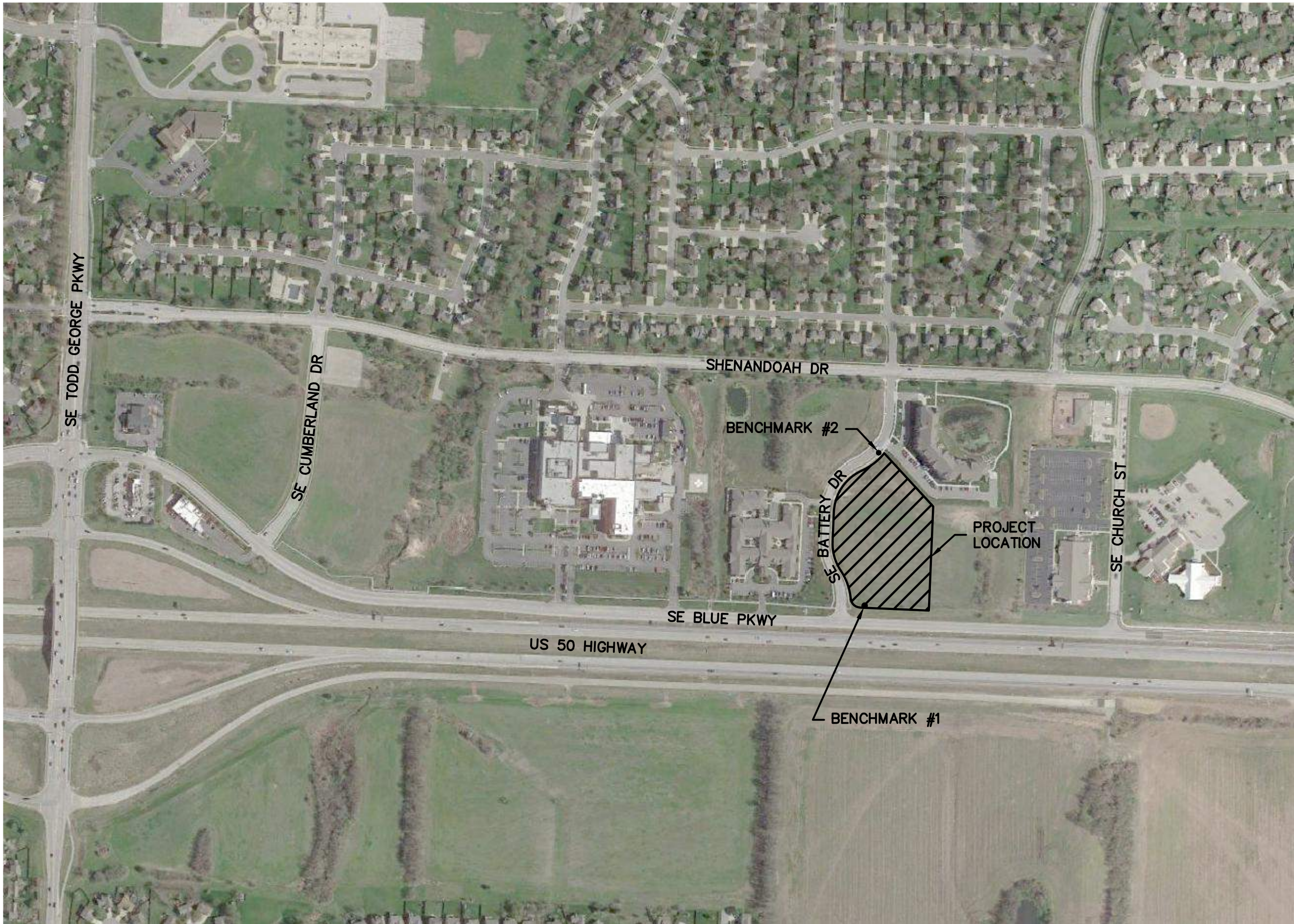


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DATE: Mar 11, 2019 10:38am XREFS: C:\LS_XBASE_80330 C:\LS_PBASE_80330

CONSTRUCTION DOCUMENTS FOR
MID-CONTINENT PUBLIC LIBRARY
EAST LEE'S SUMMIT BRANCH
NE CORNER, SE BATTERY DRIVE AND SE BLUE PARKWAY
NE 1/4 OF SECTION 10, TOWNSHIP 47 NORTH, RANGE 31 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.2	SURVEY SHEET
C1.3	FINAL DEVELOPMENT PLAN
C2.0	DEMOLITION PLAN
C3.0	GENERAL LAYOUT PLAN
C4.0	SITE DIMENSION PLAN
C4.1	SITE DIMENSION PLAN
C5.0	GRADING PLAN
C5.1	GRADING DETAILS
C5.2	GRADING DETAILS
C5.3	GRADING DETAILS
C5.4	GRADING DETAILS
C5.5	GRADING DETAILS
C6.0	UTILITY PLAN
C7.0	STORM SEWER PLAN & PROFILE
C7.1	STORM SEWER PLAN & PROFILE
C8.0	DRAINAGE PLAN
C9.0	EROSION CONTROL PLAN - PRE CONSTRUCTION
C9.1	EROSION CONTROL - CONSTRUCTION
C9.2	EROSION CONTROL - POST CONSTRUCTION
C9.3	EROSION CONTROL DETAILS
C9.4	EROSION CONTROL DETAILS
C9.5	EROSION CONTROL DETAILS
C10.0	STANDARD DETAILS
C10.1	STANDARD DETAILS
C10.2	STANDARD DETAILS
C10.3	STANDARD DETAILS
C10.4	STANDARD DETAILS
C10.5	STANDARD DETAILS
C10.6	STANDARD DETAILS



NOT TO SCALE

BENCHMARKS:

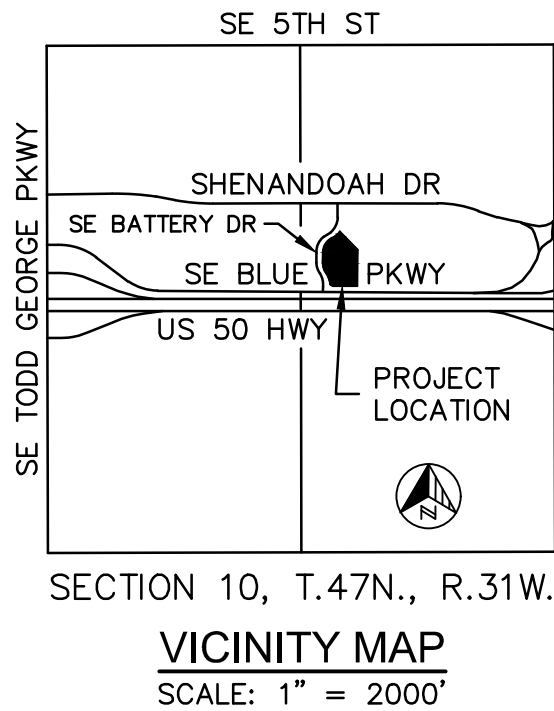
BENCHMARK #1:
ELEVATION=1027.22'
SET RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE, 66'± NORTH OF THE CL OF SE BLUE PARKWAY, 86' EAST OF THE CL OF SE BATTERY DRIVE.

BENCHMARK #2:
ELEVATION=1009.31'
SET CHISELED "I" CUT ON THE SOUTHWESTERLY CORNER OF A CONCRETE CURB INLET #40636, 630'± NORTH OF THE CL OF SE BLUE PARKWAY, 15' EAST OF THE CL OF SE BATTERY DRIVE.

LEGAL DESCRIPTION:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 81.81 FEET THEREOF, CONTAINING 165,561 SQUARE FEET OR 3.8008 ACRES, MORE OR LESS .

DEVELOPMENT TEAM CONTACT INFORMATION	
OWNER/DEVELOPER	
STEVEN V. POTTER MID-CONTINENT PUBLIC LIBRARY	ADMINISTRATIVE HEADQUARTERS 15616 E. 24 HWY. INDEPENDENCE, MO 64050 816.836.5200
CIVIL ENGINEER	
TERRY PARSONS OLSSON ASSOCIATES	7301 W. 133RD STREET SUITE 200 OVERLAND PARK, KS 66213 PH: 913.381.1170 FAX: 913.381.1174 tparsons@olssonassociates.com



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ARCHITECTS**
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The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
CONSTRUCTION DOCUMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY
PACKAGE **04**

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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Olsson
Missouri State Certificate of Authority #001592
Revision No. Description Date
1 ASI#1 02.18.19
Project No. Date Drawn
B18-0330 12.07.18 RLK
Drawing No. **C1.0**
COVER SHEET

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Streets\GNCV\WORK PACKAGE 4\LEES SUMMIT\C_COV_80330.dwg USER: jfrleing
DATE: Mar 11, 2019 10:38am XREFS: C:\LS\IBLK_80330 C:\LS\XBASE_80330 C:\LS\PBASE_80330

GENERAL NOTES:

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-RITE", 1(800)344-7483 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !STOP!! CALL BEFORE YOU DIG!!
- THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AMERICAN PUBLIC WORKS ASSOCIATION - KANSAS CITY METROPOLITAN CHAPTER (APWA-KC) AND THE CITY OF LEE'S SUMMIT, MO, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
- THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF MISSOURI STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- THE CONTRACTOR SHALL LIMIT THE REMOVAL OF TREES TO THE LIMITS OF DEMOLITION SHOWN ON THE DEMOLITION PLAN.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.
- ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.
- EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE SPECIFICATIONS PROVIDED.
- THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.
- THE CONTOUR LINES SHOWN ARE FOR MASS GRADING PURPOSES.
- EXISTING CONTOURS REPRESENT MASS GRADING ELEVATIONS.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS OTHERWISE SHOWN BY CONTOURS OR SPOT ELEVATIONS.
- THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE IN THE BORROW AREA.
- THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.
- CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
- BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON (OLSSON), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF OLSSON, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY OLSSON AND THE ELECTRONIC FILES TRANSFERRED HEREWITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. OLSSON SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IF ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT. THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OLSSON, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OLSSON OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OLSSON.
- DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE; NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.

- GENERAL CONSTRUCTION NOTE REGARDING SEQUENCING OF EROSION CONTROL - ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN, EXCEPT THAT SILT FENCE WHICH IS TO BE PLACED ALONG THE BACK OF CURB FOR PROTECTION OF THE STREET. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR UNTIL ALL UTILITIES ARE IN PLACE. THE SILT FENCE THAT IS PLACED ALONG THE BACK OF THE CURB OR RIGHT -OF-WAY WILL BE INSTALLED IMMEDIATELY AFTER THE CURB IS CONSTRUCTED. EROSION AND SEDIMENTATION CONTROLS ARE TEMPORARY AND MUST BE REMOVED BY THE CONTRACTOR AFTER CONSTRUCTION IS COMPLETE AND THE DISTURBED AREA IS AT LEAST 70% PERMANENTLY VEGETATED.
- HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGNAGE AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE APWA-KC, CITY OF LEE'S SUMMIT ADA STANDARDS, AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.
- ALL WATER LINES SHALL BE INSTALLED PER THE LATEST STANDARDS AND SPECIFICATIONS OF THE APWA-KC AND THE CITY OF LEE'S SUMMIT, MO. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
- ALL WATER LINES SHALL BE INSTALLED PER CITY STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
- ALL EXTERIOR CONCRETE SHALL BE KCMMB-4K AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, SHALL MEET KCMMB STANDARDS AND SPECIFICATIONS, AND SHALL BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.
- ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.
- CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):
 - CONTROL JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET AND TOOLED TO 1/3 THE SLAB THICKNESS.
 - CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
 - ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NONEXTRUDING FILLER, CLOSED-CELL FOLSSONM RUBBER OR A BITUMEN-TREATED FIBER-BOLSSONRD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.
 - ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
- TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.
- ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS.
- EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.
- SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.

GENERAL UTILITY NOTES

- THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY.
- INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
- CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTER AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS.
- CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES.
- REFERENCE MEP PLANS FOR BUILDING CONNECTIONS.
- CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
- BACK FLOW PREVENTION TO BE PROVIDED INSIDE BUILDING. SEE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
- LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
- WATER METER CANNOT BE INSTALLED IN THE BUILDING.
- CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
- ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH THE CITY OF BLUE SPRINGS STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE POWER ROUTING TO MONUMENT SIGNS NOT SHOWN ON PLANS.
- ALL ROOF DRAIN AND DOWNSPOUT HEADER PIPES SHALL BE 12" HDPE PIPE AND INSTALLED AT 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN. ALL BENDS AND FITTINGS NEEDED TO BUILD ROUTING AS SHOWN SHALL BE INCLUDED IN BID.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS. ALL ROOF DRAIN AND DOWNSPOUT CONNECTIONS / FITTINGS, INCLUDING BUT NOT LIMITED TO BENDS AND TEES, SHALL BE MADE OF HDPE PIPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN.



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

SAPP
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Mid-Continent Public Library
CONSTRUCTION DOCUMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH

PACKAGE 04

2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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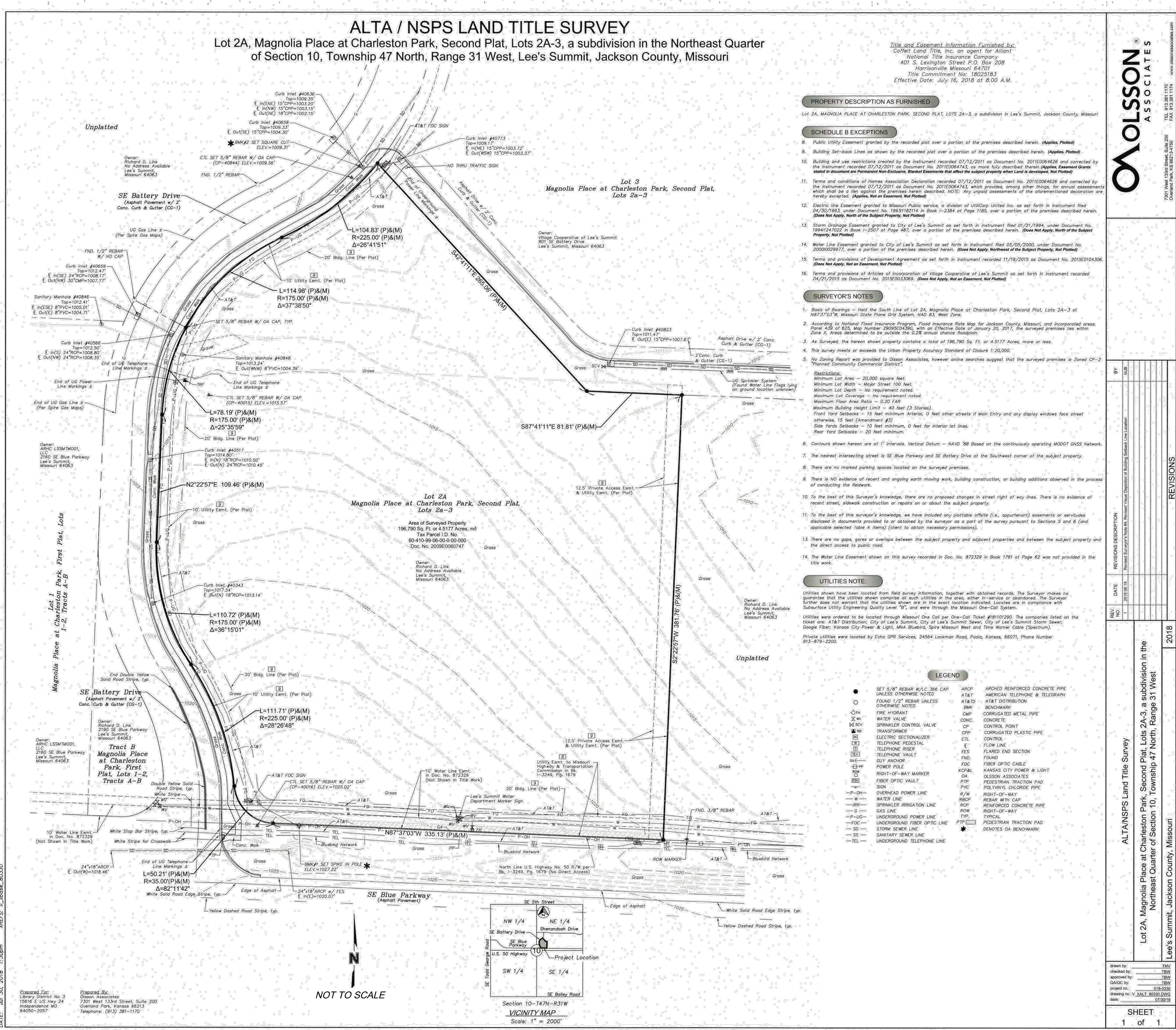
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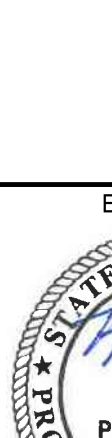
Revision No.	Description	Date
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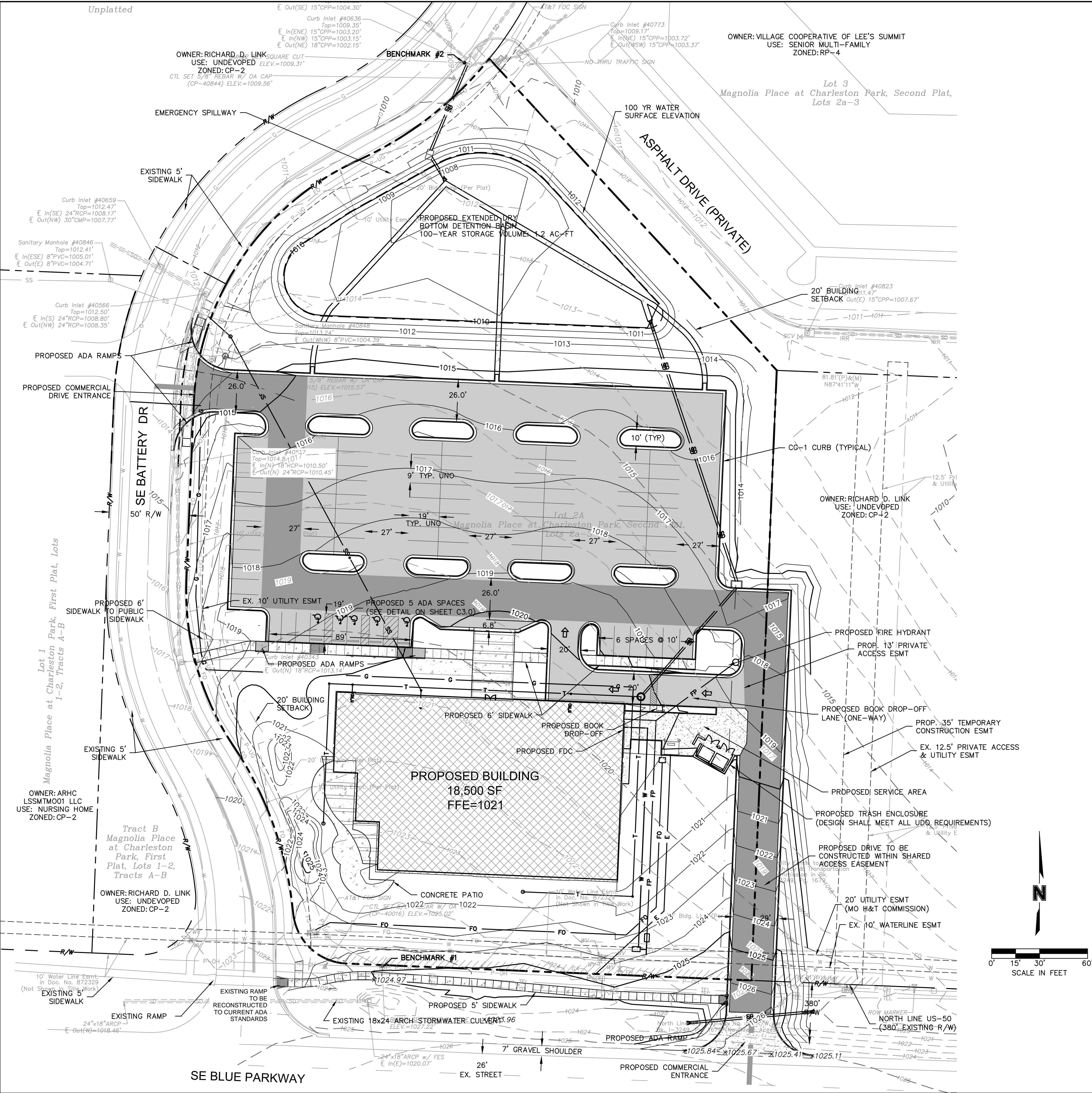
Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. C1.1
GENERAL NOTES

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<h1 style="margin: 0;">SAPP DESIGN ARCHITECTS</h1>		
3750 S. Fremont Ave. Springfield, MO 65804 417.877.9600		
Sapp Design Associates Architects, P.C. Missouri State Certificate of Authority #000607		
<h2 style="margin: 0;">helix.</h2>		
1629 Walnut Kansas City, MO 64108 816.300.0300		
SPECIAL NOTICES		
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Mid-Continent Public Library CONSTRUCTION DOCUMENT PLANS FOR	<h1 style="margin: 0;">EAST LEE'S SUMMIT BRANCH</h1>	2240 SE BLUE PARKWAY LEE'S SUMMIT, MO 64063 JACKSON COUNTY
Engineer of Record		
		
Terry M Parsons, Engineer MO PE-2018010505		
<h1 style="margin: 0;">olsson</h1>		
7301 West 133rd Street, Suite 200 Overland Park, KS 66213 TEL 913.381.1170 FAX 913.381.1174 www.olsosn.com		
Olsson Missouri State Certificate of Authority #001592		
Revision No. 1	Description ASI#1	Date 02.18.19
Project No. B18-0330	Date 12.07.18	Drawn RLK
Drawing No. C1.2		
SURVEY SHEET		
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SITE DATA		
ZONING & SITE AREA		
PROPOSED USE:	PUBLIC LIBRARY	
SITE AREA		ZONING
LOT 2 (AS DESCRIBED):	3.80 ACRES (165,528 SF)	CP-2
IMPERVIOUS:	1.71 ACRES (74,488 SF) (45%)	
PERVIOUS:	2.09 ACRES (91,040 SF) (55%)	
FAR (0.55 MAX):	0.15	
BUILDING AREA		
BUILDING TYPE	# STORIES	SQUARE FOOTAGE
BUILDING	1	18,500 SF
PARKING		
USE	REQUIRED	PROVIDED
LIBRARY	4 PER 1000 SF = 74	83
ADA	3 (PER CITY TABLE)	5
TOTAL	74	88 (INCLUDING ADA)

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

EXISTING CONDITIONS LEGEND

---	PROPERTY LINES
---	RIGHT-OF-WAY LINES
---	EASEMENT LINES
---	BUILDING SETBACK LINES
P-OH	OVERHEAD ELECTRIC
P-UG	UNDERGROUND ELECTRIC
TEL	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
G	GAS LINE
W	WATER LINE
SS	STORM SEWER LINE
SS	SANITARY SEWER LINE
85+	GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

E	PROPOSED UNDERGROUND ELECTRIC
FO	PROPOSED FIBER OPTIC
W	PROPOSED WATER LINE
FP	PROPOSED FIRE PROTECTION LINE
SD	PROPOSED STORM SEWER LINE
T	PROPOSED TURF DRAIN LINE
SS	PROPOSED SANITARY SEWER SERVICE
---	CONCRETE CURB & GUTTER
---	PROPOSED BUILDING
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED LIGHT DUTY ASPHALT
85+	PROPOSED GRADE CONTOURS
---	PROPOSED FIRE ACCESS ROAD

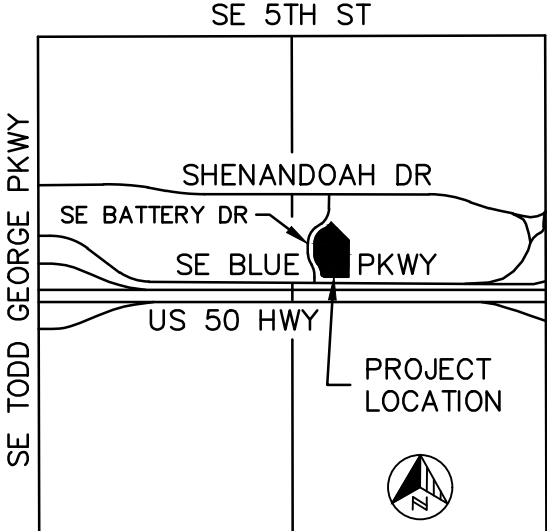
BENCHMARKS:

BENCHMARK #1:
ELEVATION=1027.22'
SET RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE, 66'± NORTH OF THE CL OF SE BLUE PARKWAY, 86' EAST OF THE CL OF SE BATTERY DRIVE.

BENCHMARK #2:
ELEVATION=1009.31'
SET CHISELED "C" CUT ON THE SOUTHWESTERLY CORNER OF A CONCRETE CURB INLET #40636, 630'± NORTH OF THE CL OF SE BLUE PARKWAY, 15' EAST OF THE CL OF SE BATTERY DRIVE.

LEGAL DESCRIPTION:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 81.81 FEET THEREOF, CONTAINING 165,561 SQUARE FEET OR 3.8008 ACRES, MORE OR LESS.



SECTION 10, T.47N., R.31W.
VICINITY MAP
SCALE: 1" = 2000'

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EAST LEE'S SUMMIT BRANCH

Mid-Continent Public Library
CONSTRUCTION DOCUMENT PLANS FOR
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

Engineer of Record
TERRY M. PARSONS
NUMBER
PE-2018010505
8-11-2019
Terry M Parsons, Engineer MO PE-2018010505

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Revision No.	Description	Date
1	ASR#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No.
C1.3
FINAL DEVELOPMENT
PLAN

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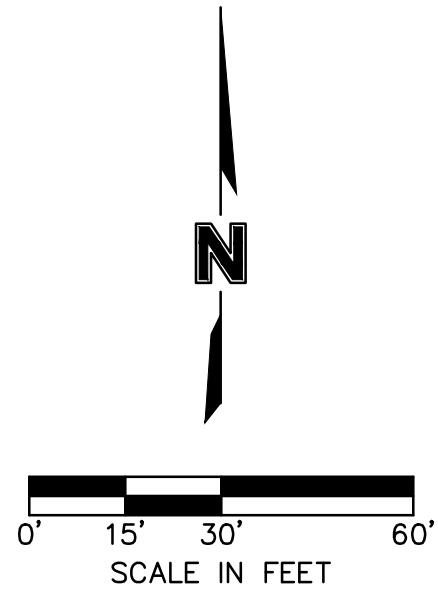


- DEMOLITION NOTES**
- CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
 - CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISSOURI ONE CALL AT 1-800-344-7483 IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
 - CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS.
 - CONTRACTOR TO REMOVE ALL TREES AND BRUSH FOR INSTALLATION OF IMPROVEMENTS.
 - REMOVAL AND DISPOSAL OF BUSHES AND TREES SMALLER THAN 12" IN DIAMETER SHALL BE CONSIDERED SUBSIDIARY TO THE PRICE BID FOR CLEARING AND GRUBBING.
 - ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
 - DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
 - DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
 - ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
 - CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
 - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
 - CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE CITY.
 - DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - DEMOLITION OF BUILDINGS SHALL INCLUDE THE BUILDING STRUCTURE, PAD, FOOTINGS, FOUNDATIONS, BASEMENT WALLS, BASEMENT FLOORS, TRUCK DOCKS, STEPS, DECKS, ALL ITEMS REMAINING IN BUILDING, ALL BUILDING UTILITY SERVICES, SIDEWALKS, AND BACKFILLING AND RESTORING REMAINING EXCAVATIONS, BASEMENTS AND TRENCHES PER SPECIFICATIONS. ALL REMOVALS SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDING FOOTINGS, SUBSURFACE STRUCTURES, SURFACE STRUCTURES, DRAINAGE STRUCTURES, PIPES, PAVEMENT OF ALL TYPES, CURB & GUTTER, SIDEWALK, ROCK, ABANDONED UTILITIES AS DIRECTED BY THE ENGINEERS, TREES, TREE ROOTS, ANY UNKNOWN MATERIALS, AND UNSUITABLE SUBGRADE MATERIALS. THE SITE SHOULD BE CLEARED FOR THE PROPOSED IMPROVEMENTS PER CITY REQUIREMENTS.
 - ALL LIGHT POLE DEMOLITION SHALL INCLUDE FIXTURES, BASES AND WIRING.
 - ALL UTILITY DEMOLITION SHALL INCLUDE METERS, MANHOLES AND OTHER STRUCTURES ASSOCIATED WITH THE UTILITY SERVICE LINE.

KEY NOTE LEGEND	
01	REMOVE EXISTING INFRASTRUCTURE, BUILDINGS, VEGETATION AND PAVEMENT FOR THE PURPOSE OF PROJECT CONSTRUCTION.
02	SAWCUT EXISTING PAVEMENT
03	REMOVE EXISTING CURB & GUTTER
04	REMOVE EXISTING SIDEWALK
05	PROTECT EXISTING UTILITY EQUIPMENT/ MANHOLE
06	INSTALL TREE PROTECTION. SEE DETAIL ON C6.5
07	COORDINATE DEMOLITION WITH POWER COMPANY
08	PROTECT EXISTING SANITARY SEWER TO REMAIN

LEGEND

----- PROPERTY LINE



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USER: jfrtelling L_PBASE_61023 L_PBASE_61023

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Mid-Continent Public Library

CONSTRUCTION DOCUMENT PLANS FOR

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2240 SE BLUE PARKWAY
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JACKSON COUNTY

PACKAGE
04

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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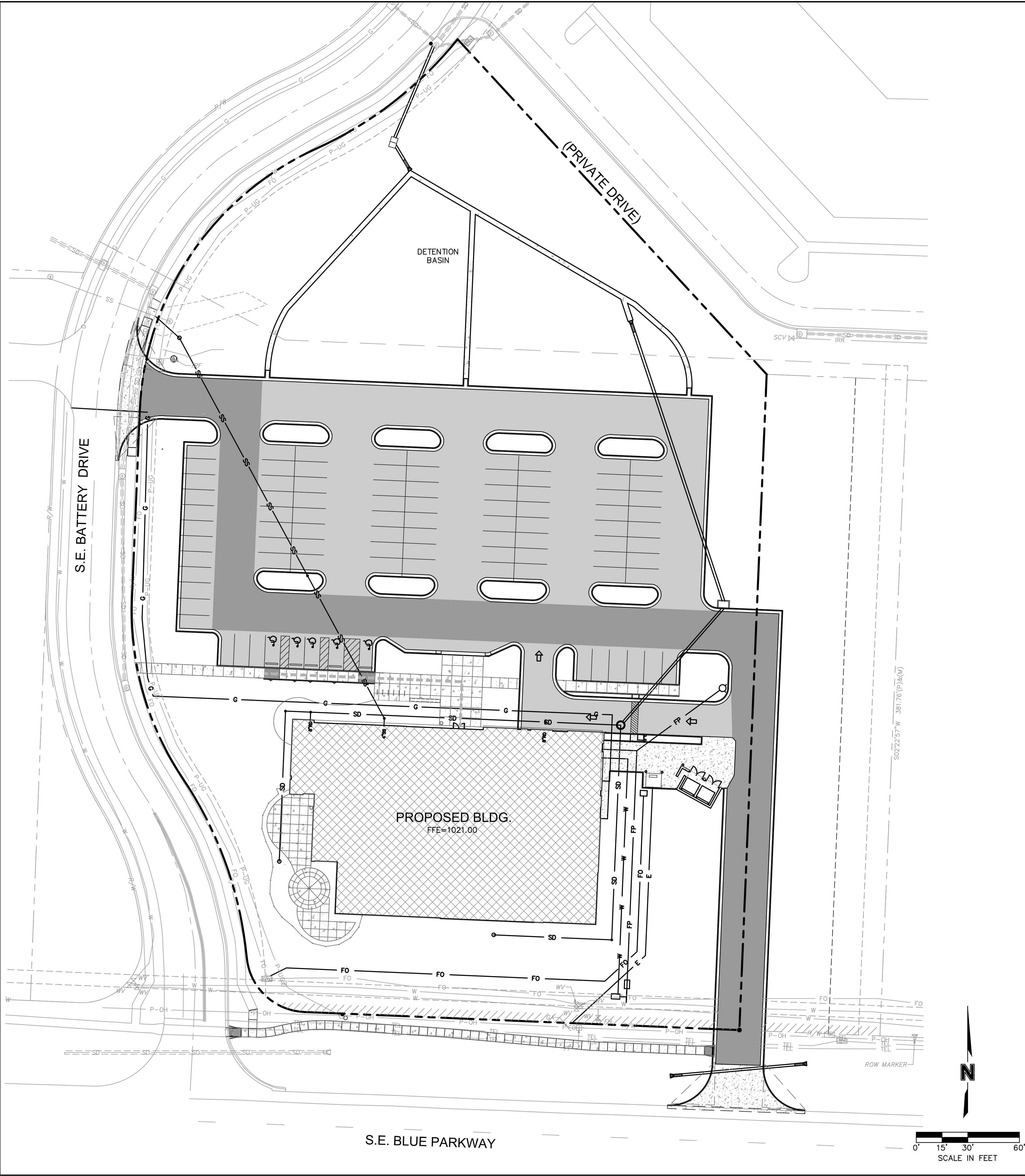
Revision No.	Description	Date
1	ASR#1	02.18.19

Project No. B18-0330	Date 12.07.18	Drawn RLK
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Drawing No.
C2.0
DEMOLITION PLAN

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LEGEND

- PROPERTY LINE
- CONCRETE CURB & GUTTER TYPE "CG-1"
- CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
- SAWCUT PAVEMENT FULL DEPTH
- CONCRETE PAVEMENT-HEAVY DUTY
- CONCRETE SIDEWALK PAVEMENT
- ASPHALT PAVEMENT - HEAVY DUTY
- ASPHALT PAVEMENT-PARKING AREAS
- ADA ACCESSIBLE ROUTE

*BID ALTERNATES

- BID ALTERNATE 1 -
THE SUBSTITUTION OF LIGHT DUTY ASPHALT PAVEMENT FOR HEAVY DUTY ASPHALT PAVEMENT IN PARKING DRIVE LANES.
- BID ALTERNATE 2 -
THE PLACEMENT OF TENSAR TRIAX TX GEOGRID BETWEEN THE SUBGRADE AND BASE ASPHALT LAYER UNDER ALL ASPHALT SURFACING INSTALLED PER MANUFACTURES RECOMMENDATIONS.
- BID ALTERNATE 3 -
THE SUBSTITUTION OF NON-TINTED CONCRETE FOR INTEGRALLY TINTED CONCRETE IN THE PEDESTRIAN PATIO AREA.

