

LEE'S SUMMIT, MO

DEVELOPER:

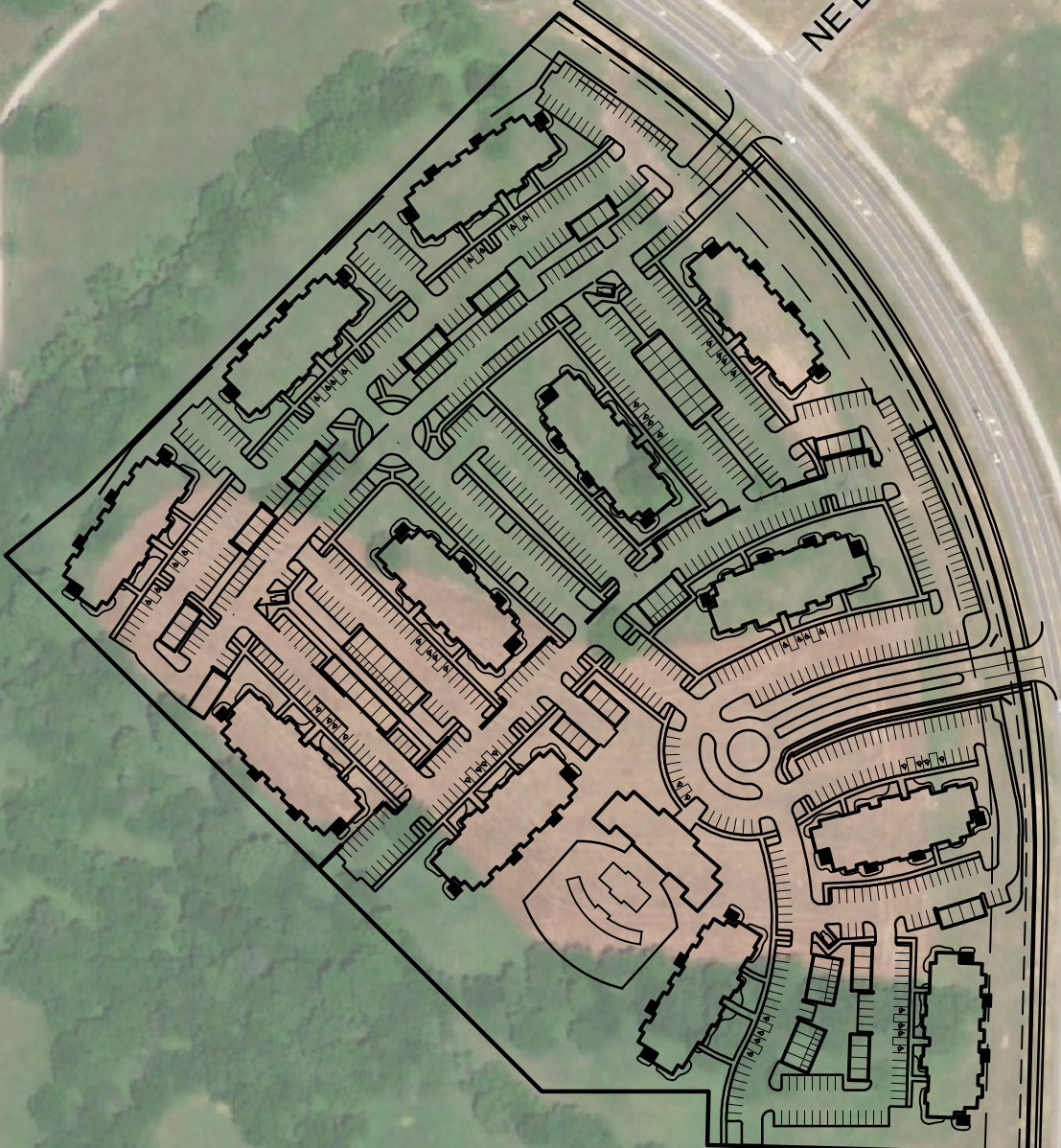
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EMAIL: CHOLMQUIST@OLSSON.COM

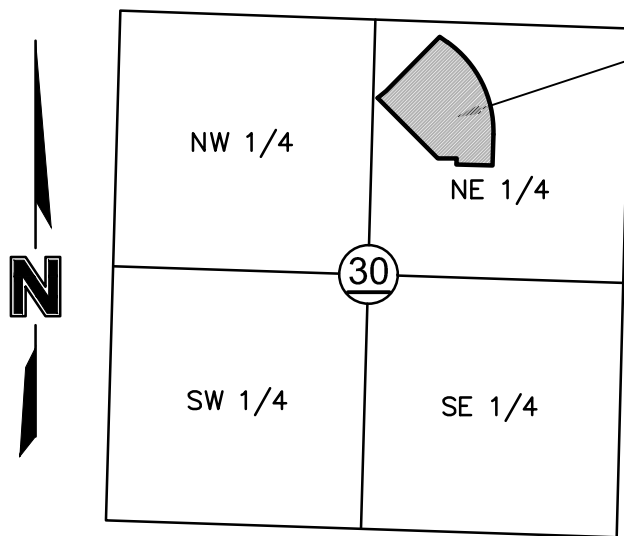
LIGHTING ASSOCIATES
3216 S BRENTWOOD BLVD.
WEBSTER GROVES, MO 63119
CONTACT: PAUL WARNER
PHONE: 314.531.3500
EMAIL: PWARNER@LAIWEB.NET



VICINITY MAP

LEGAL DESCRIPTION:

A tract of land in the Northeast Quarter of Section 30 Township 48 North, Range 31 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northwest corner of said Northeast Quarter Section; thence South 01°37'50" West, on the west line of said quarter section, 853.75 feet to a point on the southeast lot line of Lot 1, Lee's Summit Road Pump Station, a subdivision recorded in book 1 51 at page 90 in the Jackson County Recorder of Deeds office; thence North 50°41'15" East, on said southeast lot line, 59.22 feet; to the Point of Beginning of the tract of land to be herein described; thence continuing North 50°41'15" East along said line, 116.89 feet; thence North 24°49'51" East, 792.38 feet to a point on the westerly right-of-way line of NW Lee's Summit Road as established by Document number 2015E0017982 in the Jackson County Recorder of Deeds office; thence on said westerly right-of-way line, South 54°34'12" East, 95.69 feet; thence Southeasterly along a curve to the right being tangent to the last described course with a radius of 1,142.00 feet, a central angle of 56°01'43" and an arc distance of 1,116.74 feet; thence South 01°27'31" West, 322.27 feet; thence leaving said right-of-way line, North 88°32'29" West, 375.74 feet; thence North 01°27'27" East, 62.94 feet; thence South 90°00'00" West, 195.68 feet; thence North 45°00'00" West, 889.18 feet to the Point of Beginning. Containing 979,968 square feet or 22.50 acres, more or less.



LOCATION MAP

SHEET INDEX	
NUMBER	TITLE
C1.0	TITLE SHEET
C2.0	REZONING PLAN
C3.0	EXISTING CONDITIONS
C4.0	PRELIMINARY PLAT
C5.0	PRELIMINARY GRADING PLAN
C5.1	PRELIMINARY REGIONAL DRAINAGE PLAN
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STREAM BUFFER PLAN
C8.0	PRELIMINARY DETAILS SHEET
L1.0	PRELIMINARY LANDSCAPE PLAN
A1.0	PRELIMINARY ARCHITECTURAL ELEVATIONS
A1.1	PRELIMINARY ARCHITECTURAL ELEVATIONS
--	PRELIMINARY PHOTOMETRIC PLAN

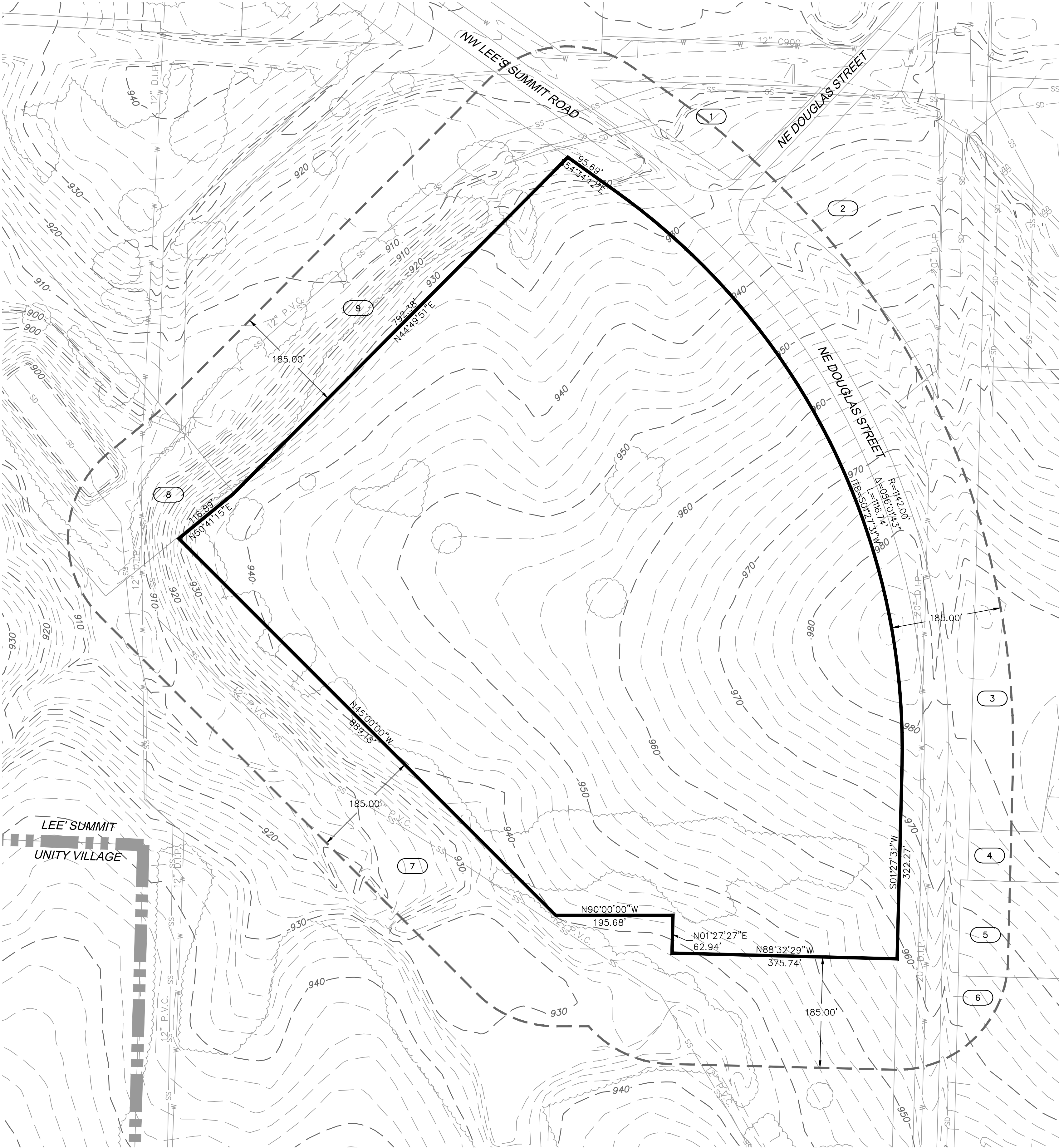
1. THIS PLAN SHALL ALSO SERVE AS A PRELIMINARY PLAT (SEE SHEET C4.0).

