



FINAL DEVELOPMENT PLANS
LEE'S SUMMIT 2 HY-VEE AISLES ONLINE
310 SW WARD ROAD
LEE'S SUMMIT, MO 64081

PLANS ISSUED		
REV	DATE	DESCRIPTION
A	06/07/2019	FINAL DEVELOPMENT PLAN

OWNER/DEVELOPER

HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA
CONTACT: BREE COOPER
515-267-2947

CIVIL ENGINEER

BURNS & MCDONNELL
9400 WARD PARKWAY
KANSAS CITY, MO 64114
CONTACT: JEFF KOCHTANEK
816-363-7284

ARCHITECT

SGA DESIGN GROUP
TULSA, OK 74119
CONTACT: MITCHEL RAY GARRETT
918-587-8600

REGULATORY AGENCIES

CITY MANAGER
STEPHEN ARBO
816-969-1010

ENGINEERING DEPARTMENT
GENE WILLIAMS
816-969-1200

PUBLIC WORKS
DAVID LOHE
816-969-1800

FIRE CHIEF
DAN MANLEY
816-969-1300

POLICE CHIEF
TRAVIS FORBES
816-969-1700

UTILITY CONTACTS

STATE ONE CALL
800-DIG-RITE

GAS
SPIRE
888-756-5252

ELECTRIC
KCP&L
816-471-5275

TELEPHONE
AT&T
844-379-1244

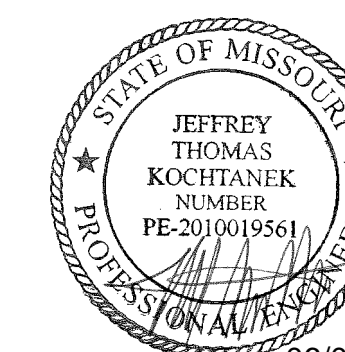
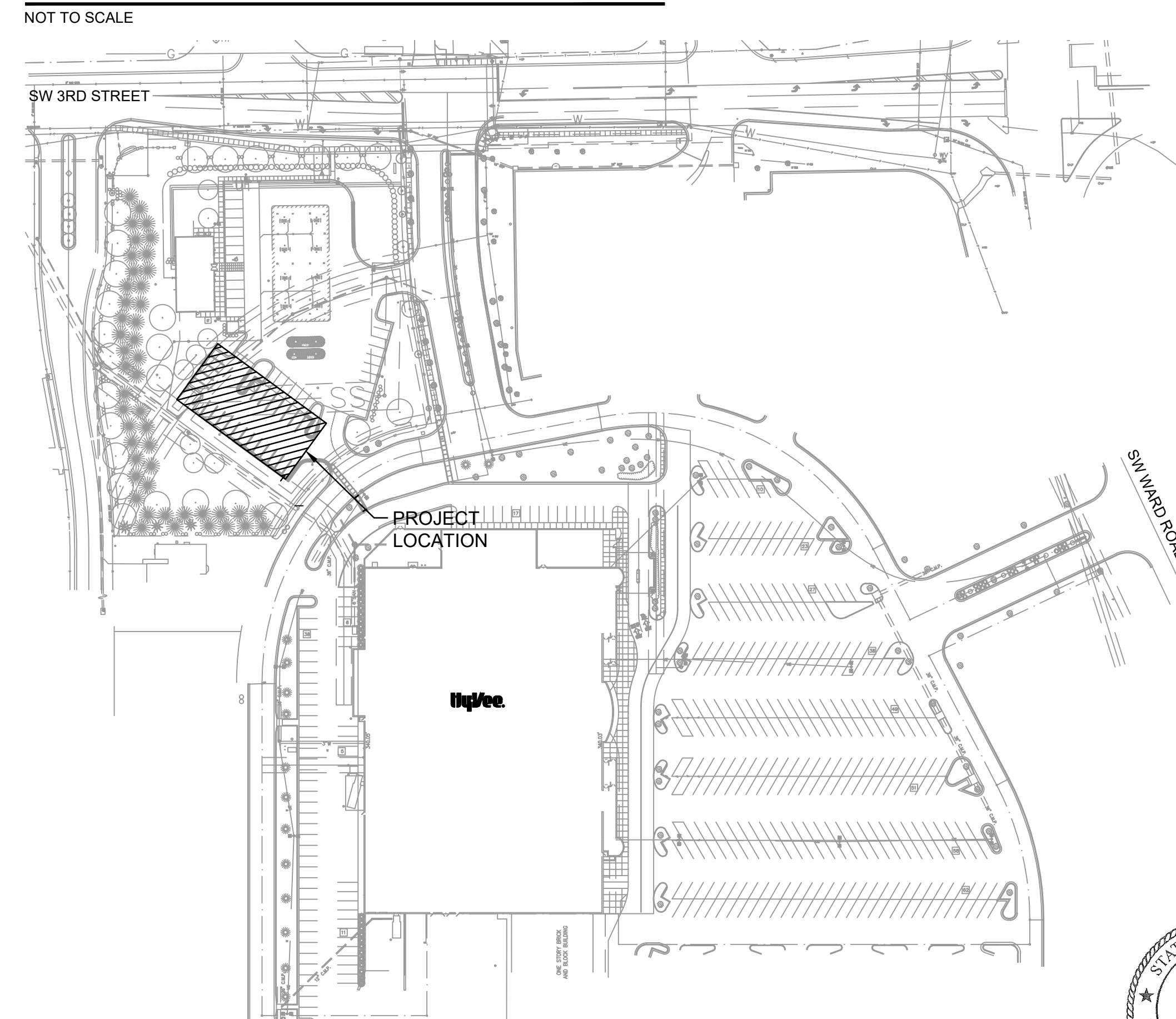
CABLE
AT&T
844-379-1244

WATER
CITY OF LEE'S SUMMIT
816-969-1940

SHEET INDEX

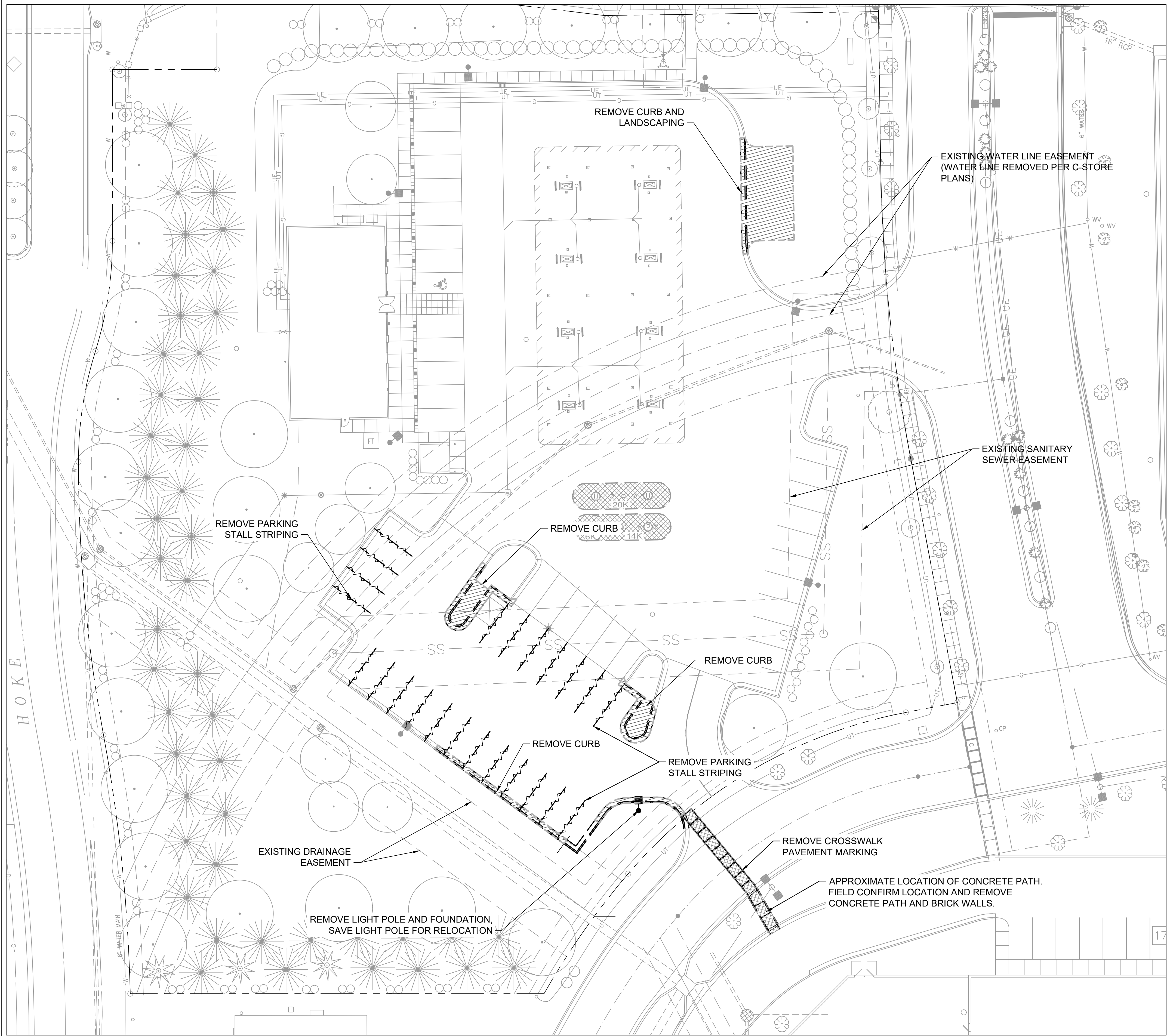
- C2.0 OVERALL SITE PLAN
- C2.1 SITE PLAN
- C3.0 GRADING
- C3.1 UTILITY PLAN
- C3.2 PHOTOMETRIC PLAN
- C5.0 DETAILS 1
- C5.1 DETAILS 2
- A2.1 KIOSK ELEVATIONS






































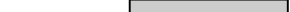
SITE LOCATION MAP



06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER





LEGEND			
	PROPOSED BOLLARD		PROPOSED EROSION CONTROL FENCE
	PROPOSED LIGHT FIXTURE AND BASE		EXISTING STORM SEWER
	EXISTING SANITARY SEWER MANHOLE		EXISTING SANITARY SEWER
	EXISTING CLEANOUT		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM SEWER MANHOLE		EXISTING UNDERGROUND TELEPHONE
	EXISTING STORM SEWER INTAKE		EXISTING GAS MAIN
	EXISTING TRAFFIC SIGN		EXISTING WATER MAIN
	EXISTING FIRE HYDRANT		PROPERTY LINE
	EXISTING WATER VALVE		CENTER LINE
	EXISTING FROST FREE HYDRANT		EASEMENT/SETBACK LINE
	EXISTING SPOT ELEVATION		EXISTING CONTOUR LINE
	TOP OF CURB ELEVATION		DEMO CROSSWALK AND PATH
	GUTTER ELEVATION		DEMO CURB
	TOP OF WALL ELEVATION		PROPOSED PAVEMENT
	BOTTOM OF WALL ELEVATION		
	TYPICAL		
	BACK TO BACK OF CURB		
	EXISTING SHRUB		
	EXISTING TREE		DEMO TREES

GENERAL NOTES

1. PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTY DURING CONSTRUCTION.
2. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
3. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
4. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
5. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
6. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST EXISTING CONCRETE.
7. FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
8. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.
9. PHASE PROJECT SO THAT FOOD STORE REMAINS OPEN AND ACCESSIBLE AT ALL TIMES.

