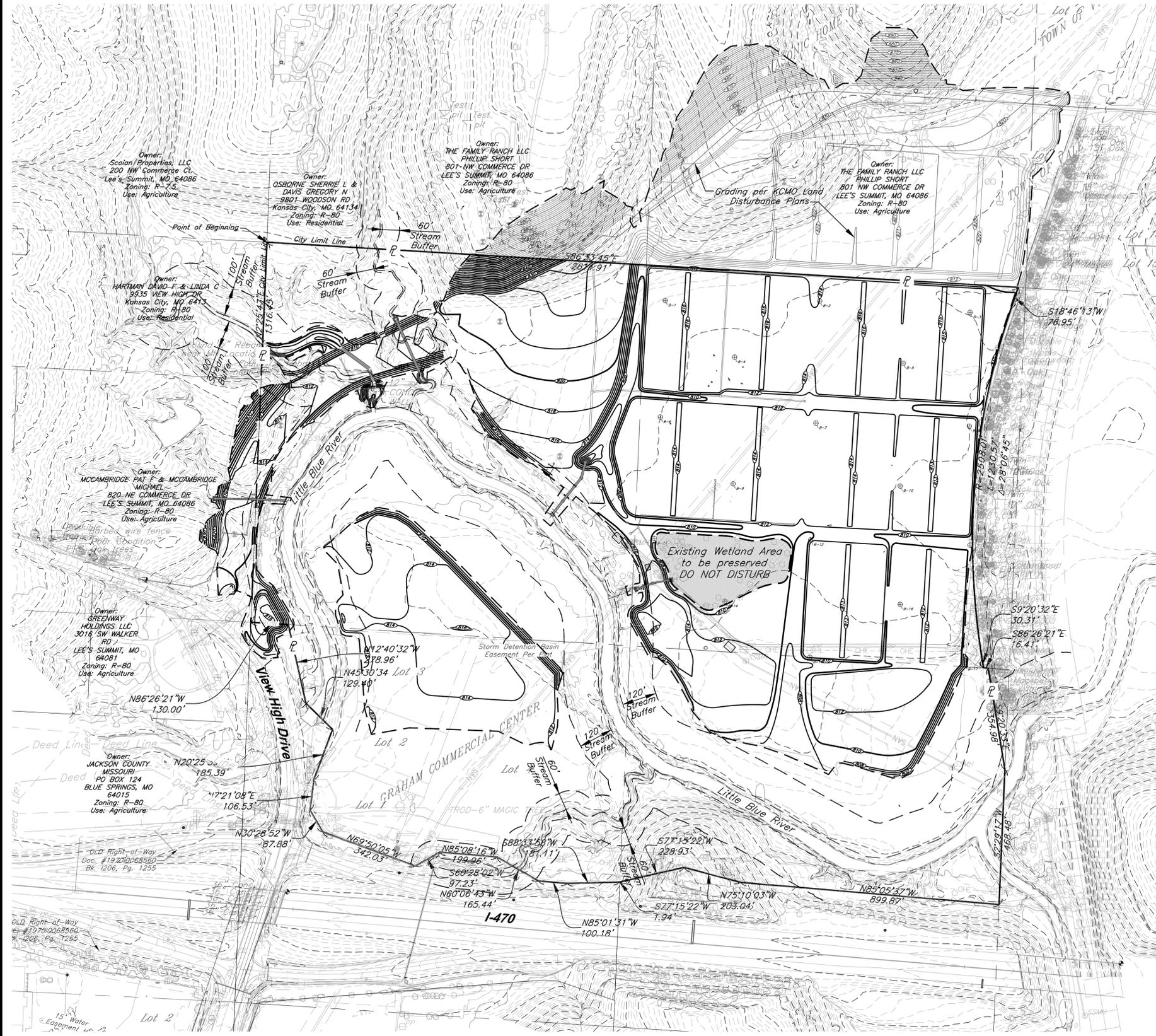


Architect 00212, Professional Engineer 000133, Landscape Architect 000025, Professional Land Surveyor 000059  
 C:\12720\Civil 3D\Production Drawings\Mass Grading\Lee's Summit\1272002020.dwg, Layout: 3 General Layout -- Wednesday, October 10, 2018, 10:20am -- Copyright 2018, George Butler Associates, Inc.

