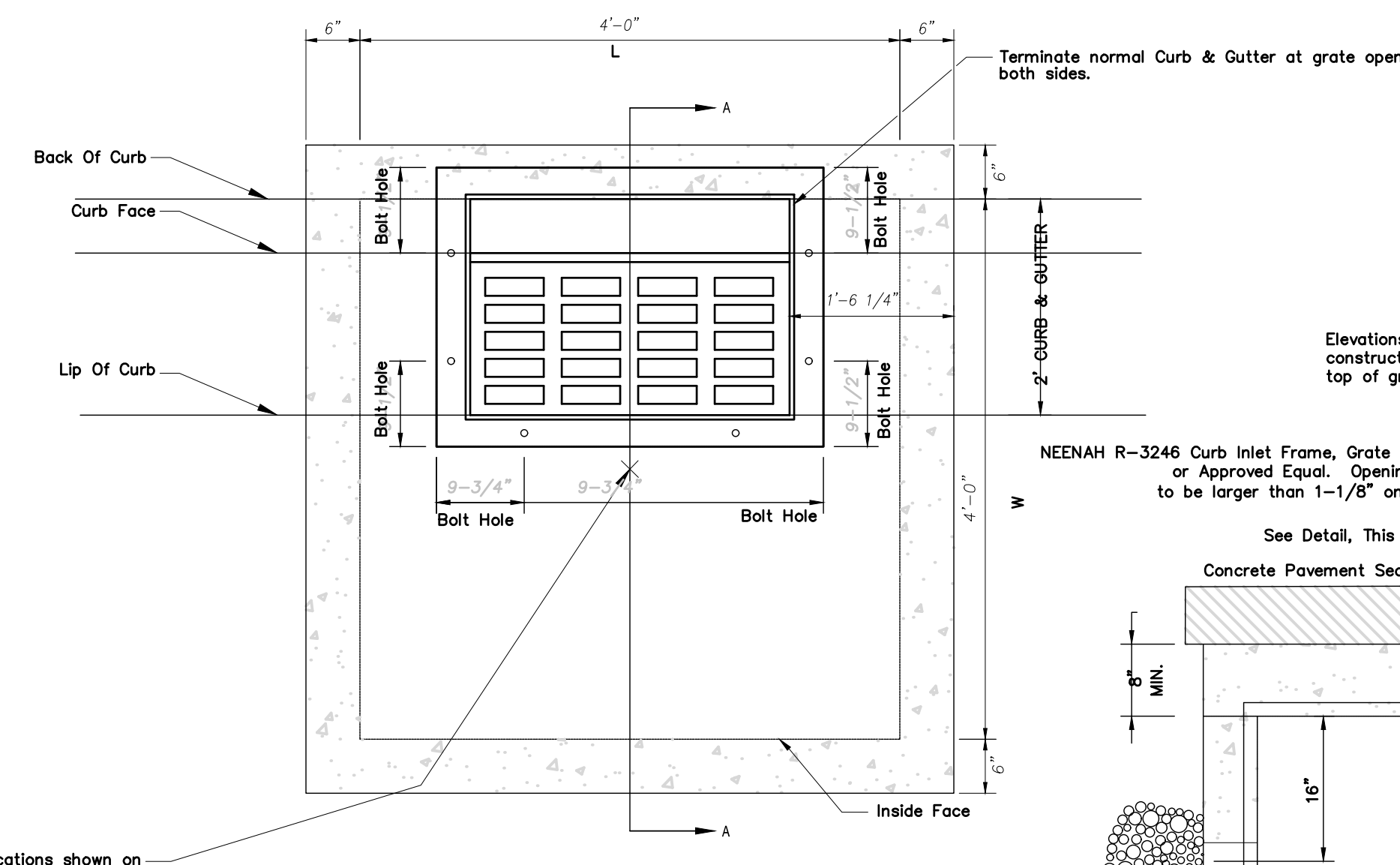
011



- NOTES:**
- ALL JOINTS WITH EXISTING CURB SHALL BE TYPE #2 JOINTS.
 - A TYPE #2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.
 - A TYPE #1 JOINT SHALL BE PLACED AT 15' OC.
 - AB-3 MAY BE USED AS A LEVELING COURSE TO BRING SUBGRADE TO PROPER ELEVATION (6" max.).
 - DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% min. SLOPE.