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Mid-Continent Public Library CONSTRUCTION DOCUMENT PLANS FOR EAST LEE'S SUMMIT BRANCH

2240 SE BLUE PARKWAY
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JACKSON COUNTY

PACKAGE
04

Engineer of Record



Terry M Parsons, Engineer MO PE-2018010505

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Revision No.	Description	Date
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Project No.	Date	Drawn
B18-0330	12.07.18	RLK

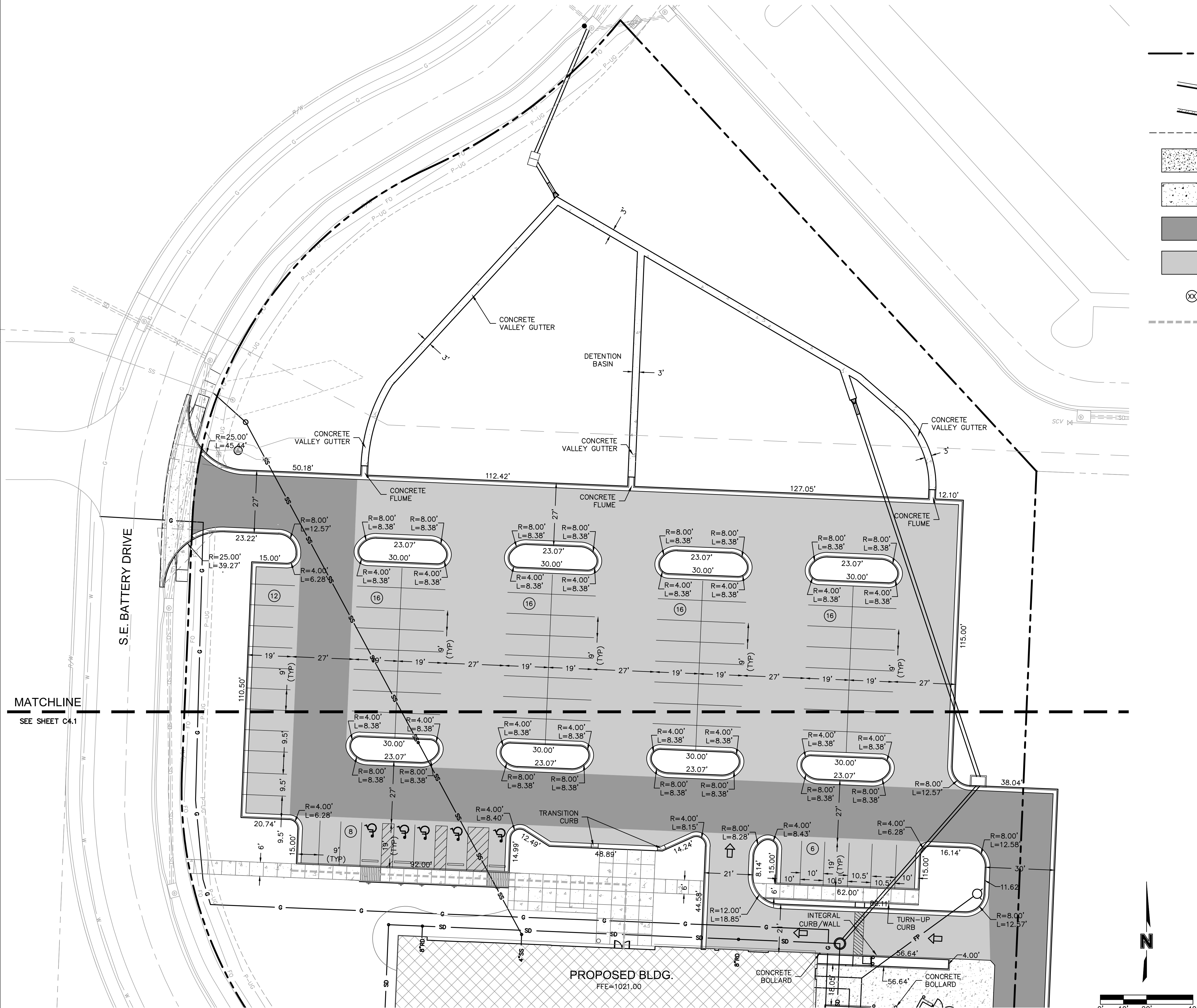
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C3.0

GENERAL LAYOUT PLAN

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LEGEND

- PROPERTY LINE
- CONCRETE CURB & GUTTER TYPE "CG-1"
- CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
- SAWCUT PAVEMENT FULL DEPTH
- CONCRETE PAVEMENT-HEAVY DUTY
- CONCRETE SIDEWALK PAVEMENT
- ASPHALT PAVEMENT - HEAVY DUTY
- ASPHALT PAVEMENT-PARKING AREAS
- PARKING STALLS
- ADA ACCESSIBLE ROUTE

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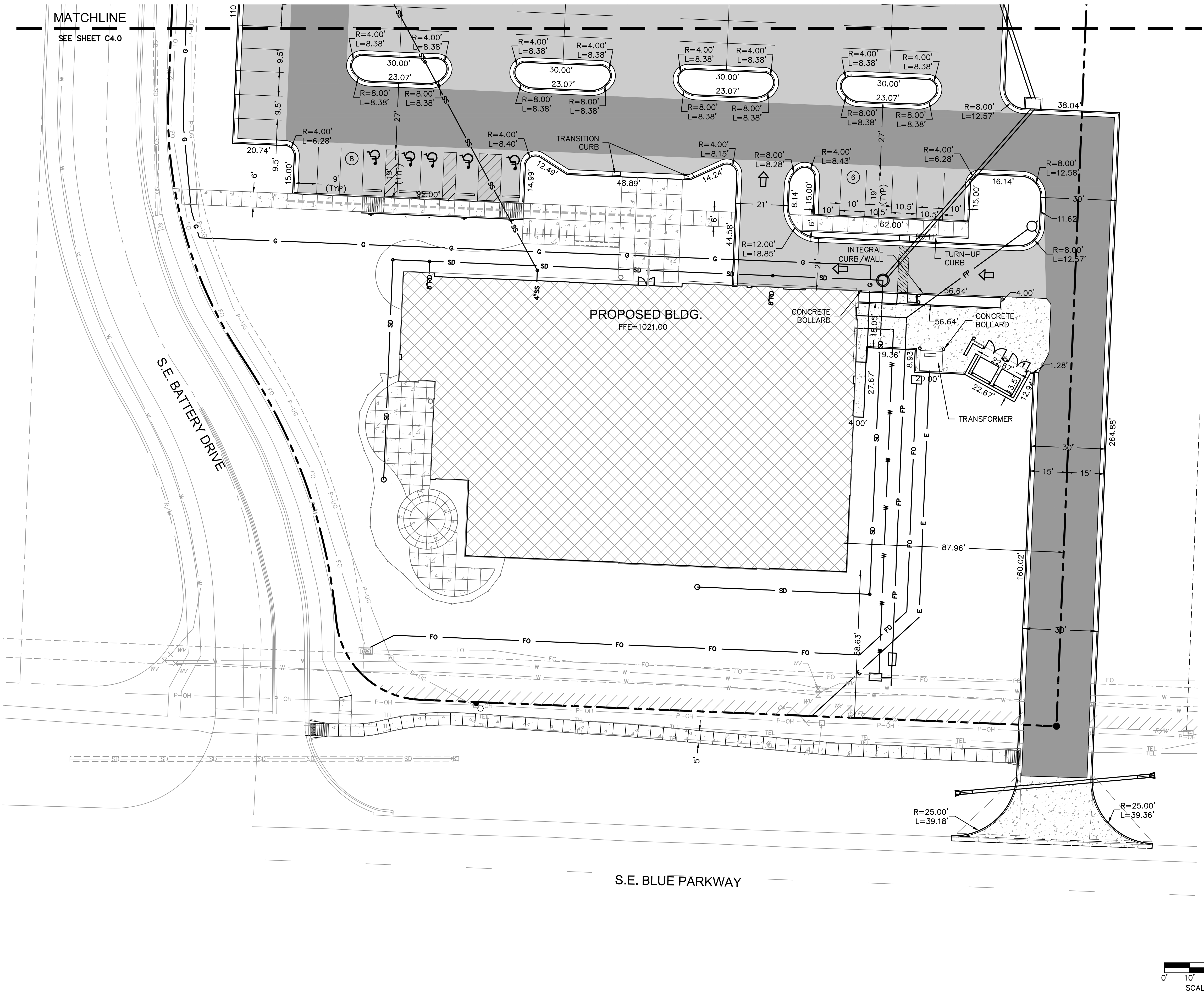
Revision No.	Description	Date
1	ASI#1	02.18.19

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B18-0330	12.07.18	RLK

Drawing No. **C4.0**

SITE DIMENSION PLAN

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LEGEND

--- PROPERTY LINE

CONCRETE CURB & GUTTER TYPE "CG-1"

CONCRETE CURB & GUTTER TYPE "CG-1 DRY"

--- SAWCUT PAVEMENT FULL DEPTH

CONCRETE PAVEMENT-HEAVY DUTY

CONCRETE SIDEWALK PAVEMENT

ASPHALT PAVEMENT - HEAVY DUTY

ASPHALT PAVEMENT-PARKING AREAS

PARKING STALLS

--- ADA ACCESSIBLE ROUTE

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NUMBER
PE-2018010505
8-11-2019

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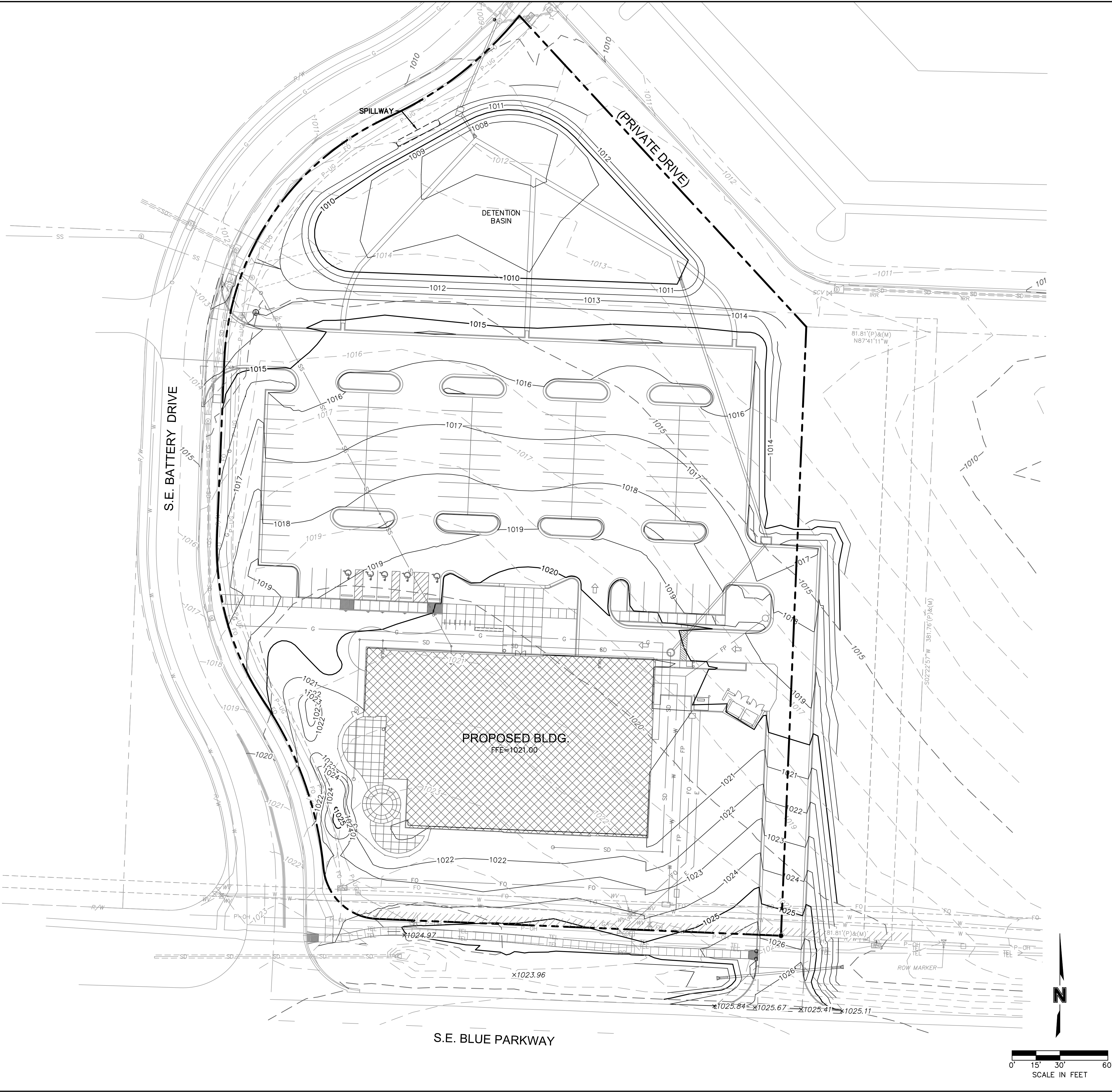
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Drawing No. **C4.1**

SITE DIMENSION PLAN

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LEGEND

---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
[Hatched Box]	RAMP
[L-Shape]	CONCRETE CURB & GUTTER TYPE "CG-1"
[L-Shape]	CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
[L-Shape]	CONCRETE CURB TYPE "C-1" MODIFIED
(X)	GRADING DETAIL DESIGNATION RE: SHEET C403 THRU C408

- NOTES:**
- CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
 - ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
 - ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATION, UNLESS NOTED OTHERWISE. RE: PLAN VIEW, LEGEND AND DETAILS FOR CURB TYPE AND TO CALCULATE TOP OF CURB ELEVATION.

TC=	TOP OF CURB
FG=	FINISHED GRADE WITHIN GREENSPACE
TS=	TOP OF STRUCTURE
TP=TC=	CURB DEPRESSED TO BE FLUSH WITH ADJACENT PAVEMENT
HP=	HIGH POINT
LP=	LOW POINT
MATCH EX.=	MATCH EXISTING
FFE=	FINISH FLOOR ELEVATION AT TOP OF SLAB

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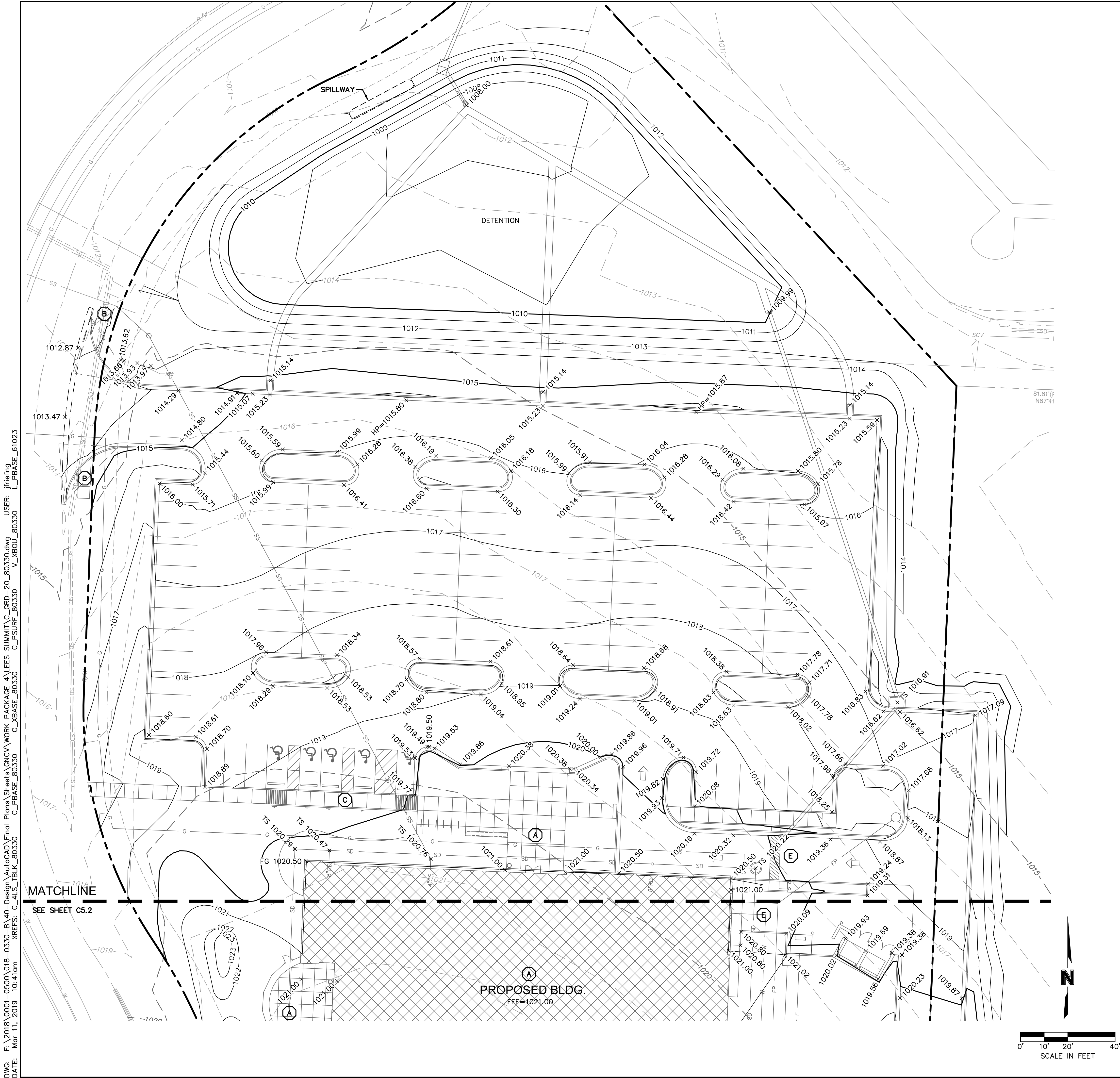
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1	ASI#1	02.18.19

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Drawing No. **C5.0**

GRADING PLAN

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LEGEND

--- PROPERTY LINE

--- EXISTING GRADE CONTOUR

--- FINISHED GRADE CONTOUR

--- RIDGE

--- VALLEY

--- RIDGE LINE

--- VALLEY LINE

--- RAMP

--- CONCRETE CURB & GUTTER TYPE "CG-1"

--- CONCRETE CURB & GUTTER TYPE "CG-1 DRY"

--- CONCRETE CURB TYPE "C-1" MODIFIED

(X) GRADING DETAIL DESIGNATION RE: SHEET C5.1 THRU C5.5

- NOTES:**
1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
 2. ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
 3. ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATION UNLESS NOTED OTHERWISE. RE: PLAN VIEW, LEGEND AND DETAILS FOR CURB TYPE AND TO CALCULATE TOP OF CURB ELEVATION.

TC= TOP OF CURB

FG= FINISHED GRADE WITHIN GREENSPACE

TS= TOP OF STRUCTURE

TP=TC= CURB DEPRESSED TO BE FLUSH WITH ADJACENT PAVEMENT

HP= HIGH POINT

LP= LOW POINT

MATCH EX.= MATCH EXISTING

FFE= FINISH FLOOR ELEVATION AT TOP OF SLAB

SPOT GRADES AT OVERHEAD DOORS REPRESENT A 2" LAG/DROP FROM FINISH FLOOR TO EXTERIOR PAVEMENT. RE: C-06

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Mid-Continent Public Library

CONSTRUCTION DOCUMENT PLANS FOR

EAST LEE'S SUMMIT BRANCH

2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

PACKAGE **04**

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

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Revision No.	Description	Date
1	ASI#1	02.18.19

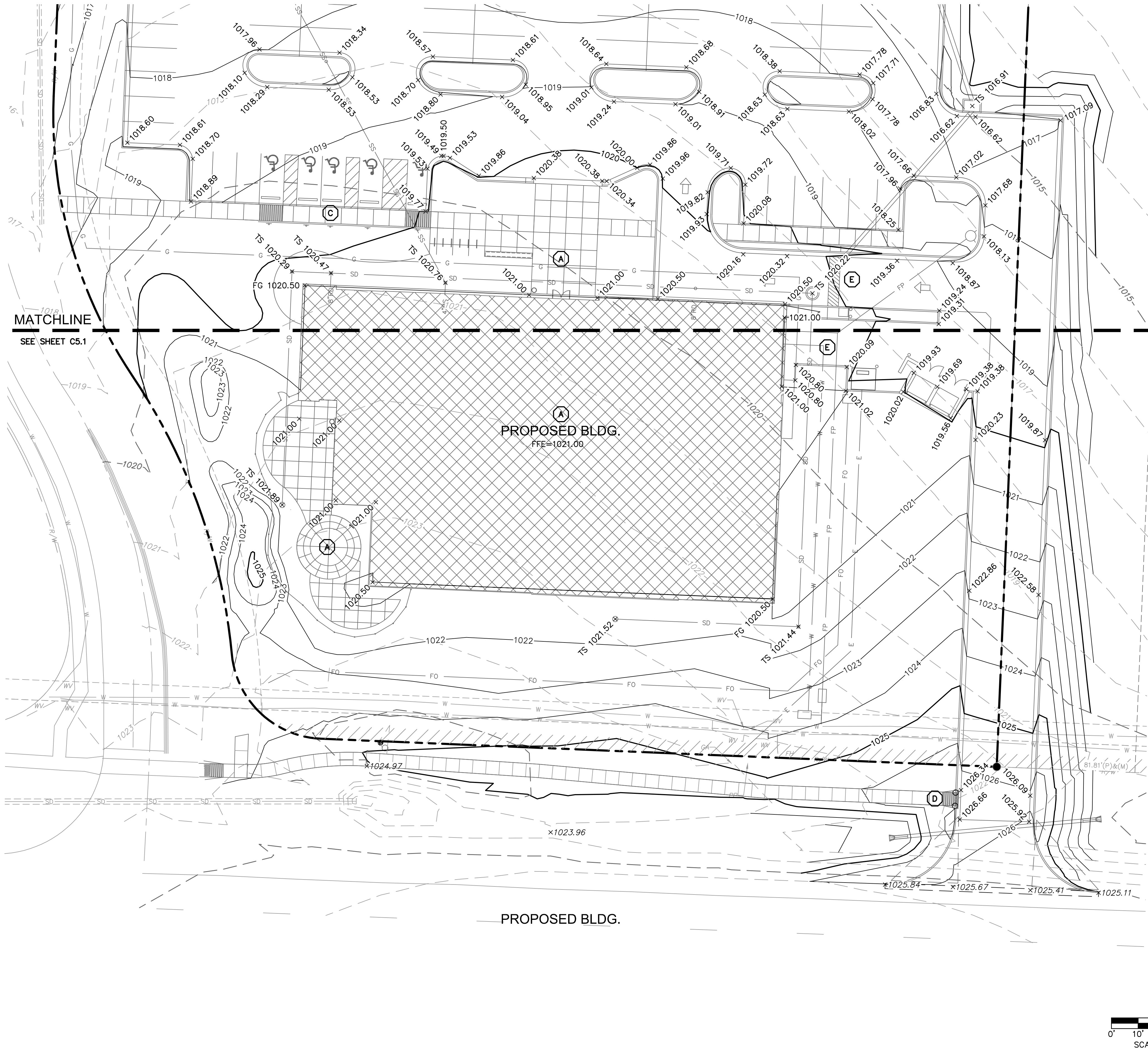
Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C5.1**

GRADING DETAILS

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LEGEND

	PROPERTY LINE
	EXISTING GRADE CONTOUR
	FINISHED GRADE CONTOUR
	RIDGE LINE
	VALLEY LINE
	RAMP
	CONCRETE CURB & GUTTER TYPE "CG-1"
	CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
	CONCRETE CURB TYPE "C-1" MODIFIED
	GRADING DETAIL DESIGNATION RE: SHEET C5.1 THRU C5.5

NOTES:

1. CONTRACTOR TO REMOVE AND REPLACE ALL SIDEWALK NECESSARY FOR CONNECTION TO EXISTING.
2. ALL ADA ACCESSIBLE SIDEWALK CROSS SLOPES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
3. ALL ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATION UNLESS NOTED OTHERWISE. RE: PLAN VIEW, LEGEND AND DETAILS FOR CURB TYPE AND TO CALCULATE TOP OF CURB ELEVATION.

TC=	TOP OF CURB
FG=	FINISHED GRADE WITHIN GREENSPACE
TS=	TOP OF STRUCTURE
TP=TC=	CURB DEPRESSED TO BE FLUSH WITH ADJACENT PAVEMENT
HP=	HIGH POINT
LP=	LOW POINT
MATCH EX.=	MATCH EXISTING
FFE=	FINISH FLOOR ELEVATION AT TOP OF SLAB

SPOT GRADES AT OVERHEAD DOORS REPRESENT A 2" LAG/DROP FROM FINISH FLOOR TO EXTERIOR PAVEMENT. RE: C-06

**SAPP
DESIGN
ARCHITECTS**

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Springfield, MO 65804 417.877.9600

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1629 Walnut
Kansas City, MO 64108 816.300.0300

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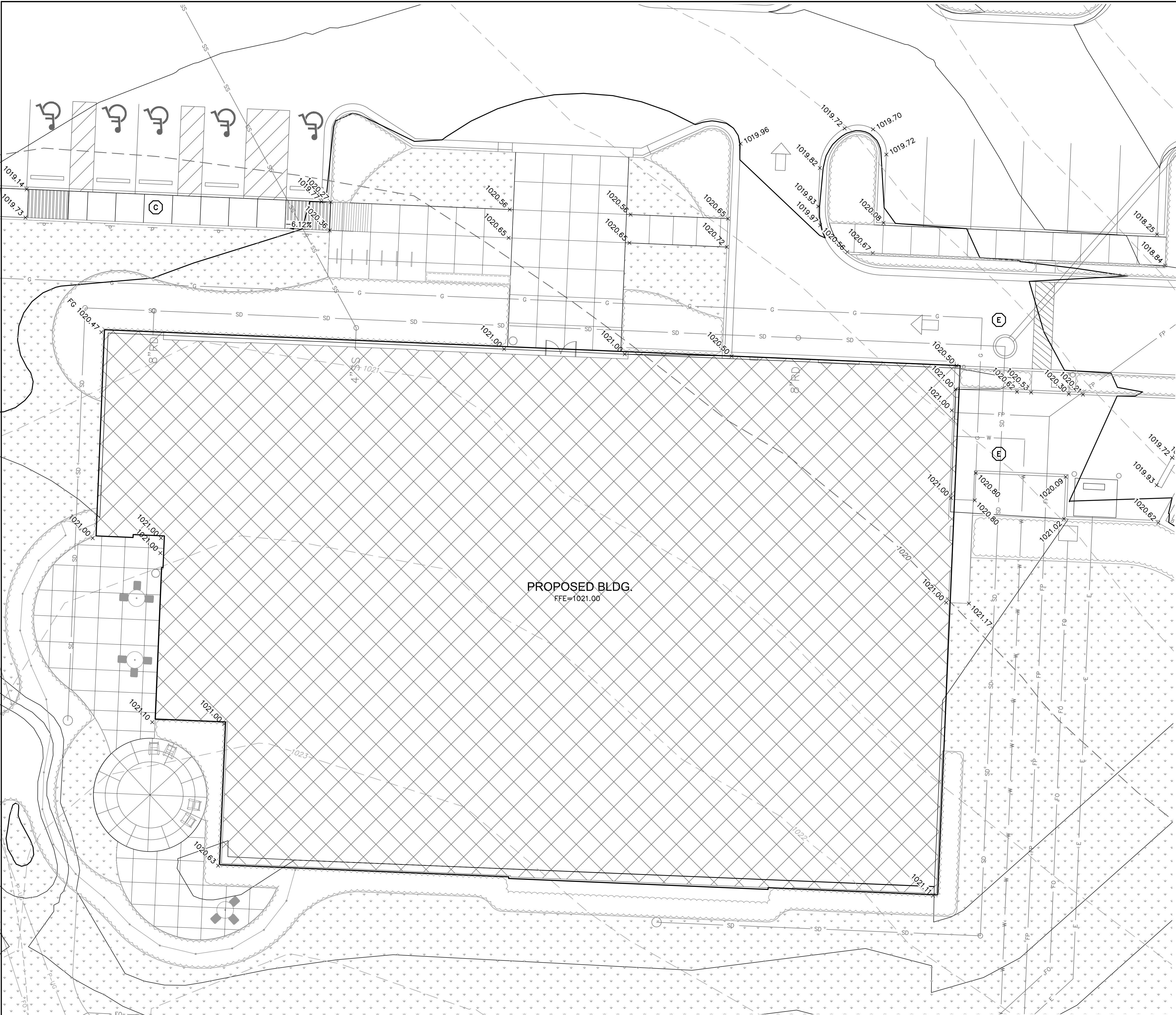
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B18-0330	12.07.18	RLK

Drawing No.