DEMOLITION NOTES

1. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
2. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OR RECYCLED OFF SITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
3. PROTECT ADJACENT PROPERTY DURING DEMOLITION.
4. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN MAY BE PRESENT.
5. REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 98% STANDARD PROCTOR DENSITY. BACKFILLING TO BE OBSERVED BY GEOTECHNICAL ENGINEER EMPLOYED BY OWNER.
6. ALL UNDERGROUND AND OVERHEAD UTILITIES WITHIN PROPOSED BUILDING AREA LIMITS ARE TO BE REMOVED ENTIRELY. UTILITIES OUTSIDE THE BUILDING AREA LIMITS MAY BE ABANDONED IN ACCORDANCE WITH UTILITY SUPPLIER REQUIREMENTS.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, BOTH PUBLIC AND PRIVATE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND SALVAGING ANY IRRIGATION COMPONENTS AND ADJUSTING IRRIGATION AS REQUIRED FOR OPERATION ON REMAINDER OF SITE DURING CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING SITE DEMOLITION WITH BUILDING DEMOLITION PRIOR TO CONSTRUCTION.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY PANE NO. 290174 0009C & 290174 0017C THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A FLOOD HAZARDOUS ZONE.

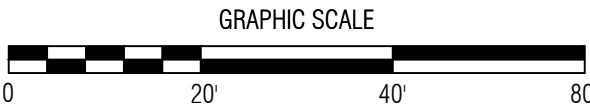
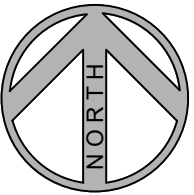
THE PROPERTY SHOWN HEREON IS ZONED CP-1 (PLANNED NEIGHBORHOOD COMMERCIAL DISTRICT)
THE BUILDING SETBACK REGULATIONS ARE AS FOLLOWS:

FRONT YARD: MINIMUM REQUIRED SETBACK, 0-5 FEET

STREET SIDE YARD: MINIMUM REQUIRED SETBACK, 15 FEET

INTERIOR SIDE YARD: MINIMUM REQUIRED SETBACK, 10 FEET

REAR YARD: MINIMUM REQUIRED SETBACK, 20 FEET



REVISION	DATE BY
FINAL DEVELOPMENT PLAN	06/07/19

BURNS & McDONNELL

LOCATION: LEE'S SUMMIT 2
310 SW WARD ROAD

HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2935

HyVee
EMPLOYEE OWNED

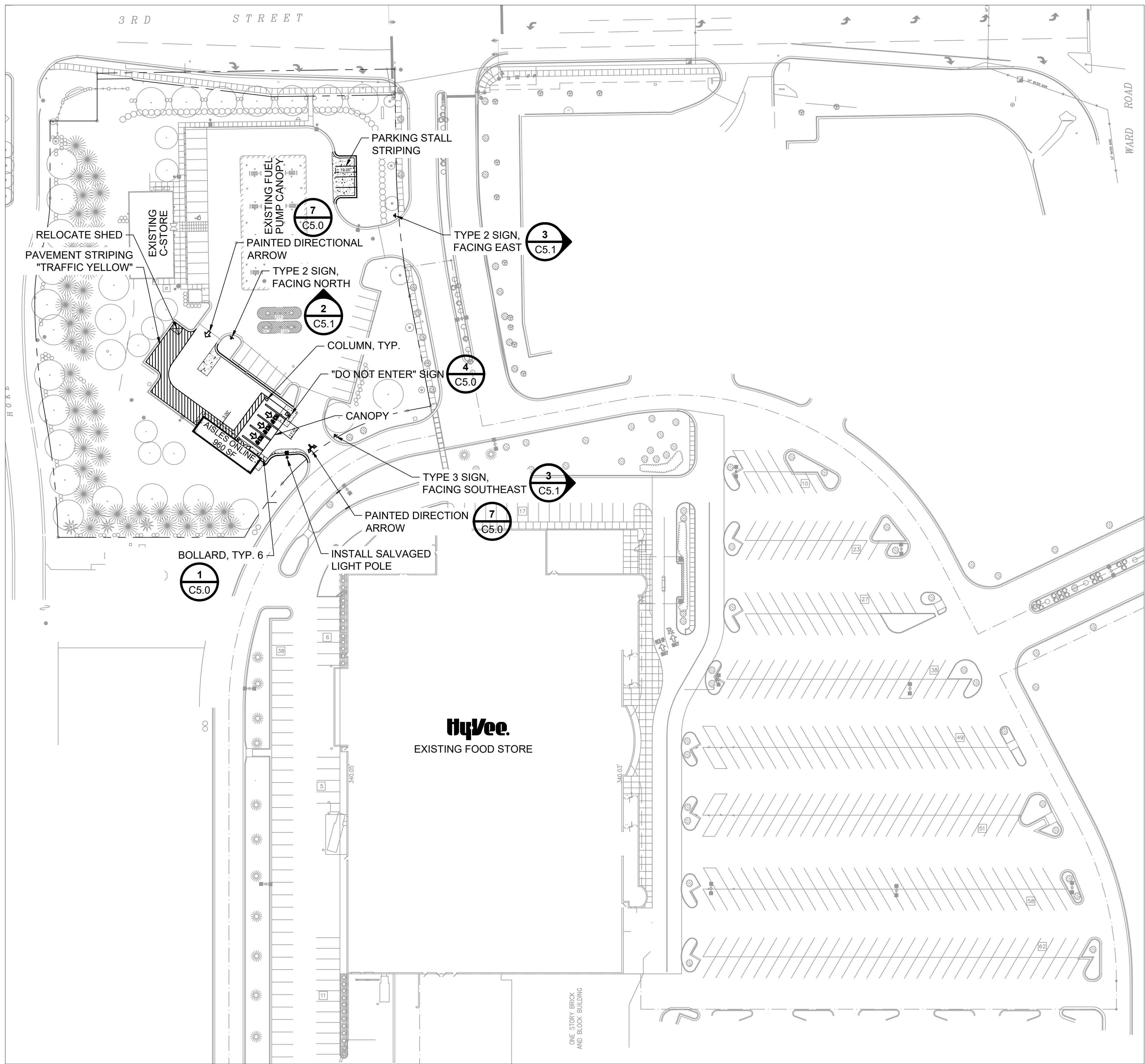
06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

DEMOLITION PLAN

DRAWN: PJB	DATE: 05/24/2019
SCALE: 1" = 20'	JOB NUMBER: 112830

SHEET:

C1.0



SIGNAGE AND STRIPING SPECIFICATIONS:

1. PAINT TRAFFIC DIRECTION ARROWS, PARKING STRIPES, AND HANDICAP SYMBOLS "TRAFFIC YELLOW".
2. PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3586 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
3. PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/60 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136 OR GLASS BEADS THAT MEET FEDERAL SPECIFICATION TT-B-1325, TYPE I, GRADATION A.
4. BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
5. APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
6. MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SF/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
7. APPLY SILICA SAND AT 4LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
8. TREAT GLASS BEADS WITH ADHESION PROMOTING COATINGS AS SPECIFIED BY THE PAINT MANUFACTURER. APPLY GLASS BEADS AT 7LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. GLASS BEADS SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE OF PAYMENT.
9. PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

IMPERVIOUS COVERAGE			
	IMPERVIOUS (SQ. FT.)	LOT (SQ. FT.)	
C-STORE	47,775	104,960	46%
FOOD STORE	319,699	341,699	94%

FLOOR AREA RATIO			
	BUILDING (SQ. FT.)	LOT (SQ. FT.)	FAR
C-STORE	2,810	104,960	3%
FOOD STORE	90,500	341,699	26%

EXISTING PARKING	
CONVENIENCE STORE	57
FOOD STORE	395
STORE SIZES GFA	
C-STORE (SQ. FT.)	2810
FOOD STORE (SQ. FT.)	88537
MARKET GRILLE (SQ. FT.)	1963
REQUIRED PARKING	QU
C-STORE 5/1000 GFA	15
FOOD STORE 4/1000 GFA	355
MARKET GRILLE (RESTAURANT) 14/1000 GFA	28
TOTAL	398

PROPOSED PARKING	
CONVENIENCE STORE	34
FOOD STORE	395
TOTAL	426

PARKING SURPLUS	
	32

FLOOD ZONE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY PANE NO. 290174 0009C & 290174 0017C THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A FLOOD HAZARDOUS ZONE.

WATERSHED
LITTLE BLUE RIVER

ZONING
THE PROPERTY SHOWN HEREON IS ZONED CP-2 (PLANNED NEIGHBORHOOD COMMERCIAL DISTRICT)
THE BUILDING SETBACK REGULATIONS ARE AS FOLLOWS:

FRONT YARD: MINIMUM REQUIRED SETBACK, 0-5 FEET

STREET SIDE YARD: MINIMUM REQUIRED SETBACK, 0-5 FEET

INTERIOR SIDE YARD: NONE REQUIRED

REAR YARD: NONE REQUIRED

PROPERTY DESCRIPTION:

TRACT "A": "CEDAR CREEK ESTATES, LOTS 68 - 85 AND TRACTS A - D", A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF. CONTAINING 109.716 SQUARE FEET OR 2.519 ACRES, MORE OR LESS. THIS DESCRIPTION WAS TAKEN FROM CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT NO. I97-10717 DATED MARCH 3, 1997.

EASEMENTS: THE EASEMENT INFORMATION WAS TAKEN FROM CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT NO. I97-10717 DATED MARCH 3,1997.

ITEM NO. 13 OF THE ABOVE REFERRED TITLE COMMITMENT STATES THAT THE PROPERTY SHOWN HEREON IS SUBJECT TO THE TERMS AND PROVISIONS OF THE EASEMENT AGREEMENT BETWEEN WAL MART PROPERTIES, INC., A DELAWARE CORPORATION AND HOKE ENTERPRISES, LTD. RECORDED JUNE 10, 1983 AS DOCUMENT NO. I-525159, IN BOOK I-1221 AT PAGE 462.

GENERAL NOTES

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2. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
3. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
4. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
5. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
6. FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
7. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.

PAVEMENT SPECIFICATIONS

CONCRETE:

1. CONCRETE MIX SHALL BE KCMMB 4K MIX PROVIDED BY A KCMMB APPROVED SUPPLIER
2. INSTALL ROADS, PARKING SURFACES, SIDEWALKS AND CURBS WHERE INDICATED ON PLAN. CONCRETE STRENGTH SHALL BE 4,000 PSI @ 28 DAYS.
3. FOR CONCRETE PAVEMENTS, PROVIDE CONTROL JOINTS AT 12'-0" OVER CENTER EACH WAY MAXIMUM UNLESS NOTED OTHERWISE ON PLAN.
4. PERFORM CONCRETE WORK IN ACCORDANCE WITH ACI 301 AND ACI 318. CONFORM TO ACI305 DURING HOT WEATHER AND AC0 306.1 DURING COLD WEATHER.
5. CONCRETE FINISH: MEDIUM BROOM PERPENDICULAR TO THE PATH OF TRAVEL.
6. CONCRETE CURING AGENT: RESIN BASED, MEMBRANE FORMING COMPOUND COMPLYING WITH ASTM C309, TYPE 1.
7. CONCRETE SIDEWALK JOINT SEALANT: SELF-LEVELING POLYURETHANE GUN GRADE SEALANT, COLOR: GRAY.
8. CONCRETE ROADS, PARKING LOT, AND CURB JOINT SEALANT: HOT POURED JOINT SEALANT COMPOSED OF PETROPOLYMERS MEETING REQUIREMENTS OF ASTM D 3405. FILL JOINTS FULL. DO NOT USE BACKER ROD.