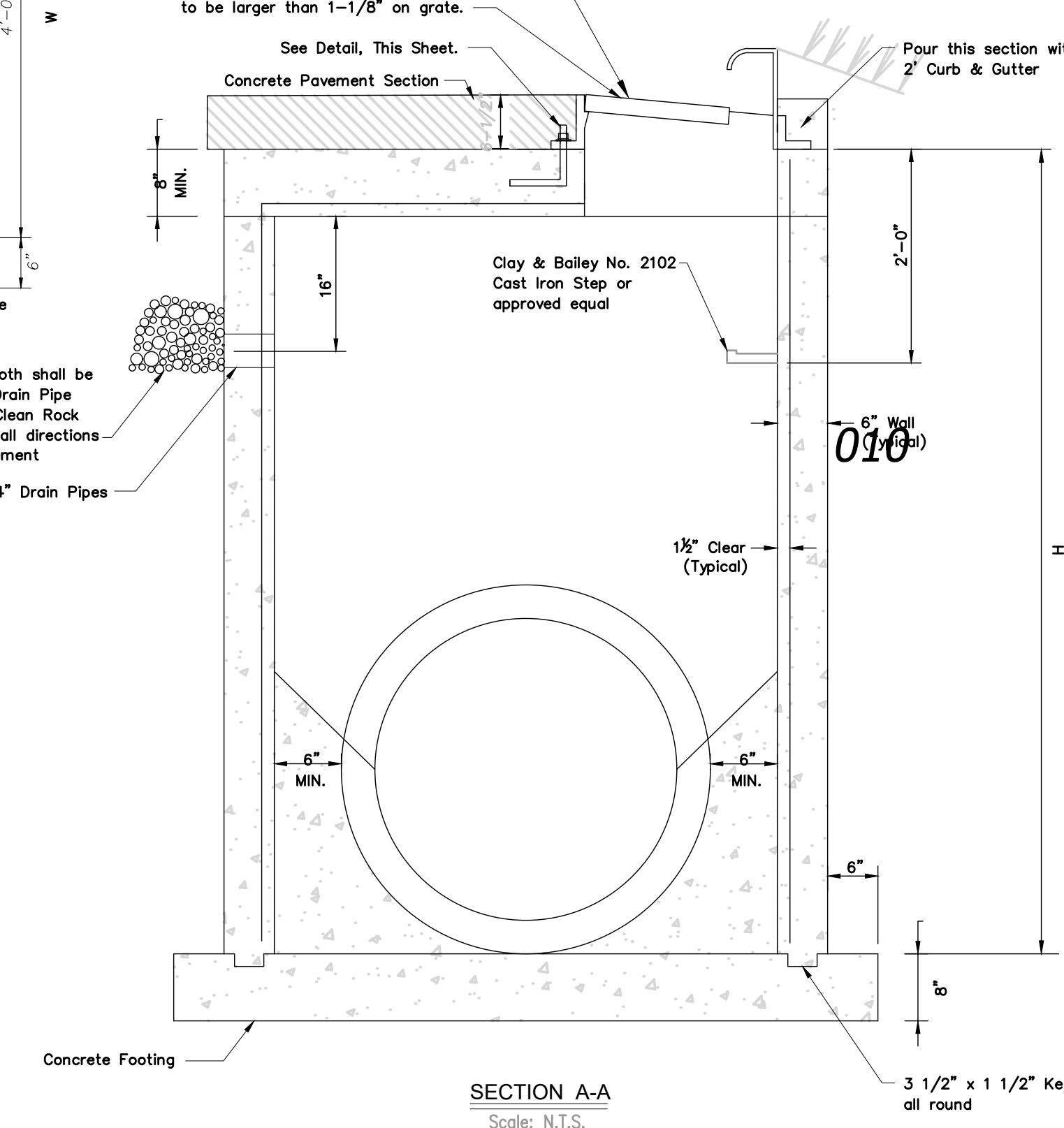
Valley Gutter
Not to Scale

012



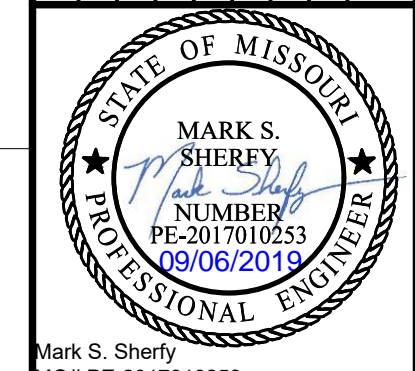
- GENERAL NOTES:**
- SEE SHEET STORM SEWER STRUCTURE NOTES THIS SHEET.
 - BOLT TO BE ALL THREAD, GALVANIZED STEEL.
 - OVERSIZED HOLE TO BE FIELD DRILLED IN 2045 CURB INLET FRAME AT INDICATED LOCATIONS TO MATCH UP TO ANCHOR BOLTS SET IN CONCRETE.

NEENAH CURB INLET
Not to Scale



013

Rev.	Date	Description	By	App.
3	9/6/19	Sheet Re-issued		
2	8/21/19	Sheet Re-issued		



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BHC is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

