



18048.19003

CONTRACT DATE: 05.20.19  
 BUILDING TYPE: TE40M  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:

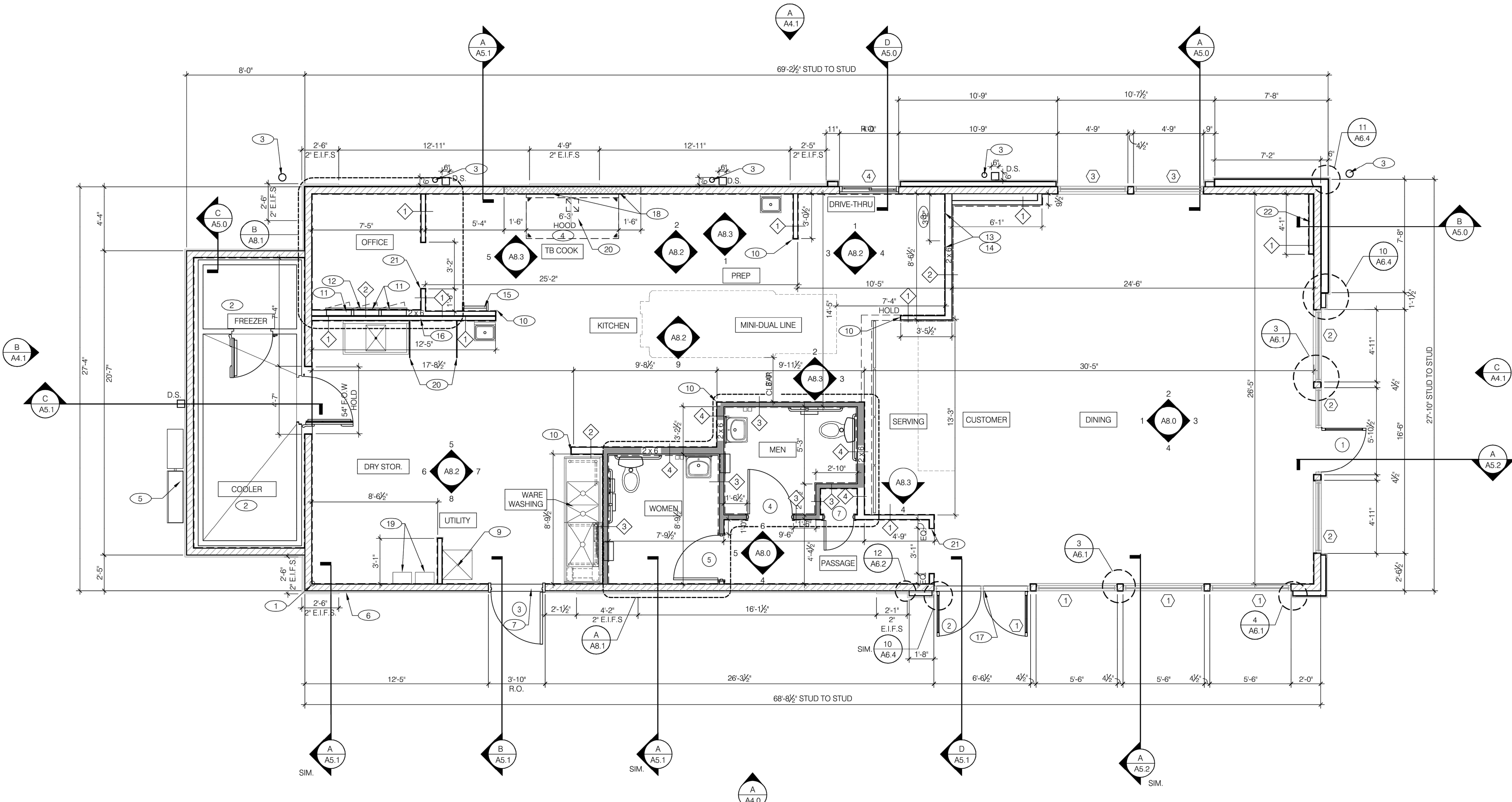
TACO BELL

851 NE WOODS CHAPEL RD  
 LEE'S SUMMIT, MO



**FLOOR PLAN**

**A1.0**



**FLOOR PLAN** 1/4" = 1'-0" **A**

WALL LEGEND		D
	TYPICAL EXTERIOR WALL: 2x6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE 2 LAYERS OF GRADE 'D' 60 lb BUILDING PAPER.	
	TYPICAL INTERIOR WALL: WD STUDS AT 16" O.C. AS INDICATED	
	1 2x4 WOOD STUDS	
	2 2x6 WOOD STUDS	
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.	
	3 2x4 WOOD STUDS	
	4 2x6 WOOD STUDS	
	HOOD WALL: EXTERIOR WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. EXTEND MIN. 18" BEYOND END OF HOOD. REFER TO DETAIL 2M3.0 FOR EXTENT OF S.S. PANEL.	
	DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION.	

**WALL SUBSTRATES:**  
 - DINING ROOM:  
 1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HEIGHT U.O.N.  
 - KITCHEN WALLS AND DINING ROOM CLOSET:  
 1/2" CEMENT WALLBOARD FROM T.O. SLAB TO 12" AFF. AT 12" AFF. USE 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDED SHEAR WALL PLYWOOD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE.  
 - RESTROOM WALLS:  
 5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED.  
 - ALL OTHER FRAME WALL CONDITIONS:  
 1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F. WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.

FLOOR PLAN NOTES		C
<b>DIMENSIONS:</b> A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS. B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WANSICOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.		
<b>WINDOWS / DOORS:</b> A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE. B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.		
<b>FINISH SUBSTRATES:</b> A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N. B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS. C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.		
<b>DECOR:</b> A. SEE A2.0 FOR SEATING PLAN AND DETAILS. B. SEE A7.0 FOR FLOOR FINISHES. C. SEE A8.0 - A8.3 FOR WALL FINISHES. D. SEE A7.1 FOR CEILING FINISHES.		
<b>GENERAL:</b> A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE. C. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER 9/A6.2. D. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED METHOD.		

1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS).	15	ROOF LADDER SEE 2/A6.0
2	NO FRP BEHIND (W-059) WALK-IN COOLER/FREEZER.	16	ADD SECOND 2X4 WALL ON KITCHEN SIDE.
3	PIPE BOLLARD. SEE DETAIL 7/A10.0.	17	REMOVABLE ASTRAGAL FROM INSIDE ONLY.
4	HOOD WALL. SEE WALL LEGEND.	18	METAL STUDS REQUIRED PER LOCAL CODES.
5	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.	19	INDICATES TANKLESS WATER HEATER LOCATION.
6	CO2 FILL BOX LOCATION.	20	SPLASH GUARD. SEE DETAIL.
7	METAL THRESHOLD.	21	CASED OPENING, REFER TO DETAIL 3/A6.4.
8	KEEP CLEAR FOR UTILITIES & SYRUP LINES. SEE DETAIL 14 & 19/A6.4 FOR STUD LAYOUT REQUIREMENTS.	22	FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS AT 16" O.C.
9	MOP SINK. REFER TO SHEET A2.0 & A2.1.		
10	S.S. CORNER GUARD / WALL CAP (TM-2). TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 13/A6.3.		
11	ELECT. PANELS RECESSED IN 2x6 WALL.		
12	LIGHTING CONTROL PANEL SURFACE MOUNTED. REFER TO ELECT. DWGS.		
13	SYRUP LINE CHASE (ABOVE). SEE DETAIL 9/A6.4.		
14	14x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 6/A6.4.		

**KEY NOTES** **B**

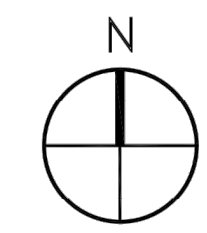
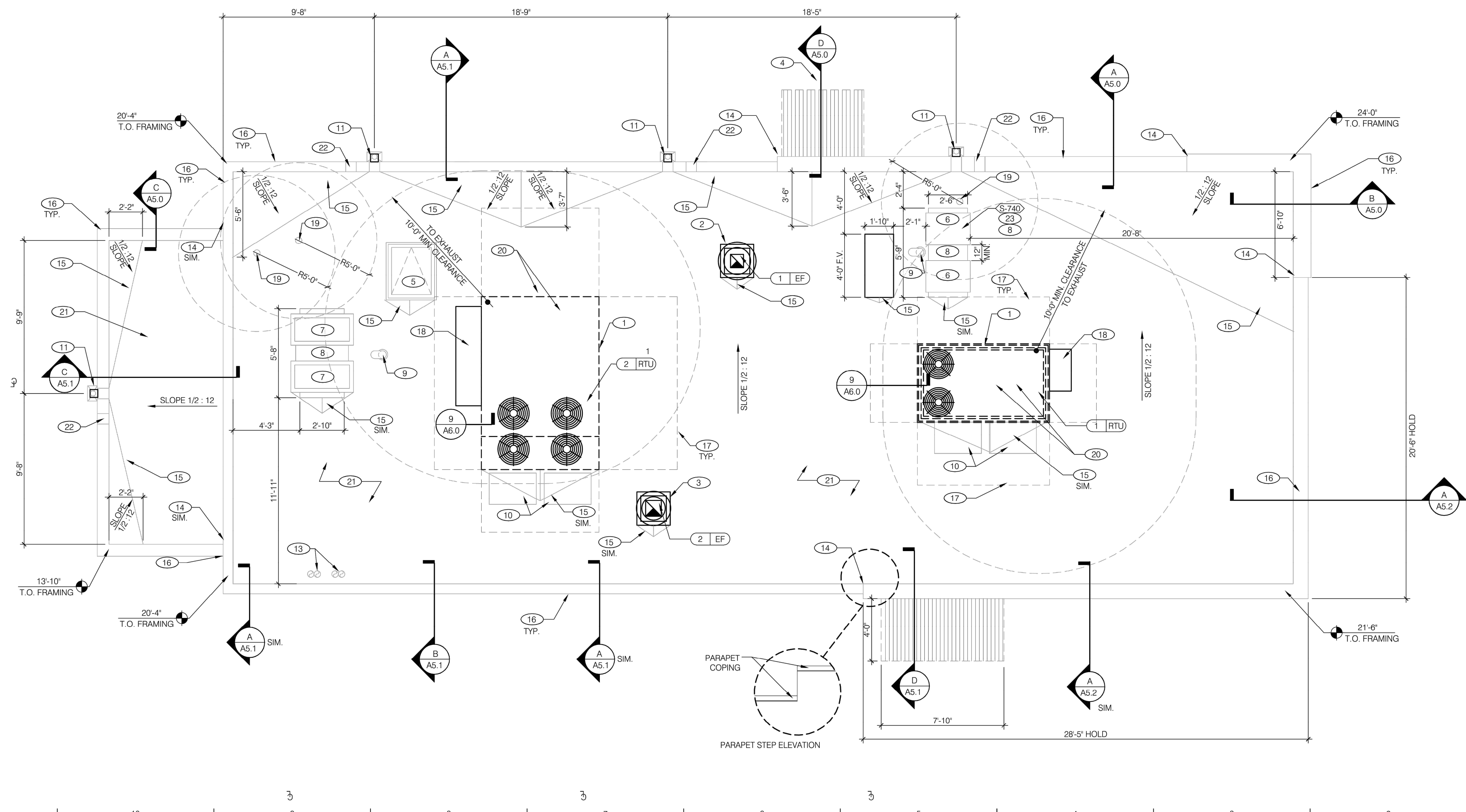
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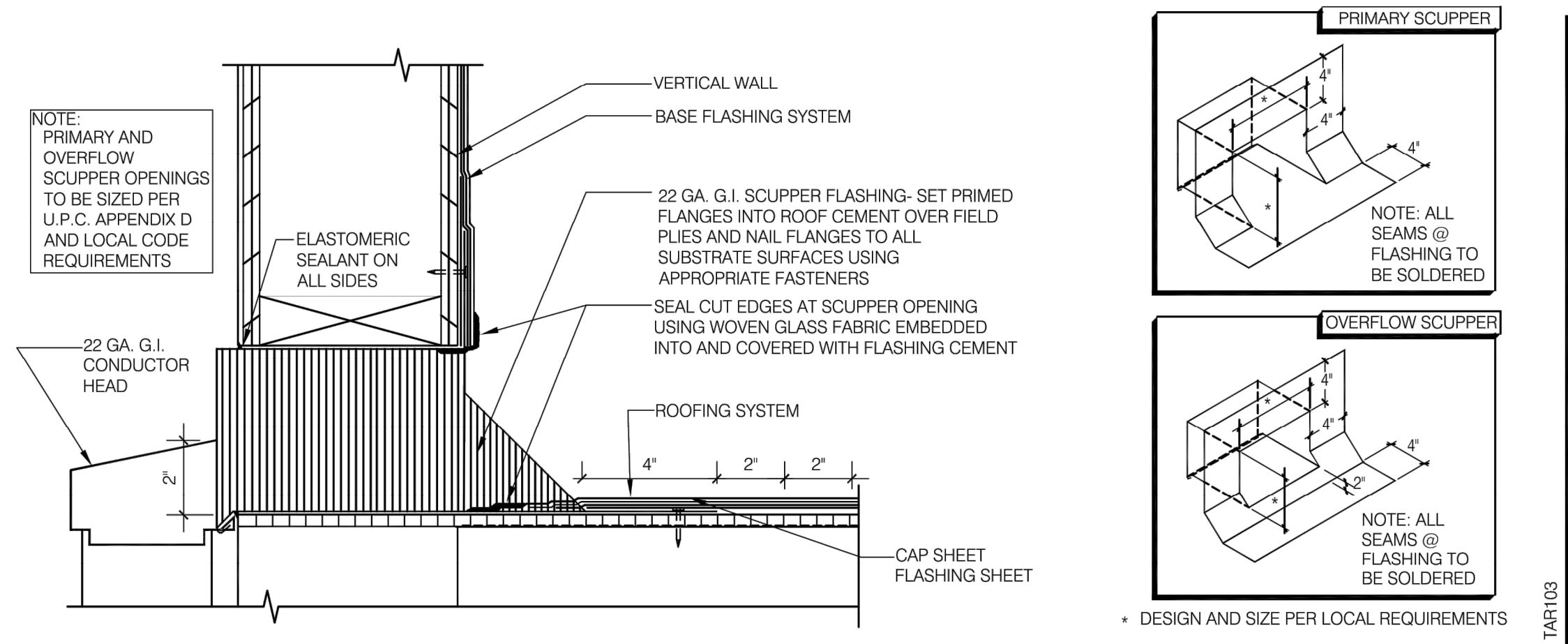
**TACO BELL**  
 851 NE WOODS CHAPEL RD  
 LEE'S SUMMIT, MO



**ROOF PLAN**  
**A3.0**



**ROOF PLAN** 1/4"=1'-0" **A**



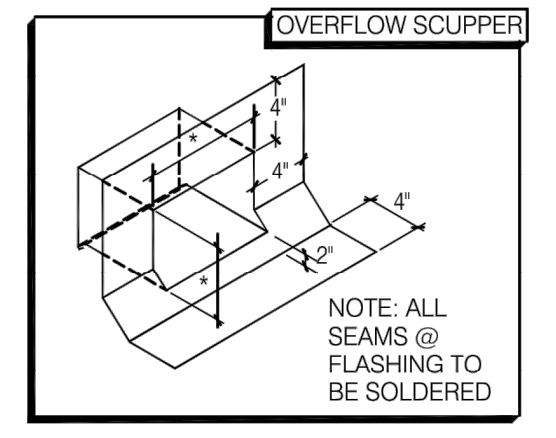
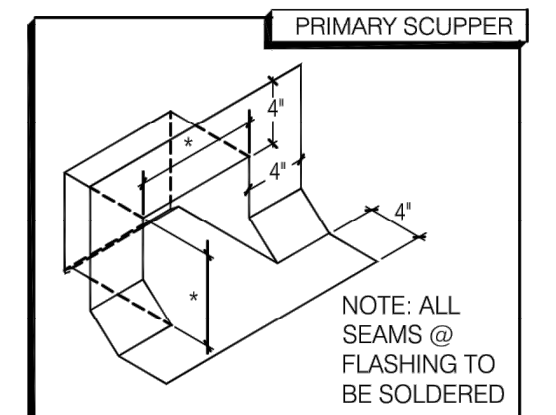
**ROOF PLAN NOTES** **C**

**WATERPROOFING:**  
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER.  
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED.  
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS.  
 D. SEE SPECIFICATIONS FOR SEALANT SPECS.  
 E. ALL SHEET MTL FLASHING SHALL BE 22 GA MIN.

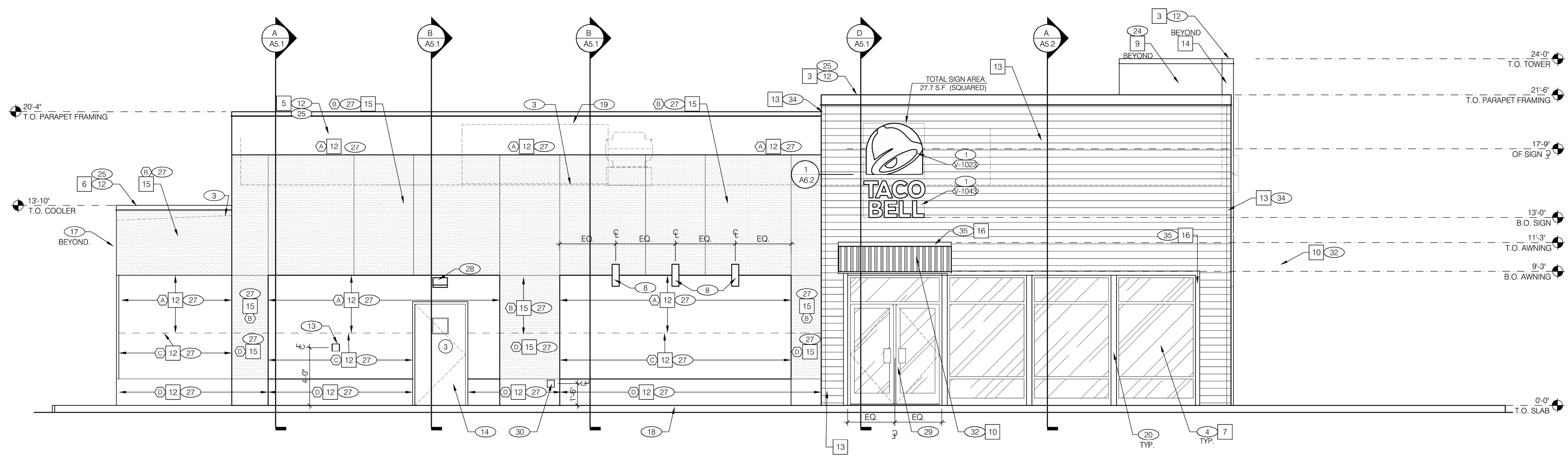
**MISCELLANEOUS:**  
 A. ROOF PENETRATIONS CLOSER THAN 12' FROM ANOTHER WILL NOT BE ALLOWED.  
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.  
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

- KEY NOTES** **B**
- 1 ROOFTOP UNIT. INSTALL PLUMB AND LEVEL.
  - 2 KITCHEN HOOD EXHAUST FAN. SEE SHEETS M3.0 & DETAIL 14/A6.0.
  - 3 RESTROOM EXHAUST FAN. SEE 13/A6.0.
  - 4 CANOPY INSTALL PER MFR RECOMMENDATIONS.
  - 5 ROOF HATCH: SEE 4/A6.0.
  - 6 ICE MACHINE CONDENSERS.
  - 7 WALK-IN COOLER / FREEZER CONDENSERS. SEE SCOPE OF WORK SHEET.
  - 8 EQUIPMENT PLATFORM. SEE DETAIL 10/A6.0.
  - 9 PIPE HOOD FOR UTILITIES. SEE DETAIL 6/A6.0.
  - 10 24x36 WALK MATS. SEE ROOF SPECS.
  - 11 SCUPPER AND DOWNSPOUT. SEE DETAIL D/A3.0.
  - 12 NOT USED
  - 13 WATER HEATER INTAKE AND FLUE VENT TERMINATION. RE:MEP
  - 14 CHANGE IN PARAPET ELEVATION SEE DETAIL 11/A6.2.
  - 15 ROOF CRICKET. SEE DETAIL 11/A6.0.
  - 16 METAL PARAPET CAP. SEE DETAIL 1 & 3/A6.0
  - 17 MAINTAIN MFR'S ROOFTOP UNIT MAINTENANCE CLEARANCE.
  - 18 OUTSIDE AIR INTAKE FOR ROOFTOP UNIT. MAINTAIN MIN 10'-0" SEPARATION FROM PLUMBING VENTS, FLUES AND BUILDING EXHAUST.
  - 19 WASTE VENT THROUGH ROOF. THE TOP OF WASTE VENTS SHALL BE 12" HIGHER THAN THE CLOSEST PARAPET CAP UNLESS OTHERWISE ALLOWED BY LOCAL JURISDICTION. SEE 12/A6.0 FOR FLASHING ASSEMBLY.
  - 20 POWER / GAS / CONDENSATE ENTRY UNDER HVAC UNIT (PER HVAC MFR. SPECS.) REFER TO MECH. AND PLUMB DWGS. UTILITY ACCESS FROM WITHIN CURB - NO ROOF PENETRATIONS. DO NOT RUN ON ROOF SURFACE. SEE 13/P6.0.
  - 21 "DURO-LAST" SINGLE PLY ROOF MEMBRANE OVER MINIMUM R-20 RIGID INSULATION BOARD OVER 5/8" APA RATED EXTERIOR GRADE PLYWOOD OVER TRUSSES. INSTALL PER MANUFACTURERS SPECIFICATIONS.
  - 22 OVERFLOW SCUPPER. SEE DETAIL F/A3.0.
  - 23 DUAL REMOTE CONDENSER. REFER ELECTRICAL AND PLUMBING.

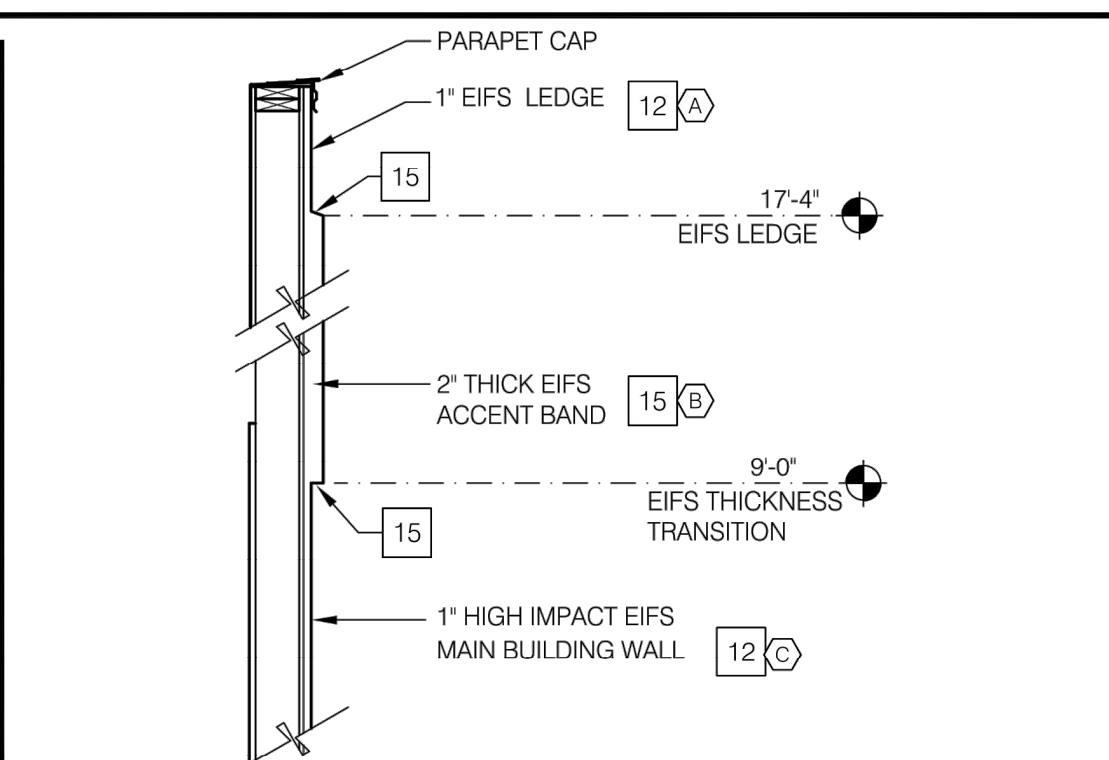
NOTE: PRIMARY AND OVERFLOW SCUPPER OPENINGS TO BE SIZED PER U.P.C. APPENDIX D AND LOCAL CODE REQUIREMENTS



\* DESIGN AND SIZE PER LOCAL REQUIREMENTS



**SOUTH SIDE ELEVATION** 1/4"=1'-0" **A**



**MISCELLANEOUS**  
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

**SEALERS (REFER TO SPECS):**  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

**"CRITICAL" DIMENSIONS:**  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

**NOTE:** NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

(A) BASE THICKNESS - 1" THICK E.I.F.S.  
 (B) BASE THICKNESS - 2" THICK E.I.F.S.  
 (C) BASE THICKNESS - 1" THICK E.I.F.S. WITH HIGH IMPACT MESH (ONLY WHERE NOTED). SEE DETAIL 2/A6.2.  
 (D) BASE THICKNESS - 2" THICK E.I.F.S. WITH HIGH IMPACT MESH (ONLY WHERE NOTED). SEE DETAIL 2/A6.2.

**E.I.F.S. THICKNESS** N.T.S. **B**

NOTE: SIGNAGE UNDER SEPARATE PERMIT

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-1023	3	TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
V-1043	3	TB 14" CHANNEL LETTER WHITE	X

**NOT USED** N.T.S. **I**

**EIFS THICKNESS COLOR TRANSITION** N.T.S. **G**

**GENERAL NOTES** **F**

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	NOT USED					SHERWIN WILLIAMS; BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL)
2	NOT USED					
3	PARAPET CAP (TOWER)	DUROLAST (25)	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
4	NOT USED					
5	PARAPET CAP (SIDES)	DUROLAST (25)	REGAL WHITE (FACTORY FINISH)			
6	PARAPET CAP (COOLER)	DUROLAST (25)	GALVALUME PLUS (FACTORY FINISH)			
7	STOREFRONT WINDOWS	TBD	CLEAR ANODIZED			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
10	AWNING, COOLER WALL	BERRIDGE	S-DECK PREWEATHERED GALVALUME			
11	NOT USED					NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7067 "CITYSCAPE"			
13	FIBER CEMENT PANELS	NICHIHA - ROUGH SAWN	"SMOKE"			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
14	CERAMIC TILE	LAMINAM BY CROSSVILLE	MORO L1462/L4021			
15	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 "PACER WHITE"			
16	FIBER CEMENT BOARD TRIM	JAMES HARDIE	HARDIETRIM - 5/4" X 3 1/2" SMOOTH			

SYMBOL	DESCRIPTION
1	NOT USED
2	DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
3	DASHED LINE INDICATES ROOF BEYOND.
4	STOREFRONT, TYPICAL.
5	NOT USED.
6	SWITCH GEAR. PAINT TO MATCH WALL.
7	NOT USED.
8	EXTERIOR LIGHT FIXTURE. RE:ELEC
9	ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
10	NOT USED
11	TOWER WITH CERAMIC TILE FINISH.
12	PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
13	CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
14	PAINT DOOR TO MATCH ADJACENT WALL FINISH
15	GAS SERVICE.
16	WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
17	SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL UNLESS SPECIFIED OTHERWISE.
18	CONCRETE CURB.
19	RTU BEYOND.
20	BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
21	OVERFLOW SCUPPER
22	NOT USED.
23	BOLLARD - SEE CIVIL.
24	DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
25	IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
26	NOT USED.
27	EIFS (TYP)
28	WALL PACK LIGHT FIXTURE.
29	STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
30	HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
31	NOT USED.
32	METAL AWNING - BY OTHERS. INSTALLATION AND BLOCKING BY GC.
33	4" Ø BOLLARDS AT ALL DOWNSPOUTS.
34	PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
35	3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.

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**EXTERIOR FINISH SCHEDULE** **H**

**KEY NOTES** **D**

**NOT USED** **E**

**SIGN SCHEDULE** N.T.S. **C**



GLMV ARCHITECTURE  
 MISSOURI STATE OF  
 ARCHITECT  
 #00364807  
 MARK D. McCLUGGAGE  
 ARCHITECT  
 LIC. NO.A-7139

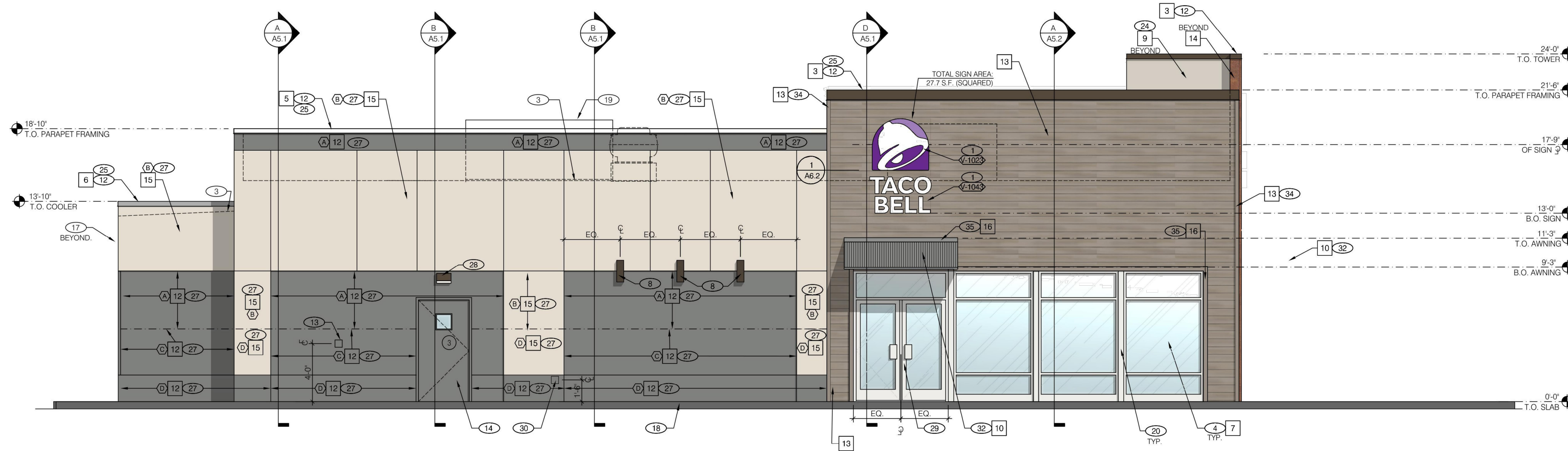
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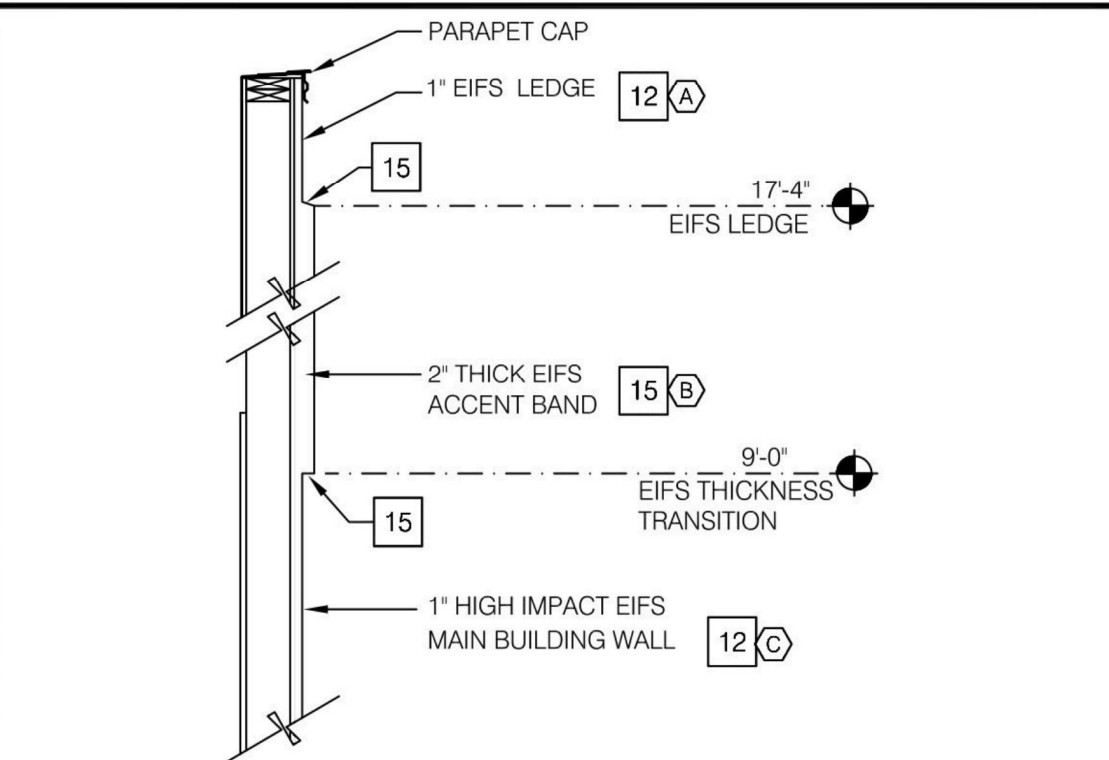
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 851 NE WOODS CHAPEL RD  
 LEE'S SUMMIT, MO



**EXTERIOR ELEVATIONS**  
**A4.0**



**WEST SIDE ELEVATION** 1/4"=1'-0" **A**



**EIFS THICKNESS COLOR TRANSITION** N.T.S. **G**

**MISCELLANEOUS**  
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**E.I.F.S. THICKNESS** N.T.S. **B**

NOTE: SIGNAGE UNDER SEPARATE PERMIT

QTY	ITEM DESCRIPTION	ELEC
3	TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
3	TB 14" CHANNEL LETTER WHITE	X

**SIGN SCHEDULE** N.T.S. **C**

**NOT USED** N.T.S. **I**

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
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15	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 'PACER WHITE'			
16	FIBER CEMENT BOARD TRIM	JAMES HARDIE	HARDIETRIM - 5/4" X 3 1/2" SMOOTH			

**EXTERIOR FINISH SCHEDULE** **H**

**NOT USED** **E**

- 1 BUILDING SIGN, BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET S5.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 NOT USED.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 NOT USED.
- 8 EXTERIOR LIGHT FIXTURE. RE-ELEC
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 NOT USED
- 11 TOWER WITH CERAMIC TILE FINISH.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 PAINT DOOR TO MATCH ADJACENT WALL FINISH
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL UNLESS SPECIFIED OTHERWISE.
- 18 CONCRETE CURB.
- 19 RTU BEYOND.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
- 21 OVERFLOW SCUPPER
- 22 NOT USED.
- 23 BOLLARD - SEE CIVIL.
- 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 NOT USED.
- 27 EIFS (TYP)
- 28 WALL PACK LIGHT FIXTURE.
- 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
- 31 NOT USED.
- 32 METAL AWNING - BY OTHERS, INSTALLATION AND BLOCKING BY GC.
- 33 4" Ø BOLLARDS AT ALL DOWNSPOUTS.
- 34 PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
- 35 3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.

