

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED ON LOT 3B DEERBROOK COMMERCIAL PARK IN DISTRICT CP-2, PROPOSED ATTIC STORAGE, INDOOR CLIMATE CONTROLLED STORAGE FACILITY IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2018-121, submitted by Strickland Construction, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located on *Lot 3B, Deerbrook Commercial Park* was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on February 14, 2019, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on March 5, 2019, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

Section 32, Township 48 North, Range 31 West, in Lee's Summit, Jackson County, Missouri, being described as follows:

*LOT 3B, DEERBROOK COMMERCIAL PARK, LOTS 3A & 3B, A SUBDIVISION
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.*

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the maximum allowable 0.55 FAR in the CP-2 district, to allow 0.92 FAR.
2. The pilaster located on the northeast corner of the building shall incorporate more architectural detail, adding depth and interest as it wraps around towards the interior of the building.
3. The glass windows on the second and third stories shall be opaque.
4. Development shall be in accordance with the preliminary development plan date stamped January 22, 2019.

5. The shared private driveway shall be designated as a fire lane in accordance with City Ordinances.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped January 22, 2019.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 19th day of March, 2019.



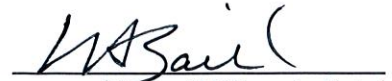
Mayor William A. Baird

ATTEST:

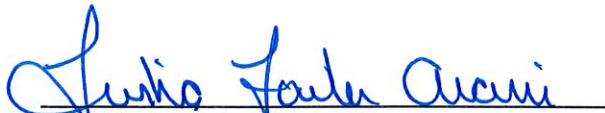


City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 20th day of March, 2019.


Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


Nancy K. Yendes, Chief Counsel
Infrastructure and Planning



LEE'S SUMMIT MISSOURI

DEVELOPMENT REVIEW FORM TRANSPORTATION IMPACT

DATE: February 6, 2019
SUBMITTAL DATE: January 22, 2019
APPLICATION #: PL2018121
PROJECT NAME: ATTIC STORAGE

CONDUCTED BY: Michael K Park, PE, PTOE
PHONE: 816.969.1800
EMAIL: Michael.Park@cityofls.net
PROJECT TYPE: Prel Dev Plan (PDP)

SURROUNDING ENVIRONMENT (*Streets, Developments*)

The proposed development is located north of Deerbrook Street, east of M-291 Highway. An existing fitness center is located to the immediate south of the proposed development along Deerbrook Street. M-291 Highway is located to the west, there is undevelopable land to the immediate north without access to Mulberry Street due to topography impediments, and residential property to the east.

ALLOWABLE ACCESS

The proposed development will be accessed from an existing shared driveway and parking areas that were planned and built in association with the neighboring business. The shared driveway has access to Deerbrook Street. Deerbrook Street intersects M-291 Highway.

EXISTING STREET CHARACTERISTICS (*Lanes, Speed limits, Sight Distance, Medians*)

Deerbrook Street is a two-lane, undivided, collector with a 25 mph speed limit. The intersection of Deerbrook Street at M-291 Highway is traffic signal controlled with turn lanes upon each approach. M-291 Highway is a four-lane, limited access, median divided state highway owned and managed by the Missouri Department of Transportation (MoDOT). M-291 Highway has a 45 mph speed limit near the proposed development. There are no sight distance concerns within the study area.

ACCESS MANAGEMENT CODE COMPLIANCE?

YES ☒

NO ☐

The proposed development plan and access is in compliance with the City's Access Management Code. The proposed development has no direct access to the public street network.

TRIP GENERATION

Time Period	Total	In	Out
Weekday	256	128	128
A.M. Peak Hour	14	8	6
P.M. Peak Hour	27	13	14

The trip generation shown above was determined based on the proposed development using the ITE Trip Generation Manual, 10th Edition.

TRANSPORTATION IMPACT STUDY REQUIRED?YES ☐NO ☒

The proposed development will not likely generate more than 100 vehicle trips to the surrounding street system during any given peak hour, a condition that requires a traffic impact study based on the Access Management Code.

Considering the amount of traffic likely generated by the proposed development during peak hours and the existing roadway conditions, capacity and other factors of future growth near the proposed development that provide access, there are no concerns regarding the impact of the proposed development to traffic safety or traffic operations.

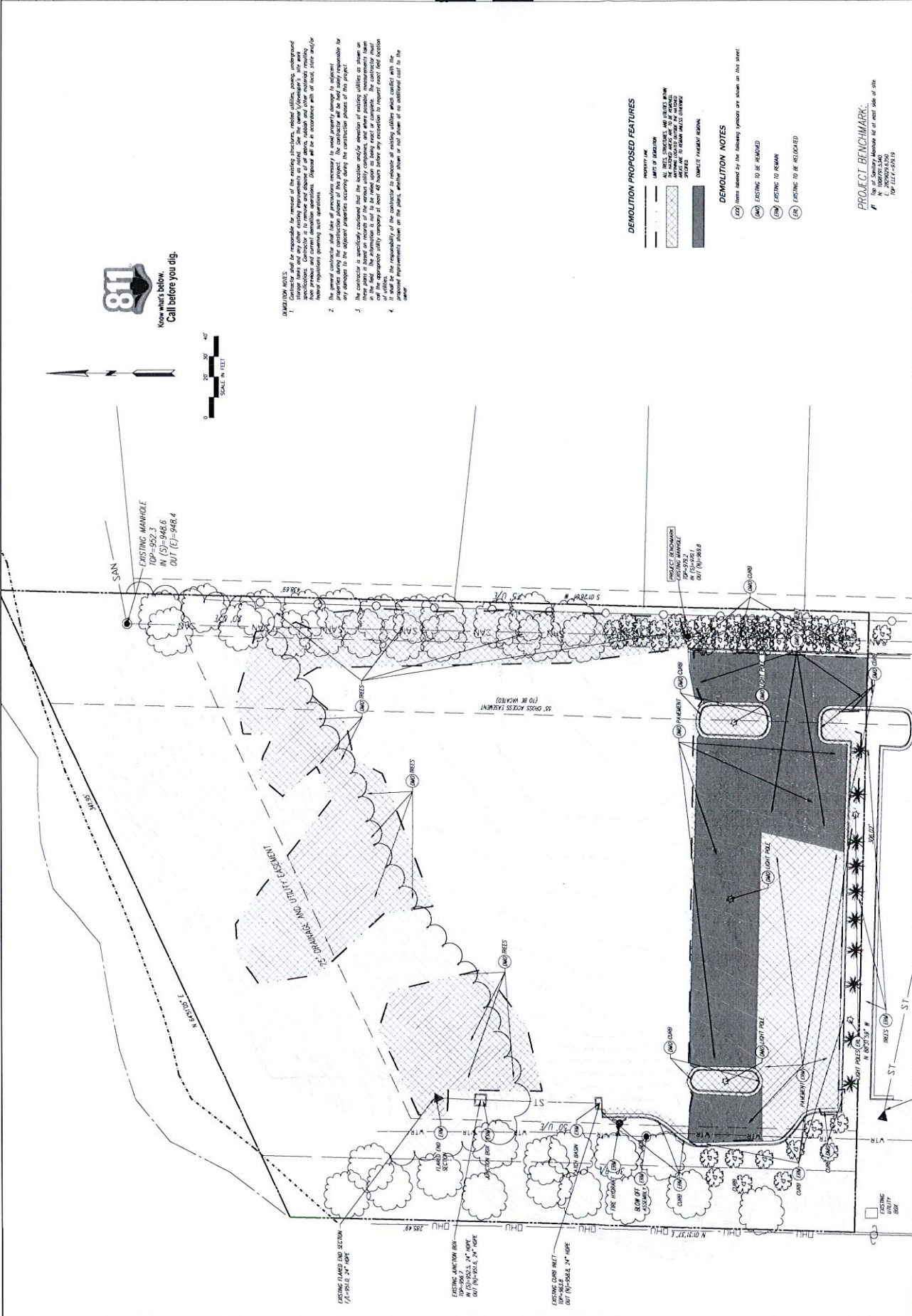
LIVABLE STREETS (Resolution 10-17)COMPLIANT ☒EXCEPTIONS ☐

The proposed preliminary development plan includes all Livable Streets elements identified in the City's adopted Comprehensive Plan, associated Greenway Master Plan and Bicycle Transportation Plan attachments, and elements otherwise required by ordinances and standards, including but not limited to sidewalk, connectivity and accessibility. No exceptions to the Livable Streets Policy adopted by Resolution 10-17 have been proposed.

RECOMMENDATION:APPROVAL ☒DENIAL ☐N/A ☐STIPULATIONS ☐

Recommendations for Approval refer only to the transportation impact and do not constitute an endorsement from City Staff.

Staff recommends approval of the proposed preliminary development plan.