TITLE SHEET											
ARIA REZONING & PRELIMINARY DEVELOPMENT PLAN											
LEE'S SUMMIT, MO						2019					
drawn by:								C.J.H.			
checked by:								N.D.H.			
approved by:								J.F.E.			
O&MOC by:								J.F.E.			
project no.:								019-0012			
drawing no.:	C_P_TTLT_0190012										
date:	2019.02.15										

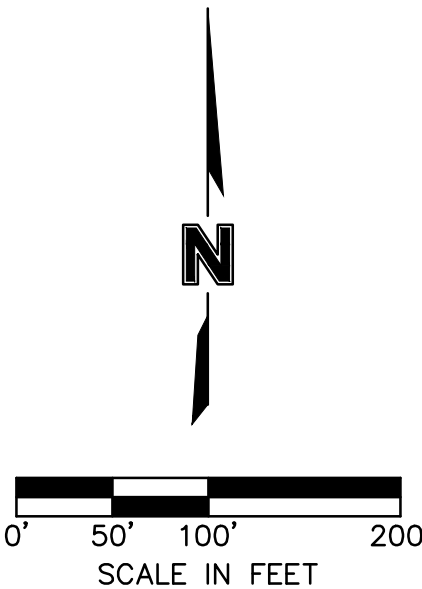
PROPERTY OWNERS WITHIN 185'		
KEY	ADDRESS	OWNER(S) & MAILING ADDRESS
1	** NO ADDRESS **	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063
2	** NO ADDRESS **	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063
3	** NO ADDRESS **	DAHMER BROTHERS INVESTMENT LLC 8375 NIEMAN ROAD LENEXA, KS 66214
4	** NO ADDRESS ** (PUBLIC OWNED)	THE CITY OF LEE'S SUMMIT 207 SW MARKET ST. P.O. BOX 1600 LEE'S SUMMIT, MO 64063
5	1915 NE DOUGLAS ST. LEE'S SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063
6	1951 NE DOUGLAS ST. LEE'S SUMMIT, MO 64064	CITY OF LEE'S SUMMIT 220 S MAIN LEE'S SUMMIT, MO 64063
7	** NO ADDRESS **	UNITY SCHOOL OF CHRISTIANITY 1901 NW BLUE PARKWAY UNITY VILLAGE, MO 64065
8	2290 NW LEE'S SUMMIT RD. LEE'S SUMMIT, MO 64064	CITY OF LEE'S SUMMIT P.O. BOX 1600 LEE'S SUMMIT, MO 64063-7600
9	** NO ADDRESS **	UNITY SCHOOL OF CHRISTIANITY 1901 NW BLUE PARKWAY UNITY VILLAGE, MO 64065

LEGAL DESCRIPTION FOR REZONING

A tract of land in the Northeast Quarter of Section 30 Township 48 North, Range 31 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northwest corner of said Northeast Quarter Section; thence South 01°37'50" West, on the west line of said quarter section, 853.75 feet to a point on the southeast lot line of Lot 1, Lee's Summit Road Pump Station, a subdivision recorded in book I 51 at page 90 in the Jackson County Recorder of Deeds office; thence North 50°41'15" East, on said southeast lot line, 59.22 feet; to the Point of Beginning of the tract of land to be herein described; thence continuing North 50°41'15" East along said line, 116.89 feet; thence North 44°49'51" East, 792.38 feet to a point on the westerly right-of-way line of NW Lee's Summit Road as established by Document number 2015E0017982 in the Jackson County Recorder of Deeds office; thence on said westerly right-of-way line, South 54°34'12" East, 95.69 feet; thence Southeasterly along a curve to the right being tangent to the last described course with a radius of 1,142.00 feet, a central angle of 56°01'43" and an arc distance of 1,116.74 feet; thence South 01°27'31" West, 322.27 feet; thence leaving said right-of-way line, North 88°32'29" West, 375.74 feet; thence North 01°27'27" East, 62.94 feet; thence South 90°00'00" West, 195.68 feet; thence North 45°00'00" West, 889.18 feet to the Point of Beginning. Containing 979,968 square feet or 22.50 acres, more or less.



NOTES:
1. EXISTING ZONING: AG PROPOSED ZONING: RP-4
2. EXISTING LAND USE: UNDEVELOPED PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
3. LAND AREA: 22.50 AC. (979,968 SF)



olsson

Olsson - Civil Engineering
1301 Burlington Street
North Kansas City, MO 64116
TEL 816.361.1177
www.olsson.com

REV. NO.

DATE

REVISIONS DESCRIPTION

BY

1	2019.04.02	Revised per Staff comments.	CJH
2	2019.05.06	Revised per Staff comments.	

REZONING PLAN

ARIA

REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: CJH

checked by: NDH

approved by: JFE

QA/QC by: JFE

project no.: 019-0012

drawing no.: C_PREZ_01900012

date: 2019.02.15

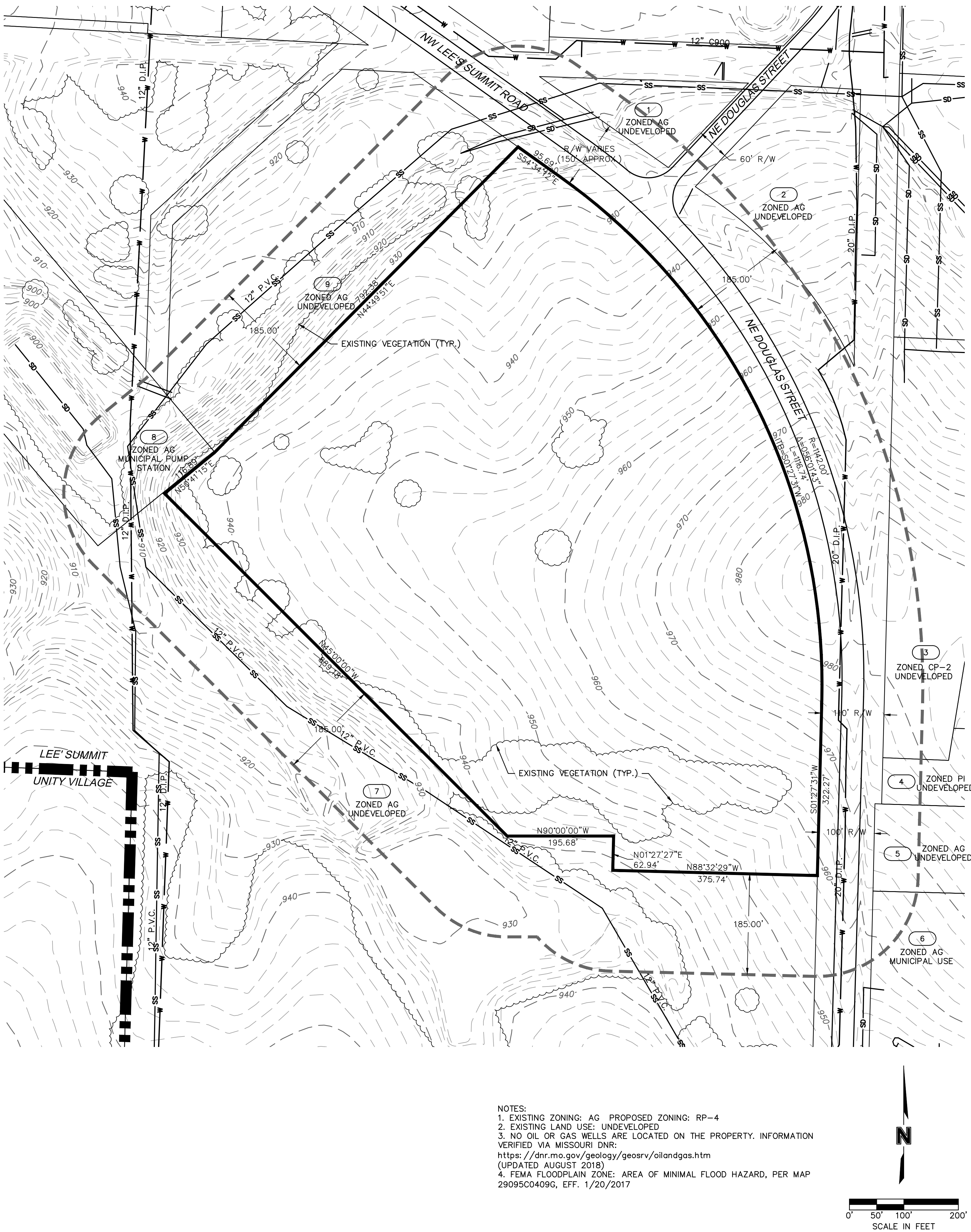
2019

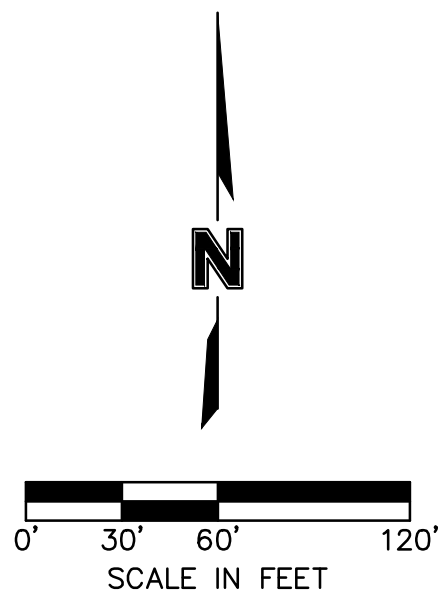
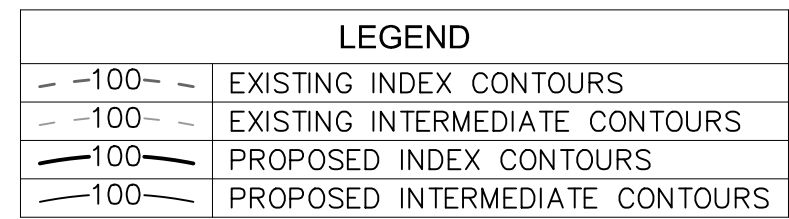
REVISIONS