C5.2
GRADING DETAILS

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DETAIL A

LEGEND

	PROPERTY LINE
	EXISTING GRADE CONTOUR
	FINISHED GRADE CONTOUR
	RIDGE LINE
	VALLEY LINE
	RAMP
	CONCRETE CURB & GUTTER TYPE "CG-1"
	CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
	CONCRETE CURB TYPE "C-1" MODIFIED
	GRADING DETAIL DESIGNATION RE: SHEET C5.1 THRU C5.5

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B18-0330	12.07.18	RLK

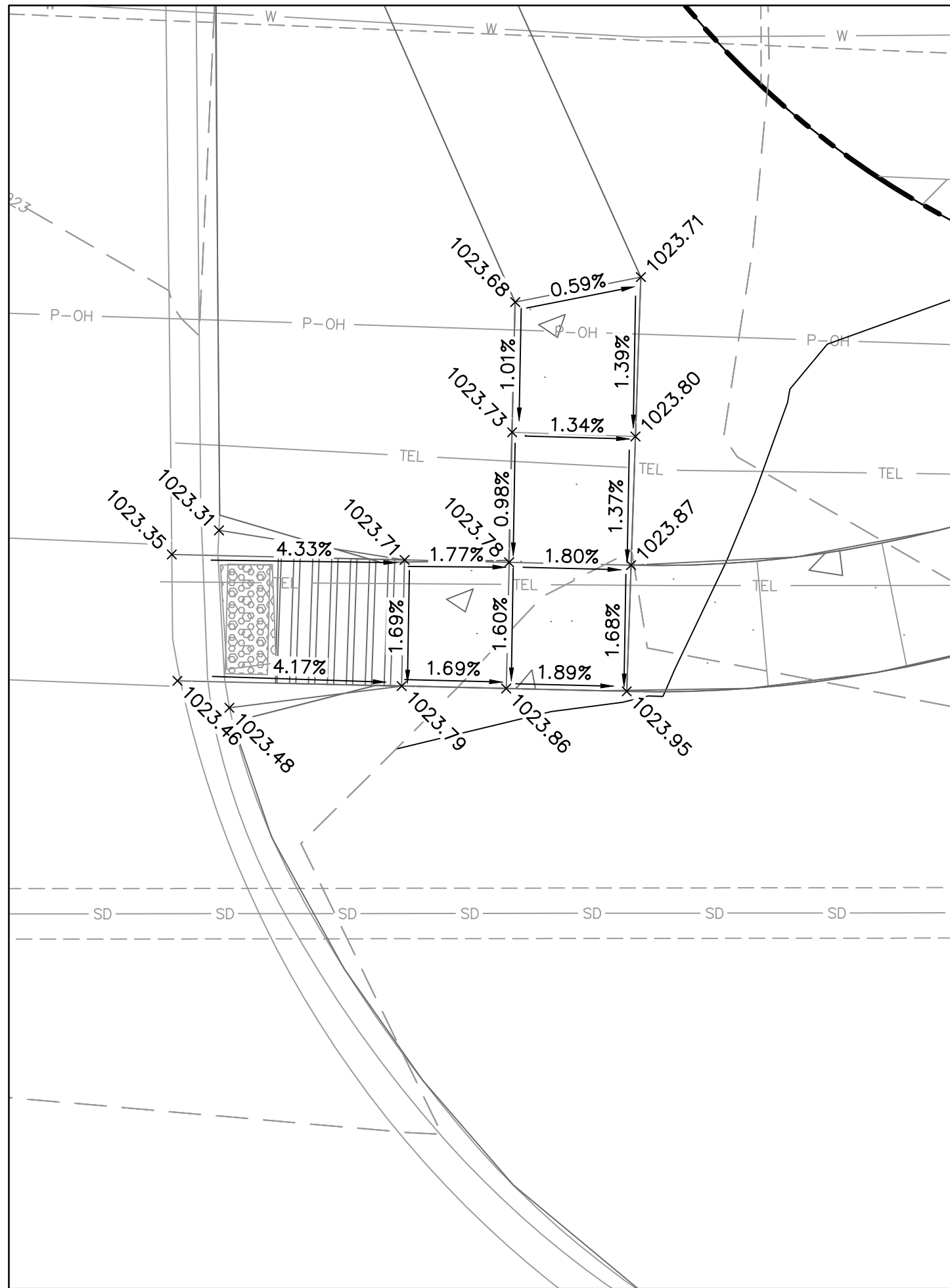
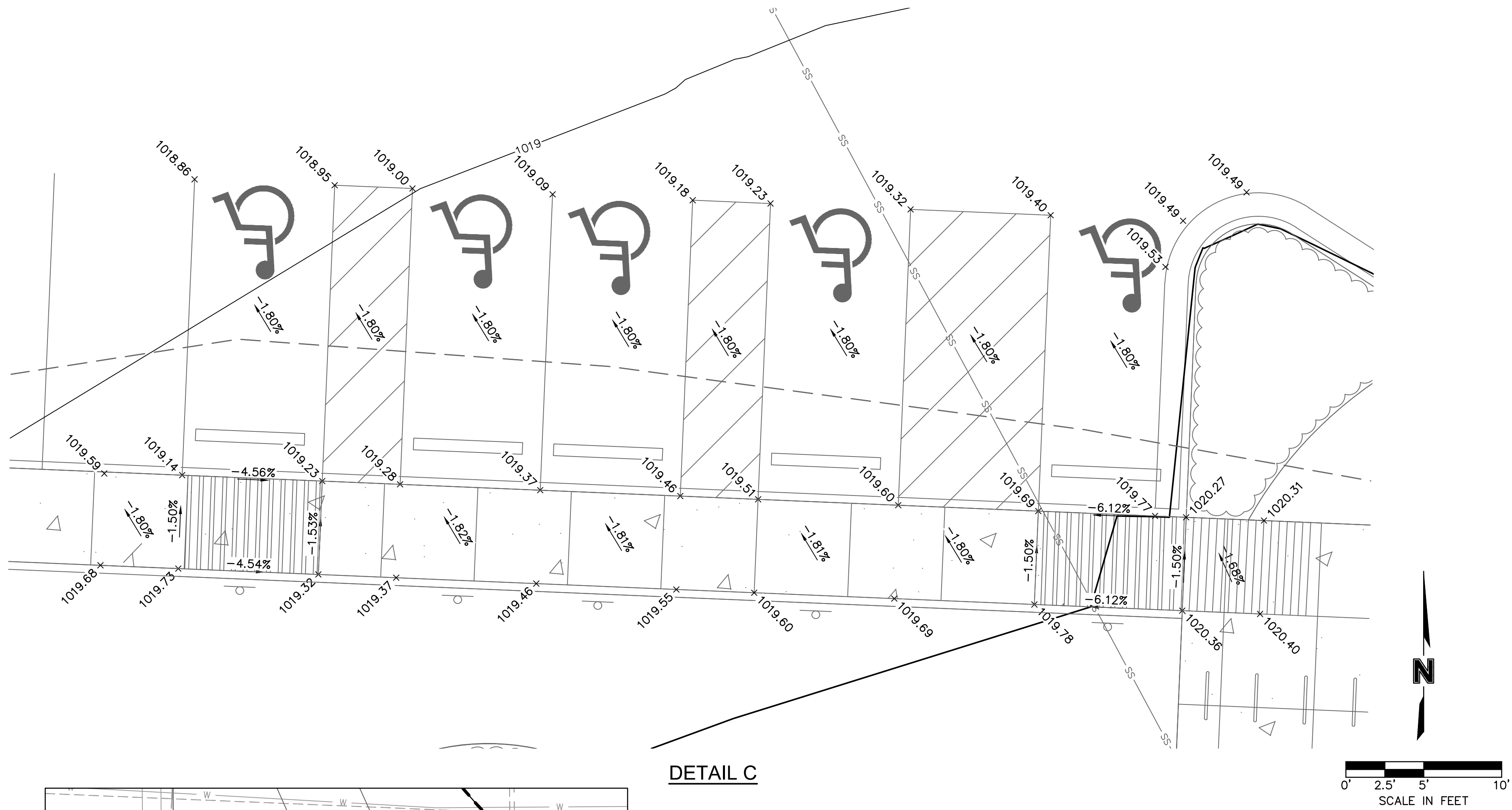
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C5.3

GRADING DETAILS

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LEGEND	
	PROPERTY LINE
	EXISTING GRADE CONTOUR
	FINISHED GRADE CONTOUR
	RIDGE LINE
	VALLEY LINE
	RAMP
	CONCRETE CURB & GUTTER TYPE "CG-1"
	CONCRETE CURB & GUTTER TYPE "CG-1 DRY"
	CONCRETE CURB TYPE "C-1" MODIFIED

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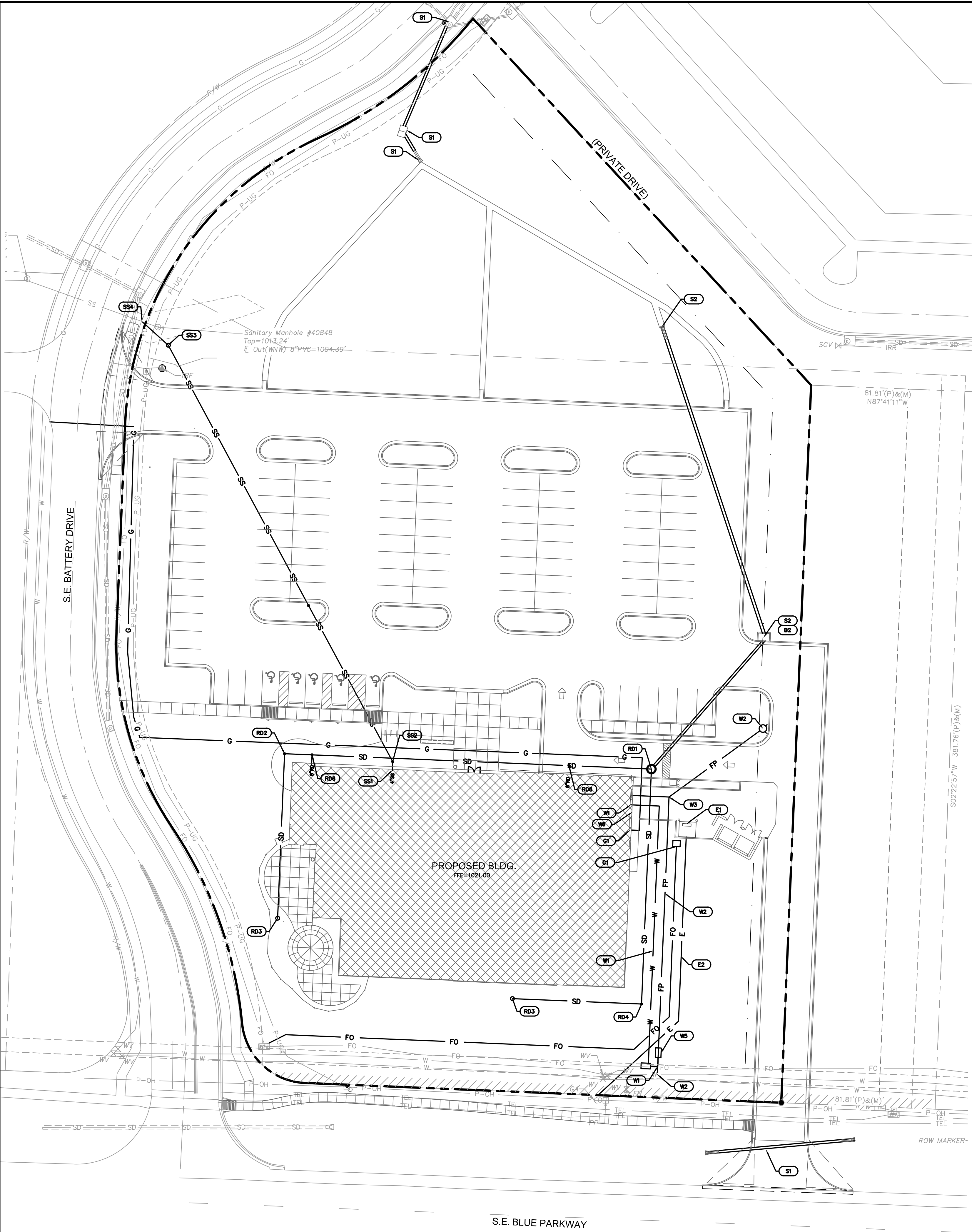
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Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C5.4**
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0' 15' 30' 60'
SCALE IN FEET

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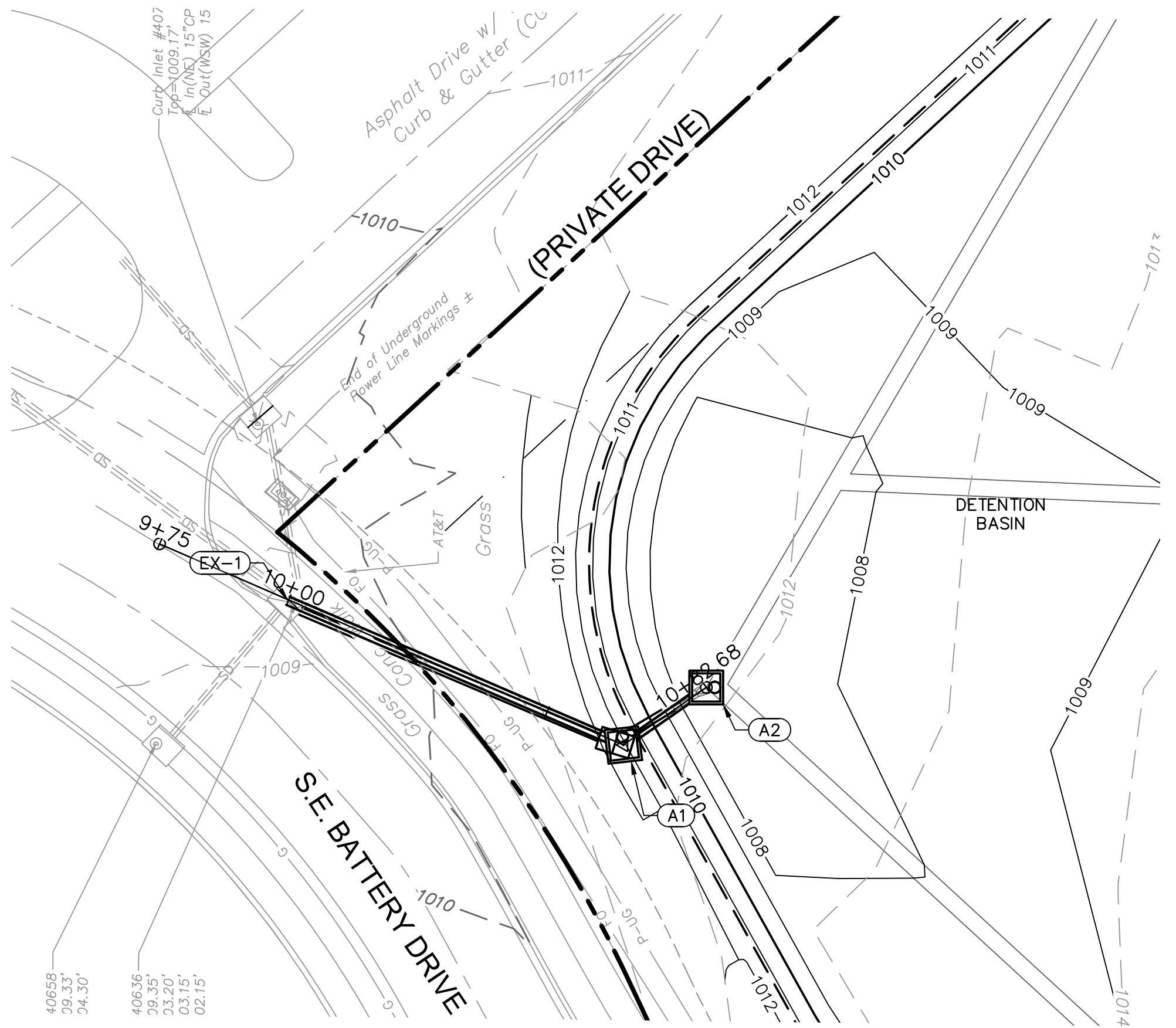
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Project No.	Date	Drawn
B18-0330	12.07.18	RLK

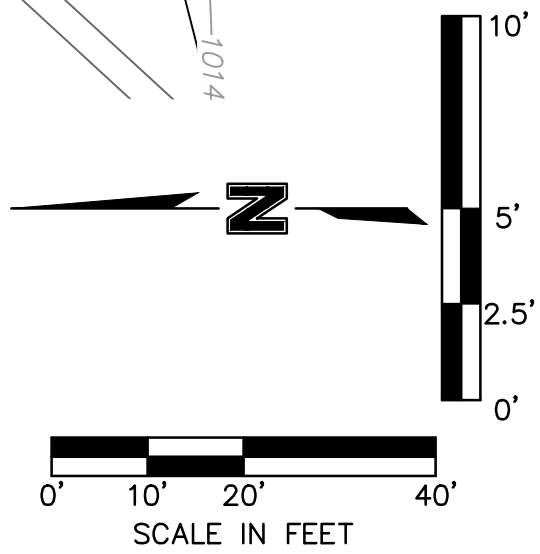
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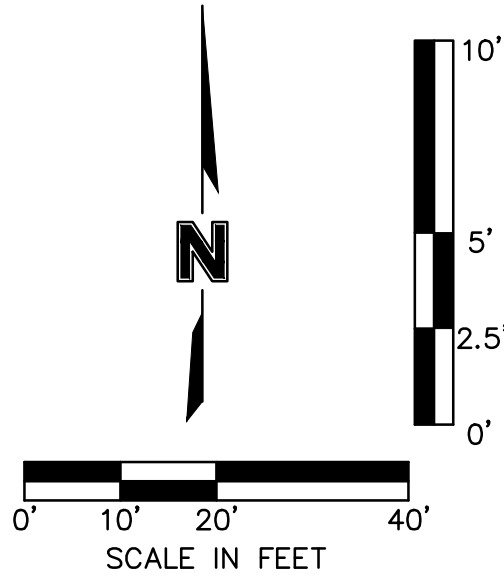
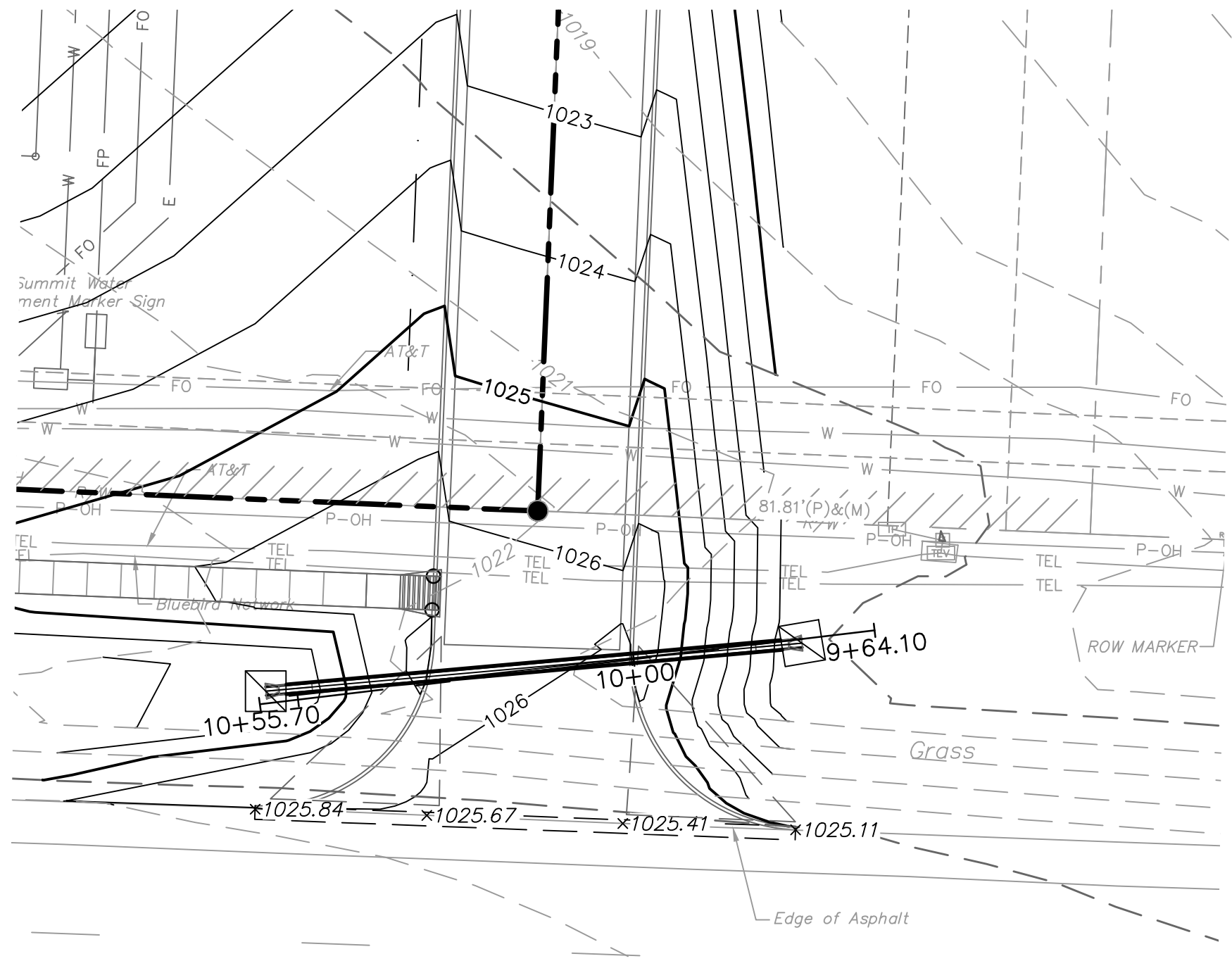
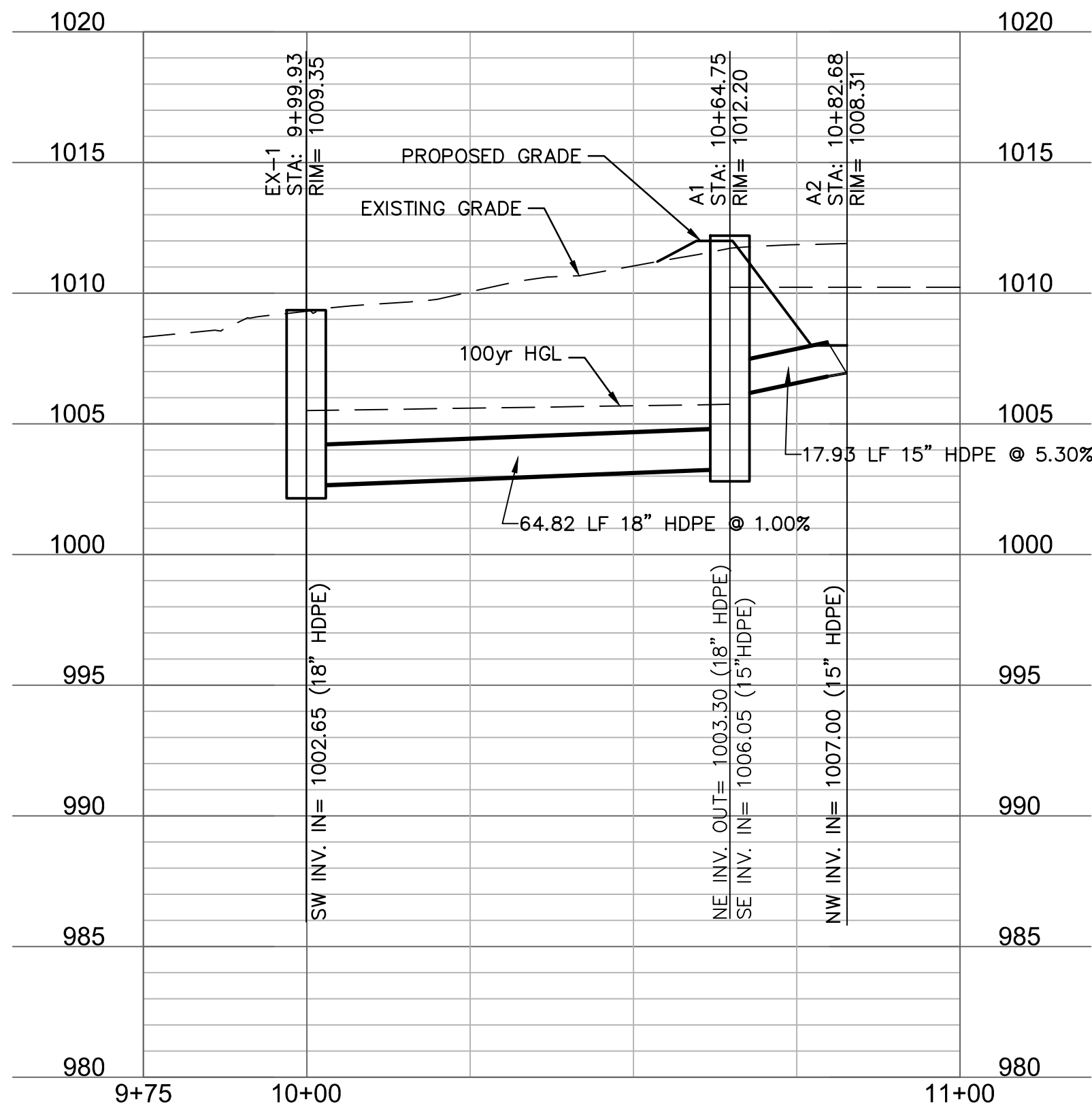
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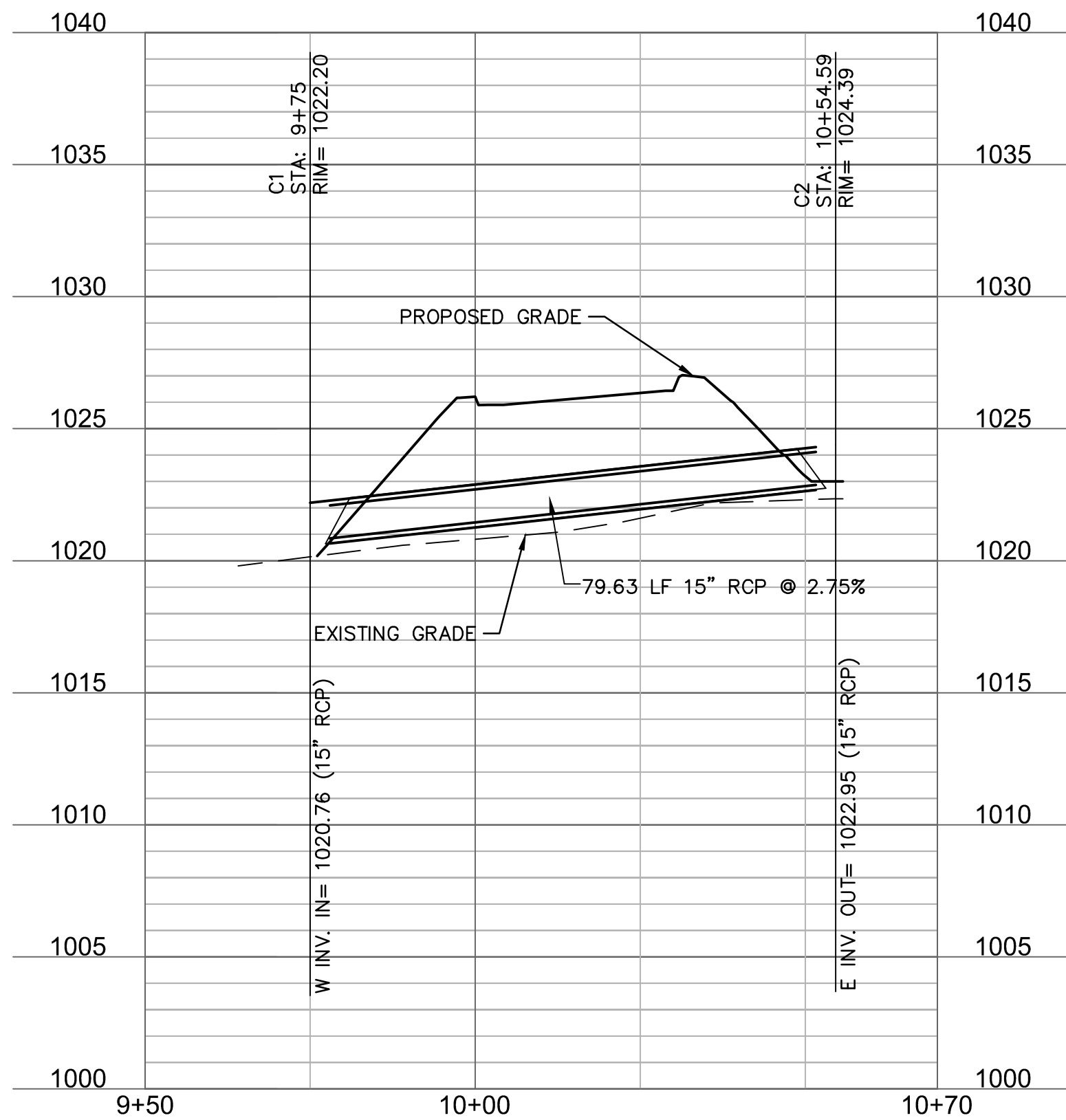
STRUCTURES	
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A1	5' X 5' JUNCTION BOX RE: CONTROL STRUCTURE DETAIL, SHEET C10.6 10+64.75, 0.00' STORM 1 (1) RIM= 1012.20 INV IN = 1006.05 (15" HDPE) INV IN = 1003.30 (18" HDPE) N: 996661.070; E: 2837287.498
A2	INSTALL 15" HDPE END SECTION W/TOEWALL 10+82.68, 0.00' STORM 1 (1) RIM= 1008.31 N: 996646.340; E: 2837297.721
EX-1	EXISTING INLET 9+99.93, 0.19' RT STORM 1 (1) RIM= 1009.35 INV IN = 1002.65 (18" HDPE) N: 996720.622; E: 2837313.108



STORM 1 (1) (9+75 - 11+00)



STORM 4 (9+50 - 10+70)



STRUCTURES	
ID	DESCRIPTION
C1	INSTALL 15" RCP END SECTION WITH CONCRETE TOEWALL AND 1.9 CUBIC YARDS CLASS 2 RIPRAP 9+75, -0.61' LT STORM 4 RIM= 1022.20 INV IN = 1020.76 (15" RCP) N: 996126.759; E: 2837528.253
C2	INSTALL 15" RCP END SECTION WITH CONCRETE TOEWALL AND 1.9 CUBIC YARDS CLASS 2 RIPRAP 10+54.59, 1.82' RT STORM 4 RIM= 1024.39 INV OUT = 1022.95 (15" RCP) N: 996119.661; E: 2837448.943

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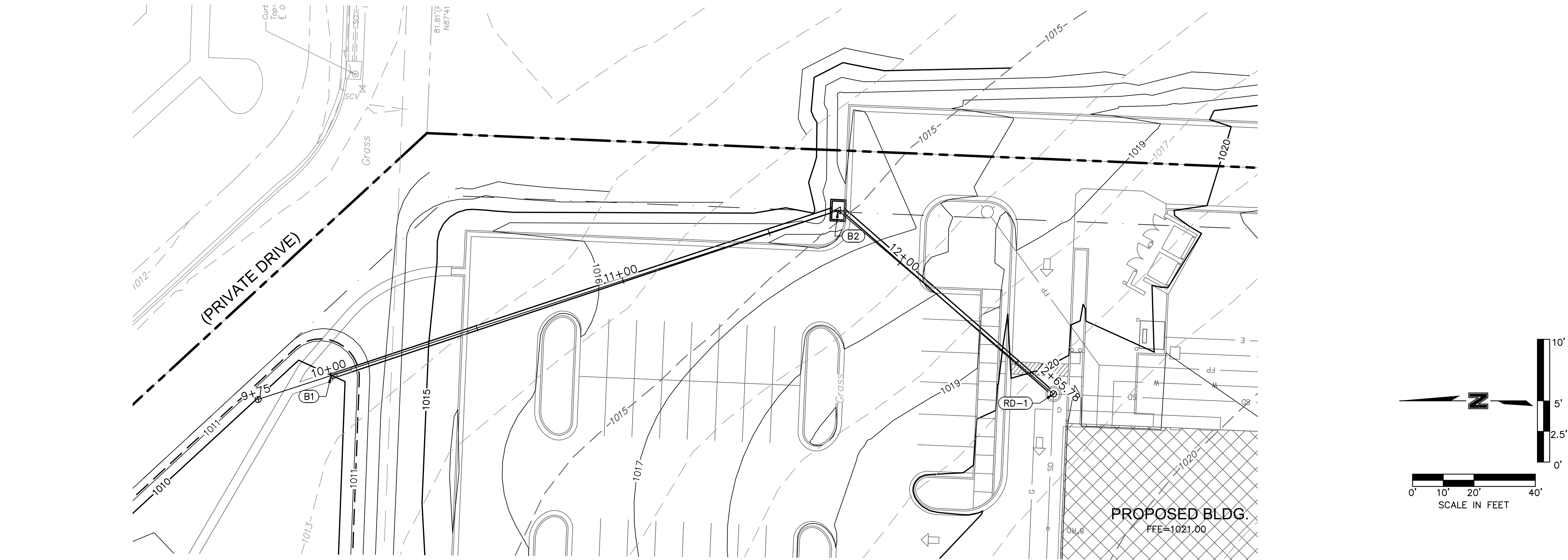
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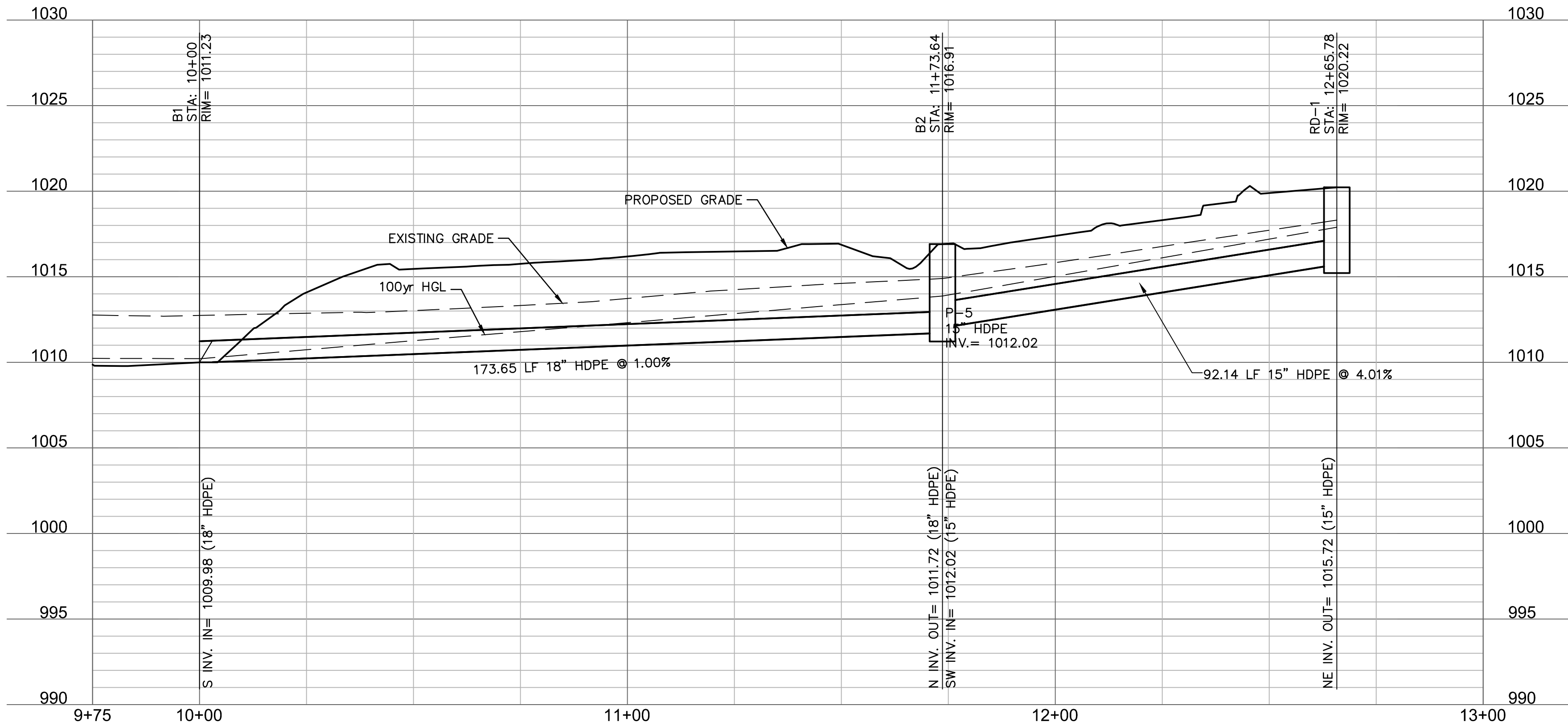
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B18-0330	12.07.18	RLK

Drawing No. **C7.0**

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STORM 3 (9+75 - 13+00)



STRUCTURES	
ID	DESCRIPTION
B1	INSTALL 18" HDPE END SECTION W/TOEWALL AND XX LF OF 150# RIPRAP 10+00, 0.00' STORM 3 RIM= 1011.23 INV IN = 1009.98 (18" HDPE) N: 996558.877; E: 2837426.099
B2	INSTALL STD. 6"x4' NON-SETBACK CURB INLET 11+73.64, 0.00' STORM 3 RIM= 1016.91 INV IN = 1012.02 (15" HDPE) INV OUT = 1011.72 (18" HDPE) N: 996393.767; E: 2837479.875
RD-1	INSTALL STD. 4' DIA. MH W/HEAVY DUTY RING & COVER 12+65.78, 0.00' STORM 3 RIM= 1020.22 INV OUT = 1015.72 (15" HDPE) N: 996323.625; E: 2837420.130

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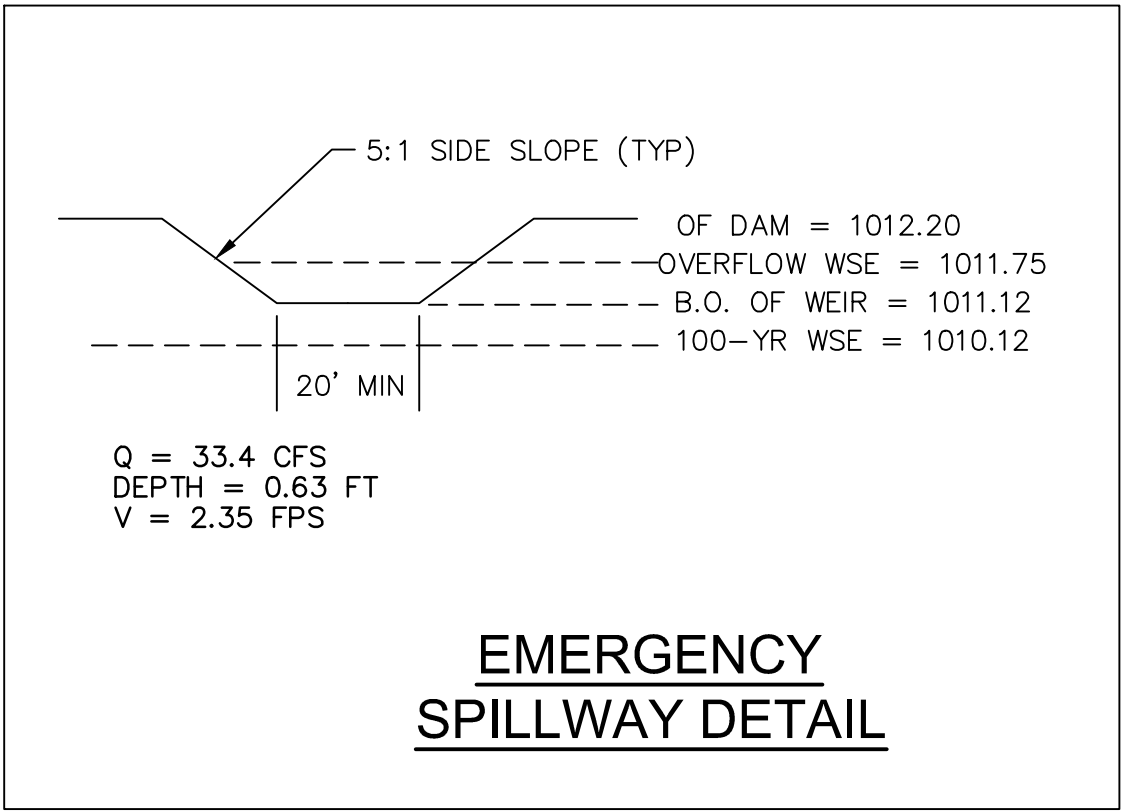
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B18-0330	12.07.18	RLK

Drawing No.