**KEY NOTES** **D**

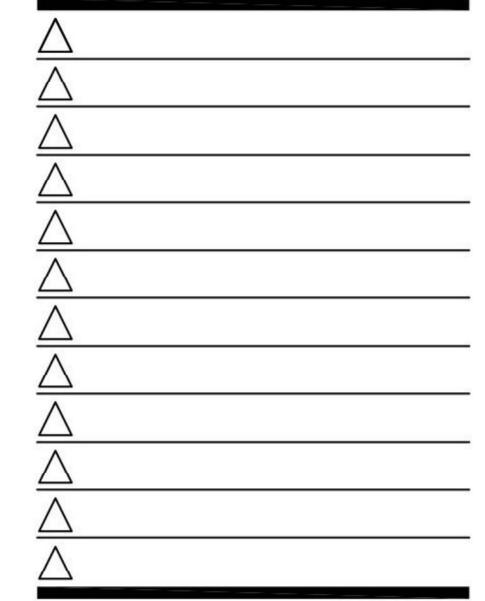


**GLMV ARCHITECTURE**  
 1525 E. Douglas, Wichita, KS 67211  
 Tel: (316) 265-9367  
 www.glmv.com

GLMV ARCHITECTURE  
 MISSOURI STATE OF  
 ARCHITECT  
 #F00364807

MARK D. McCLUGGAGE  
 ARCHITECT  
 LIC. NO.A-7139

18048.19002



CONTRACT DATE: 03.11.19  
 BUILDING TYPE: TE40M  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:

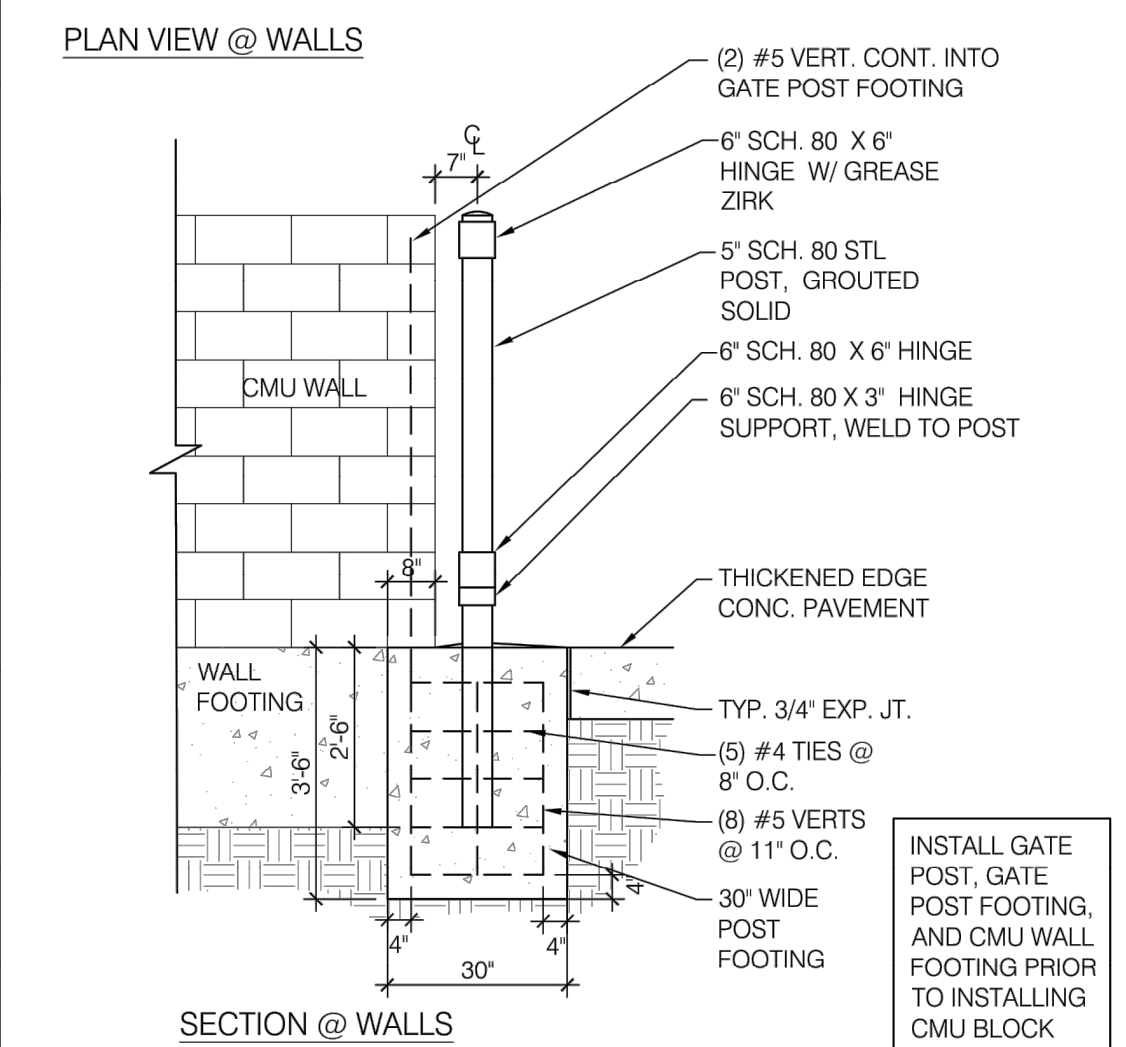
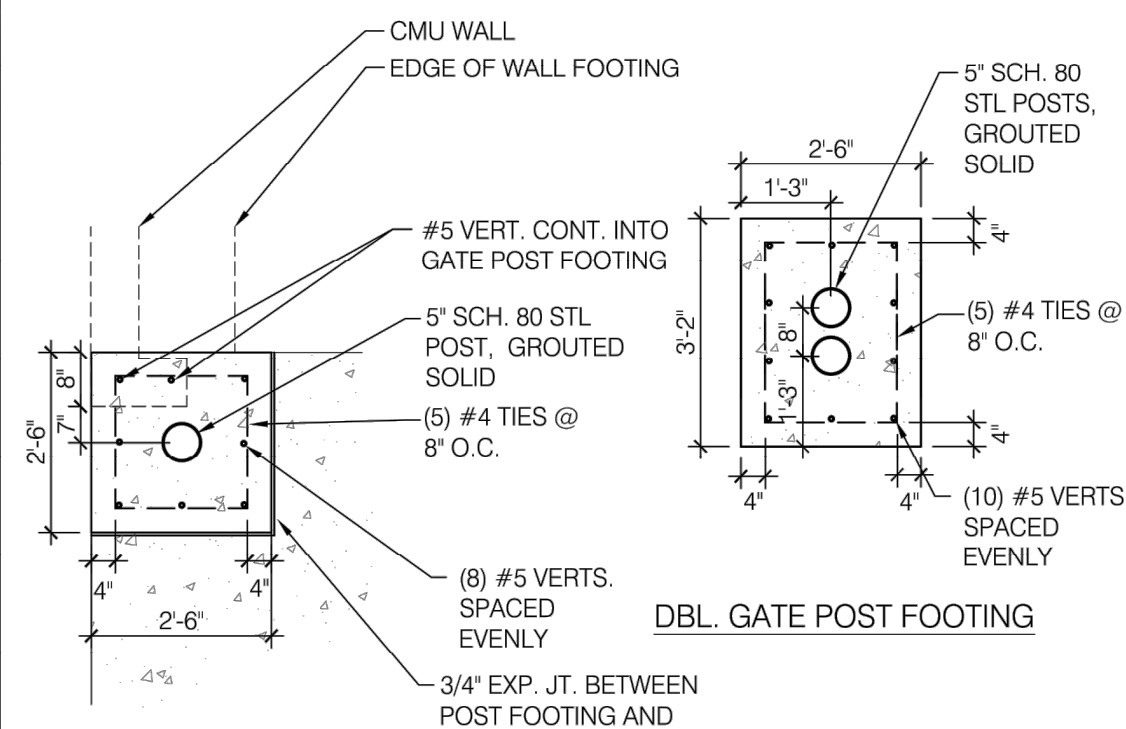
**TACO BELL**  
 851 NE WOODS CHAPEL RD  
 LEE'S SUMMIT, MO



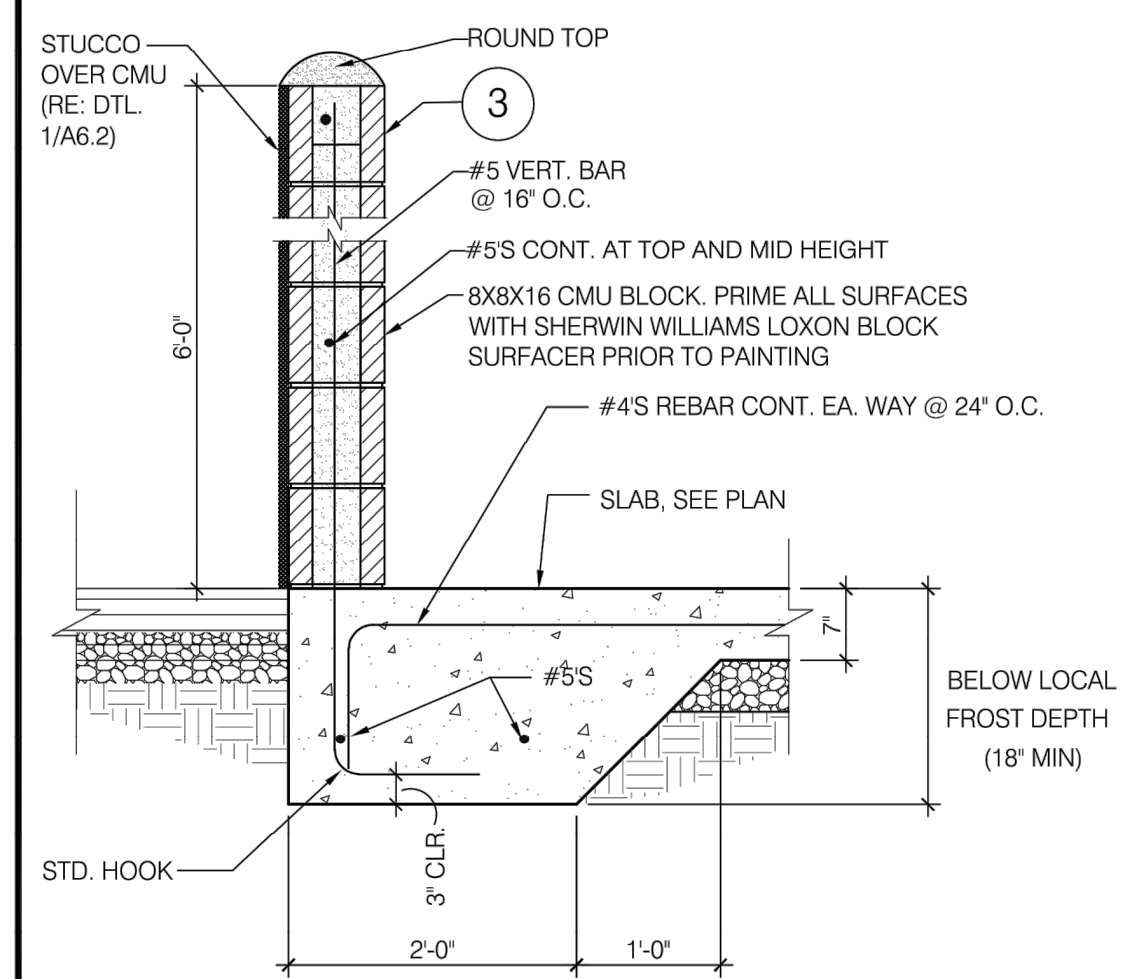
**EXTERIOR ELEVATIONS**

**A4.0**





**GATE POST FOOTINGS** N.T.S. **F**



**CMU WALL SECTION** N.T.S. **D**

**GATE HARDWARE:** ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.

**GATE STOP:** MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

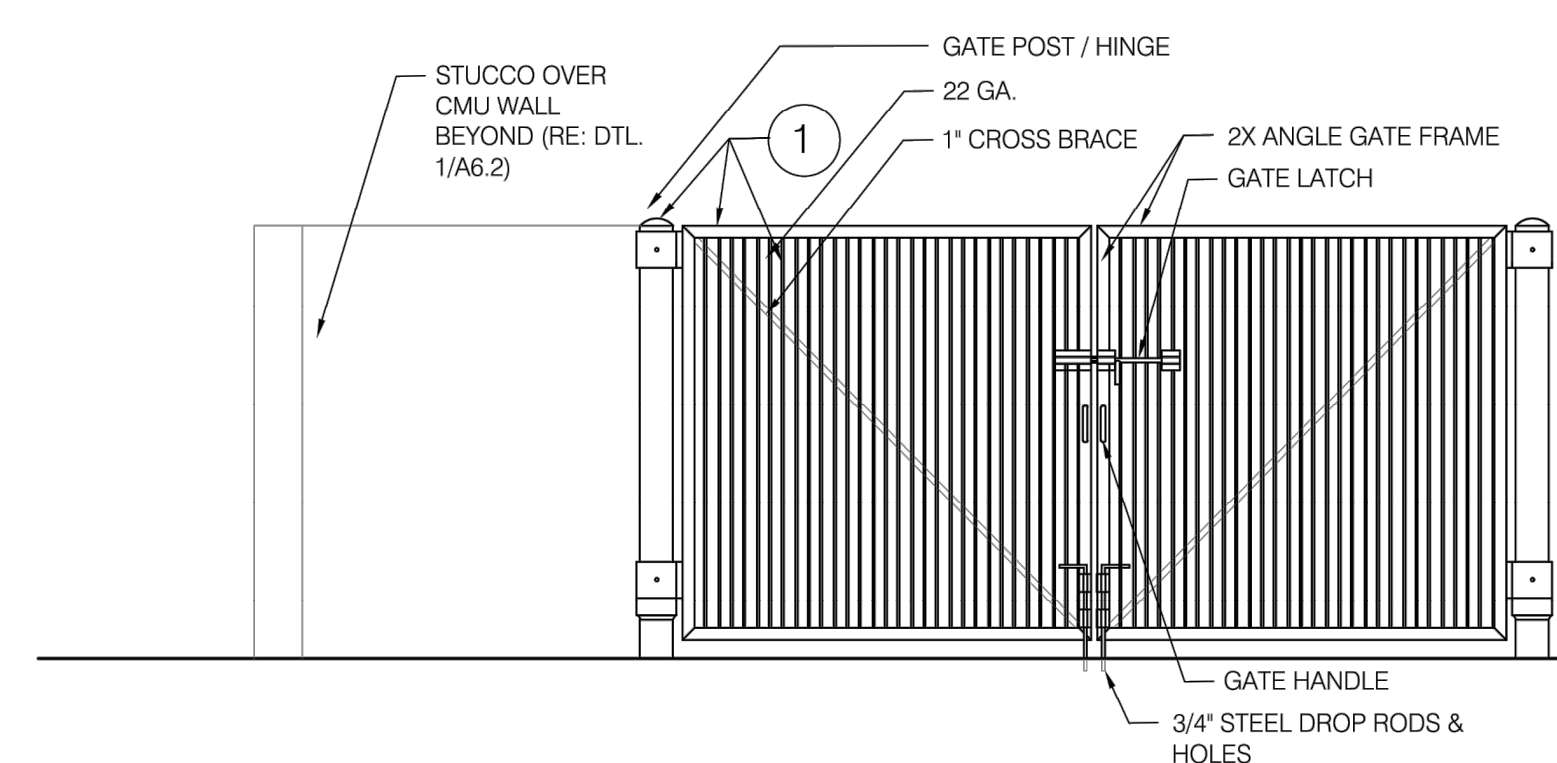
**GATE NOTES:** (4) EQUAL WIDE X 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

**ENCLOSURE NOTES** N.T.S. **I**

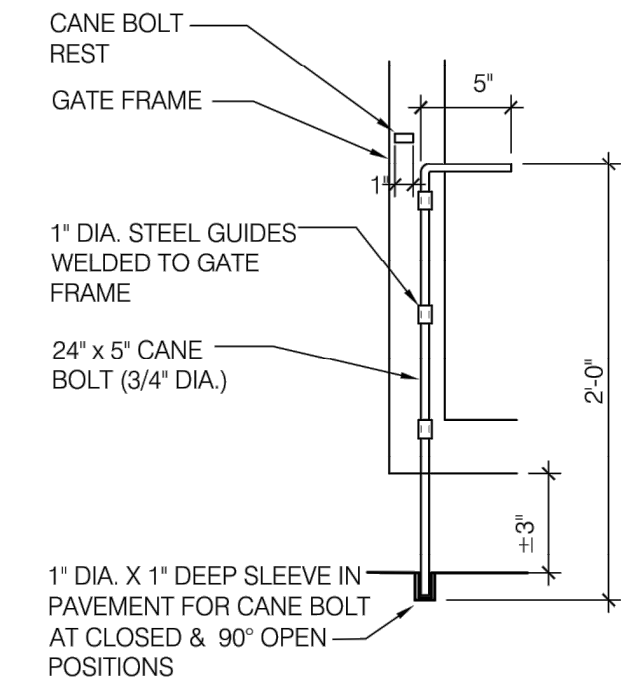
SYMBOL	AREA	MANUFACTURER	COLOR
①	GATE COLOR	SHERWIN WILLIAMS	IRON ORE SW 7069
②	PIPE BOLLARDS	SHERWIN WILLIAMS	SAFETY YELLOW
③	CMU/STUCCO	SHERWIN WILLIAMS	PACER WHITE SW 6098

VERIFY ALL COLORS WITH ARCHITECT PRIOR TO CONSTRUCTION

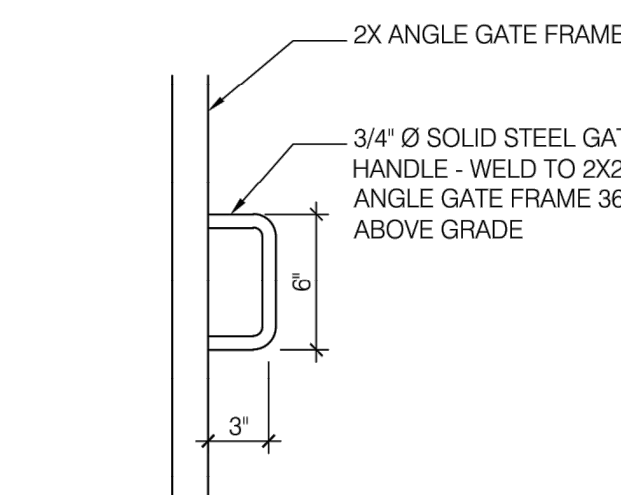
**SCHEDULE** N.T.S. **G**



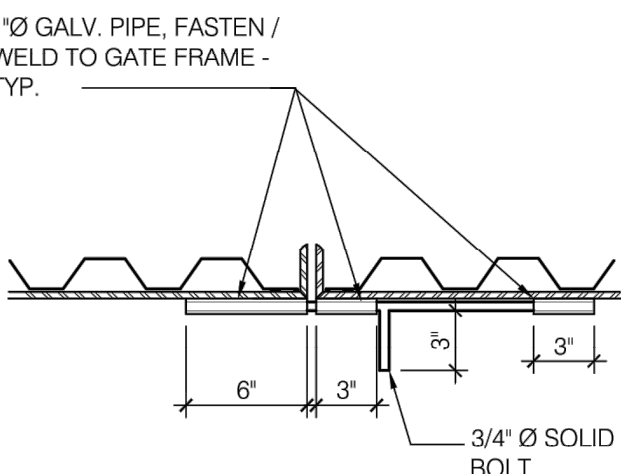
**FRONT ELEVATION** N.T.S. **E**



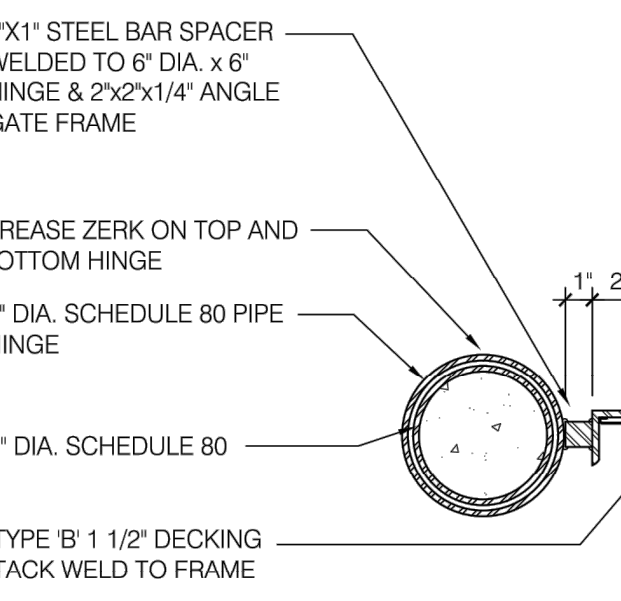
**5 CANE BOLT (1 PER GATE)**



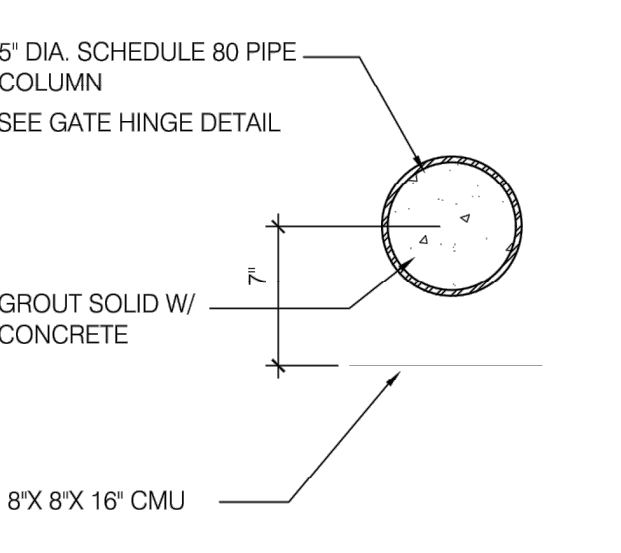
**4 GATE HANDLE**



**3 GATE LATCH**

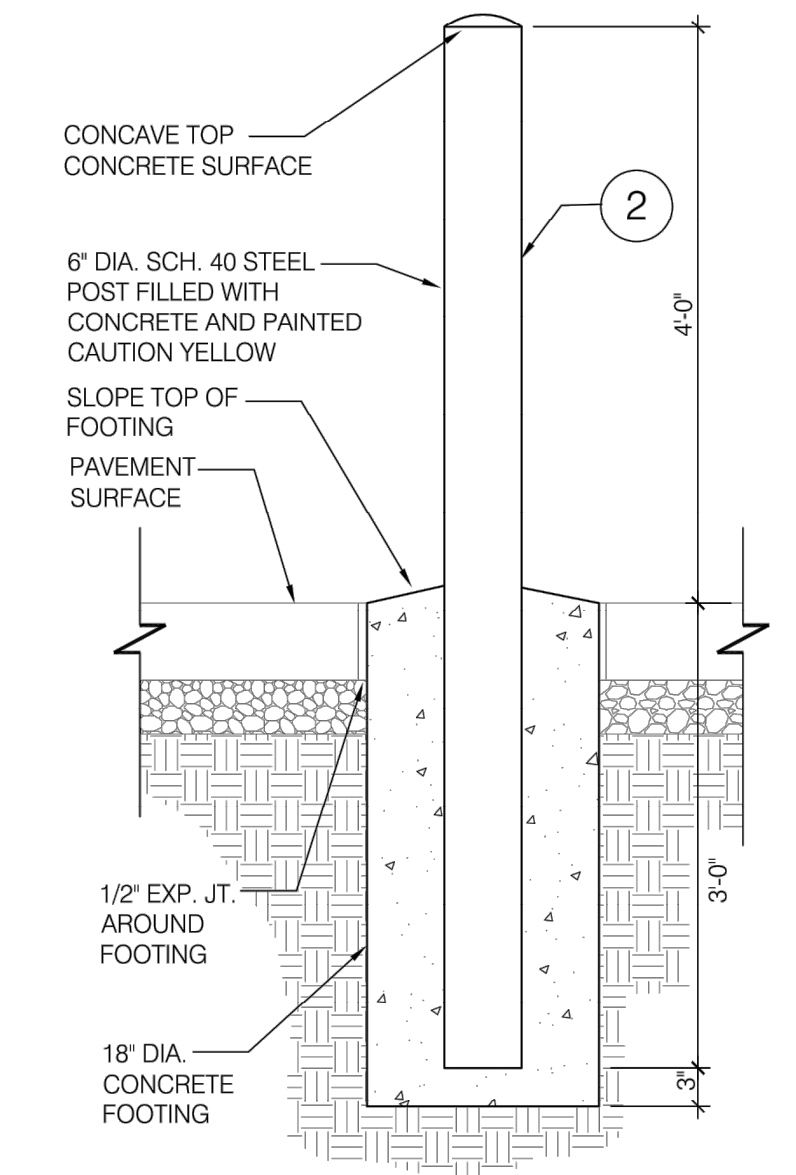


**2 GATE HINGE DETAIL**



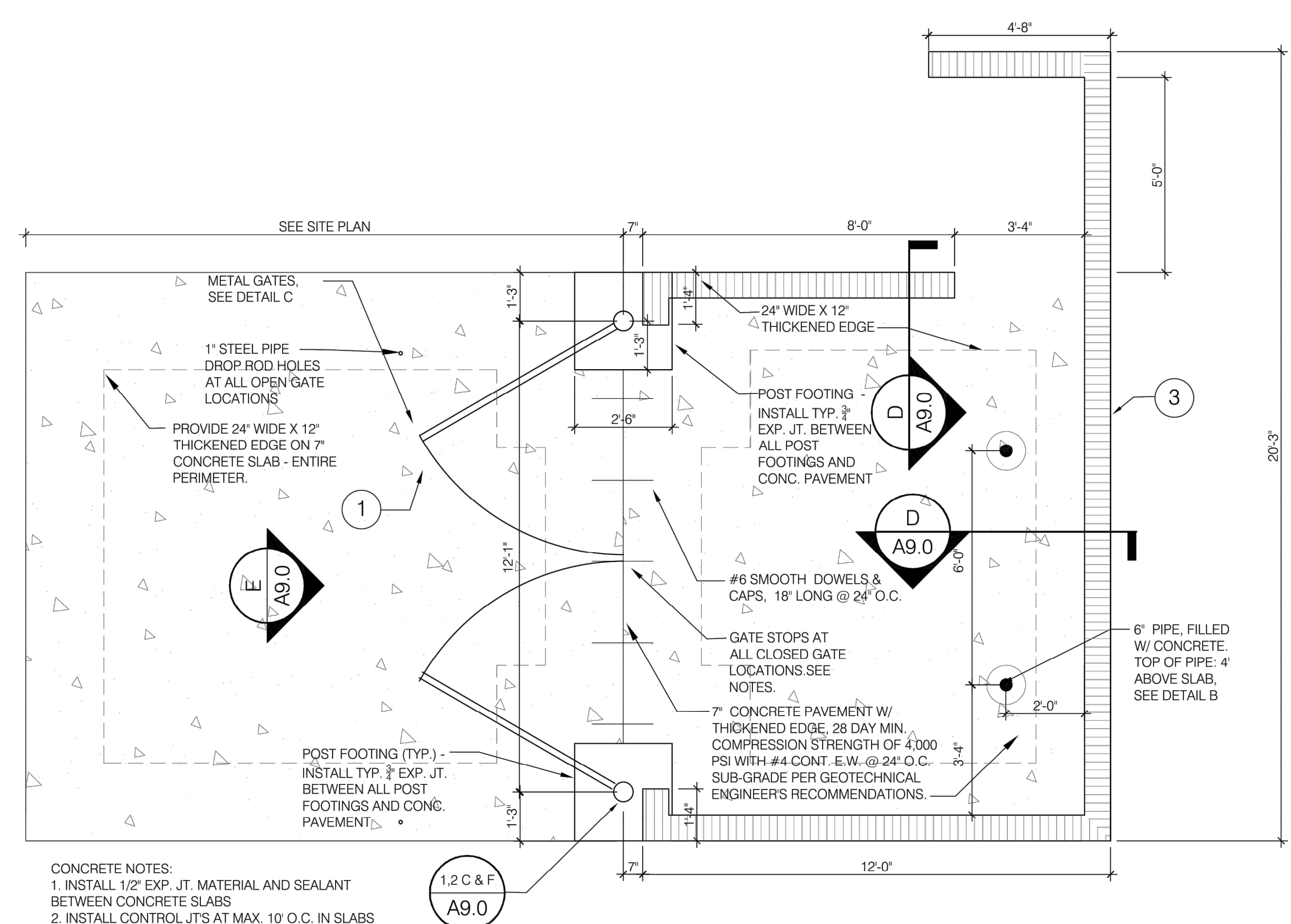
**1 JAMB DETAIL**

**GATE DETAILS** VARIES **C**



**1 GUARDPOST BOLLARD DETAIL**

**BOLLARD DETAILS** 1/4" = 1'-0" **B**



**DUMPSTER PLAN** N.T.S. **A**



GLMV ARCHITECTURE  
MISSOURI STATE OF  
AUTHORITY  
#00384807

MARK D. McCLUGAGE  
ARCHITECT  
LIC. NO.A-7139

18048.19003

CONTRACT DATE: 05.20.19  
BUILDING TYPE: TE40M  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER:

**TACO BELL**  
851 NE WOODS CHAPEL RD  
LEES SUMMIT, MO



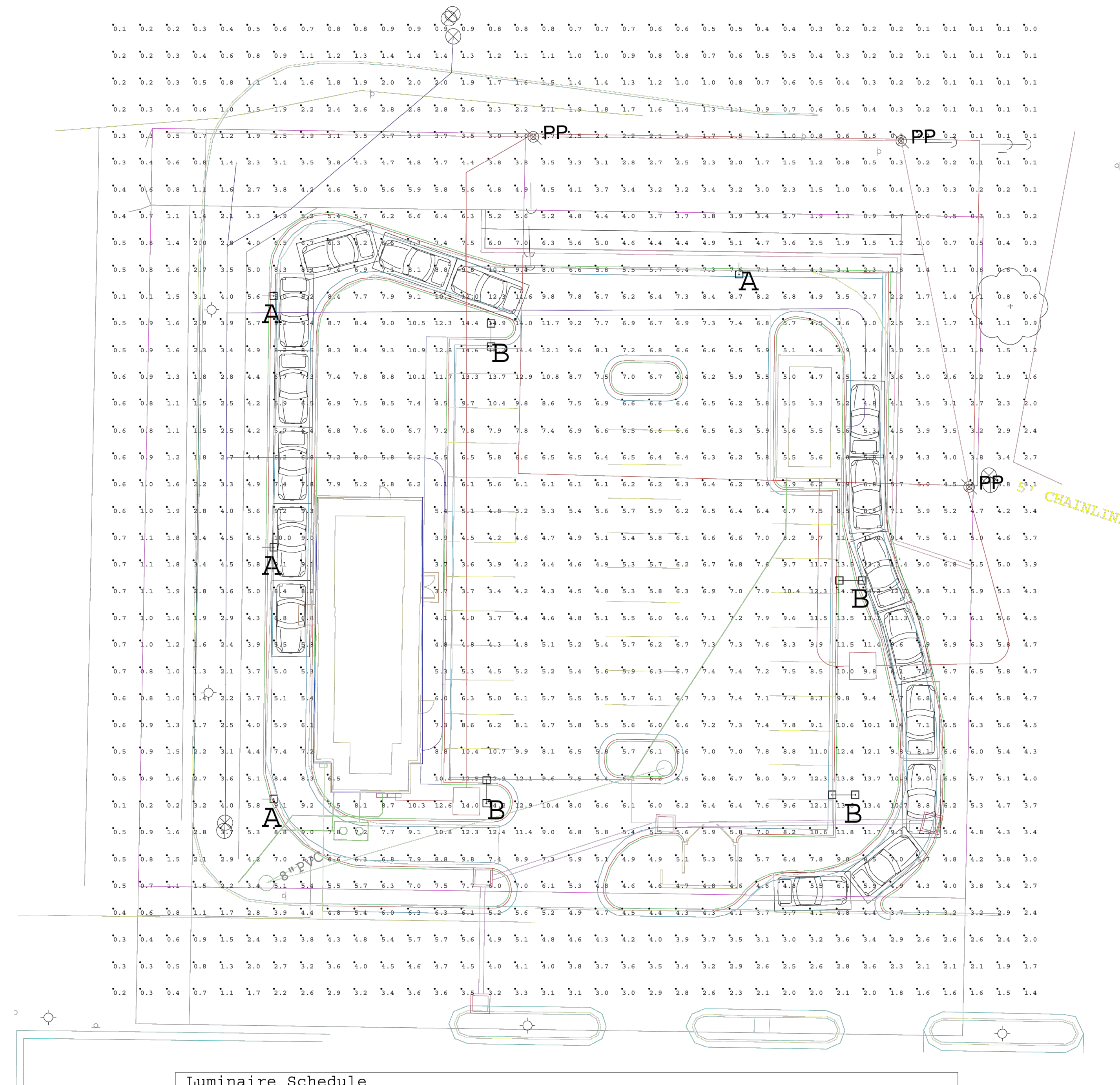
**SMALL CMU ENCLOSURE PLAN & DETAILS**  
**A9.0**



PHOTOMETRICS COMPLETED BY CAPITOL LIGHT

LOCATION WOODS CHAPEL

Please contact Amanda Soaft if you would like a quote or to place an order  
860-520-2331  
amanda.soaft@capitollight.com



Luminaire Schedule				
Symbol	Qty	Label	Description	
⊕	4	A	MRM-LED-30L-SIL-FT-40-70CRI MOUNTED AT 25'	
⊕	4	B	MRM-LED-30L-SIL-FT-40-70CRI MOUNTED AT 25'	

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	7.68	13.3	2.7	2.84	4.93
PARKING LOT SURFACE	6.89	13.7	3.4	2.03	4.03

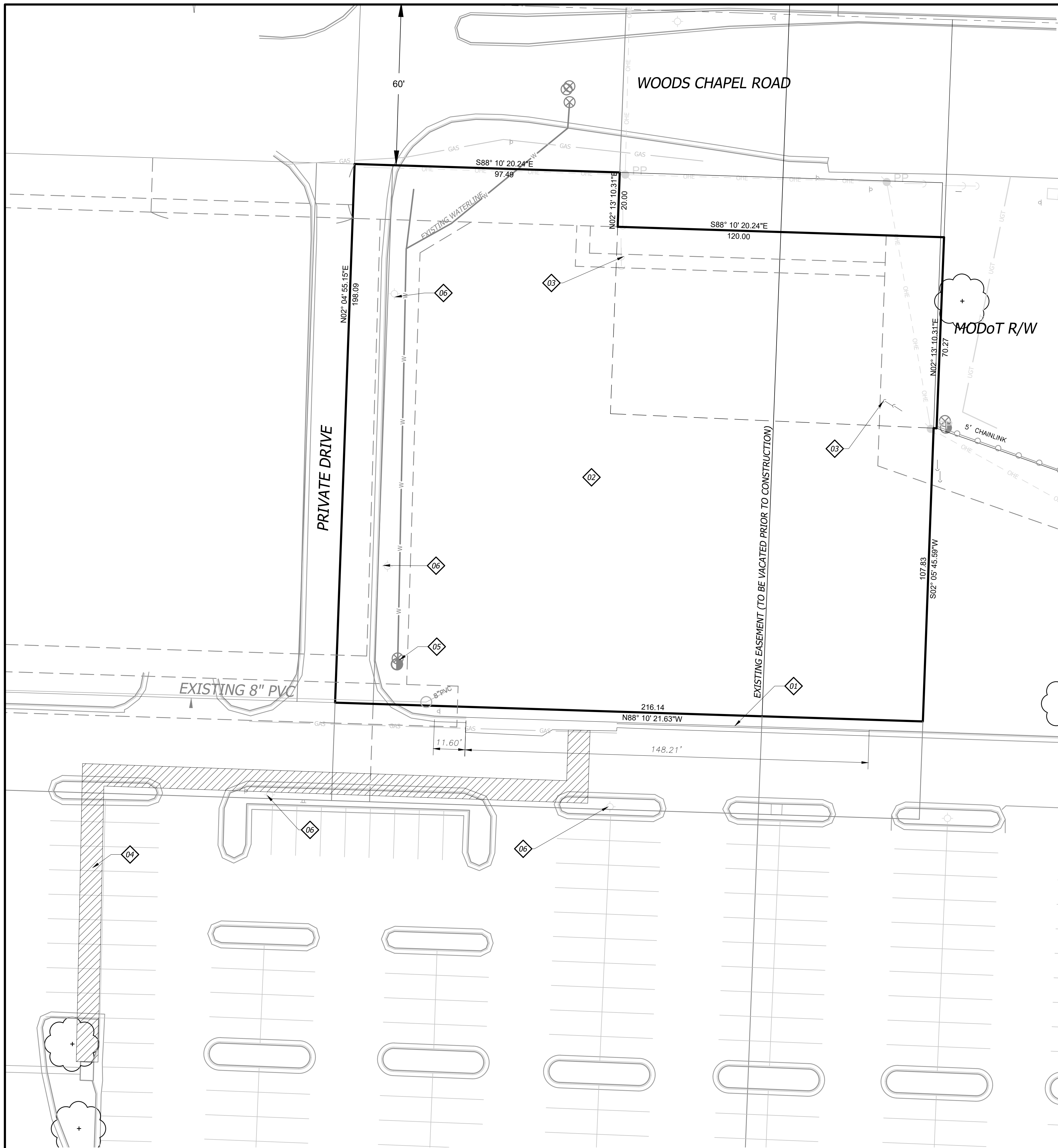
Based on the information provided, all dimensions and luminaire locations show represent recommended positions or positions provided by third party. The engineer and/or architect have the sole responsibility to determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with IES approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