SHEET

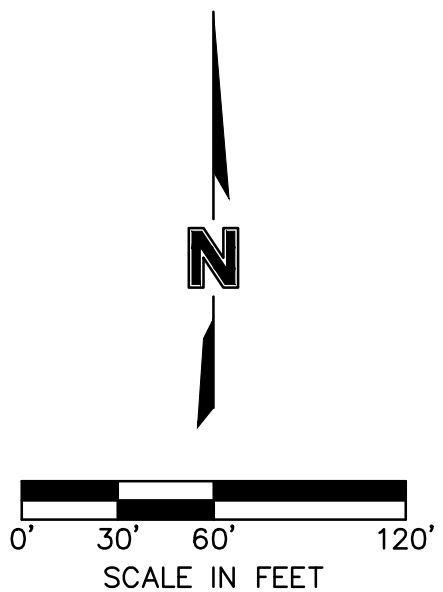
C2.0

PROPERTY OWNERS WITHIN 185'		
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	REV. NO.	DATE	REVISIONS DESCRIPTION	BY
	1	2019.04.02	Revised per Staff comments.	C/JH
	2	2019.05.06	Revised per Staff comments.	
REVISIONS				

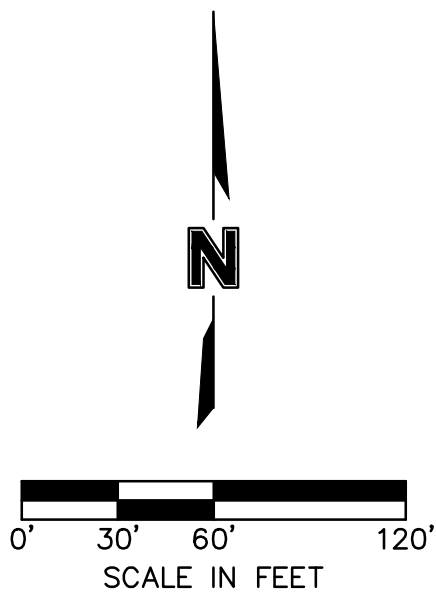


STREAM BUFFER AREAS		
	STREAM BUFFER IMPACT AREA	(0.70 AC.)
	ADDITIONAL AREA DEDICATED TO STREAM BUFFER	1.19 AC.
	NET AREA	0.49 AC.

STREAM BUFFER SETBACKS DETERMINED VIA KC METRO APWA STANDARDS.

LEGEND	
	100' - EXISTING INDEX CONTOURS
	100' - EXISTING INTERMEDIATE CONTOURS
	100' - PROPOSED INDEX CONTOURS
	100' - PROPOSED INTERMEDIATE CONTOURS

LEGEND	
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE



PRELIMINARY STREAM BUFFER PLAN

REZONING & PRELIMINARY DEVELOPMENT PLAN

ARIA

LEE'S SUMMIT, MO

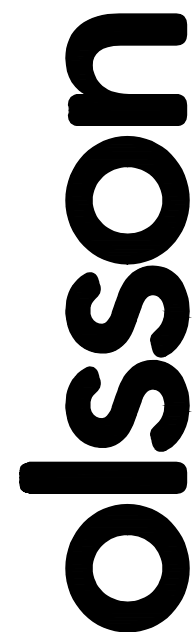
drawn by:	CJH
checked by:	NDH
approved by:	JFE
QA/QC by:	JFE
project no.:	019-0012
drawing no.:	C_PSBP_0190012
date:	2019.02.15

SHEET
C7.0

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2019.04.02	Revised per Staff comments.	CJH
2	2019.05.06	Revised per Staff comments.	

REVISIONS

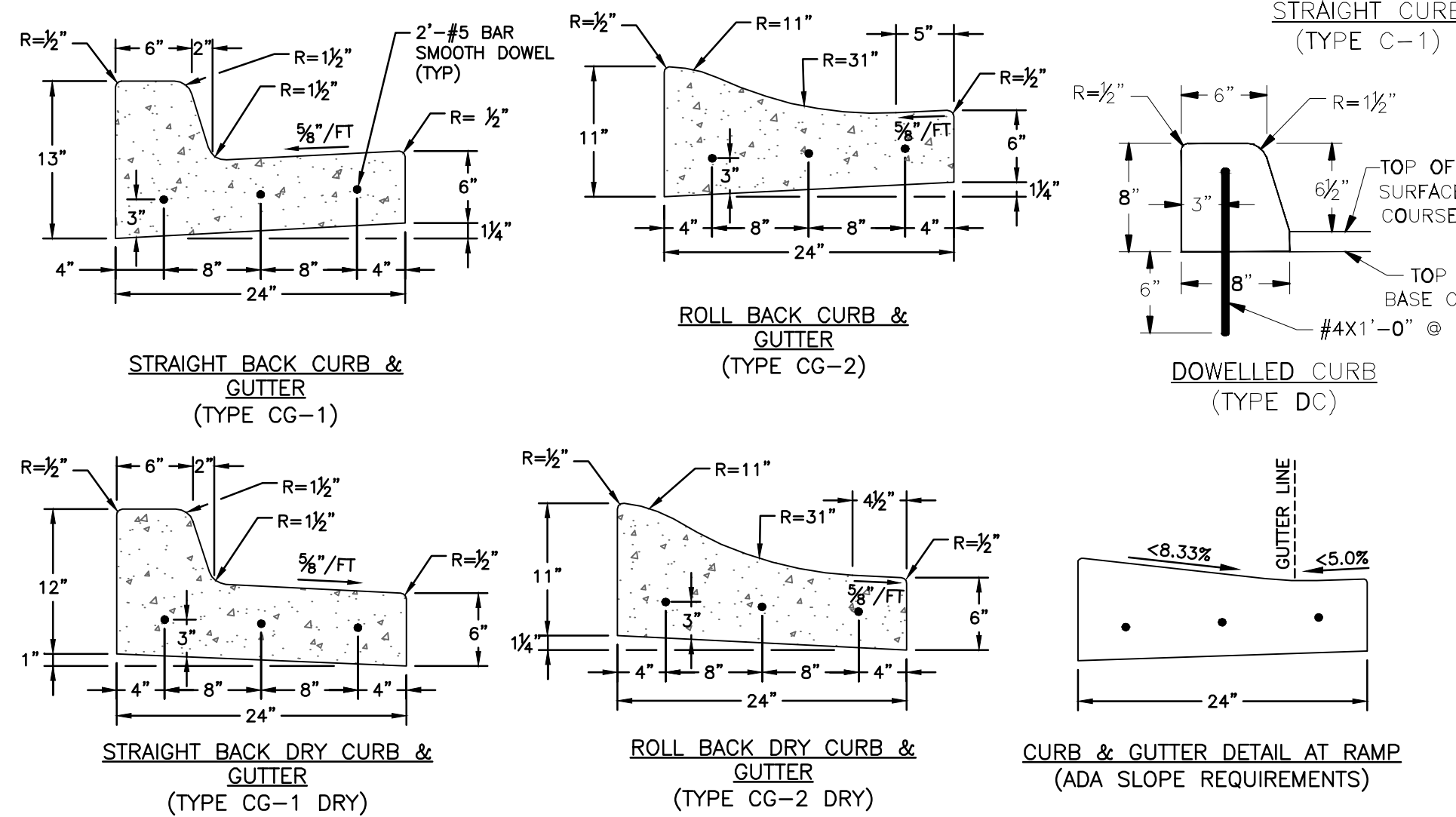
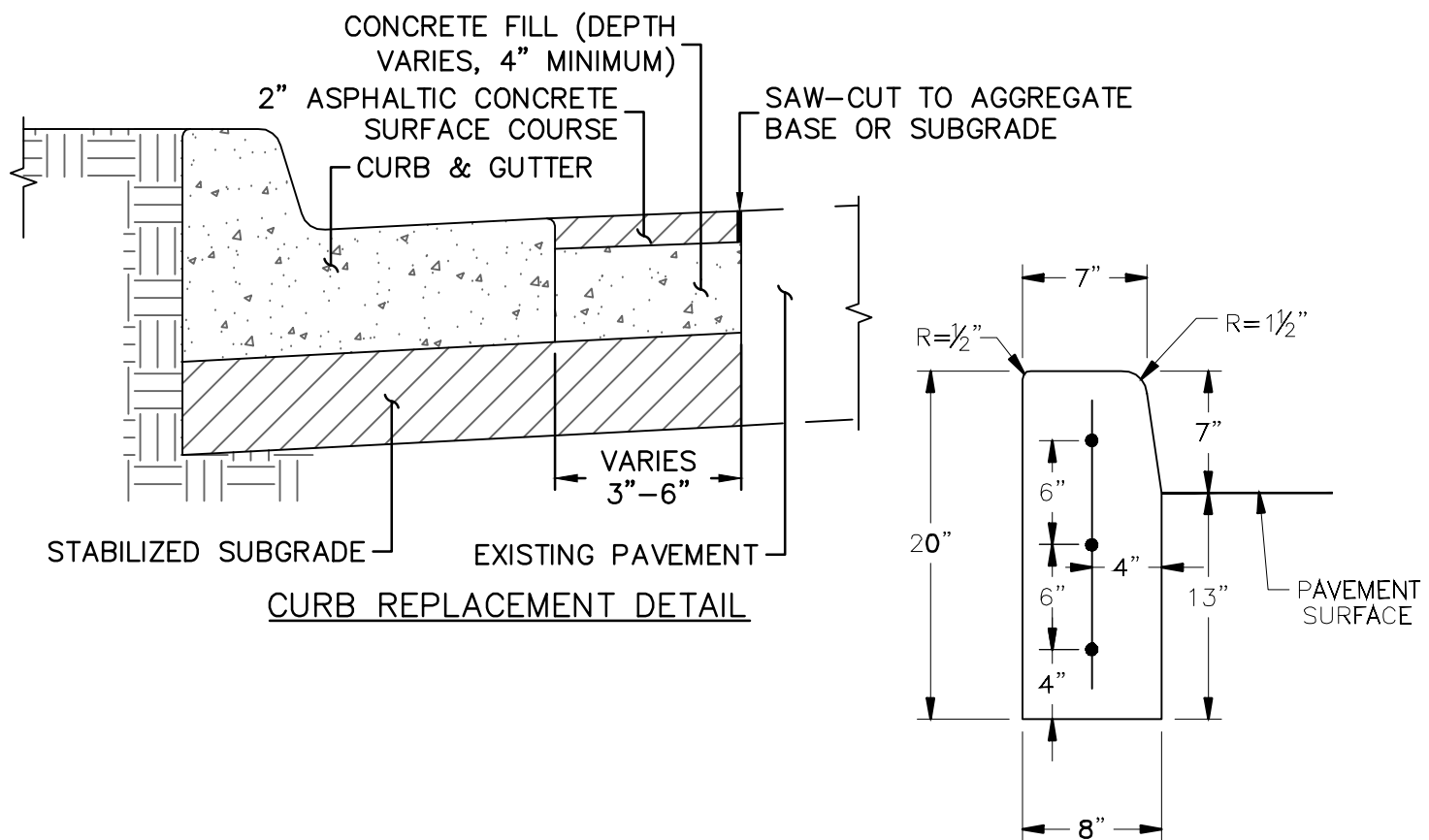
2019