REVISION		DATE BY
FINAL DEVELOPMENT PLAN		06/07/19

BURNS MCDONNELL

LEE'S SUMMIT 2
310 SW WARD ROAD
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2935

HyVee
EMPLOYEE OWNED

LOCATION:
LEE'S SUMMIT 2
310 SW WARD ROAD

JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

OVERALL SITE PLAN

DRAWN: PJB	DATE: 05/24/2019
SCALE: 1" = 20'	JOB NUMBER: 112830

SHEET:

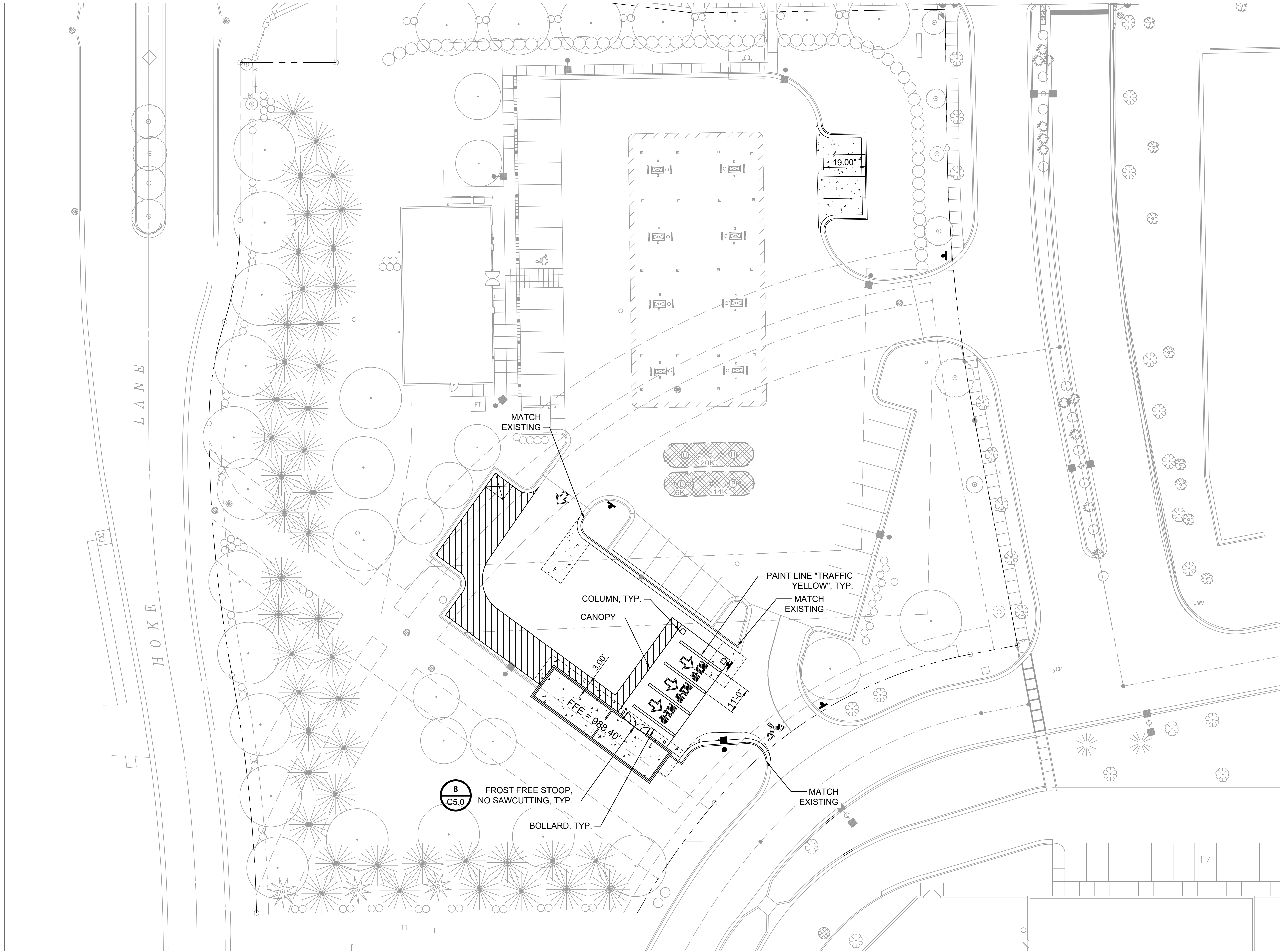
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LEGEND


— — — — —	PROPERTY LINE		8" PCC
- - - - -	EASEMENT/SETBACK LINE		CURB
- - - - -	CONSTRUCTION LIMITS		
➤	TRAFFIC SIGNAGE		
•	BOLLARD		
■	LIGHT FIXTURE		

BEFORE YOU DIG CALL
MISSOURI ONE-CALL
1-800-344-7463
KANSAS ONE-CALL
1-800-344-7235


GRAPHIC SCALE
0 20 40 80



BEFORE YOU DIG CALL

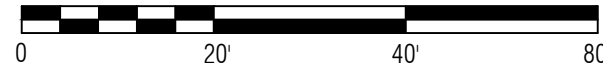


MISSOURI ONE-CALL
1-800-344-7463
KANSAS ONE-CALL
1-800-344-7233



NORTH

GRAPHIC SCALE



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310 SW WARD ROAD

HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2935

Hy-Vee
EMPLOYEE OWNED

STATE OF MISSOURI

JEFFREY THOMAS KOCHTANEK
NUMBER PE-2010019561

06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

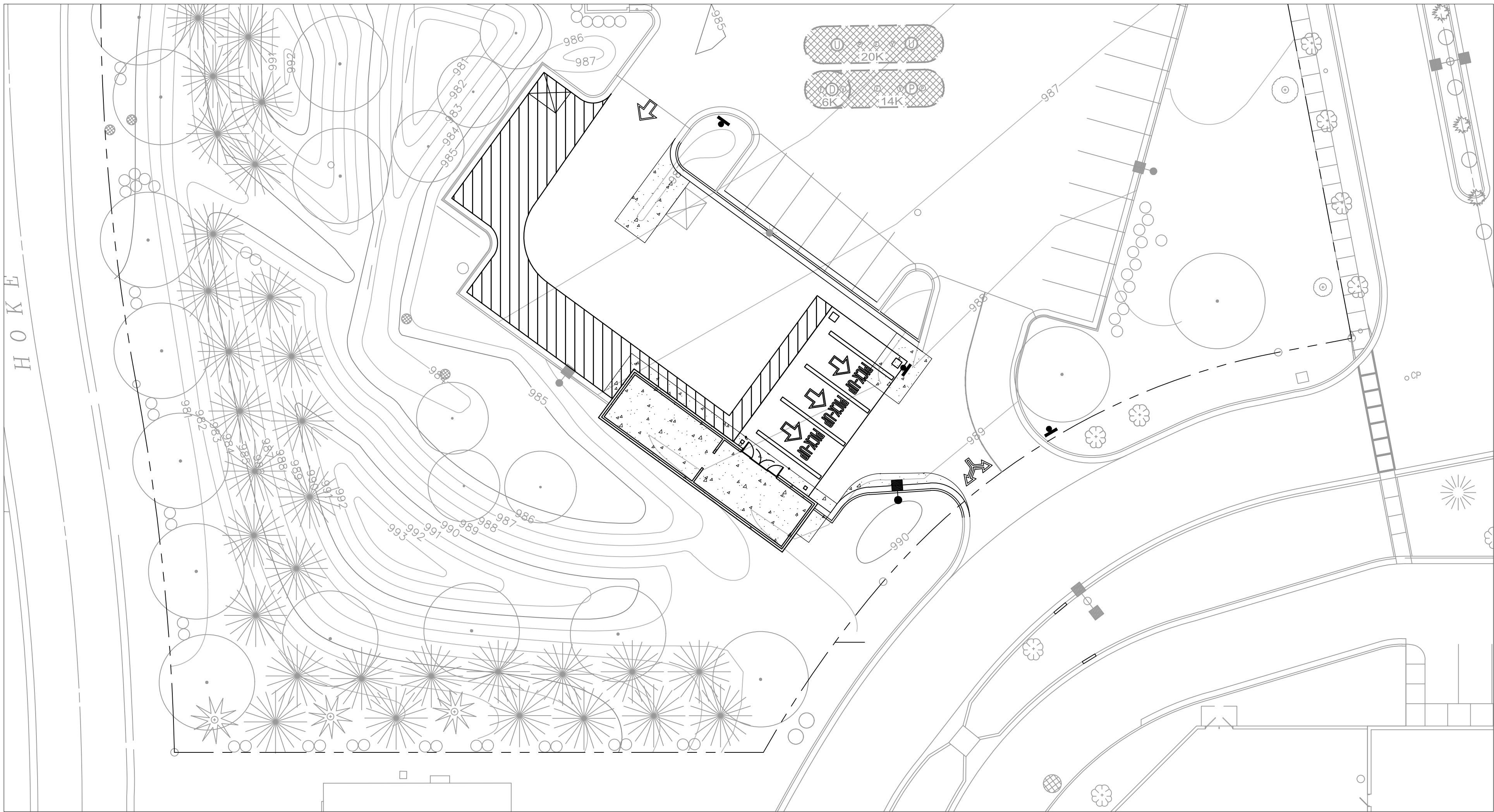
SITE PLAN

DRAWN: PJB	DATE: 05/24/2019
SCALE: 1" = 20'	JOB NUMBER: 112830

SHEET:

C2.1


BURNS
MCDONNELL



GRADING PLAN


1
C3.0

BEFORE YOU DIG CALL



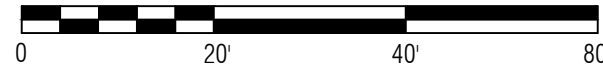
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1-800-344-7463