DEMOLITION PROPOSED FEATURES

- PROPERTY LINE
- LIMITS OF EXISTENCE
- ALL BUILT STRUCTURES AND UTILITIES BEING DEMOLISHED
- EXISTING UTILITIES TO BE REMOVED
- EXISTING UTILITIES TO BE MAINTAINED
- COMPLETE FUTURE REMAIN

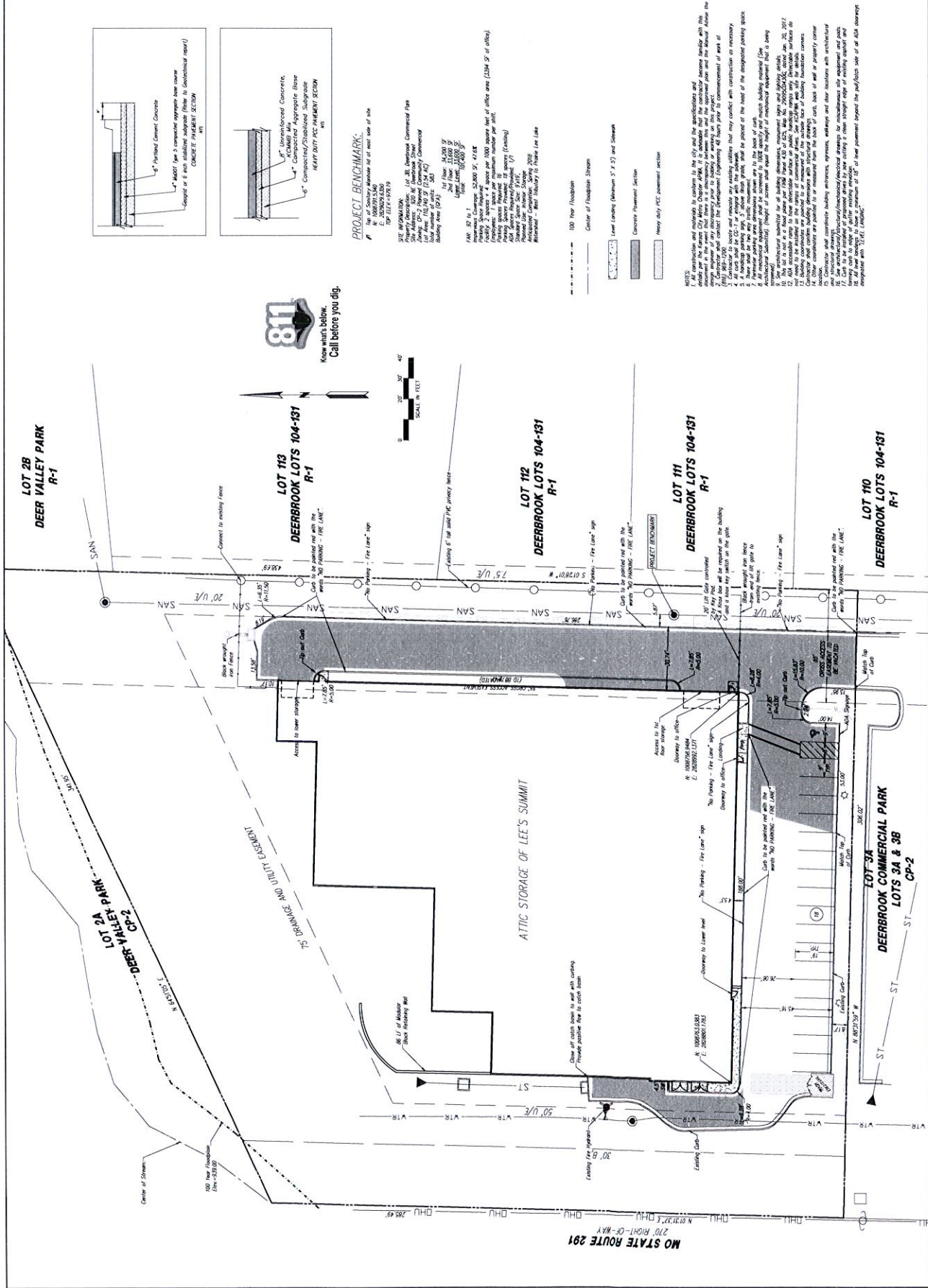
DEMOLITION NOTES

- Items shown by the following symbols are shown on this sheet:
- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- EXISTING TO BE RELOCATED

PROJECT BENCHMARKS

Top of Survey Manhole at east side of site
 N 1000791.340
 E 1000791.340
 TOP 1214.278 19

- Contractor shall be responsible for removal of the existing structures, related utilities, ponds, underground storage tanks and any other existing improvements on site. See the general conditions of the contract for more details. The contractor shall be responsible for obtaining all necessary permits and for the safety of the work area. The contractor shall be responsible for the removal of the existing structures and related utilities, ponds, underground storage tanks and any other existing improvements on site. The contractor shall be responsible for the removal of the existing structures and related utilities, ponds, underground storage tanks and any other existing improvements on site.
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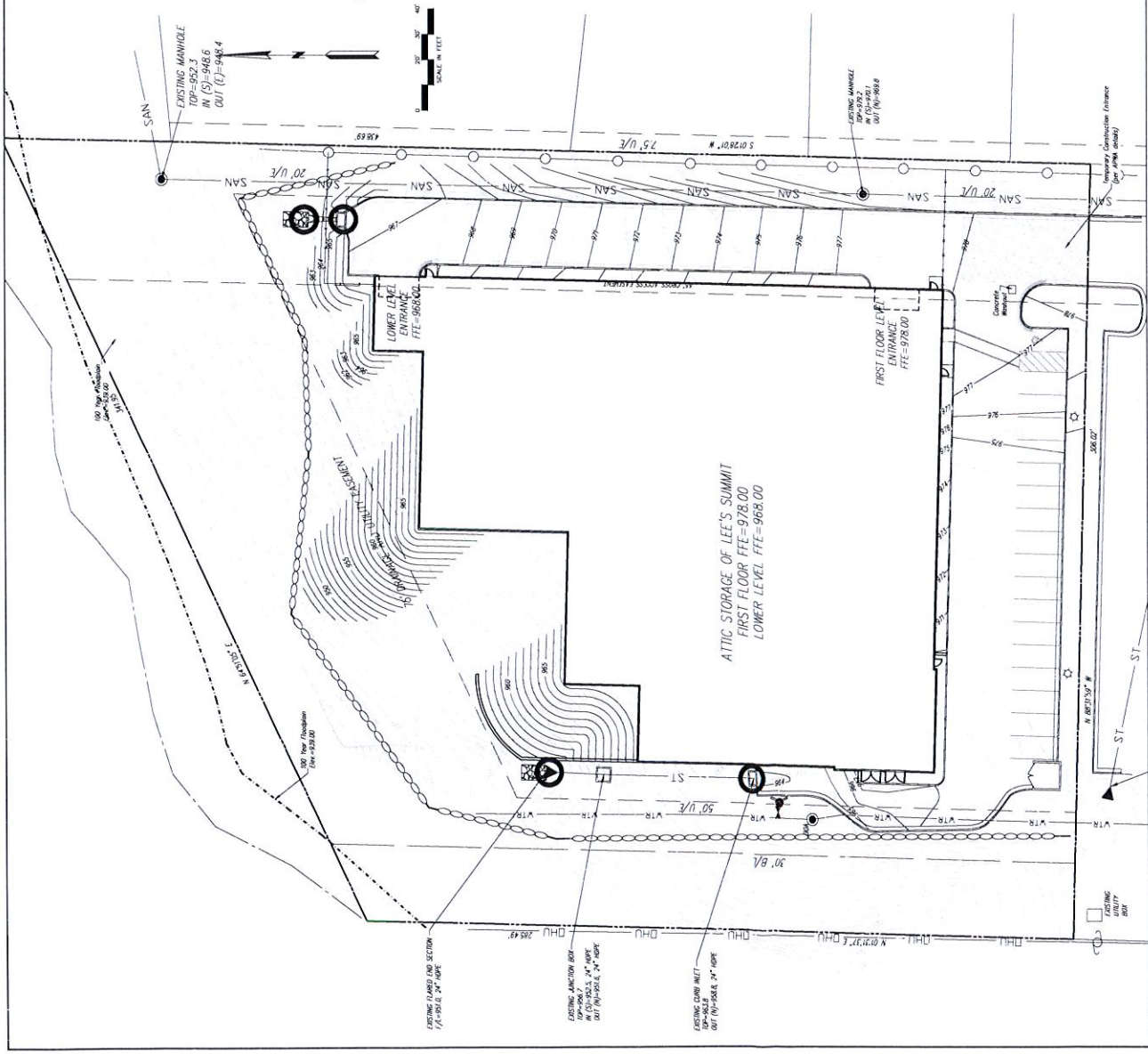
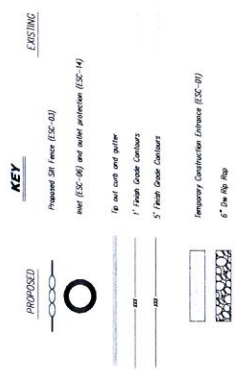