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DWG: F:\2019\0001-0500\019-0012\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\Preliminary Development Plan_24x36\C_DET1_0190012.dwg
DATE: May 06, 2019 3:33pm XREFS:

1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE WELDED TO THE WELDED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION. CONCRETE FILES SHALL HAVE UNIFORM AND SMOOTH FINISH.
3. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
4. ASPHALTIC CONCRETE SURFACE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
5. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
6. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



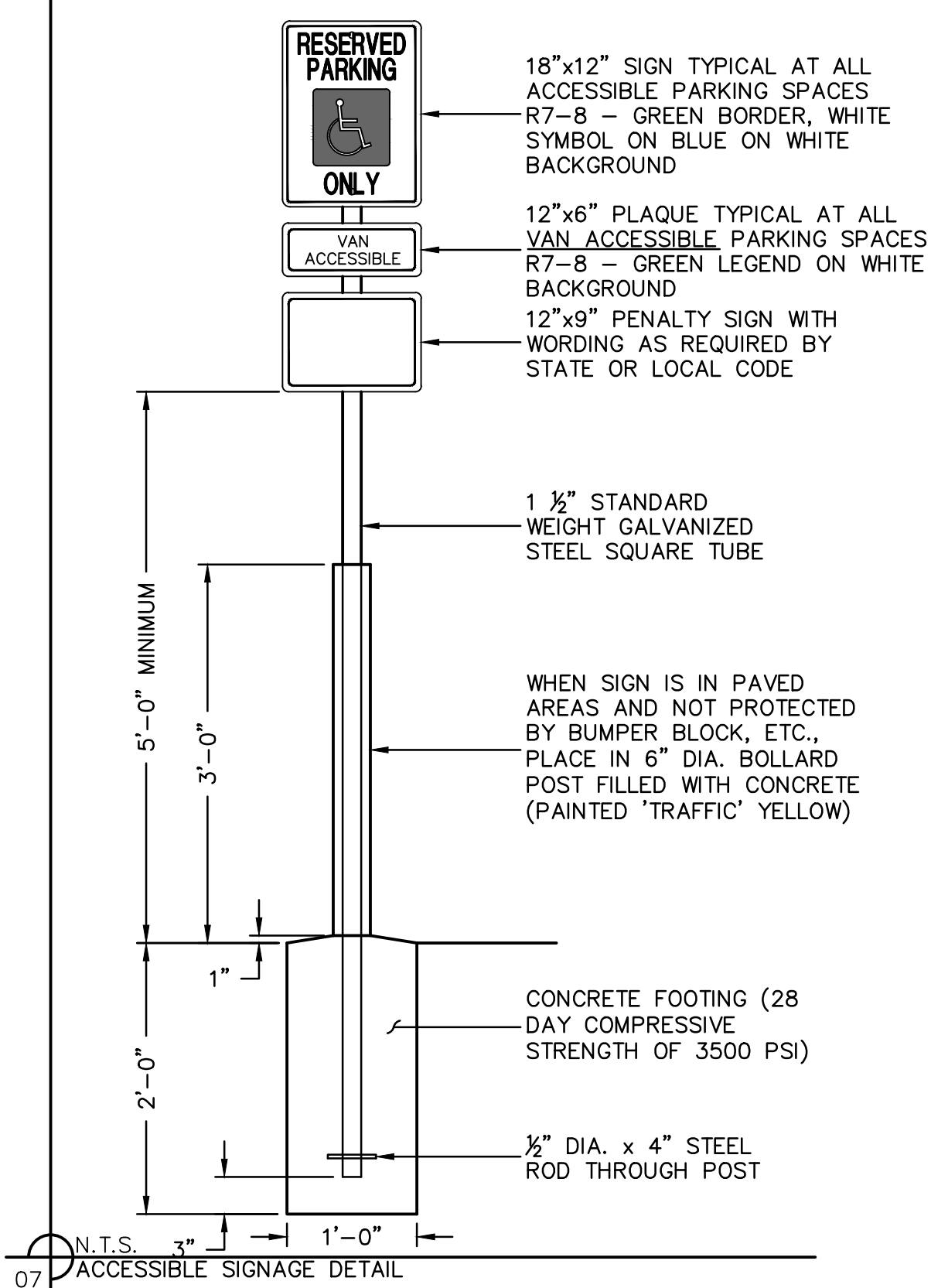
06 N.T.S.
CURB & GUTTER DETAIL

1. ALL SIGNS SHALL COMPLY WITH THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

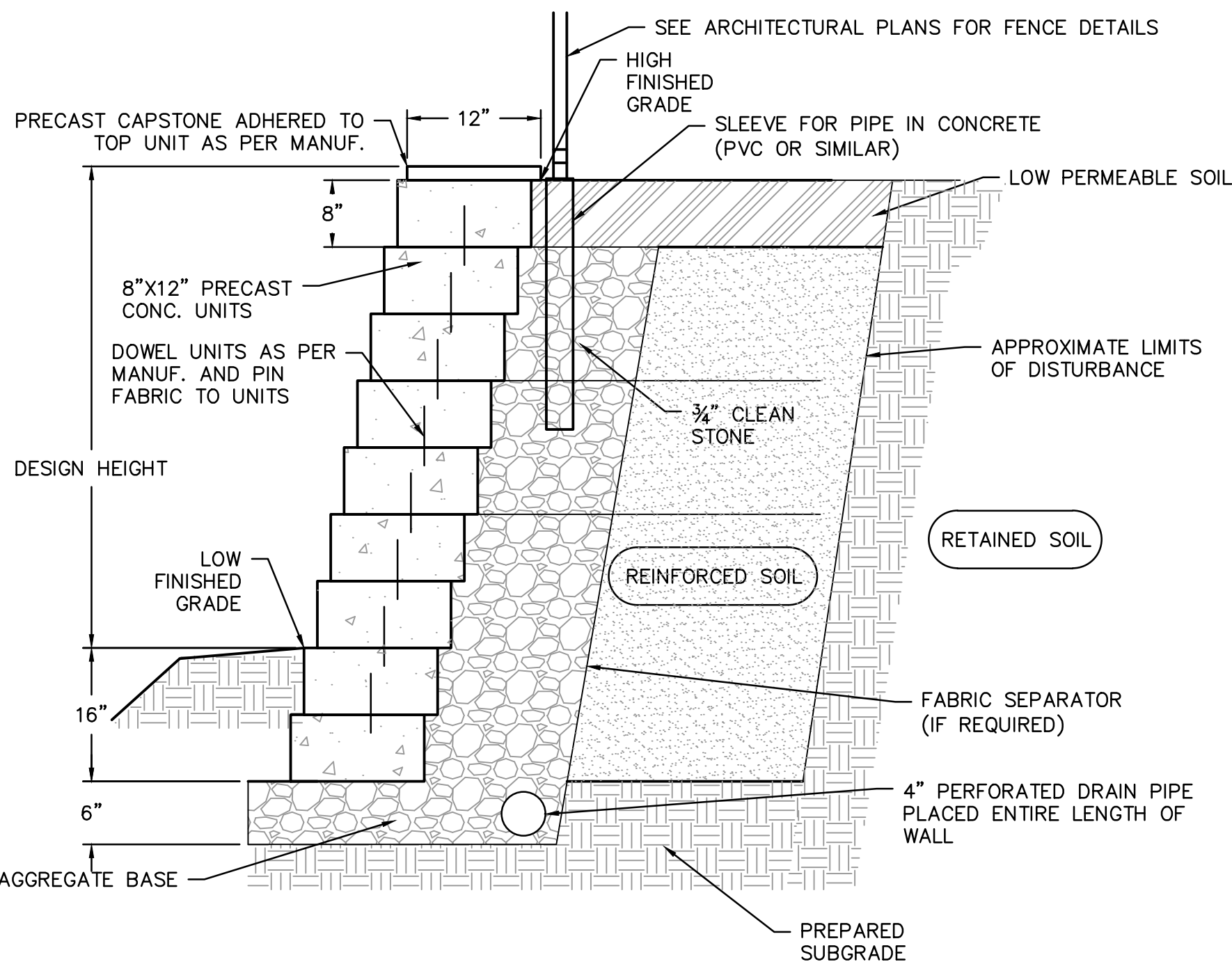
2. GALVANIZED SQUARE TUBE:
POST TUBES - 2"x2"x $\frac{3}{16}$ " 12GA.
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
ANCHOR TUBE - 2"x $\frac{1}{2}$ "x2"x $\frac{3}{16}$ " 12GA.
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123

THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM
OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN., 4"
MAX. EXPOSED ABOVE FINISH GRADE.