C7.1

**STORM SEWER
PLAN & PROFILE**

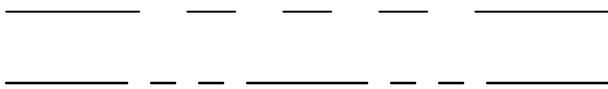


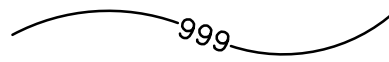




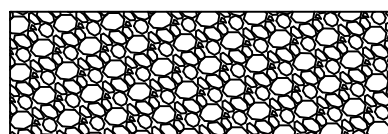

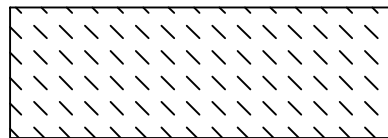


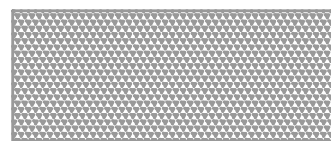
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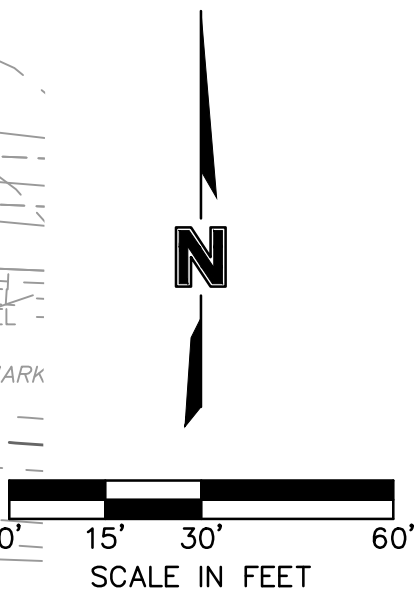
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SEDIMENT TRAP DESIGN DATA			
TITLE: 46 Summit			
JOB #: 017-0865			
Design Item	Trap #1	Units	Notes:
<i>Pond Data</i>			
Drainage Area	1.02	acres	
Required Volume (1800 cft/acre)	69.0	cy	
Provided Volume	70.0	cy	
Excavated Volume	111.0	cy	
Sediment Cleanout Volume	14.0	cy	
Sediment Cleanout Elevation	917.1		

<u>LEGEND</u>	
	RIGHT OF WAY LINE
	LOT LINE
	EXISTING GRADE CONTOUR
	FINISHED GRADE CONTOUR
	GRAVEL FILTER BAGS
	SEDIMENT FENCE
	TEMPORARY 18" DIVERSION BERM (SEE DETAILS)
	LIMITS OF DISTURBANCE (XX ACRES)
	TEMPORARY CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT
	STAGING/STOCKPILE AREA
	EROSION CONTROL REFERENCE NUMBER
	STRAW WATTLES
	STABILIZATION. "LANDLOK (S2)" SHALL BE USED OR APPROVED EQUAL. CONTACTOR TO SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL. SEED WITH PERENNIAL SEEDING TO MEET SWPPP REQUIREMENTS. INSTALL PER DETAIL AND MANUFACTURER RECOMMENDATIONS.

EROSION CONTROL STAGING CHART				
PROJECT STAGE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A – PRE-CONSTRUCTION	A1	TEMPORARY CONSTRUCTION ENTRANCE	C	INSTALL AS INDICATED ON PLANS
	A2	CONCRETE WASHOUT	C	INSTALL AS INDICATED ON PLANS
	A3	TEMPORARY SLOPE BARRIER (SEDIMENT FENCE)	D	INSTALL AS INDICATED ON PLANS
	A4	STAGING / STOCKPILE AREA	C	INSTALL AS INDICATED ON PLANS
	A5	EXISTING CURB INLET PROTECTION – TEMPORARY SEDIMENT BARRIER – CONDITION A	C	INSTALL AS INDICATED ON PLANS
	A6	TEMPORARY SEDIMENT TRAP	C	INSTALL AS INDICATED ON PLANS
	A7	TEMPORARY DIVERSION BERM	C	INSTALL AS INDICATED ON PLANS
B – STORM SEWER & UTILITY CONSTRUCTION (STABILIZE ANY DISTURBED AREAS OUTSIDE OF BUILDING PADS AND PARKING LOTS)	B1	TEMPORARY SEDIMENT BARRIER – CURB INLET – CONDITION A	C	INSTALL AS INDICATED ON PLANS
	B2	TEMPORARY SEDIMENT BARRIER – JUNCTION BOX – CONDITION A	C	INSTALL AS INDICATED ON PLANS
	B3	TEMPORARY EROSION CONTROL BLANKET (LANDLOCK S2)	C	INSTALL AS INDICATED ON PLANS
C – BUILDING AND PAVEMENT CONSTRUCTION	C1	TEMPORARY SEDIMENT BARRIER – CURB INLET – CONDITION B	D	INSTALL AS INDICATED ON PLANS
	C2	TEMPORARY SEDIMENT BARRIER – JUNCTION BOX – CONDITION B	D	INSTALL AS INDICATED ON PLANS
D – FINAL STABILIZATION	D1	REPLACE TOP SOIL, SEED MULCH, SOD, LANDSCAPE	N/A	ESTABLISH PERENNIAL VEGETATION WITH A 70% DENSITY OVER 100% OF DISTURBED AREA.



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**SAPP
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1629 Walnut	
Kansas City, MO 64108	816.300.03

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Mid-Continent Public Library
CONSTRUCTION DOCUMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

04 PACKAGE

Engineer of Record



Terry M Parsons, Engineer MO PE-201801050

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Revision No.	Description	Date
1	ASI #1	02.18.19

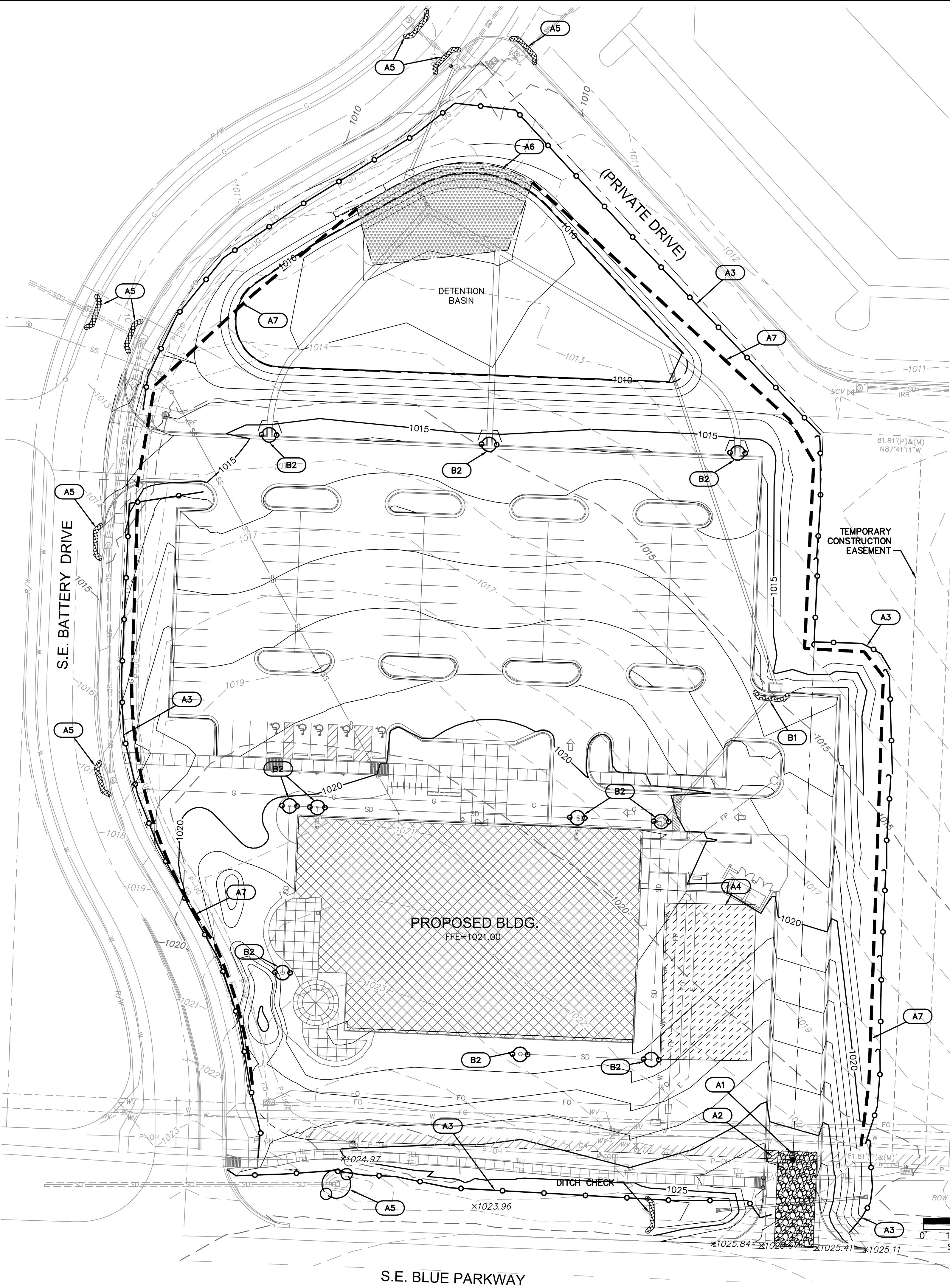
Project No.	Date	Drawn
B18-0330	12.07.18	RIK

Drawing No. **C90**

**EROSION CONTROL PLAN
- PRE CONSTRUCTION**

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SEDIMENT TRAP DESIGN DATA			
TITLE: 46 Summit			
JOB #: 017-0865			
Design Item	Trap #1	Units	Notes:
Pond Data			
Drainage Area	1.02	acres	
Required Volume (1800 cft/acre)	69.0	cy	
Provided Volume	70.0	cy	
Excavated Volume	111.0	cy	
Sediment Cleanout Volume	14.0	cy	
Sediment Cleanout Elevation	917.1		

LEGEND	
	RIGHT OF WAY LINE
	LOT LINE
	EXISTING GRADE CONTOUR
	FINISHED GRADE CONTOUR
	GRAVEL FILTER BAGS
	SEDIMENT FENCE
	TEMPORARY 18" DIVERSION BERM (SEE DETAILS)
	LIMITS OF DISTURBANCE (3.75 ACRES)
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	CONCRETE WASHOUT
	STAGING/STOCKPILE AREA
	EROSION CONTROL REFERENCE NUMBER
	STRAW WATTLES
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EROSION CONTROL STAGING CHART				
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	A6	TEMPORARY SEDIMENT TRAP AND STORM SEWER LINE D	C	INSTALL AS INDICATED ON PLANS
	A7	TEMPORARY DIVERSION BERM	C	INSTALL AS INDICATED ON PLANS
	A8	SWPPP SIGN	C	INSTALL AS INDICATED ON PLANS
B - STORM SEWER & UTILITY CONSTRUCTION (STABILIZE ANY DISTURBED AREAS OUTSIDE OF BUILDING PADS AND PARKING LOTS)	B1	TEMPORARY SEDIMENT BARRIER - CURB INLET - CONDITION A	C	INSTALL AS INDICATED ON PLANS
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JACKSON COUNTY
PACKAGE **04**

Engineer of Record



Terry M Parsons, Engineer MO PE-2018010505

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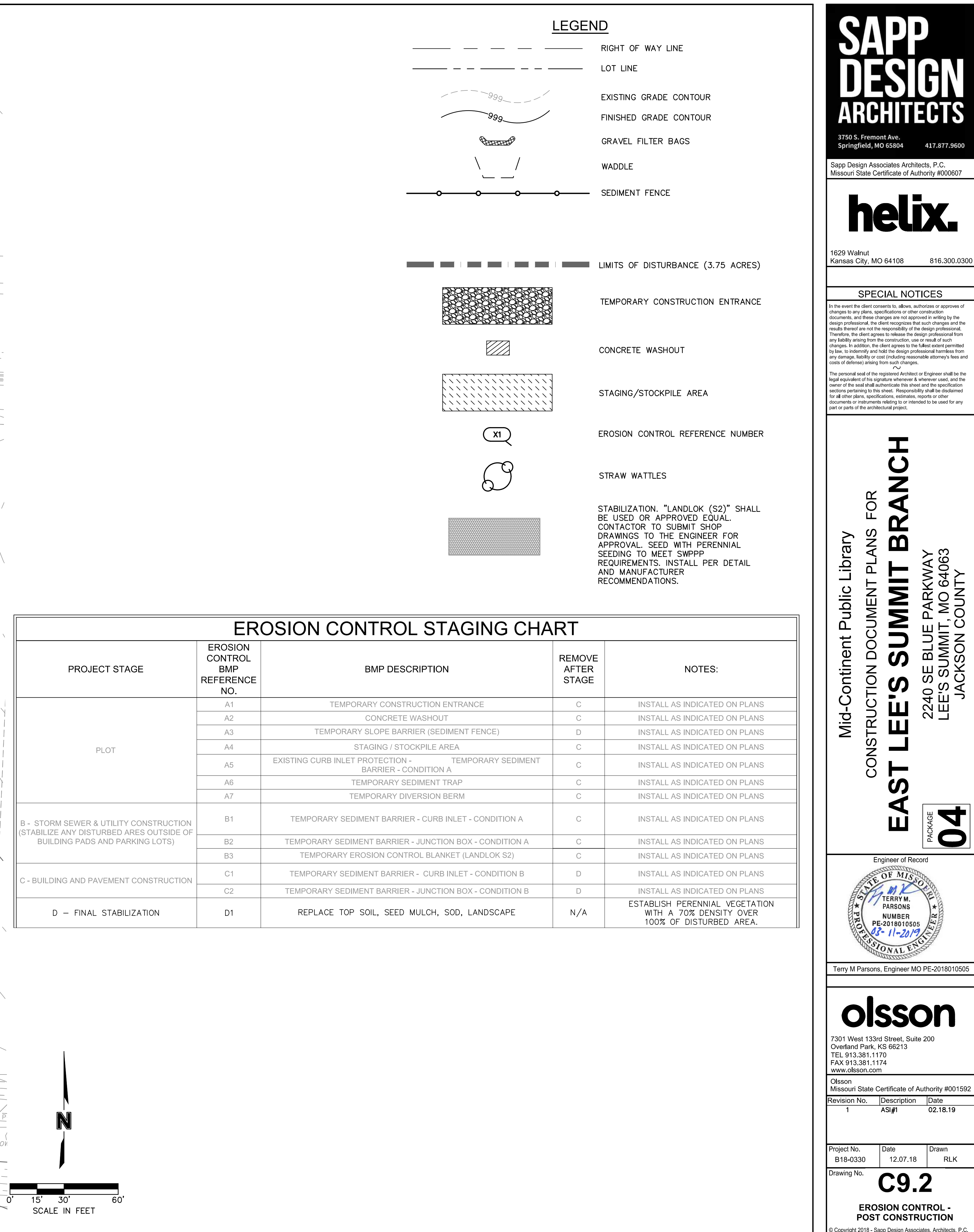
Revision No.	Description	Date
1	ASI#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

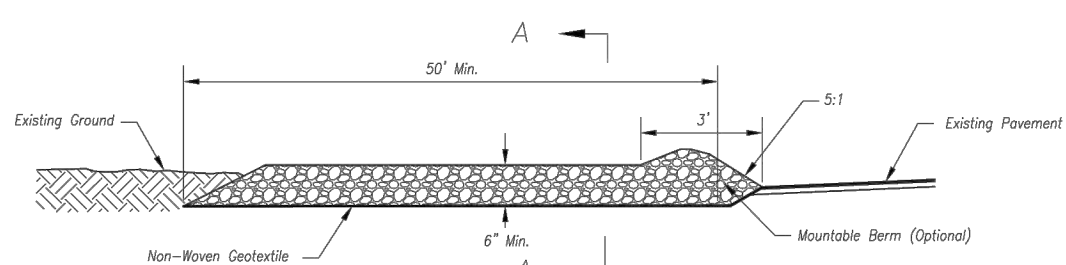
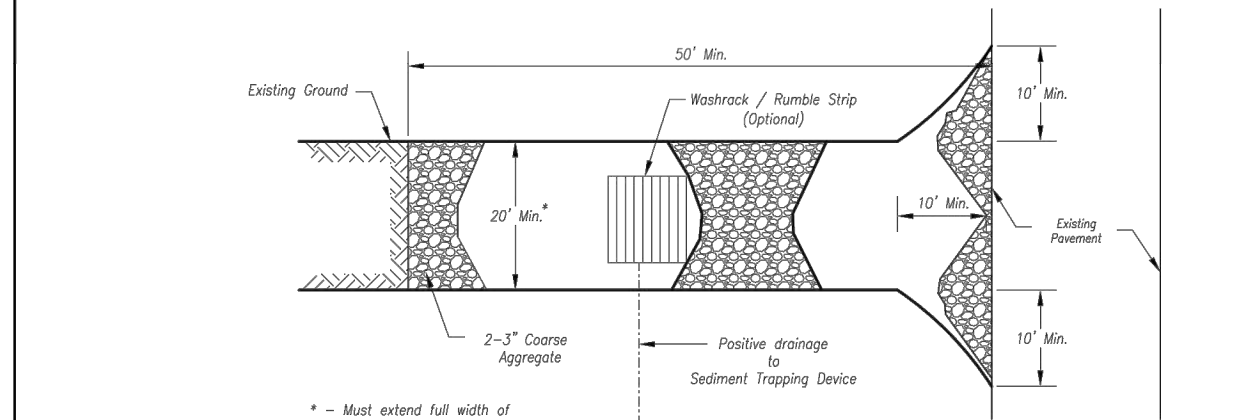
Drawing No. **C9.1**

EROSION CONTROL -
CONSTRUCTION

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1629 Walnut Kansas City, MO 64108		816.300.0300
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<div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> Mid-Continent Public Library CONSTRUCTION DOCUMENT PLANS FOR </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> <h1 style="margin: 0;">EAST LEE'S SUMMIT BRANCH</h1> </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> 2240 SE BLUE PARKWAY LEE'S SUMMIT, MO 64063 JACKSON COUNTY </div> </div>		
<div style="display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 5px; margin-right: 10px;">PACKAGE</div> <div style="border: 1px solid black; padding: 10px; font-size: 2em; font-weight: bold;">04</div> </div>		
Engineer of Record		
		
Terry M Parsons, Engineer MO PE-2018010505		
<h1 style="margin: 0;">olsson</h1>		
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Olsson Missouri State Certificate of Authority #001592		
Revision No.	Description	Date
1	AS1#1	02.16.19
Project No. B18-0330	Date 12.07.18	Drawn RLK
Drawing No.		
<h2 style="margin: 0;">C9.2</h2>		
EROSION CONTROL - POST CONSTRUCTION		
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Section A-A
Not to Scale

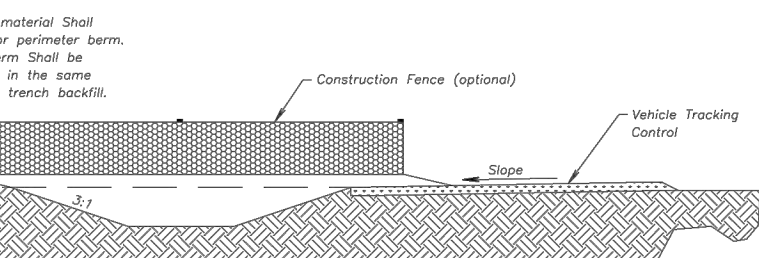
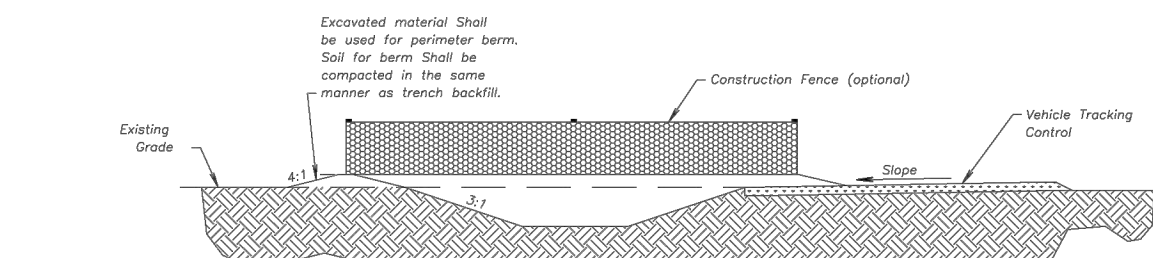
Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or overland of elevated areas.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 20:1 side slopes across the foundation approximately 15 feet from the edge of the public road to direct runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Lane surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONSTRUCTION ENTRANCE



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

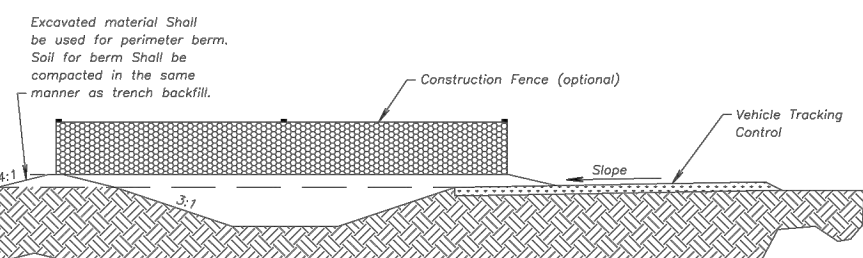
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout areas shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking post shall be placed towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and dump trucks.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

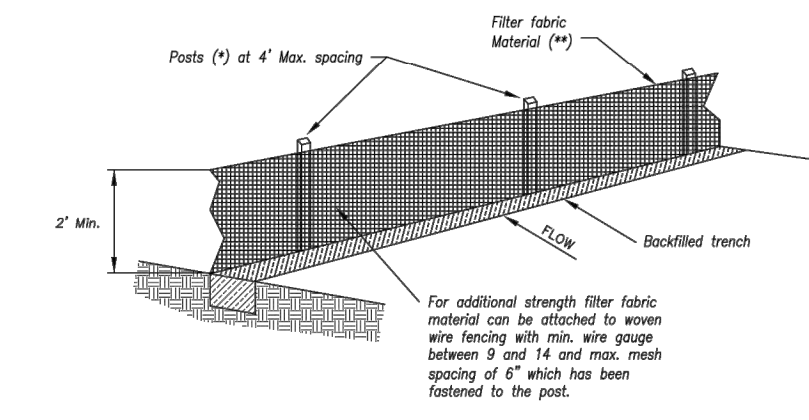
1. Concrete washout material shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a wheel-tight container and disposed off property.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.



- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/4" x 1 3/4"
 - NO.2 SOUTHERN PINE 2 3/8" x 2 3/8"
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of ASHTO M288

SILT FENCE DETAILS

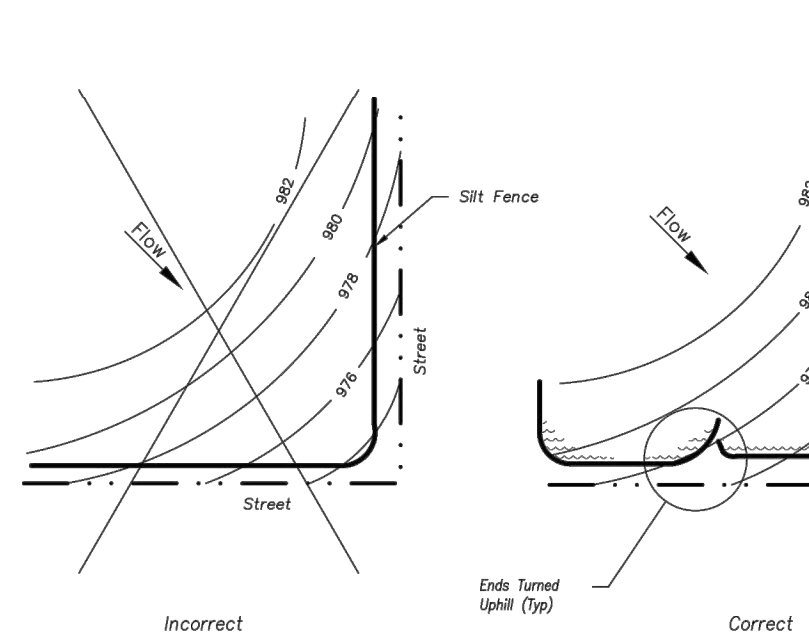
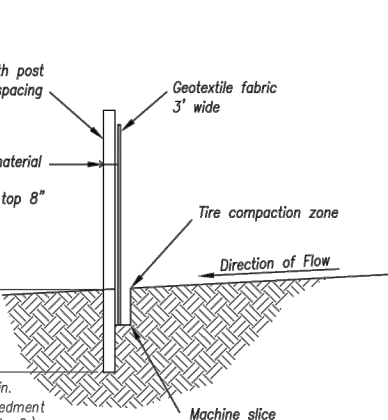


Figure A

SILT FENCE LAYOUT

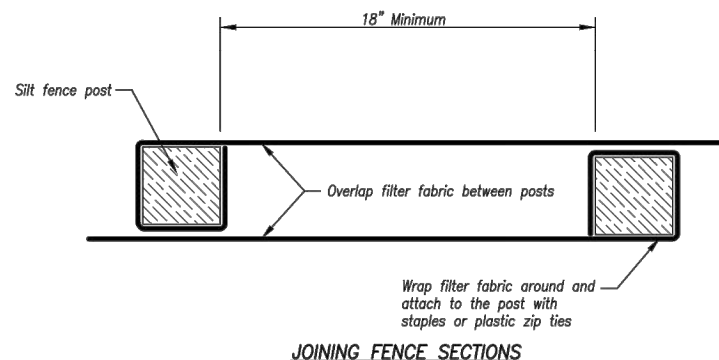


Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Tranching will only be allowed for small or difficult installation, where sloping machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

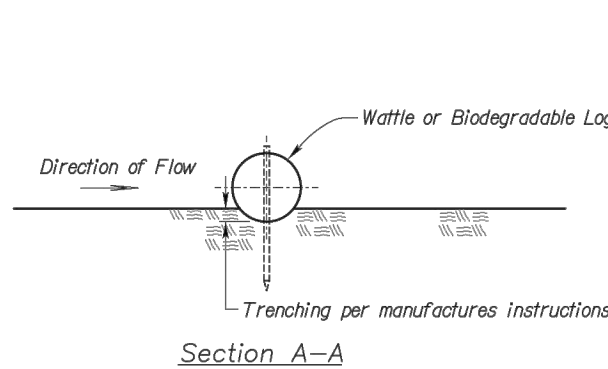


JOINING FENCE SECTIONS

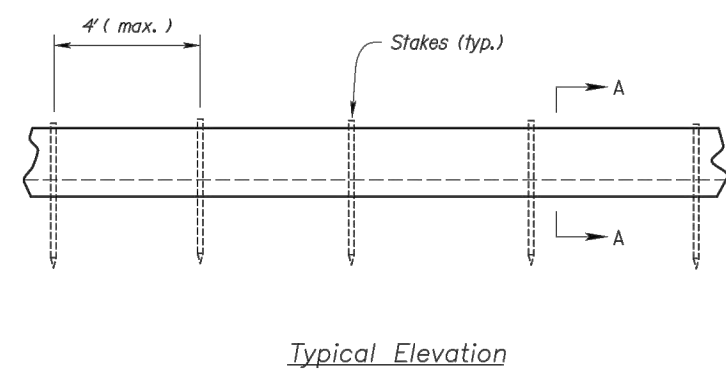
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AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



WATTLES AND BIODEGRADABLE LOG



Typical Elevation

Notes for Wattles and Biodegradable Log Slope Protection:

1. The Slope barriers shall be placed along contour lines, with a short section turned uphill at each end of the barrier. The maximum length of the slope barrier shall not exceed 250 feet, and the barrier ends need to be staggered.
2. Install wattles and biodegradable logs per manufacturer's instructions.
3. Spacing of stakes per manufacturer's instructions with 4' max. spacing. Length of stakes shall be a minimum of 2 times the diameter of the log with minimum of 24".

Notes for Mulch and Compost Filter Berm:

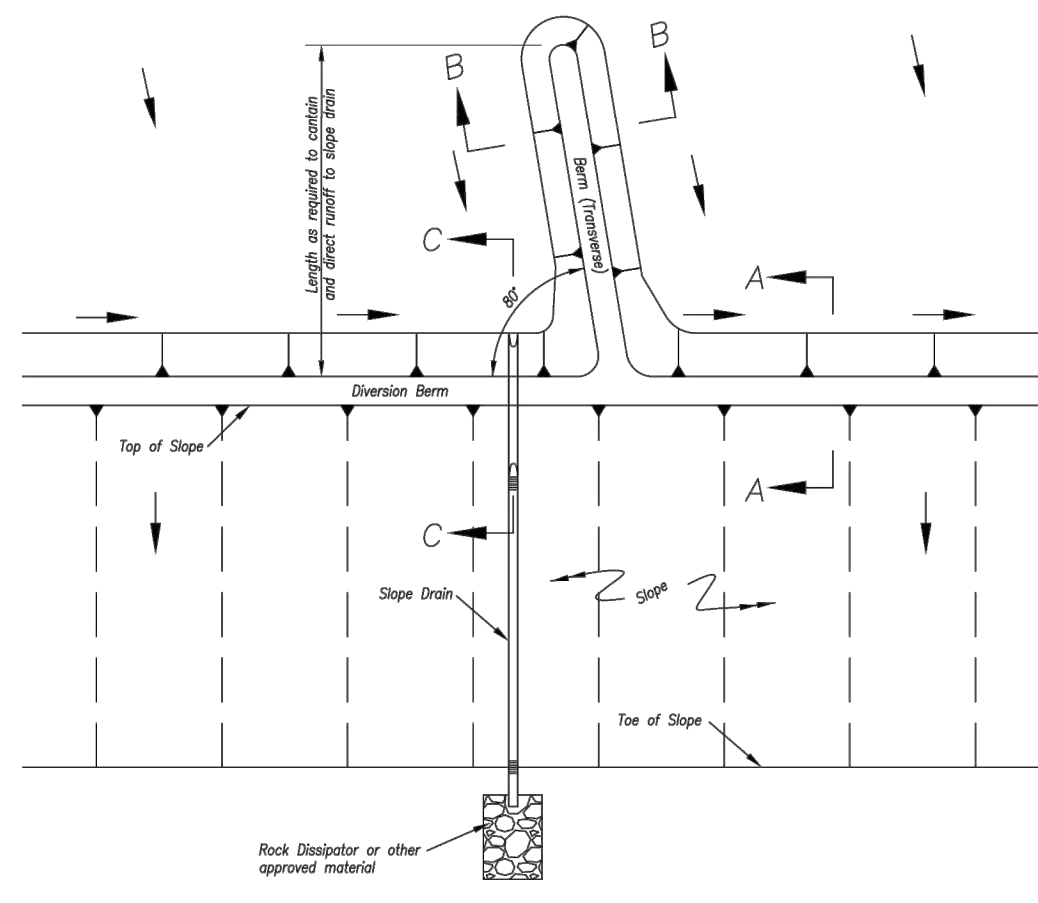
1. The sediment control berm shall be placed uncompact in a windrow of locations shown on the plans or as directed by the engineer.
2. Parallel to the base of the slope, or around the perimeter of other affected areas, construct a 1 to 3 foot high by 2.5 to 3 foot wide berm (see Figure 1). For maximum water treatment ability or for steep slopes, construct a 1.5 to 3 foot high trapezoidal berm that is a minimum of 4 feet wide at the base (see Figure 2). In extreme conditions, or where specified by the engineer, a second berm shall be constructed at the top of the slope. Engineer will specify berm requirements.
3. If berm is to be left as permanent or part of the natural landscape, the compost berm may be seeded during application for permanent vegetation.
4. Do not use compost or wood mulch berms in any runoff channels or concentrated flow areas.
5. Wood mulch shall consist of tree and shrub debris resulting from clearing and grubbing and shall be ground by the mechanical means such as a chipper, hammermill, tub grinder or other approved method. Mulch sizing varies with a maximum width of 2" and a maximum length of 10".