KANSAS ONE-CALL
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NORTH

GRAPHIC SCALE



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HyVee
EMPLOYEE OWNED



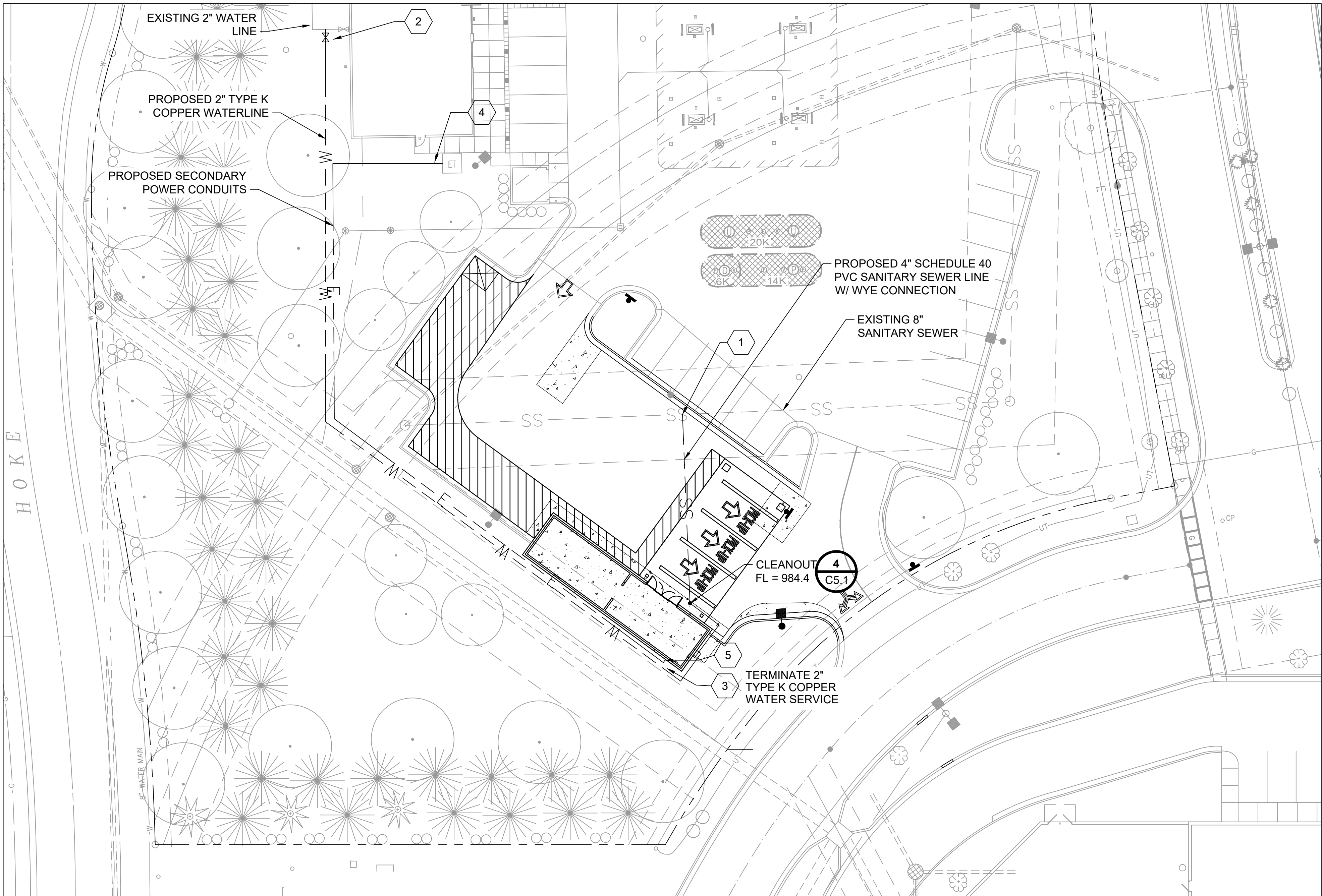
06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

GRADING PLAN	
DRAWN: PJB	DATE: 05/24/2019
SCALE: 1" = 20'	JOB NUMBER: 112830
SHEET:	

C3.0



BURNS
& MCDONNELL



UTILITY PLAN

2
C3.0

UTILITY KEYED NOTES

- 1
- FIELD LOCATE AND VERIFY FLOWLINE AT EXIST. 8" SANITARY MAIN PRIOR TO INSTALLING SEWER AND SETTING INTERCEPTOR FLOWLINES. CONNECT NEW 4" SERVICE USING 8"x4" WYE. APPROX. FL - 973.42'. INSTALL PER CITY OF LEE'S SUMMIT STANDARD DETAIL SAN-1 CONNECTION DETAIL
- 2
- PROPOSED WATERLINE TAP. CONNECT TO EXISTING 2" DOMESTIC SERVICE LINE WITH NEW VALVE. COORDINATE TAP LOCATION WITH CITY OF LEE'S SUMMIT WATER PRIOR TO CONSTRUCTION. PAY ALL ASSOCIATED TAP OR SERVICES FEES. CONTRACTOR SHALL COORDINATE THE INSTALLATION, TESTING, AND INSPECTION OF ALL DOMESTIC WATER AND FIRE WATER SYSTEMS WITH THE ASSOCIATED UTILITY COMPANIES AND AGENCIES.
- 3
- SITE UTILITY SUBCONTRACTOR SHALL STUB UP PIPE TO 6" BELOW FINNISH FLOOR ELEVATION AND CAP. BUILDING PLUMBING SUBCONTRACTOR SHALL CONNECT STUB UP TO PLUMBING IN KIOSK. REFER TO PLUMBING DRAWINGS FOR CONTINUATION AND DETAIL OF FINAL CONNECTION IN BUILDING FLOOR.
- 4
- UNDERGROUND POWER SERVICE FROM EXISTING TRANSFORMER. COORDINATE POWER COMPANY PRIOR TO CONSTRUCTION.
- 5
- SEE BUILDING ELECTRICAL DRAWINGS FOR TERMINATION OF CONDUIT. SITE UTILITY CONTRACTOR SHALL STUB UP CONDUIT 6" BELOW FINISH FLOOR AND CAP. SEE ELECTRICAL SHEETS FOR CONTINUATION.

GENERAL UTILITY NOTES:

1. ALL PIPE SIZES ARE IN INCHES UNLESS INDICATED OTHERWISE.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL BUILDING CONNECTIONS WITH BUILDING CONTRACTOR AND THE INFORMATION PROVIDED ON MECHANICAL AND ELECTRICAL DRAWINGS FOR EACH FACILITY.
3. CONTRACTOR SHALL CONTACT HY-VEE AND ALL ASSOCIATED UTILITY COMPANIES AND AGENCIES TO IDENTIFY THE LOCATION OF UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL COORDINATE ALL REQUIRED UTILITY SHUTDOWNS FOR UTILITY CONNECTIONS WITH HY-VEE.
5. CONNECTION TO EXISTING WATER, SEWER, AND STORM MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL REQUIREMENTS OF ASSOCIATED UTILITY COMPANIES AND AGENCIES.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING ALL UTILITY CONNECTION FEES AND OBTAINING ALL PERMITS REQUIRED FOR THE UTILITY CONSTRUCTION AND CONNECTIONS. THIS INCLUDES ALL FEES ASSOCIATED WITH CONNECTION CHARGES AND METERS.
7. SEE DETAIL 5 ON DRAWING C-5.1 FOR TYPICAL PIPE TRENCH DETAIL.
8. THE MINIMUM DEPTH OF COVER FOR ALL UTILITY PIPING SHALL BE 36 INCHES UNLESS INDICATED OTHERWISE.

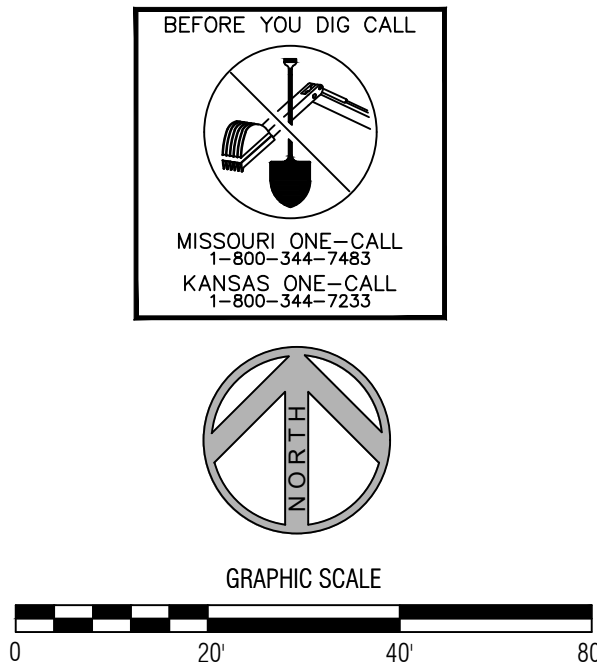
THE MINIMUM DEPTH OF COVER FOR UTILITIES SHALL BE AS FOLLOWS UNLESS INDICATED OTHERWISE:

a. WATER: 36 INCHES

b. FIRE PROTECTION: 42 INCHES

c. ELECTRICAL AND COMMUNICATION: 24 INCHES

d. ALL OTHER UTILITIES: 36 INCHES
9. ALL UNDERGROUND UTILITIES ARE SUBJECT TO ACCEPTANCE TESTING AND INSPECTION METHODS DETAILED IN THE SPECIFICATIONS, WHICH MAY INCLUDE VIDEO CAMERA INSPECTION.
10. ANY CHANGES TO PROPOSED UTILITY DESIGN SHALL BE APPROVED BY ENGINEER AND HY-VEE.



REVISION

DATE BY

FINAL DEVELOPMENT PLAN

06/07/19

BURNS

MCDONNELL

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310 SW WARD ROAD

HY-VEE, INC.