*REPLACE WITH ALTA*



May 02, 2019 - 12:57pm Plotted By: Jay Odell V:\026040-First Street Development - Master\026040-08-Woods Chapel\04-ONE\Eng\Sheet\FDP Set\026040-08-SRFS-FDP-DEM0.dwg Layout: Demo Plan

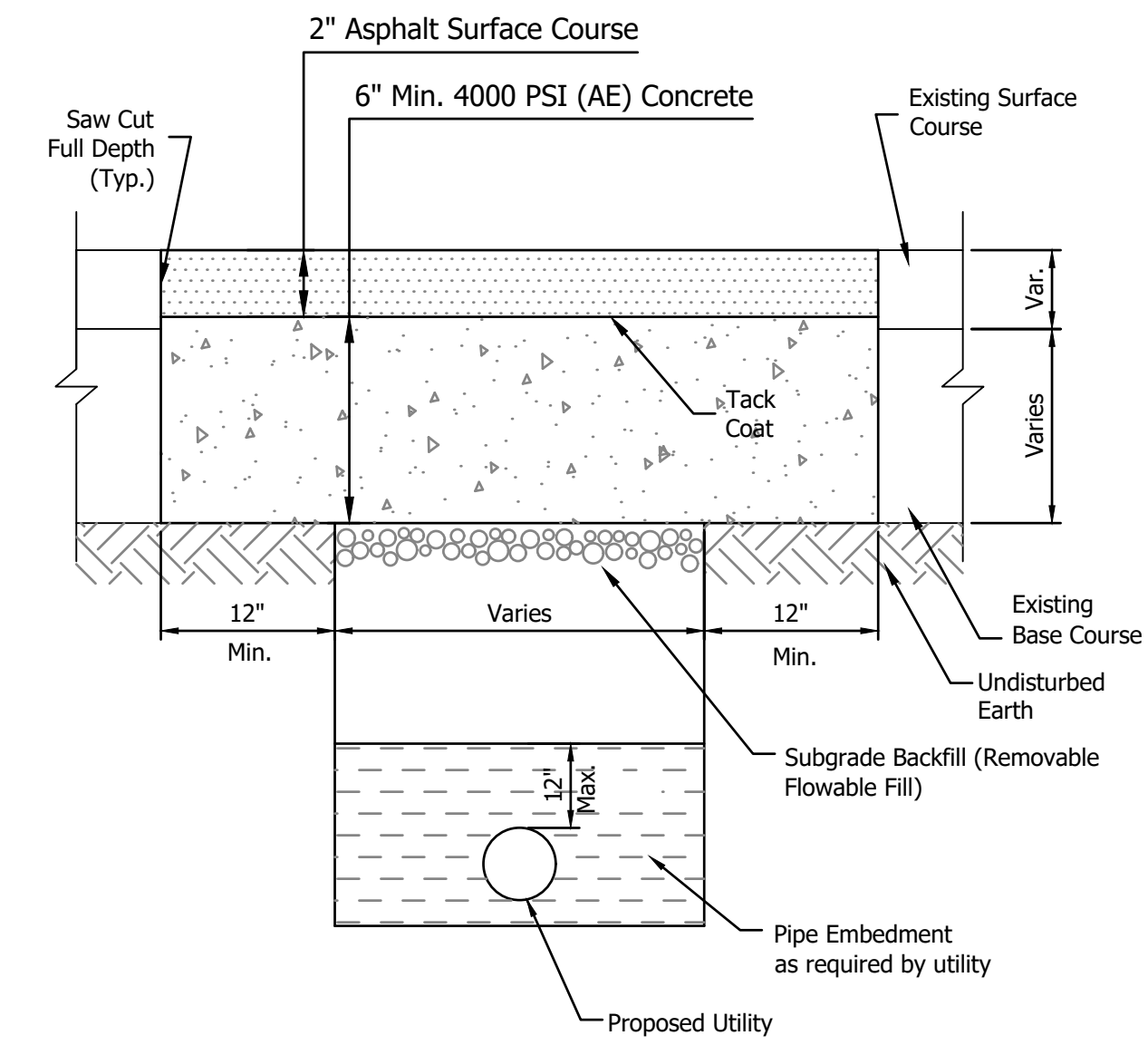


**GENERAL NOTES**

1. All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
2. All protection fencing shall be installed prior to demolition/construction activity.
3. Contractor shall verify location of all utilities prior to any excavation or construction activity.
4. Ensure demolition and construction activity has minimal impact on the operations of adjacent property owners.
5. All offsite disturbed areas shall be restored to pre-construction condition or as directed and agreed upon by property owner and First Street Development

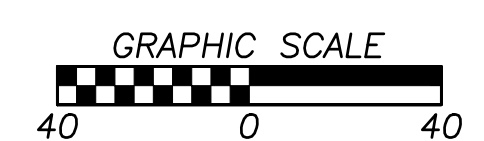
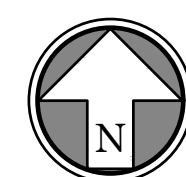
**DEMOLITION NOTES**

- 01 SAW CUT AND REMOVE EXISTING CURB FOR LIMITS SHOWN
- 02 CLEAR, GRUB AND PREPARE SITE PER RECOMMENDATIONS OF GEOTECHNICAL REPORT
- 03 CONTRACTOR TO COORDINATE REMOVAL/REALIGNMENT OF GUY WIRES WITH KCP&L PRIOR TO GRADING OPERATIONS NEAR UTILITY EASEMENT
- 04 LIMITS OF OFFSITE DEMOLITION FOR STORM SEWER SHOWN FOR REFERENCE ONLY. SEE DETAIL THIS PAGE FOR PAVEMENT PATCH/TRENCH SPECIFICATIONS. SEE GENERAL NOTE 5.
- 05 DO NOT DISTURB EXISTING HYDRANT
- 06 DO NOT DISTURB EXISTING LIGHT POLES OR ELECTRICAL CONDUIT/WIRING
- 07 PROTECT EXISTING TREE. CONTRACTOR TO REPLACE IF DAMAGED



**Asphaltic Concrete Street Repair**

Not to Scale



Rev.	Date	Description	By	App.



**BHC RHODES**  
 Civil Engineering • Surveying • Utilities  
 7101 College Blvd., Suite 400  
 Overland Park, Kansas 66210  
 P: (913) 663-1900 F: (913) 663-1633  
 BHC RHODES is a trademark of Fluergent Homestead & Company, P.A.

Prepared For:  
 FIRST STREET DEVELOPMENT  
 4455 E CAMELBACK ROAD  
 BUILDING C 241  
 PHOENIX, ARIZONA 85018  
 602-714-3099

**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**DEMOLITION PLAN**

Design: **MGB** Drawn: **MGB**  
 Checked: **JDD**  
 Issue Date: **04/23/2019**  
 Project Number: **026040.08**

**C1.0**

May 02, 2019 - 12:57pm Plotted By: Jay Odell V:\026040-First Street Development - Master\026040\_08-Woods Chapel\04-08\Eng\Sheet\FP Set\026040\_08-SRFS-FDP-SITE.dwg Layout: Site Plan

CRSC II LLC  
1725 NE RICE ROAD  
ZONE: CP-2  
USE: BANK

ENTERPRISES LAKEWOOD LLC  
3901 W 86RD STREET  
PRAIRIE VILLAGE, KS 66208  
ZONE: CP-2  
USE: COMMUNITY SHOPPING CENTER

WOODS CHAPEL ROAD

PRIVATE DRIVE

**SITE DATA**

TOTAL FLOOR AREA: 2,545 SQ FT  
TACO BELL 2,000 SQ FT  
DRIVE-THRU COFFEE (NO SIT-DOWN) 545 SQ FT  
SITE AREA: 40,528 SQ FT (± 0.93 ACRES)  
DISTURBED AREA: 44,361 SQ FT (± 1.02 ACRES)

**DEVELOPER**

FIRST STREET DEVELOPMENT  
2929 E CAMELBACK ROAD, SUITE 116  
PHOENIX, AZ 85016  
PH: (602) 714-3099  
CONTACT: CHRIS CZYZ

**PROPERTY OWNER**

XXXXX  
PHONE: XXXXX  
CONTACT: XXXXX

**PARKING DATA**

CITY REQUIREMENTS-  
RESTAURANT (FAST FOOD AND SIT-DOWN) 28 STALLS  
14 SPACES REQUIRED FOR EACH 1000 SF OF GROSS FLOOR AREA  
COFFEE SHOP 4 STALLS  
2 SPACES PER BUILDING, 1 PER EACH EMPLOYEE MAX SHIFT (2 MAX SHIFT)

STALLS REQUIRED 32  
TOTAL STALLS PROVIDED 32

STANDARD STALLS PROVIDED 2 (1 VAN)  
ADA ACCESSIBLE STALLS REQUIRED

STACKING REQUIRED 4 CARS FROM MENU BOARD  
STACKING PROVIDED 4 CARS FROM MENU BOARD

IMPERVIOUS AREA: 26,788 SQ FT  
FLOOR AREA RATIO: 0.063

ZONING: CP-2  
WATERSHED (HUC12): MAY BROOK-LITTLE BLUE RIVER

**CONSTRUCTION NOTES**

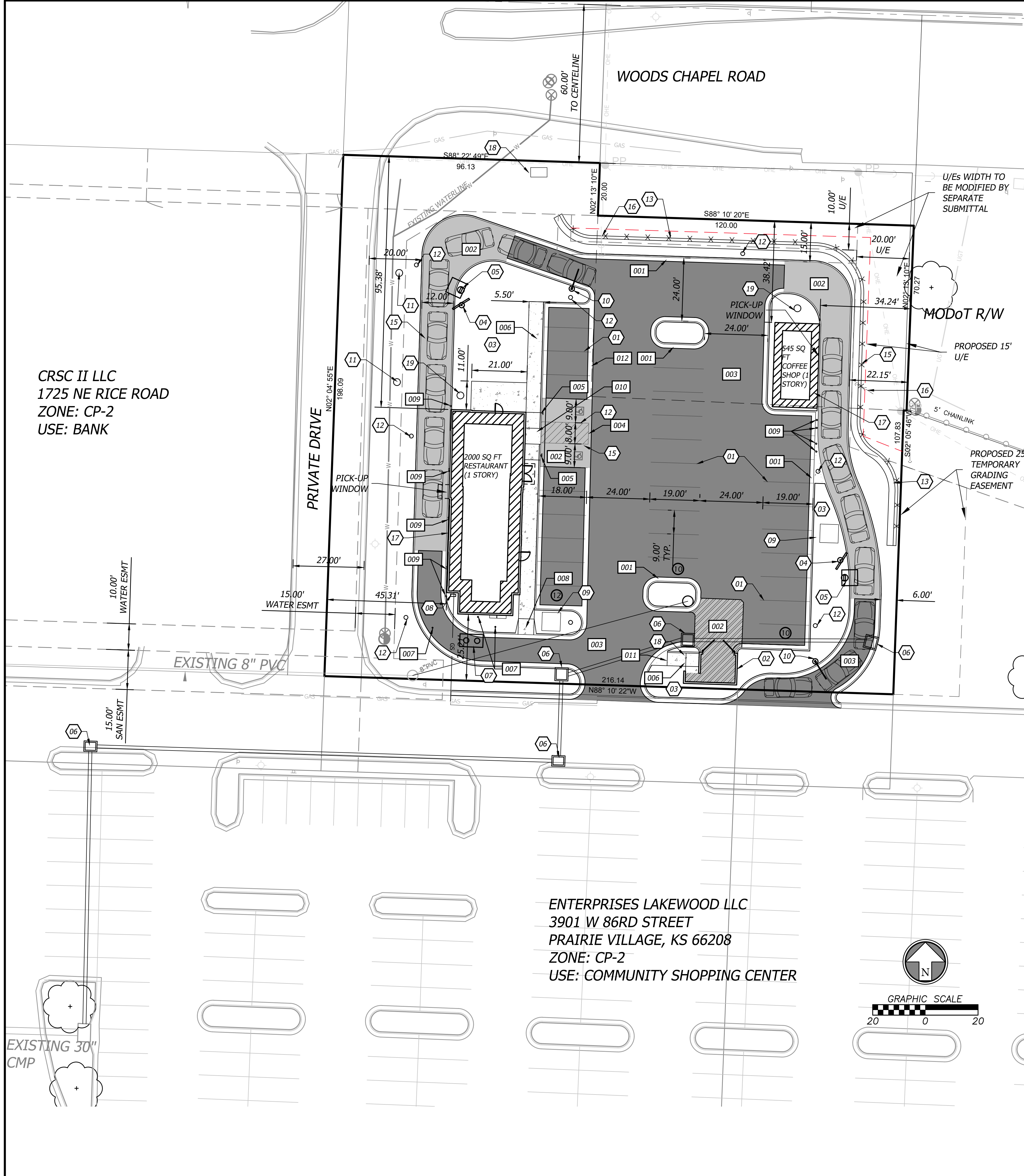
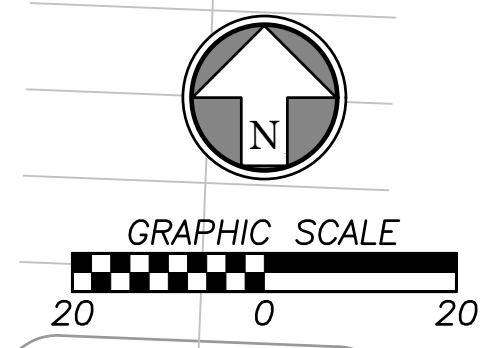
- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT STRIPING. COORDINATE WITH ARCHITECT AND DEVELOPER PRIOR TO CONSTRUCTION.
- 02 DUMPSTER ENCLOSURE. SEE SHEET A9.0
- 03 LANDSCAPING AREA. SEE SHEET L1.0.
- 04 MENU BOARD.
- 05 SPEAKER BOX.
- 06 PROPOSED STORM STRUCTURES. SEE SHEET C6.0 & C7.0
- 07 1000 GALLON TRAFFIC RATED GREASE INTERCEPTOR. SEE SHEET C5.0 & C5.1 FOR MORE INFORMATION.
- 08 GAS METER.
- 09 TRANSFORMER PAD. SEE SHEET C5.0
- 10 CLEARANCE BAR.
- 11 WATER METER. SEE SHEET C5.0
- 12 LIGHT POLE
- 13 PROPOSED REDI-ROCK RETAINING WALL
- 14 CURB AND GUTTER ADJACENT TO CONCRETE PARKING PAVEMENT SHALL BE POURED INTEGRAL.
- 15 42" AMERISTAR FENCE WHERE WALL EXCEEDS 30" IN HEIGHT
- 16 EXISTING GUY WIRES TO BE RELOCATED.
- 17 BACK OF CURB ALONG DRIVE-THRU, ADJACENT TO BUILDING SHALL EXTEND BACK TO FOOTING
- 18 KCP&L SECTIONALIZER
- 19 IRRIGATION METER

**DETAILS**

- SEE CONSTRUCTION DETAILS - SHEETS C9.1-C9.3
- 001 CONCRETE CURB & GUTTER (CITY STANDARD)
  - 002 P.C.C. PAVEMENT SECTION
  - 003 ASPHALT PAVEMENT SECTION
  - 004 (ADA) ACCESSIBLE PARKING STRIPING
  - 005 (ADA) ACCESSIBLE PARKING SIGNAGE
  - 006 CONCRETE SIDEWALK SECTION
  - 007 SANITARY SEWER CLEANOUT
  - 008 TYPE "A" SIDEWALK RAMP
  - 009 STEEL/CONCRETE BOLLARD
  - 010 TYPE "B" SIDEWALK RAMP
  - 011 TYPE "C" SIDEWALK RAMP
  - 012 VALLEY GUTTER

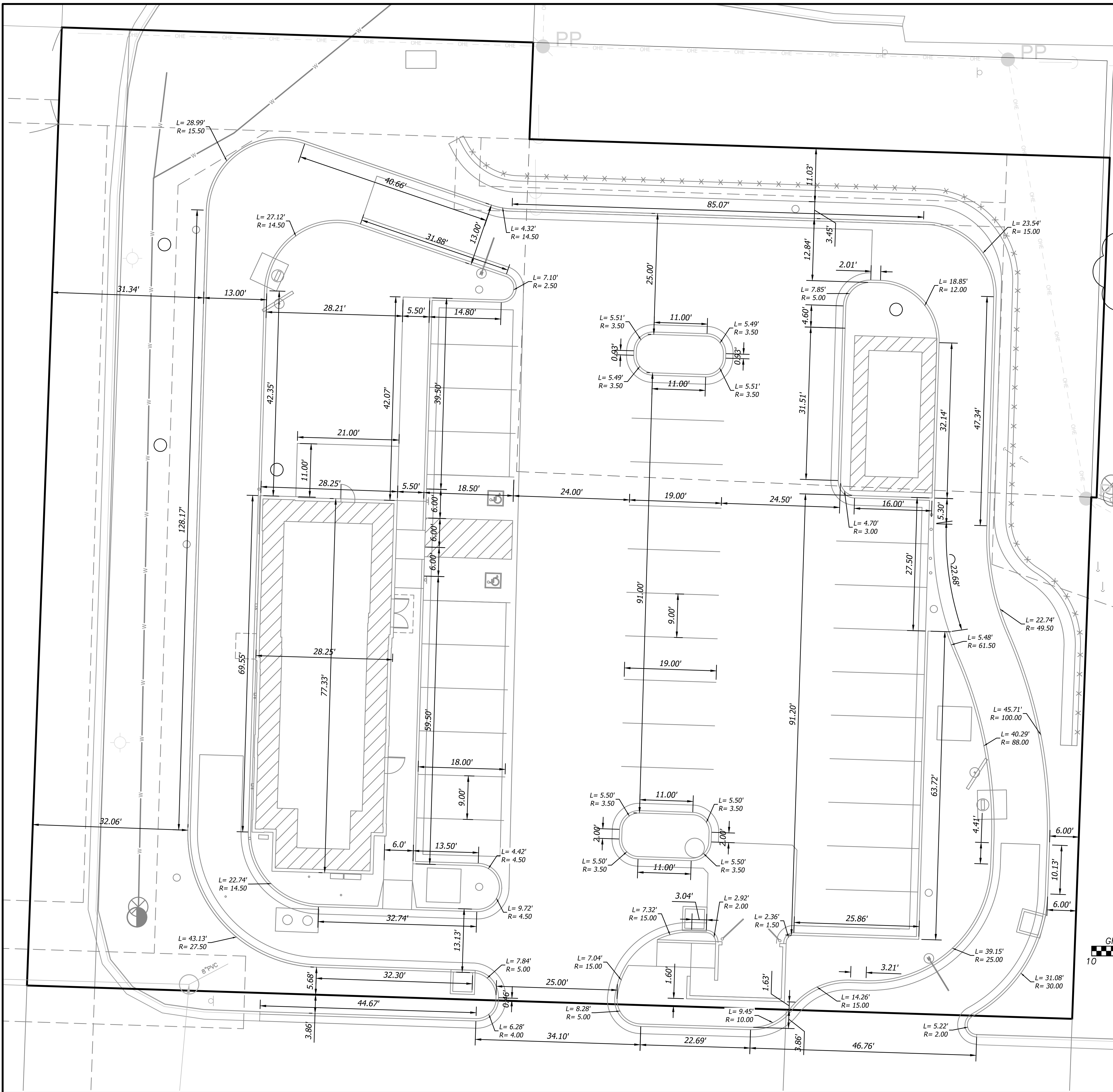
**SITE LEGEND**

- PARKING STALL COUNT
- STANDARD CURB & GUTTER
- RETAINING WALL
- PROPOSED BUILDING
- ASPHALT PAVEMENT
- MEDIUM DUTY PCC PAVEMENT
- HEAVY DUTY PCC PAVEMENT
- CONCRETE SIDEWALK



<p><b>BHC RHODES</b> Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 BHC RHODES is a trademark of Fluergent HomeMod &amp; Company, P.A.</p>	
<p>Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>	<p>TACO BELL 851 NE WOODS CHAPEL RD LEES SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN SITE PLAN</p>
<p>Design: MGG   Drawn: MGG Checked: JDO Issue Date: 04/23/2019 Project Number: 026040.08</p>	<p>C2.0</p>

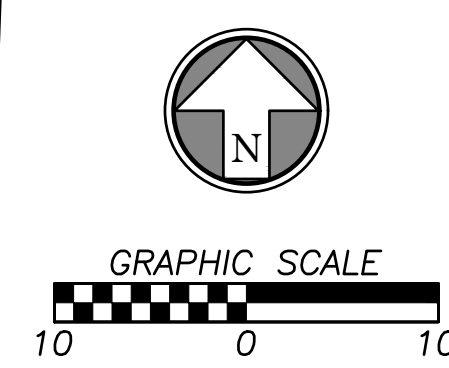
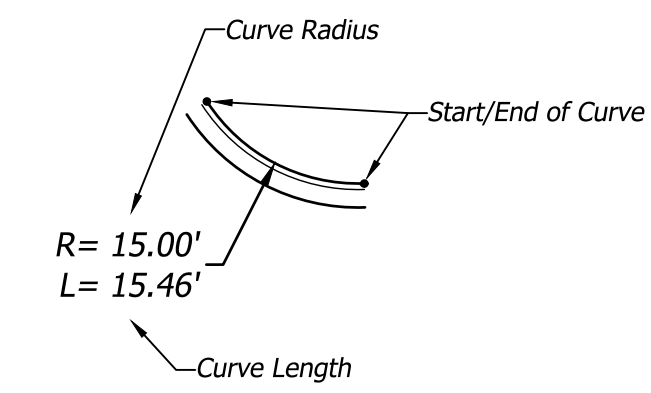
May 02, 2019 - 12:58pm Plotted By: Jay Odell V:\026040-Final Street Development - Master\026040\_08-Woods Chapel\04-DWG\Eng\Sheet\FDP Set\026040\_08-SRFS-FDP-DIM.dwg Layout: Dims Plan



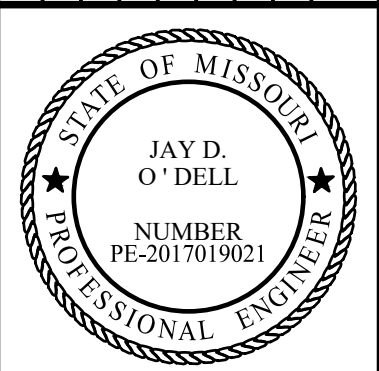
**DIMENSION NOTES**

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

**DIMENSION LEGEND**



Rev.	Date	Description	By	App.



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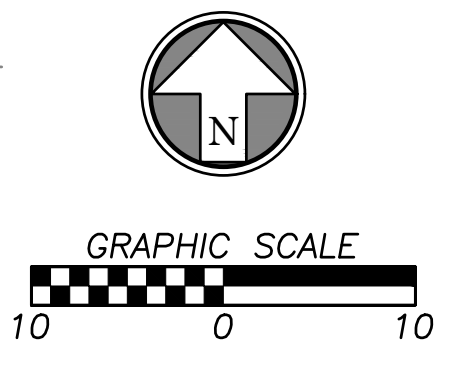
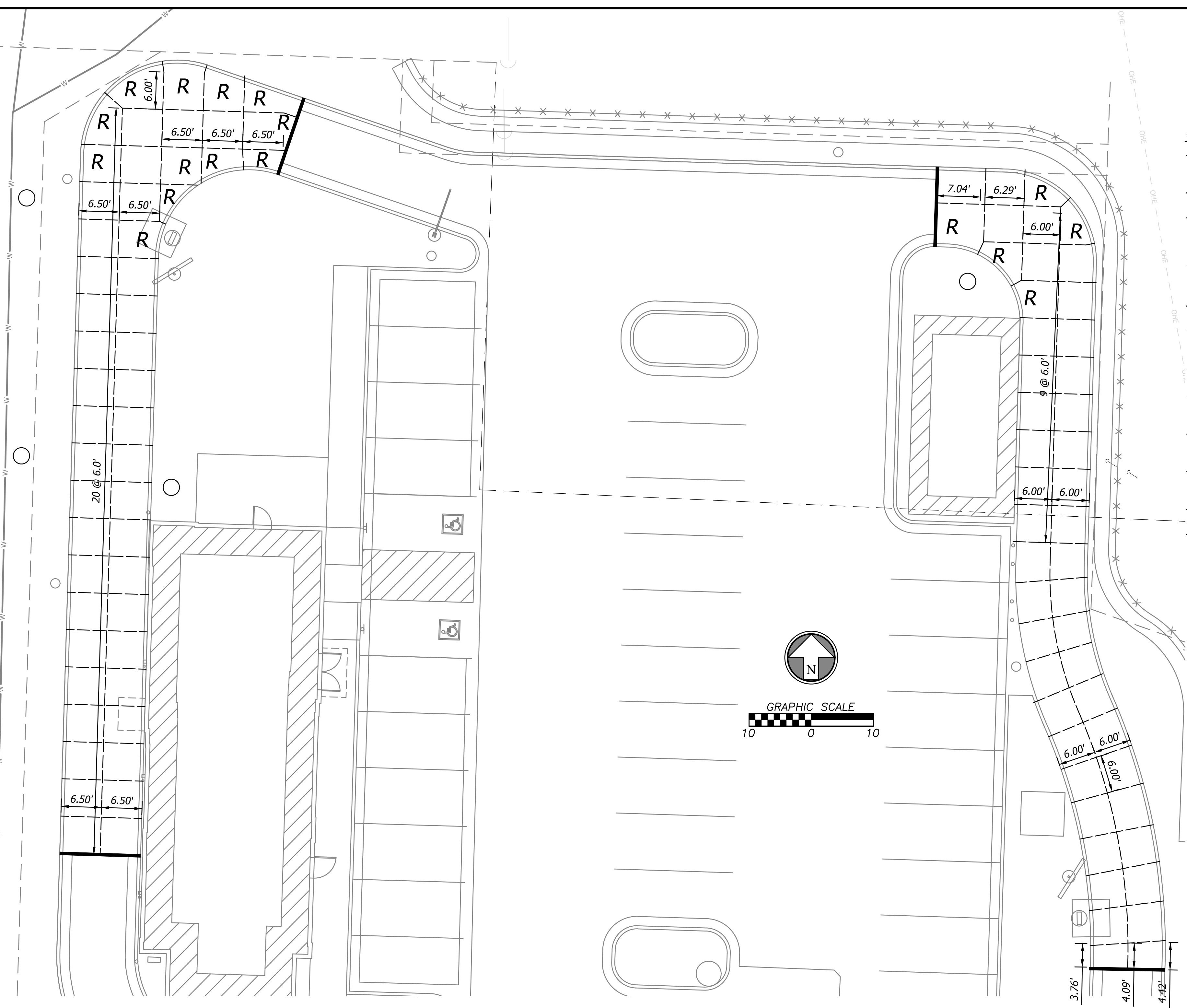
**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**DIMENSION PLAN**

Design: MGG Drawn: MGG  
 Checked: JDO  
 Issue Date: 04/23/2019  
 Project Number: 026040.08

**C3.1**



May 02, 2019 - 12:58pm Plotted By: JayJodell V:\026040-Final Street Development - Matera\026040-08-Woods Chapel\04-DWG\Eng\Sheet\FP Set\026040-08-SPTS-FDP-DIM.dwg Layout: Joints

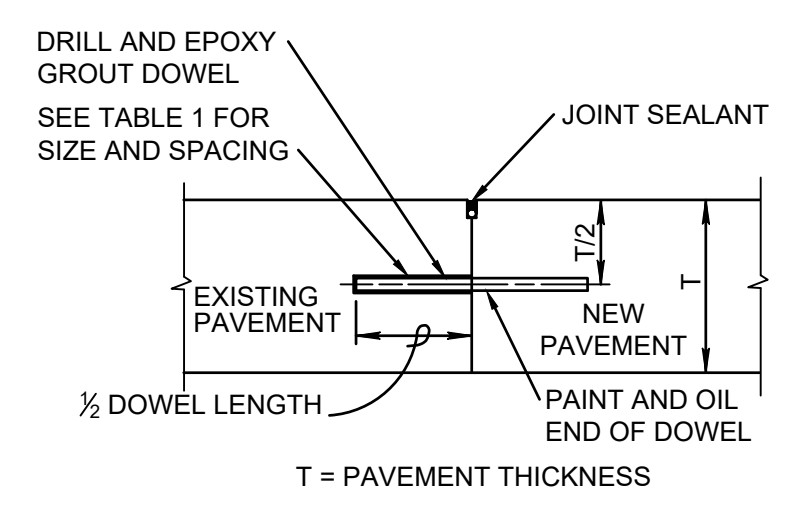


**JOINTING AND DOWEL NOTES**

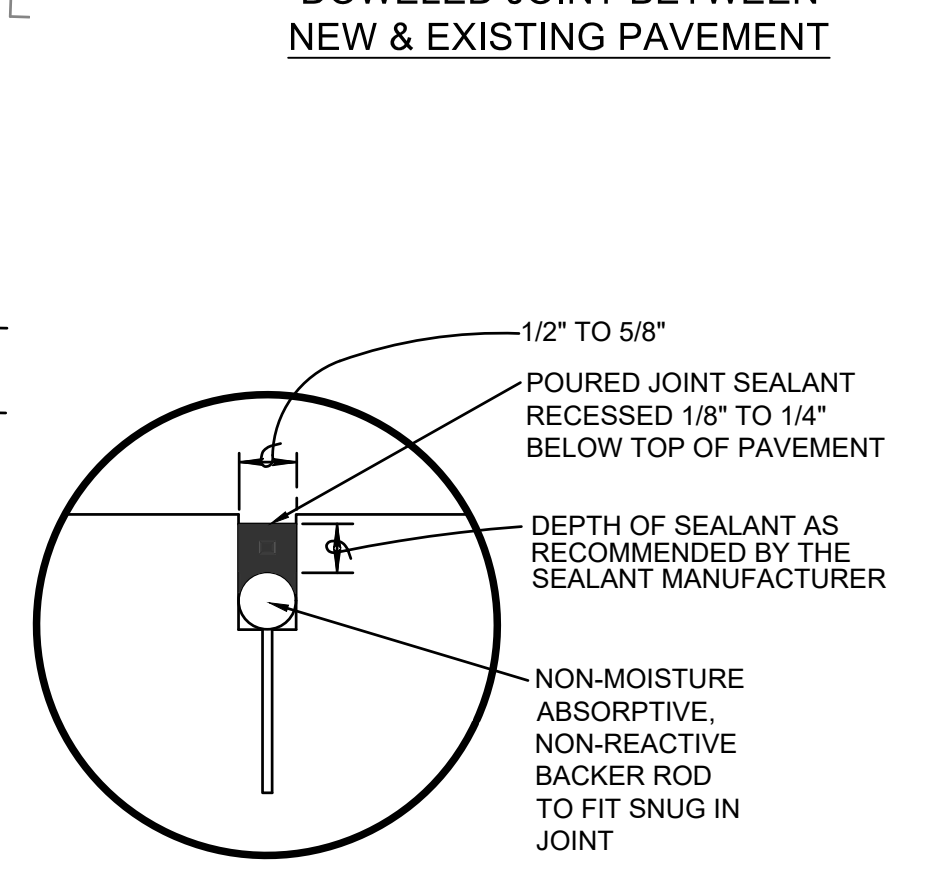
- CONSTRUCTION JOINTS SHOWN ARE RECOMMENDATIONS. CONTRACTOR TO DETERMINE IF ALTERATIONS ARE NEEDED PER CONSTRUCTION SCHEDULE AND METHODS.
- WIDTH TO LENGTH RATIO TO NOT EXCEED 1.25 TIMES
- SLABS MARKED "R" SHALL BE REINFORCED WITH STEEL WELDED WIRE FABRIC OF THE SIZES SHOWN IN TABLE 1. OTHER WWF SIZES MAY BE USED PROVIDED THE STEEL AREA (SQ INCHES/FOOT) IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IS EQUAL TO OR EXCEEDS THAT SHOWN IN TABLE 1.
- EPOXY COATED DOWEL BARS SHALL BE DRILLED 9" DEEP (9" IN EXISTING PAVEMENT AND 9" INTO PROPOSED PAVEMENT), 12" ON CENTER OF THE VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG, CLEAN HOLES THROUGH OUT
- DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE
- DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION
- ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT
- FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER
- INSTALL CLOSED CELL BACKER RODS AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS
- AREA'S WHERE SIDEWALK ABUTS CURB, EITHER ISOLATION JOINTS WITH FELT EXPANSION MATERIAL SHALL BE USED OR SAWCUTS IN CURB SHALL BE IN LINE WITH CURB CUTS OF SIDEWALK
- INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH
- JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

**LEGEND**

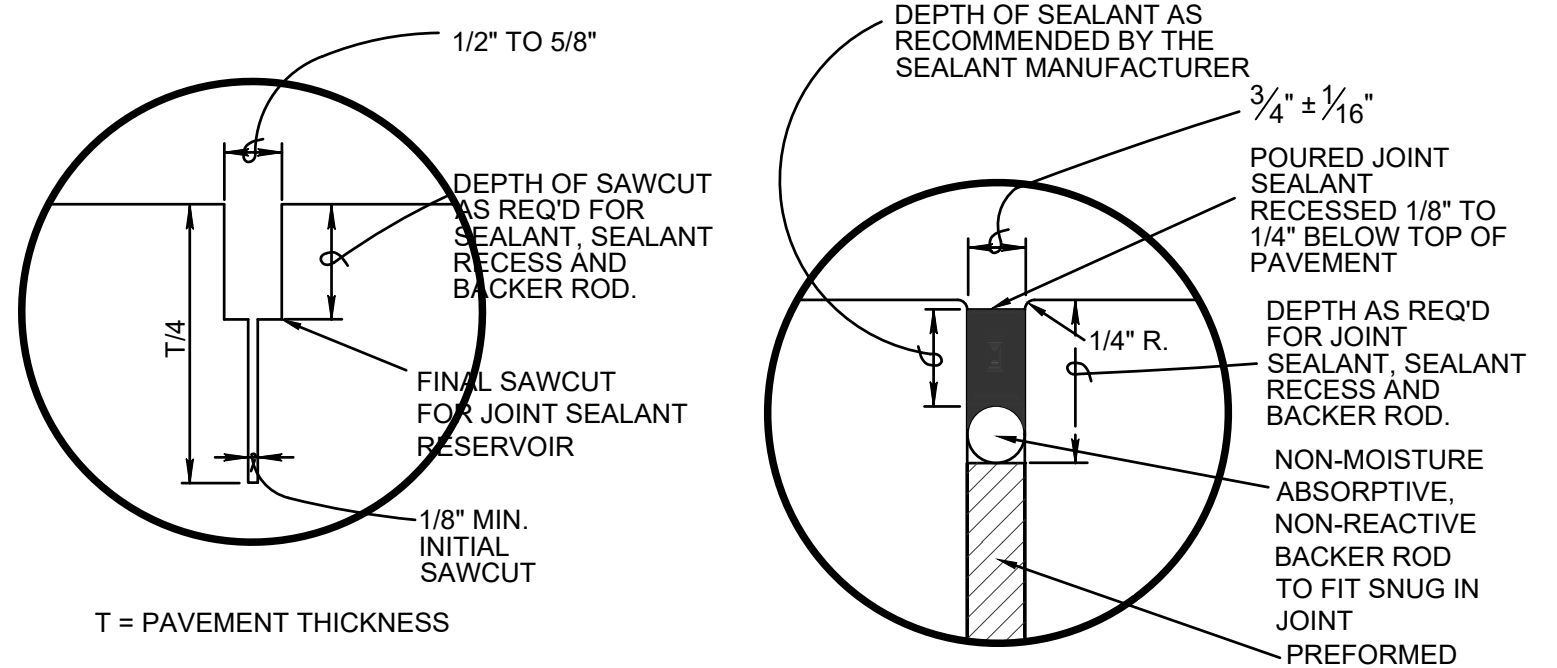
- PROPERTY LINE
- SS — EXISTING SANITARY SEWER MAIN
- — — EXISTING STORM SEWER MAIN
- GAS — EXISTING GAS MAIN
- W — EXISTING WATER MAIN
- UGE — EXISTING UNDERGROUND ELECTRIC
- — — CONCRETE CURB AND GUTTER
- — — ISOLATION JOINT
- — — CONTRACTION JOINT
- — — THICKENED EDGE