Maintenance for Mulch and Compost Filter Berms:

1. Berms shall be reshaped and material added as necessary to maintain function and dimensions.
2. Breaches in the berm shall be repaired promptly.

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
WATTLES/Biodegradable LOG AND MULCH/COMPOST FILTER BERM	STANDARD DRAWING NUMBER ESC-04 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

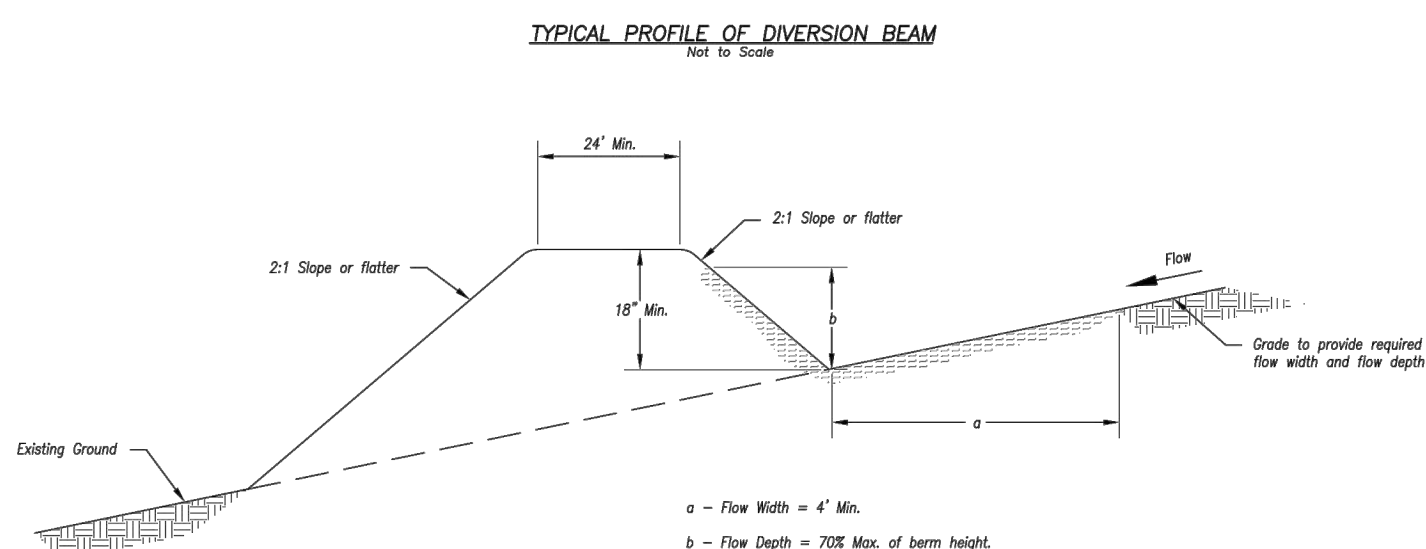


Notes for Diversion Berm:

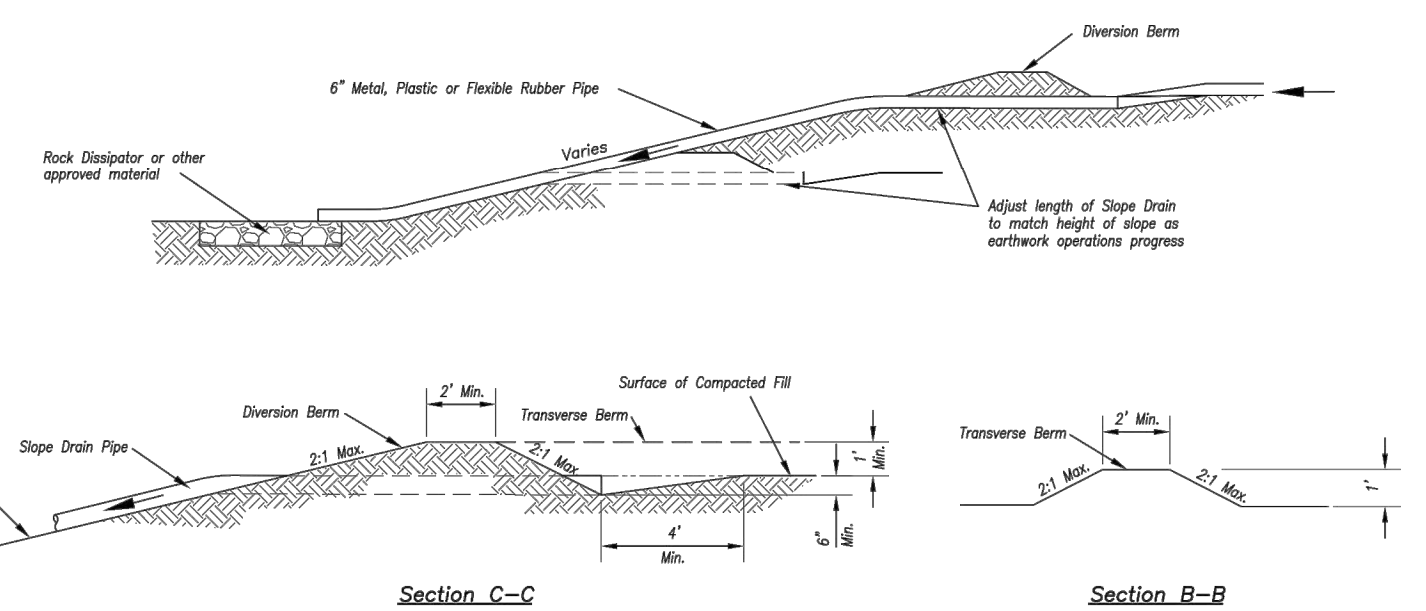
1. Slope drains are optional, but may be required by the engineer if the berm is at the top of a steep slope.
2. Diversion berms must be installed as a first step in the land-disturbing activity and must be functional prior to upstate land disturbance.
3. The berm should be adequately compacted to prevent failure.
4. Temporary or permanent seeding and mulch shall be applied to the berm immediately following its construction.
5. Place the berm so to minimize damages by construction operations and traffic.
6. The berm must discharge to a temporary sediment trap or stabilized area.
7. All trees, brush, stumps, obstructions and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of diversion.
8. The diversion shall be excavated or shaped to line, grade and cross-section as required to meet the criteria specified herein, free of irregularities which will impede flow.
9. Fills shall be compacted as needed to prevent unequal settlement that would cause damage in the completed diversion. Fill shall be composed of soil which is free from excessive organic debris, rocks or other objectionable materials.

Maintenance:

1. Berms shall be reshaped, compacted, and stabilized as necessary to maintain its function.
2. Breaches in the berm shall be repaired immediately.



Typical Profile of Diversion Berm



Typical Profile of Diversion Berm with Slope Drain

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
DIVERSION BERMS AND SLOPE DRAINS	STANDARD DRAWING NUMBER ESC-05 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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EAST LEE'S SUMMIT BRANCH

Mid-Continent Public Library

CONSTRUCTION DOCUMENT PLANS FOR

2240 SE BLUE PARKWAY

LEE'S SUMMIT, MO 64063

JACKSON COUNTY

PACKAGE 04

Engineer of Record



Terry M Parsons, Engineer MO PE-2018010505

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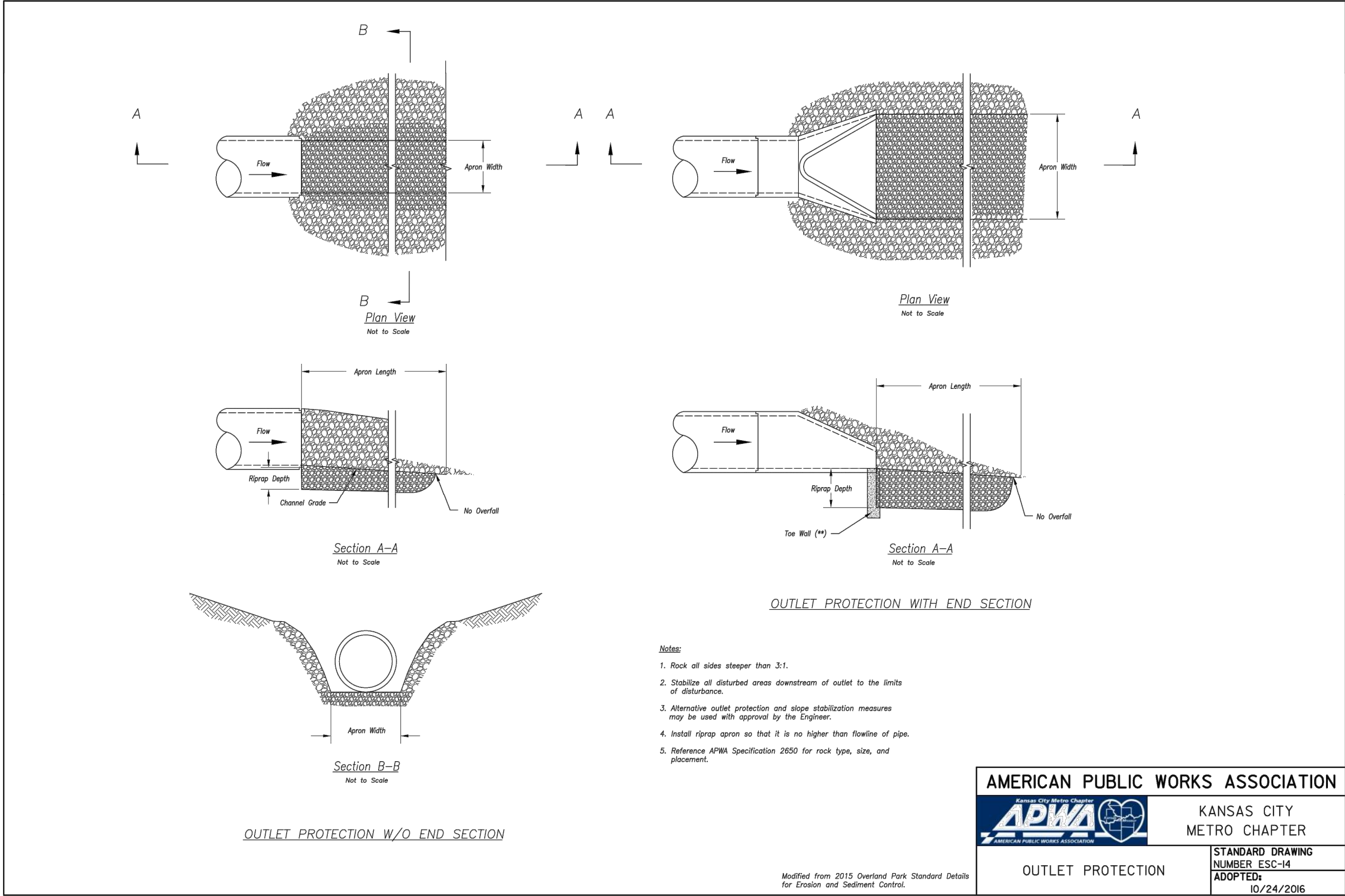
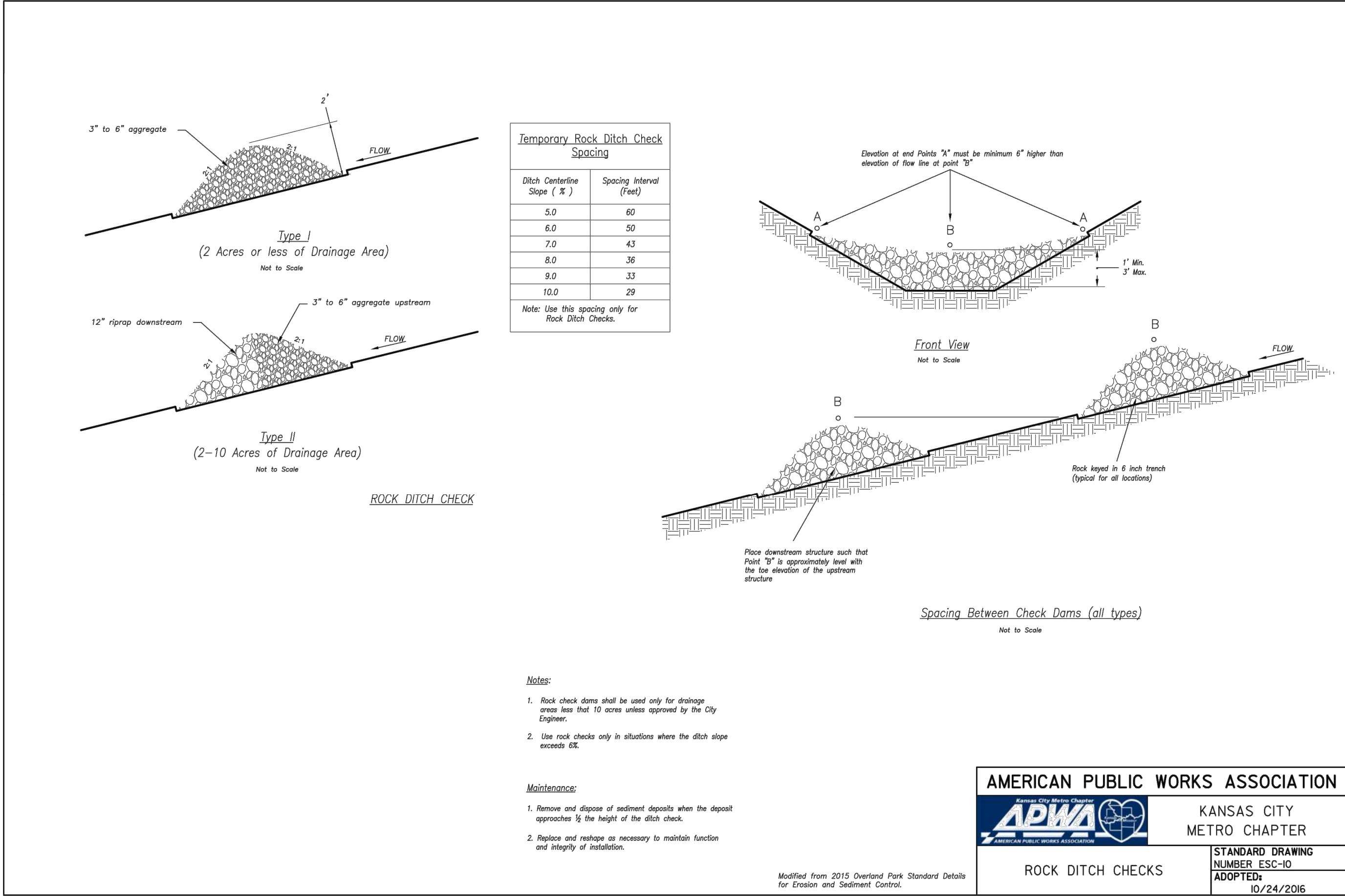
Revision No.	Description	Date
1	ASI#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C9.3**

EROSION CONTROL
DETAILS

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Kansas City, MO 64108 816.300.0300

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Mid-Continent Public Library
CONSTRUCTION DOCUMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH

2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

PACKAGE
04

Engineer of Record

STATE OF MISSOURI

TERRY M. PARSONS

NUMBER
PE-2018010505
83-11-2019

PROFESSIONAL ENGINEER

Terry M Parsons, Engineer MO PE-2018010505

olsson

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Overland Park, KS 66213
TEL 913.381.1170
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Missouri State Certificate of Authority #001592

Revision No.	Description	Date
1	ASI#1	02.18.19

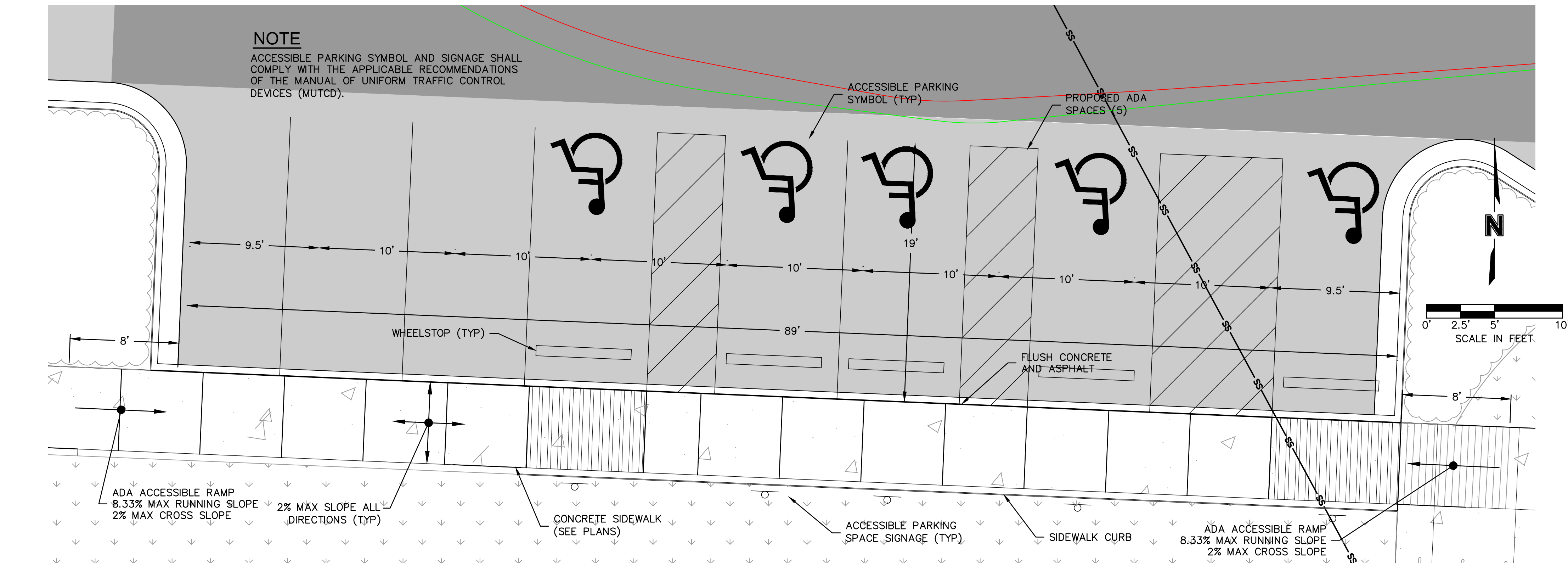
Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. C9.5

EROSION CONTROL
DETAILS

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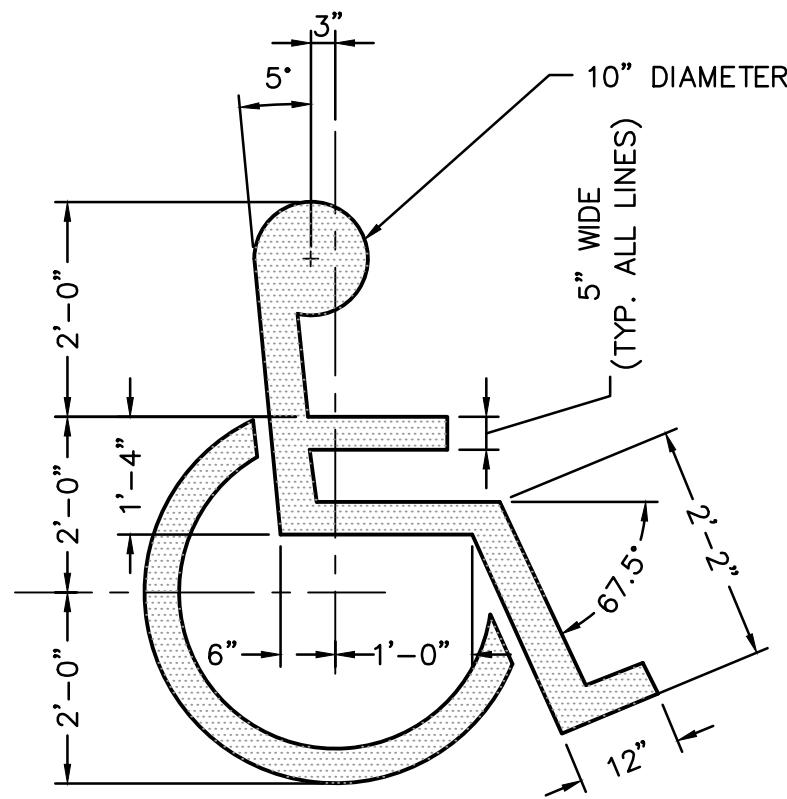
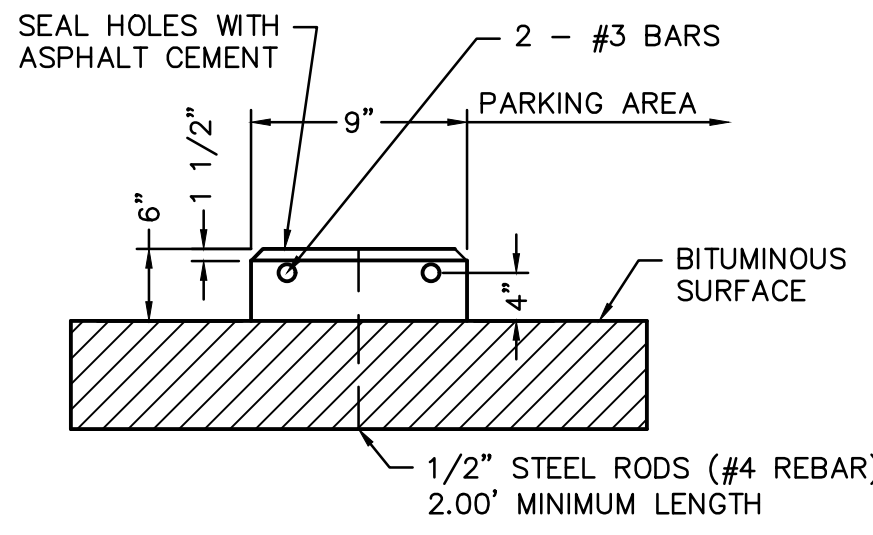
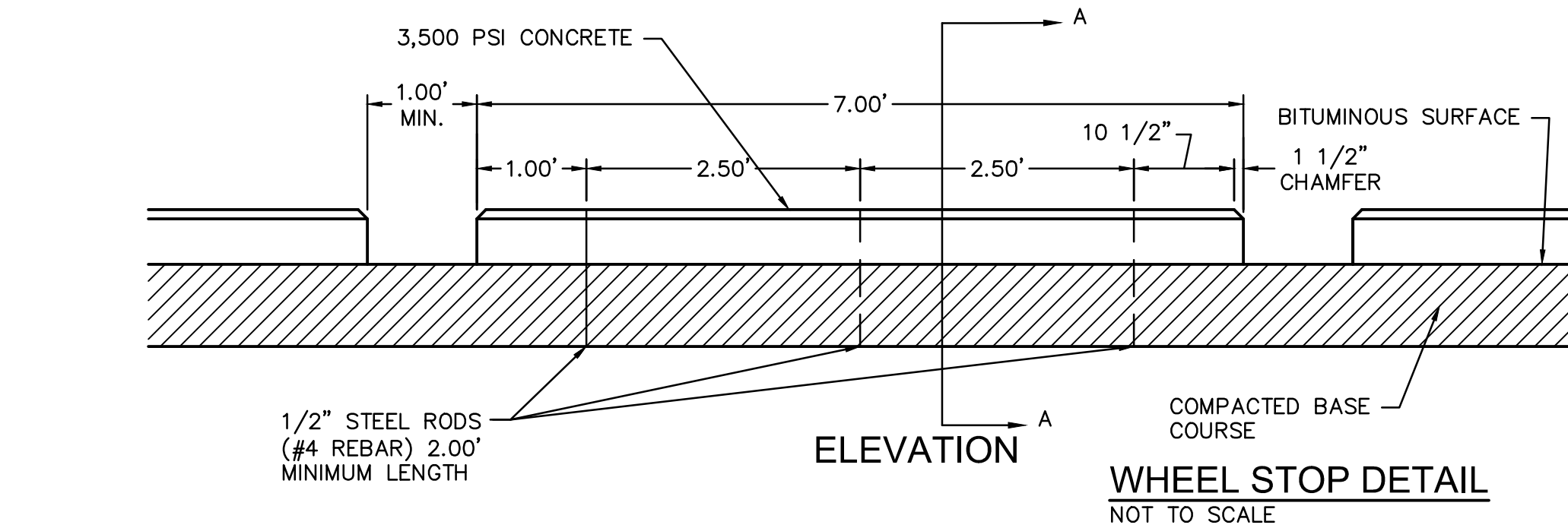
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ADA PARKING SPACES DETAIL

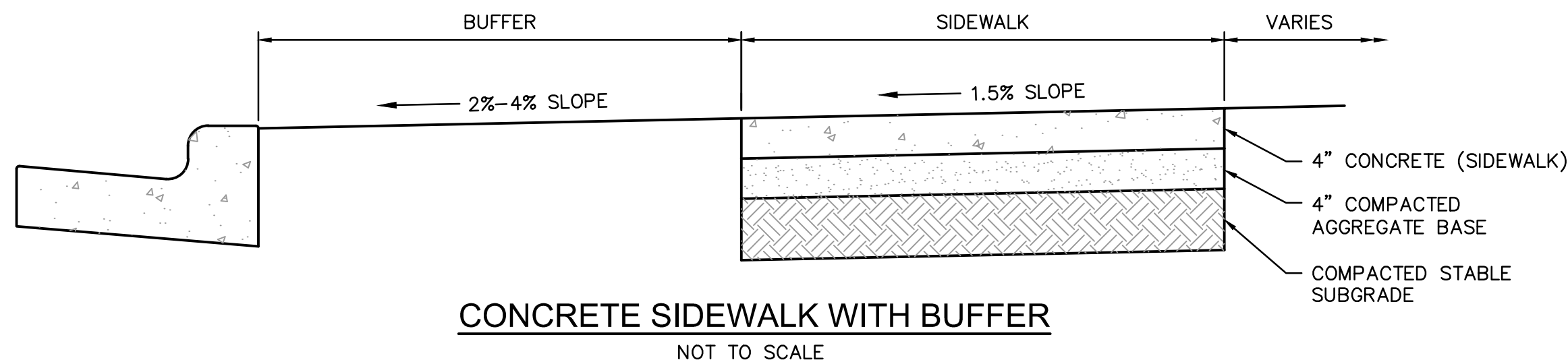
NOTE:

ANCHOR RODS TO BE SLEEVED OF GREASED THRU CONCRETE CURBS TO PERMIT RELOCATION OF CURBS.



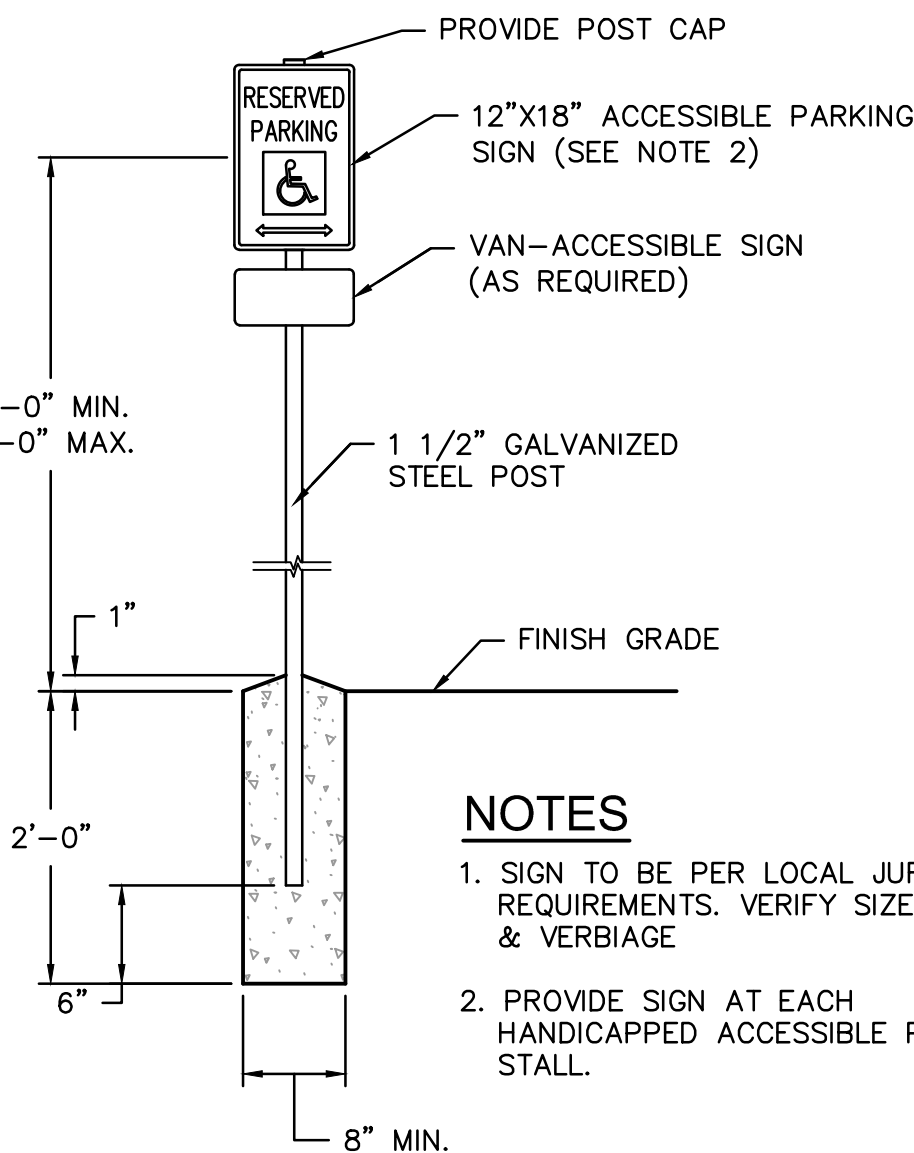
PROVIDE PAINTED SYMBOL AT EACH DESIGNATED ACCESSIBLE PARKING STALL. CENTER SYMBOL IN EACH STALL.

ACCESSIBLE PARKING SYMBOL
NOT TO SCALE



GENERAL NOTES:

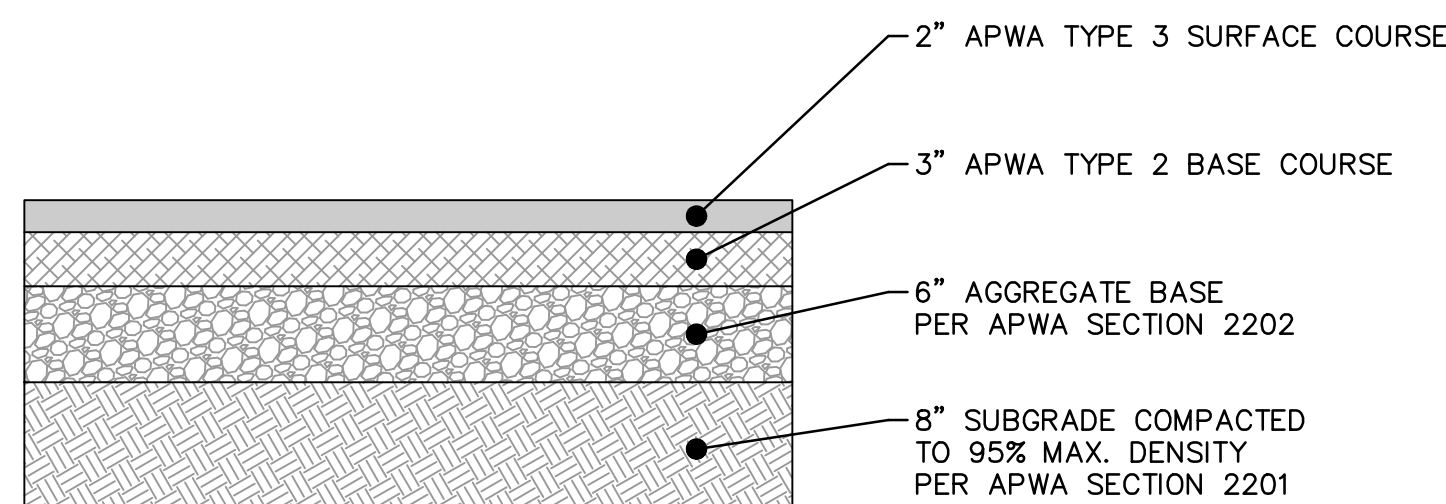
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
- KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
- ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG). AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
- SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



NOTES

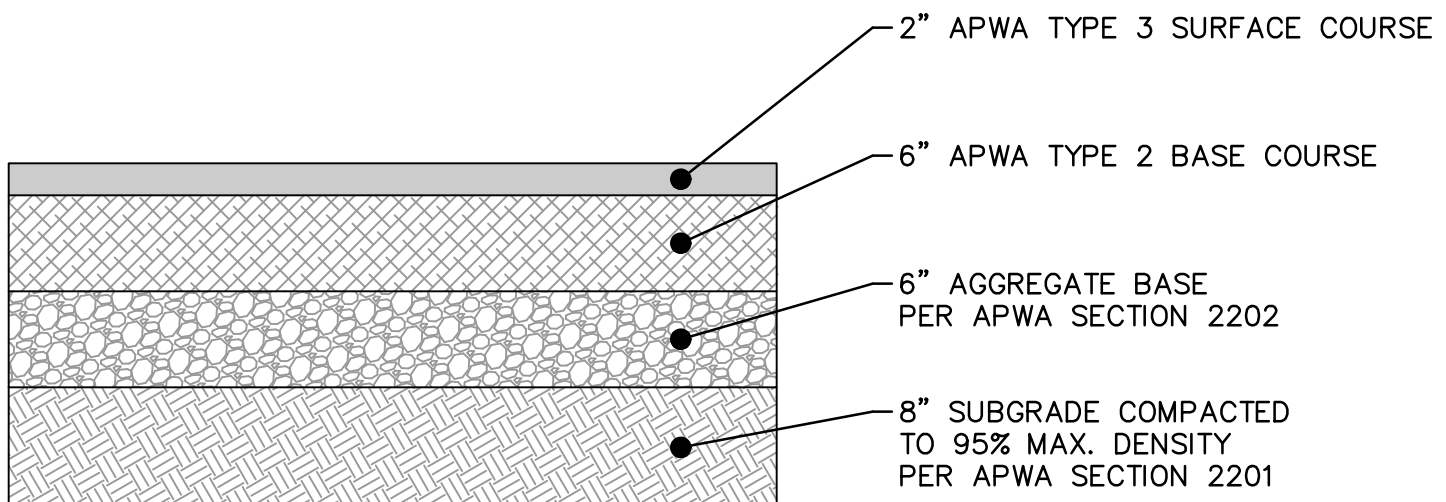
- SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE.
- PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

ACCESSIBLE PARKING SPACE SIGNAGE
NOT TO SCALE



NOTE: NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF PLAN ISSUE. PAVEMENT SECTION PRELIMINARY.