**PROJECT BENCHMARK:**

BM #11 - Chiseled "L" on top  
 Northeast corner of concrete guardrail  
 at the Northeast corner of 1470 bridge  
 spanning View High Drive.  
 EL=833.80

	DATE: 1/10/17 DESIGN BY: CEL DRAWN BY: DRV PROJECT NO.: 12720
	SHEET NO.: 3 TOTAL SHEETS: 35
	Storm Sewer Improvements and Mass Grading <b>Paragon Star Development</b> Lee's Summit, Missouri
Bradley D. Burton Professional Engineer License No. 25862	REVISIONS NO. DATE BY APPROVED 5/15/18 8/7/18 8/28/18 9/14/18 10/10/18



**Boundary Description:**

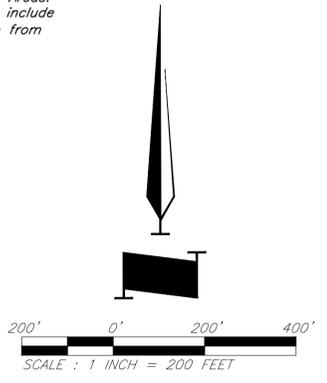
All that part of the Northwest Quarter of Section 34, Township 48 North, Range 32 West, of the 5th P.M., and all of GRAHAM COMMERCIAL CENTER, a subdivision in the in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

**BEGINNING** at the Northwest corner of said Northwest Quarter of Section 34; thence South 86°33'45" East, along the North line of said Northwest Quarter, a distance of 2611.91 feet, to a point on the Westerly Right-of-Way line of Union Pacific Railroad, as now established; thence South 18°46'13" West, departing said North line, along said Westerly Right-of-Way line, a distance of 76.95 feet, to a point of curvature; thence Southwesterly and Southeasterly, continuing along said Westerly Right-of-Way line, along a curve to the left, having a radius of 2508.01 feet, and a central angle of 28°06'45"; a distance of 1230.57 feet, to a point of tangency; thence South 09°20'32" East, continuing along said Westerly Right-of-Way line, a distance of 30.31 feet, to a point on the South line of the North half of said Northwest Quarter; thence South 86°26'21" East, continuing along said Westerly Right-of-Way line, and along said South line of the North half of the Northwest Quarter, a distance of 16.41 feet; thence South 09°20'32" East, departing said South line of the North half of the Northwest Quarter, continuing along said Westerly Right-of-Way line, a distance of 354.98 feet, to a point on the East line of said Northwest Quarter; thence South 02°29'17" West, continuing along said Westerly Right-of-Way line, and along said East line of the Northwest Quarter, a distance of 468.48 feet, to a point on the North Right-of-Way line of Interstate 470, as now established; thence North 85°05'37" West, departing said Westerly Right-of-Way line, along said North Right-of-Way line of Interstate 470, a distance of 899.87 feet; thence North 75°10'03" West, continuing along said North Right-of-Way line, a distance of 203.04 feet; thence South 77°15'22" West, continuing along said North Right-of-Way line, a distance of 228.93 feet, to a point on the East line of the Southwest Quarter of said Northwest Quarter, said point also being the Southeast corner of said GRAHAM COMMERCIAL CENTER; thence continuing South 77°15'22" West, continuing along said North Right-of-Way line, and along the South line of said subdivision, a distance of 1.94 feet; thence South 88°33'58" West, continuing along said North Right-of-Way line, and along said South line of said subdivision, a distance of 181.11 feet; thence North 85°01'31" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 97.23 feet; thence North 69°50'05" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 342.03 feet, to the Southwest corner of said subdivision; thence North 30°28'52" West, continuing along said North Right-of-Way line, and along the West line of said subdivision, a distance of 87.88 feet; thence North 07°21'08" East, continuing along said North Right-of-Way line and its transition to the East Right-of-Way line of View High Drive, as now established, and said West line of said subdivision, a distance of 106.53 feet; thence North 20°25'39" East, departing said West line of said subdivision, continuing along said East Right-of-Way line of View High Drive, a distance of 185.39 feet; thence North 45°30'34" West, continuing along said East Right-of-Way line, a distance of 129.40 feet; thence North 12°40'32" West, continuing along said East Right-of-Way line, a distance of 278.96 feet, to a point on said South line of the North half of the Northwest Quarter; thence North 86°26'21" West, continuing along said East Right-of-Way line, and along said South line of the North half of the Northwest Quarter, a distance of 130.00 feet, to the Southwest corner of said North half of the Northwest Quarter; thence North 02°25'47" East, along the West line of said Northwest Quarter, a distance of 1316.45 feet, to the POINT OF BEGINNING, containing 5,217,462.56 square feet or 119.78 acres, more or less.

**FLOODPLAIN NOTE:**

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

**Total Disturbed Area:**  
 68.69 Ac.



**General Layout**

Architect: 00212, Professional Engineer: 000133, Landscape Architect: 000025, Professional Land Surveyor: 000059  
 C:\12720\Civil\_3D\Production Drawings\Mass Grading\Lee's Summit\1272002800.dwg, Layout: 33 Stream Buffer, -- Wednesday October 10, 2018, 10:48am -- Copyright 2018, George Butler Associates, Inc.