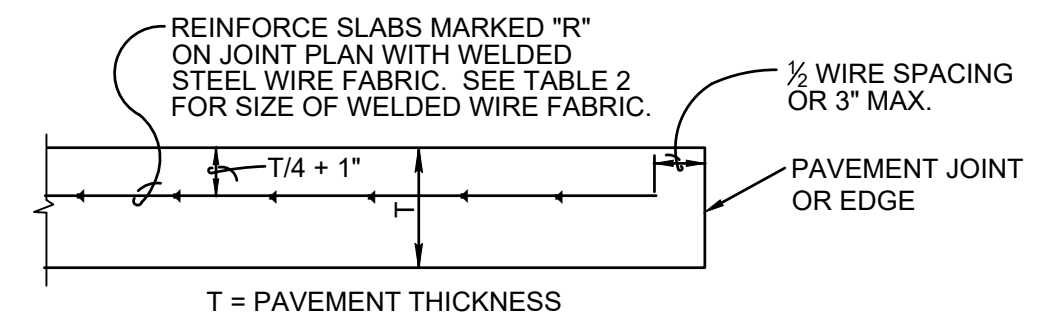
**DOWELED JOINT BETWEEN NEW & EXISTING PAVEMENT**



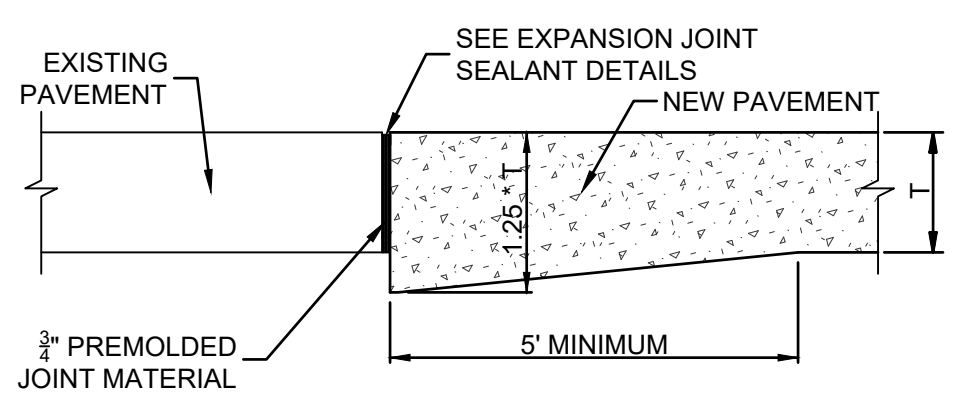
**COMPLETED CONSTRUCTION JOINT SEALANT DETAIL**



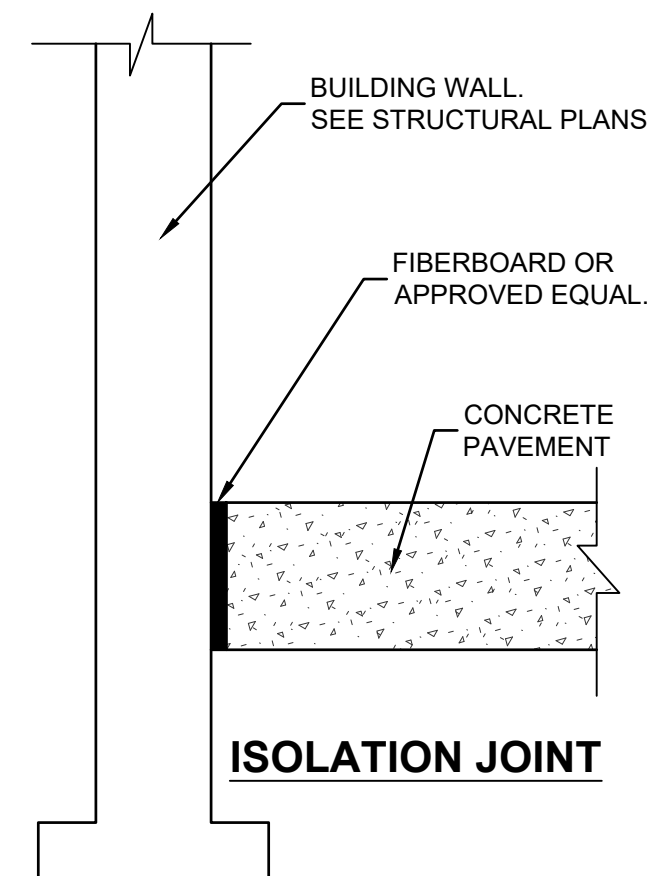
**COMPLETED EXPANSION JOINT SEALANT DETAIL**



**SLAB REINFORCING DETAIL**



**THICKENED EDGE EXPANSION JOINT**



**TABLE 1**



PAVEMENT THICKNESS	MAXIMUM DOWEL SPACING	MINIMUM DOWEL LENGTH	MINIMUM DOWEL DIAMETER
LESS THAN 8"	12"	16"	3/4"
8" TO 11"	12"	16"	1"
12" TO 15"	15"	20"	1-1/4"

**TABLE 2**

PAVEMENT THICKNESS	MINIMUM REQUIRED AREA OF STEEL (SQ. IN. / FT)	WELDED WIRE FABRIC
6"	0.036	4 x 4 - W1.4 x W1.4 6 x 6 - W2.0 x W2.0
8"	0.048	4 x 4 - W2.0 x W2.0 6 x 6 - W2.9 x W2.9

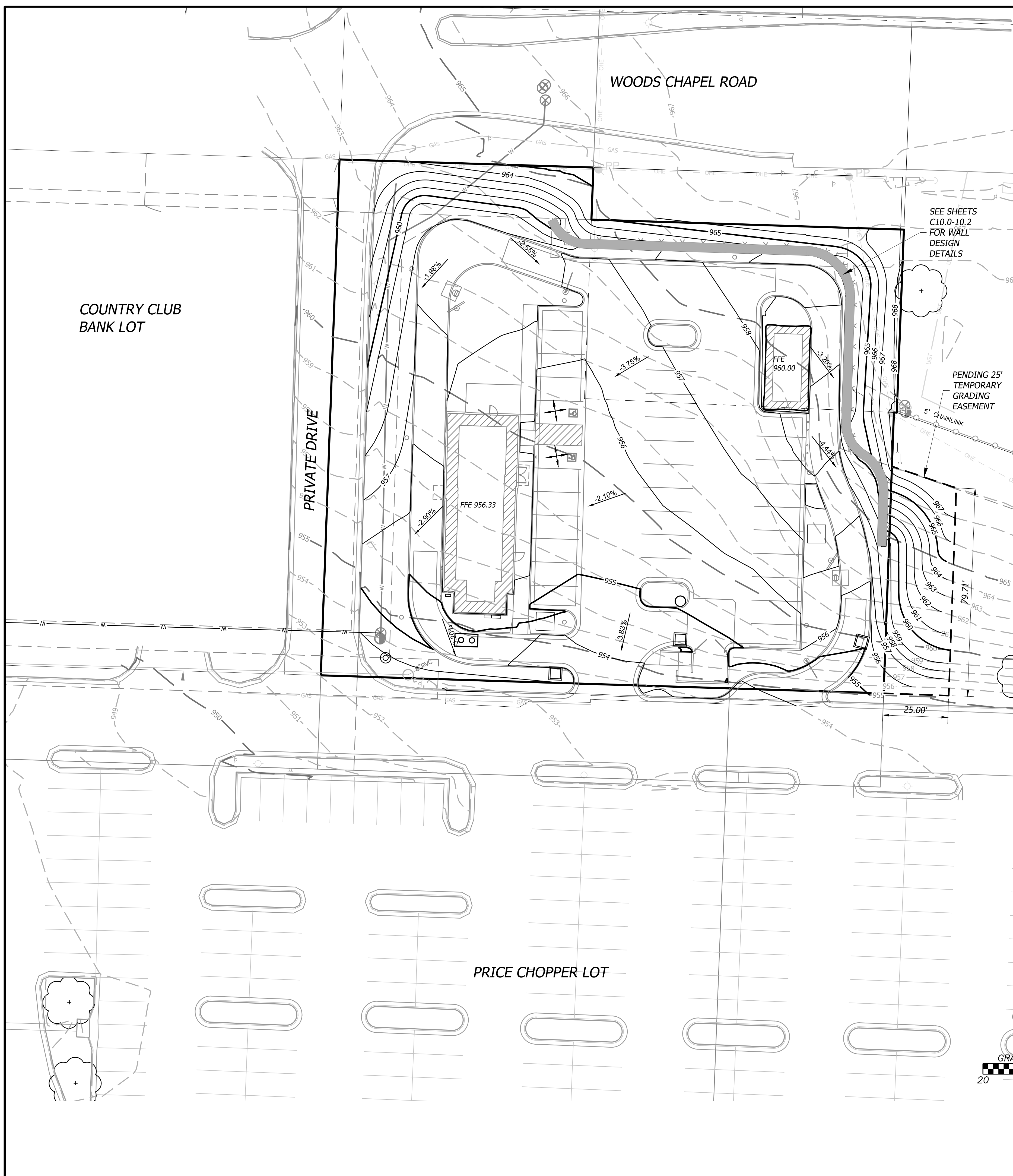
**TABLE 3**

PAVEMENT THICKNESS	MAXIMUM TIE BAR SPACING	MINIMUM TIE BAR LENGTH	MINIMUM TIE BAR SIZE
LESS THAN 8"	12"	16"	NO. 6
8" TO 11"	12"	16"	NO. 8

<p style="text-align: center;"><b>TACO BELL</b> 851 NE WOODS CHAPEL RD LEES SUMMIT, MISSOURI</p> <p style="text-align: center;"><b>FINAL DEVELOPMENT PLAN</b> JOINT LAYOUT PLAN</p>	<p style="text-align: center;">   <b>JAY D. DELL</b>          PROFESSIONAL ENGINEER          NUMBER PE-2017019021       </p> <p style="text-align: center;">   <b>BHC RHODES</b>          Civil Engineering • Surveying • Utilities          7101 College Blvd., Suite 400          Overland Park, Kansas 66210          P. (913) 663-1900 F. (913) 663-1633  <small>BHC Rhodes is a trademark of Fluergent Homestead &amp; Company, P.A.</small> </p> <p style="text-align: center;">         Prepared For:          FIRST STREET DEVELOPMENT          4455 E CAMELBACK ROAD          BUILDING C 241          PHOENIX, ARIZONA 85018          602-714-3099       </p>
<p>Design: MGG Drawn: MGG</p> <p>Checked: JDO</p> <p>Issue Date: 04/23/2019</p> <p>Project Number: 026040.08</p>	<p>Rev. _____ Date _____ Description _____</p> <p>By _____ App. _____</p>

C3.3

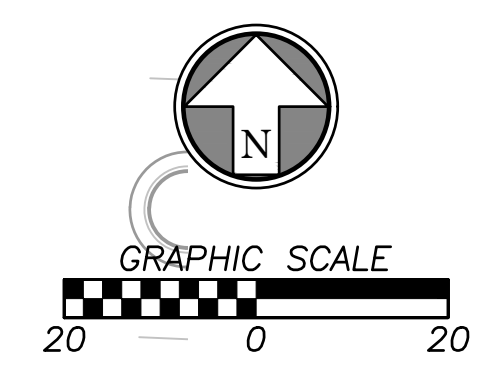
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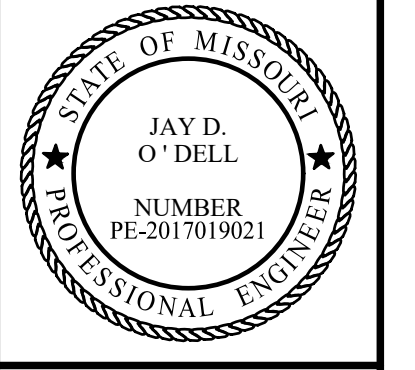
**GRADING NOTES**

1. GRADING MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH CITY OF LEE'S SUMMIT SPECIFICATIONS, LATEST EDITIONS AND THE GEOTECHNICAL REPORT. IN CASE OF CONFLICT, NOTIFY ENGINEER FOR DIRECTION
2. EXISTING GRADES ARE FROM AN ALTA/TOPOGRAPHIC SURVEY PROVIDED BY MCLAUGHLIN MUELLER, INC. DATED APRIL 2019. BHC RHODES MAKES NO GUARANTEES AS TO THE ACCURACY OF THE DATA PRESENTED. THE CONTRACTOR SHALL FIELD VERIFY ALL GRADES TYING INTO ROAD GRADES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
3. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
4. CONTRACTOR SHALL OBTAIN SOILS SUITABLE AS STRUCTURAL FILL FROM OFF-SITE SOURCES, AS NEEDED. ALL BORROW MATERIALS MUST BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO IMPORTING THE SOILS TO THE PROJECT SITE.
5. FILL MATERIALS REQUIRED FOR THIS PROJECT AND PLACEMENT OF THOSE MATERIALS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. FILL MATERIALS SHALL NOT BE PLACED ON FROZEN SOIL, ORGANIC MATERIALS, OR SOFT SUBGRADE.
6. SUBGRADE IN EXCAVATED AREAS UNDER PROPOSED PAVEMENT SHALL BE SCARIFIED AND PROPERLY COMPACTED AND MOISTURE CONDITIONED. IMMEDIATELY PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
7. ALL TOPSOIL, VEGETATION, ROOT STRUCTURES, AND DELETERIOUS MATERIALS SHALL BE STRIPPED FROM THE GROUND SURFACE PRIOR TO THE PLACEMENT OF FILL MATERIALS. TOPSOIL SHALL BE STOCKPILED FOR RE-DISTRIBUTION DURING LANDSCAPING OPERATIONS. FAILURE TO PROPERLY STOCKPILE TOPSOIL WILL RESULT IN THE CONTRACTOR HAULING IN TOPSOIL AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL OBTAIN THE ACCEPTANCE OF THE ON-SITE GEOTECHNICAL REPRESENTATIVE FOR THE EXISTING GROUND SURFACE MATERIALS AND THE PROPOSED FILL MATERIAL PRIOR TO THE PLACEMENT OF FILL.
9. ALL EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
10. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISH GROUND ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, ROCK SUBGRADE, BUILDING PADS, TOPSOIL, ETC WHEN GRADING THE SITE.
11. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED (GREEN SPACES) SHALL BE FINISH GRADED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL.
12. PRIOR TO PLACING ANY CONCRETE OR ASPHALT PAVEMENT THE CONTRACTOR SHALL PERFORM A PROOF ROLL OF THE PAVEMENT SUB-GRADE WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK. THE PROOF ROLL SHALL BE CONDUCTED IN THE PRESENCE OF THE ENGINEER AND/OR THE ON-SITE GEOTECHNICAL REPRESENTATIVE. AREAS THAT DISPLAY RUTTING OR PUMPING ARE CONSIDERED UNSATISFACTORY TO THE ENGINEER AND SHALL BE RE-WORKED AND A FOLLOW-UP PROOF ROLL SHALL BE CONDUCTED PRIOR TO ACCEPTANCE OF THE SUB-GRADE FOR PAVING.
13. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1.
14. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED. CONTRACTOR SHALL BACKFILL ALL PROPOSED PAVEMENT.
15. ALL AREAS ALONG ACCESSIBLE ROUTE SHOWN ON THIS PAGE SHALL COMPLY WITH CURRENT ADA STANDARDS.
16. PAVEMENT ELEVATIONS TO BE 6" (.5') BELOW TOP OF CURB ELEVATION (TC) UNLESS OTHERWISE NOTED
17. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING ALL PROPOSED GRADES ENSURE POSITIVE DRAINAGE BOTH WITH PROPOSED IMPROVEMENTS AND SURROUNDING EXISTING CONDITIONS. NOTIFY THE ENGINEER IN CASE OF CONFLICT.
18. CONTRACTOR SHALL NOT PLACE, SPREAD, OR COMPACT ANY FILL DURING UNFAVORABLE WEATHER CONDITIONS. THE CONTRACTOR SHALL REMOVE AND REPLACE OR OTHERWISE CORRECT ALL WORK WHICH IS DAMAGED AS A RESULT OF WEATHER OR WATER RELATED FACTORS OR DOES NOT MEET THE SPECIFICATIONS AT NO EXPENSE TO THE OWNER.
19. THE CONTRACTOR SHALL PROVIDE SUITABLE BERMS AND CHANNELS TO CONTROL OR DIRECT WATER TO SEDIMENT CONTROL DEVICES AND AS MAY BE NECESSARY TO PREVENT EROSION, FLOODING, OR OTHER DAMAGE TO THE SITE, ADJACENT PROPERTY, AND THE WORK.
20. WHEN THE MOISTURE CONTENT OF SOIL PROPOSED FOR USE AS COMPACTED FILL MATERIAL IS MORE THAN THE LIMIT SPECIFIED, IT SHALL NOT BE USED UNLESS AND UNTIL THE MOISTURE CONTENT HAS BEEN REDUCED TO THE ACCEPTABLE AMOUNT. WHEN THE MOISTURE CONTENT IS BELOW THE LIMIT SPECIFIED, APPROPRIATE AMOUNTS OF WATER SHALL BE ADDED AND BLENDED UNIFORMLY THROUGHOUT THE MATERIAL. SOILS HAVING MOISTURE CONTENTS ABOVE OR BELOW THE SPECIFIED LIMITS SHALL NOT BE INCORPORATED INTO THE WORK.
21. THE CONTRACTOR SHALL CLEAN AND REPAIR SILT FENCES, INLET FILTERS AND ALL OTHER BMPs INSTALLED DURING CONSTRUCTION AND LEAVE ENTIRE JOB SITE CLEAN AND SMOOTH WITH NO AREAS THAT WILL POND WATER.

**BENCHMARKS** (DATUM: NAVD88)  
 MILITARY GRID REFERENCE SYSTEM (MGRS) BENCHMARK  
 BENCHMARK NUMBER: JA-134  
 ELEVATION= 969.81  
 DATUM: NAVD88



Rev.	Date	Description	By	App.



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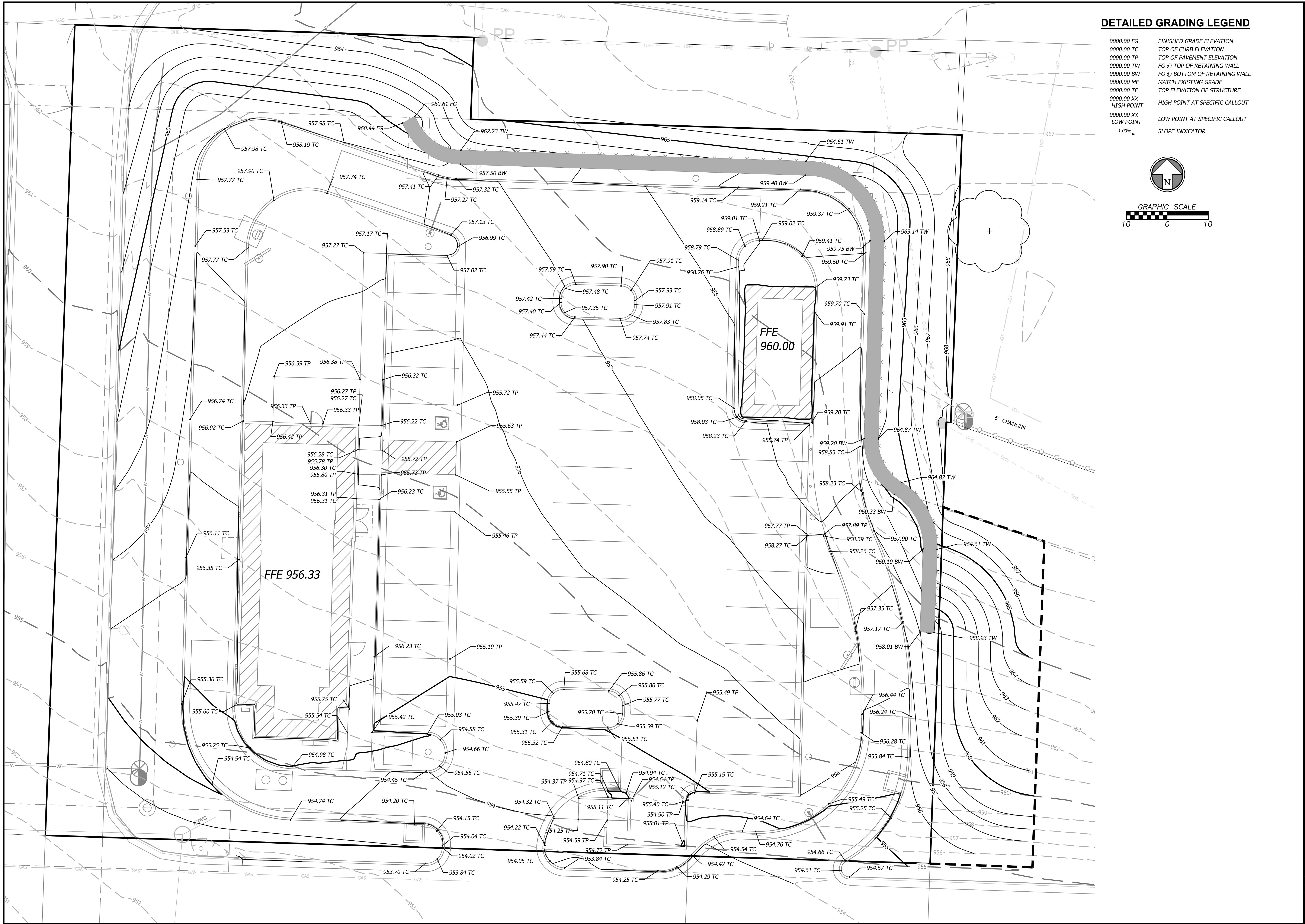
Prepared For:  
 FIRST STREET DEVELOPMENT  
 4455 E CAMELBACK ROAD  
 BUILDING C 241  
 PHOENIX, ARIZONA 85018  
 602-714-3099

**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**GRADING PLAN**

Design: MGG | Drawn: MGG  
 Checked: JDO  
 Issue Date: 04/23/2019  
 Project Number: 026040.08

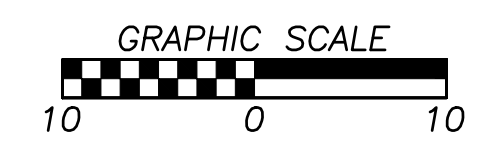
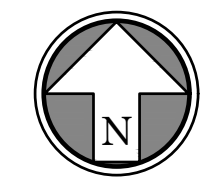
**C4.1**

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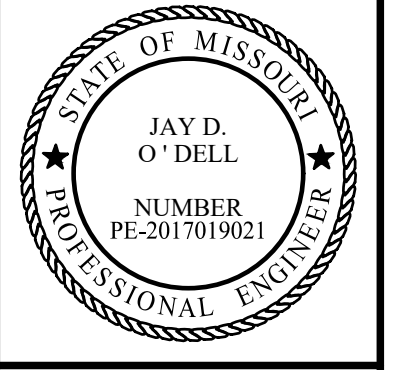


**DETAILED GRADING LEGEND**

- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT AT SPECIFIC CALLOUT
- 0000.00 XX LOW POINT AT SPECIFIC CALLOUT
- 1.00% SLOPE INDICATOR



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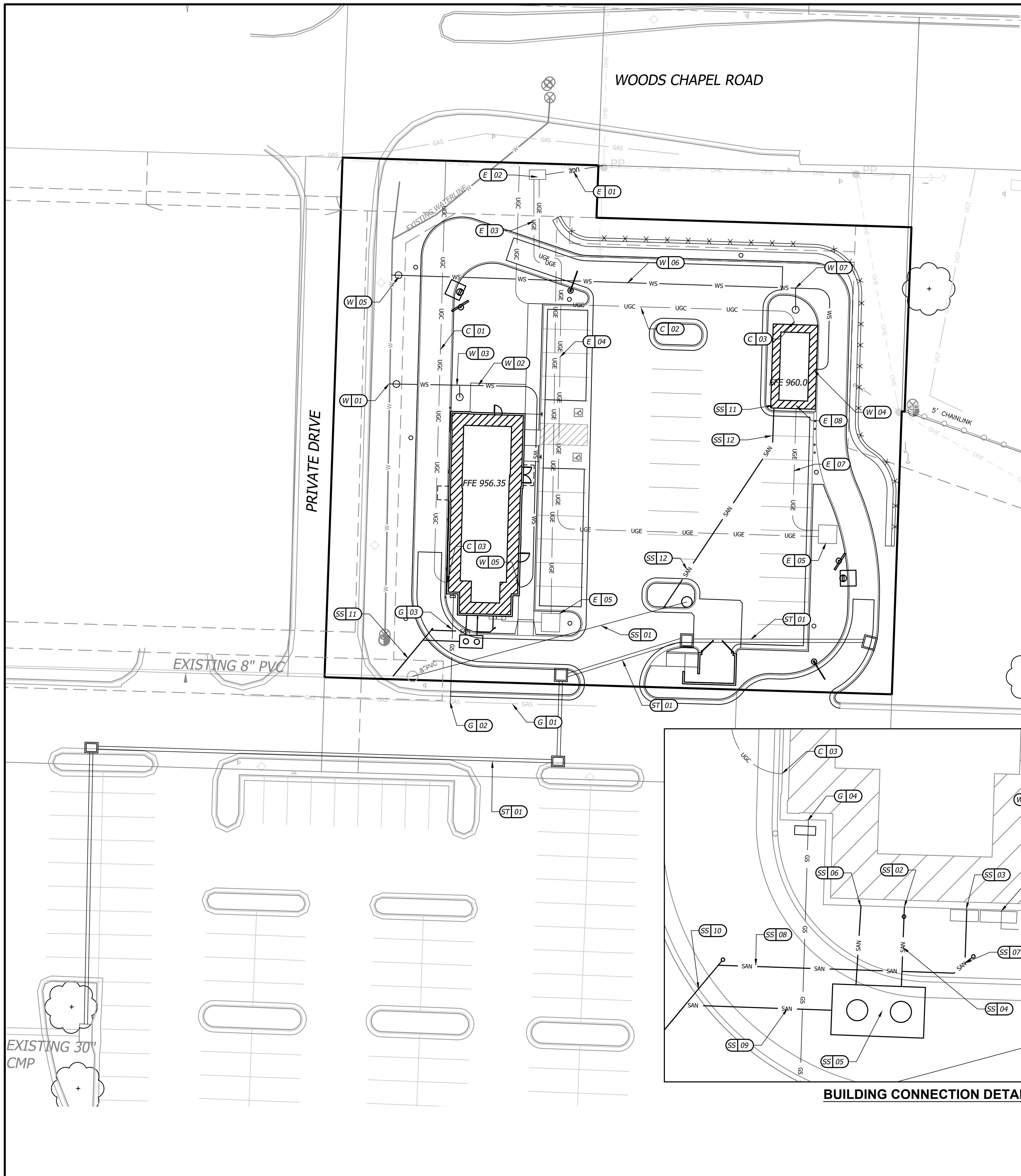
Prepared For:  
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 4455 E CAMELBACK ROAD  
 BUILDING C 241  
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 602-714-3099

**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**DETAILED GRADING PLAN**

Design: MGG Drawn: MGG  
 Checked: JDO  
 Issue Date: 04/23/2019  
 Project Number: 026040.08

**C4.2**

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**CONSTRUCTION NOTES**

**W - WATER SERVICE INFORMATION - LEES SUMMIT WATER**  
 01 1" DOMESTIC WATER METER FOR TACO BELL SERVICE  
 02 133 LF OF 1 1/2" TYPE K COPPER TO TACO BELL BUILDING  
 03 TEE AND INSTALL 1" IRRIGATION METER.  
 04 CONNECT TO BUILDING SERVICE LINES. REFER TO PLUMBING PLANS  
 05 1" DOMESTIC WATER METER FOR COFFEE SHOP SERVICE  
 06 199 LF OF 1" TYPE K COPPER TO COFFEE SHOP BUILDING  
 07 TEE AND INSTALL 1" IRRIGATION METER.

**E - ELECTRIC SERVICE INFORMATION - KANSAS CITY POWER & LIGHT (KCP&L)**  
 01 CONTRACTOR TO INSTALL 22 L.F. OF 4" CONDUIT FROM POLE TO SECTIONALIZER PAD .  
 02 CONTRACTOR TO CONSTRUCT SECTIONALIZER PAD.  
 03 CONTRACTOR TO INSTALL 171 L.F. OF 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED TACO BELL.  
 04 CONTRACTOR TO INSTALL 236 L.F. OF P 4" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE FROM SECTIONALIZER TO TRANSFORMER PAD FOR PROPOSED COFFEE SHOP.  
 05 INSTALL 3 PHASE PAD TRANSFORMER WITH BOLLARDS.  
 06 CONTRACTOR TO INSTALL 17 L.F. 3" CONDUIT AND CONDUCTOR FOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED TACO BELL.  
 07 CONTRACTOR TO INSTALL 56 L.F. 3" CONDUIT AND CONDUCTOR SECONDARY UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING FOR PROPOSED COFFEE SHOP.  
 08 CONNECT TO PROPOSED BUILDING SERVICE. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

**C - COMMUNICATION SERVICE INFORMATION**  
 01 CONTRACTOR TO INSTALL 164 L.F. COMMUNICATION CONDUIT FOR PROPOSED TACO BELL. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.  
 02 CONTRACTOR TO INSTALL 160 L.F. COMMUNICATION CONDUIT FOR PROPOSED COFFEE SHOP. COORDINATE W/ COMMUNICATION UTILITY PROVIDER.  
 03 CONNECT COMMUNICATIONS CONDUITS TO BUILDING. SEE ELECTRICAL PLANS FOR CONTINUATION INTO BUILDING.

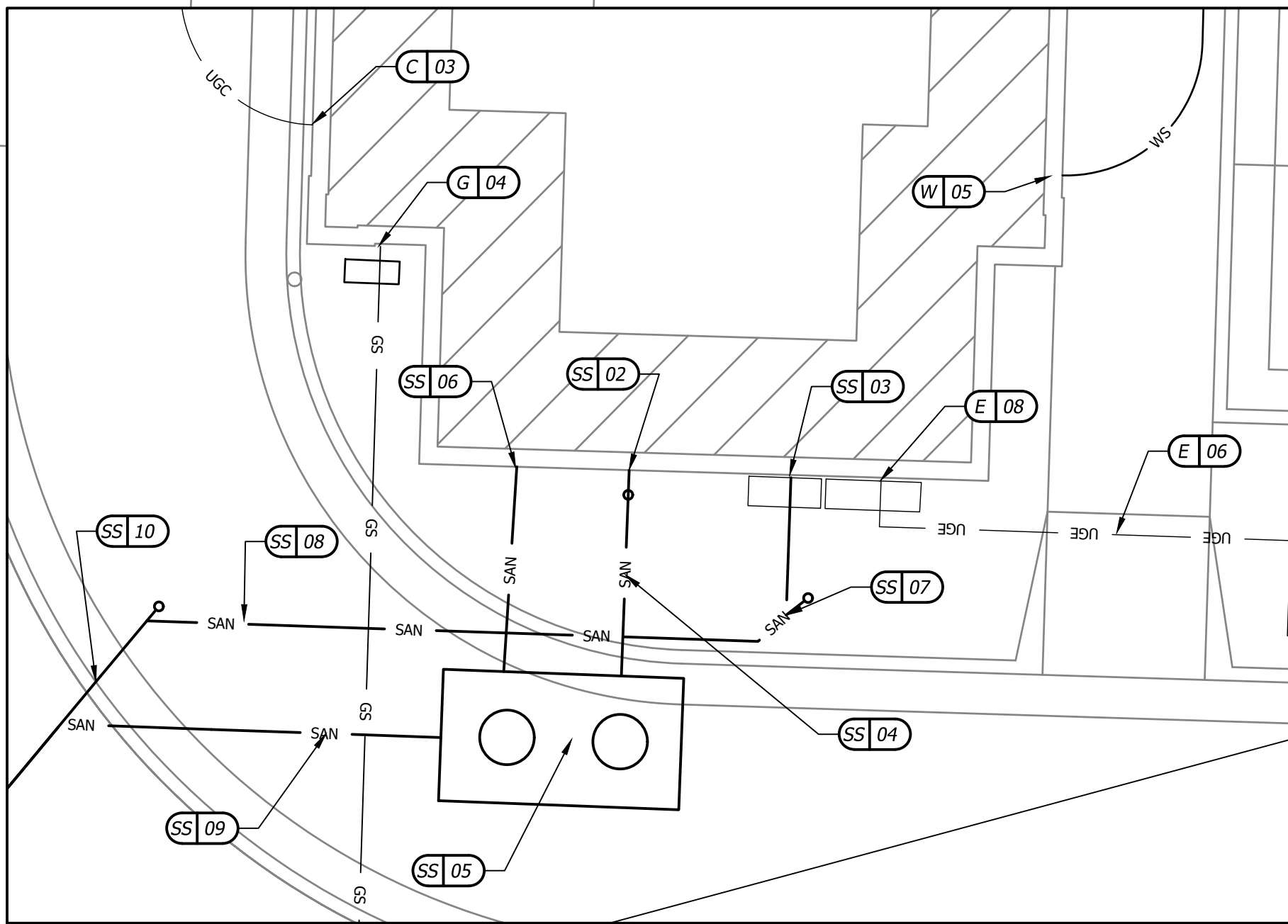
**G - GAS SERVICE INFORMATION - SPIRE ENERGY**  
 01 CONNECT 2" PVC CONDUIT TO BUILDING FOR GAS SERVICE TO TACO BELL  
 02 SPIRE ENERGY TO INSTALL CONDUIT AND MAKE TAP  
 03 PROPOSED GAS METER LOCATION

**ST - STORM SEWER INFORMATION**  
 01 PRIVATE STORM SEWER LINE. SEE SHEET C7.0

**SS - SANITARY SEWER INFORMATION**  
 01 PRIVATE 8" SEWER EXTENSION. SEE SHEET C5.1  
 02 CONNECT 4" SDR-26 PVC TO TACO BELL BUILDING FOR GREASE SERVICE. FL @ BUILDING = 952.35  
 03 CONNECT 4" SDR-26 PVC TO TACO BELL BUILDING FOR SANITARY SEWER SERVICE. FL @ BUILDING = 952.353  
 04 INSTALL 7.5 L.F. 4" SDR-26 PVC FROM BUILDING TO GREASE INTERCEPTOR @ 2.0% SLOPE. FL = 952.20  
 05 INSTALL 1000 GALLON GREASE INTERCEPTOR. FL IN = 952.20, FL OUT = 951.95  
 06 INSTALL 7.5 L.F. 2" VENT PIPE.  
 07 INSTALL 6.5 L.F. 4" SDR-26 PVC FROM BUILDING TO WYE CONNECTION @ 2.00% SLOPE. FL = 952.25  
 08 INSTALL 17.5 L.F. 4" SDR-26 PVC FROM WYE CONNECTION WITH CLEANOUT TO WYE CONNECTION WITH CLEANOUT @ 2.00% SLOPE. END FL = 952.22  
 09 INSTALL 4.3 L.F. 4" SDR-26 PVC @ 2.0% FROM GREASE INTERCEPTOR TO WYE CONNECTION. END FL = 951.67  
 10 INSTALL 17.72 LF 4" SDR-26 PVC @ 17.3% FROM GREASE/SANITARY CONNECTION TO TOP OF MAIN. TOP OF PIPE ELEVATION 948.61  
 11 CONNECT 4" SDR-26 PVC TO COFFEE SHOP BUILDING FOR SANITARY SEWER SERVICE. FL @ BUILDING = 956.00  
 12 INSTALL 13.7 L.F. 4" SDR-26 PVC @ 4.76% FROM BUILDING TO WYE WITH CLEANOUT. FL = 955.35  
 13 INSTALL 75.0 L.F. 4" SDR-26 PVC @ 4.76% WYE INTO 8" PRIVATE SEWER MAIN. TOP OF PIPE ELEVATION 951.77

**UTILITY NOTES**

- Contractor shall refer to all specifications, guidelines, and installation drawings from Lees Summit, Spire Energy, and KCP&L for the installation of all service lines.
- Contractor to ensure 12" minimum vertical separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.
- All utilities shall be installed in separate trenches unless otherwise specified



**BUILDING CONNECTION DETAIL**

Design: MGG	Drawn: MGG
Checked: JDO	
Issue Date: 04/23/2019	
Project Number: 026040.08	
<b>C5.0</b>	

Rev.	Date	Description	By	App.