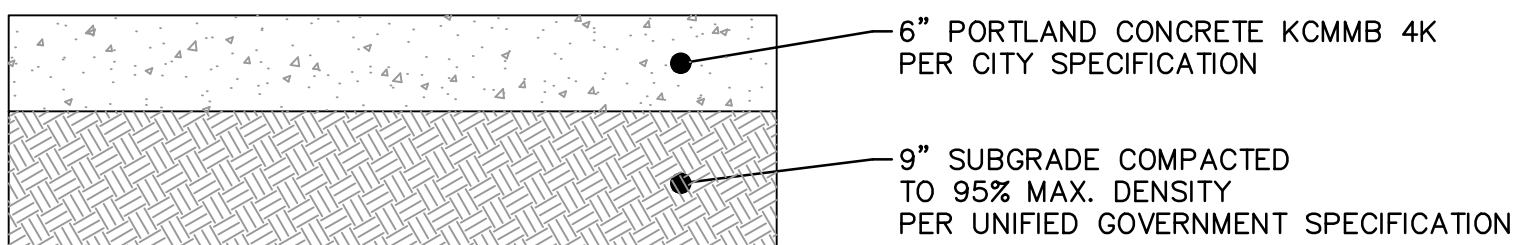
ASPHALT PAVEMENT (LIGHT TRAFFIC) WITH AGGREGATE BASE SECTION
NOT TO SCALE



NOTE: NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF PLAN ISSUE. PAVEMENT SECTION PRELIMINARY.

ASPHALT PAVEMENT (HEAVY TRAFFIC) WITH AGGREGATE BASE SECTION
NOT TO SCALE

* ALL MIXES SHALL BE CHECKED WITH AASHTO T 283 TEST METHOD DURING DESIGN



NOTE: NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF PLAN ISSUE. PAVEMENT SECTION PRELIMINARY.

PCC PAVEMENT SECTION
NOT TO SCALE

**SAPP
DESIGN
ARCHITECTS**

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JACKSON COUNTY

PACKAGE
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Engineer of Record



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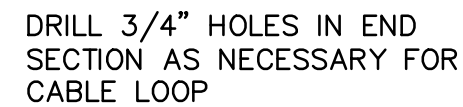
Revision No.	Description	Date
1	AS1#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C10.0**

STANDARD DETAILS

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1/2" GALV. CABLE. LOOP THRU END SECTION AND GRATE COVER

1 1/2" X 1 1/2" X 1/4" ANGLE FRAME

5/8" ϕ BARS @ 3 1/2" CTRS. WELD TO ANGLES

2'-0"

5/8" ϕ BARS @ 1'-0" CTRS. WELD TO ANGLES

CLASS III RCP FLARED END SECTION

6" X 4" X 1/4" PLATE. WELD TO FRAME

3/4" GALV. BOLT EXTEND THRU BOTTOM OF END SECTION

#4 @ 12" EACH WAY

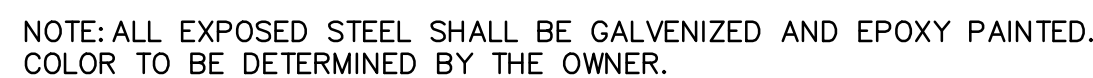
CONCRETE TOEWALL FULL WIDTH OF END SECTION.

24" OR TO ROCK. WHICHEVER IS LESS (DOWEL 6" MIN. INTO ROCK)

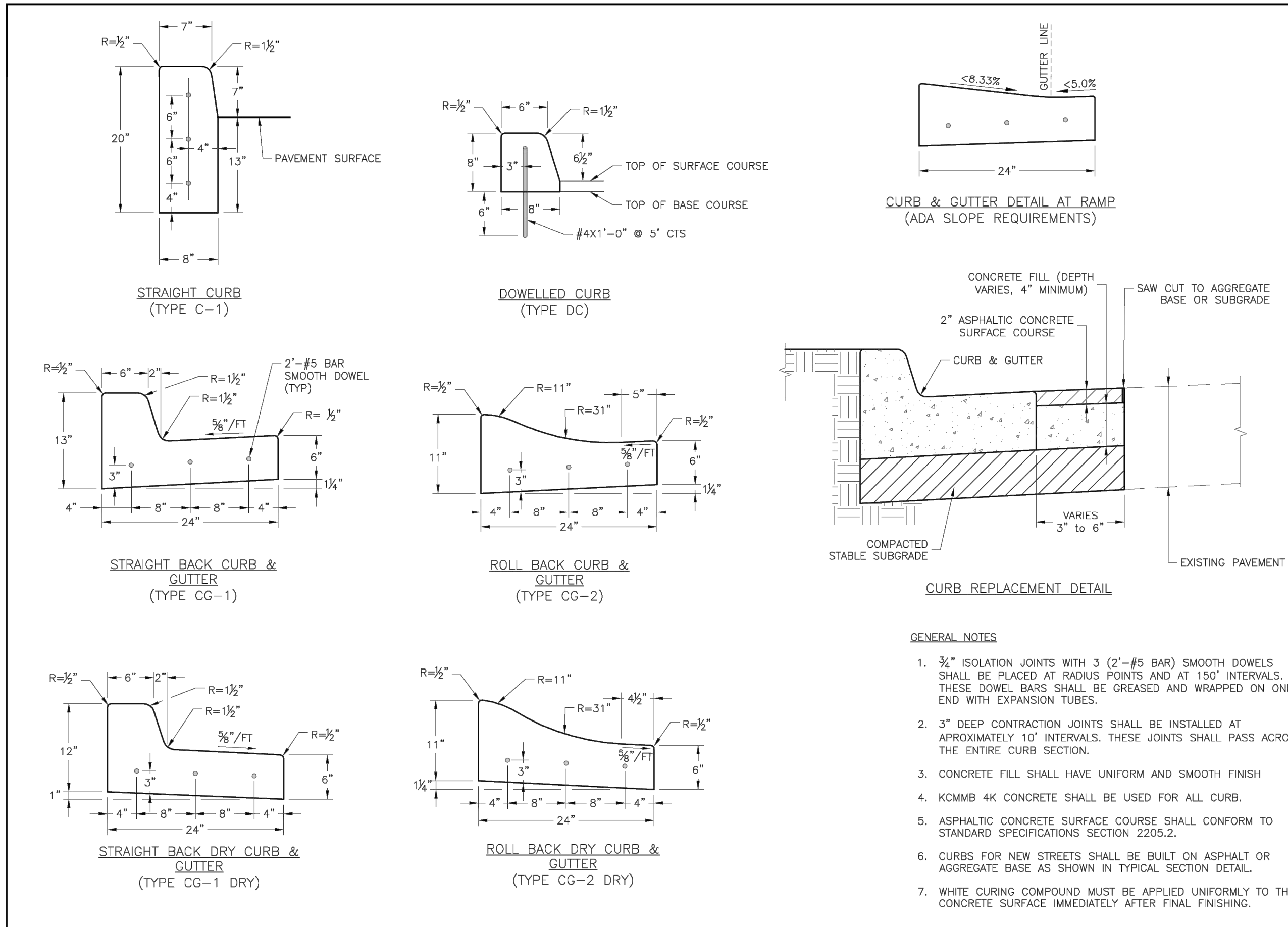
SECTION A-A

24" OR TO ROCK.
WHICHEVER IS LESS
(DOWEL 6" MIN. INTO ROCK)

NOT TO SCALE



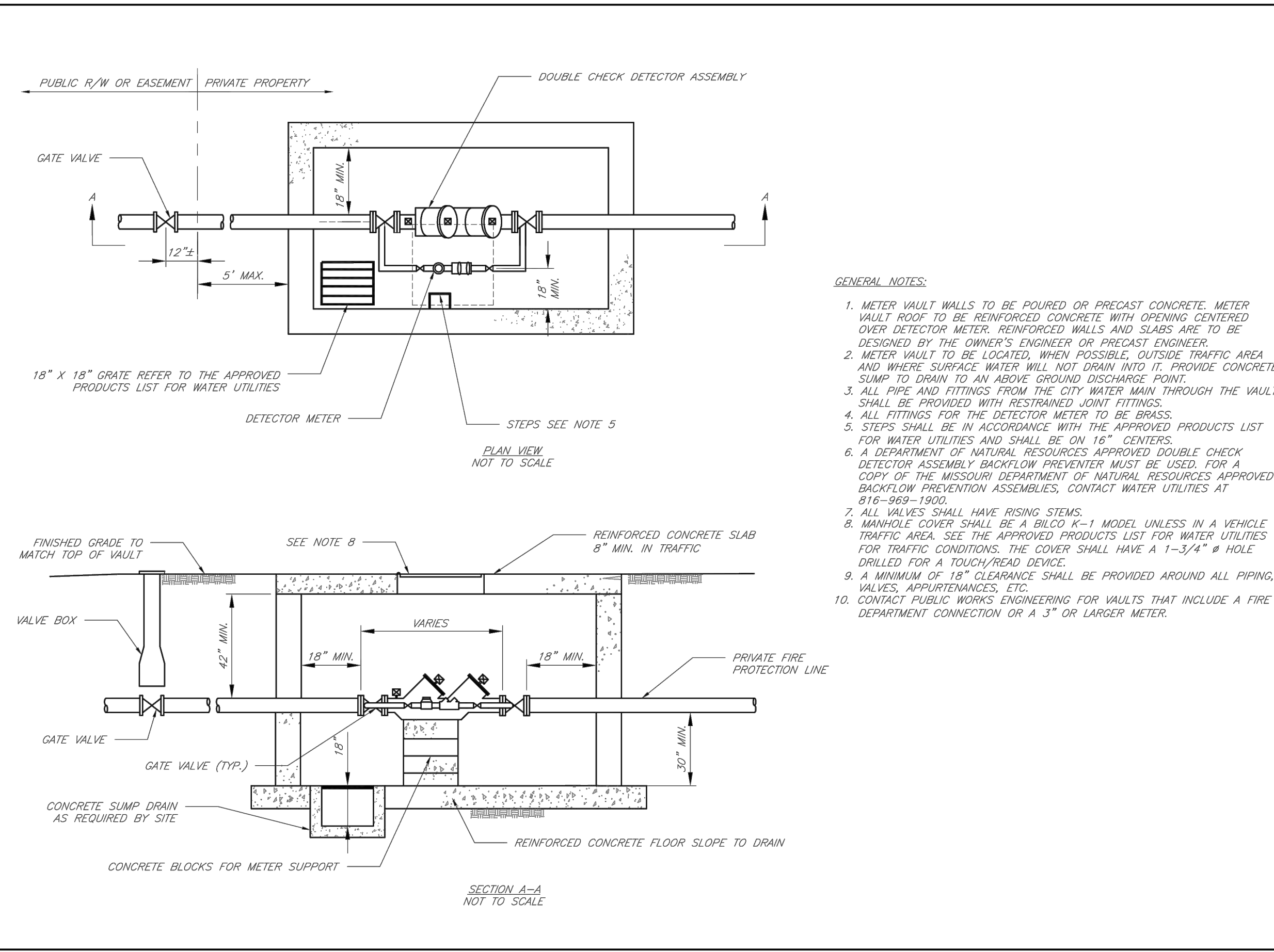
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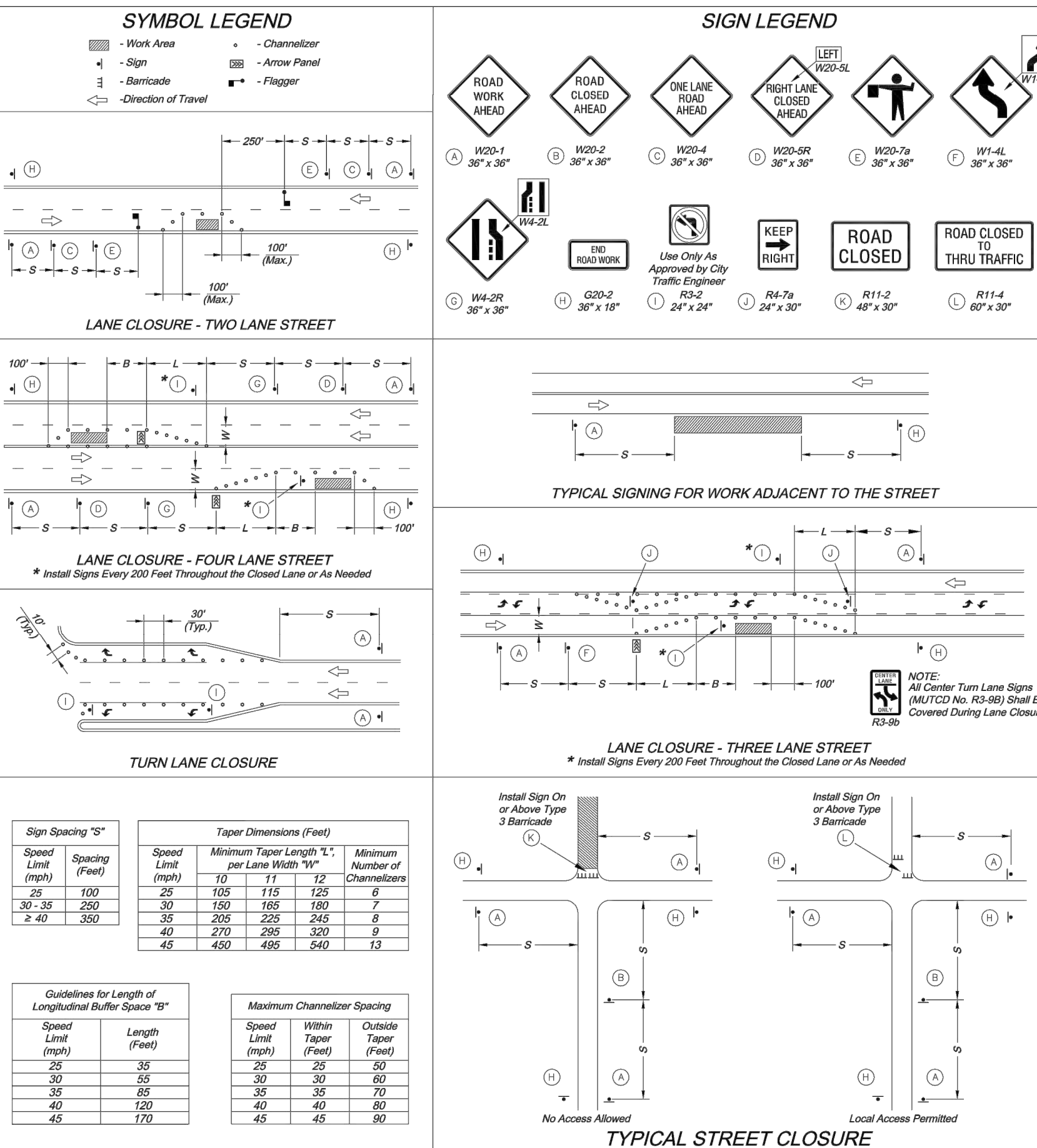
STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEES SUMMIT, JACKSON COUNTY, MO
 PROJECT NAME: CURB & GUTTER DETAIL

GEN-4



CITY OF LEE'S SUMMIT, MO
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION
 LEES SUMMIT, JACKSON COUNTY, MO

STANDARD DRAWINGS
 PROJECT: VAULT FOR DOUBLE CHECK DETECTOR CHECK
 DRAWN BY: AS
 CHECKED BY: SL
 DATE: 7/14
 REV: 1/14
 OF
 WAT-12

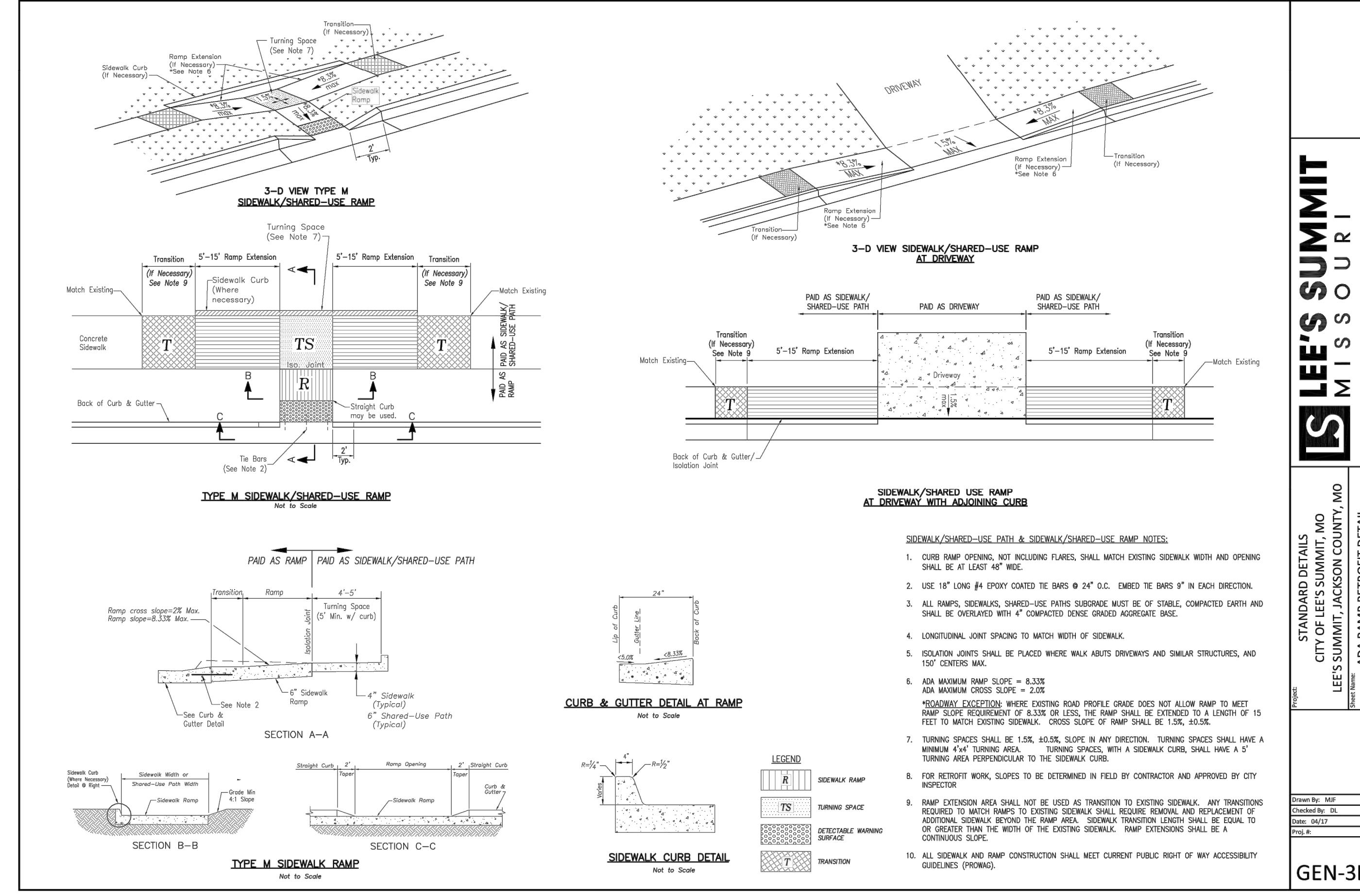


GENERAL NOTES:

- All signs, barricades, channelizers, markings and other traffic control devices shall conform to the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- All traffic control devices shall be standard in size, shape, color, and message, in good condition, and retro-reflective. All signs shall be securely mounted with height and lateral location as described in the MUTCD.
- Warning lights shall be used on barricades in place of lights and on warning signs which alert drivers about a change in alignment, traffic control, lane closure, or road closure.
- Flagger shall be used where indicated on the plans, where construction vehicles interact with normal traffic, or where construction activities impose a restriction or barrier to traffic flow, as directed by the City Traffic Engineer. Where flaggers are used, advance signing shall be erected as shown in the details or as specified in the MUTCD. Flaggers shall meet the requirements in the MUTCD in regard to channelizer, training, attire, and behavior.
- Trin-lines are the City's preferred channelizing device. Cones may not be used at night.
- Traffic control devices shall be used or not applicable shall be either covered or removed from the work area.
- The Contractor shall use barricades, steel plates, or fencing as needed to effectively shield pedestrian and vehicular traffic from exposed objects, excavations, and construction activities.
- Access shall be maintained to all driveways and side streets unless noted otherwise on the plans.
- No street shall be closed without the approval of the City Traffic Engineer. The Contractor shall notify the City Traffic Engineer at least 4 days in advance of any street closure. If a detour route around the closure is to be provided, all detour signing shall be as shown on a plan approved by the City Traffic Engineer.
- Construction vehicles parked along streets shall be located within the work area (traffic control) or where otherwise normally permitted. Construction materials, including traffic control and vehicles shall not restrict sight distance for vehicles exiting at streets or drives.
- Construction materials shall be kept off of sidewalk, consolidated in one location within City right-of-way, and removed daily unless otherwise approved by the Inspector. Dirt, mud, and other construction debris on streets and sidewalks shall be removed immediately.
- The Contractor shall not perform any work that will restrict vehicular traffic in any way between the hours of 7:00 a.m. and 9:00 a.m. or 4:00 p.m. and 6:00 p.m. Monday through Friday unless otherwise indicated in the specifications.
- All travel lanes should be at least 11 feet wide unless otherwise authorized by the City Traffic Engineer. A "Narrow Lane" sign shall be installed in advance of a lane width reduction to less than 11 feet.
- All edge drop-offs of more than 2 inches and less than 4 inches should be protected by a wedge or barrier and all edge drop-offs greater than 4 inches shall have edge protection (see Traffic Control Specifications for edge treatment requirements).
- The "Workers" symbolic sign (MUTCD No. W21-1a) may be used instead of the "Road Work Ahead" sign for work with a duration of 12 hours or less. The "End Road Work" sign is not required to be installed after the "Workers" sign.
- No traffic signal shall be altered or modified in any way without a plan approved by the City Traffic Engineer.
- The traffic control requirements shown on these plans are minimum requirements only and do not attempt to address in depth the variety of situations that may occur once construction has started. In no way do the requirements shown on these plans relieve the Contractor of his responsibility for selecting the proper traffic control devices and implementation procedures that will assure the safety of drivers, pedestrians, and workers at all times.
- Should the contractor fail to enforce the traffic control plan or fail to clean, replace or otherwise maintain the traffic control devices when directed to do so by the City Traffic Engineer or representative, the City may take one or more of the following actions:
 A) Employ another agency to correct deficiencies in traffic control devices and deduct the cost from the Contractor's pay estimate.
 B) Stop the work until deficiencies are corrected.
 C) Suspend all pay estimates until deficiencies are corrected, or
 D) Place the Contractor in default.

TRAFFIC CONTROL DETAILS
 STANDARD DRAWING TC-1

GEN-3B



LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 2240 SE GREEN STREET | LEES SUMMIT, JACKSON COUNTY, MO

STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEES SUMMIT, JACKSON COUNTY, MO
 PROJECT NAME: ADA RAMP RETROFIT DETAIL

GEN-3B

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 Springfield, MO 65804 417.877.9600

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 Missouri State Certificate of Authority #006067

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 LEE'S SUMMIT, MO 64063
 JACKSON COUNTY

PACKAGE 04

Engineer of Record

STATE OF MISSOURI
 TERRY M. PARSONS
 NUMBER PE-2018010505
 EXPIRATION DATE 11-2019
 PROFESSIONAL ENGINEER

Terry M Parsons, Engineer MO PE-2018010505

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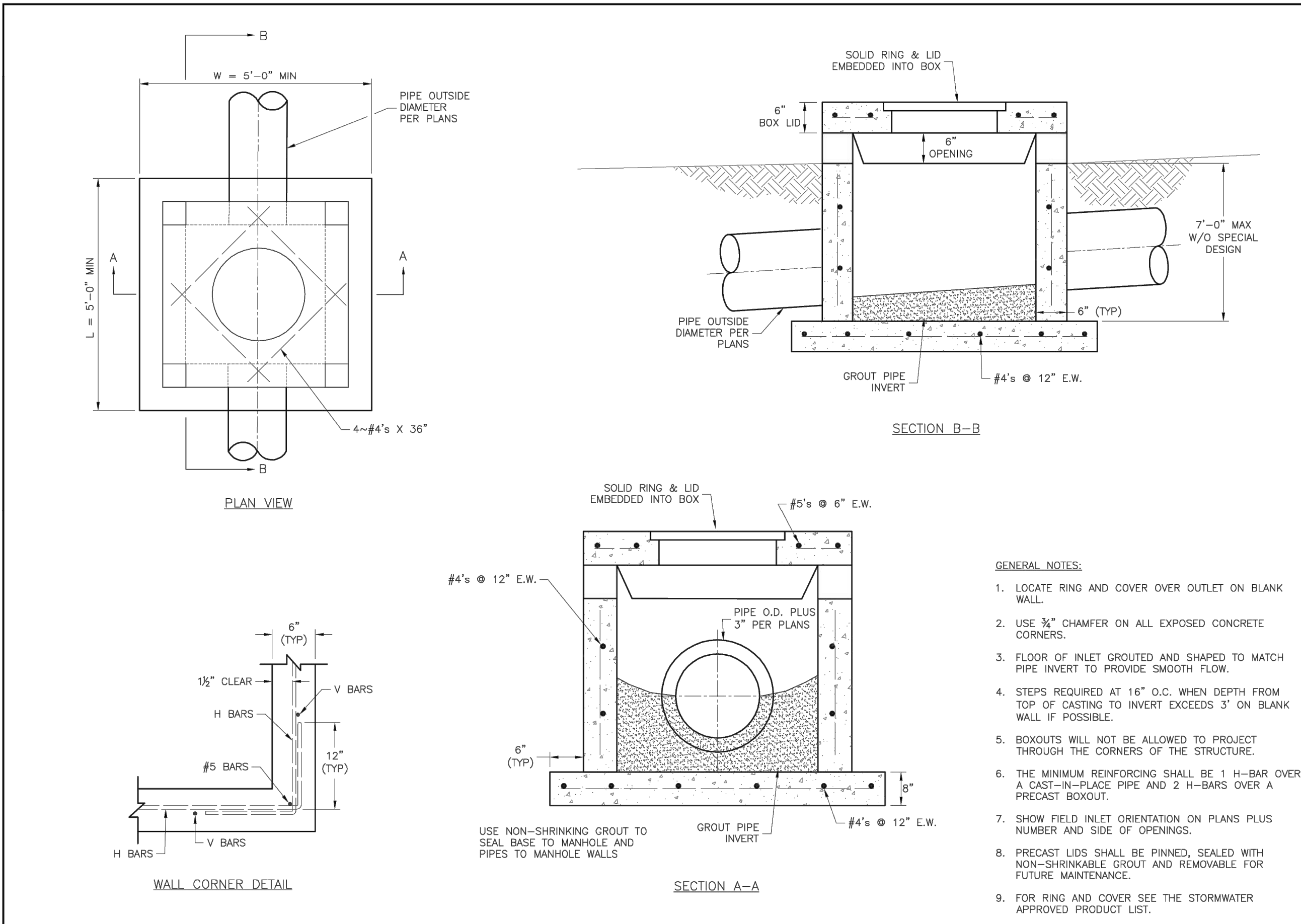
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Revision No.	Description	Date
1	ASI#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C10.2**
 STANDARD DETAILS

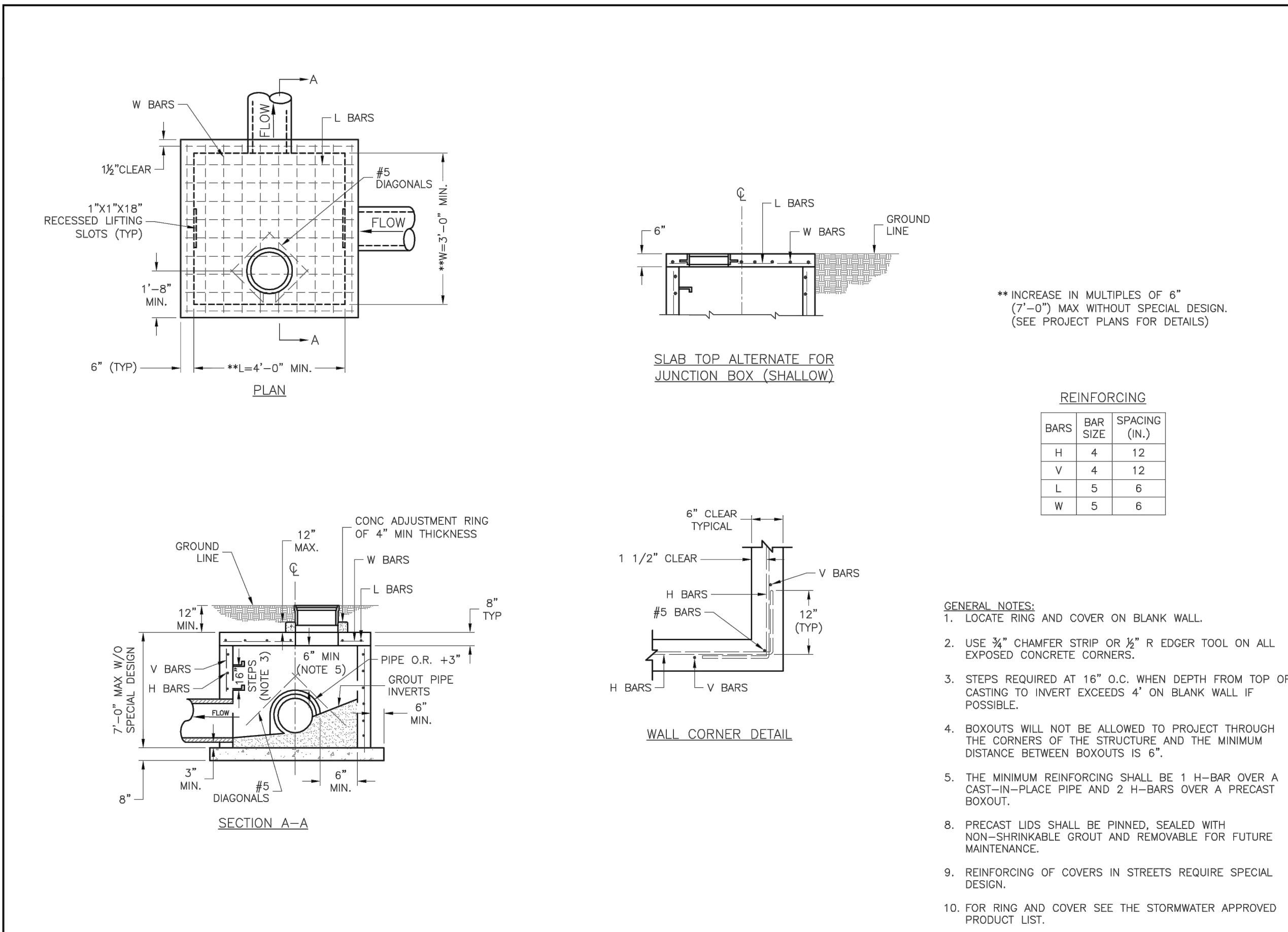
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STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 FIELD INLET DETAIL