5820 WESTOWN PARKWAY

WEST DES MOINES, IOWA 50266

TELEPHONE: (515) 267-2800

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Hy-vee

EMPLOYEE OWNED

STATE OF MISSOURI

JEFFREY THOMAS KOCHTANEK

NUMBER PE-2010019561

PROFESSIONAL ENGINEER

06/06/19

JEFFREY T. KOCHTANEK

PROFESSIONAL ENGINEER

UTILITY PLAN

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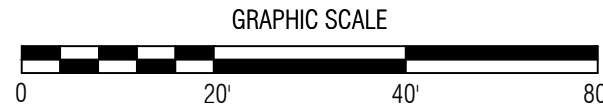
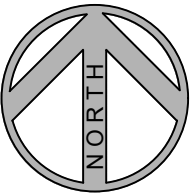
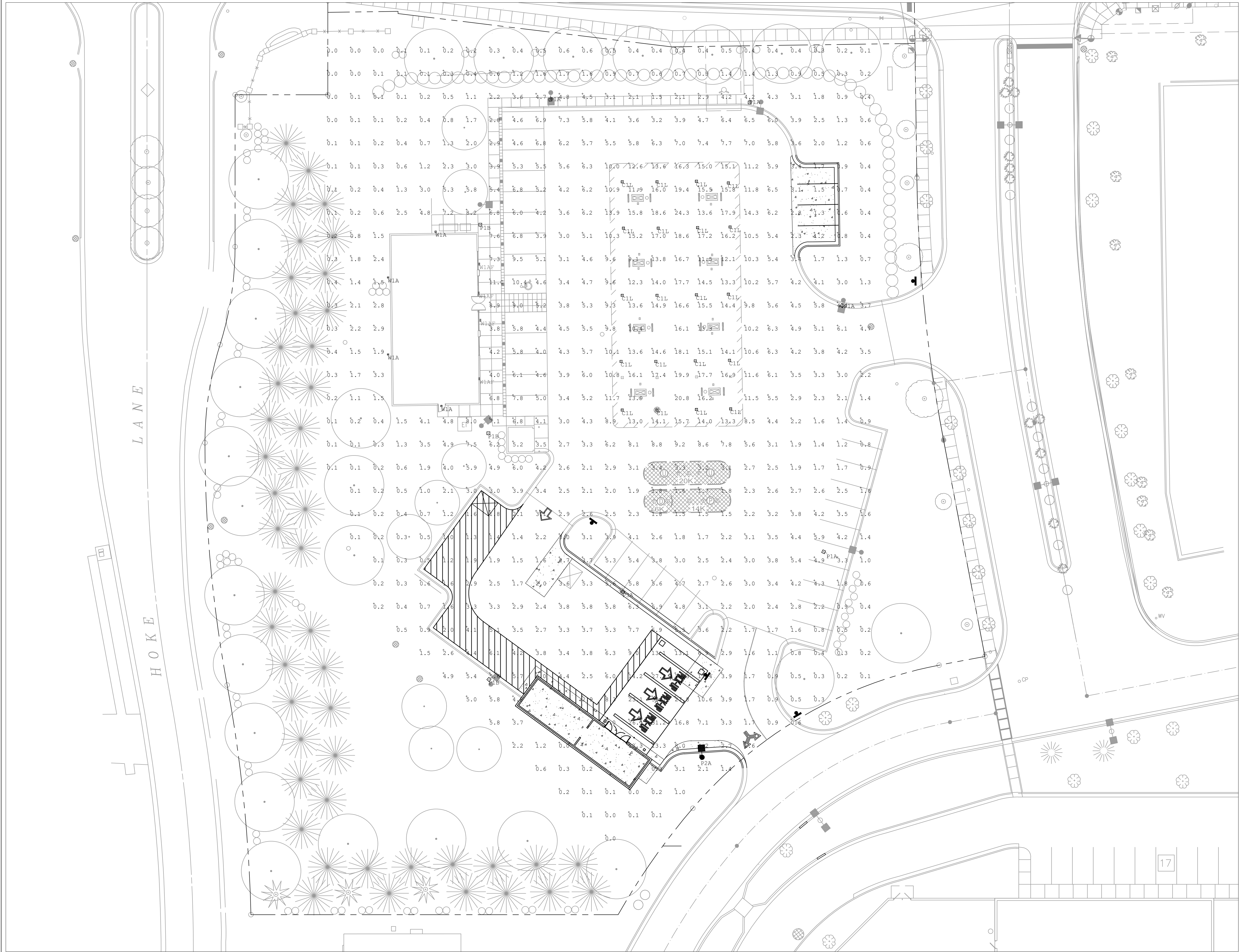
DATE: 05/24/2019

SCALE: 1" = 20'


JOB NUMBER: 112830

SHEET:

C3.1



REVISION		DATE BY
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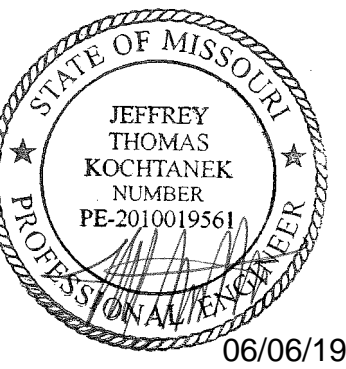


BURNS & McDONNELL

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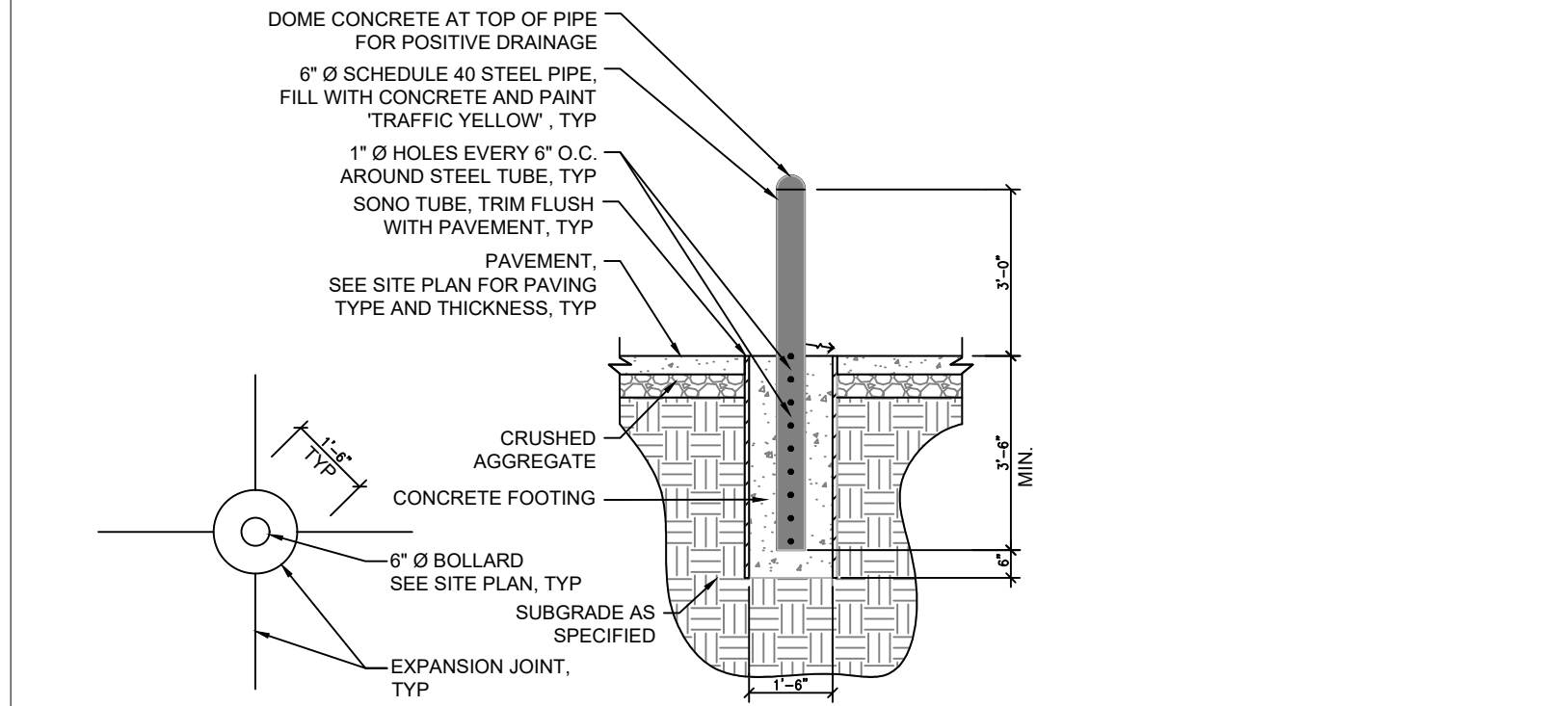