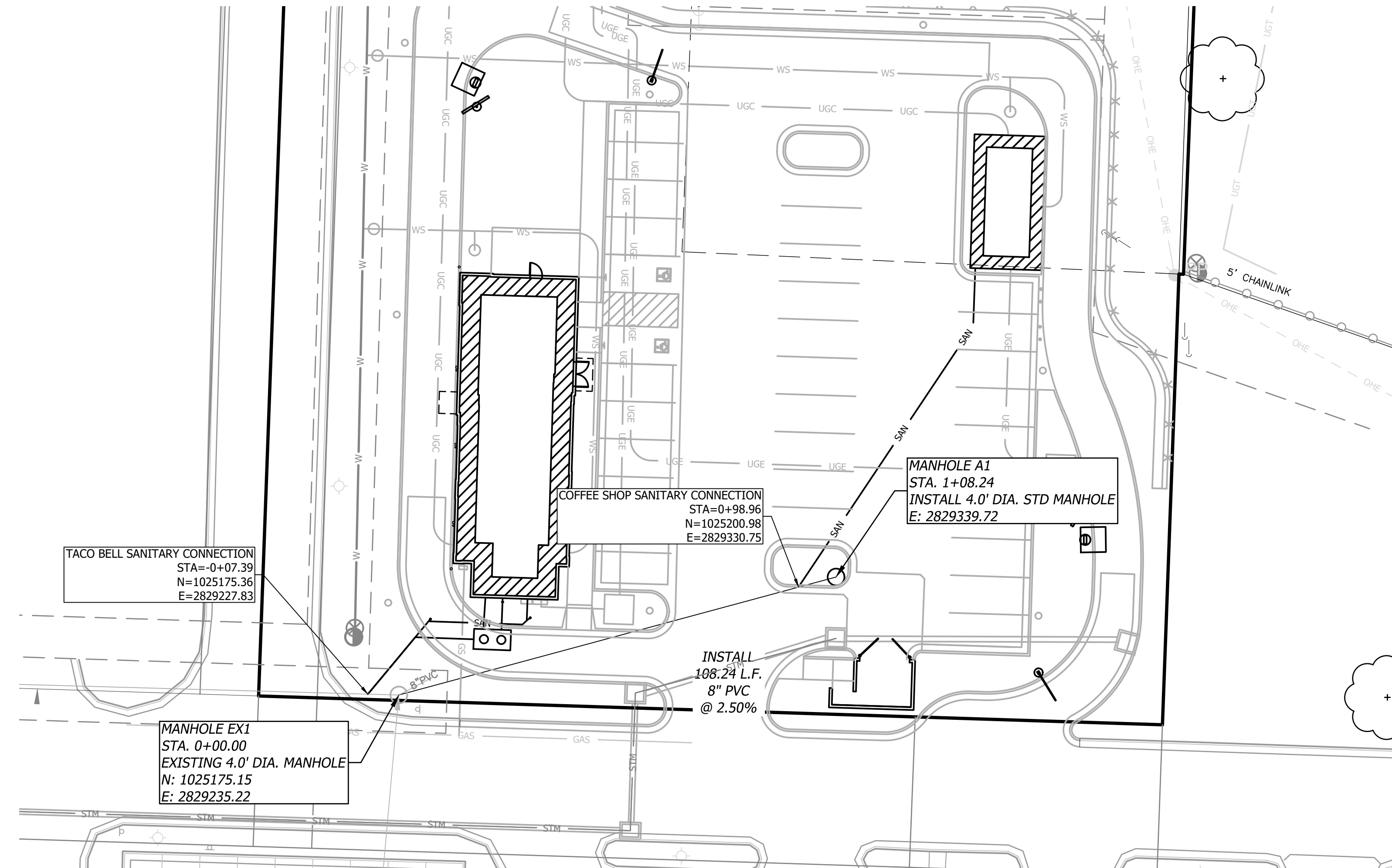
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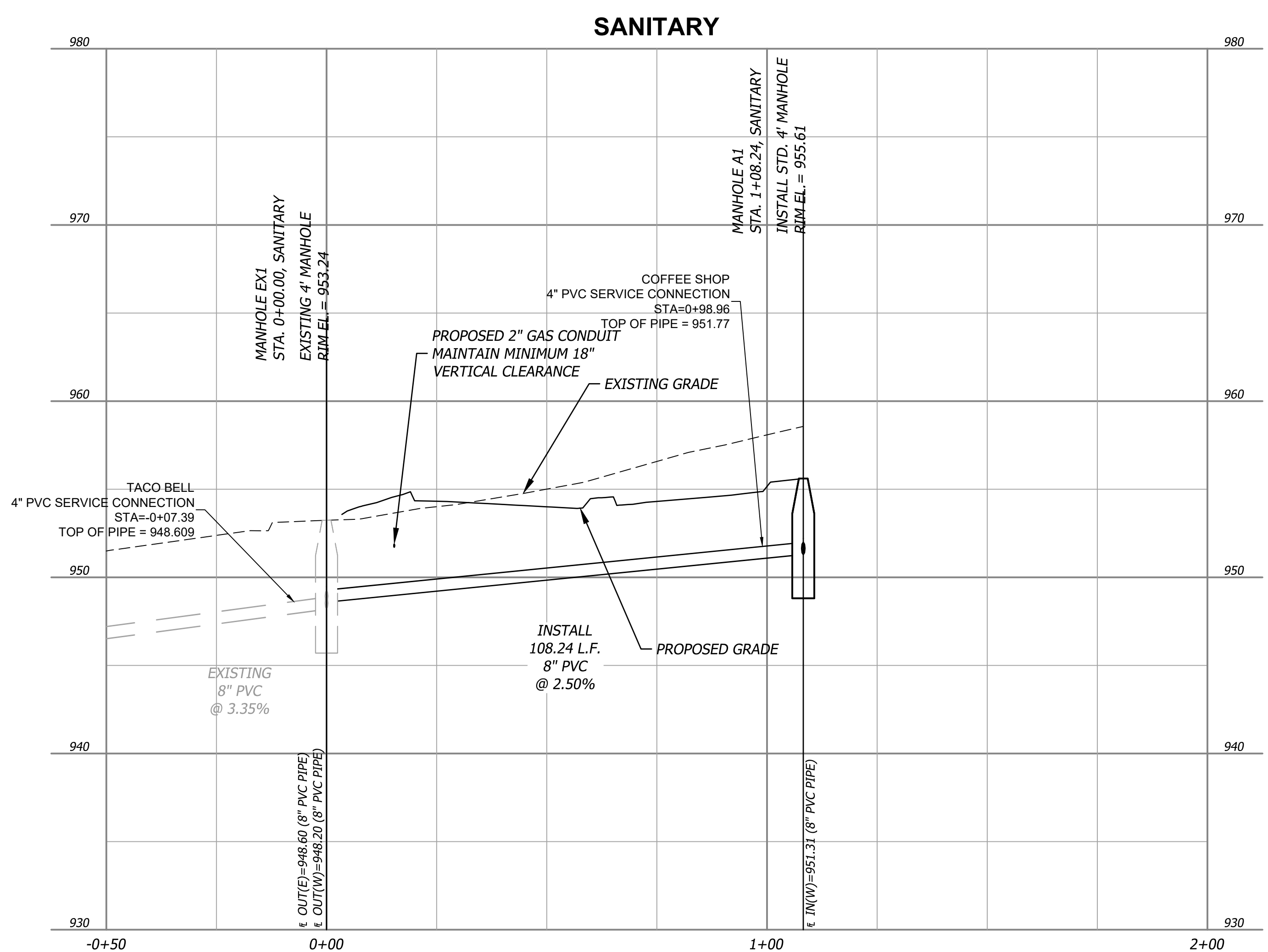
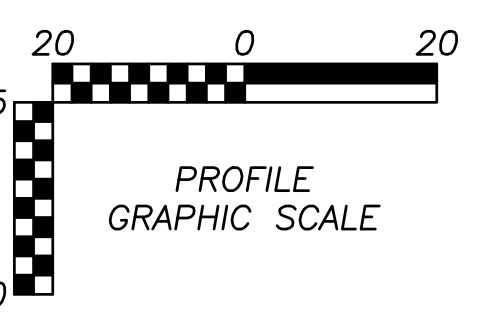
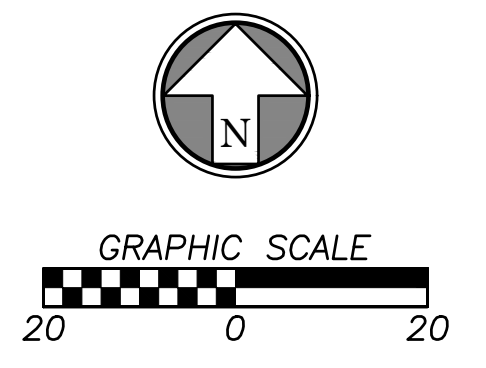
**TACO BELL  
 851 NE WOODS CHAPEL RD  
 LEES SUMMIT, MISSOURI  
 FINAL DEVELOPMENT PLAN  
 UTILITY PLAN**

May 02, 2019 - 12:59pm Plotted By: Jay Odell V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\FDP\_Sat\026040.08-SRIS-FDP-SSW.dwg Layout: Plan & Profile

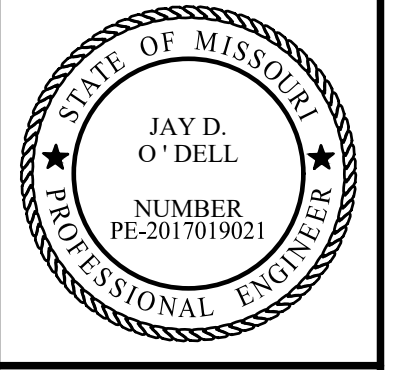


**SANITARY NOTES**

1. ALL NORTHINGS, EASTINGS, AND ALIGNMENT STATIONING FOR STORM STRUCTURES ARE TO CENTER OF STRUCTURE UNLESS STATED OTHERWISE.
2. ALL CONSTRUCTION SHALL BE ACCORDING TO THE CITY OF LEE'S SUMMIT'S SANITARY SEWER MAIN CONSTRUCTION STANDARDS
3. SEE SHEET C9.3 FOR SANITARY MANHOLE DETAILS



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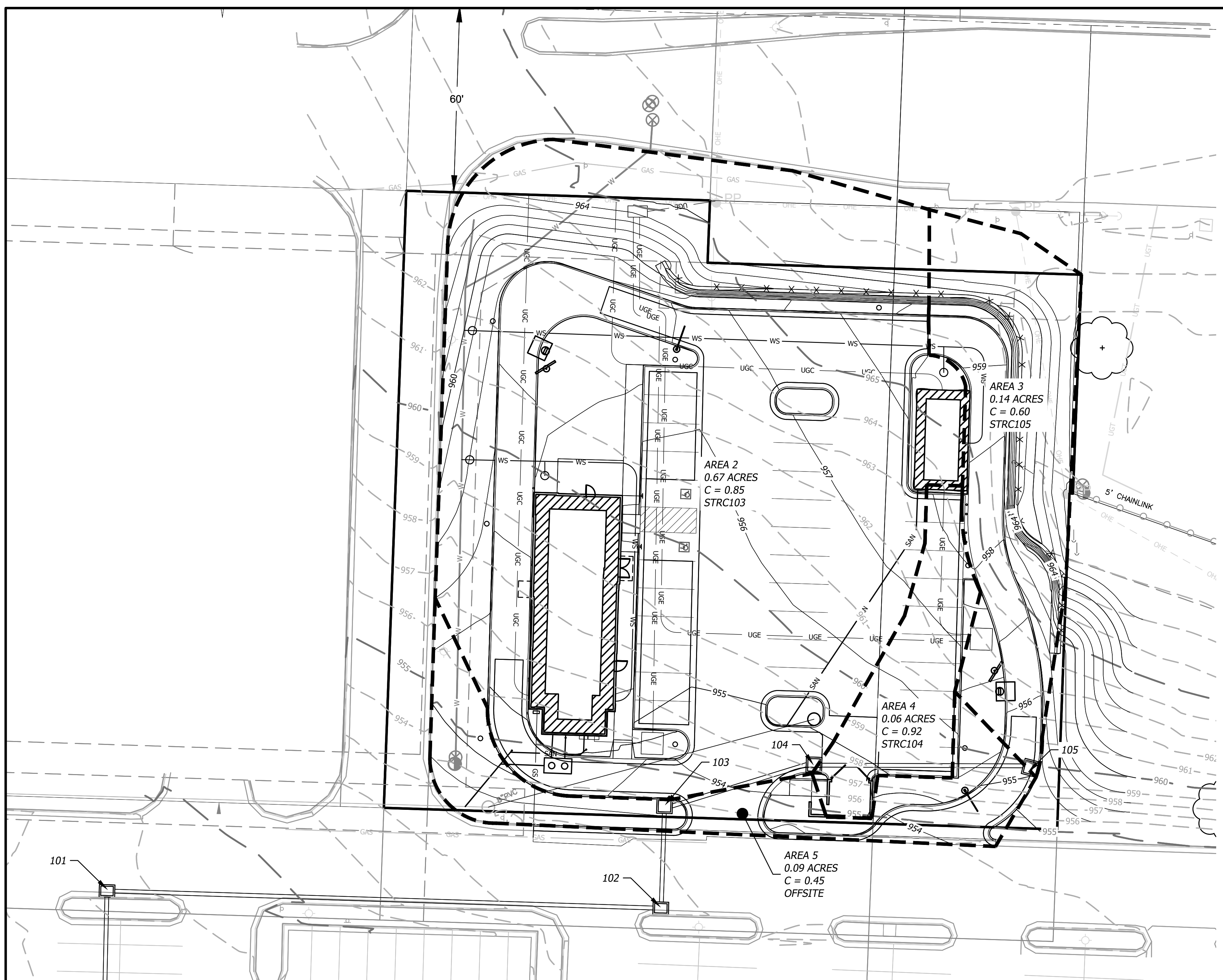
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**TACO BELL  
 851 NE WOODS CHAPEL RD  
 LEES SUMMIT, MISSOURI  
 FINAL DEVELOPMENT PLAN  
 SANITARY PLAN AND PROFILE**

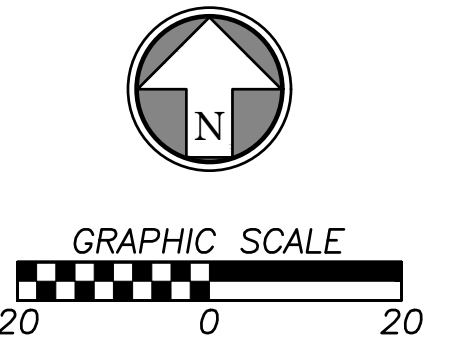
Design: MGG | Drawn: **MGG**  
 Checked: JDO  
 Issue Date: 04/23/2019  
 Project Number: 026040.08

**C5.1**

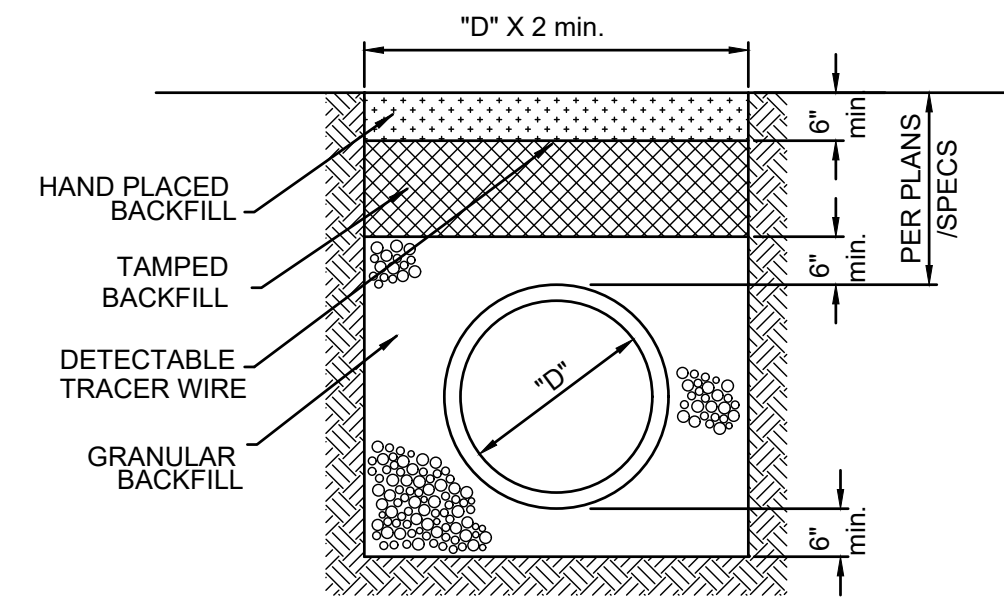
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- ### STORM NOTES
- UNDERGROUND STORM PIPE SYSTEM DESIGNED TO CARRY MINIMUM 10 YEAR 24 HOUR STORM EVENT USING INTENSITY VALUE GIVEN BY NOAA ATLAS 14 ( $i=3.40$  for  $T_c = 5$  min).
  - ALL STORM CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CITY OF LEE'S SUMMIT SPECIFICATIONS.
  - PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURE OR TO THE END OF FLARED END SECTION OR TO THE END OF PIPE (WHERE APPLICABLE). ALL PIPES SHALL BE FIELD STAKED TO THE INSIDE WALL FACE OF THE STRUCTURE.
  - ALL PIPE SHALL BE PLACED IN TRENCH CONDITIONS. PLACE A MINIMUM OF 6 INCHES OF FILL OVER PROPOSED PIPE BEFORE TRENCHING AND PIPE INSTALLATION. PROPOSED BACKFILL SHALL BE PLACED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
  - UTILITY LINES AND STRUCTURES IN FILL AREAS BELOW PIPE GRADE SHALL NOT BE CONSTRUCTED UNTIL ALL CONSOLIDATION OF THE FILL IS COMPLETE AND SO APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER.
  - ALL CURB INLETS AND OTHER STRUCTURE SET AT LOW POINTS ARE TO BE SET LEVEL. ALL OTHER CURB INLETS ARE TO BE SET WITH THE GRADE OF THE TOP OF CURB OR PAVEMENT.
  - PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED CONCRETE INVERT FROM INVERT IN TO INVERT OUT.
  - THE LIDS OF ALL PRECAST STRUCTURES SHALL BE GROUTED TO THE TOP OF THE WALLS
  - NORTHING AND EASTINGS SHOWN ARE CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
  - ALL HDPE PIPE SHALL BE ADS N-12, OR APPROVED EQUAL, MEETING AASHTO M294, TYPE S OR ASTM F2306. THE PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. PIPE JOINTS SHALL BE JOINTED USING A BELL & SPIGOT JOINT MEETING AASHTO M252, AASHTO M294 OR ASTM F2306. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
  - FITTINGS FOR PLASTIC PIPE SHALL CONFORM TO AASHTO M252, AASHTO M294, OR ASTM F2306 ALL WYES SHALL BE DUAL WALL WYES CONSISTENT WITH THE ADS N-12 PIPE WATERTIGHT CONNECTIONS.



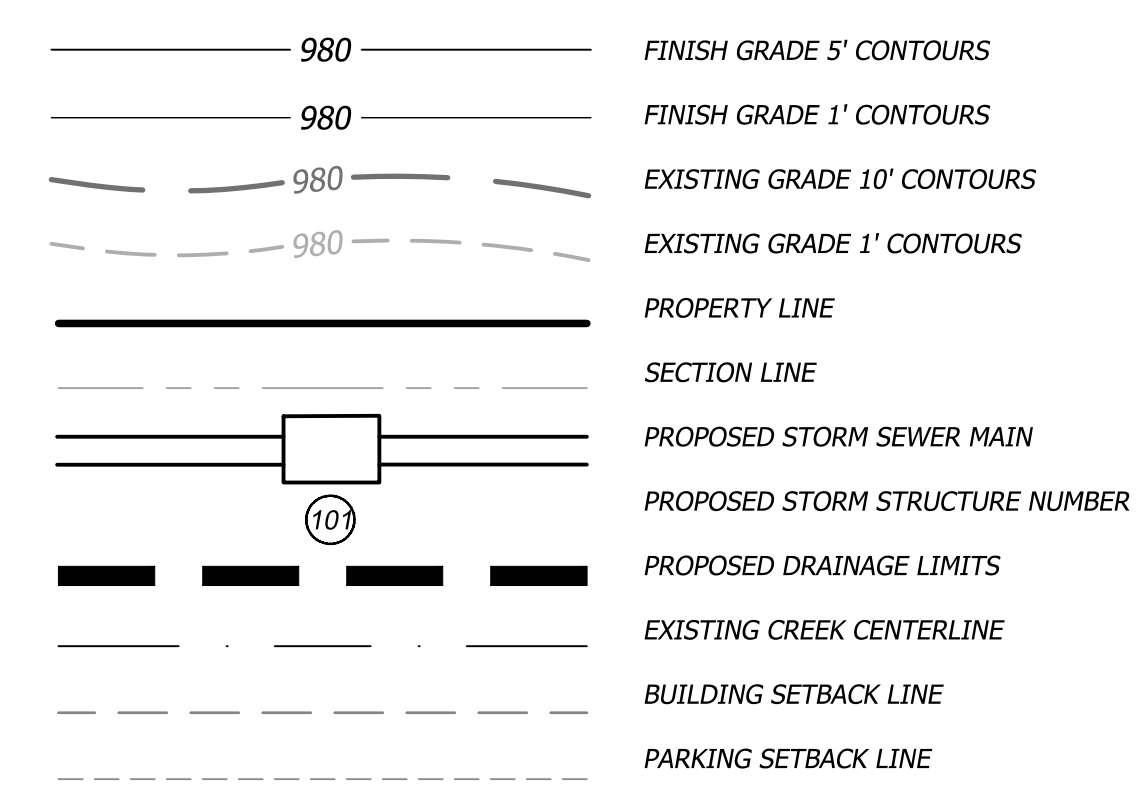
### STORM TRENCH DETAILS



### CLASS B (FLEXIBLE OR SEMI-FLEXIBLE PIPE)

- NOTES:
- SEE SPECIFICATIONS FOR MATERIAL AND COMPACTION REQUIREMENTS.
  - TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED PER SPECIFICATIONS.
  - HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED PER SPECIFICATIONS. ALL PIPE SHALL BE INSPECTED PRIOR TO BACKFILL.
  - ALL PIPE COVERED PRIOR TO INSPECTION SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE.

### LEGEND



Runoff Calculations															Pipe Properties											
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	To	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlets	Up Piped Inlets	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.
Design Storm: 10 "K" Value: 1.00 "F" Factor: 1.00															DS TAILWATER @ STR #EX											
LINE 100																										
EX1	0.00	0.95	0.87	0.71	6.3	7.35	0.00	5.21	40.05	8.16	0.00	0.00	0.00	0.00	EX1	EX	CMP	0.017	30	60.98	1.63	1.25	943.00	942.01	947.99	943.89
101	0.00	0.95	0.87	0.71	5.9	7.35	0.00	5.21	6.06	4.94	0.00	0.00	0.00	0.00	101	EX1	PEP	0.012	15	108.81	0.75	0.33	945.07	944.25	948.68	946.22
102	0.00	0.95	0.87	0.71	5.4	7.35	0.00	5.21	7.79	6.35	0.00	0.00	0.00	0.00	102	101	PEP	0.012	15	177.76	1.24	0.50	947.60	945.40	952.84	948.75
103	0.67	0.85	0.87	0.71	5.3	7.35	4.19	5.21	7.00	5.70	0.00	0.00	0.00	0.00	103	102	PEP	0.012	15	32.93	1.00	0.50	948.43	948.10	954.12	949.58
104	0.06	0.92	0.20	0.14	5.2	7.35	0.41	1.02	7.00	5.70	0.00	0.00	0.00	0.00	104	103	PEP	0.012	15	49.70	1.00	0.50	949.43	948.93	954.60	949.97
105	0.14	0.60	0.14	0.08	5.0	7.35	0.62	0.62	7.00	5.70	0.00	0.00	0.00	0.00	105	104	PEP	0.012	15	69.56	1.00	N/A	950.63	949.93	955.13	951.05
Design Storm: 100 "K" Value: 1.25 "F" Factor: 1.00															DS TAILWATER @ STR #EX											
LINE 100																										
EX1	0.00	0.95	0.87	0.71	6.3	10.31	0.00	9.13	40.05	8.16	0.00	0.00	0.00	0.00	EX1	EX	CMP	0.017	30	60.98	1.63	1.25	943.00	942.01	947.99	944.20
101	0.00	0.95	0.87	0.71	5.9	10.31	0.00	9.13	6.06	4.94	0.00	0.00	0.00	0.00	101	EX1	PEP	0.012	15	108.81	0.75	0.33	945.07	944.25	948.68	947.73
102	0.00	0.95	0.87	0.71	5.4	10.31	0.00	9.13	7.79	6.35	0.00	0.00	0.00	0.00	102	101	PEP	0.012	15	177.76	1.24	0.50	947.60	945.40	952.84	951.19
103	0.67	0.85	0.87	0.71	5.3	10.31	7.34	9.13	7.00	5.70	0.00	0.00	0.00	0.00	103	102	PEP	0.012	15	32.93	1.00	0.50	948.43	948.10	954.12	952.19
104	0.06	0.92	0.20	0.14	5.2	10.31	0.71	1.79	7.00	5.70	0.00	0.00	0.00	0.00	104	103	PEP	0.012	15	49.70	1.00	0.50	949.43	948.93	954.60	952.24
105	0.14	0.60	0.14	0.08	5.0	10.31	1.08	1.08	7.00	5.70	0.00	0.00	0.00	0.00	105	104	PEP	0.012	15	69.56	1.00	N/A	950.63	949.93	955.13	952.27

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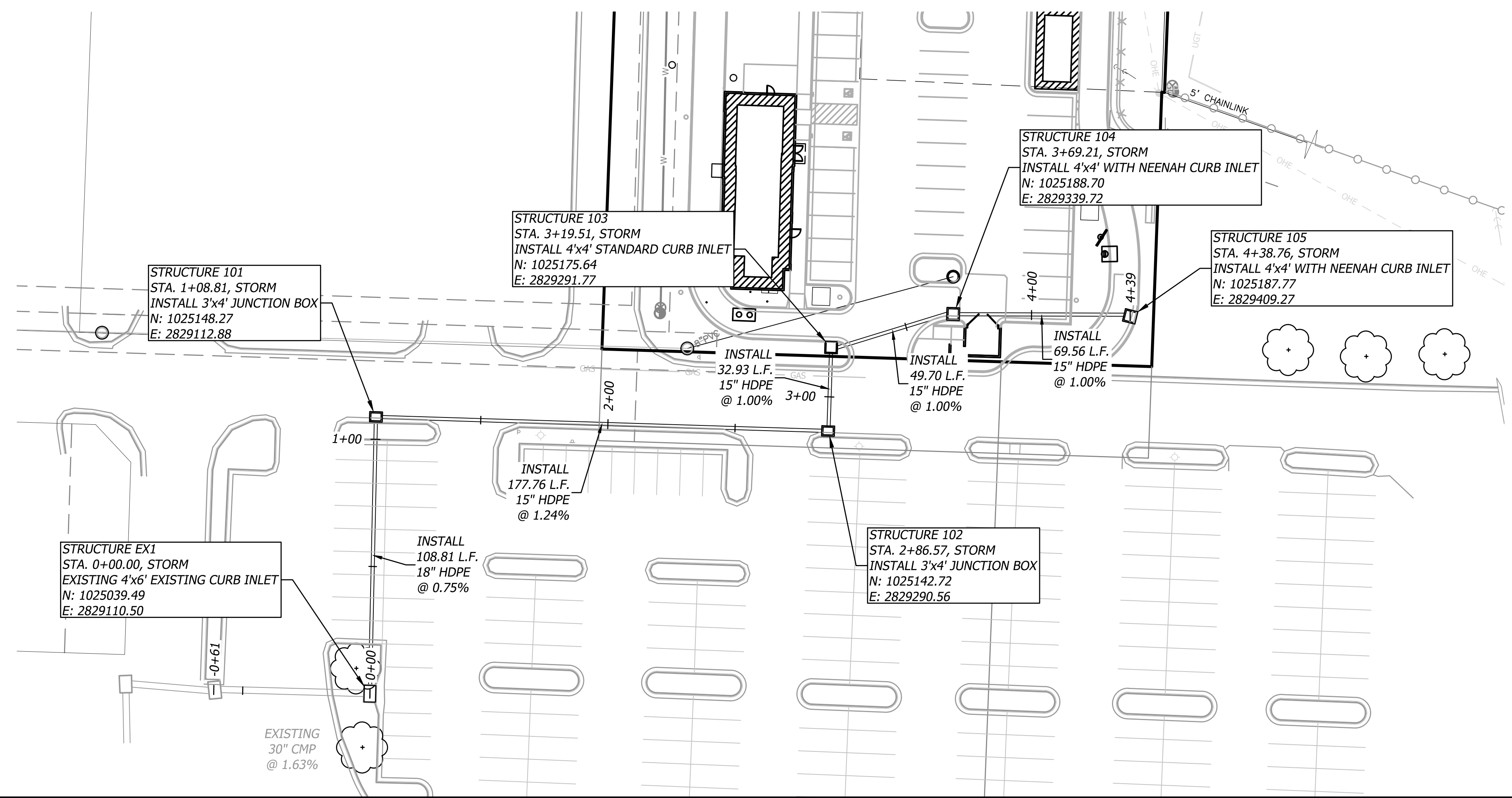
Prepared For:  
 FIRST STREET DEVELOPMENT  
 4455 E CAMELBACK ROAD  
 BUILDING C 241  
 PHOENIX, ARIZONA 85018  
 602-714-3099

**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**DRAINAGE MAP**

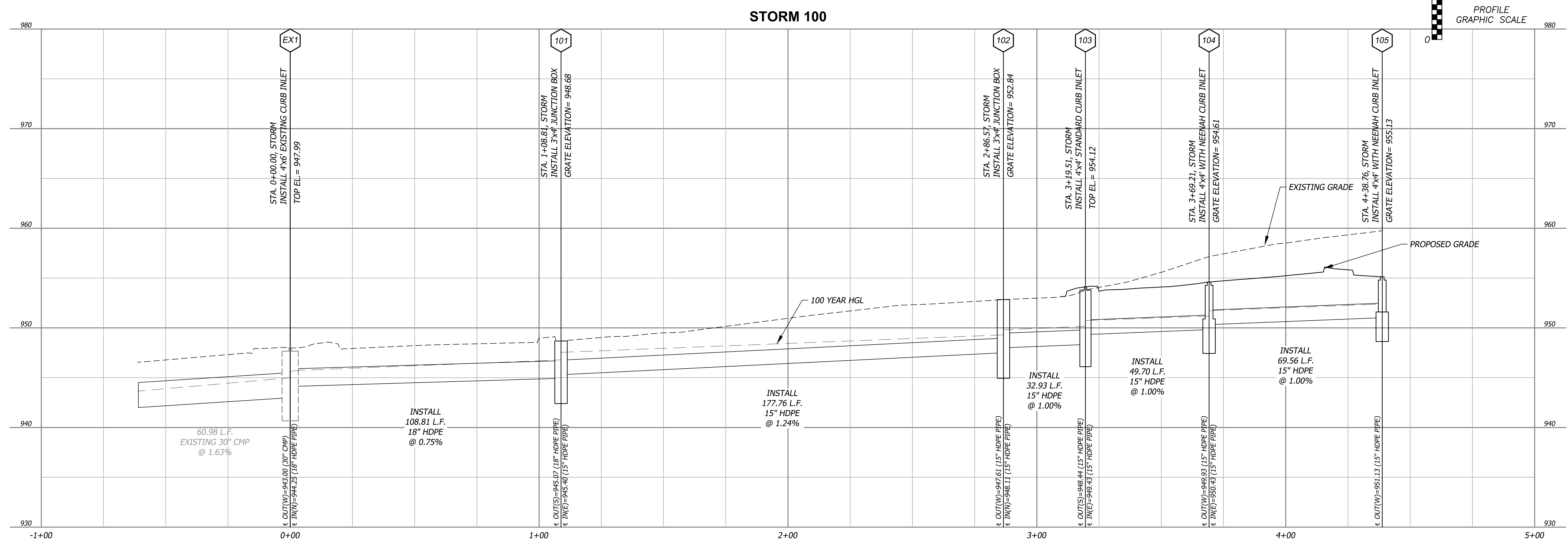
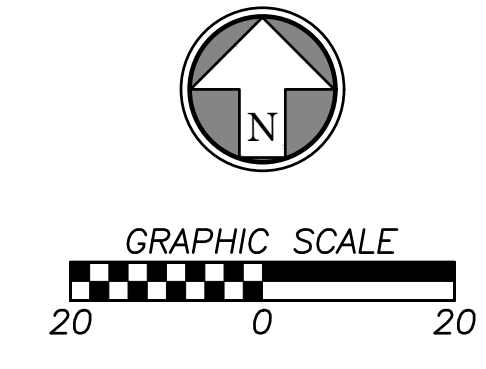
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 Project Number: 026040.08

# C6.0

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**STORM NOTE**  
 ALL NORTHINGS, EASTINGS, AND ALIGNMENT STATIONING FOR STORM STRUCTURES ARE TO CENTER OF STRUCTURE UNLESS STATED OTHERWISE.