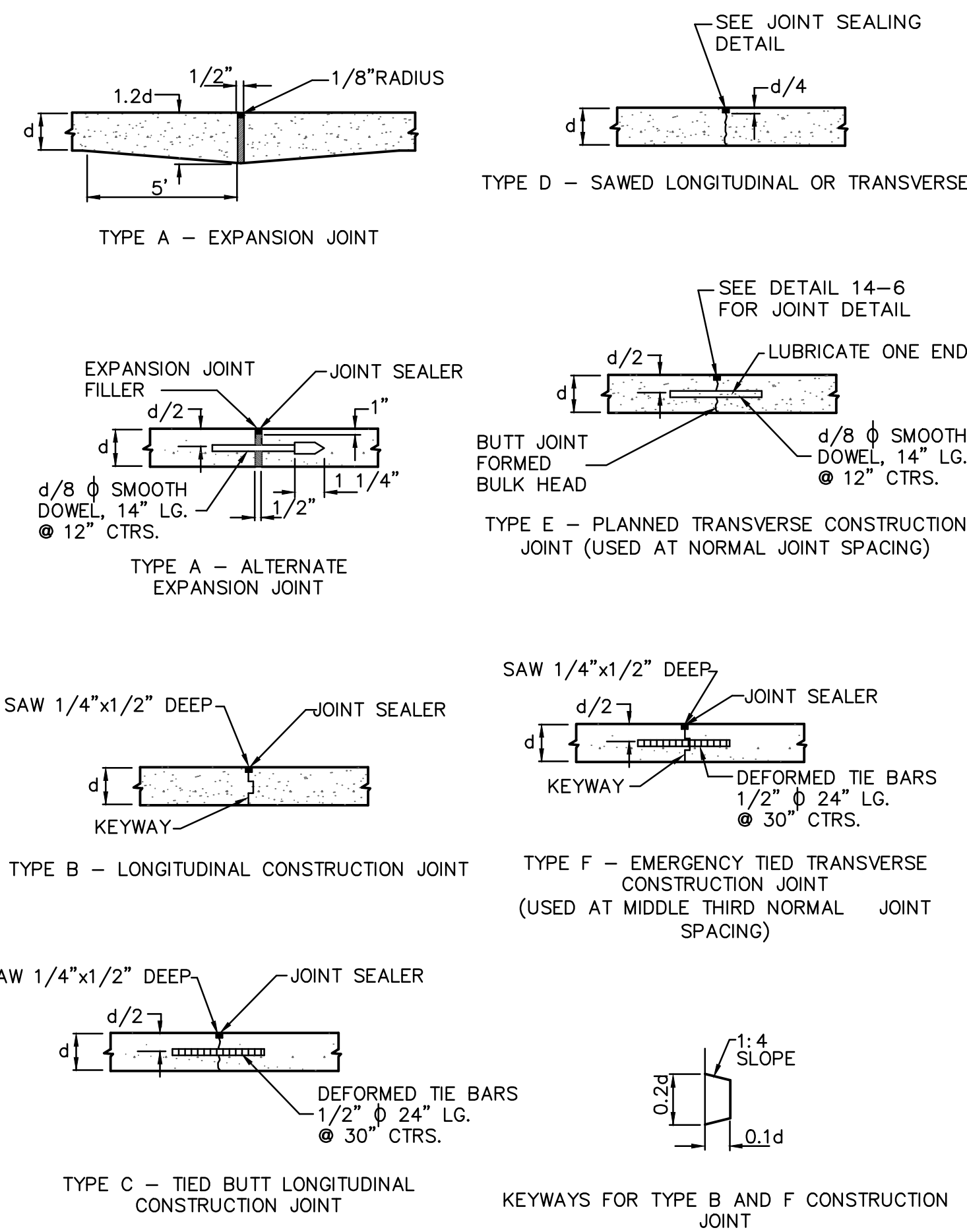
THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN., 4" MAX. EXPOSED ABOVE FINISH GRADE.



07	ACCESSIBLE SIGNAGE DETAIL
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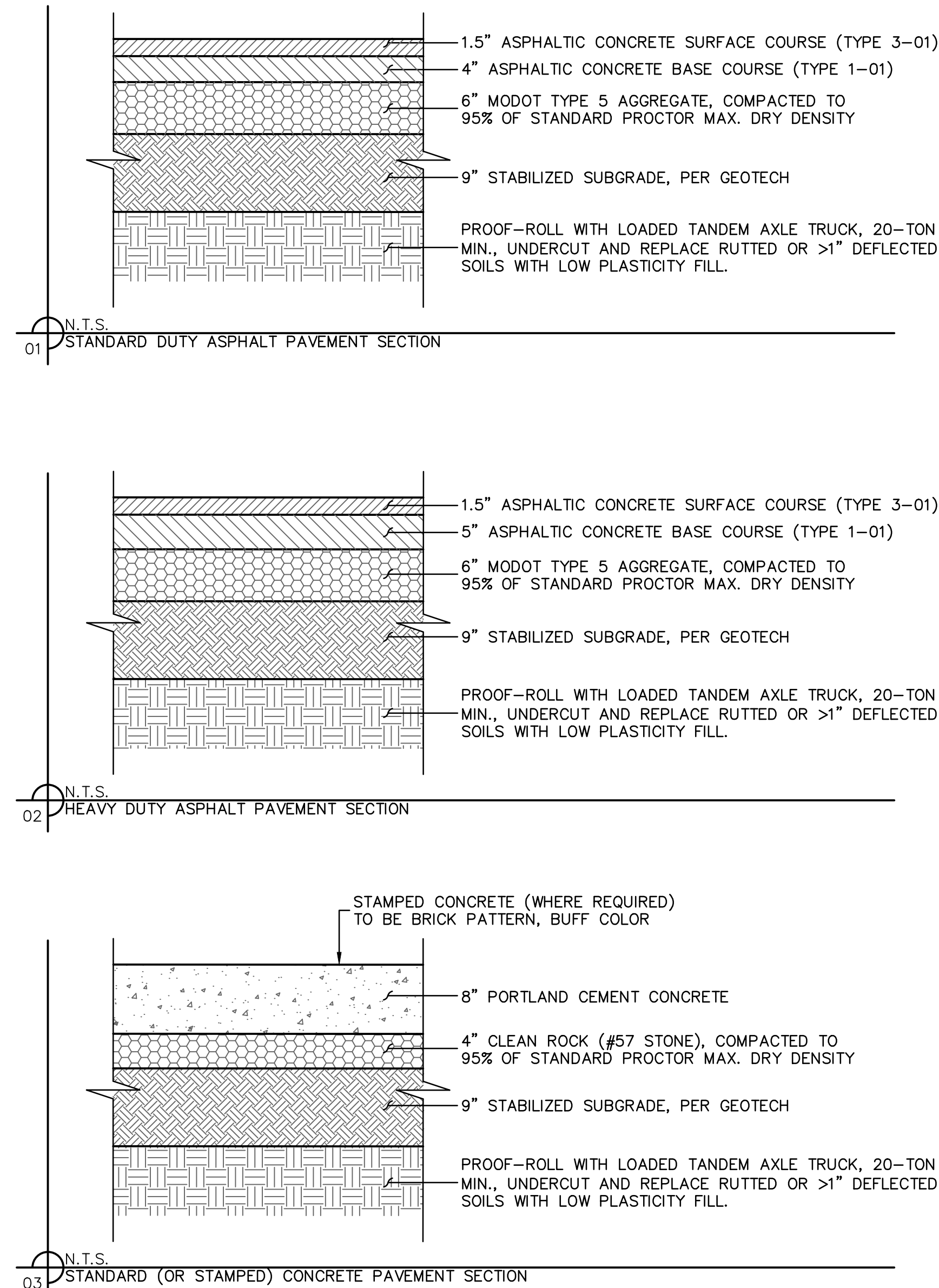
05 N.T.S. RETAINING WALL DETAILS



