

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 2240 SE BLUE PKWY IN DISTRICT CP-2, PROPOSED EAST LEE'S SUMMIT BRANCH LIBRARY IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2018-145 submitted by Mid Continent Public Library requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 2240 SE Blue Pkwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on October 25, 2018, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 6, 2018, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 located in Section 1, Township 47 North, Range 32 West, in Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the high-impact landscaping buffer along the RP-4 property to the north, to allow low-impact landscaping buffer along the north property line.
2. A modification shall be granted to the 6' maximum letter height for a wall sign, to allow a 6.75' maximum letter height for the wall sign located on the south façade of the proposed building.
3. A modification shall be granted to the requirement that all roof-mounted equipment shall be screened entirely from view by using parapet walls at the same height as the mechanical units, to allow the proposed aluminum composite material screening wall around the periphery of the roof-top mechanical equipment.

BILL NO. 18-181**ORDINANCE NO. 8501**

4. The use of the aluminum composite metal (ACM) panels shall be approved as a conditional material.

5. The development shall be in accordance with the preliminary development plan, date stamped September 18, 2018.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 13th day of November, 2018.


Mayor William A. Baird

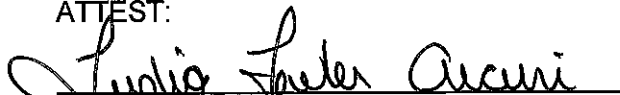
ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 15th day of November, 2018.


Mayor William A. Baird

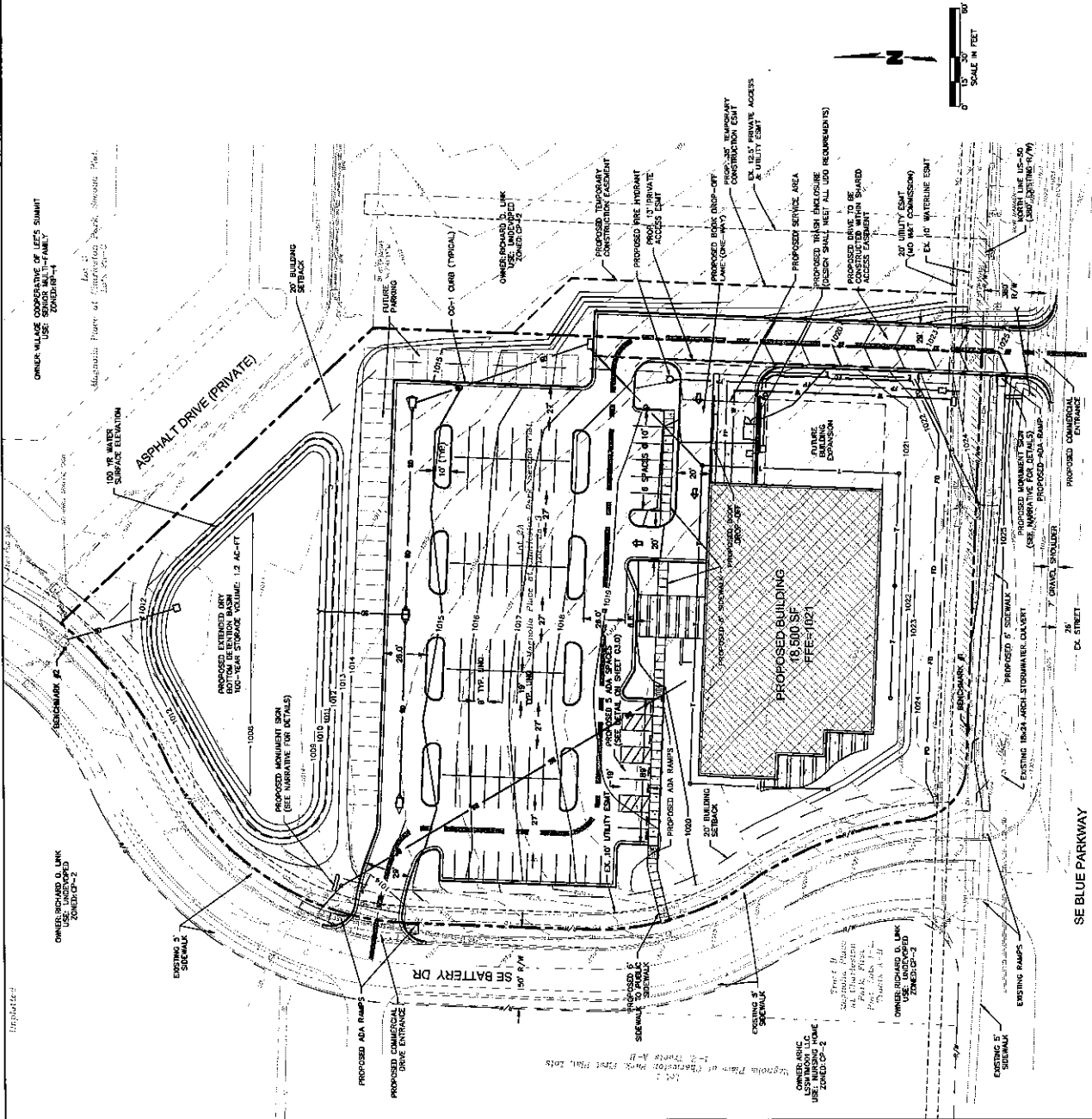
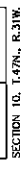
ATTEST:

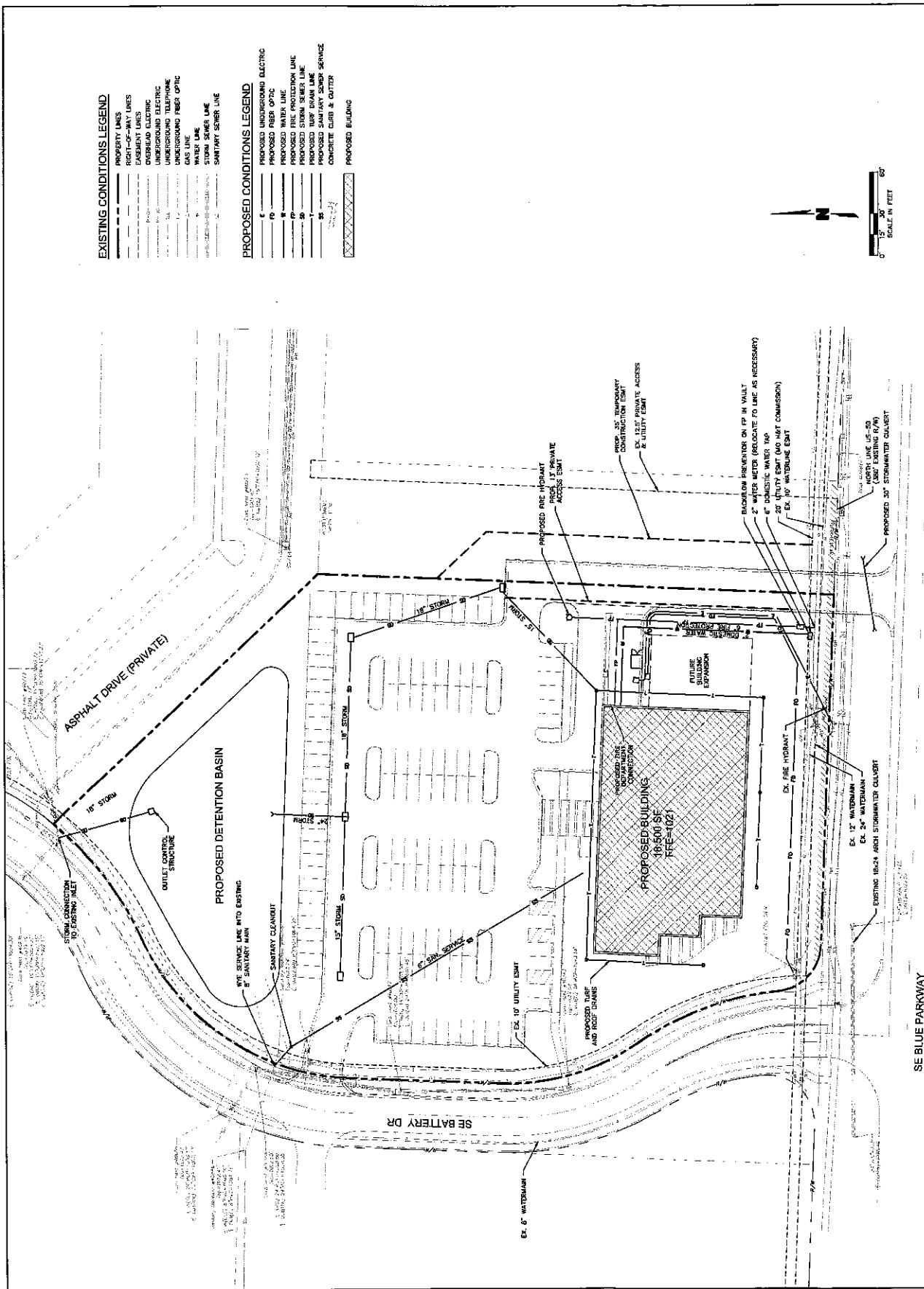

City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head

LOT 2A, MAGNOLIA PLACE AT
CHARLESTON PARK, SECOND PLAT, LOTS
2A-3, A SUBDIVISION IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI,
EXCEPT THE EAST 81.81 FEET THEREOF,
CONTAINING 163.561 SQUARE FEET OR
3.6003 ACRES, MORE OR LESS.