06/06/19
JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

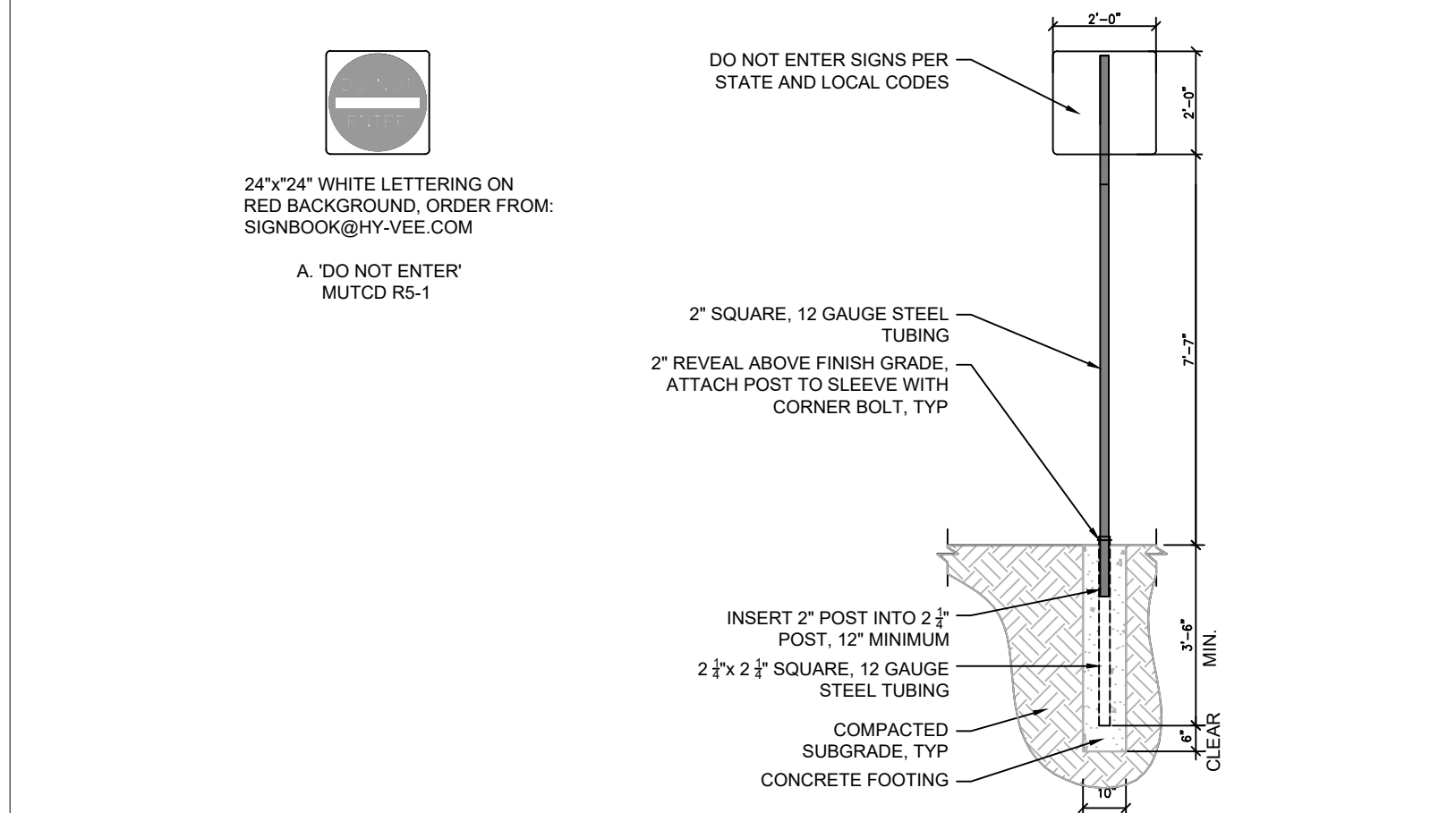
PHOTOMETRICS PLAN

DRAWN: PJB	DATE: 06/03/2019
SCALE: 1" = 20'	JOB NUMBER: 112830

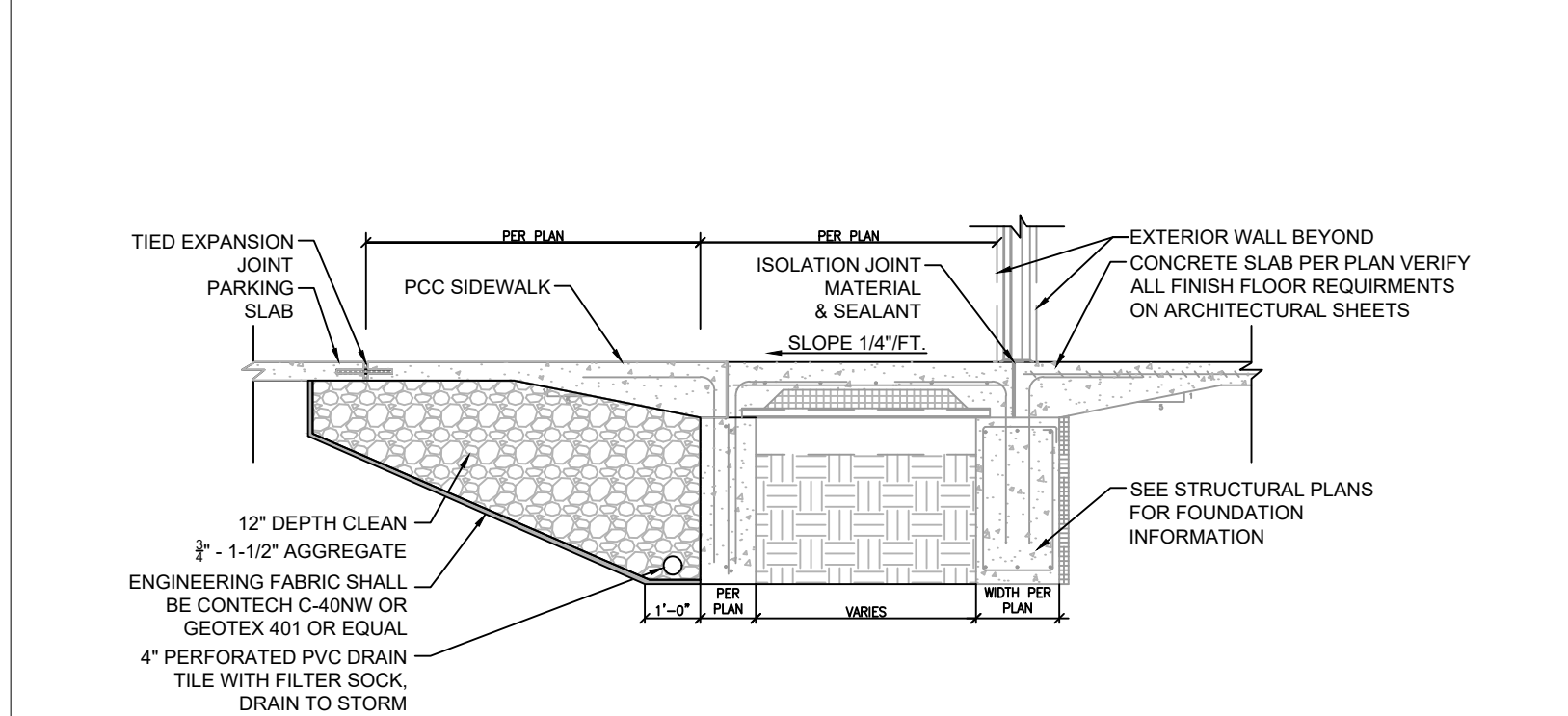
SHEET: C3.2



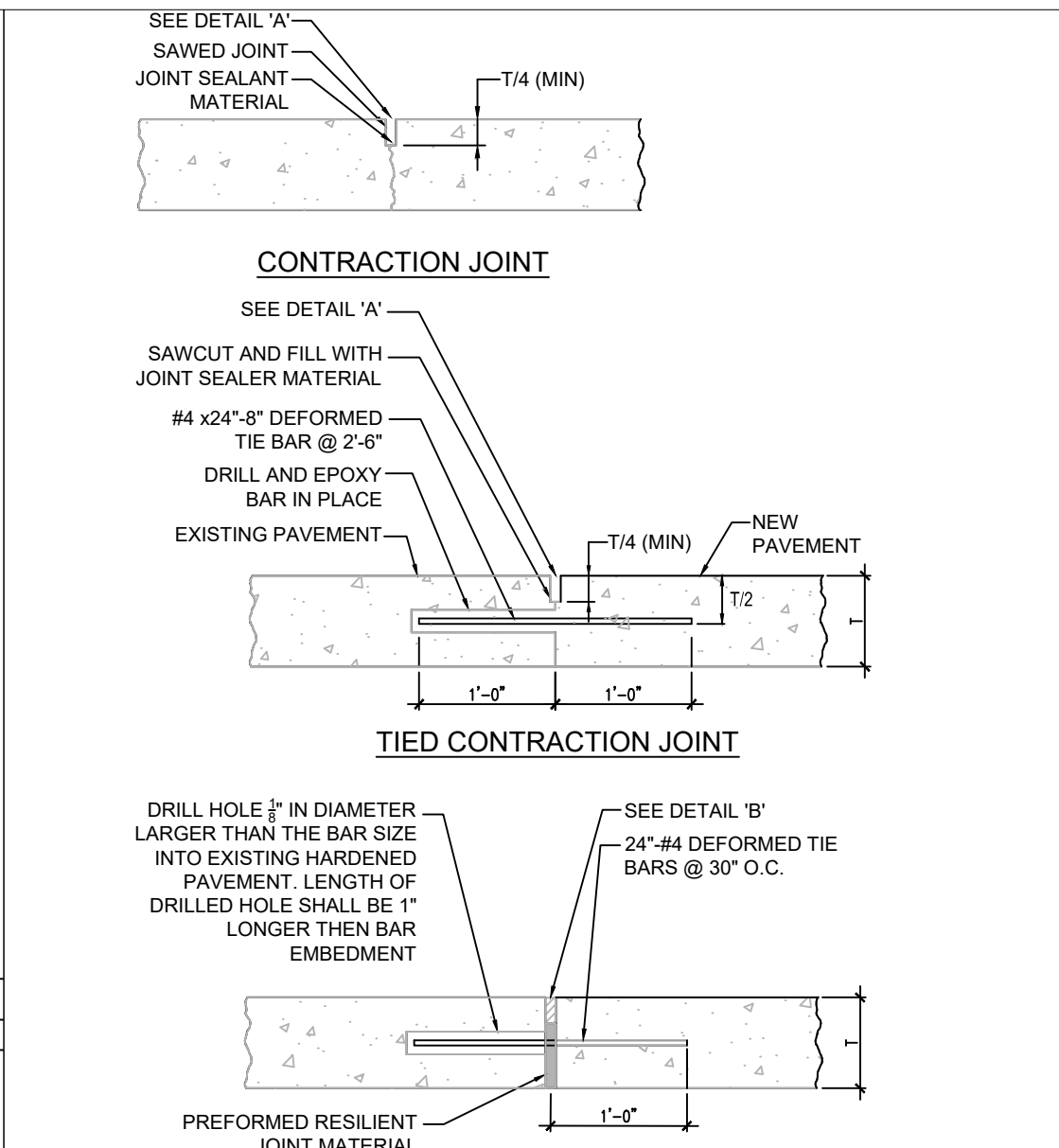
TYPE 6Y BOLLARD		BY	DATE
1	REVISION		



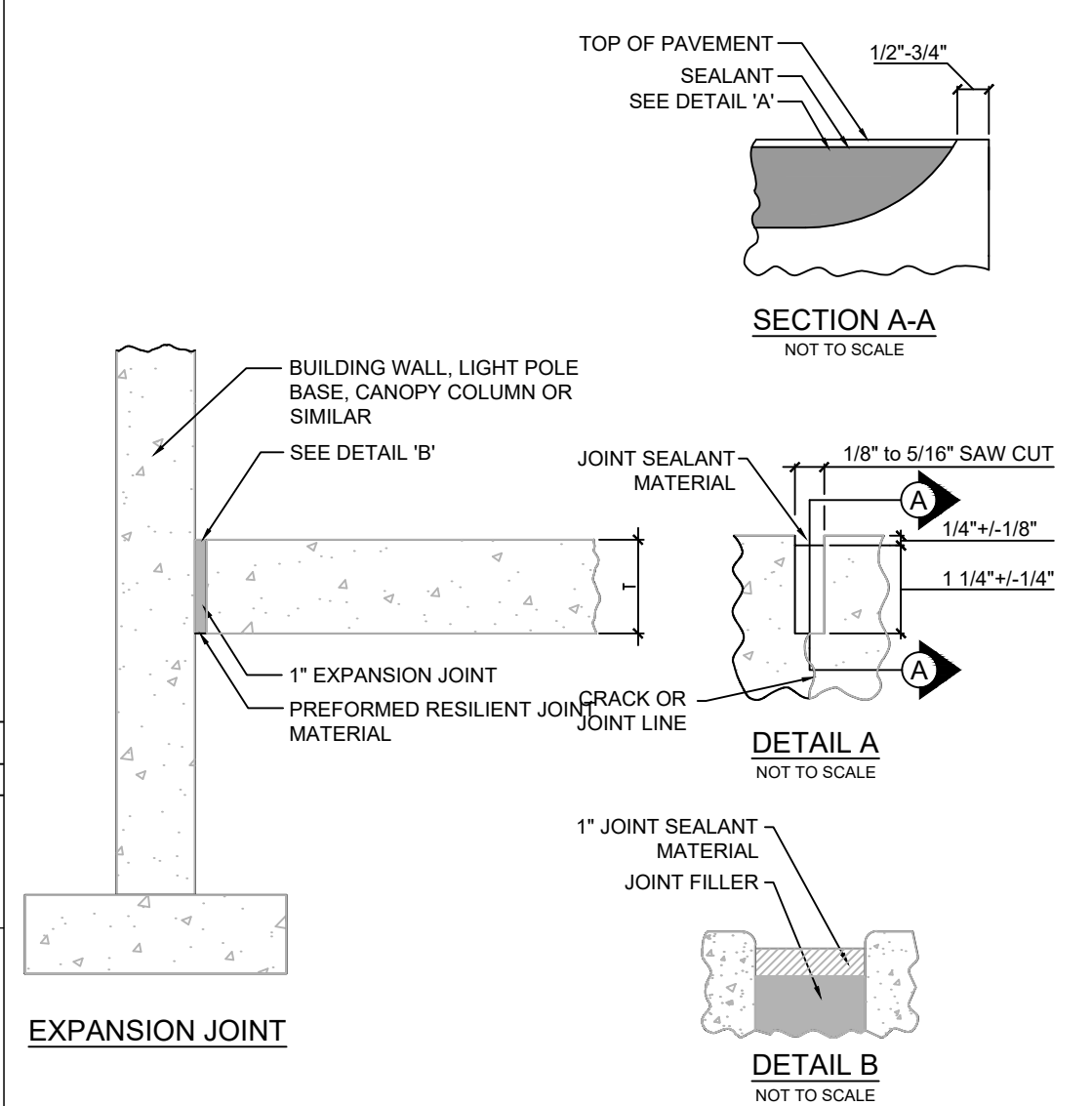
SIGN LEGEND ASSEMBLY		BY	DATE
4	REVISION		



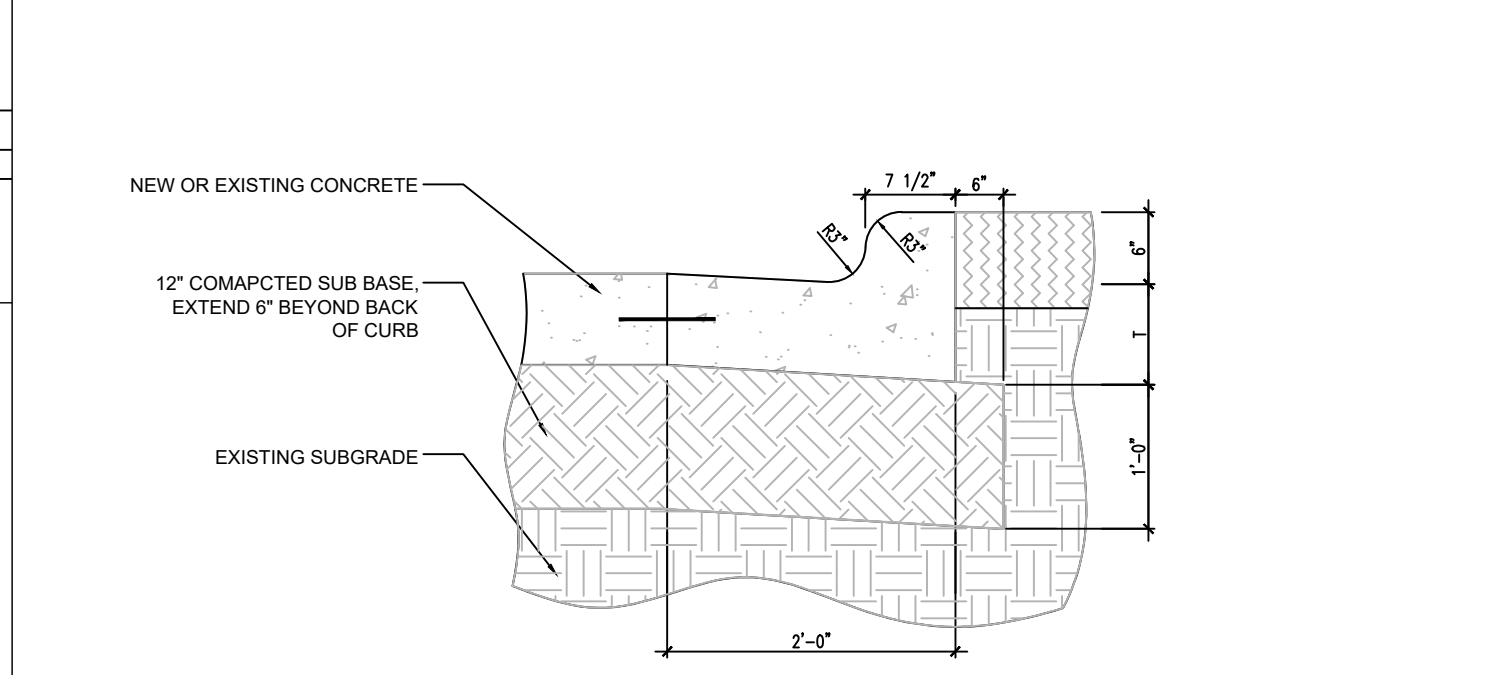
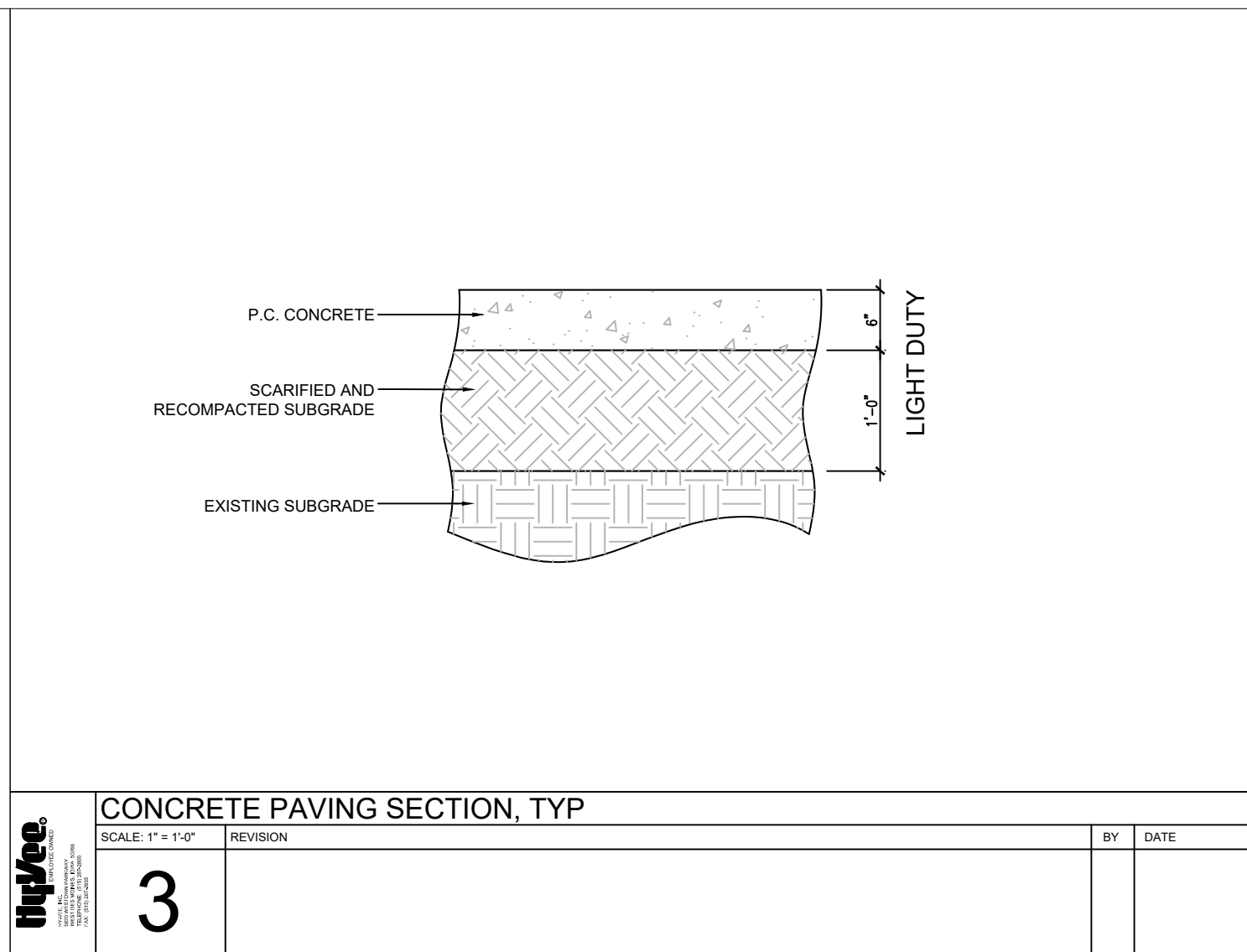