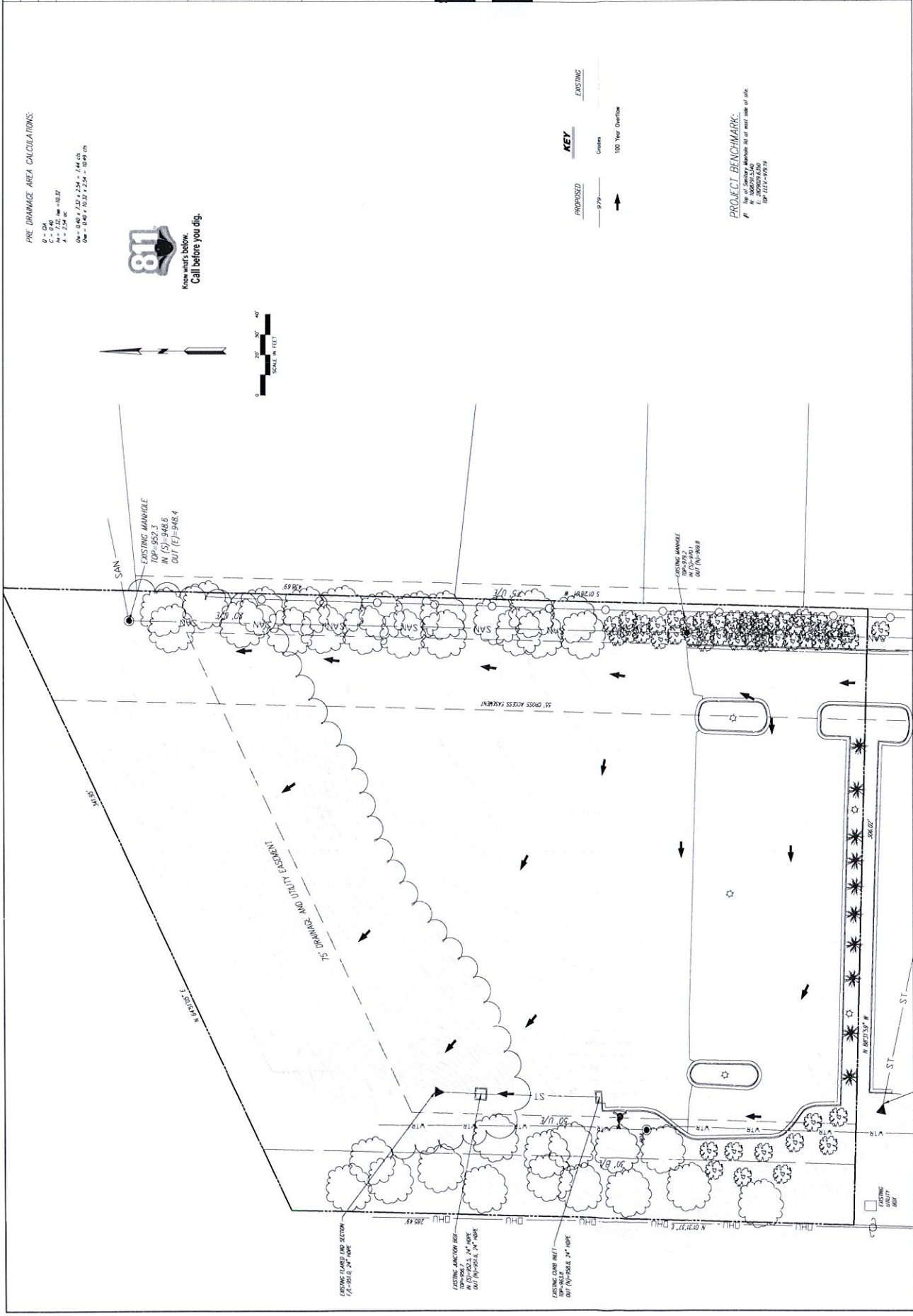
PROJECT BENCHMARK:

Top of Sanitary Manhole lid at east side of site.
N: 1008791.5340
E: 2629029.6350
61.86/6 = 10.313' dcl

MAJOR CONSTRUCTION ACTIVITIES:

1. *Onset of necessary city construction.*
2. *Quoted temporary construction entrance of location shown on this sheet.*
3. *Intermittent use of the location shown on this sheet. Initial and final use of the location shown on this sheet.*
4. *Location and duration of existing utility.*
5. *Location and duration of existing utility.*
6. *Initial and final use of the location shown on this sheet. Initial and final use of the location shown on this sheet.*
7. *Initial and final use of the location shown on this sheet. Initial and final use of the location shown on this sheet.*
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22. *Initial and final use of the location shown on this sheet. Initial and final use of the location shown on this sheet.*





PRE DRAINAGE AREA CALCULATIONS:

Q = 0.4
C = 0.40
A = 2.24
Q₁₀₀ = 0.40 x 2.24 x 2.24 = 1.44 cfs
Q₁₀₀ = 0.40 x 10.24 x 2.24 = 10.40 cfs



KEY

PROPOSED

EXISTING

Grass

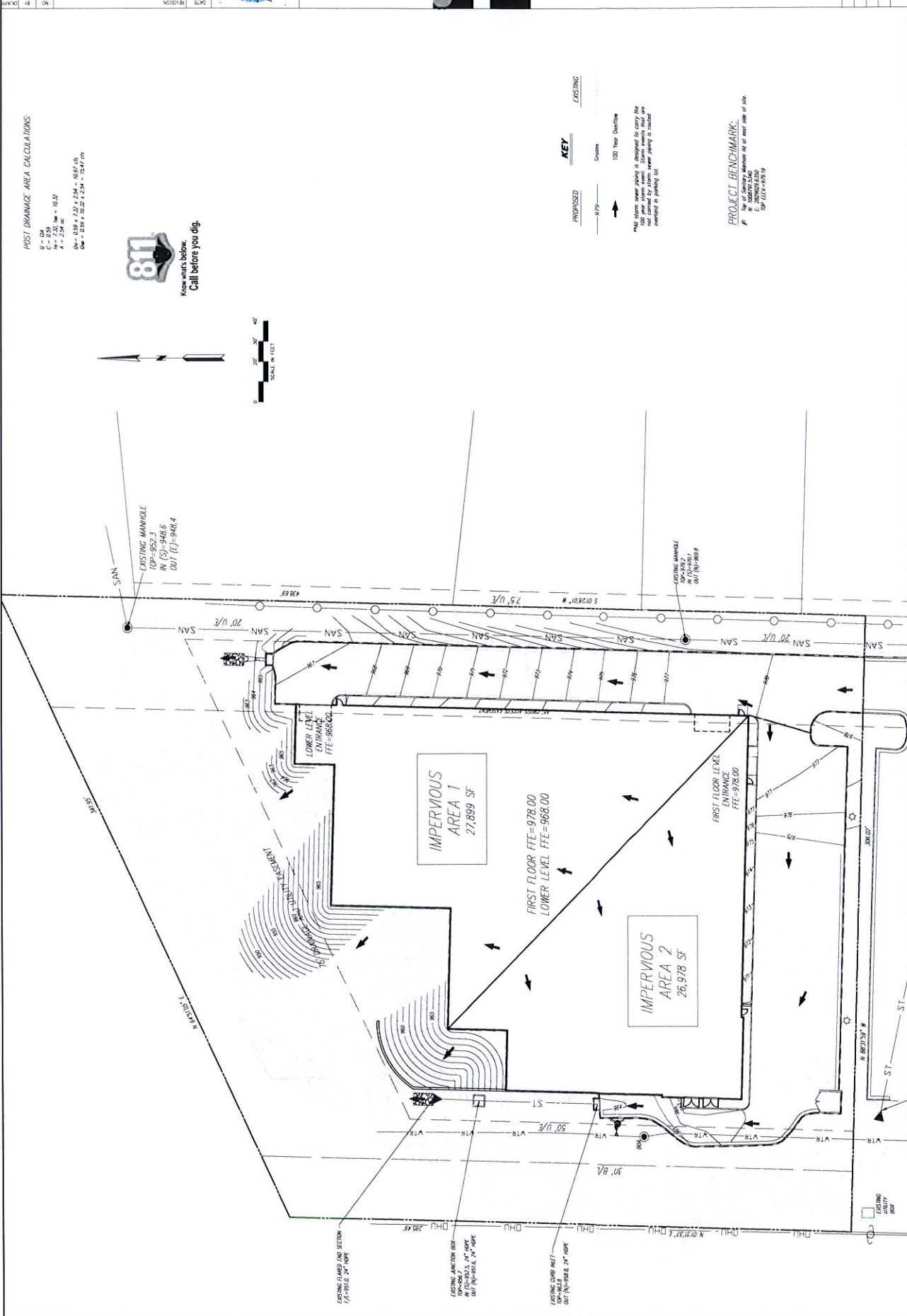
100 Year Overflow

PROJECT BENCHMARK:

1" = 100' (Horizontal)

1" = 10' (Vertical)

1" = 10' (Vertical)



POST DRAINAGE AREA CALCULATIONS:

Q = 0.04
C = 0.59
A = 2.54 ac
Q₁₀₀ = 0.04 x 2.54 x 2.54 = 0.64 cfs
Q₁₀₀ = 0.04 x 2.54 x 2.54 = 0.64 cfs