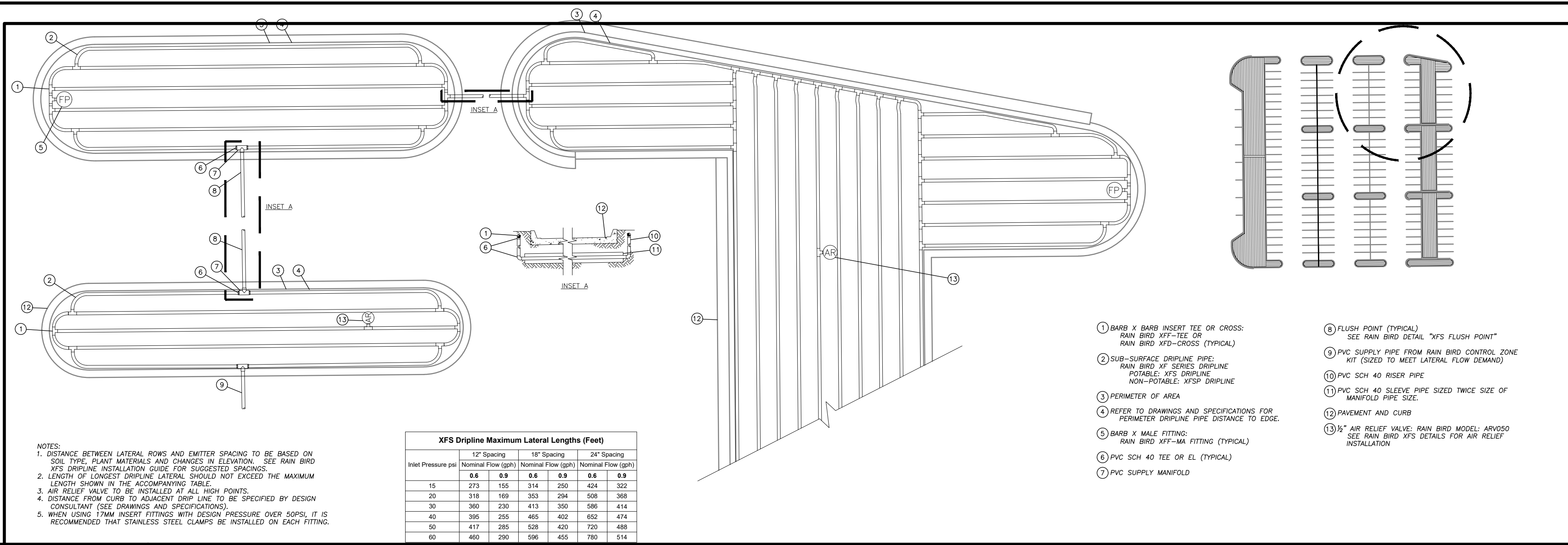
TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
CIVIL DETAILS

Design: MGG | Drawn: MGG
Checked: MSS
Issue Date: 04/23/2019
Project Number: 026040.08