04 N.T.S. CONCRETE PAVEMENT JOINTING DETAILS

RETAINING WALL NOTES

1. THE DETAILS PROVIDED HERE ARE FOR GENERAL GUIDANCE ONLY. THE WALL SHALL BE "DESIGN-BUILD" PROVIDED COMPLETE IN-PLACE BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT PRODUCT DATA INCLUDING BLOCK TYPE, COLOR, AND FINISH FOR APPROVAL BY OWNER AND ARCHITECT.
2. THE RETAINING WALL SHALL BE A VERSA-LOK MOSAIC RETAINING WALL (WEATHERED) AND THE COLOR SHALL BE SANDSTONE BLEND.
3. THE WALL SHALL BE DESIGNED BY THE INSTALLER ACCORDING TO THE WALL UNIT MANUFACTURER'S DESIGN CRITERIA. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AS A SHOP DRAWING FOR REVIEW. ALL DESIGN CALCULATIONS AND DESIGN CRITERIA, (ANGLE OF FRICTION, SOIL WEIGHT, ETC.), SHALL BE SUBMITTED WITH THE SHOP DRAWING. ALL DESIGN MUST BE SEALED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MISSOURI.
4. FACTORS OF SAFETY SHALL BE AS FOLLOWS:
 - 1.5 AGAINST REINFORCEMENT GRID PULLOUT OR RUPTURE
 - 1.5 AGAINST EXTERNAL SLIDING FAILURE
 - 2.0 AGAINST OVERTURNING
5. THE DESIGN, DIMENSIONS, AND MATERIAL SHOWN IN THIS DETAIL ARE GENERAL IN NATURE. THE AGGREGATE MATERIALS, GEOGRID SYSTEM, AND INSTALLATION SHALL BE AS WALL UNIT MANUFACTURER'S REQUIREMENTS.
6. SEE SPECIFICATIONS FOR MATERIAL SELECTION AND OTHER REQUIREMENTS.
7. WALL DESIGN SHALL INCLUDE GLOBAL STABILITY.
8. RETAINING WALL SHALL PROVIDE POSITIVE INTERLOCKING BETWEEN BLOCKS AND GRID.
9. WALL TO MEET ALL DESIGN AND INSPECTION REQUIREMENTS OF LEE'S SUMMIT, MISSOURI.
10. GLOBAL STABILITY ANALYSIS SHOULD BE PERFORMED BY THE WALL DESIGNER, TAKING INTO ACCOUNT EXTERNAL LOADS, SLOPES ABOVE AND BELOW THE WALL AND HYDROSTATIC PRESSURE, WHEN APPLICABLE.
11. RETAINING WALLS 4' AND GREATER IN HEIGHT SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
12. HANDRAIL OR FENCING IS REQUIRED AT THE TOP OF WALL FOR ANY DROP IN HEIGHT OF 30" OR MORE.



0.3 N.T.S.
STANDARD (OR STAMPED) CONCRETE PAVEMENT SECTION

1. DETAILS FOR REFERENCE ONLY. NOT TO BE USED FOR CONSTRUCTION.

PRELIMINARY DETAILS SHEET

AREZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

drawn by: CJH
checked by: NDH
approved by: JFE
QA/QC by: JFE
project no.: 019-0012
drawing no.: C DETL 0190012
date: 2019.02.15

SHEET
C8.0

ARIA - REZONING & PDP - LANDSCAPE CALCULATIONS														
PHASE	BUILDING COVERAGE (SF)	PARKING SPACES	LANDSCAPE ISLANDS AREA (SF)	PARKING LOT AREA (SF)	LANDSCAPE ISLAND % (5% MIN.)	R/W LENGTH (LF)	(1) LANDSCAPE STRIP BETWEEN PARKING/LOADING AREA AND R/W	(1) STREET FRONTAGE TREES	(2) STREET FRONTAGE SHRUBS	(3) OPEN YARD AREA PROVIDED (SF)	(3A) OPEN YARD AREA TREES	(3B) OPEN YARD AREA SHRUBS	(4A) BUFFER TREES: DECIDUOUS / ORNAMENTAL / EVERGREEN	(4B) BUFFER SHRUBS
1	84,200	407	19,288	342,776	5.63%	816	REQUIRED PROVIDED	20' WIDE 20' WIDE	28 41	447,173	90 179	179	Modification Requested 7 / 1 / 7	16
2	102,800	598	18,338	216,975	8.45%	619	REQUIRED PROVIDED	20' WIDE 20' WIDE	21 31	418,762	84 168	168	Modification Requested 0	0
TOTALS	187,000	1,005	37,626	559,751	6.72%	1435		49 72	865,935	174 347	347	347	7 / 1 / 7	16

LANDSCAPE REQUIREMENTS DESCRIPTIONS

(1) ANY PARKING OR LOADING AREA VISIBLE FROM A STREET SHALL BE SEPARATED FROM THE STREET RIGHT-OF-WAY WITH A LANDSCAPE STRIP AT LEAST 20' WIDE, PLANTED WITH 1 TREE PER 30 LF OF STREET

(2) ANY PARKING OF LOADING AREA LANDSCAPE STRIP SHALL BE PLANTED WITH ONE (1) SHRUB FOR EVERY 20 LF OF STREET FRONTAGE.

(3) IN ADDITION TO STREET FRONTAGE TREES, ONE (1) TREE SHALL BE PROVIDED FOR EVERY 5,000 SF OF OPEN YARD AREA

(3B) OPEN YARD AREAS SHALL BE LANDSCAPED WITH TWO (2) SHRUBS PER 5,000 SF OF TOTAL LOT AREA

(4) A 20' WIDE BUFFER SCREEN SHALL BE PROVIDED BETWEEN RP-4 & AG ZONING, IN THE FORM OF (4A) 1 SHADE TREE PER 500 SF; 1 ORNAMENTAL TREE PER 750 SF; 1 EVERGREEN TREE PER 300; AND (4B) 1 SHRUB PER 200 SF

(4) A 20' WIDE BUFFER SCREEN SHALL BE PROVIDED BETWEEN RP-4 & CP-2 ZONING, IN THE FORM OF:

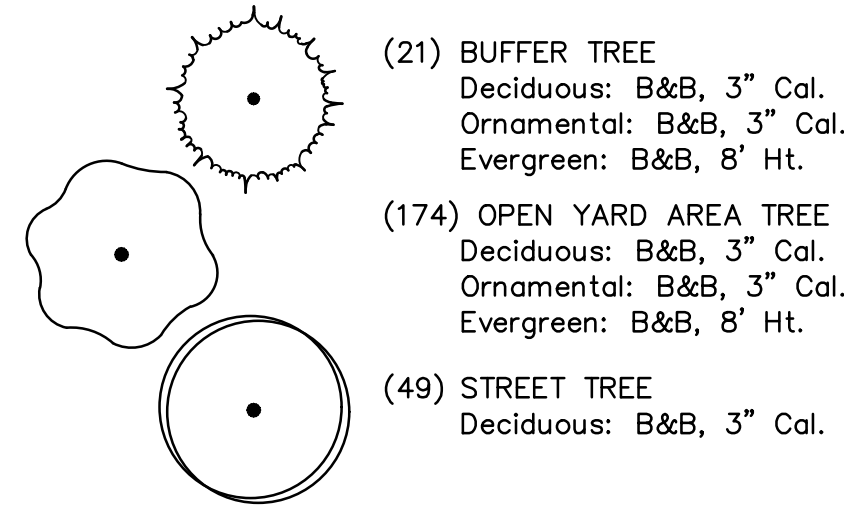
A SIX-FOOT HIGH MASONRY WALL OR OPAQUE VINYL FENCE; AND (4A) 1 SHADE TREE PER 750 SF; 1 ORNAMENTAL TREE PER 750 SF; 1 EVERGREEN TREE PER 750; AND (4B) 1 SHRUB PER 200 SF

NOTES:

- * Open areas not covered with other materials shall be covered with sod
- * All shrub requirements shall be met, per Article 8 of Lee's Summit UDO. Final development plans shall include final landscaping design
- * All ground-mounted mechanical units shall be totally screened from view in accordance with Article 8 of UDO

A MODIFICATION IS REQUESTED FOR LANDSCAPE BUFFER REQUIREMENTS AROUND SW & NW PROPERTY LINES DUE TO THE HIGH DENSITY OF EXISTING VEGETATION ON NEIGHBORING PROPERTY TO BE PRESERVED VIA PROPOSED LANDSCAPE EASEMENT.

CONCEPT PLANT SCHEDULE



BOTANICAL NAME		COMMON NAME	CONT.	CAL.	SIZE
DECIDUOUS TREES					
<i>Acer truncatum</i> 'Pacific Sunset' TM	Pacific Sunset Maple	B&B	3"		
<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	B&B	3"		
<i>Koelreuteria paniculata</i>	Golden Raintree				
<i>Quercus bicolor</i>	Swamp White Oak	B&B	3"		
<i>Taxodium distichum</i>	Bald Cypress	B&B	3"		
<i>Tilia americana</i> 'McKsentry'	American Sentry Linden	B&B	3"		
<i>Ulmus x 'Morton'</i>	Accolade Elm	B&B	3"		
<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	B&B	3"		
ORNAMENTAL TREES					
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	3"		
<i>Cercis canadensis</i>	Eastern Redbud	B&B	3"		
<i>Chionanthus virginicus</i>	White Fringetree	B&B	3"		
<i>Cornus kousa</i>	Kousa Dogwood	B&B	3"		
Evergreen Trees					
<i>Picea abies</i>	Norway Spruce	B&B			8' HT.
<i>Picea pungens</i>	Colorado Spruce	B&B			8' HT.
<i>Pinus strobus</i>	Eastern White Pine	B&B			8' HT.
Shrubs					
<i>Buddleia davidii</i> 'Blue Chip Jr.'	Lo & Behold Blue Chip Jr. Butterfly Bush	Cont.			18" SP.
<i>Deutzia</i> 'NCDX2'	Yuki Cherry Blossom	Cont.			18" SP.
<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	Cont.			36" HT.
<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	Cont.			36" HT.
<i>Physocarpus opulifolius</i> 'Little Devil'	Little Devil Ninebark	Cont.			18" HT.
<i>Rhus typhina</i> 'Laciniata'	Cutleaf Staghorn Sumac	Cont.			4'-5' HT.
<i>Spiraea japonica</i> 'Yan'	Double Play Gold Spiraea	Cont.			18" SP.
Ornamental Grasses					
<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	1gal			
<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1gal			
<i>Carex pensylvanica</i>	Pennsylvania Sedge	1gal			
<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	1gal			
Perennials					
<i>Allium angulosum</i> 'Summer Beauty'	Summer Beauty Allium	1gal			
<i>Amsonia</i> 'Blue Ice'	Blue Ice Amsonia	1gal			
<i>Coreopsis verticillata</i> 'Grandiflora'	Grandiflora Coreopsis	1gal			
<i>Echinacea</i> 'Pale Purple'	Pale Purple Coneflower	1gal			
<i>Perovskia</i> x 'Little Spire'	Little Spire Russian Sage	1gal			
<i>Salvia nemorosa</i> 'Caradonna'	Caradonna Perennial Salvia	1gal			



HIGH-INTENSITY BUFFER TO
INCLUDE 6' FENCE, CENTERED
WITHIN PLANTINGS AS PER
LEE'S SUMMIT UDO SEC. 8.900

DWG: F:\2019\0001-0500\019-0012\40-Design\AutoCAD\Preliminary Plans\Sheets\GNV\Preliminary Development Plan_24x36\A_PELV_01900012.dwg
DATE: May 06, 2019 3:34pm XREFS: USER: chormquist



RESIDENTIAL BUILDING (REAR)



RESIDENTIAL BUILDING (FRONT)



AERIAL PERSPECTIVE

PRELIMINARY ARCHITECTURAL ELEVATIONS

REZONING & PRELIMINARY DEVELOPMENT PLAN

ARIA

LEE'S SUMMIT, MO

2019

REV. NO.	DATE	REVISIONS DESCRIPTION
1	2019.04.02	Revised per Staff comments.
2	2019.05.06	Revised per Staff comments.