811
Know what's below.
Call before you dig.

KEY

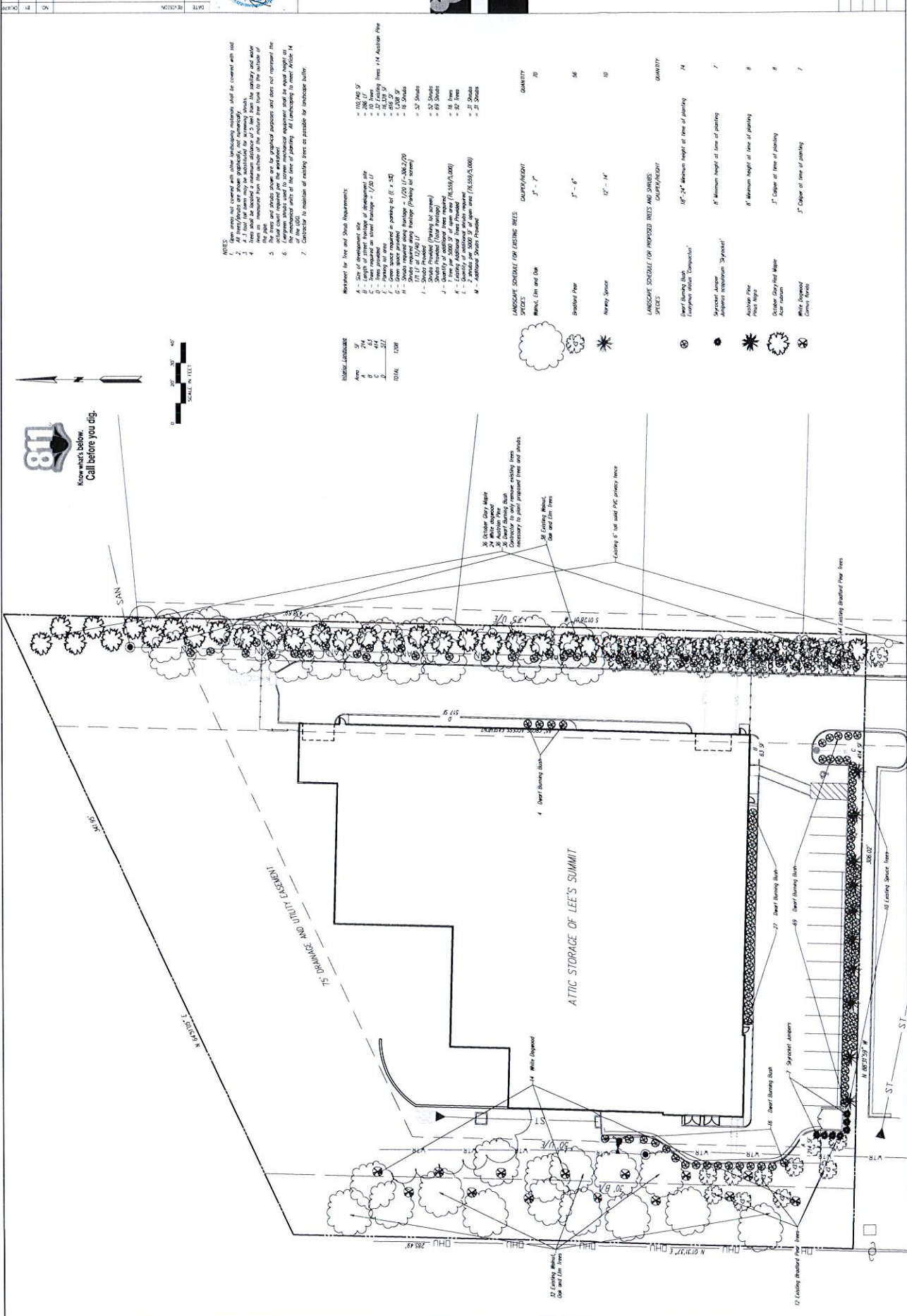
PROPOSED 0.75' 100 Year Overflow

EXISTING 0.75' 100 Year Overflow

Notes: Storm sewer system is designed to carry the 100 year stormwater runoff. The system is not designed to carry the 100 year stormwater runoff. The system is not designed to carry the 100 year stormwater runoff.

PROJECT BENCHMARK:

100079.540
100079.540
100079.540
100079.540



LEE'S SUMMIT MISSOURI

PROJECT NO. 111111

DATE: 11/11/12

NO. 11

BY: JLS

LEE'S SUMMIT MISSOURI

PROJECT NO. 111111

DATE: 11/11/12

NO. 11

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LEE'S SUMMIT MISSOURI

PROJECT NO. 111111

DATE: 11/11/12

NO. 11

BY: JLS



SHEET INDEX		
NUMBER	DESCRIPTION	DATE
A-01	COVER SHEET	
A-02	GENERAL NOTES	
A-03	FOUNDATION	
A-04	1ST FLOOR	
A-05	2ND FLOOR	
A-06	3RD FLOOR	
A-07	4TH FLOOR	
A-08	5TH FLOOR	
A-09	6TH FLOOR	
A-10	7TH FLOOR	
A-11	8TH FLOOR	
A-12	9TH FLOOR	
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A-14	11TH FLOOR	
A-15	12TH FLOOR	
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A-23	20TH FLOOR	
A-24	21ST FLOOR	
A-25	22ND FLOOR	
A-26	23RD FLOOR	
A-27	24TH FLOOR	
A-28	25TH FLOOR	
A-29	26TH FLOOR	
A-30	27TH FLOOR	
A-31	28TH FLOOR	
A-32	29TH FLOOR	
A-33	30TH FLOOR	
A-34	31ST FLOOR	
A-35	32ND FLOOR	
A-36	33RD FLOOR	
A-37	34TH FLOOR	
A-38	35TH FLOOR	
A-39	36TH FLOOR	
A-40	37TH FLOOR	
A-41	38TH FLOOR	
A-42	39TH FLOOR	
A-43	40TH FLOOR	
A-44	41ST FLOOR	
A-45	42ND FLOOR	
A-46	43RD FLOOR	
A-47	44TH FLOOR	
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A-76	73RD FLOOR	
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A-95	92ND FLOOR	
A-96	93RD FLOOR	
A-97	94TH FLOOR	
A-98	95TH FLOOR	
A-99	96TH FLOOR	
A-100	97TH FLOOR	
A-101	98TH FLOOR	
A-102	99TH FLOOR	
A-103	100TH FLOOR	

ATTIC STORAGE OF LEE'S SUMMIT
920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI

Hernly
ARCHITECT
1100 Rhode Island St.
Lawrence, KS 66044
P) 785-749-5806
F) 785-749-1515

Stickland Construction
720 S. Rogers Road, Suite 'B'
Olathe, KS 66062
P) 913-764-7000

A0.0

PROJECT NAME: _____
PROJECT DESCRIPTION: _____
PROJECT LOCATION: _____
COMPANY CONTACT: _____
ARCHITECT: _____
GENERAL CONTRACTOR: _____
DATE: _____

PROJECT INFORMATION



PROJECT LOCATION

ARCHITECT
Hernly
ARCHITECT
1100 Rhode Island St.
Lawrence, KS 66044
P) 785-749-5806
F) 785-749-1515

GENERAL CONTRACTOR
Stickland Construction
720 S. Rogers Road, Suite 'B'
Olathe, KS 66062
P) 913-764-7000



ATTIC STORAGE OF LEE'S SUMMIT
920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI