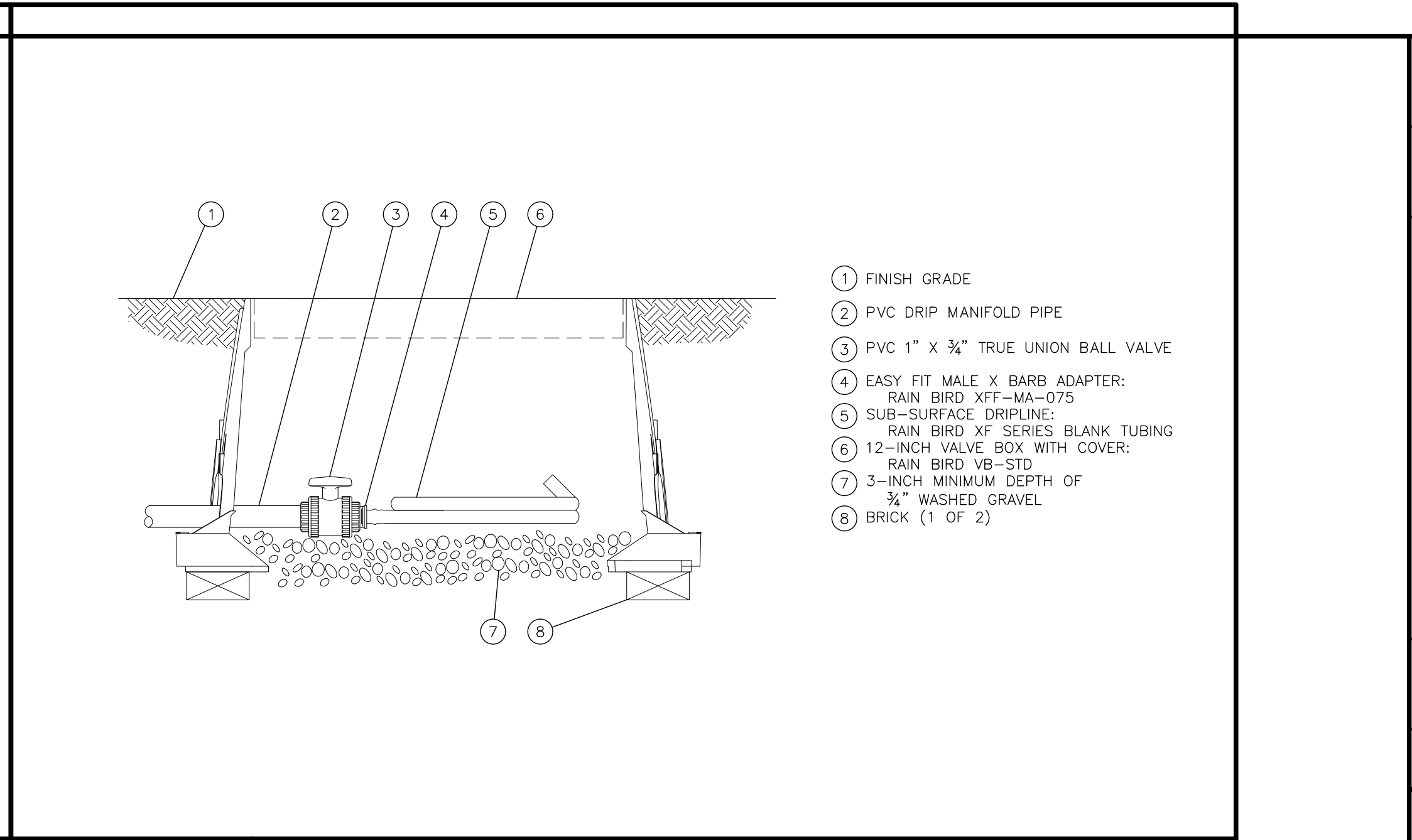
C9.1

Sep 06, 2019 - 10:44am Plotted By: mchd.03bbs V:\026040-08-Final Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\DWG_Sht\026040.08-SHTS-FDP-013.dwg Layout: Detail2

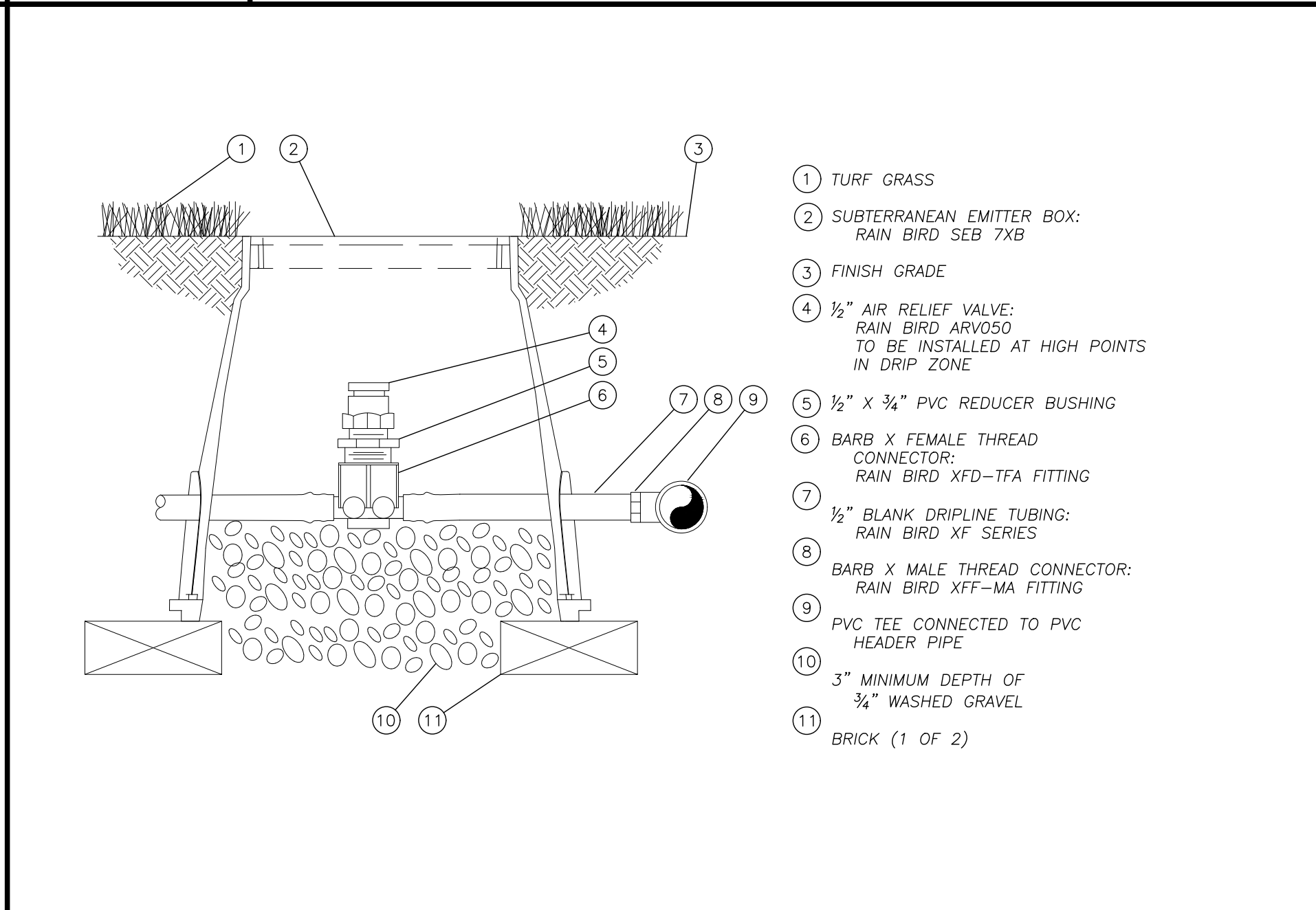
Jun 21, 2019 11:12am - BldgDef_Br_mchd.cbhbr - V:\026040-08-IRRIGATION - Mechanical\026040-08-IRRIGATION - Chanda\026040-08-IRRIGATION - SDC - 2