SE BLUE PARKWAY

EXISTING CONDITIONS LEGEND

- | | |
|-------------------------|-------|
| PROPERTY LINES | _____ |
| RIGHT-OF-WAY LINES | _____ |
| EASEMENT LINES | _____ |
| OVERHEAD ELECTRIC | |
| UNDERGROUND ELECTRIC | |
| UNDERGROUND TELEPHONE | |
| UNDERGROUND FIBER OPTIC | |
| GAS LINE | |
| WATER LINE | |
| SANITARY SEWER LINE | |
| STORM SEWER LINE | |

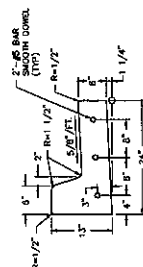
PROPOSED CONDITIONS LEGEND

- | | |
|---------------------------------|----|
| PROPOSED UNDERGROUND ELECTRIC | 6 |
| PROPOSED FIBER OPTIC | FB |
| PROPOSED WATER LINE | W |
| PROPOSED FIRE PROTECTION LINE | FP |
| PROPOSED STORM SEWER LINE | SD |
| PROPOSED TURF DRAIN LINE | T |
| PROPOSED SANITARY SEWER SERVICE | SS |
| CONCRETE CURB & GUTTER | |
| PROPOSED BUILDING | |

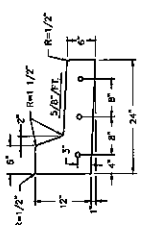
DATE: Sep 18, 2018 8:18am XREFS: C-4LS.TBLK-00350 C-4LS.XBASE-00350 C-4LS.PBASE-00350 C-4LS.PSURF-00350 [PBASE-61023]

GENERAL NOTES

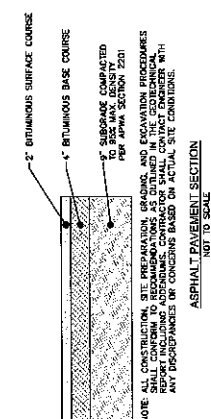
- 1.4" ISOLATION JOINTS WITH 1" OR 1.5" DASH SHAPED DOMES. THESE DOMES SHALL BE PLACED AT RADIUS POINTS AT 150' INTERVALS. THESE DOMES SHALL BE GREASED AND WEAPPED ON ONE END WITH EXPANSION LUBE.
- 3" DEEP CONSTRUCTION JOINTS SHALL BE INSTALLED AT 150' INTERVALS. CONSTRUCTION JOINTS SHALL HAVE A DASH ACROSS THE ENTIRE JOINT SECTION.
- CONCRETE PILL SHALL HAVE UNIFORM AND SMOOTH FINISH. FORMS #40 CONCRETE SHALL BE USED FOR ALL CURBS.
- ASPHALT CONCRETE SURFACE SHALL BE SAME CONFORM TO STANDARD SPECIFICATIONS SECTION 226.2.
- CURBS FOR NEW STREETS SHALL BE SET ON ASPHALT OR CONCREE BASE AND MUST BE TYPICAL SECTION DETAIL. AGRICULTURE CEMENT SHALL BE USED FOR CURB FINISH. TO THE



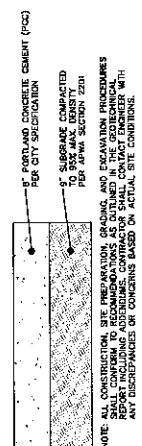
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)