ENTRANCE STOOP SECTION, TYP		BY	DATE
8	REVISION		



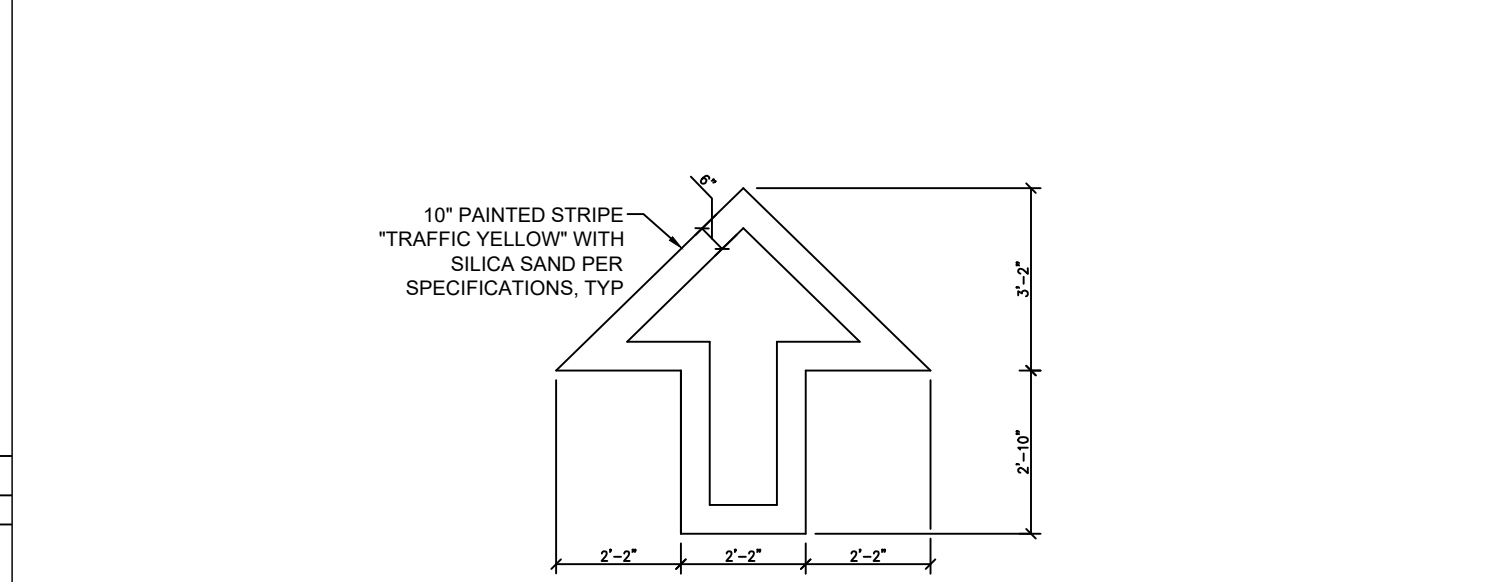
PAVEMENT JOINT DETAILS (1 OF 2)		BY	DATE
2	REVISION		



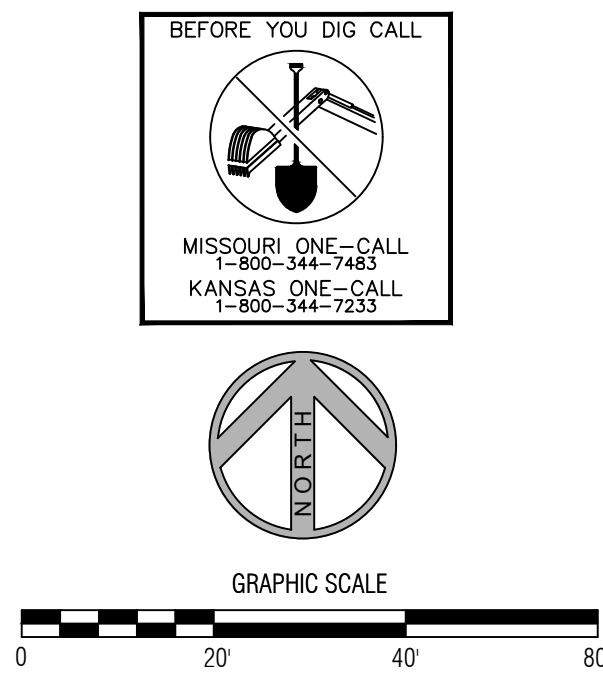
PAVEMENT JOINT DETAILS (2 OF 2)		BY	DATE
5	REVISION		



PCC CURB & GUTTER		BY	DATE
6	REVISION		



DIRECTIONAL ARROW PAVEMENT MARKING		BY	DATE
	REVISION		



REVISION

DATE BY

FINAL DEVELOPMENT PLAN

06/07/19

BURNS

MCDONNELL

LOCATION:

LEE'S SUMMIT 2

310 SW WARD ROAD

HY-VEE, INC.

