

Architect: 00212, Professional Engineer: 000133, Landscape Architect: 000025, Professional Land Surveyor: 000059  
G:\12720\Civil 3D\Production Drawings\Mass Grading\Lee's Summit\1272000200.dwg Layout: 3 General Layout -- Wednesday, October 10, 2018, 10:30am -- Copyright 2018, George Butler Associates, Inc.

PROJECT BENCHMARK:

BM #11 – Chiseled “L” on top  
Northeast corner of concrete guardrail  
at the Northeast corner of I-470 bridge  
spanning View High Drive.  
EL=833.80

STATE OF MISSOURI

BRADLEY D. BURTON

REGISTERED PROFESSIONAL ENGINEER

25862

10/10/18

Bradley D. Burton

Professional Engineer

License No. 25862

DATE: 1/10/17

DESIGN BY: CEL

DRAWN BY: DRV

PROJECT NO.: 12720

SHEET NO. 3

TOTAL SHEETS 35

GBA

architects

engineers

9801 Renner Boulevard

Lenexa, Kansas 66219

913.492.0400

www.gbateam.com

Storm Sewer Improvements and Mass Grading

Paragon Star Development

Lee's Summit, Missouri

REVISIONS

BY

APPROVED

5/15/18

8/7/18

8/28/18

9/14/18

10/10/18

Revised Field Elevations

City Comments

City Comments

City Comments

Removed Floodway Grading

Boundary Description:

All that part of the Northwest Quarter of Section 34, Township 48 North, Range 32 West, of the 5th P.M., and all of GRAHAM COMMERCIAL CENTER, a subdivision in the in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

BEGINNING at the Northwest corner of said Northwest Quarter of Section 34; thence South 86°33'45" East, along the North line of said Northwest Quarter, a distance of 2611.91 feet, to a point on the Westerly Right-of-Way line of Union Pacific Railroad, as now established; thence South 18°46'13" West, departing said North line, along said Westerly Right-of-Way line, a distance of 76.95 feet, to a point of curvature; thence Southwesterly and Southeasterly, continuing along said Westerly Right-of-Way line, along a curve to the left, having a radius of 2508.01 feet, and a central angle of 28°06'45", a distance of 1230.57 feet, to a point of tangency; thence South 09°20'32" East, continuing along said Westerly Right-of-Way line, a distance of 30.31 feet, to a point on the South line of the North half of said Northwest Quarter; thence South 86°26'21" East, continuing along said Westerly Right-of-Way line, and along said South line of the North half of the Northwest Quarter, a distance of 16.41 feet; thence South 09°20'32" East, departing said South line of the North half of the Northwest Quarter, continuing along said Westerly Right-of-Way line, a distance of 354.98 feet, to a point on the East line of said Northwest Quarter; thence South 02°29'17" West, continuing along said Westerly Right-of-Way line, and along said East line of the Northwest Quarter, a distance of 468.48 feet, to a point on the North Right-of-Way line of Interstate 470, as now established; thence North 85°05'37" West, departing said Westerly Right-of-Way line, along said North Right-of-Way line of Interstate 470, a distance of 899.87 feet; thence North 75°10'03" West, continuing along said North Right-of-Way line, a distance of 203.04 feet; thence South 77°15'22" West, continuing along said North Right-of-Way line, a distance of 228.93 feet, to a point on the East line of the Southwest Quarter of said Northwest Quarter, said point also being the Southeast corner of said GRAHAM COMMERCIAL CENTER; thence continuing South 77°15'22" West, continuing along said North Right-of-Way line, and along the South line of said subdivision, a distance of 1.94 feet; thence South 88°33'58" West, continuing along said North Right-of-Way line, and along said South line of said subdivision, a distance of 181.11 feet; thence North 85°01'31" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 100.18 feet; thence North 60°06'43" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 165.44 feet; thence North 85°08'16" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 199.96 feet; thence South 60°28'02" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 97.23 feet; thence North 69°50'05" West, continuing along said North Right-of-Way line, and said South line of said subdivision, a distance of 342.03 feet, to the Southwest corner of said subdivision; thence North 30°28'52" West, continuing along said North Right-of-Way line, and along the West line of said subdivision, a distance of 87.88 feet; thence North 07°21'08" East, continuing along said North Right-of-Way line and it's transition to the East Right-of-Way line of View High Drive, as now established, and said West line of said subdivision, a distance of 106.53 feet; thence North 20°25'39" East, departing said West line of said subdivision, continuing along said East Right-of-Way line of View High Drive, a distance of 185.39 feet; thence North 45°30'34" West, continuing along said East Right-of-Way line, a distance of 129.40 feet; thence North 12°40'32" West, continuing along said East Right-of-Way line, a distance of 278.96 feet, to a point on said South line of the North half of the Northwest Quarter; thence North 86°26'21" West, continuing along said East Right-of-Way line, and along said South line of the North half of the Northwest Quarter, a distance of 130.00 feet, to the Southwest corner of said North half of the Northwest Quarter; thence North 02°25'47" East, along the West line of said Northwest Quarter, a distance of 1316.45 feet, to the POINT OF BEGINNING, containing 5,217,462.56 square feet or 119.78 acres, more or less.