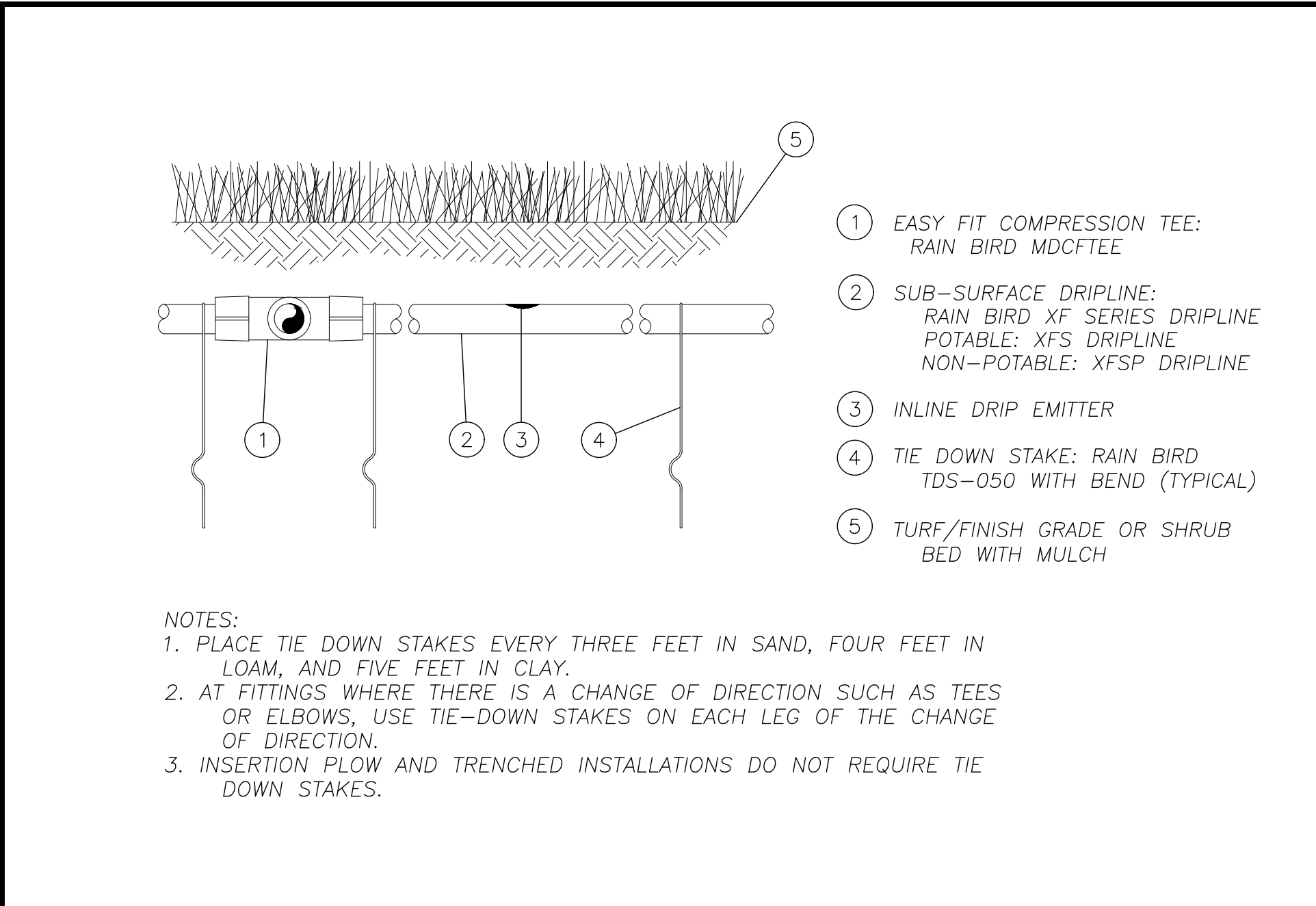
907
Not to Scale
TRYPICAL ISLAND DRIPLINE LAYOUT