5820 WESTOWN PARKWAY

WEST DES MOINES, IOWA 50266

TELEPHONE: (515) 267-2800

FAX: (515) 267-2935

JEFFREY THOMAS KOCHTANEK

NUMBER PE-2010019561

06/06/19

JEFFREY T. KOCHTANEK

PROFESSIONAL ENGINEER

DETAILS 1

DRAWN: PJB

DATE: 05/24/2019

SCALE: 1" = 20'

JOB NUMBER: 112830

SHEET:

C5.0



TYPE 1 SIGN

1
C3.0



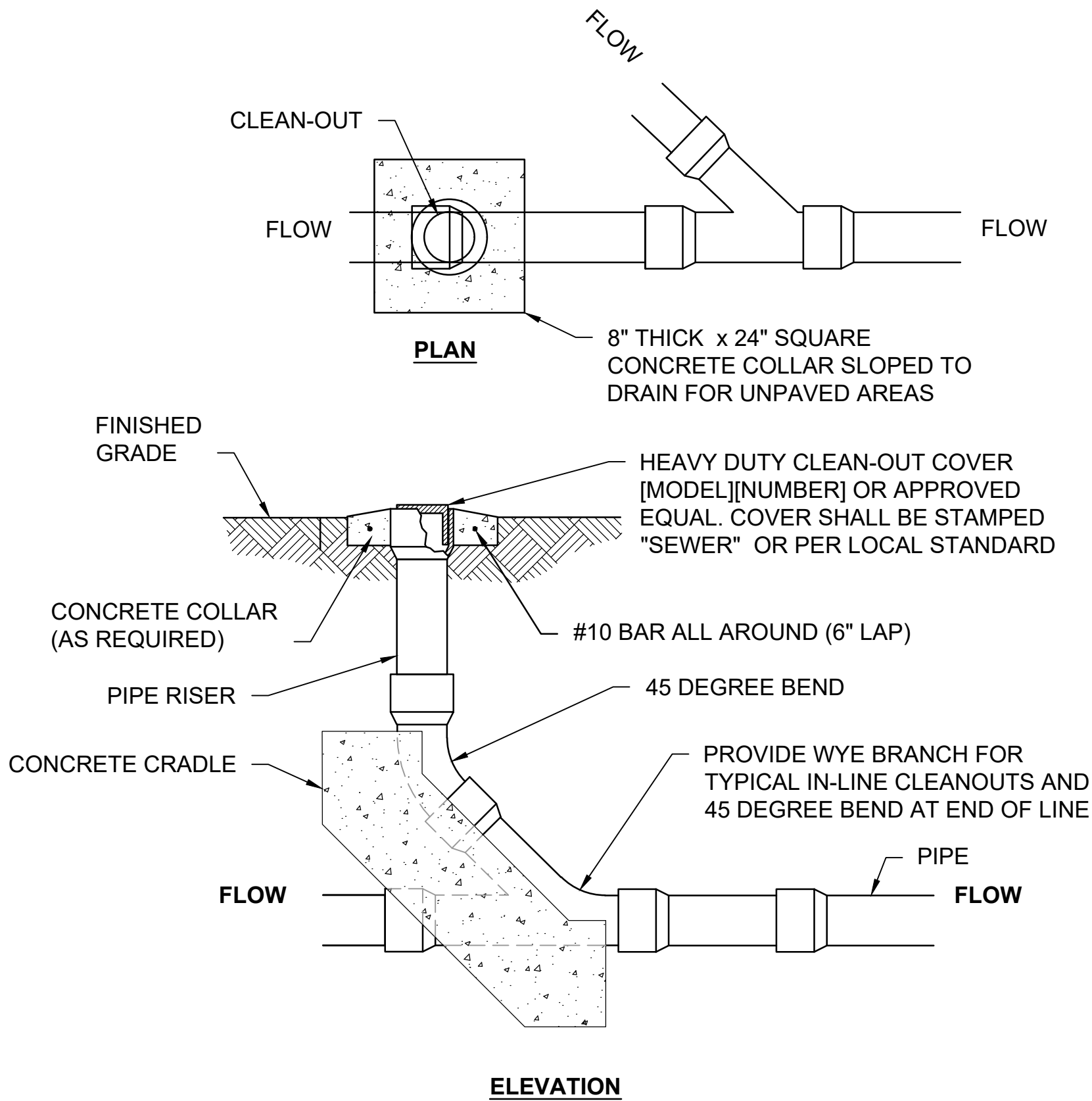
TYPE 2 SIGN

2
C3.0



TYPE 3 SIGN

3
C3.0

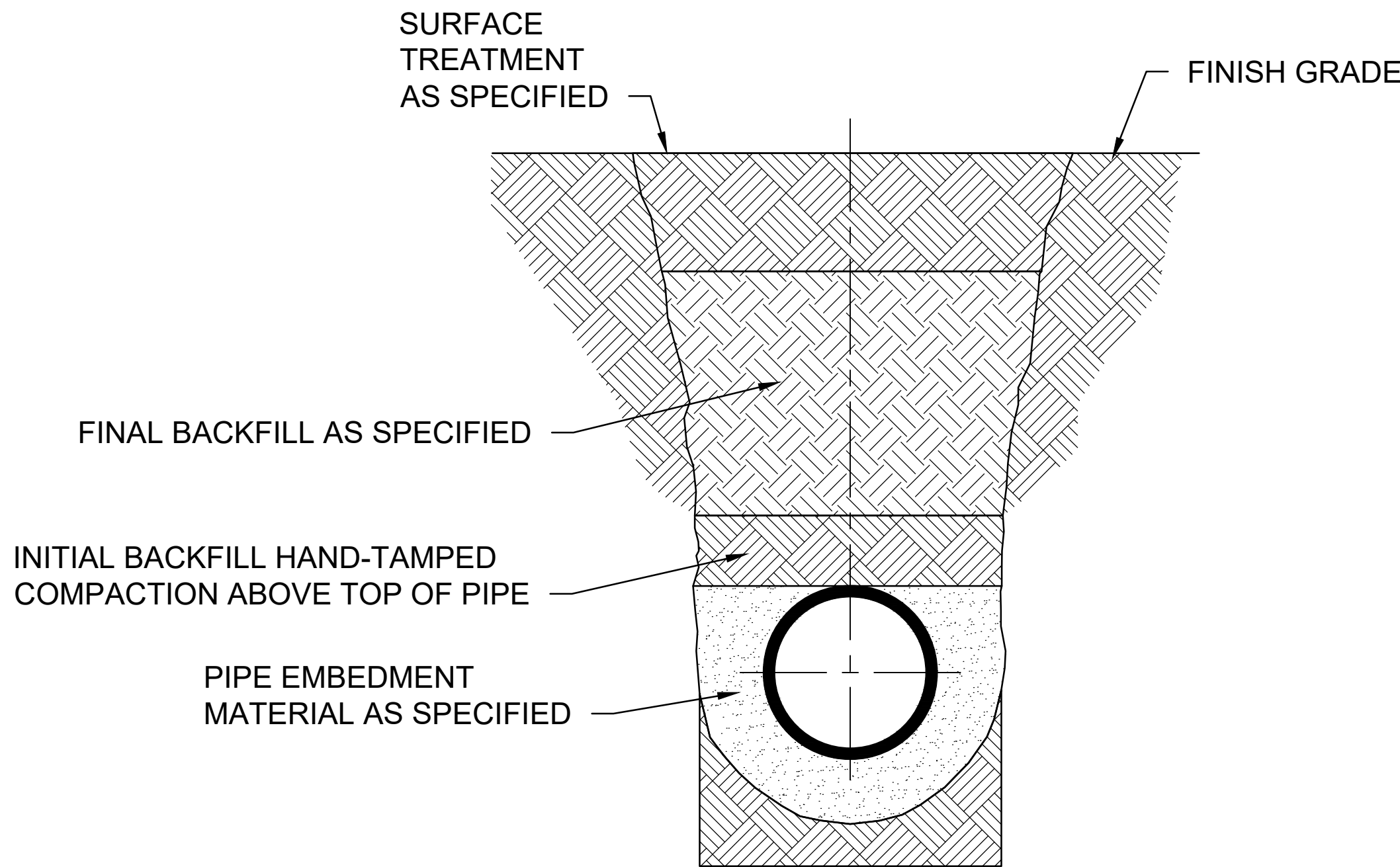


NOTES:

- CLEANOUTS LOCATED IN VEHICULAR AREAS SHALL BE TRAFFIC RATED.
- CLEANOUTS LOCATED IN PAVED AREAS SHALL BE INSTALLED FLUSH WITH FINAL GRADING.
- CONCRETE COLLAR MAY BE LOWERED ON RISER ASSEMBLY TO ACCOMMODATE SPECIAL FINISH GRADE.

CLEANOUT

4
C3.0

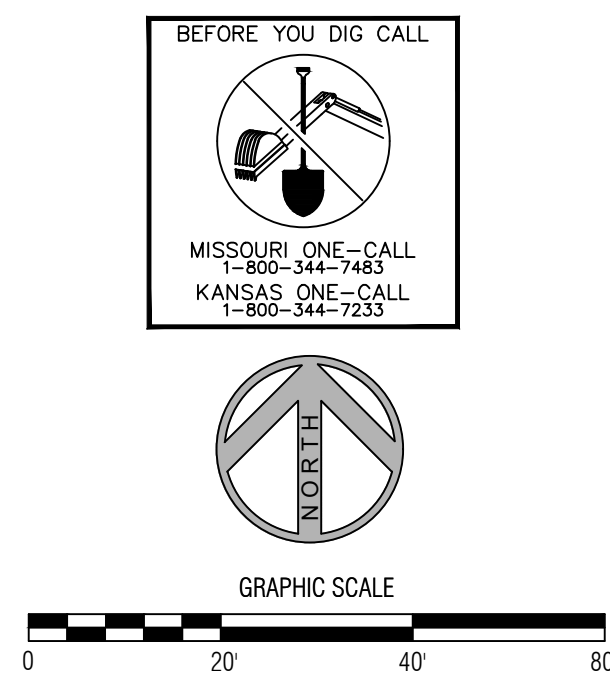


NOTES:

- BOTTOM OF TRENCH AND BEDDING MATERIAL SHALL PROVIDE UNIFORM LONGITUDINAL SUPPORT FOR BOTTOM SECTION OF PIPE.
- FINAL BACKFILL UNDER PAVEMENTS MAY BE SUBJECT TO ADDITIONAL COMPACTION REQUIREMENTS AND TESTING.
- BURIED WARNING AND IDENTIFICATION TAPE SHALL BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.

TRENCH DETAIL

5
C3.0



REVISION		DATE BY
FINAL DEVELOPMENT PLAN		06/07/19

**BURNS
MCDONNELL**

LOCATION: **LEE'S SUMMIT 2**
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HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2935

JEFFREY T. KOCHTANEK
PROFESSIONAL ENGINEER

DETAILS 2

DRAWN: PJB	DATE: 05/24/2019
SCALE: 1" = 20'	JOB NUMBER: 112830

SHEET:
C5.1