1160 Rhonda Holland St.
Lawrence, Kansas
66044
785 - 749 - 3406
FAX 785 - 749 - 1515

1. **UNIT 1 - LESSON 1**

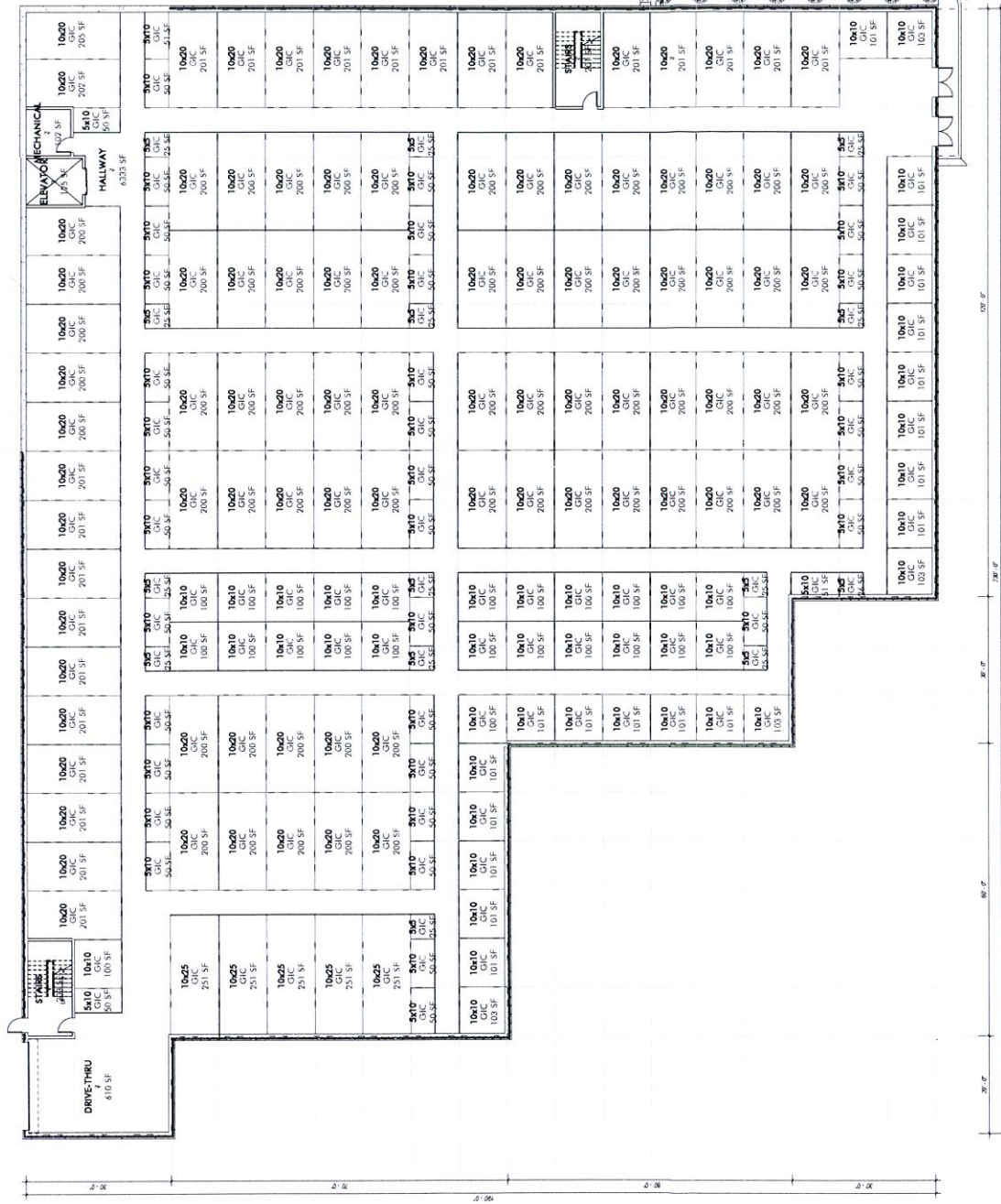
Date:	Issue Date:
Drawn by:	WCTJ
Checked by:	Checker

A1.0

UNIT MIX SCHEDULE			UNIT TYPE NUMBER	
UNIT SIZE (MM)	Count	AREA		
5x5	20	25.5F	UFC	
5x5	14	25.5F	UFC	
5x10	19	50.5F	UFC	
5x10	40	50.5F	UFC	
8x10	40	100.5F	UFC	
8x10	40	100.5F	UFC	
8x15	34	150.5F	UFC	
8x15	34	150.5F	UFC	
10x10	1	200.5F	UFC	
10x20	150	200.5F	UFC	
8x20	45	200.5F	UFC	
8x25	30	250.5F	UFC	
8x30	5	300.5F	UFC	
TOTAL	581			

UNIT SIZE/NAME	Count	AREA	UNIT TYPE/NUMBER
5x5	14	25 SF	GC
5x10	39	50 SF	GC
6x10	47	100 SF	GC
6x20	1	200 SF	GC
6x30	91	300 SF	GC
6x25	5	250 SF	GC
TOTAL	197		

1ST LEVEL
34,200 S.F.

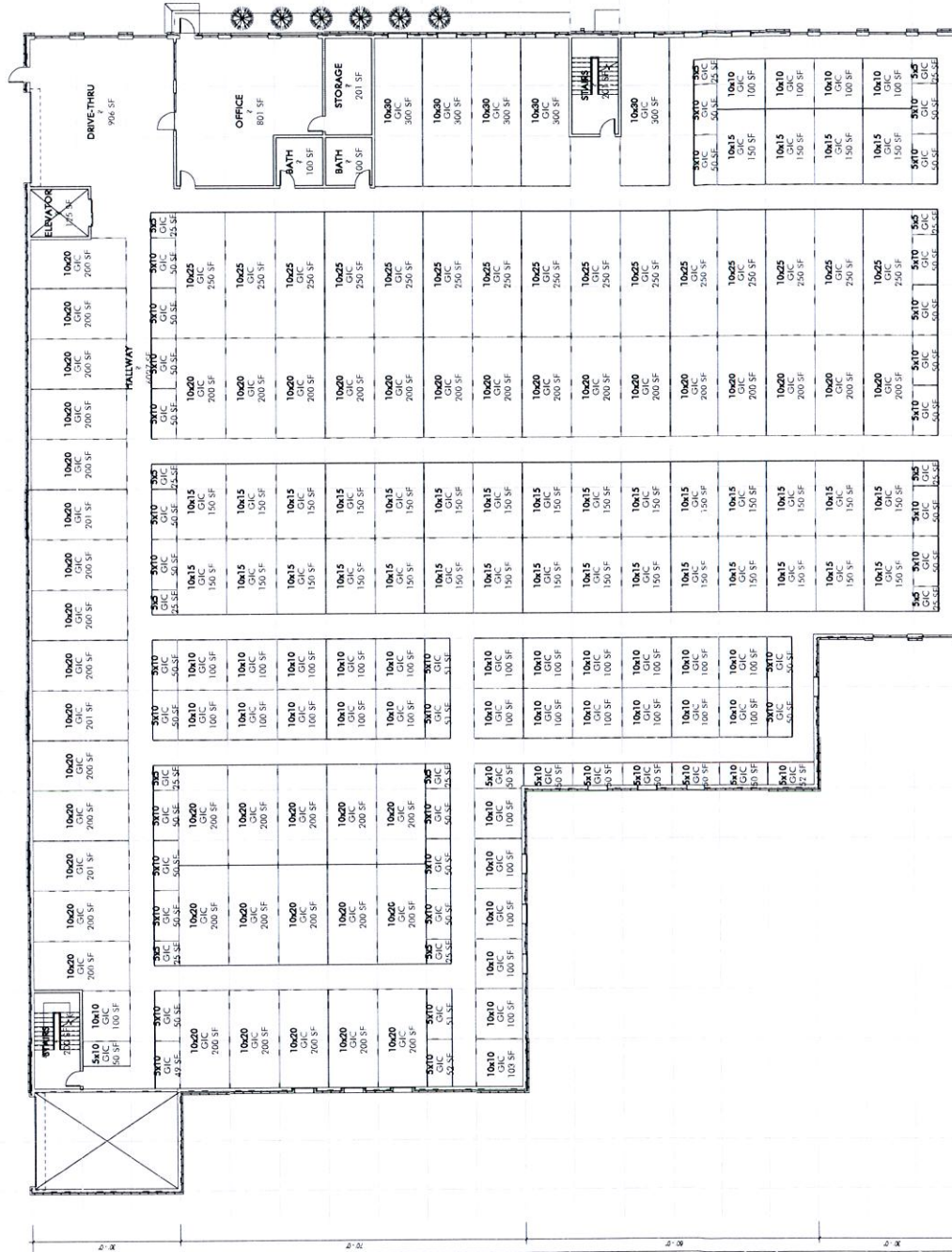
UNIT MIX - LEVEL 1 

3/32" x 1'-0"

2ND LEVEL
33,600 S.F.