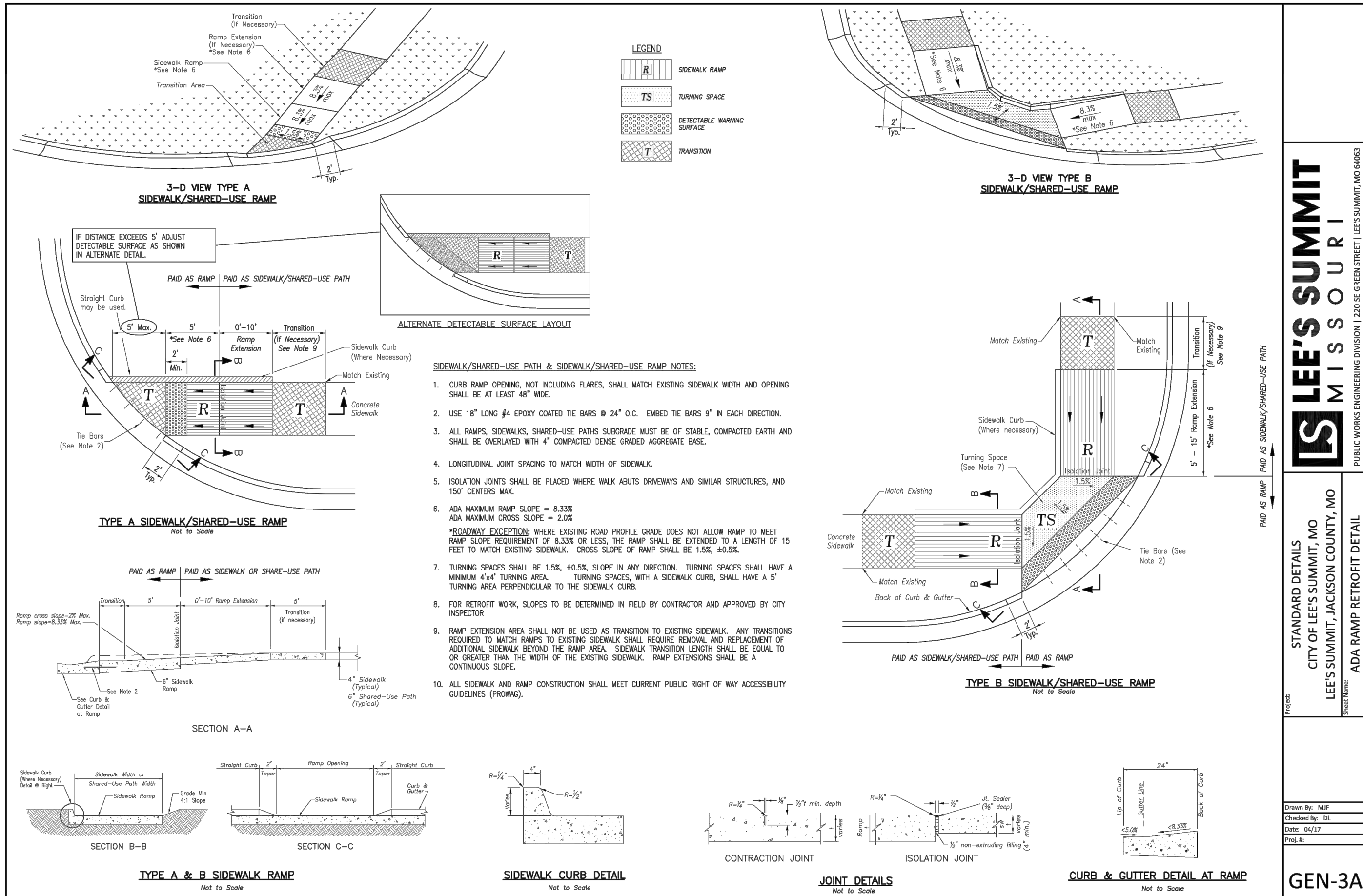
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 Checked By: SL
 Date: 04/17
 Proj #: STM-2



LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 JUNCTION BOX DETAIL

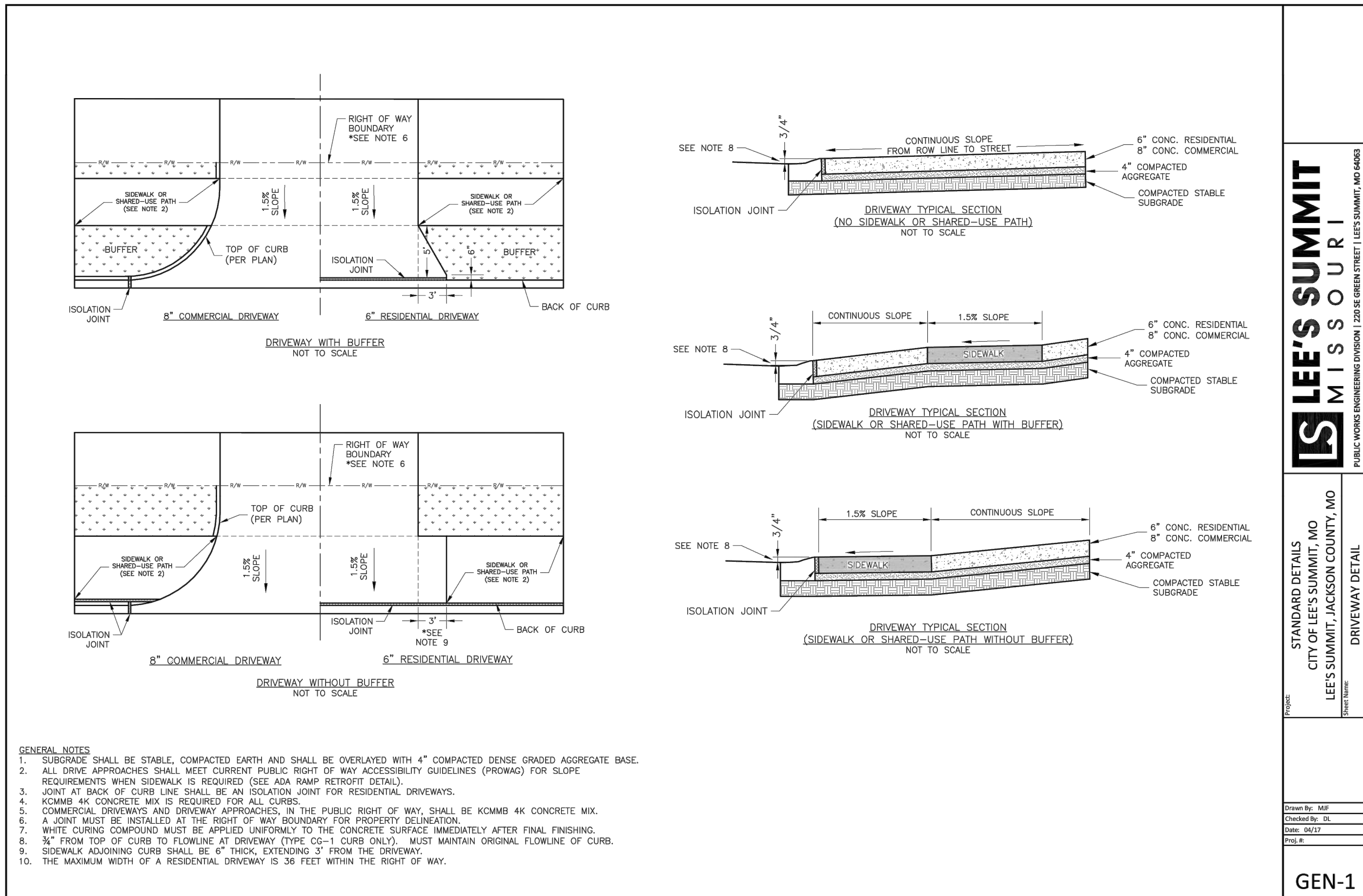
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 Proj #: STM-3



LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 ADA RAMP RETROFIT DETAIL

Drawn By: MFP
 Checked By: SL
 Date: 04/17
 Proj #: GEN-3A



LEE'S SUMMIT MISSOURI
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 DRIVEWAY DETAIL

Drawn By: MFP
 Checked By: SL
 Date: 04/17
 Proj #: GEN-1

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 03-11-2019
 PROFESSIONAL ENGINEER

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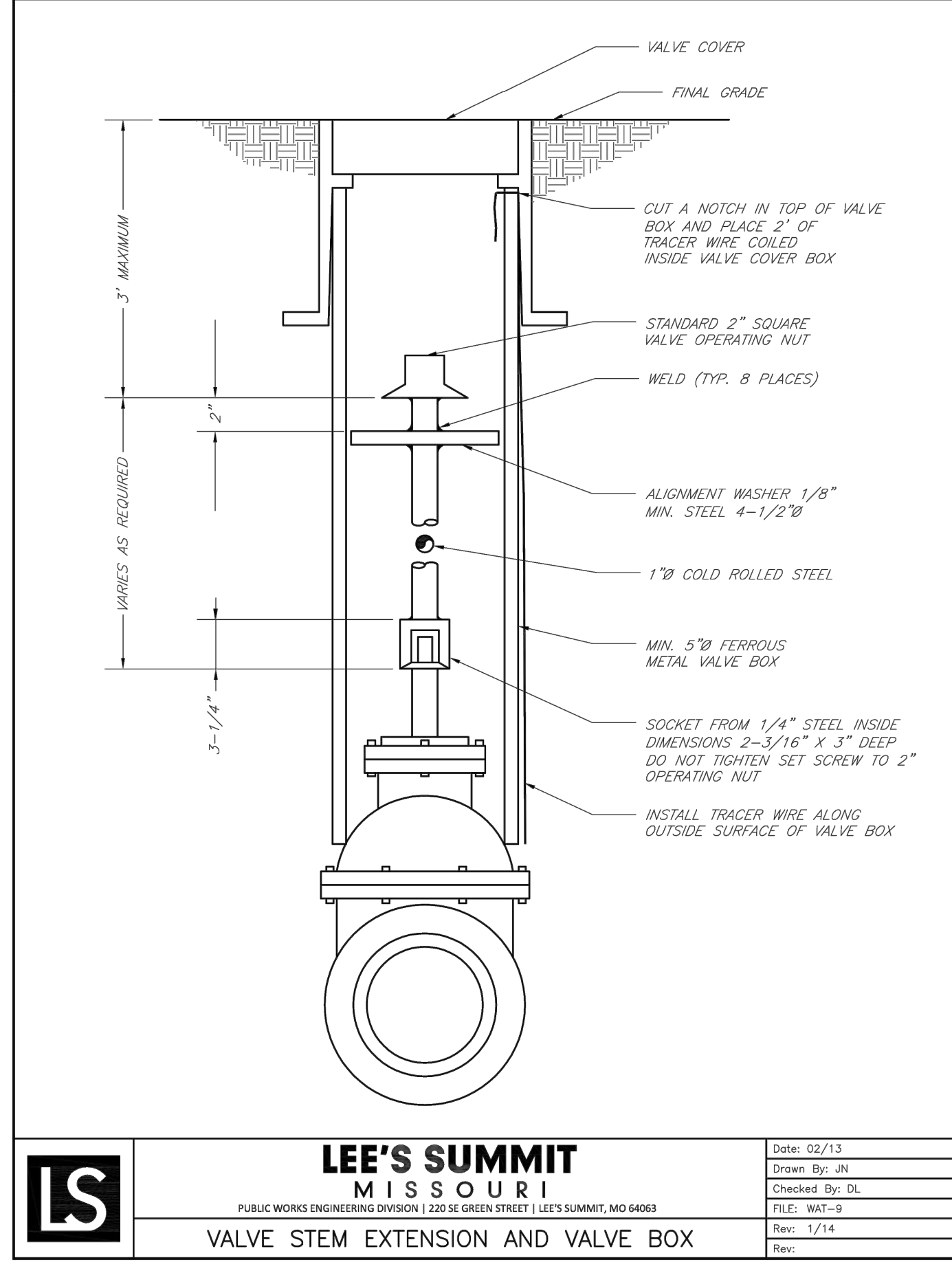
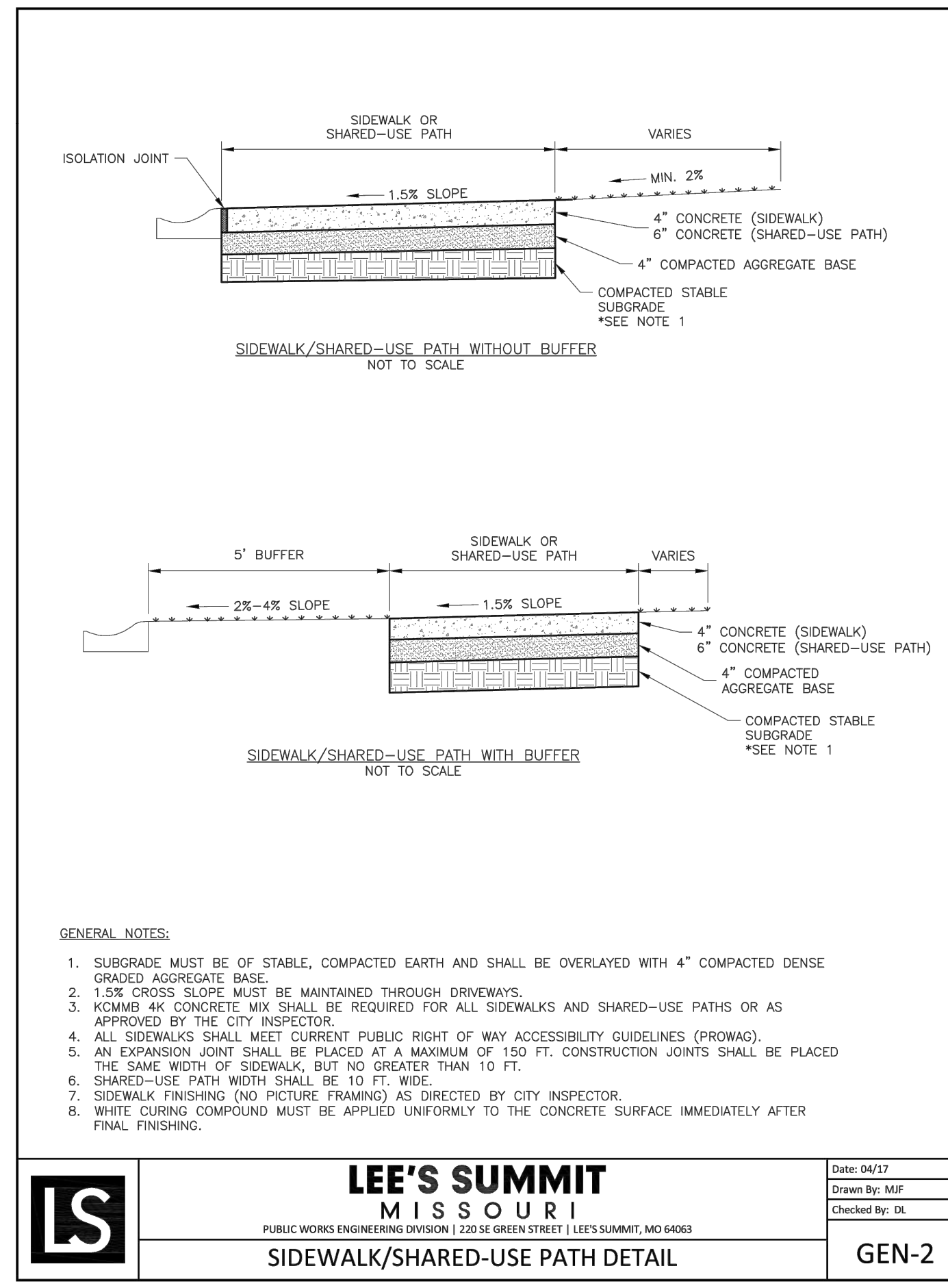
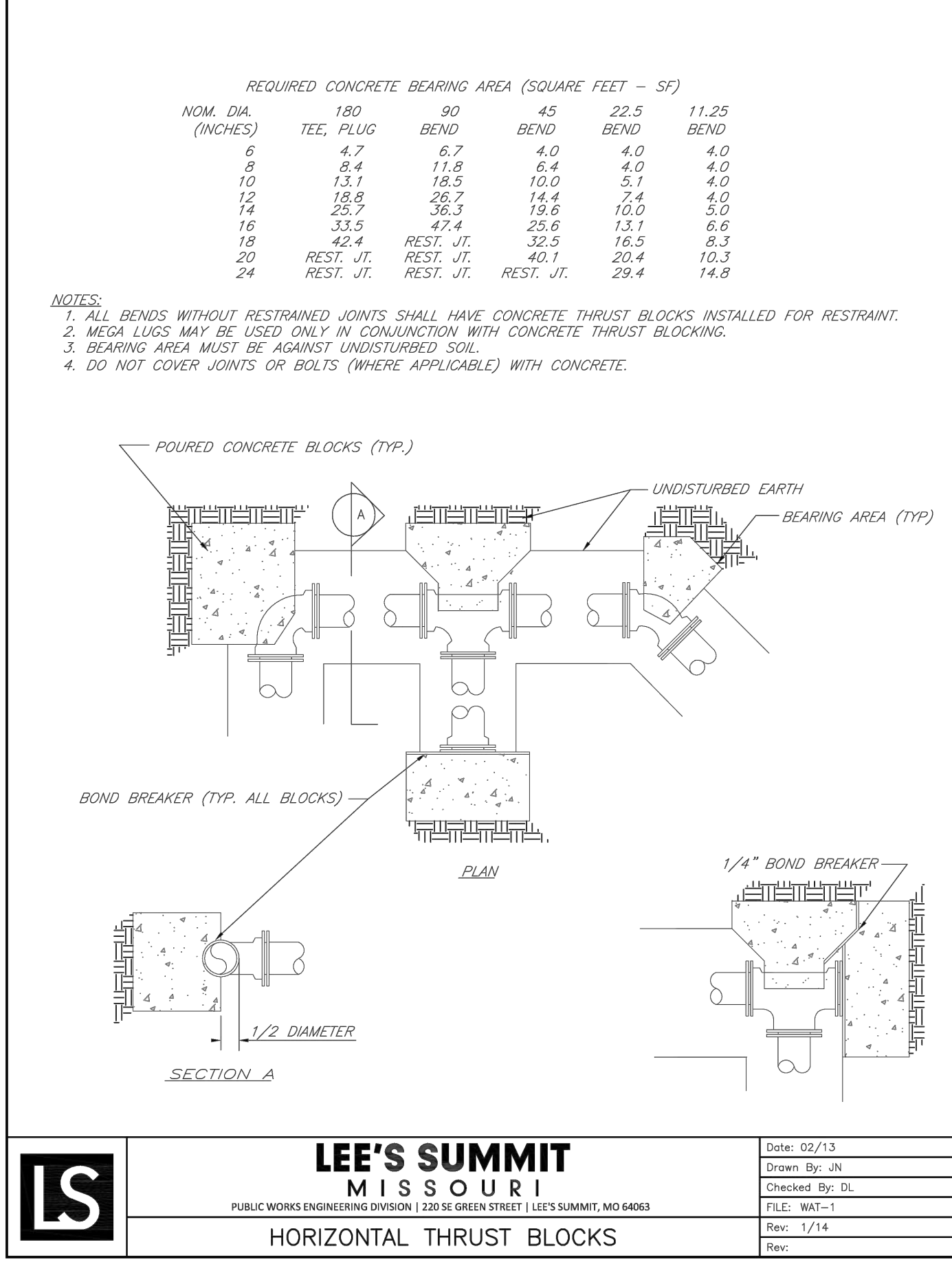
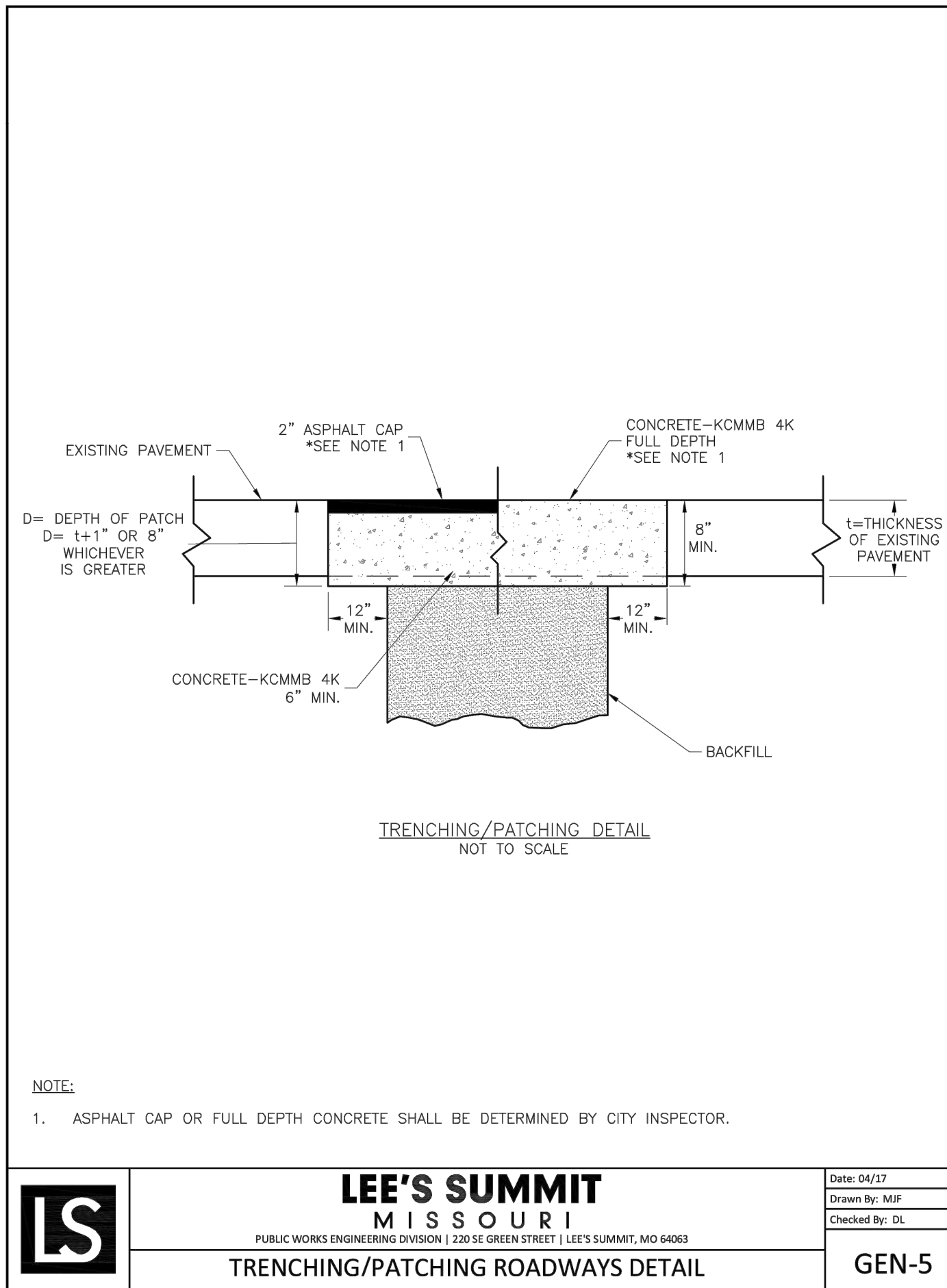
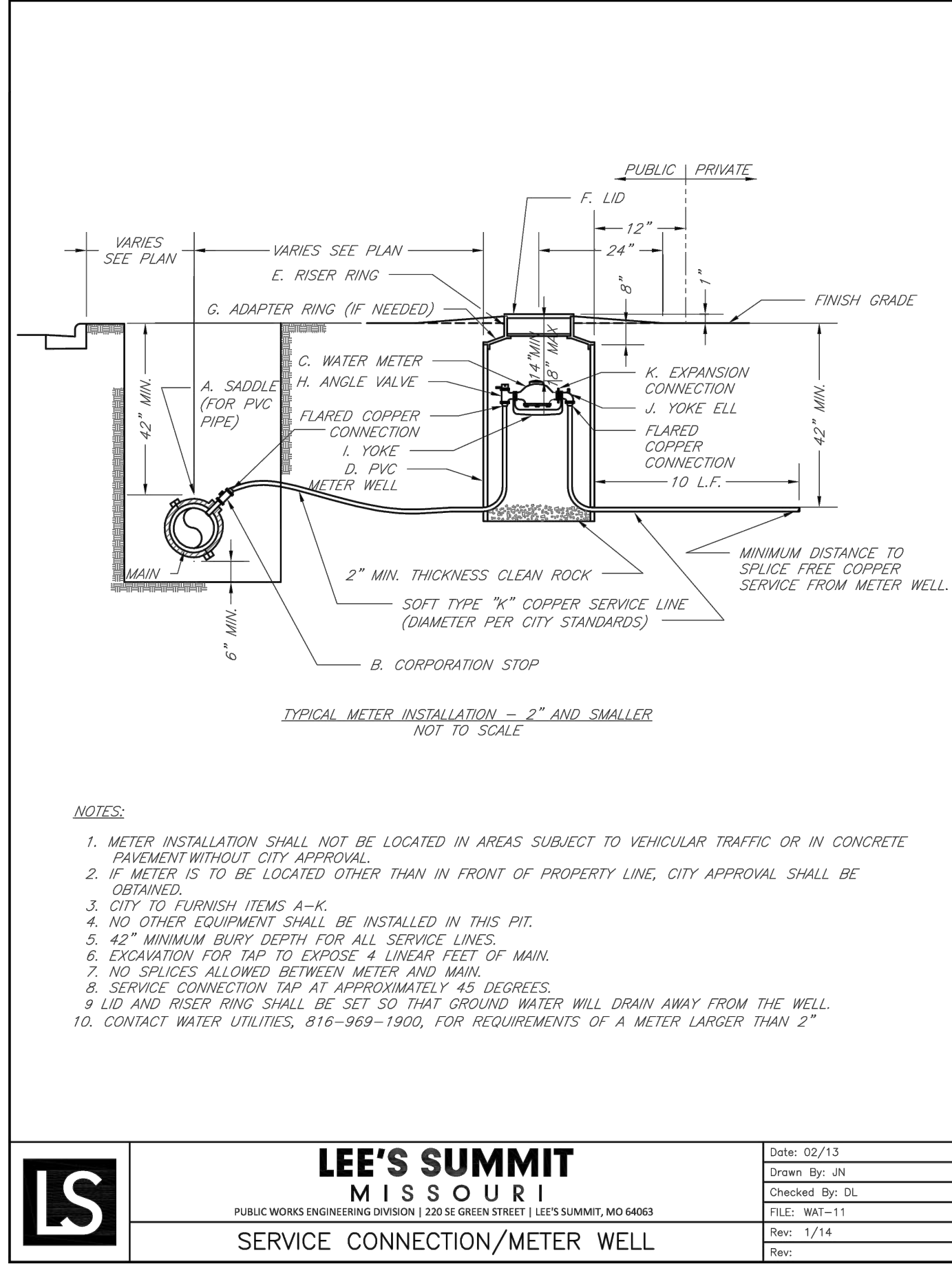
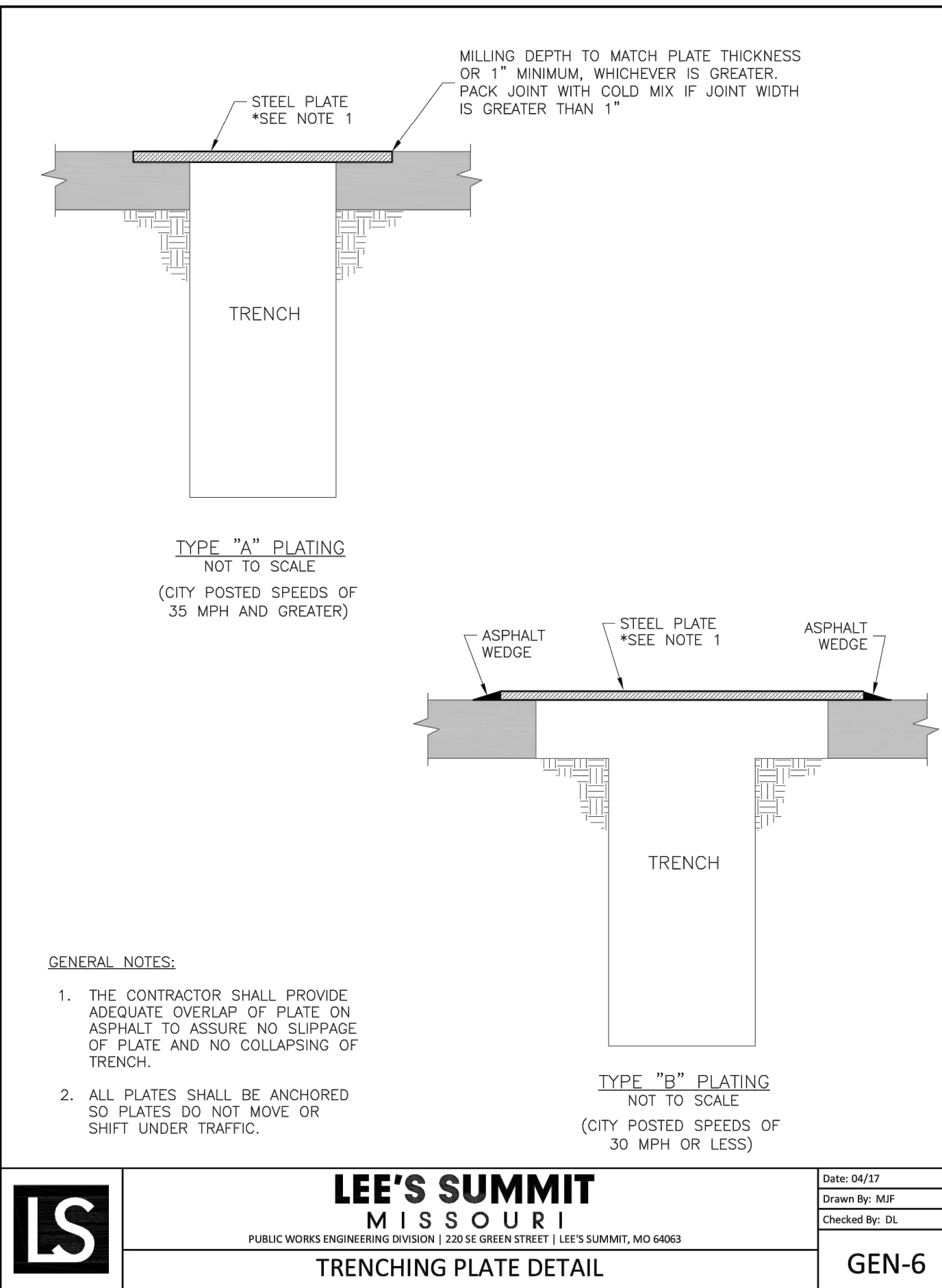
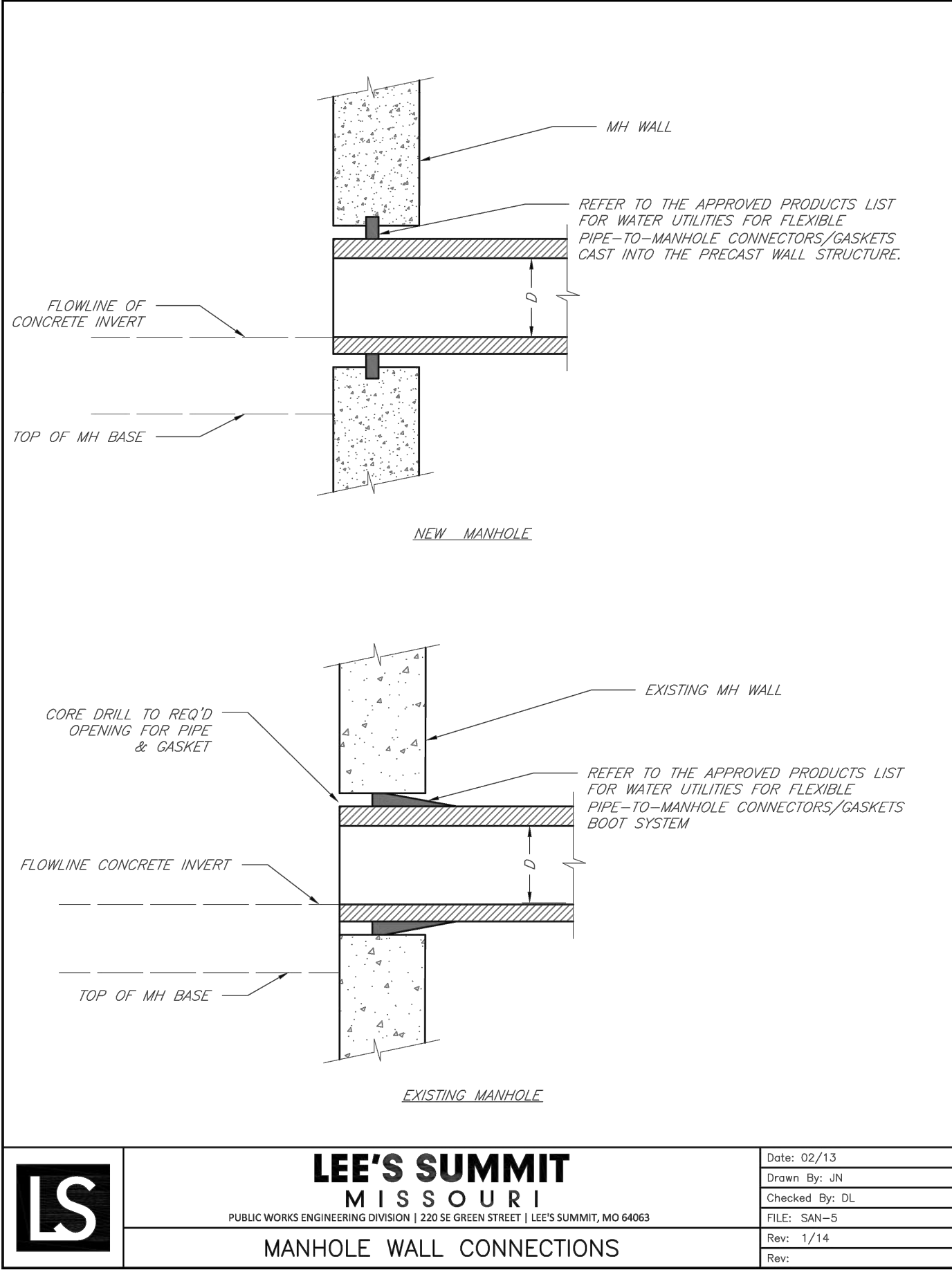
Revision No.	Description	Date
1	ASI#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No. **C10.3**
 STANDARD DETAILS