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**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**PLAN AND PROFILE**

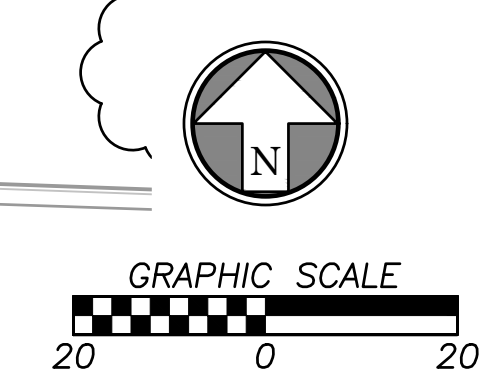
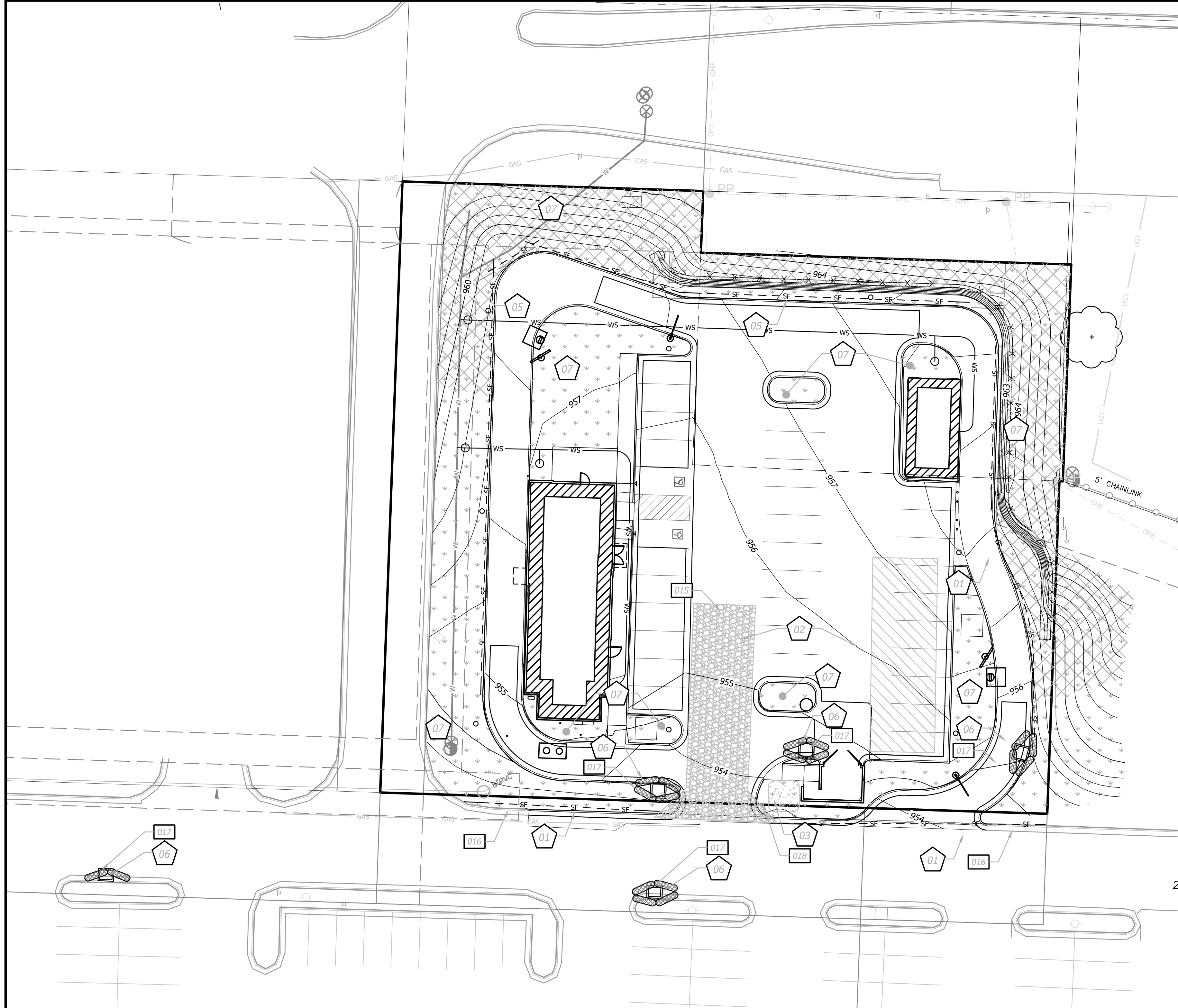
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 Project Number: 026040.08

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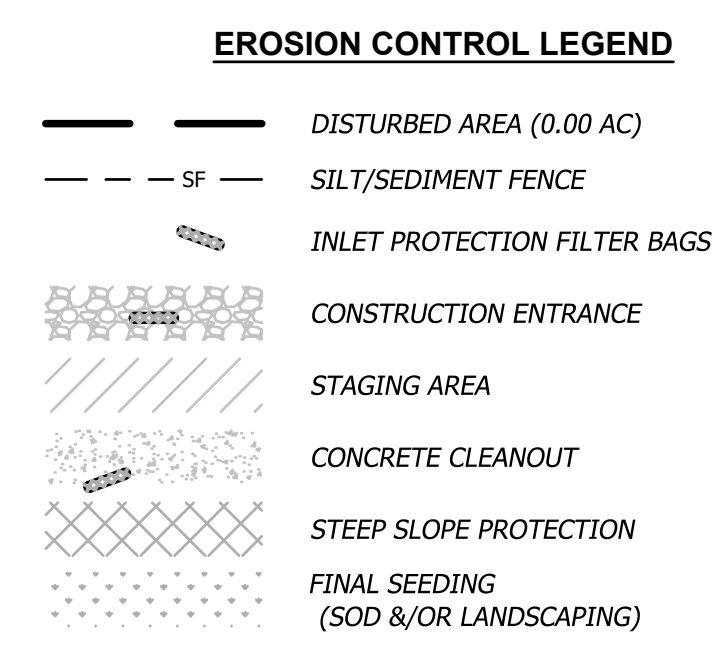
**EROSION AND SEDIMENT CONTROL GENERAL NOTES**

- Prior to Land Disturbance activities, the contractor shall:
  - Delineate the outer limits of any natural stream corridor designated with construction fencing.
  - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
  - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City Inspector and in conformance with the erosion and sediment control plan.
- The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:
  - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
  - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
    - During active construction phases - at least once per week
    - During periods of inactivity - at least once per 14 days
    - After each rainfall event of 1/2 inch or more - within 24 hours of the rain event
  - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
  - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
- Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
- The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
- Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
- Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.



**EROSION & SEDIMENT CONTROL STAGING CHART**

Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Concrete Entrance & Staging Area	D	Place as shown on plan
		03	Concrete Wash-Out	D	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence (See Note 9)	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	D	Place as shown on plan
Phase III (POST-CON)	E - Final Grading, Paving & Landscaping	07	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site. (RE: L1.1 Landscape Plan for the stormwater treatment facility)

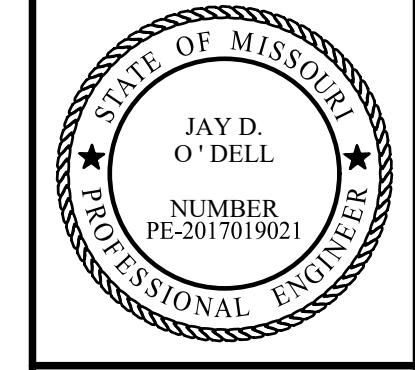


**000 DETAILS**

SEE EROSION CONTROL DETAIL SHEETS FOR THE FOLLOWING

015	CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (SHEET C8.1)
016	EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS (SHEET C8.2)
017	CURB INLET PROTECTION (SHEET C8.3)
018	FILTER FABRIC SILT FENCE (SHEET C9.2)

Rev.	Date	Description	By	App.



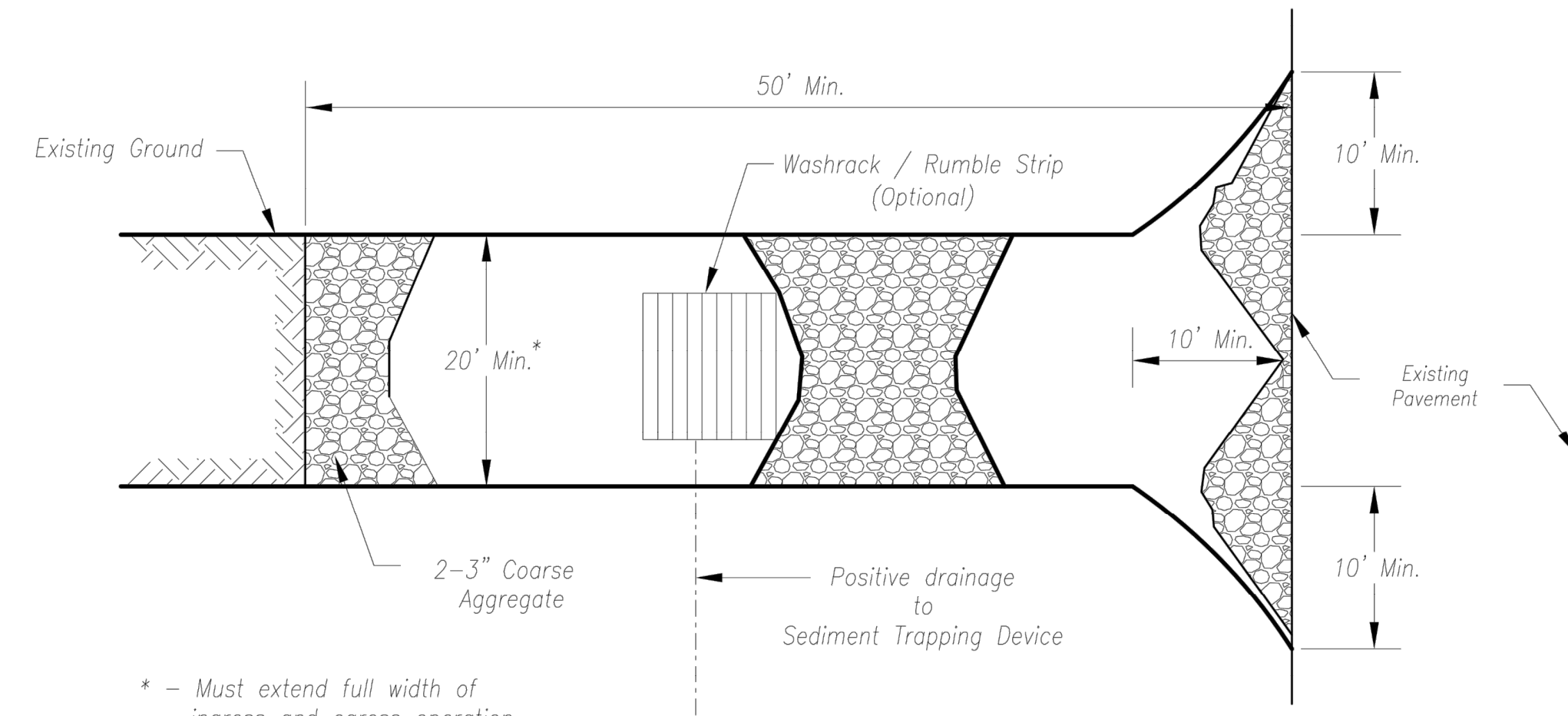
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**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**EROSION CONTROL PLAN**

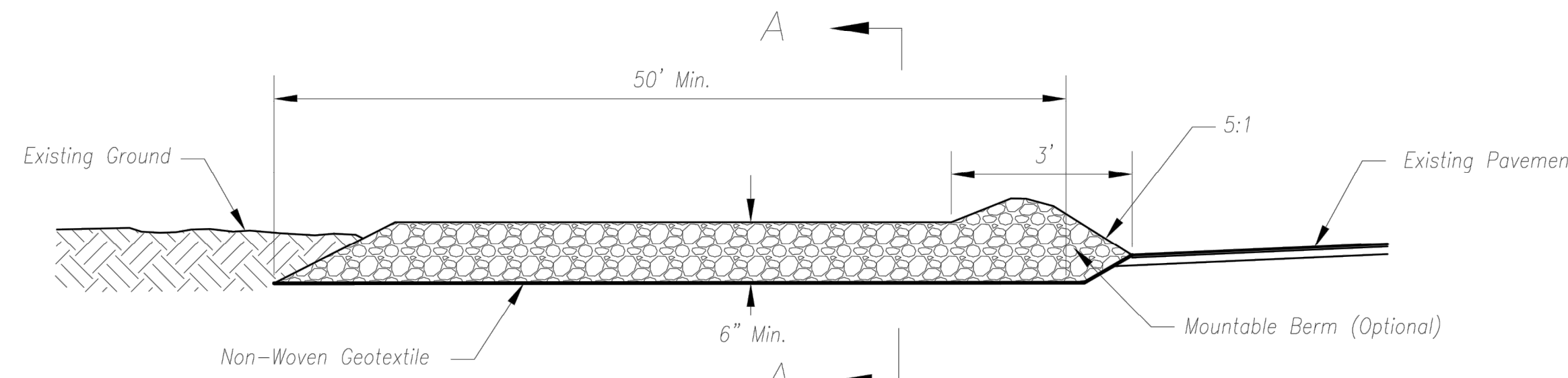
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 Project Number: 026040.08

**C8.0**

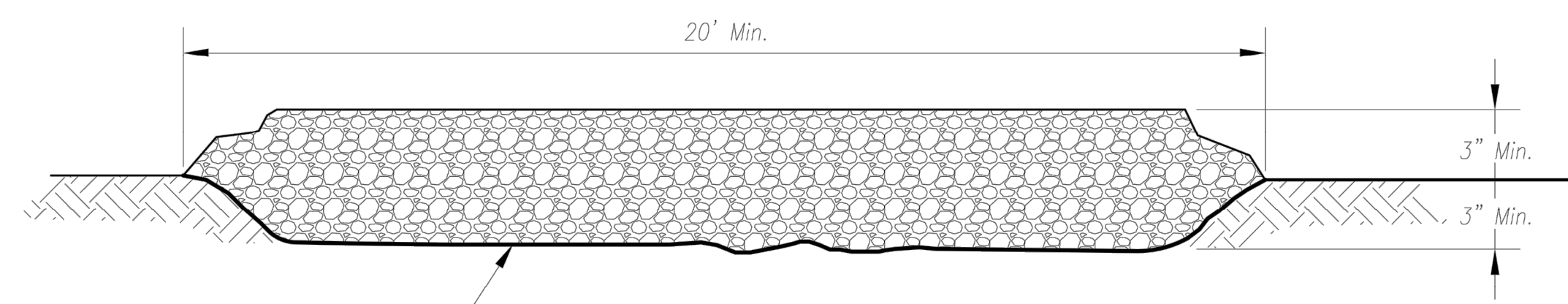


\* - Must extend full width of ingress and egress operation

**Plan View**  
Not to Scale



**Side Elevation**  
Not to Scale



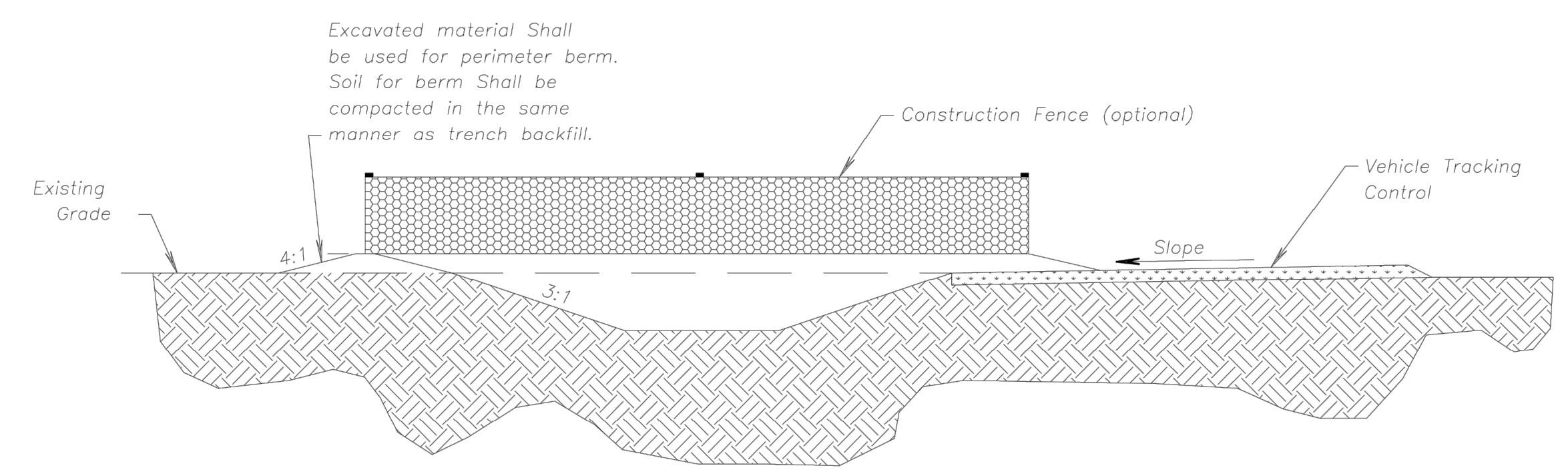
**Section A-A**  
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**Notes for Concrete Washout:**

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

**Maintenance for Concrete Washout:**

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



**CONCRETE WASHOUT**

**Notes for Construction Entrance:**

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

**Maintenance for Construction Entrance:**

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

**CONSTRUCTION ENTRANCE**

**AMERICAN PUBLIC WORKS ASSOCIATION**  
Kansas City Metro Chapter  
**APWA**  
AMERICAN PUBLIC WORKS ASSOCIATION

**CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT**

**STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016**

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Rev.	Date	Description	By	App.



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PHOENIX, ARIZONA 85018  
602-714-3099

**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**EROSION CONTROL DETAILS**

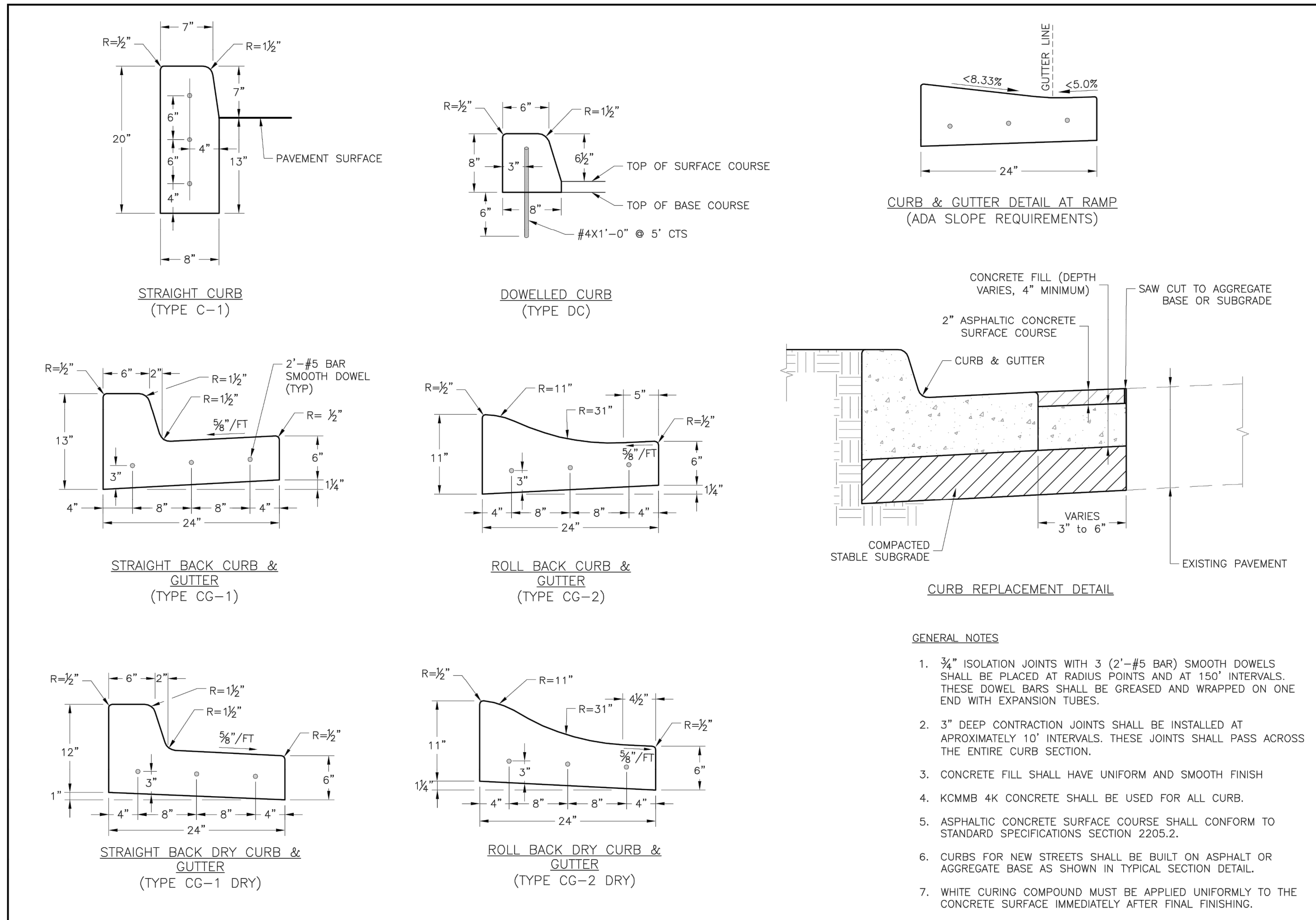
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Issue Date: 04/23/2019  
Project Number: 026040.08

**C8.1**



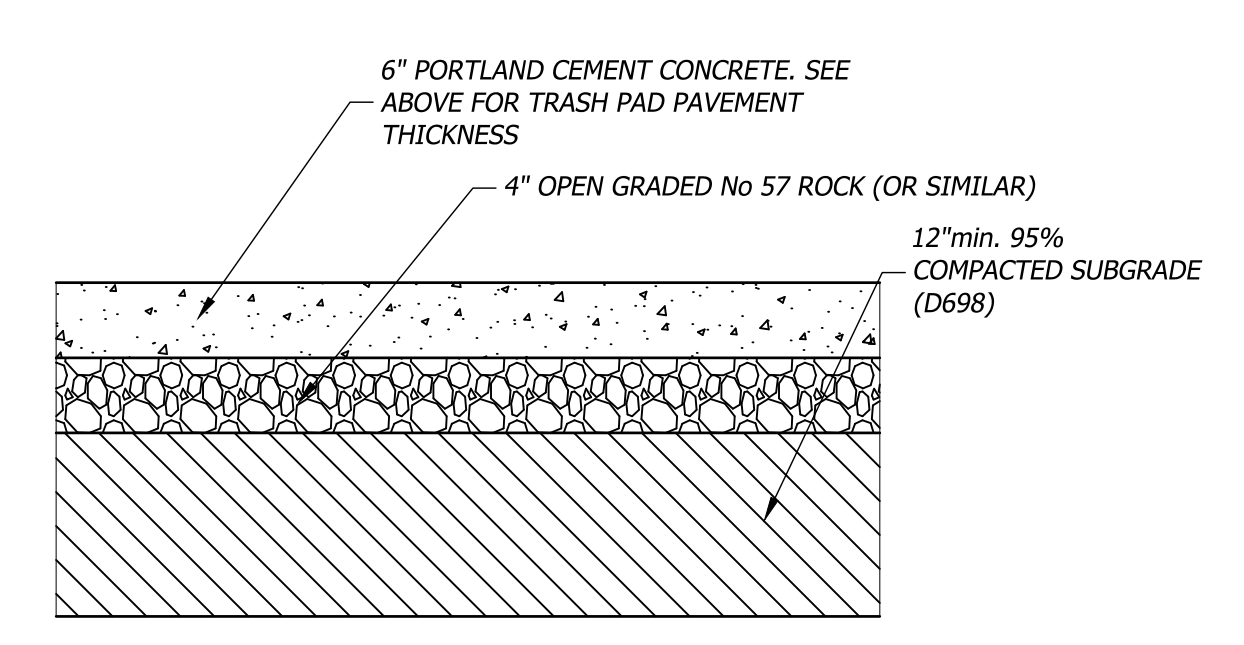


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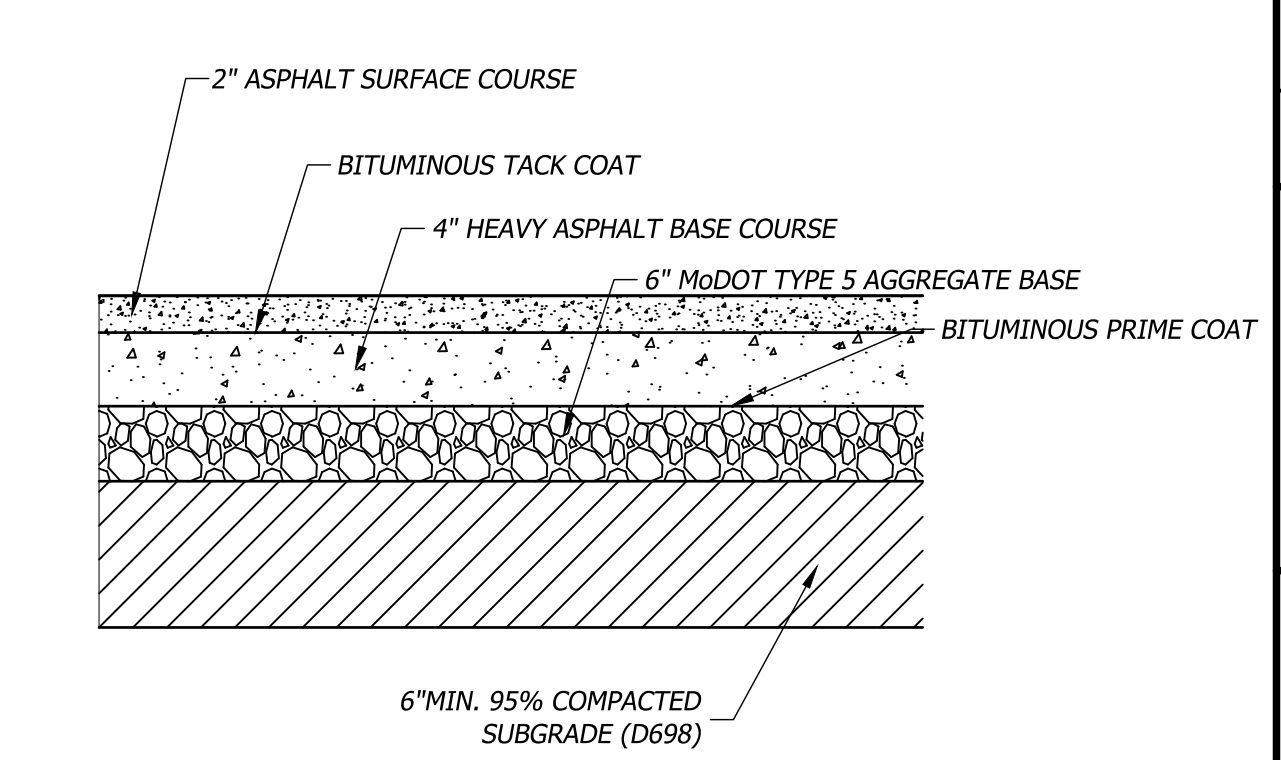
**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 S. GREEN STREET | LEE'S SUMMIT, MO 64683  
 STANDARD DETAILS  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT, JACKSON COUNTY, MO  
 CURB & GUTTER DETAIL  
**001**  
 Drawn By: MFP  
 Checked By: DL  
 Date: 04/23/2019  
 Proj. #: GEN-4

**NOTES:**  
 1. CONTROL JOINT SPACING SHALL MATCH WIDTH OF SIDEWALK/DRIVE.  
 2. ISOLATION JOINTS SHALL BE PLACED @ 250' CENTERS OR WHERE WALKS ABUT CURBS, BUILDINGS, ETC....  
 3. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.  
 4. TRASH PAD TO HAVE 7" THICK PCC.  
 5. MoDOT 3500 PSI AT 28 DAYS, 4-INCH MAXIMUM SLUMP AND 5%-7% AIR ENTRAINED, MIX.

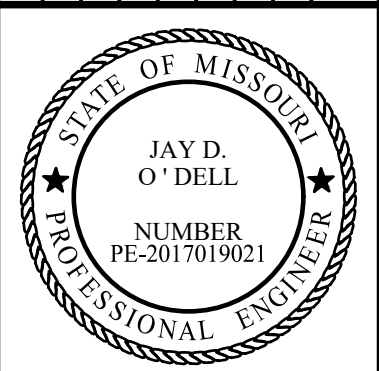


**002**

**NOTES:**  
 1. SHOP DRAWINGS FOR ASPHALT SHALL BE SUBMITTED PRIOR TO BATCHING. DENSITY TESTING FOR ASPHALT SHALL BE AT A MINIMUM OF 3 PER LIFT PER DAY DURING THE ASPHALT LAYING OPERATION. FINAL THICKNESS OF ASPHALT SHALL BE MEASURED AT 3 RANDOM LOCATIONS WITHIN THE SITE BY CORING THE PAVEMENT. THE AVERAGE OF THESE 3 CORES MUST BE GREATER THAN THE MINIMUM THICKNESS SPECIFIED IN THE PLANS.  
 2. ASPHALT PAVEMENT CONSTRUCTION SHALL ONLY COMMENCE WHEN AMBIENT TEMPERATURE IS 32 DEGREES FAHRENHEIT AND RISING.  
 3. THICKNESS SHOWN AS MINIMUM



**003**



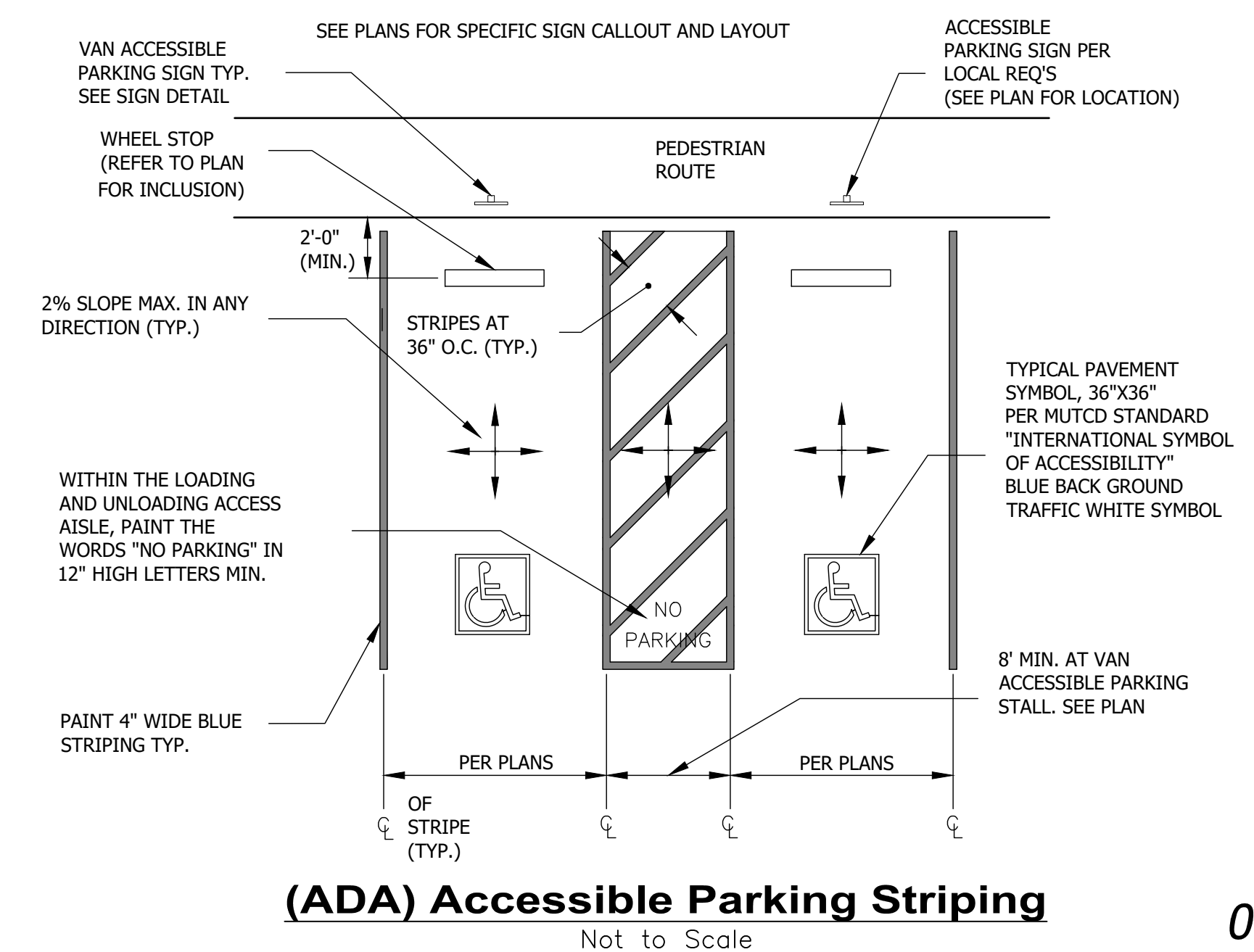
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**TACO BELL**  
 851 NE WOODS CHAPEL RD  
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 FINAL DEVELOPMENT PLAN  
 CIVIL DETAILS

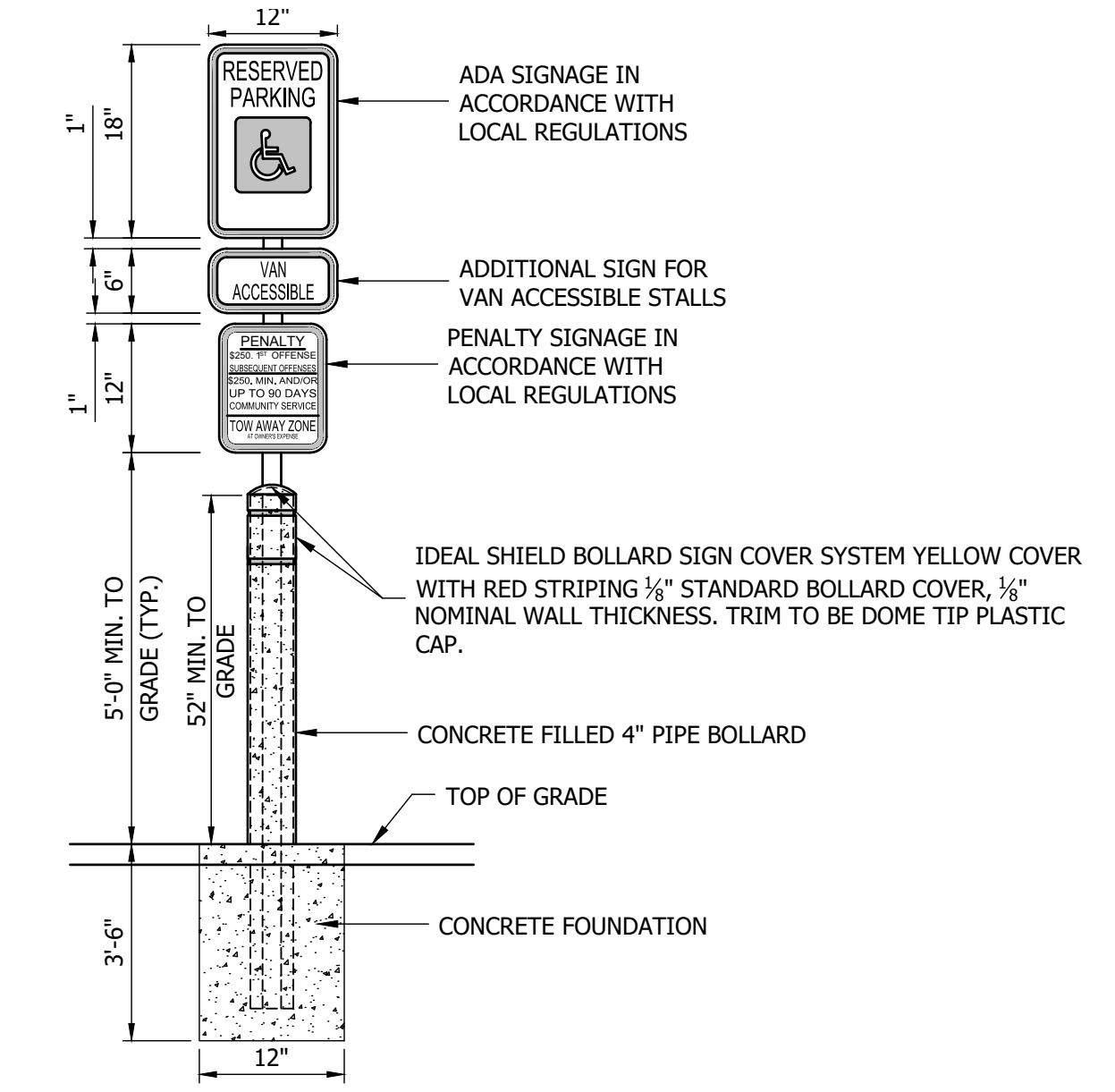
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 Project Number: 026040.08

**C9.1**



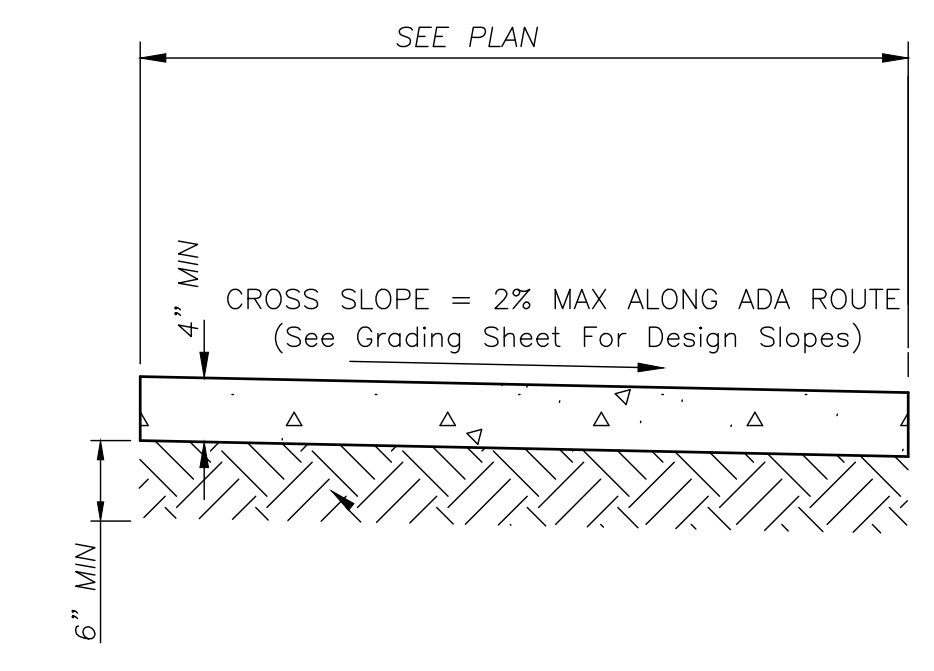
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 Not to Scale