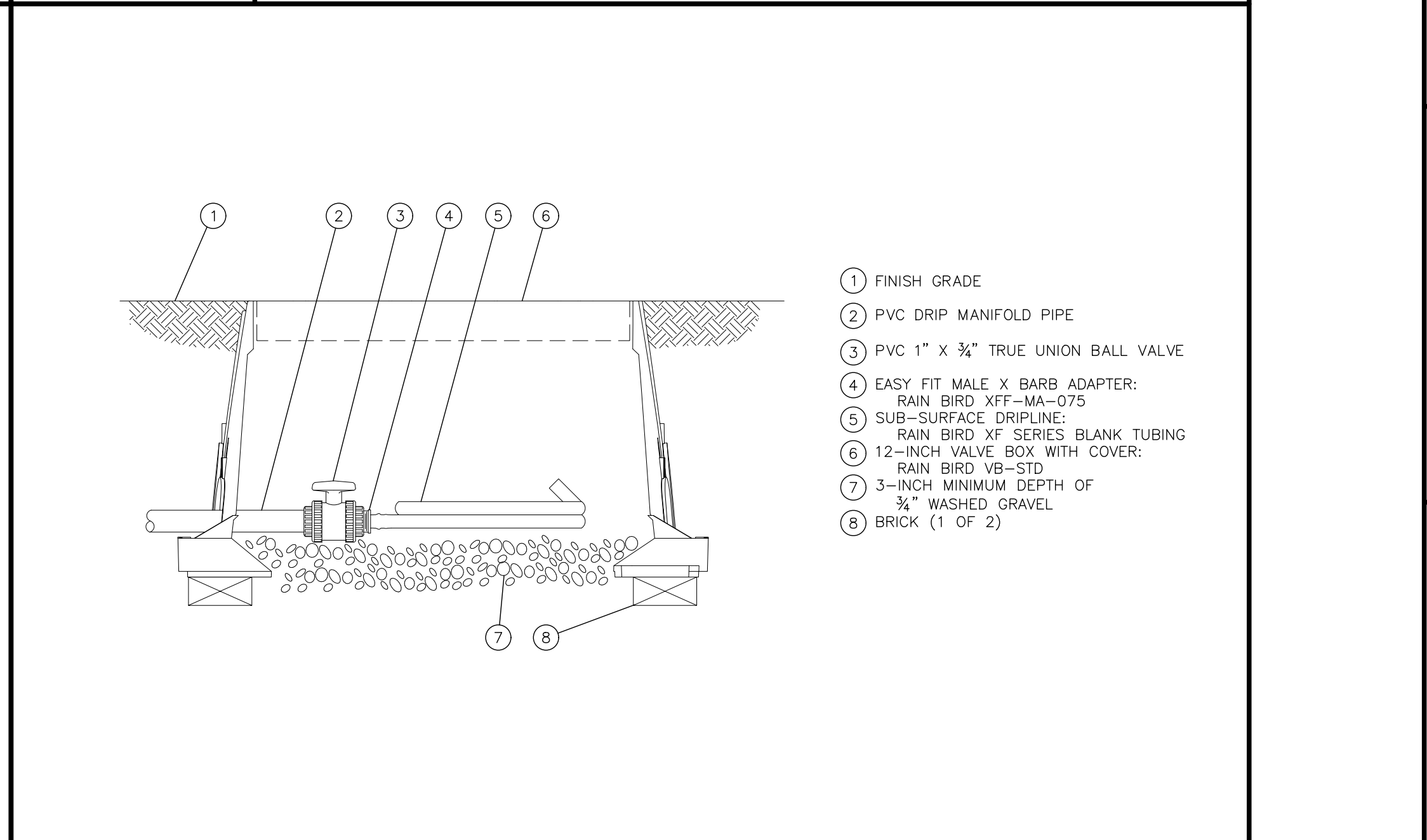
908
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XFS DRIPLINE FLUSH POINT W/BALL VALVE



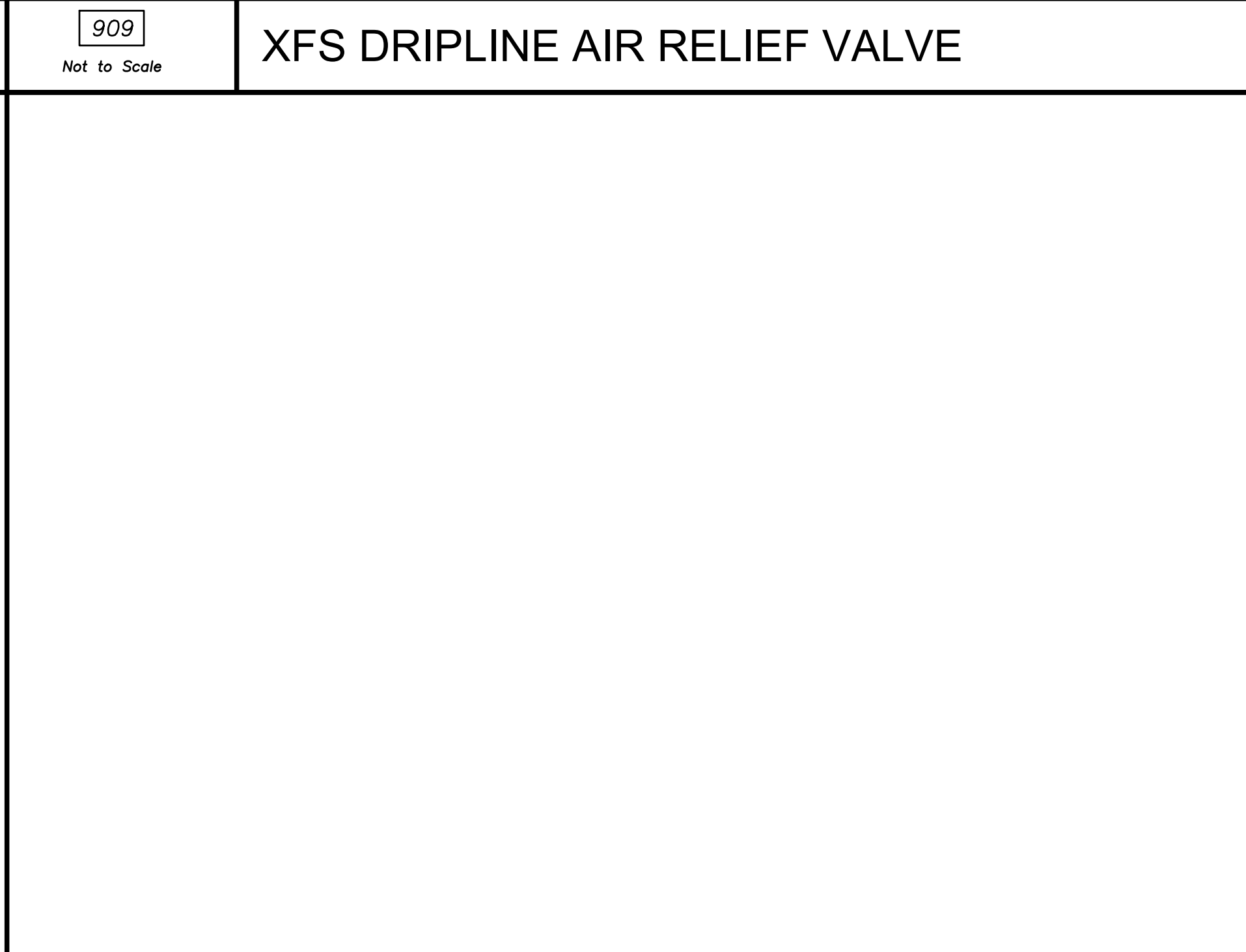
909
Not to Scale
XFS DRIPLINE AIR RELIEF VALVE