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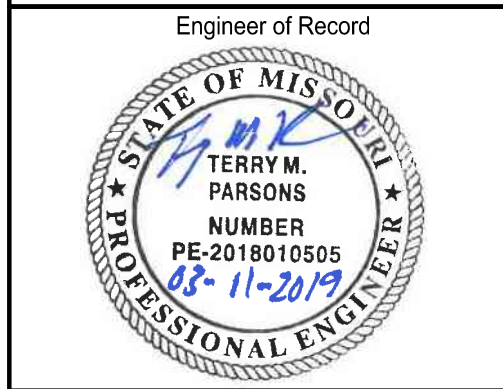
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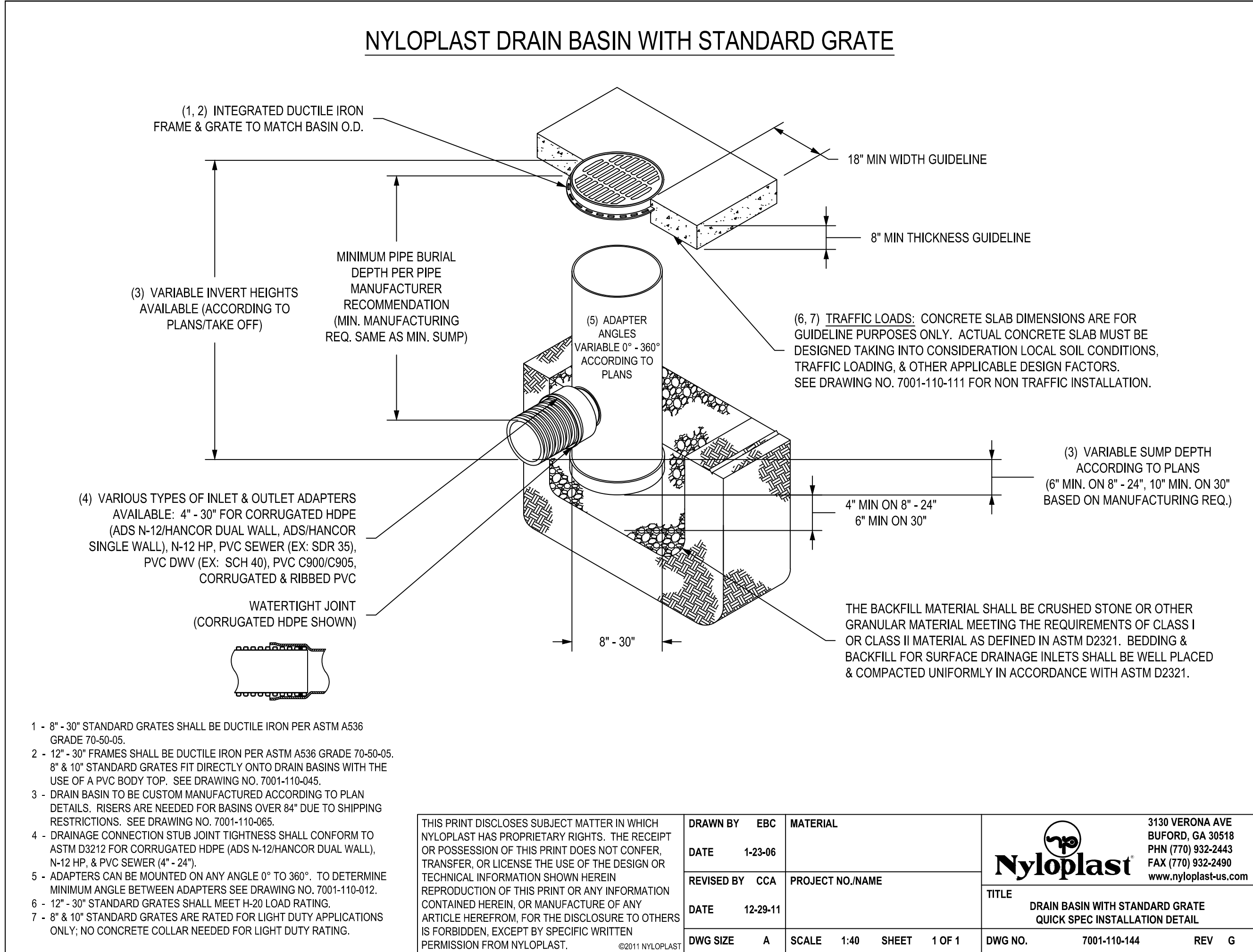
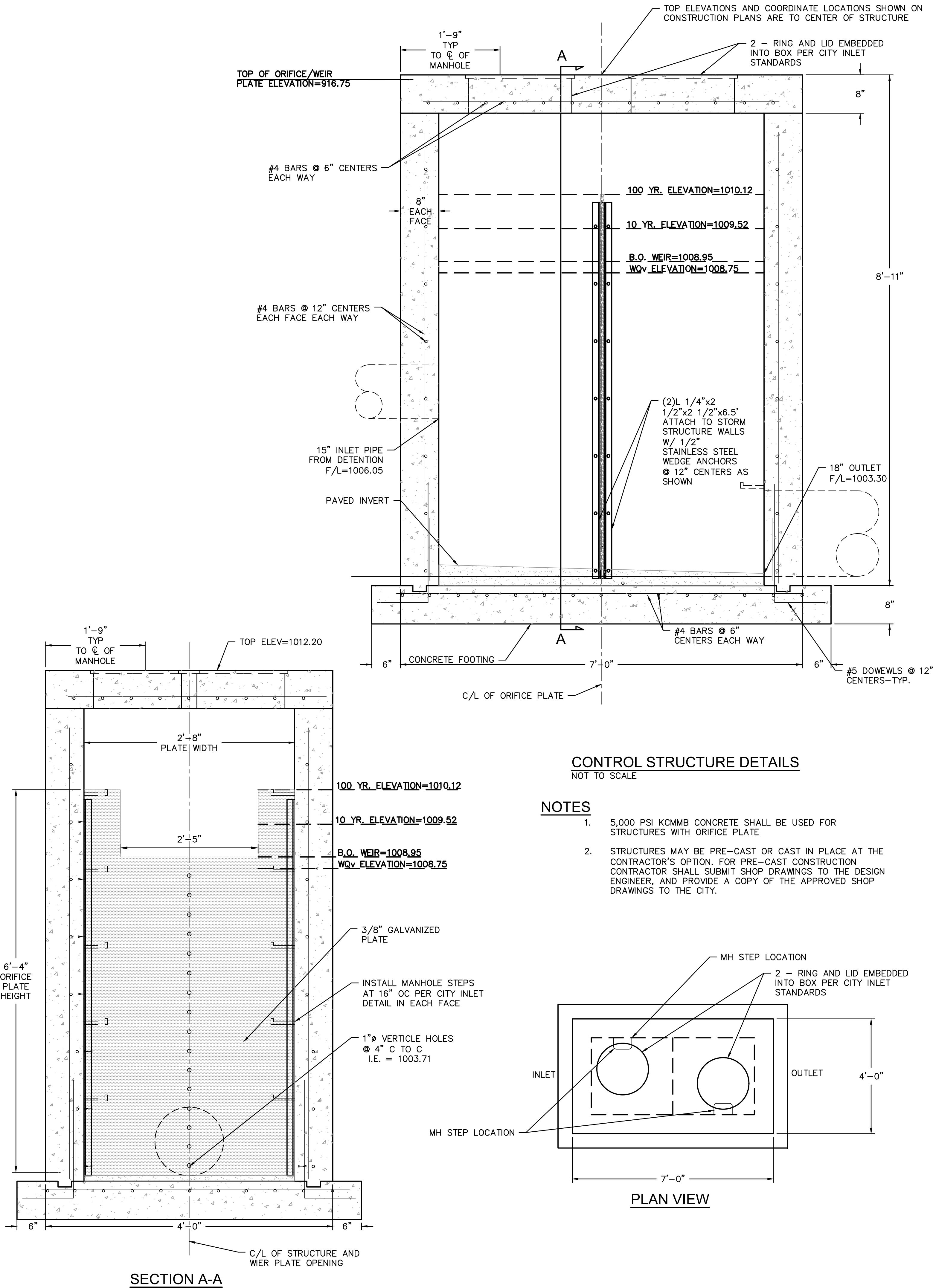
Olsson
Missouri State Certificate of Authority #001592

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B18-0330	12.07.18	RLK

Drawing No. **C10.5**
STANDARD DETAILS

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Streets\GNCV\WORK PACKAGE 4\LEES SUMMIT\C_DTL_80330.dwg USER: jfreling L_PBASE_61023 L_PBASE_80330
DATE: Mar 11, 2019 10:48am XREFS: C:\LS_XBASE_80330 C:\LS_PBASE_80330 C:\LS_PSURF_80330 TE DETAIL C_PBASE_80330



Section 2721

Engineered Surface Drainage Products

GENERAL

PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

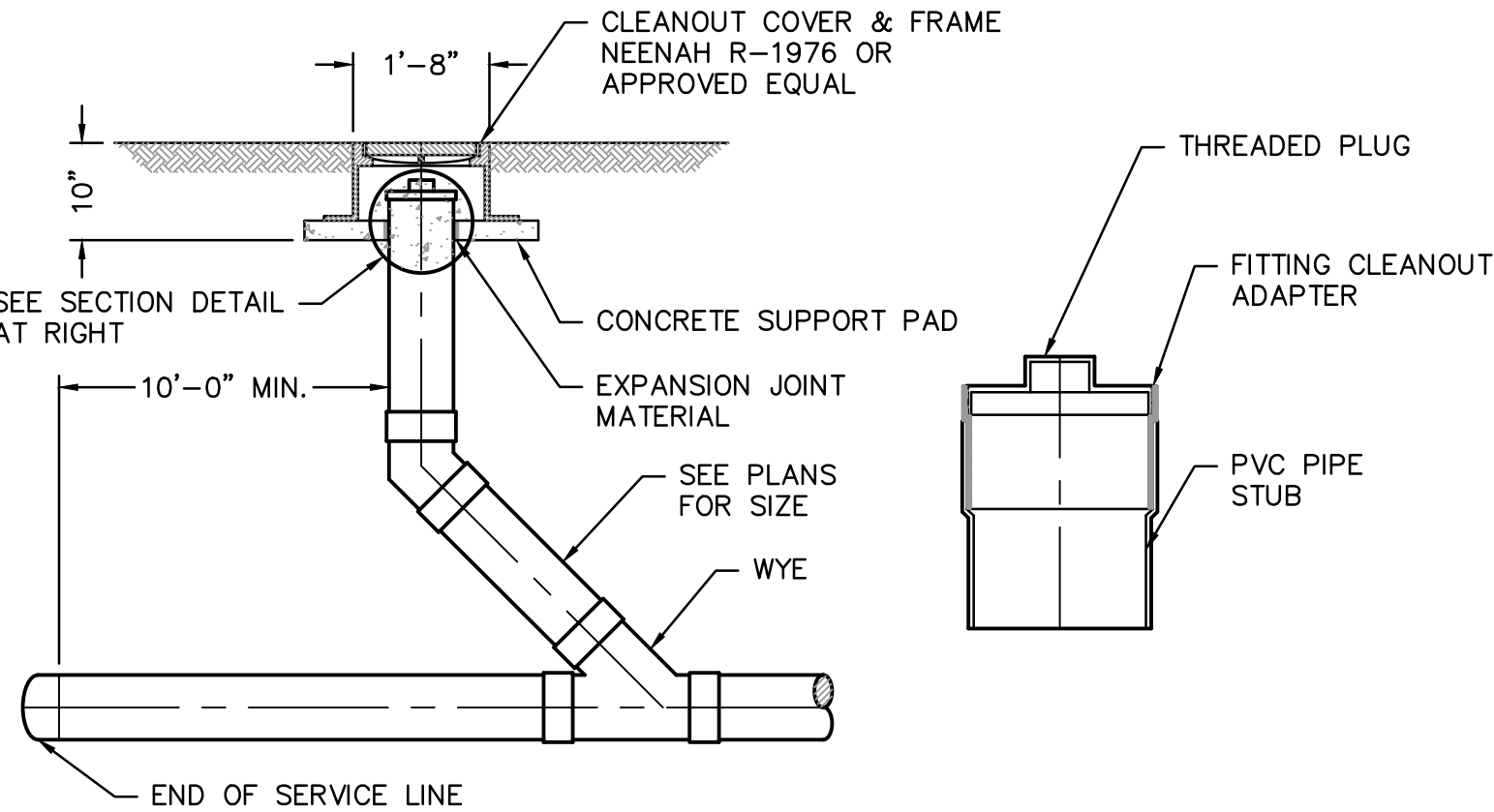
MATERIALS

The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to [ASTM D3212](#) for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to [ASTM F477](#). The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to [ASTM D1784](#) cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to [ASTM A536](#) grade 70-50-05. Grates and covers shall be provided painted black.

INSTALLATION

The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1 or class 2 material as defined in [ASTM D2321](#). Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with [ASTM D2321](#). The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to [ASTM D2321](#) guidelines.



ONE-WAY WYE CLEANOUT DETAIL

NOT TO SCALE

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The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature wherever & whenever used, and the owner of the seal shall authorize this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

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Engineer of Record



Terry M Parsons, Engineer MO PE-2018010505

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Revision No.	Description	Date
1	ASI#1	02.18.19

Project No.	Date	Drawn
B18-0330	12.07.18	RLK

Drawing No.

C10.6

STANDARD DETAILS

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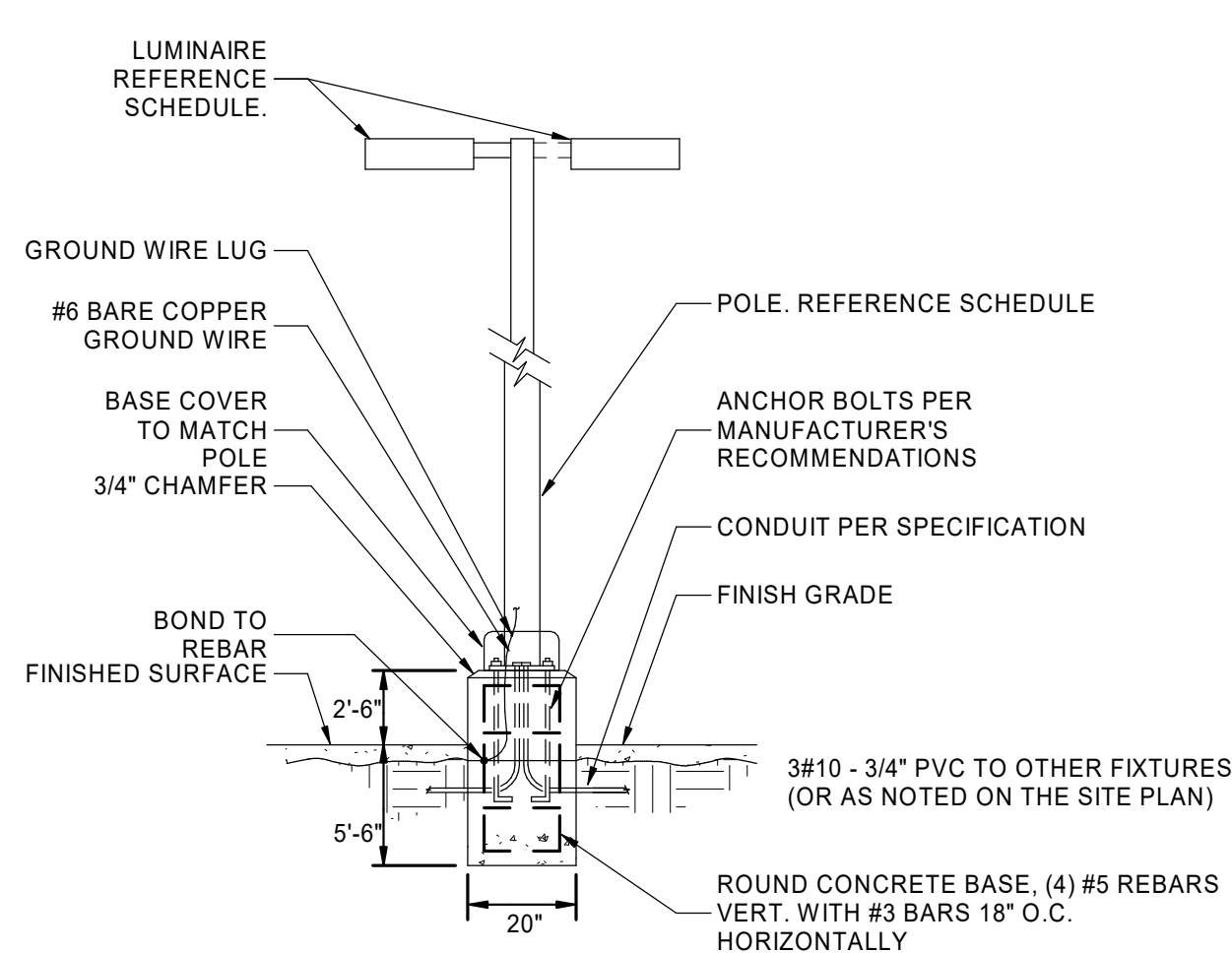
SITE LEGEND (THIS SHEET)	
	POLE-MOUNTED LUMINAIRE
	LANDSCAPE FLOOD LUMINAIRE
	KEYNOTE
	JUNCTION BOX

SITE LUMINAIRE SCHEDULE

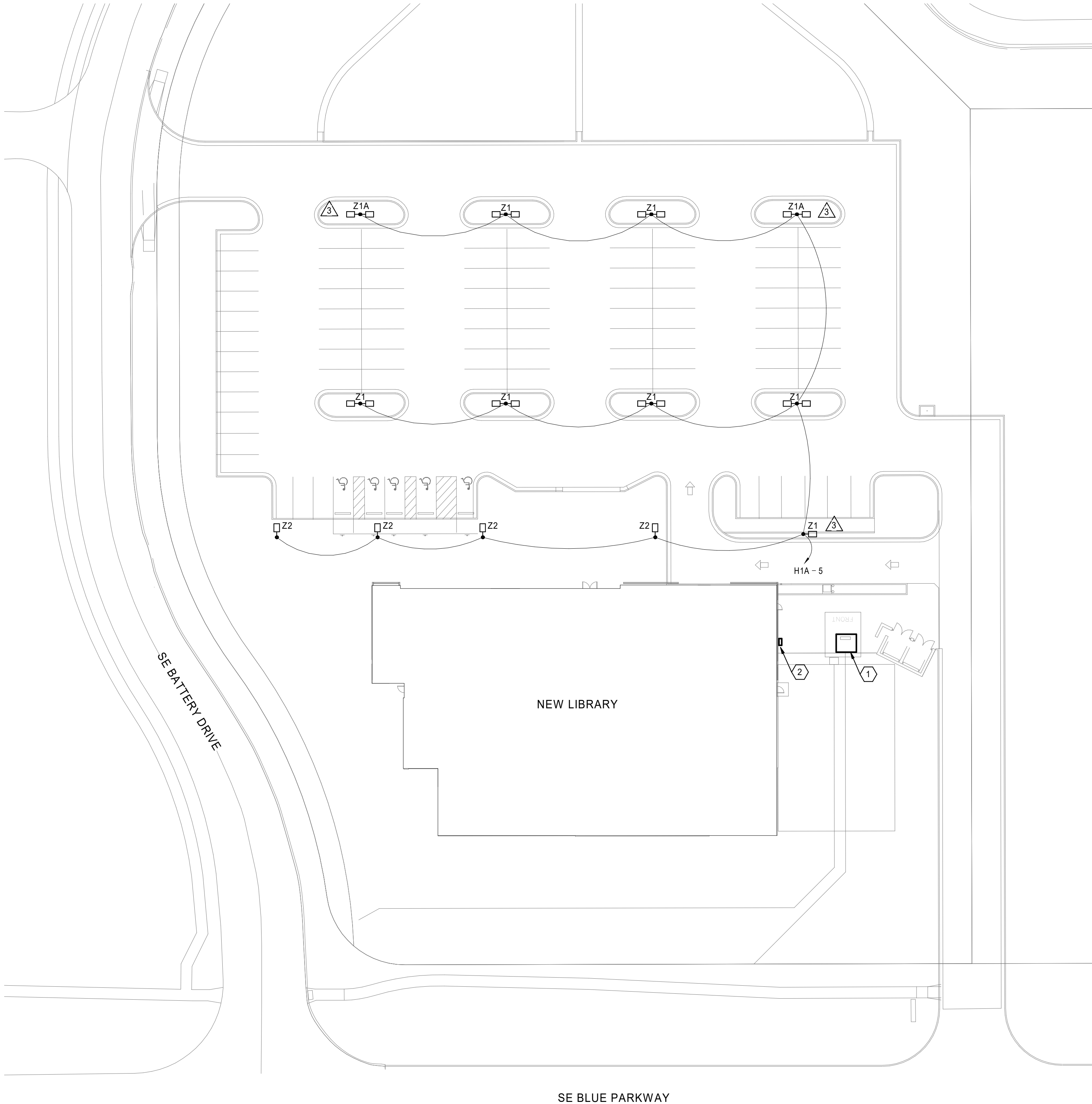
FIXTURE TYPE	DESCRIPTION	MANUFACTURER* OR APPROVED EQUIVALENT	MODEL	LAMPS (QTY) TYPE	LAMP CCT	LAMP CRI	INPUT VA	VOLTAGE	SCHEDULED NOTES
Z1	33" LONG x 13" WIDE x 7" TALL, LED SITE LUMINAIRE. IP65 RATED, UL WET LOCATION LISTED. TYPE IV DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). TWO HEADS MOUNTED ON POLE, 180 DEGREES APART. PROVIDE 17'-6" SQUARE POLE AND MOUNTING COMPATIBLE WITH FIXTURE. ARCHITECT TO SELECT FINISH.	LITHONIA* (HUBBELL, MCGRAW-EDISON)	DSX1 LED P3 30K T4M MVOLT SPA	LED	3000 K	70	102 VA	277 V	TOTAL HEIGHT OF COMPLETE LIGHT POLE ASSEMBLY, INCLUDING POLE BASE, SHALL NOT EXCEED 20'-0".
Z1A	33" LONG x 13" WIDE x 7" TALL, LED SITE LUMINAIRE. IP65 RATED, UL WET LOCATION LISTED. TYPE IV DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). TWO HEADS MOUNTED ON POLE, 180 DEGREES APART. PROVIDE 12'-6" SQUARE POLE AND MOUNTING COMPATIBLE WITH FIXTURE. ARCHITECT TO SELECT FINISH.	LITHONIA* (HUBBELL, MCGRAW-EDISON)	DSX1 LED P3 30K T4M MVOLT SPA	LED	3000 K	70	102 VA	277 V	TOTAL HEIGHT OF COMPLETE LIGHT POLE ASSEMBLY, INCLUDING POLE BASE, SHALL NOT EXCEED 20'-0".
Z2	26" LONG x 13" WIDE x 7" TALL, LED SITE LUMINAIRE. IP65 RATED, UL WET LOCATION LISTED. TYPE III DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). SINGLE HEAD MOUNTED ON POLE. PROVIDE 10'-0" SQUARE POLE AND MOUNTING COMPATIBLE WITH FIXTURE. ARCHITECT TO SELECT FINISH.	LITHONIA* (HUBBELL, MCGRAW-EDISON)	DSX0 LED P2 30K T3M MVOLT SPA	LED	3000 K	70	49 VA	277 V	

GENERAL NOTES (THIS SHEET)	
1.	SEE SHEET E001 FOR LEGEND AND ADDITIONAL GENERAL NOTES.
2.	COORDINATE WITH ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR LOCATIONS AND MOUNTING HEIGHTS OF ALL LUMINAIRES. ARCHITECTURAL DRAWINGS AND ELEVATIONS SHALL TAKE PRECEDENCE WHERE ELECTRICAL DRAWINGS VARY FROM ARCHITECTURAL.
3.	USE #10 AWG COPPER WIRE FOR ALL SITE WIRING, UNLESS NOTED OTHERWISE.
4.	REFER TO LIGHTING PLAN FOR BUILDING MOUNTED EXTERIOR LUMINAIRES.

KEY NOTES (THIS SHEET)	
1.	NEW PAD-MOUNTED UTILITY TRANSFORMER BY KCP&L. MOUNT ON KCP&L APPROVED CONCRETE EQUIPMENT PAD, IN ACCORDANCE WITH ALL KCP&L CLEARANCE AND ACCESSIBILITY REQUIREMENTS. COORDINATE LOCATION WITH CIVIL DRAWINGS.
2.	C.T. CABINET RATED 600A, NEMA 3R ENCLOSURE, AND UTILITY ELECTRIC METER. INSTALL PER KCP&L REQUIREMENTS.



A3 TYPICAL SITE POLE FIXTURE DETAIL
N.T.S.



A1 ELECTRICAL SITE PLAN
1" = 30'-0"



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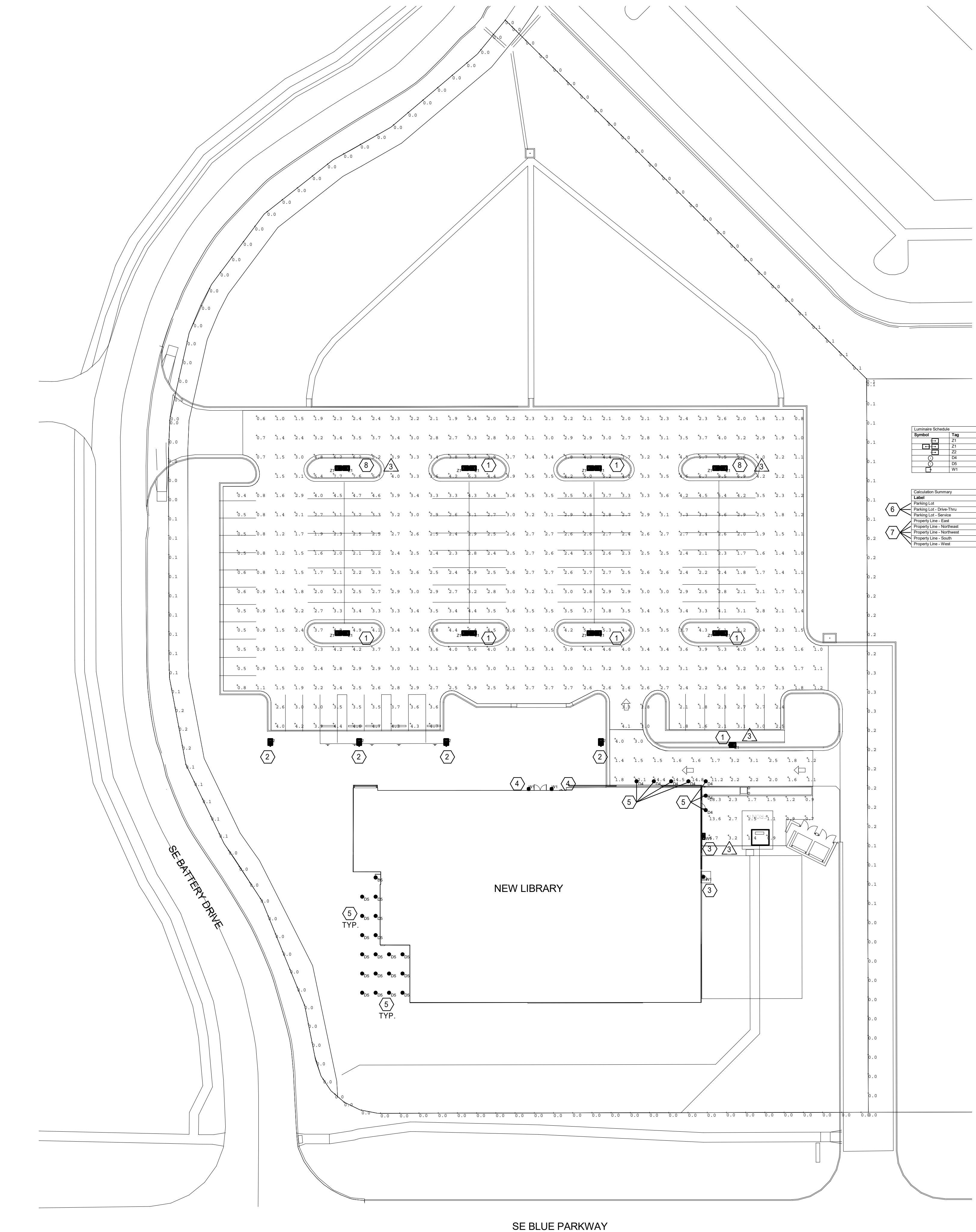
R. David Hartzler, Engineer MO 023167

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M.E. GROUP Missouri State Certificate of Authority # 2002002733		
Revision No.	Description	Date
3	ASI 03	2019-02-12
4	Revision 4	2019-03-07

Project No. 1013-004	Date 01-14-2019	Drawn AP
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Drawing No
ES101
ELECTRICAL SITE PLAN



1 PHOTOMETRIC PLAN
1" = 30'-0"

GENERAL NOTES (THIS SHEET)

- SEE SHEET ES101 FOR LEGEND AND ADDITIONAL GENERAL NOTES.
- COORDINATE WITH ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR LOCATIONS AND MOUNTING HEIGHTS OF ALL LUMINAIRES. ARCHITECTURAL DRAWINGS AND ELEVATIONS SHALL TAKE PRECEDENCE WHERE ELECTRICAL DRAWINGS VARY FROM ARCHITECTURAL.
- PER IESNA LIGHTING HANDBOOK (9TH ED.), EXCERPTS FROM FIGURE 22-21: "FOR THE PURPOSE OF PROPERTY SECURITY, IT IS DESIRABLE THAT THE MINIMUM (LOW POINT) VALUE NOT BE LESS THAN 0.1 HORIZONTAL-FOOTCANDLES."

KEY NOTES (THIS SHEET)

- POLE HEIGHT FOR TYPE Z1 FIXTURES IS 17'-6". INCLUDING THE HEIGHT OF THE POLE BASE (2'-6"), THE TOTAL HEIGHT OF THE COMPLETE LIGHT POLE ASSEMBLY FOR TYPE Z1 IS 20'-0".
- POLE HEIGHT FOR TYPE Z2 FIXTURES IS 10'-0". INCLUDING THE HEIGHT OF THE POLE BASE (2'-6"), THE TOTAL HEIGHT OF THE COMPLETE LIGHT POLE ASSEMBLY FOR TYPE Z2 IS 12'-6".
- WALL MOUNT FIXTURE AT 14'-0" AFF.
- WALL MOUNT FIXTURE AT 14'-0" AFF.
- MOUNT DOWNLIGHT FIXTURE TYPES D4 AND D5 RECESSED IN CANOPY OVERHAND DIRECTLY ABOVE. SEE ARCHITECTURAL ELEVATION FOR HEIGHTS.
- THE CALCULATED MINIMUM ILLUMINANCE VALUES (Min) FOR THE LISTED ZONES EXCEEDS THE IES RECOMMENDATION IN ALL ACTIVELY-LIT AREAS. SIMILARLY, THE CALCULATED AVERAGE ILLUMINANCE VALUES (Avg) MEETS OR EXCEEDS THE IES RECOMMENDED VALUES.
- THE CALCULATED MAXIMUM ILLUMINANCE VALUES (Max) AT THE SITE PROPERTY LINES DO NOT EXCEED 0.5 FOOTCANDLES (FC), PER THE REQUIREMENTS OF LOCAL DESIGN CRITERIA.
- POLE HEIGHT FOR TYPE Z1A FIXTURES IS 12'-6". INCLUDING THE HEIGHT OF THE POLE BASE (2'-6"), THE TOTAL HEIGHT OF THE COMPLETE LIGHT POLE ASSEMBLY FOR TYPE Z1A IS 15'-0".

Luminaire Schedule						
Symbol	Tag	Qty	Arrangement	LLF	Lum. Lumens	Description
Z1	1	1	SINGLE	0.80	11425	DSX1 LED F50 SW 7MM MAVOLT
Z1	8	8	BACK-TO-BACK	0.80	11425	DSX1 LED F50 SW 7MM MAVOLT
Z2	4	4	SINGLE	0.80	5416	DSX1 LED F50 SW 7MM MAVOLT
D4	7	7	SINGLE	0.80	1901	CANONICAL SMD2420 CANOLOC
D5	19	19	SINGLE	0.80	1901	CANONICAL SMD2420 CANOLOC
W1	4	4	SINGLE	0.80	7324	FW55 SAIL 450-WATT 45-CLUM

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	FC	1.9	1.5	0.4	7.5	23.5
Parking Lot - Drive Thru	Illuminance	FC	4.4	14.8	1.1	4.0	13.5
Parking Lot - Service	Illuminance	FC	3.7	16.3	0.7	5.2	26.1
Property Line - East	Illuminance	FC	0.1	0.3	0.0	N/A	N/A
Property Line - Northwest	Illuminance	FC	0.0	0.1	0.0	N/A	N/A
Property Line - Northwest	Illuminance	FC	0.0	0.0	0.0	N/A	N/A
Property Line - South	Illuminance	FC	0.0	0.0	0.0	N/A	N/A
Property Line - West	Illuminance	FC	0.1	0.2	0.0	N/A	N/A

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R. DAVID HARTZLER
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3/7/19

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Revision No.	Description	Date
3	ASI 03	2019-02-12
4	Revision 4	2019-03-07

Project No.
1013-004

Date
01-14-2019

Drawn
AE

Drawing No.
ES102
PHOTOMETRIC PLAN

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