UNIT MIX SCHEDULE - LEVEL 2

UNIT	SS/NAME	Q	Chart	AREA	UNIT TYPE/NAME
10x10	GIC	40	10x10	400 SF	GIC
10x15	GIC	40	10x15	600 SF	GIC
10x20	GIC	40	10x20	800 SF	GIC
10x25	GIC	40	10x25	1000 SF	GIC
10x30	GIC	40	10x30	1200 SF	GIC
10x40	GIC	40	10x40	1600 SF	GIC
10x50	GIC	40	10x50	2000 SF	GIC
10x60	GIC	40	10x60	2400 SF	GIC
10x70	GIC	40	10x70	2800 SF	GIC
10x80	GIC	40	10x80	3200 SF	GIC
10x90	GIC	40	10x90	3600 SF	GIC
10x100	GIC	40	10x100	4000 SF	GIC
10x110	GIC	40	10x110	4400 SF	GIC
10x120	GIC	40	10x120	4800 SF	GIC
10x130	GIC	40	10x130	5200 SF	GIC
10x140	GIC	40	10x140	5600 SF	GIC
10x150	GIC	40	10x150	6000 SF	GIC
10x160	GIC	40	10x160	6400 SF	GIC
10x170	GIC	40	10x170	6800 SF	GIC
10x180	GIC	40	10x180	7200 SF	GIC
10x190	GIC	40	10x190	7600 SF	GIC
10x200	GIC	40	10x200	8000 SF	GIC
10x210	GIC	40	10x210	8400 SF	GIC
10x220	GIC	40	10x220	8800 SF	GIC
10x230	GIC	40	10x230	9200 SF	GIC
10x240	GIC	40	10x240	9600 SF	GIC
10x250	GIC	40	10x250	10000 SF	GIC
10x260	GIC	40	10x260	10400 SF	GIC
10x270	GIC	40	10x270	10800 SF	GIC
10x280	GIC	40	10x280	11200 SF	GIC
10x290	GIC	40	10x290	11600 SF	GIC
10x300	GIC	40	10x300	12000 SF	GIC
10x310	GIC	40	10x310	12400 SF	GIC
10x320	GIC	40	10x320	12800 SF	GIC
10x330	GIC	40	10x330	13200 SF	GIC
10x340	GIC	40	10x340	13600 SF	GIC
10x350	GIC	40	10x350	14000 SF	GIC
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10x370	GIC	40	10x370	14800 SF	GIC
10x380	GIC	40	10x380	15200 SF	GIC
10x390	GIC	40	10x390	15600 SF	GIC
10x400	GIC	40	10x400	16000 SF	GIC
10x410	GIC	40	10x410	16400 SF	GIC
10x420	GIC	40	10x420	16800 SF	GIC
10x430	GIC	40	10x430	17200 SF	GIC
10x440	GIC	40	10x440	17600 SF	GIC
10x450	GIC	40	10x450	18000 SF	GIC
10x460	GIC	40	10x460	18400 SF	GIC
10x470	GIC	40	10x470	18800 SF	GIC
10x480	GIC	40	10x480	19200 SF	GIC
10x490	GIC	40	10x490	19600 SF	GIC
10x500	GIC	40	10x500	20000 SF	GIC
10x510	GIC	40	10x510	20400 SF	GIC
10x520	GIC	40	10x520	20800 SF	GIC
10x530	GIC	40	10x530	21200 SF	GIC
10x540	GIC	40	10x540	21600 SF	GIC
10x550	GIC	40	10x550	22000 SF	GIC
10x560	GIC	40	10x560	22400 SF	GIC
10x570	GIC	40	10x570	22800 SF	GIC
10x580	GIC	40	10x580	23200 SF	GIC
10x590	GIC	40	10x590	23600 SF	GIC
10x600	GIC	40	10x600	24000 SF	GIC
10x610	GIC	40	10x610	24400 SF	GIC
10x620	GIC	40	10x620	24800 SF	GIC
10x630	GIC	40	10x630	25200 SF	GIC
10x640	GIC	40	10x640	25600 SF	GIC
10x650	GIC	40	10x650	26000 SF	GIC
10x660	GIC	40	10x660	26400 SF	GIC
10x670	GIC	40	10x670	26800 SF	GIC
10x680	GIC	40	10x680	27200 SF	GIC
10x690	GIC	40	10x690	27600 SF	GIC
10x700	GIC	40	10x700	28000 SF	GIC
10x710	GIC	40	10x710	28400 SF	GIC
10x720	GIC	40	10x720	28800 SF	GIC
10x730	GIC	40	10x730	29200 SF	GIC
10x740	GIC	40	10x740	29600 SF	GIC
10x750	GIC	40	10x750	30000 SF	GIC
10x760	GIC	40	10x760	30400 SF	GIC
10x770	GIC	40	10x770	30800 SF	GIC
10x780	GIC	40	10x780	31200 SF	GIC
10x790	GIC	40	10x790	31600 SF	GIC
10x800	GIC	40	10x800	32000 SF	GIC
10x810	GIC	40	10x810	32400 SF	GIC
10x820	GIC	40	10x820	32800 SF	GIC
10x830	GIC	40	10x830	33200 SF	GIC
10x840	GIC	40	10x840	33600 SF	GIC
10x850	GIC	40	10x850	34000 SF	GIC
10x860	GIC	40	10x860	34400 SF	GIC
10x870	GIC	40	10x870	34800 SF	GIC
10x880	GIC	40	10x880	35200 SF	GIC
10x890	GIC	40	10x890	35600 SF	GIC
10x900	GIC	40	10x900	36000 SF	GIC
10x910	GIC	40	10x910	36400 SF	GIC
10x920	GIC	40	10x920	36800 SF	GIC
10x930	GIC	40	10x930	37200 SF	GIC
10x940	GIC	40	10x940	37600 SF	GIC
10x950	GIC	40	10x950	38000 SF	GIC
10x960	GIC	40	10x960	38400 SF	GIC
10x970	GIC	40	10x970	38800 SF	GIC
10x980	GIC	40	10x980	39200 SF	GIC
10x990	GIC	40	10x990	39600 SF	GIC
10x1000	GIC	40	10x1000	40000 SF	GIC