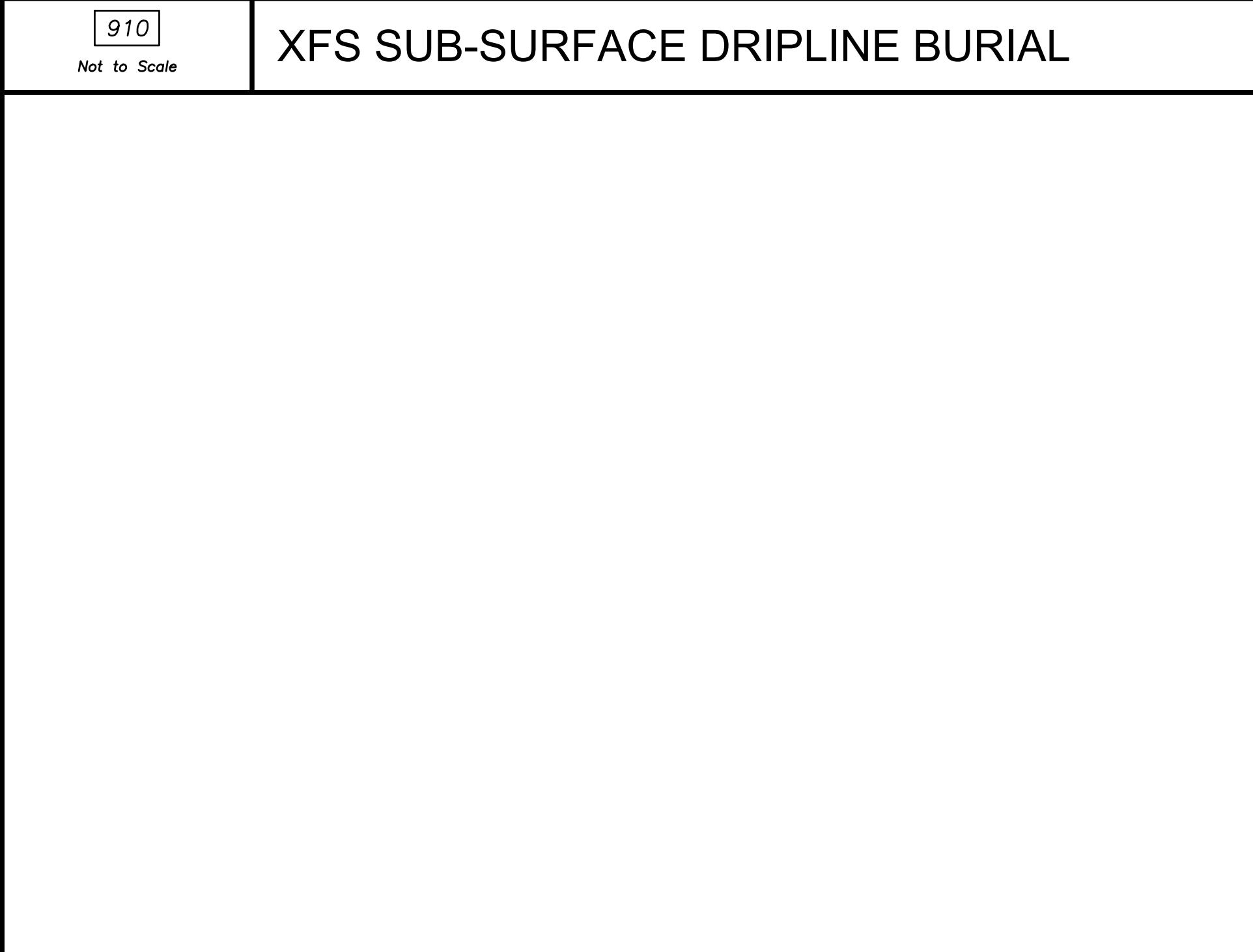
910
Not to Scale
XFS SUB-SURFACE DRIPLINE BURIAL