FLOODPLAIN NOTE:

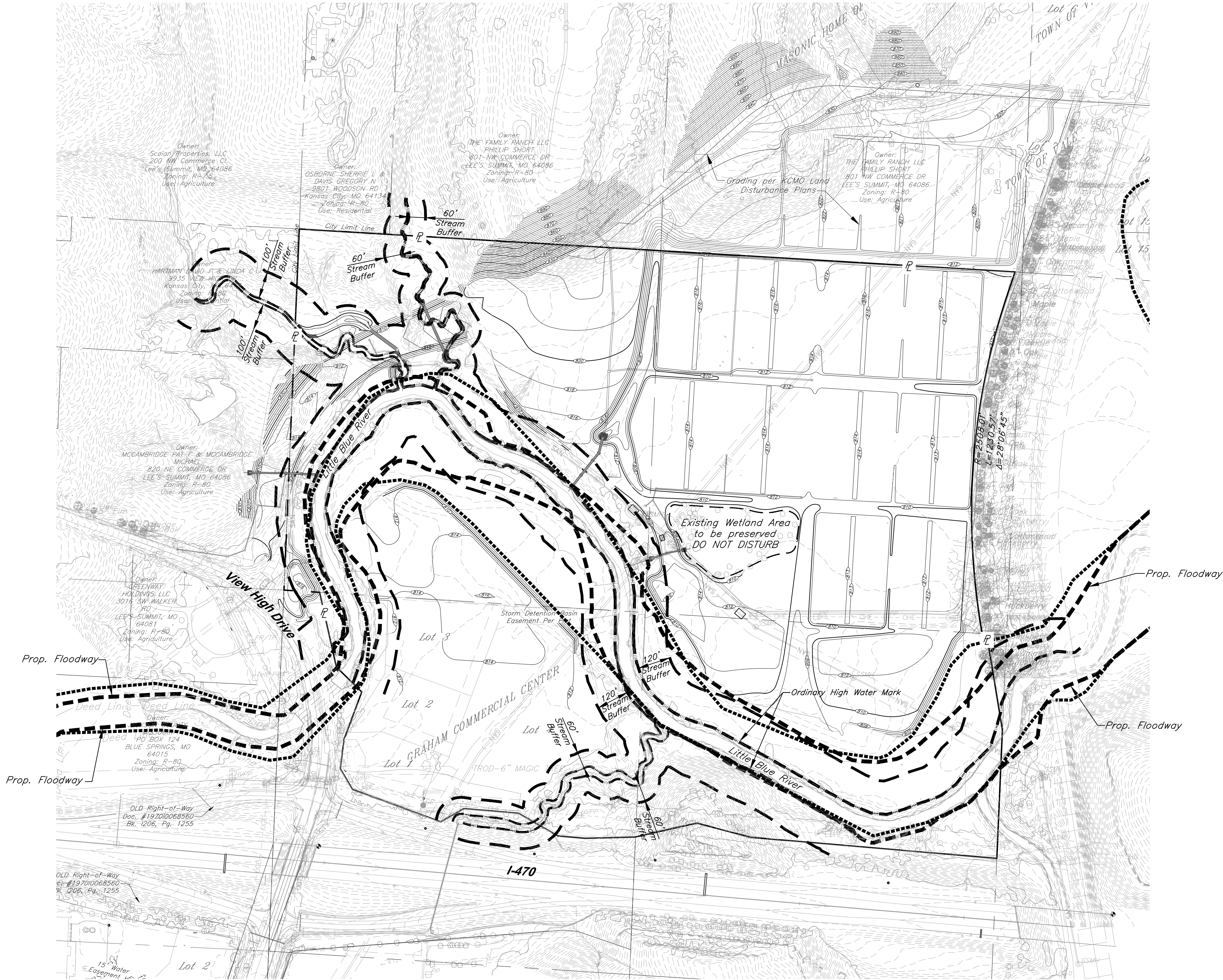
According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

Total Disturbed Area:

68.69 Ac.

General Layout





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**Paragon Star Development**  
Lee's Summit, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
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Legend

- Stream Buffer
- Existing Floodway
- Proposed Floodway
- Ordinary High Water Mark

Stream Buffer