**004**



**(ADA) Accessible Parking Signage**  
 Not to Scale

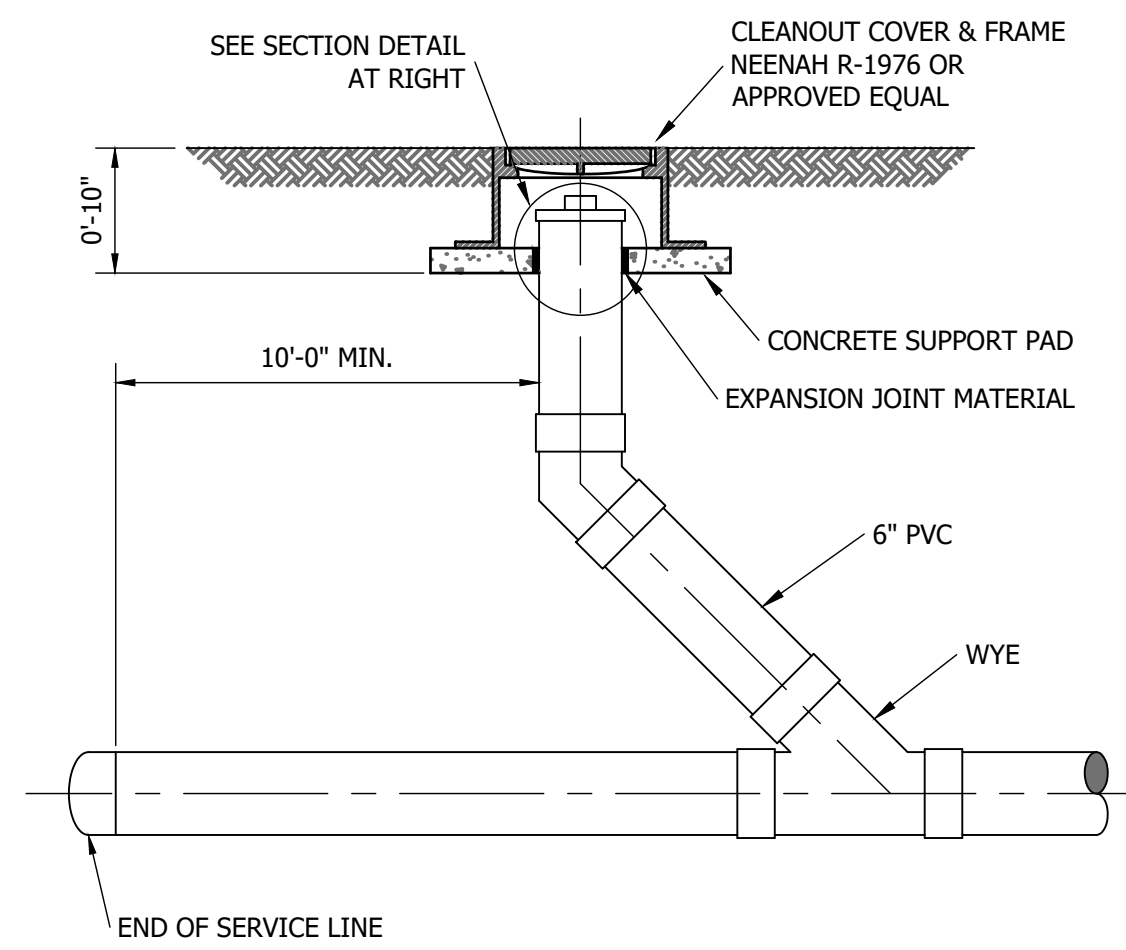
**005**



**Concrete Sidewalk Section**  
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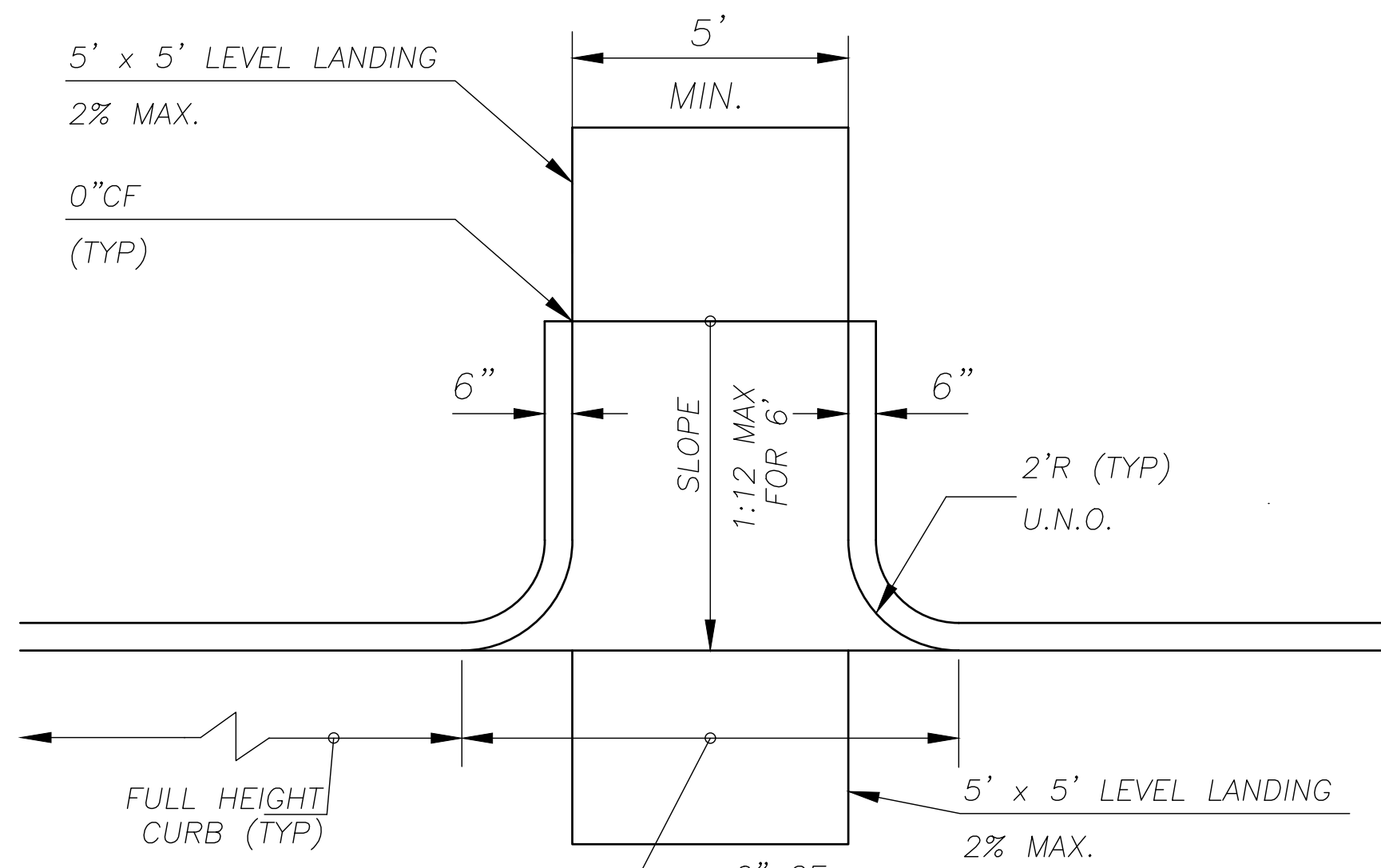
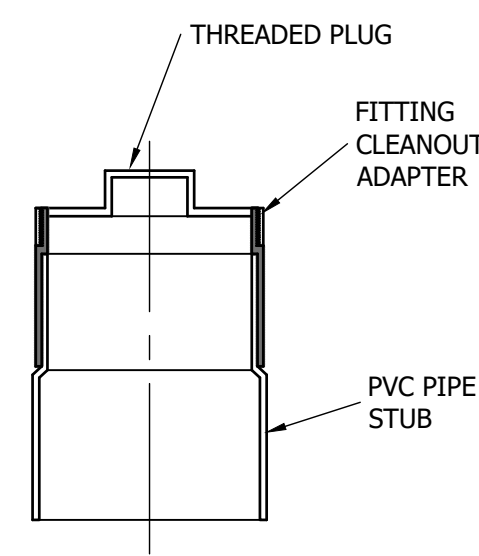
**006**

**NOTE:**  
 1. CONCRETE TO BE AIR ENTRAINED, 4000 PSI CONCRETE  
 2. SUBGRADE TO BE MOISTURE CONDITIONED AND COMPACTED TO 95% MAX DENSITY PER ASTM D698  
 3. CONTRACTION JOINTS TO BE INSTALLED AT A LONGITUDINAL SPACING EQUAL TO THE SIDEWALK WIDTH, BUT NOT TO EXCEED 6'. CONTRACTION JOINTS SHALL BE TO A DEPTH EQUAL TO 1/4 OF THE SIDEWALK THICKNESS  
 4. EXPANSION JOINTS SHALL BE INSTALLED WHEN SIDEWALK ABUTS OR CONNECTS TO EXISTING STRUCTURES, SIDEWALKS, CURB & GUTTER AND AT LONGITUDINAL SPACING NOT TO EXCEED 100'  
 5. ALL JOINTS ALONG THE ACCESSIBLE ROUTE SHALL BE OF A WIDTH NOT TO EXCEED 1/2"



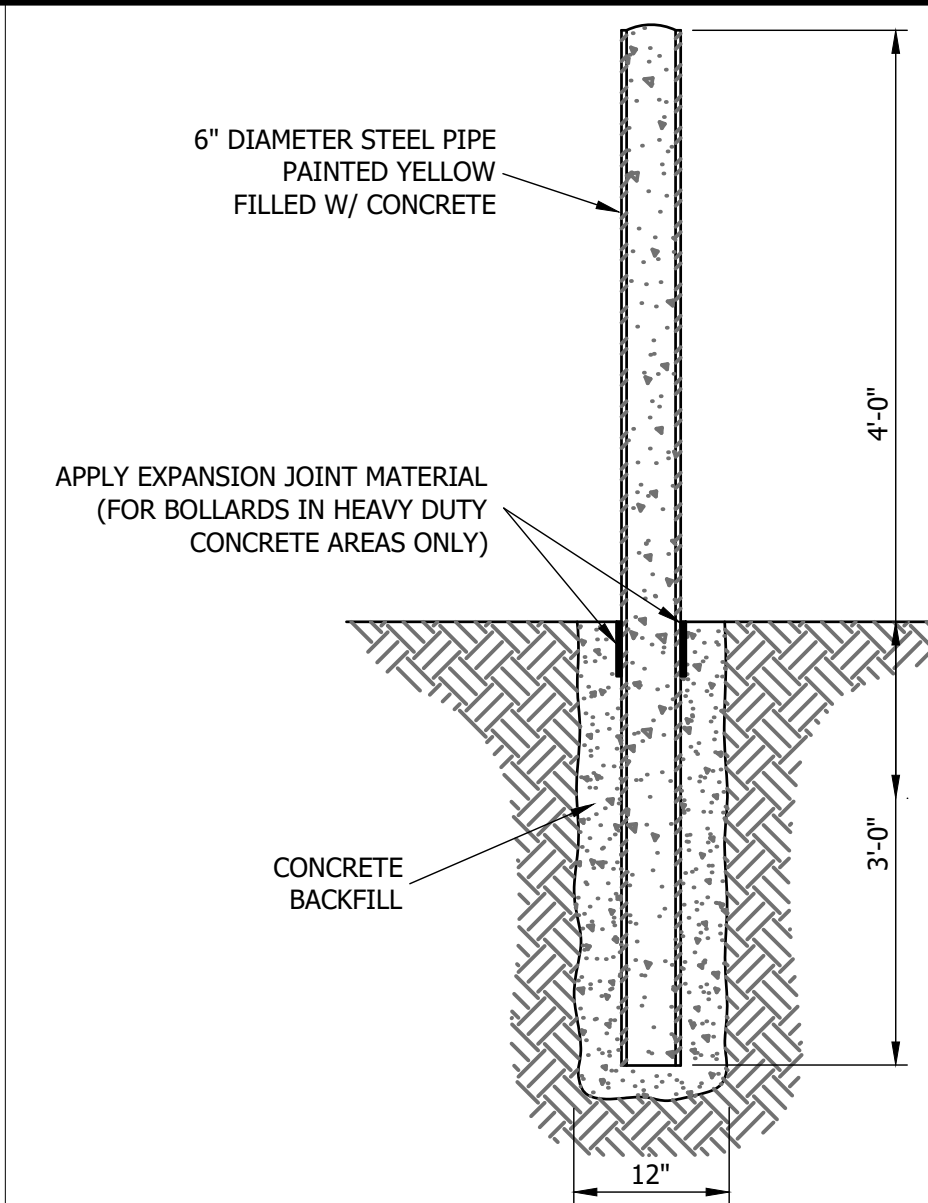
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Not to Scale

007



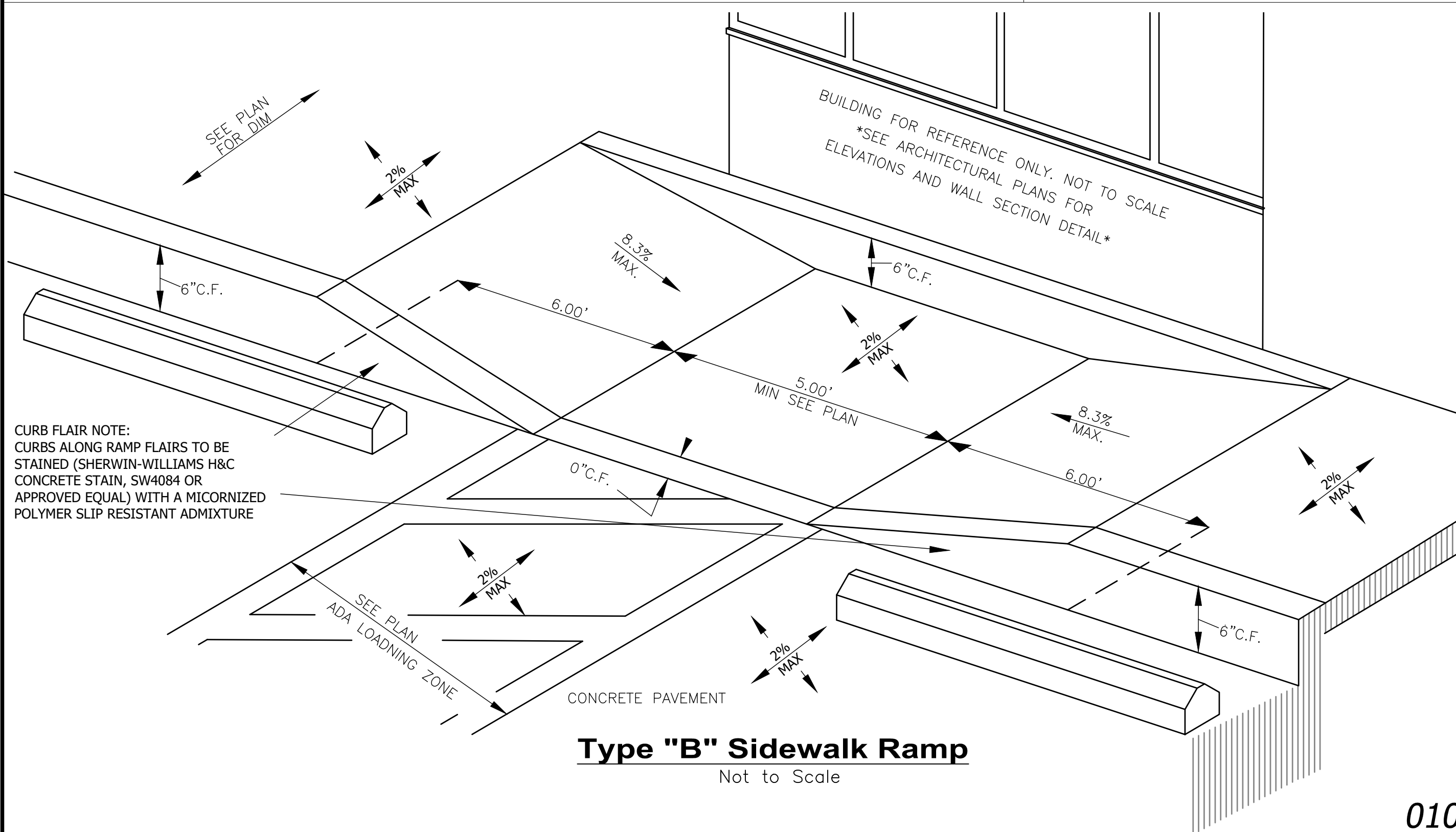
**Type "A" Sidewalk Ramp**  
Not to Scale

008



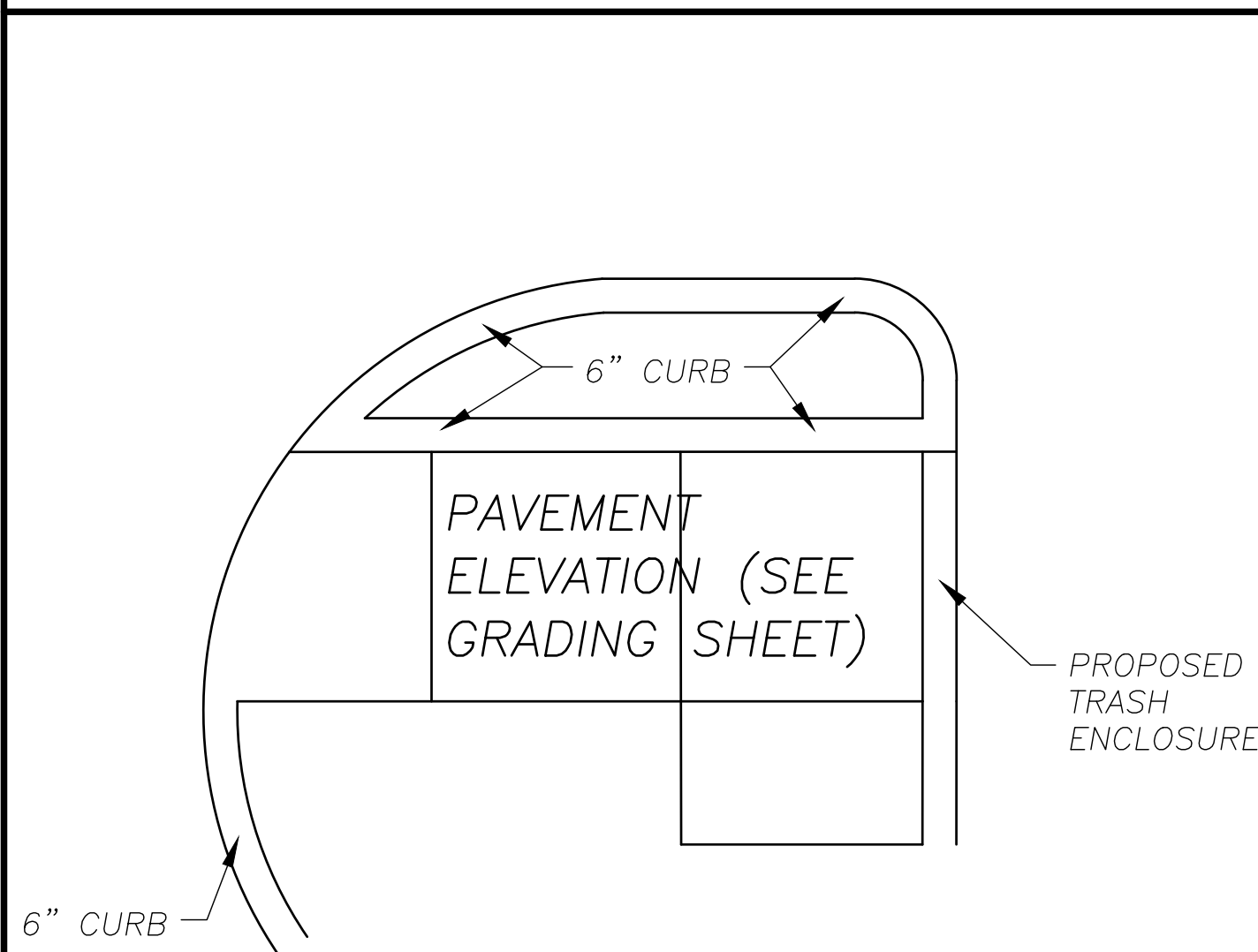
**Steel/Concrete Bollard**  
Not to Scale

009



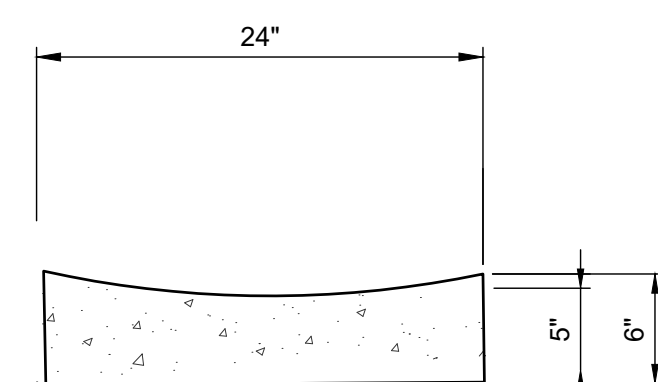
**Type "B" Sidewalk Ramp**  
Not to Scale

010



**Trash Access Detail**  
Not to Scale

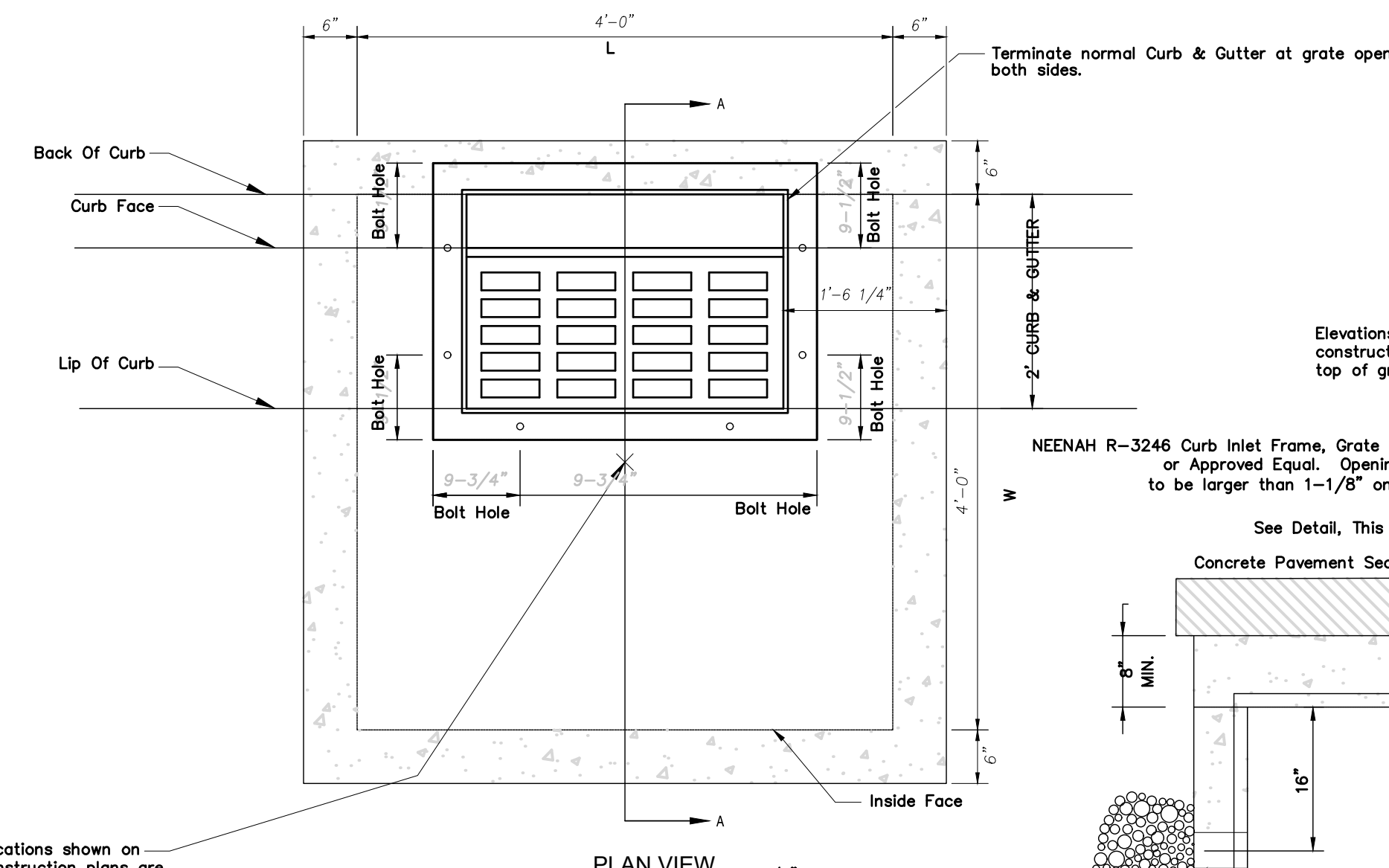
011



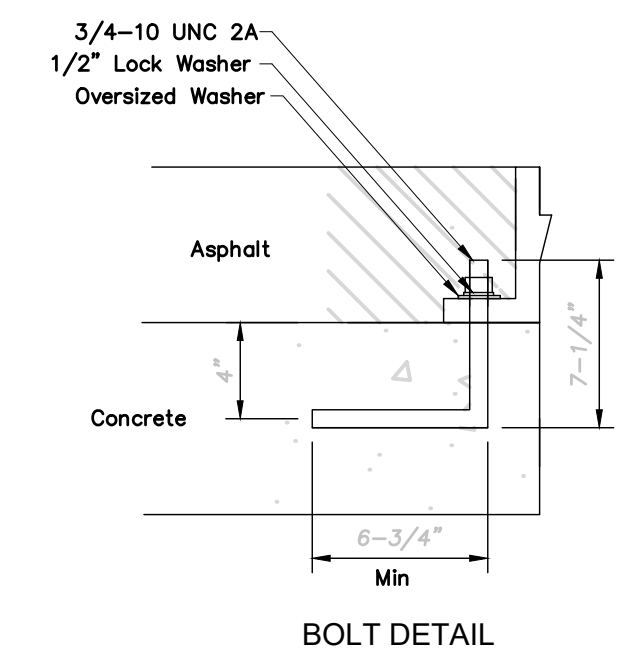
- NOTES:**
1. ALL JOINTS WITH EXISTING CURB SHALL BE TYPE #2 JOINTS.
  2. A TYPE #2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.
  3. A TYPE #1 JOINT SHALL BE PLACED AT 15' OC.
  4. AB-3 MAY BE USED AS A LEVELING COURSE TO BRING SUBGRADE TO PROPER ELEVATION (6" max.).
  5. DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% min. SLOPE.

**Valley Gutter**  
Not to Scale

012

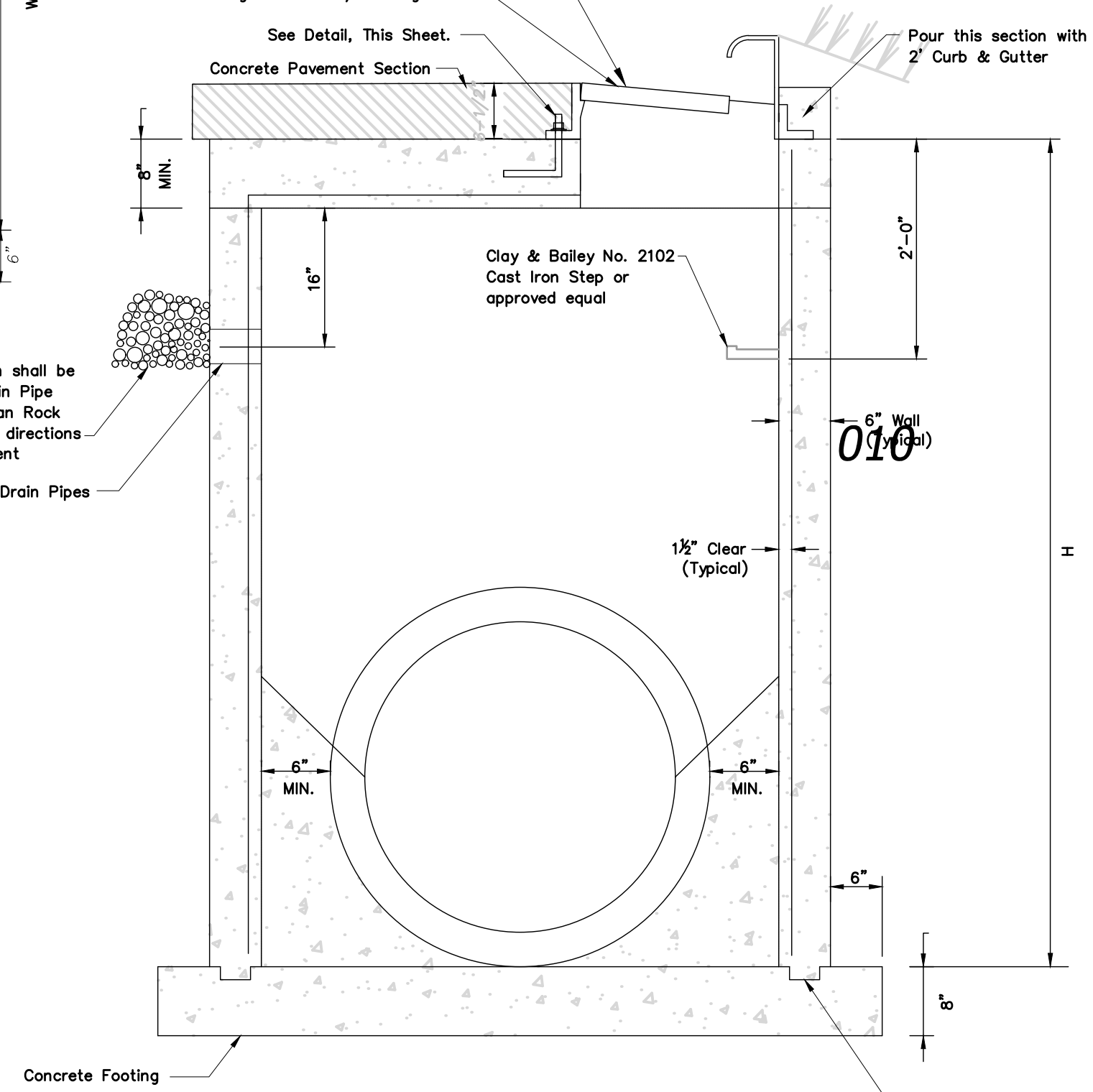


PLAN VIEW



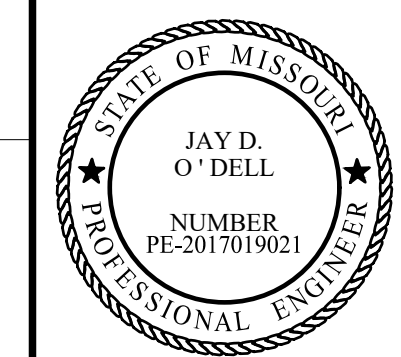
BOLT DETAIL

- GENERAL NOTES:**
- SEE SHEET STORM SEWER STRUCTURE NOTES THIS SHEET.
  - BOLT TO BE ALL THREAD, GALVANIZED STEEL.
  - OVERSIZED HOLE TO BE FIELD DRILLED IN 2045 CURB INLET FRAME AT INDICATED LOCATIONS TO MATCH UP TO ANCHOR BOLTS SET IN CONCRETE.



SECTION A-A  
Scale: N.T.S.

Rev.	Date	Description	By	App.