BY

CJH

REVISIONS

olsson

Olsson - Civil Engineering
1301 Burlington Street
North Kansas City, MO 64116

TEL 816.361.1177

www.olsson.com

drawn by: CJH
checked by: NDH
approved by: JFE
QA/QC by: JFE
project no.: 019-0012
drawing no.: A PELV 01900012
date: 2019.02.15

SHEET
A1.0

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DATE: May 06, 2019 3:34pm XREFS: USER: chlmquist



MAINTENANCE (REAR)



MAINTENANCE (FRONT)



GARAGE (REAR)



GARAGE (FRONT)



CLUBHOUSE (REAR)



CLUBHOUSE (REAR)



CLUBHOUSE (FRONT)

PRELIMINARY ARCHITECTURAL ELEVATIONS

REZONING & PRELIMINARY DEVELOPMENT PLAN

ARIA

LEE'S SUMMIT, MO

2019

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2019.04.02	Revised per Staff comments.	CJH
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olsson

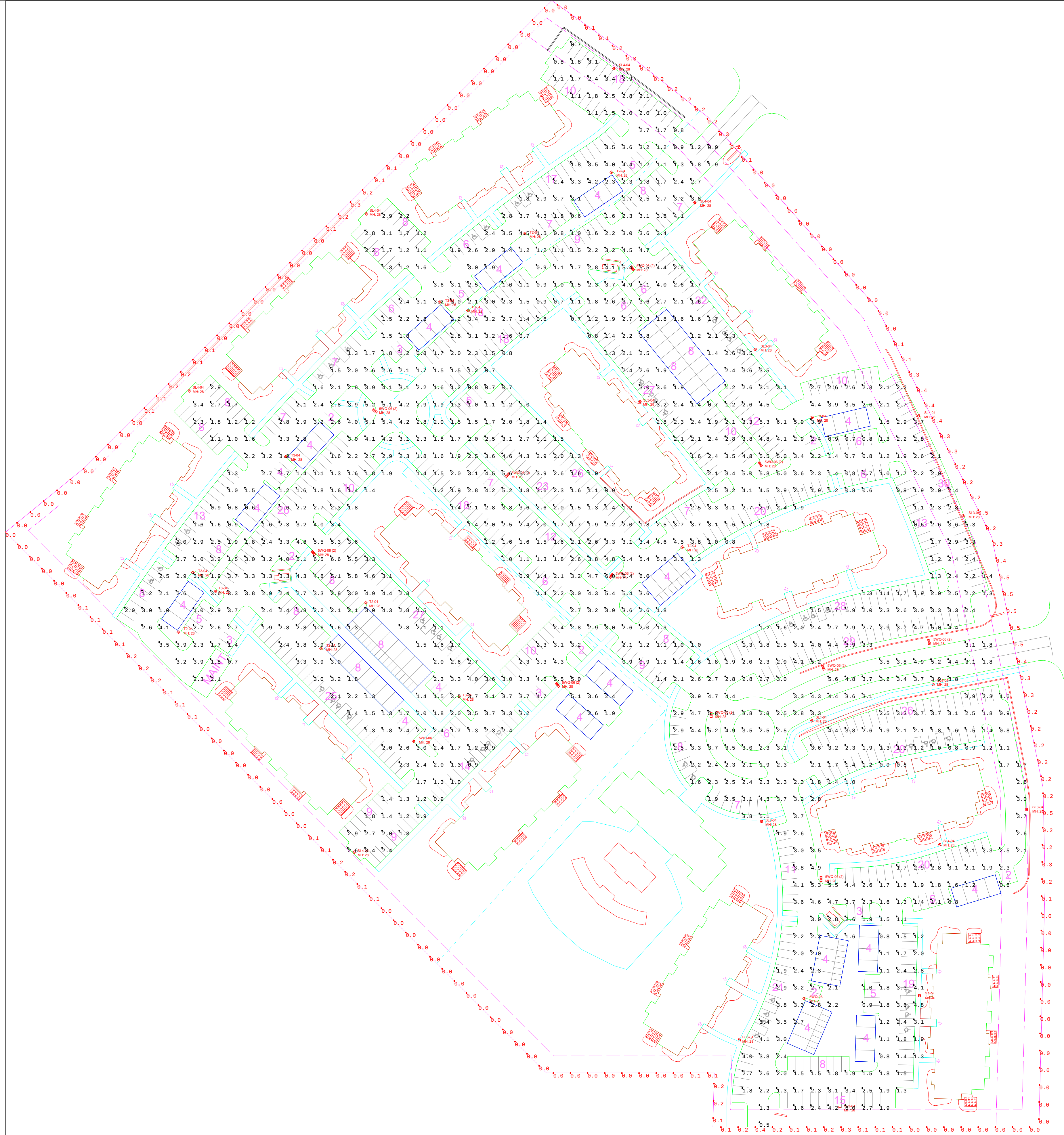
Olsson - Civil Engineering
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SHEET
A1.1

drawn by: CJH
checked by: NDH
approved by: JFE
QA/QC by: JFE
project no.: 019-0012
drawing no.: A_PELV2_0190012
date: 2019.02.15



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	
	2	SWQ-06	SINGLE	0.912	GLEON-AF-06-LED-E1-SWQ	Lum. Watts Total Watts
	11	SWQ-06 (2)	2 @ 180 DEGREES	0.912	GLEON-AF-06-LED-E1-SWQ	333 666
	8	SL3-04	SINGLE	0.912	GLEON-AF-04-LED-E1-SL3	333 7326
	9	SL4-04	SINGLE	0.912	GLEON-AF-04-LED-E1-SL4	225 1800
	7	T2-04	SINGLE	0.912	GLEON-AF-04-LED-E1-T2	225 2025
	6	T3-04	SINGLE	0.912	GLEON-AF-04-LED-E1-T3	225 1575
						225 1350

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
PROPERTY LINE	Illuminance	Fc	0.10	0.5	0.0	N.A. N.A.
SITE	Illuminance	Fc	2.53	6.6	0.5	5.06 13.20

MOUNTING HEIGHT NEXT TO EACH FIXTURE
CALCS EVERY 20' ON GROUND

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST.
ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND
EXISTING FIELD CONDITIONS, THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL
VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



Comments

Date

#

Revisions

Drawn By: BW

Checked By:

Date: 2/14/2019

Scale: None

Lighting Study

ARIA- LEE'S SUMMIT

NW LEE'S SUMMIT ROAD

NE DOUGLAS STREET

LEE'S SUMMIT MUNICIPAL AIRPORT

CITY OF LEE'S SUMMIT
VILLAGE OF UNITY VILLAGE

PROJECT LOCATION

NW COLBERN ROAD

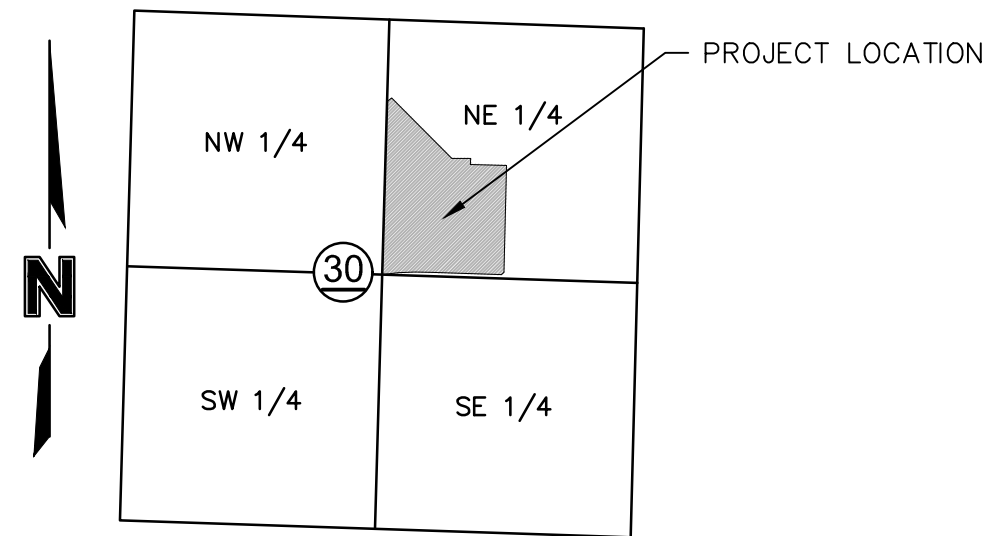
INTERSTATE 470

N

0' 250' 500' 1000'
SCALE IN FEET

LEGAL DESCRIPTION:

A tract of land in the Northeast Quarter of Section 30 Township 48 North, Range 31 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northwest corner of said Northeast Quarter Section; thence South 01°37'50" West, on the west line of said quarter section, 853.75 feet to a point on the southeast lot line of Lot 1, Lee's Summit Road Pump Station, a subdivision recorded in book L 51 at page 90 in the Jackson County Recorder of Deeds office, and the Point of Beginning of the tract of land to be herein described; thence North 50°41'15" East, on said southeast lot line, 59.22 feet; thence leaving said lot line, South 45°00'00" East, 889.18 feet; thence North 90°00'00" East, 195.68 feet; thence South 01°27'27" West, 62.94 feet; thence South 88°32'29" East, 375.74 feet to a point on the westerly right-of-way line of NE Douglas Street as established by plat 10006-02 of the Jackson County Recorder of Deeds office; thence following said westerly right-of-way line, South 01°27'31" West, 1,114.58 feet; thence South 46°40'17" West, 35.22 feet to the intersection of the northerly right-of-way line of NE Colburn Road as established by a survey provided by Hamilton Sterrett and Dooley, project number 99021; thence on said northerly right-of-way line North 88°05'56" West, 730.85 feet; thence Westerly along a curve to the left having an initial tangent bearing of North 87°30'44" West with a radius of 2,904.93 feet, a central angle of 10°06'02" and an arc distance of 512.10 feet to the Southwest corner of the said Northeast Quarter; thence North 31°37'22" East, on the west line of the northeast quarter of said section 30, a distance of 1,328.05 feet to the northwest corner of the southwest quarter of the said northeast quarter; thence continuing on the said west line, North 01°37'50" East, 473.96 feet to the Point of Beginning. Containing 1,717.197 square feet or 39.42 acres, more or less.