11000 N. 100th Ave., Suite 100
Overland Park, Kansas 66213
781-744-1000
Fax: 781-744-1015

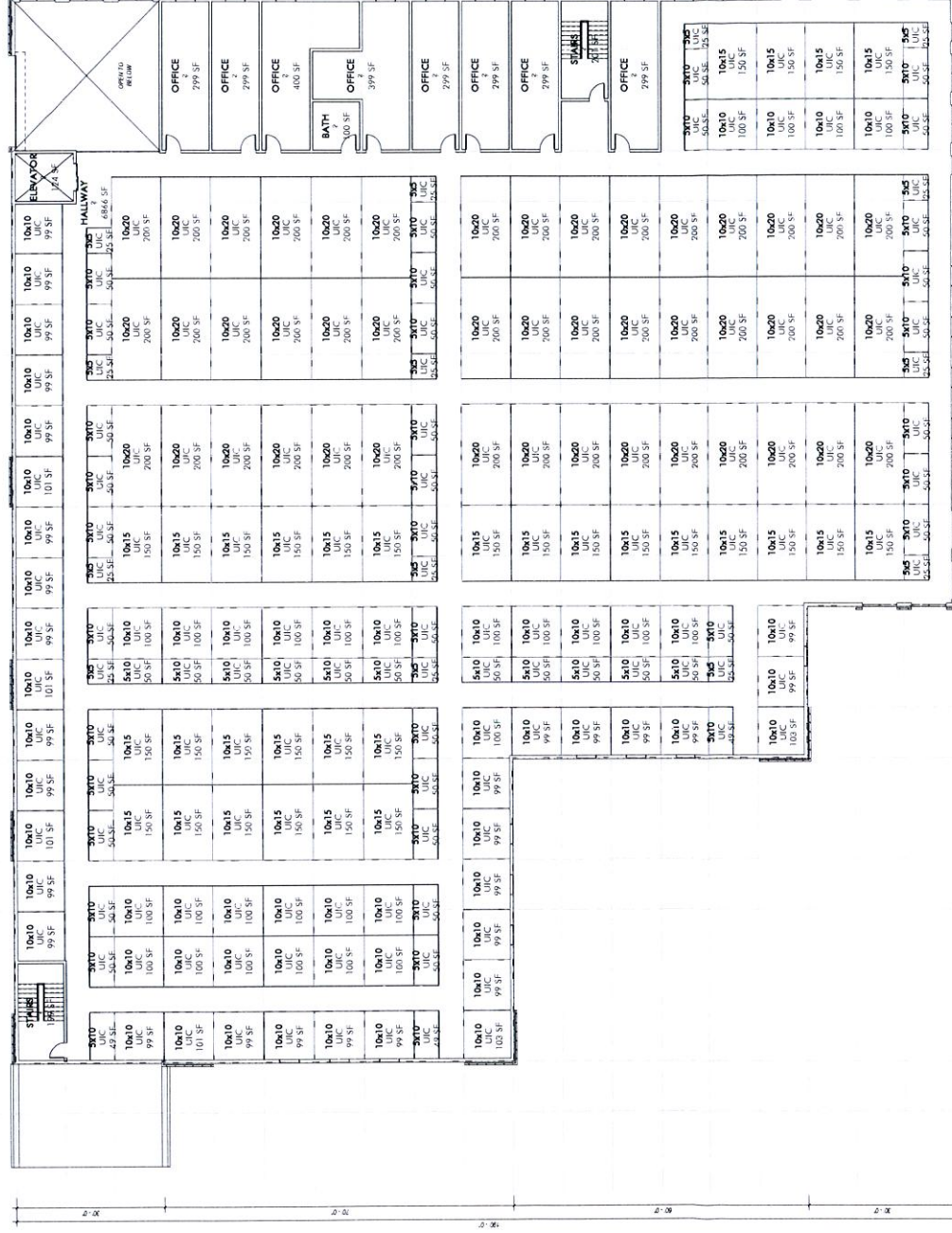
UNIT MIX - LEVEL 3

Date:	Issue Date:
Drawn by:	WCTJ
Checked by:	Checker
Reviewed by:	Reviewer

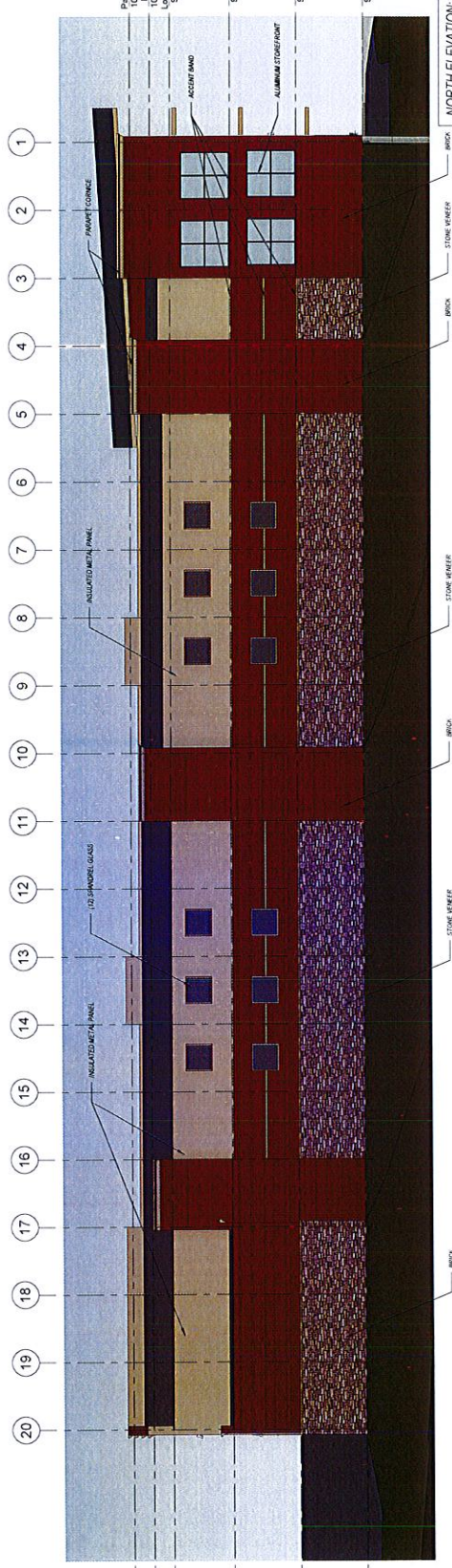
A1.2

3RD LEVEL
33,600 S.F.

UNIT MIX SCHEDULE - LEVEL 3			
UNIT TYPE	Count	Area	UNIT TOTAL AREA
3000	1	48.00	48.00
10x10	14	14.00	14.00
10x15	17	25.50	25.50
10x20	45	90.00	90.00
5x10	1	5.00	5.00
5x15	1	7.50	7.50
5x20	1	10.00	10.00
TOTAL			336.00



1 UNIT MIX - LEVEL 3
3/31/21 - 1'-0"



BRICK STONE VENEER BRICK STONE VENEER BRICK STONE VENEER BRICK STONE VENEER

Level 1 965' - 0" Level 2 975' - 0" Level 3 985' - 0" Parapet 1000' - 0" Parapet 1000' - 0" Parapet 1000' - 0"

ALUM. STONE FRONT METAL RAMPING INSULATED METAL PANEL (15) SPANREL GLASS (15) SPANREL GLASS (15) SPANREL GLASS (15) SPANREL GLASS

ACCENT BAND

PARAPET CORNICE

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1 NORTH ELEVATION 1/8" = 1'-0"

SOLID: 4,738 S.F. / 5,973 S.F. = 79% METAL: 1,235 S.F. / 5,973 S.F. = 21%

Level 1 965' - 0" Level 2 975' - 0" Level 3 985' - 0" Parapet 1000' - 0" Parapet 1000' - 0" Parapet 1000' - 0"

ALUM. STONE FRONT METAL RAMPING INSULATED METAL PANEL (15) SPANREL GLASS (15) SPANREL GLASS (15) SPANREL GLASS

ACCENT BAND

PARAPET CORNICE

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2 SOUTH ELEVATION 1/8" = 1'-0"

SOLID: 4,389 S.F. / 5,630 S.F. = 78% METAL: 1,241 S.F. / 5,630 S.F. = 22%

Level 1 965' - 0" Level 2 975' - 0" Level 3 985' - 0" Parapet 1000' - 0" Parapet 1000' - 0" Parapet 1000' - 0"

ALUM. STONE FRONT METAL RAMPING INSULATED METAL PANEL (15) SPANREL GLASS (15) SPANREL GLASS (15) SPANREL GLASS

ACCENT BAND

PARAPET CORNICE

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ATTIC STORAGE OF LEE'S SUMMIT 920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI

Henry Jones Construction

1100 South Main St. Suite 100 Lee's Summit, MO 64063

781-245-1000 Fax: 781-245-1010

ELVATION

Date: 10/10/10

Drawn by: WCT

Checked by: C. Walker

Notes:

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

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ATTIC STORAGE OF LEE'S SUMMIT
920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI

Hemly resolvin E

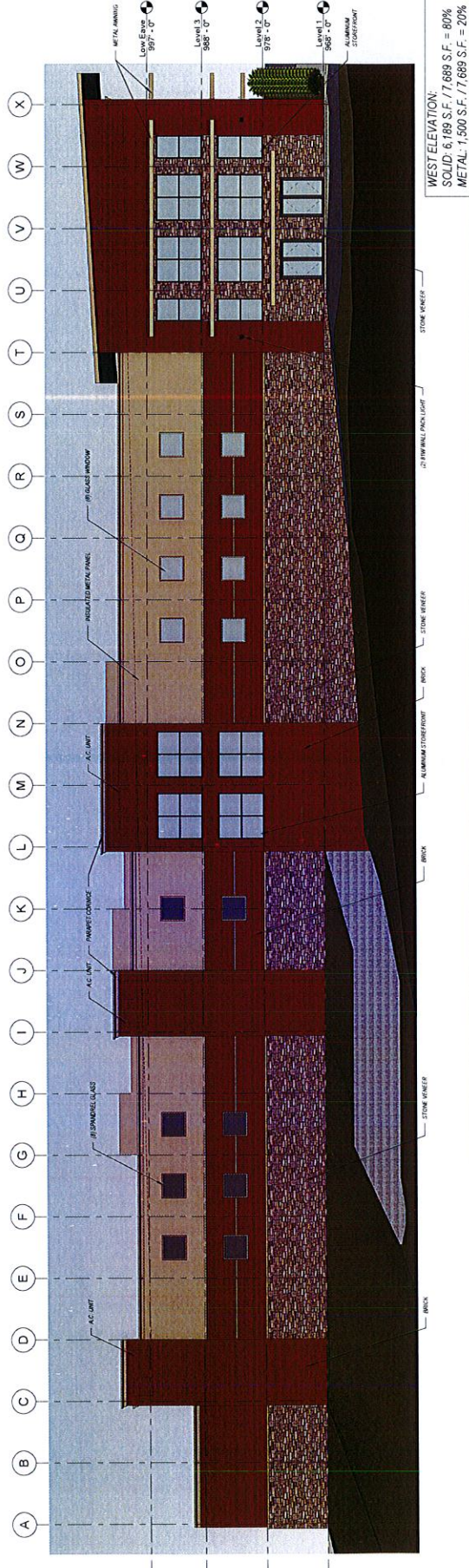
1160 Rhonda Island St.
Lawrence, Kansas
66044

785-749-5806
FAX 785-749-1315

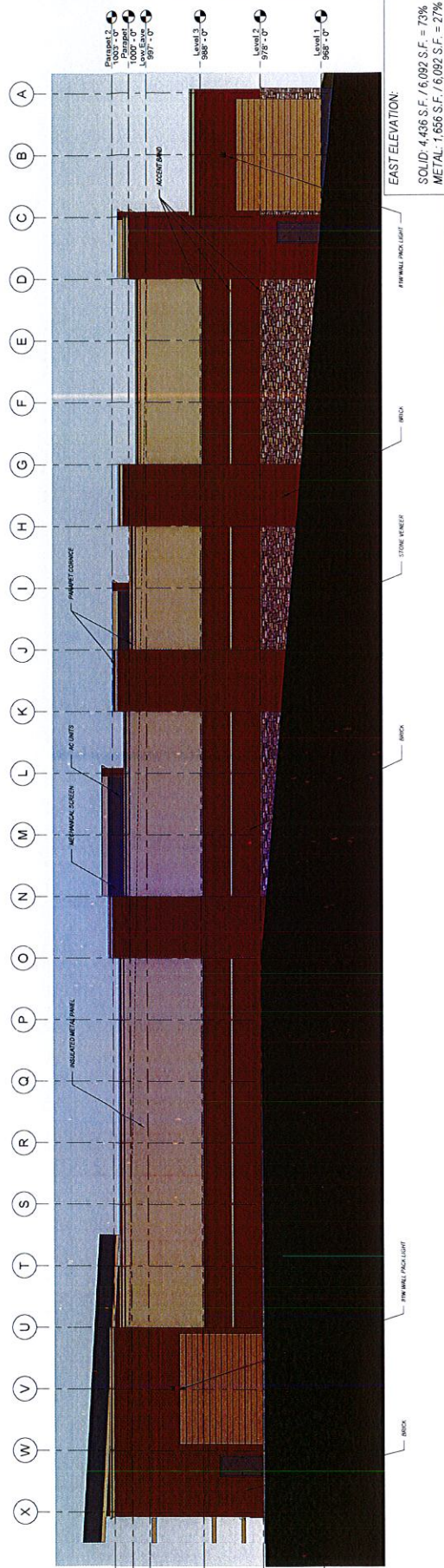
ELEVATION:

Date:	Issue Date
Drawn by	WCTJ
Checked by	Checker
Remarks	

A2.1



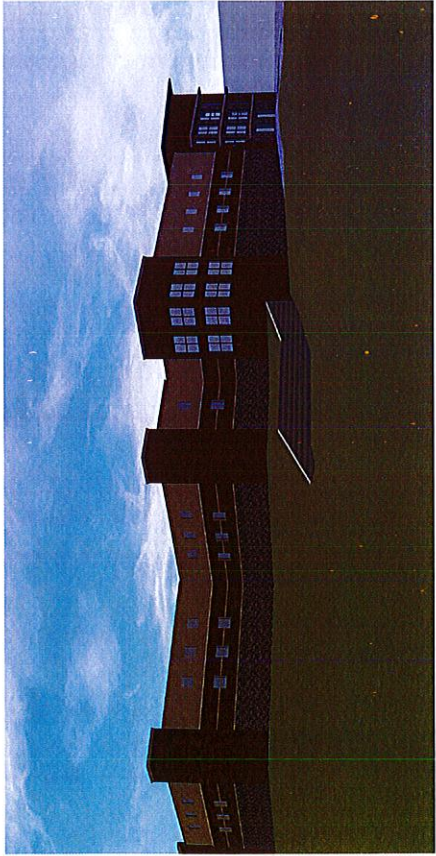
WEST ELEVATION
1/8" = 1'-0"



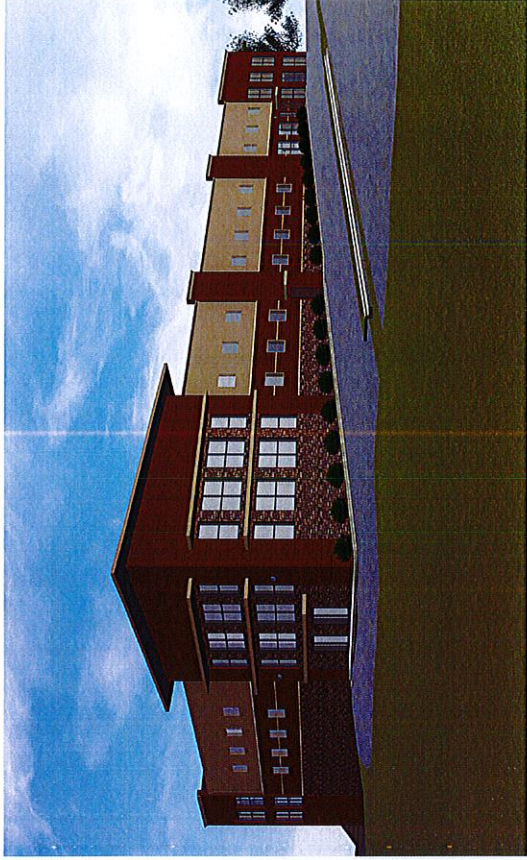
2 EAST ELEVATION

EAST ELEVATION:

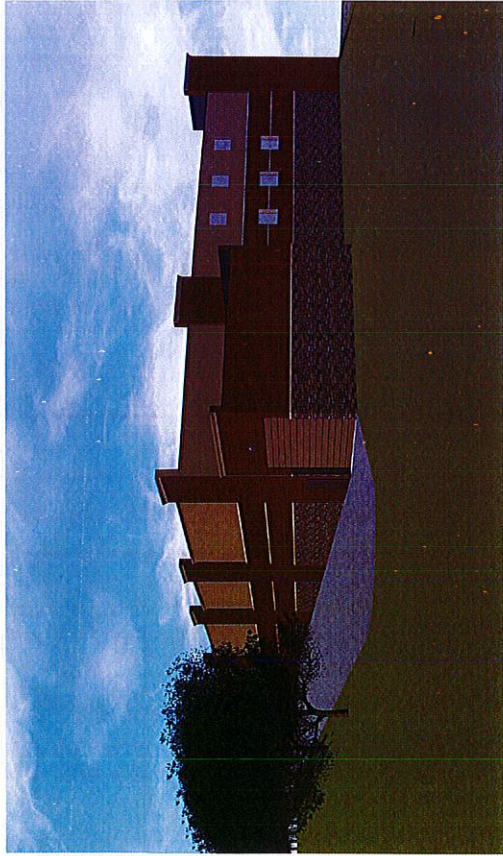
SOLID: 4,436 S.F. / 6,092 S.F. = 73%
METAL: 1,656 S.F. / 6,092 S.F. = 27%



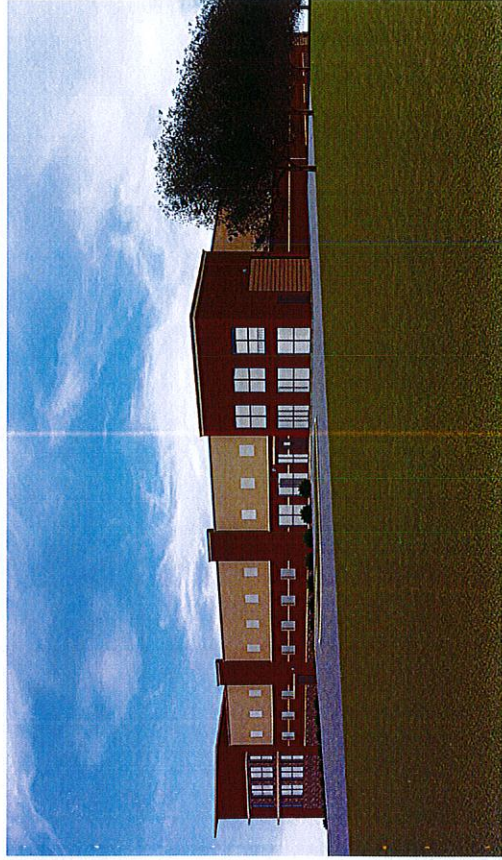
1 3D View 1



2 3D View 2



3 3D View 3



4 3D View 4

ATTIC STORAGE OF LEE'S SUMMIT
920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI

Hemly
ARCHITECTURAL
DESIGN
1100 North Island St.
Lee's Summit, MO 64063
Tel: 781-234-1000
Fax: 781-234-1005

PROJECTS:
Date: 08/01/2010
Sheet: 001
Checked: 001
Reviewed: 001

A3.0

ATTIC STORAGE OF LEE'S SUMMIT
920 NE DEERBROOK ST., LEE'S SUMMIT, MISSOURI

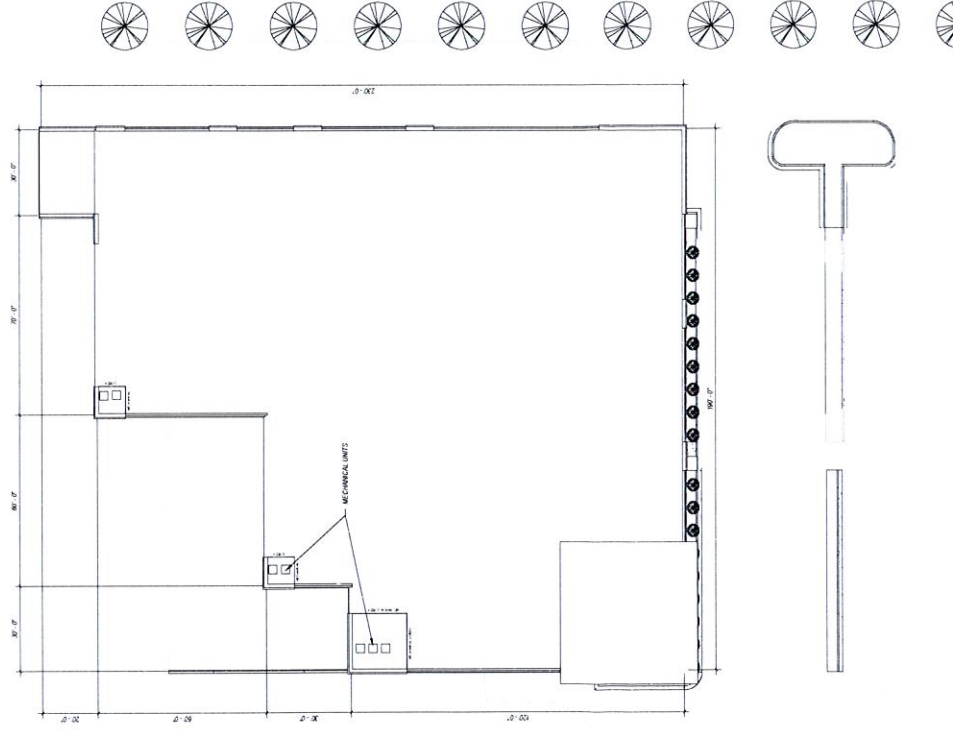


11000 N. 10th Ave., Suite 100
Overland Park, Kansas 66213
781-744-1000
Fax: 781-744-1005

ARCHITECTURAL SITE
PLAN

Date: 10/1/04
Drawn by: WCT
Checked by: C. S. S.
Reviewed by:

AS1.0



1 ARCHITECTURAL SITE PLAN 
1" = 20'-0"

PL#2018-121- PREL DEV PLAN & SPECIAL USE PERMIT
ATTIC STORAGE, 920 NE DEERBROOK ST.
STRICKLAND CONSTRUCTION, APPL.