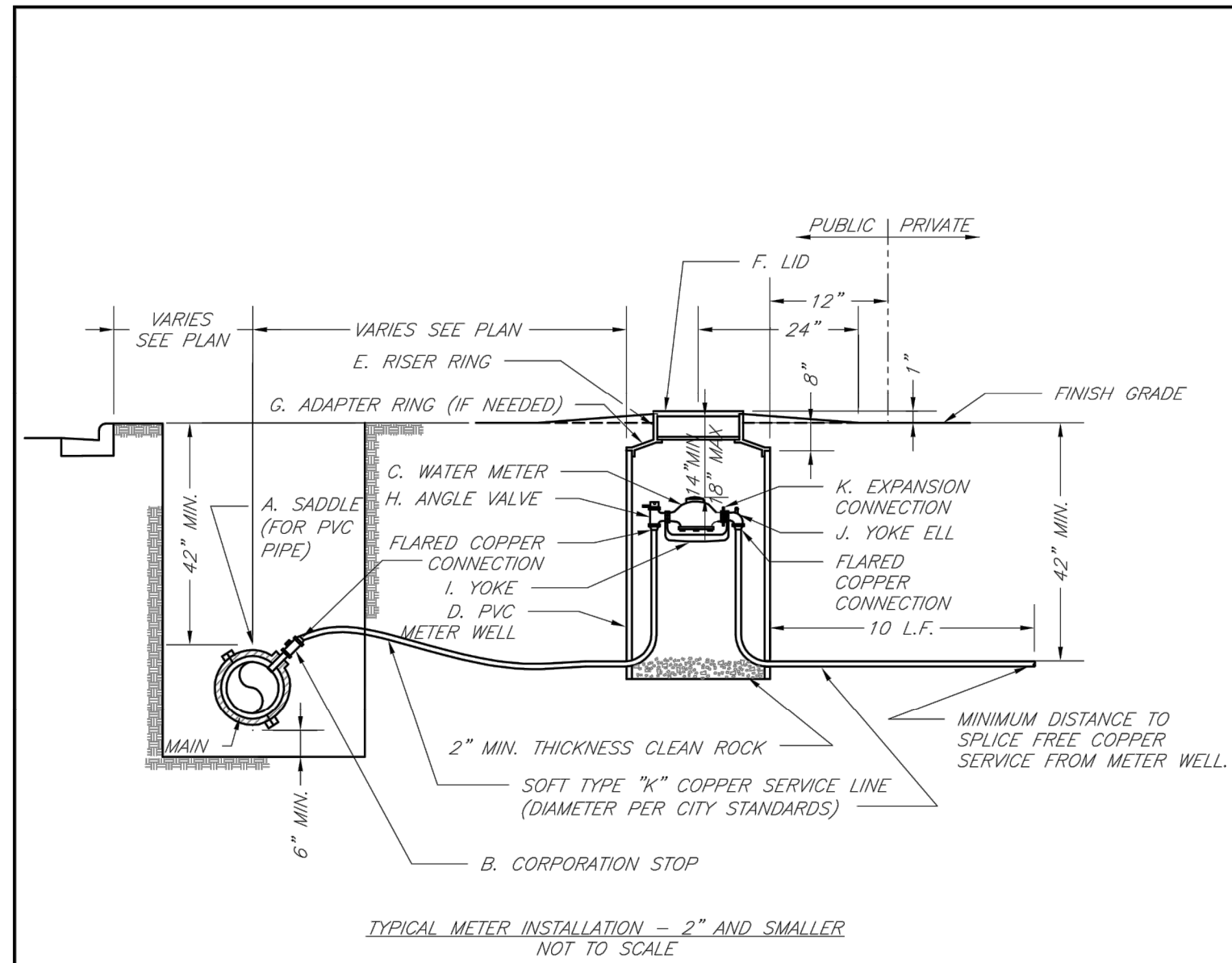
**BHC RHODES**  
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7101 College Blvd., Suite 400  
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P: (913) 662-1900 F: (913) 662-1633  
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Prepared For:  
FIRST STREET DEVELOPMENT  
4455 E CAMELBACK ROAD  
BUILDING C 241  
PHOENIX, ARIZONA 85018  
602-714-3099

**TACO BELL**  
851 NE WOODS CHAPEL RD  
LEES SUMMIT, MISSOURI  
FINAL DEVELOPMENT PLAN  
CIVIL DETAILS

Design: MGG Drawn: MGG  
Checked: JDO  
Issue Date: 04/23/2019  
Project Number: 026040.08

**C9.2**



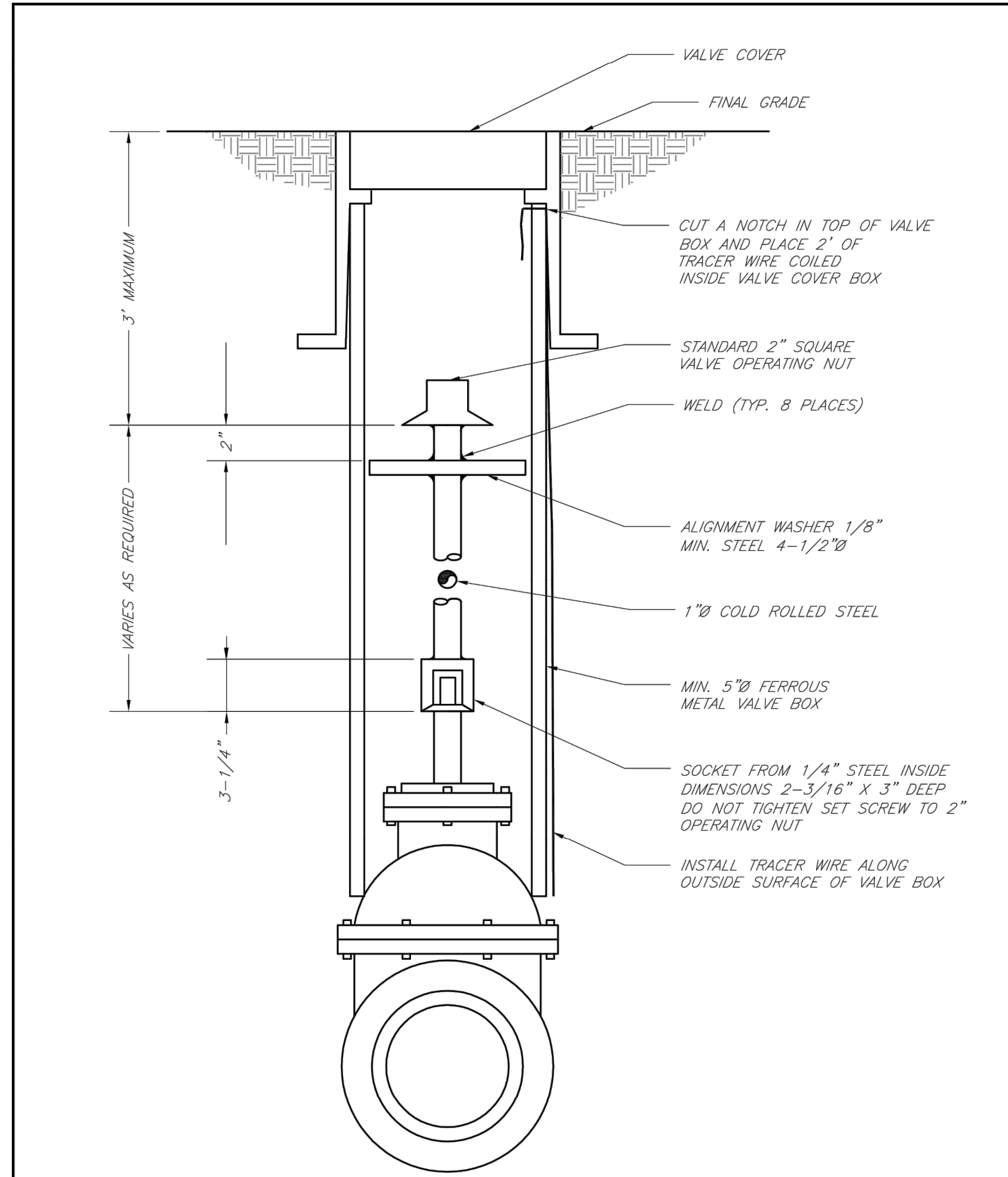
**NOTES:**

- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
- IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
- CITY TO FURNISH ITEMS A-K.
- NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
- 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
- EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
- NO SPLICES ALLOWED BETWEEN METER AND MAIN.
- SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
- LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
- CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"



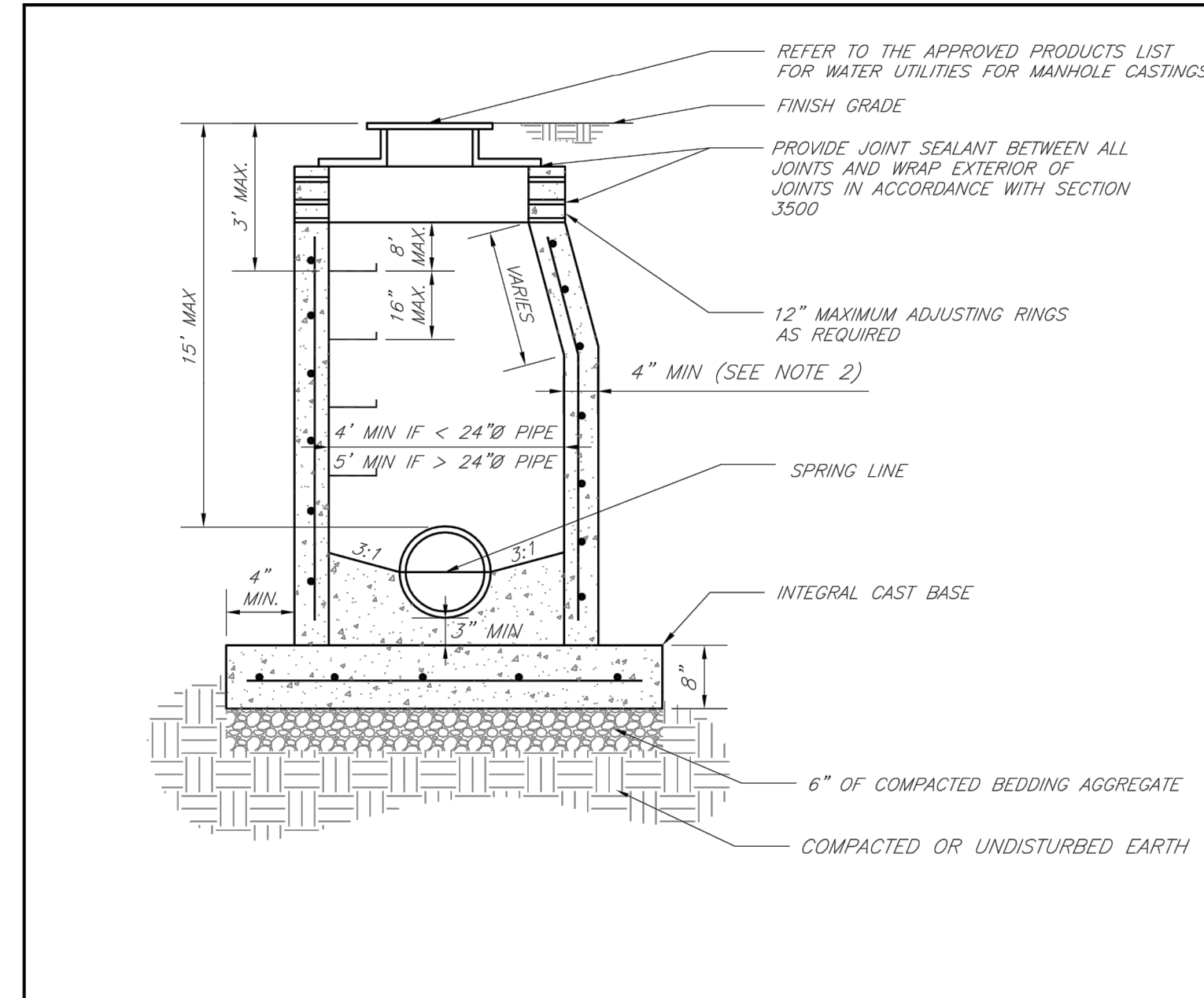
**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**SERVICE CONNECTION/METER WELL**

Date: 02/13  
Drawn By: JN  
Checked By: DL  
File: WAT-11  
Rev: 1/14



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**VALVE STEM EXTENSION AND VALVE BOX**

Date: 02/13  
Drawn By: JN  
Checked By: DL  
File: WAT-9  
Rev: 1/14



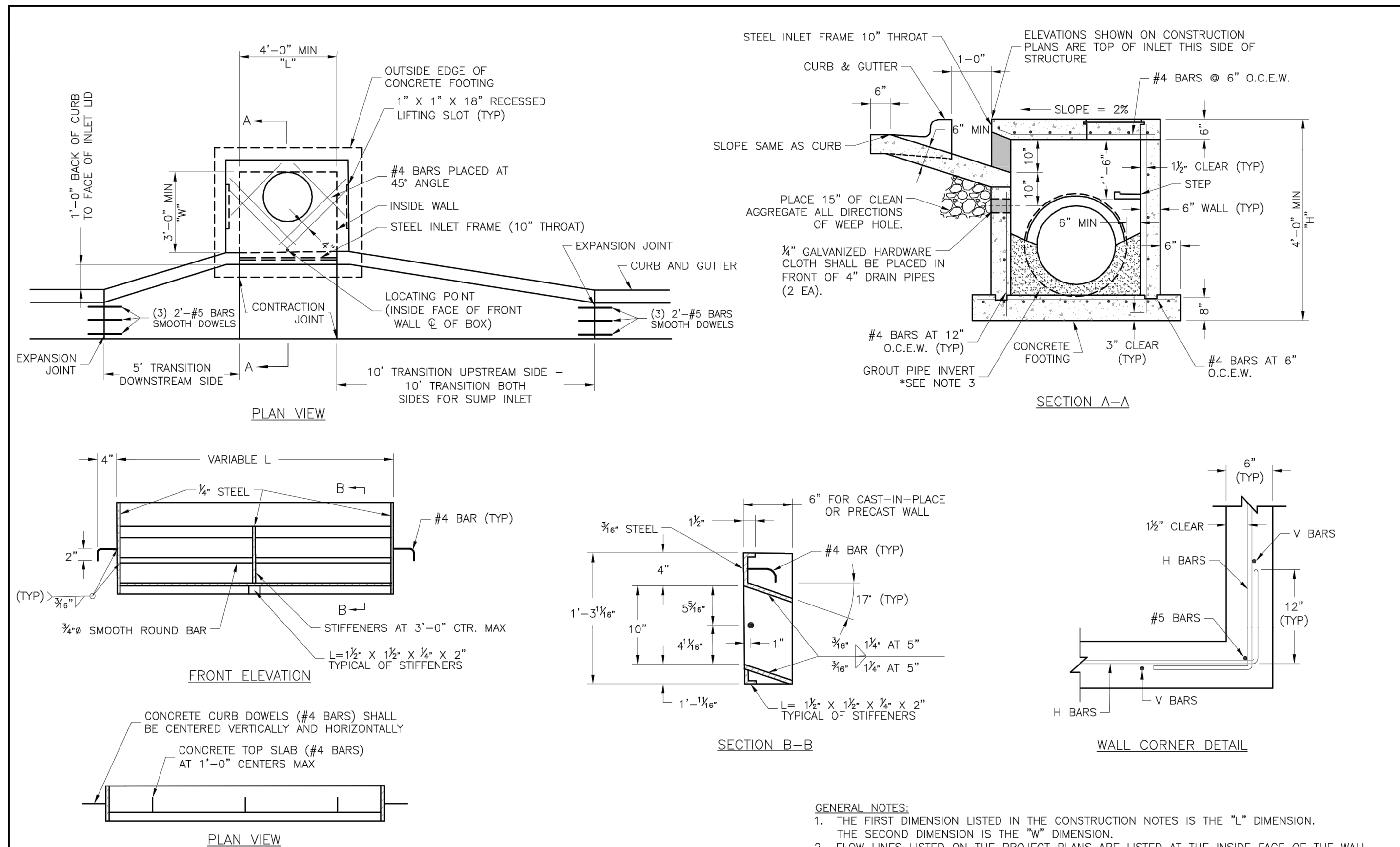
**NOTES:**

- PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
- A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THAN 12".
- WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING.
- ONLY ECCENTRIC MANHOLE COVERS WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
- REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
- REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**STANDARD PRECAST MANHOLE - SANITARY SEWER**

Date: 02/13  
Drawn By: JN  
Checked By: DL  
File: SAN-2  
Rev: 1/14

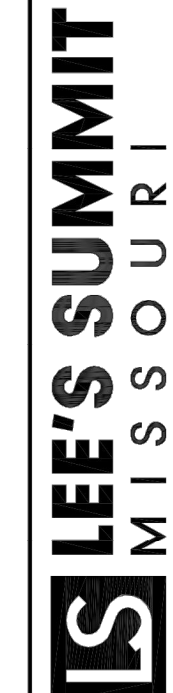


**STEEL FRAME NOTES:**

- ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.
- ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.
- THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.

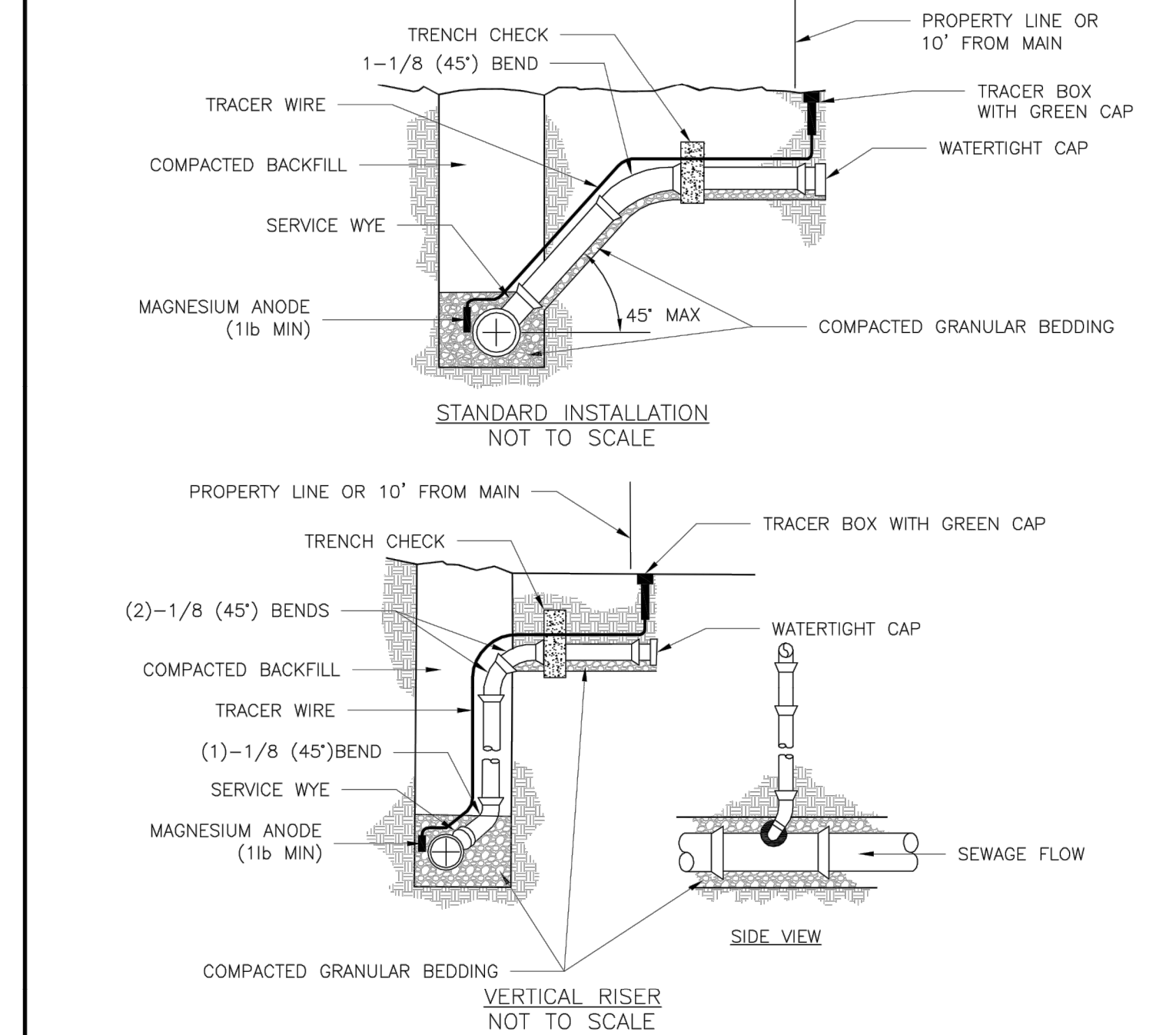
**GENERAL NOTES:**

- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
- FLOW LINES LISTED ON THE PROJECT PLANS ARE LISTED AT THE INSIDE FACE OF THE WALL.
- FLOOR OF INLET GROUDED AND SHARPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
- LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
- STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
- BEVEL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLED EDGE.
- ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
- PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
- LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT.
- FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.



**LEE'S SUMMIT MISSOURI**  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
CURB INLET DETAIL  
STM-1



**NOTES:**

- ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
- ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
- IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
- TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
- SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
- #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
- FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
- TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
- THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.



**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**BUILDING SEWER STUB AND RISER**

Date: 04/17  
Drawn By: MGF  
Checked By: DL  
File: SAN-1  
Rev: 04/17

Rev.	Date	Description	By	App.



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Prepared For:  
FIRST STREET DEVELOPMENT  
4455 E CAMELBACK ROAD  
BUILDING C 241  
PHOENIX, ARIZONA 85018  
602-714-3099

**TACO BELL**  
851 NE WOODS CHAPEL RD  
LEES SUMMIT, MISSOURI  
FINAL DEVELOPMENT PLAN  
CIVIL DETAILS

Design: MGG Drawn: MGG  
Checked: JDO  
Issue Date: 04/23/2019  
Project Number: 026040.08

**C9.3**



May 02, 2019 1:02pm Plotted By: jay.dell V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-ENG\04.08-Base\026040.08-Base-PROP-PROP-WALL.dwg Layout: Layout1

CHARACTERISTIC SOIL TYPE  
 FRICTION ANGLE  
 COHESION  
 UNIT WEIGHT

DESIGN PARAMETERS

RETAINED SOIL  
 ASTM C33 #57 ROCK  
 34°  
 0  
 115 PCF

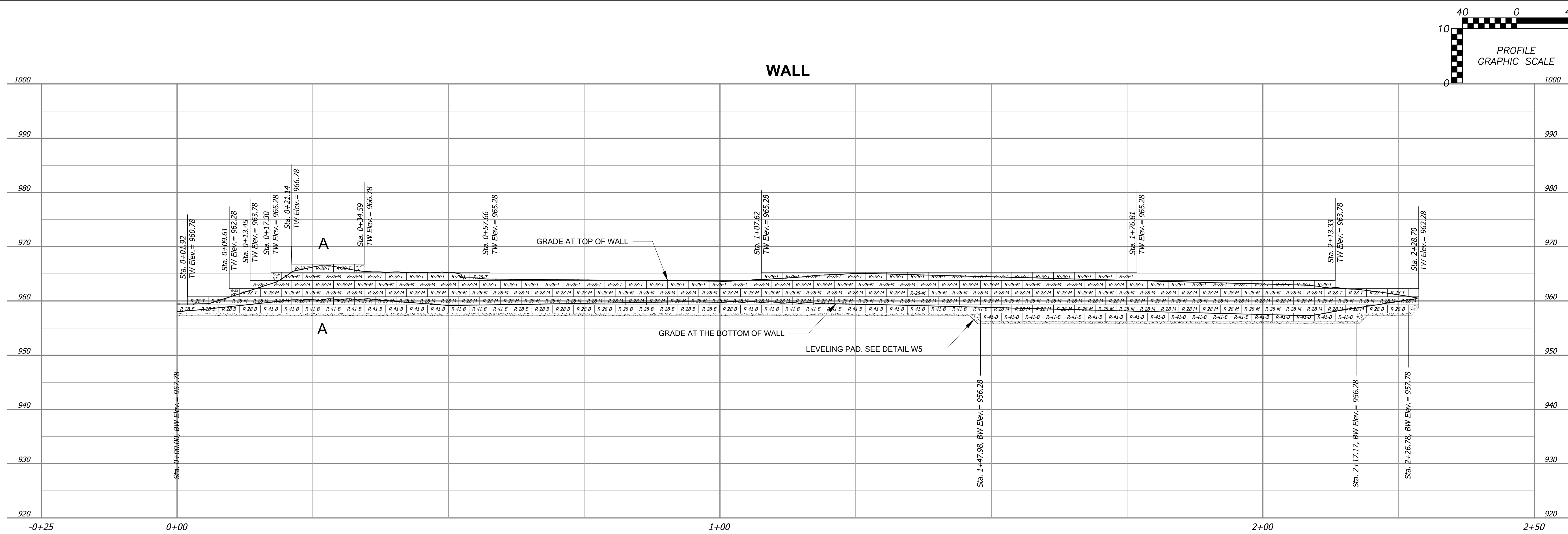
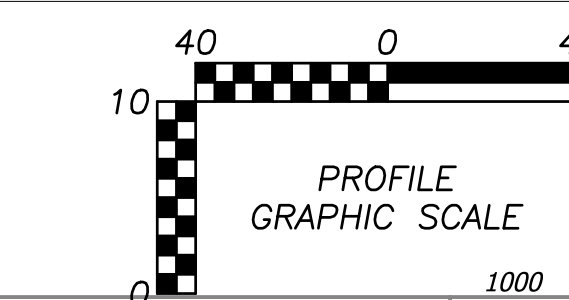
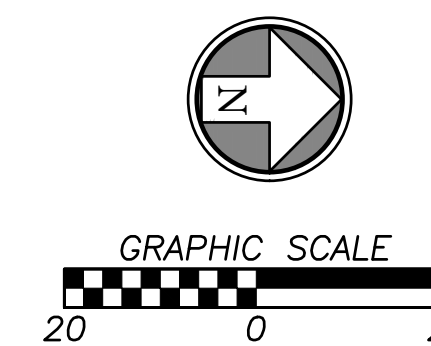
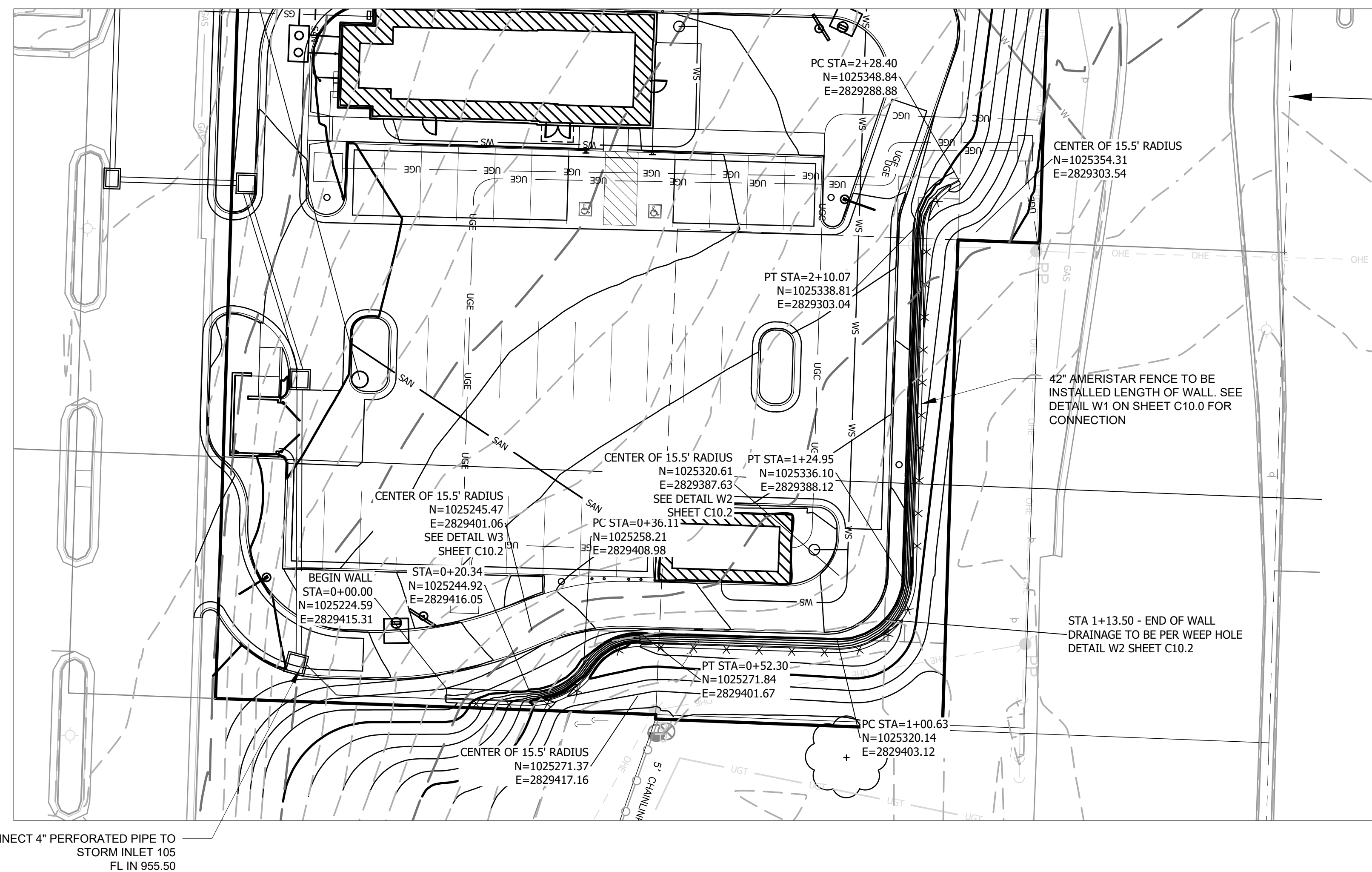
FOUNDATION SOIL  
 LIMESTONE

BLOCK LEGEND

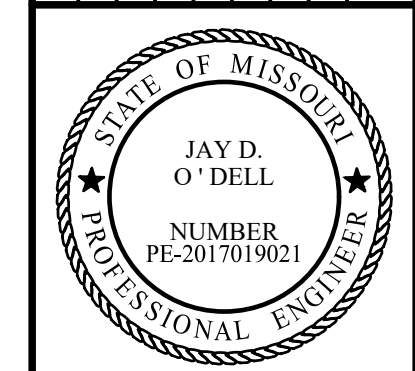
- 28" BOTTOM
- 28" MIDDLE
- 28" TOP
- 28" HALF TOP
- 41" BOTTOM

BLOCK QUANTITIES

BLOCK	NUMBER
28" BOTTOM	17
28" MIDDLE	157
28" TOP	58
28" HALF TOP	3
41" BOTTOM	42



Rev.	Date	Description	By	App.



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Prepared For:  
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 BUILDING C 241  
 PHOENIX, ARIZONA 85018  
 602-714-3099

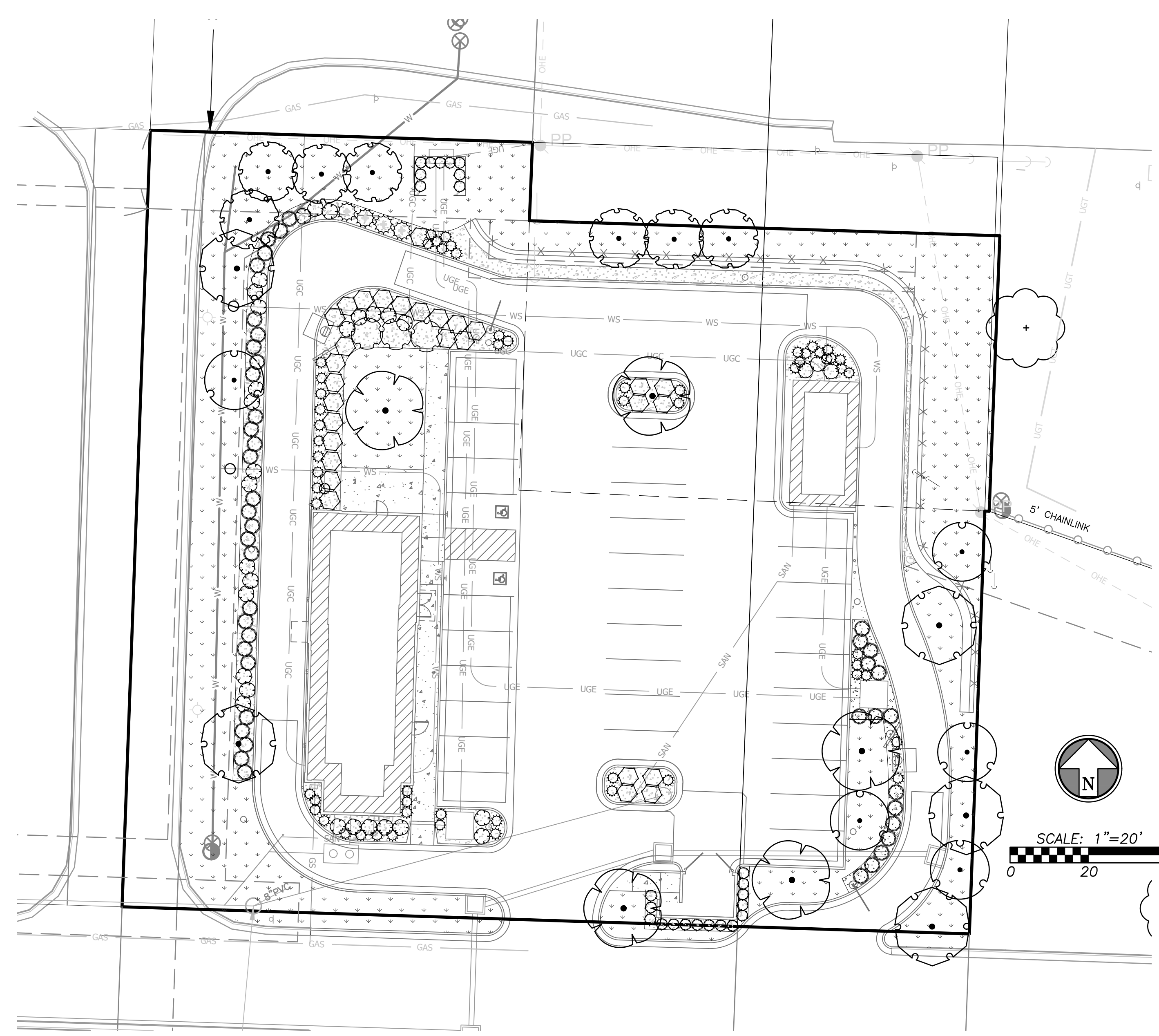
**TACO BELL**  
**851 NE WOODS CHAPEL RD**  
**LEES SUMMIT, MISSOURI**  
**FINAL DEVELOPMENT PLAN**  
**WALL PLAN AND PROFILE**

Design: MGG Drawn: MGG  
 Checked: JDO  
 Issue Date: 04/23/2019  
 Project Number: 026040.08

**C10.1**



May 02, 2019 - 1:03pm Plotted By: jay.saddl V:\026040-First Street Development - Master\026040.08-Woods Chapel\04-DWG\Eng\Sheet\DP Set\026040.08-SHTS-FDP-LNSC.dwg Layout: LANDSCAPE PLAN



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	5	Acer x freemanii 'Celebration' / Celebration Maple FOR PLANTING DETAILS SEE DETAIL 801 & 802, SHEET L1.2	B & B	2" Cal
	7	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo FOR PLANTING DETAILS SEE DETAIL 801 & 802, SHEET L1.2	B & B	2" Cal
	5	Prunus cerasifera 'Thundercloud' / Thundercloud Plum FOR PLANTING DETAILS SEE DETAIL 801 & 802, SHEET L1.2	B & B	2" Cal
	5	Zelkova serrata 'Musashino' / Sawleaf Zelkova FOR PLANTING DETAILS SEE DETAIL 801 & 802, SHEET L1.2	B & B	2" cal
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT
	3	Euonymus alatus / Burning Bush FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	4' Ht.
	28	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' height
	3	Physocarpus opulifolius 'Ruby Spice' / Ruby Spice Ninebark FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' height
	31	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' height
EVERGREEN SHRUB	QTY	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT
	44	Ilex glabra 'Shamrock' / Inkberry FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' Ht.
	27	Juniperus chinensis 'Sea Green' / Sea Green Juniper FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' Ht.
	59	Juniperus squamata 'Blue Star' / Blue Star Juniper FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	5 gal	2' height
	24	Juniperus virginiana 'Skyrocket' / Skyrocket Juniper FOR PLANTING DETAILS SEE 803 & 804, SHEET L1.2	B & B	6' Ht
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	2,232 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue PLACE LANDSCAPE EDGING WHERE GRASS ADJOINS PLANTING BEDS, SEE DETAIL 805 SHEET L1.2	sod	

**MULCH SCHEDULE**

	MULCH Double Ground Hardwood Mulch. 3" depth.	3,540 sf
--	--	----------

**SITE DATA**

	Quantity	Required	Provided
<b>Site Area</b>	40,619		
<b>Open Space Req</b>			
1 tree / 5000 SF of total lot area		8.12	9
2 shrubs / 5000 SF of total lot area		16.25	146
<b>Street Tree</b>			
<b>NE Woods Chapel Rd</b>	217.49		
20' landscape buffer			
1 tree / 30 LF of street		7.25	8
1 shrub/ 20 LF of street		10.87	40
<b>HWY 470</b>	178.1		
20' landscape buffer			
1 tree / 30 LF of street		5.94	6
1 shrub/ 20 LF of street		8.91	39
<b>Perimeter Parking Landscape</b>	178.09		
Continuous screen of 2.5' shrubs		Y	Y
12 shrubs/40 LF		53.43	80
<b>Island/Interior Landscape</b>	17,361.03		
5% of the entire parking area		868.05	991.96
1 tree/island		Y	Y
<b>Utility Screening</b>			
Above ground cabinets should be screened w/landscaping		Y	Y

**GENERAL LANDSCAPE NOTES**

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADE WITH THE LANDSCAPE ARCHITECT AND OR DESIGN TEAM PRIOR TO COMPLETION.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATE WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.
- TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF LEES SIMMIT, MISSOURI AND THE LANDSCAPE ARCHITECT.
- ALUMINUM LANDSCAPE EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING TURF AREAS AS NOTED ON LANDSCAPE PLANS.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL UNTIL THE TIME THAT A PERMANENT WATER SOURCE IS READY.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR NEWLY LANDSCAPED AREAS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVE-COLORED, VIABLE TURF AND LANDSCAPED AREA MUST BE ESTABLISHED. THE LANDSCAPED AREAS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE MULCH SAMPLE TO OWNER FOR APPROVAL.

**GENERAL IRRIGATION NOTES**

- IRRIGATION PLAN TO NOT INTERFERE WITH ANY PROPOSED IMPROVEMENTS SHOW WITHIN PLANS.
- IRRIGATION SYSTEM DESIGN TO BE BASED ON AVAILABLE PSI- TO BE DETERMINED BUT NOT TO EXCEED 70 PSI.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL POWER SERVICE TO THE CONTROLLER AND SHALL MAKE ALL HOOK-UPS FROM THE ELECTRICAL SERVICE TO THE AUTOMATIC CONTROLLER. ALL EXPOSED LOW VOLTAGE WIRE SHALL BE ENCLOSED IN A CONDUIT.
- PLACE VALVE BOXES 12" MINIMUM FROM AND PARALLEL TO CURBS AND WALKS, GROUPED VALVES TO BE EQUALLY SPACED.
- INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
- GENERAL CONTRACTOR SHALL PROVIDE 110V, NON-INTERRUPTED ELECTRICAL SERVICE FOR THE IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER AND RAIN SENSOR SHALL BE LOCATED IN OWNER APPROVED LOCATIONS.

	<p><b>BHC RHODES</b> Civil Engineering • Surveying • Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P. (913) 663-1900 F. (913) 663-1633 <small>BHC RHODES is a trademark of Fluergent Homehold &amp; Company, P.A.</small></p>
<p>Prepared For: FIRST STREET DEVELOPMENT 4455 E CAMELBACK ROAD BUILDING C 241 PHOENIX, ARIZONA 85018 602-714-3099</p>	<p>TACO BELL 851 NE WOODS CHAPEL RD LEES SUMMIT, MISSOURI FINAL DEVELOPMENT PLAN LANDSCAPE PLAN</p>
<p>Design: NAB Drawn: NAB Checked: JDO Issue Date: 04/23/2019 Project Number: 026040.08</p>	<p style="font-size: 2em; font-weight: bold;">L1.0</p>