**GBA**  
 architects  
 engineers  
 9801 Renner Boulevard  
 Lenexa, Kansas 66219  
 913.492.0400  
 www.gbateam.com

DATE:	1/10/17
DESIGN BY:	CEL
DRAWN BY:	DRV
PROJECT NO.:	12720
SHEET NO.:	TOTAL SHEETS:
<b>33</b>	<b>35</b>

Bradley D. Burton  
 Professional Engineer  
 License No. 25862

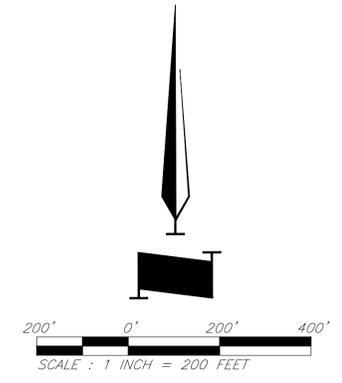
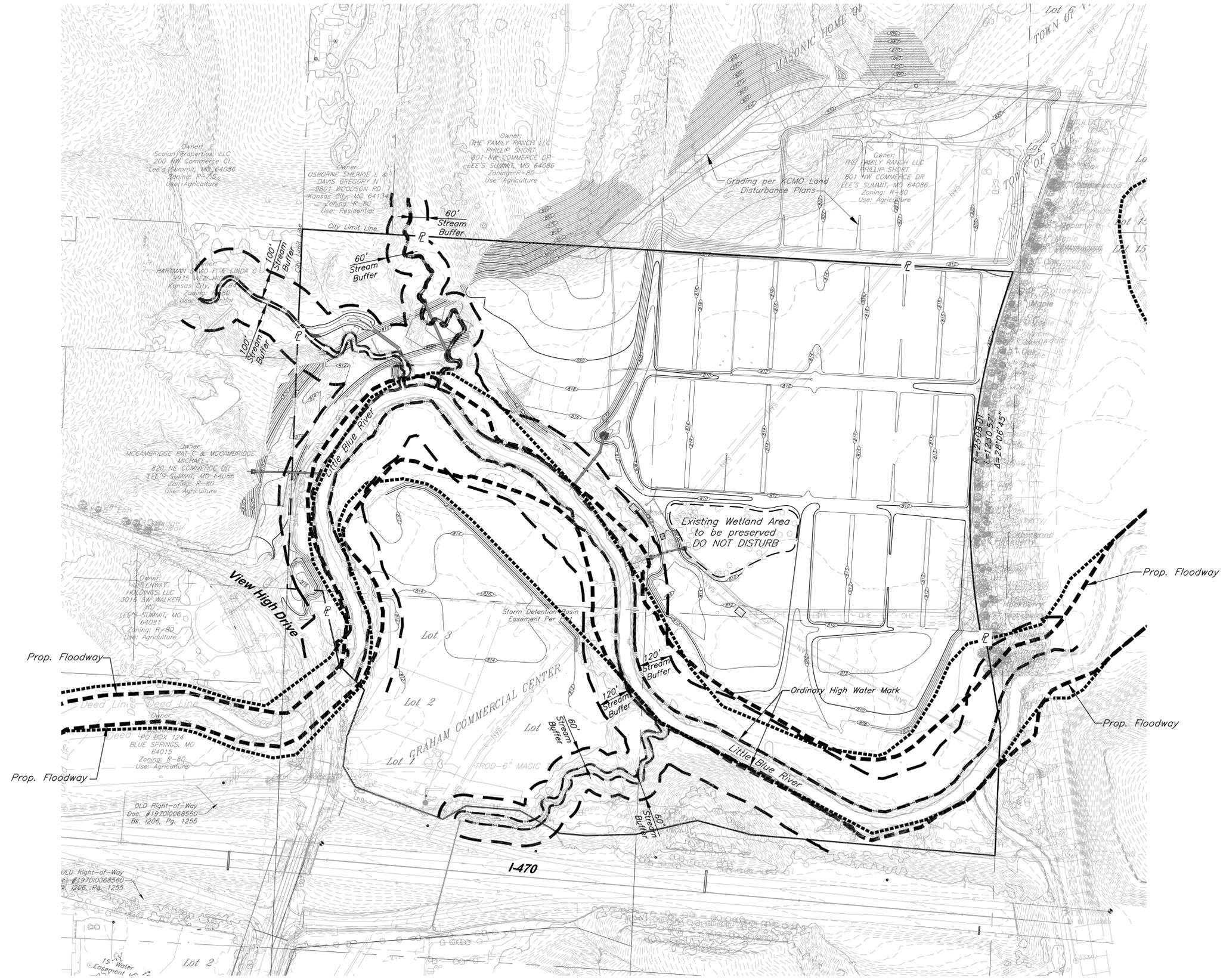
Storm Sewer Improvements and Mass Grading  
**Paragon Star Development**  
 Lee's Summit, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
5/15/18		Revised Field Elevations		
8/7/18		City Comments		
8/28/18		City Comments		
9/14/18		City Comments		
10/10/18		Removed Floodway Grading		

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10/10/18		Removed Floodway Grading		

**Legend**

- Stream Buffer
- Existing Floodway
- Proposed Floodway
- Ordinary High Water Mark



**Stream Buffer**