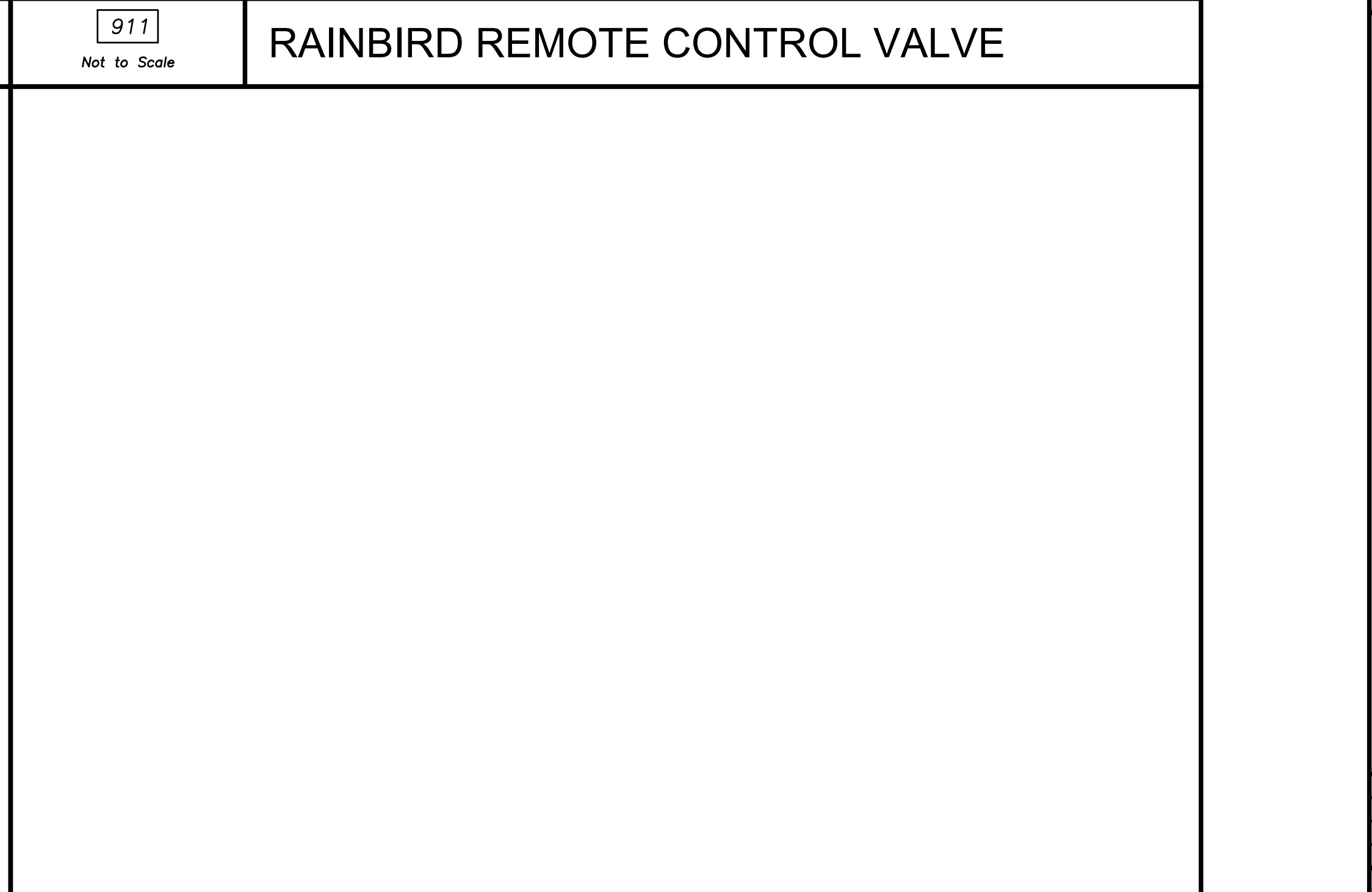
911
Not to Scale
RAINBIRD REMOTE CONTROL VALVE



000
Not to Scale
NOT USED



000
Not to Scale
NOT USED



000
Not to Scale
NOT USED

Rev.	Date	Description	By	App.



BHC RHODES
Civil Engineering • Surveying • Utilities
7101 College Blvd., Suite 400
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P: (913) 662-1900 F: (913) 662-1633
BHC Rhodes is a trademark of Fluigent Homestead & Company, P.A.
Certificate of Authority Number: MO# E-1355-F

Prepared For:
FIRST STREET DEVELOPMENT
4455 E CAMELBACK ROAD
BUILDING C 241
PHOENIX, ARIZONA 85018
602-714-3099

TACO BELL
851 NE WOODS CHAPEL RD
LEE'S SUMMIT, MISSOURI
FINAL DEVELOPMENT PLAN
IRRIGATION SPEC 2

Design: NAB Drawn: NAB
Checked: MSS
Issue Date:
Project Number: 026040.08

L2.2