LOCATION MAP

SHEET INDEX	
NUMBER	TITLE
C1.0	TITLE SHEET
C2.0	REZONING PLAN

NOTES:

1. PLAN LAYOUT & DESIGN SHOWN IS FOR CONCEPTUAL USE ONLY. PRELIMINARY AND FINAL DEVELOPMENT PLANS SHALL BE EXECUTED AT A FUTURE DATE.
2. EXISTING ZONING: AG
3. PROPOSED ZONING: CP-2
4. LAND AREA: 39.42 AC. (1,717,197 SF)

					
SHEET C1.0					
drawn by: _____ checked by: _____ approved by: _____ QA/QC by: _____ project no.: 019-00012 drawing no.: C TTL 0190012 date: 2019.02.15		C.J.H. NDH JFE JFE 019-00012 C TTL 0190012			
TITLE SHEET		2019			
		LEE'S SUMMIT, MO			
SUMMIT VILLAGE NORTH REZONING WITH CONCEPTUAL PLAN		REV. NO.	DATE	REVISIONS DESCRIPTION	BY
		1	2019.04.02	Revised per Staff comments.	C.J.H.
		1	2019.05.06	Revised per Staff comments.	
		REVISIONS			
Olsson - Civil Engineering 1301 Burlington Street North Kansas City, MO 64116 TEL 816.361.1177 www.olsson.com					

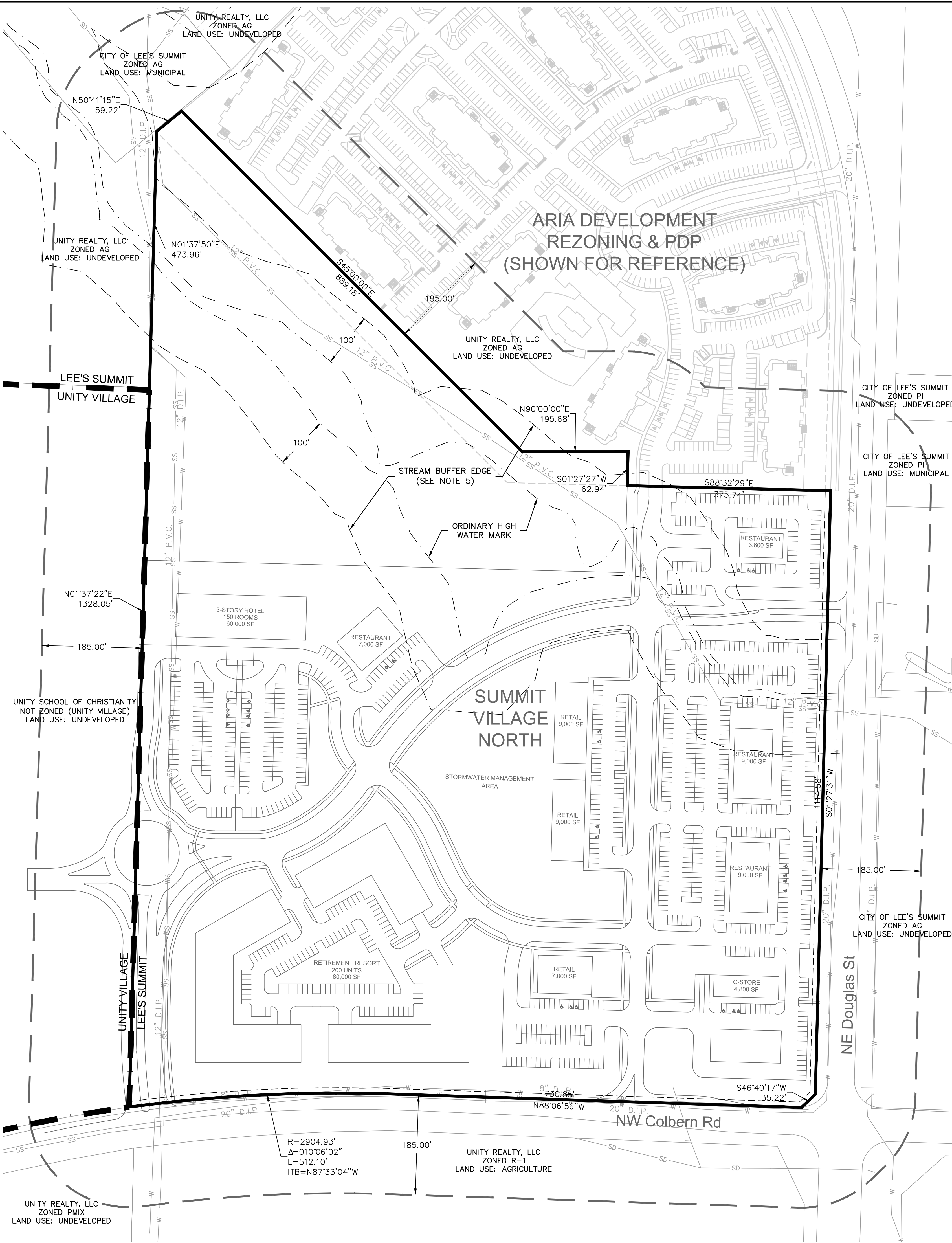
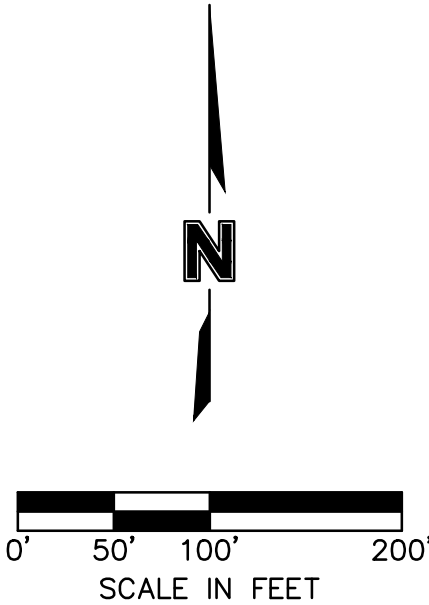
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DATE: May 06, 2019 4:16pm
XREFS: 00_C_XBASE 01_C_XBASE 01_C_PBASE 01_C_PUTIL
USER: chalmquist

LEGAL DESCRIPTION FOR REZONING

A tract of land in the Northeast Quarter of Section 30 Township 48 North, Range 31 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northwest corner of said Northeast Quarter Section; thence South 01°37'50" West, on the west line of said quarter section, 853.75 feet to a point on the southeast lot line of Lot 1, Lee's Summit Road Pump Station, a subdivision recorded in book 1 51 at page 30 in the Jackson County Recorder of Deeds office, and the Point of Beginning of the tract of land to be herein described; thence North 50°41'15" East, on said southeast lot line, 59.22 feet; thence leaving said lot line, South 45°00'00" East, 889.18 feet; thence North 90°00'00" East, 195.68 feet; thence South 01°27'27" West, 62.94 feet; thence South 88°32'29" East, 375.74 feet to a point on the westerly right-of-way line of NE Douglas Street as established by Document number 2015E0017982 in the Jackson County Recorder of Deeds office; thence on said westerly right-of-way line, South 01°27'31" West, 1,114.58 feet; thence South 46°40'17" West, 35.22 feet to the intersection of the northerly right-of-way line of NE Colburn Road as established by a survey provided by Hamilton Sterrett and Dooley, project number 99021; thence on said northerly right-of-way line North 88°06'56" West, 730.85 feet; thence Westerly along a curve to the left having an initial tangent bearing of North 87°33'04" West with a radius of 2,904.93 feet, a central angle of 10°06'02" and an arc distance of 512.10 feet to the Southwest corner of the said Northeast Quarter; thence North 01°37'22" East, on the west line of the northeast quarter of said section 30, a distance of 1,328.05 feet to the northwest corner of the southwest quarter of the said northeast quarter; thence continuing on the said west line, North 01°37'50" East, 473.96 feet to the Point of Beginning. Containing 1,717,197 square feet or 39.42 acres, more or less.

NOTES:

1. PLAN LAYOUT & DESIGN SHOWN IS FOR CONCEPTUAL USE ONLY. PRELIMINARY AND FINAL DEVELOPMENT PLANS SHALL BE EXECUTED AT A FUTURE DATE.
2. EXISTING ZONING: AG
3. PROPOSED ZONING: CP-2
4. LAND AREA: 39.42 AC. (1,717,197 SF)
5. STREAM BUFFER IS SHOWN AT CURRENT EXTENTS FOR REFERENCE ONLY AND DOES NOT ACCOUNT FOR FUTURE WAVERS OR MODIFICATIONS. STREAM BUFFER SHALL BE DELINEATED AT TIME OF PRELIMINARY AND FINAL DEVELOPMENT PLANS.



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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
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1	2019.05.06	Revised per Staff comments.	

REZONING PLAN

SUMMIT VILLAGE NORTH
REZONING WITH CONCEPTUAL PLAN

LEE'S SUMMIT, MO

drawn by: CJH
checked by: NDH
approved by: JFE
QA/QC by: JFE
project no.: 019-0012
drawing no.: C-SIT_0190012
date: 2019.02.15

SHEET
C2.0