ASPHALT PAVEMENT SECTION

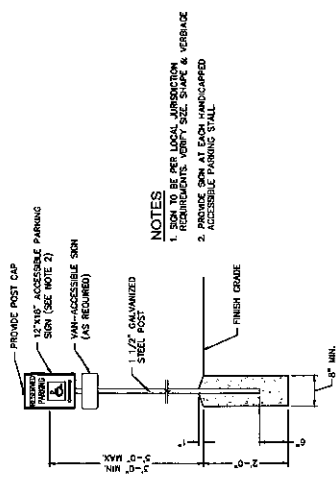


PCC PAVEMENT SECTION

CONCRETE SIDEWALK WITH BUFFER

NOT TO SCALE

- GENERAL NOTES:**
1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH OR STABLE, COMPACTED GRANULAR AGGREGATE BASE.
 2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE SIDEWALK.
 3. UNPAVED AREAS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE SIDEWALK, BUT NO SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
 4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY REQUIREMENTS.
 5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED AT A MAXIMUM OF 100 FT. OF SIDEWALK, BUT NO MORE THAN ONE JOINT PER SIDEWALK.
 6. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
 7. ALL JOINTS AND CRACKS MUST BE REPAIRED IMMEDIATELY AFTER THE CONSTRUCTION OF THE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

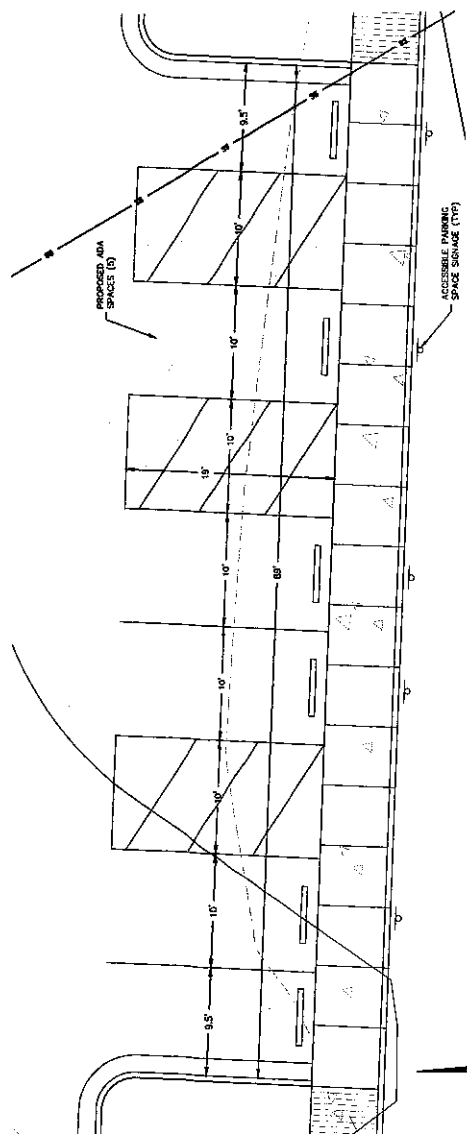


NOTES

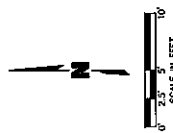
- NOTES**
1. SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
2. PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

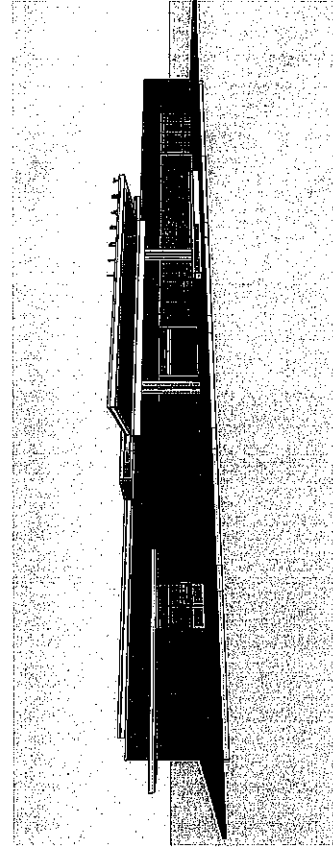
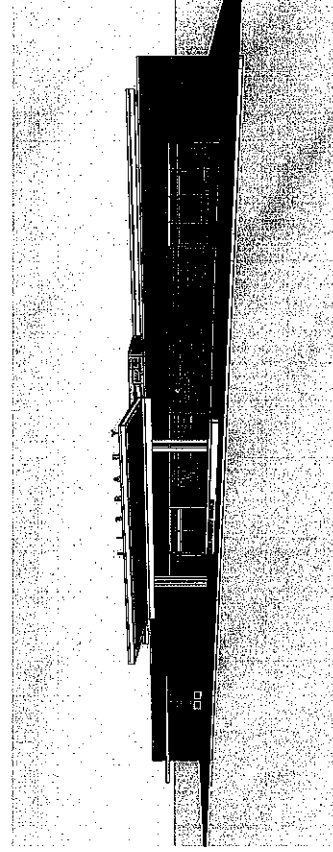
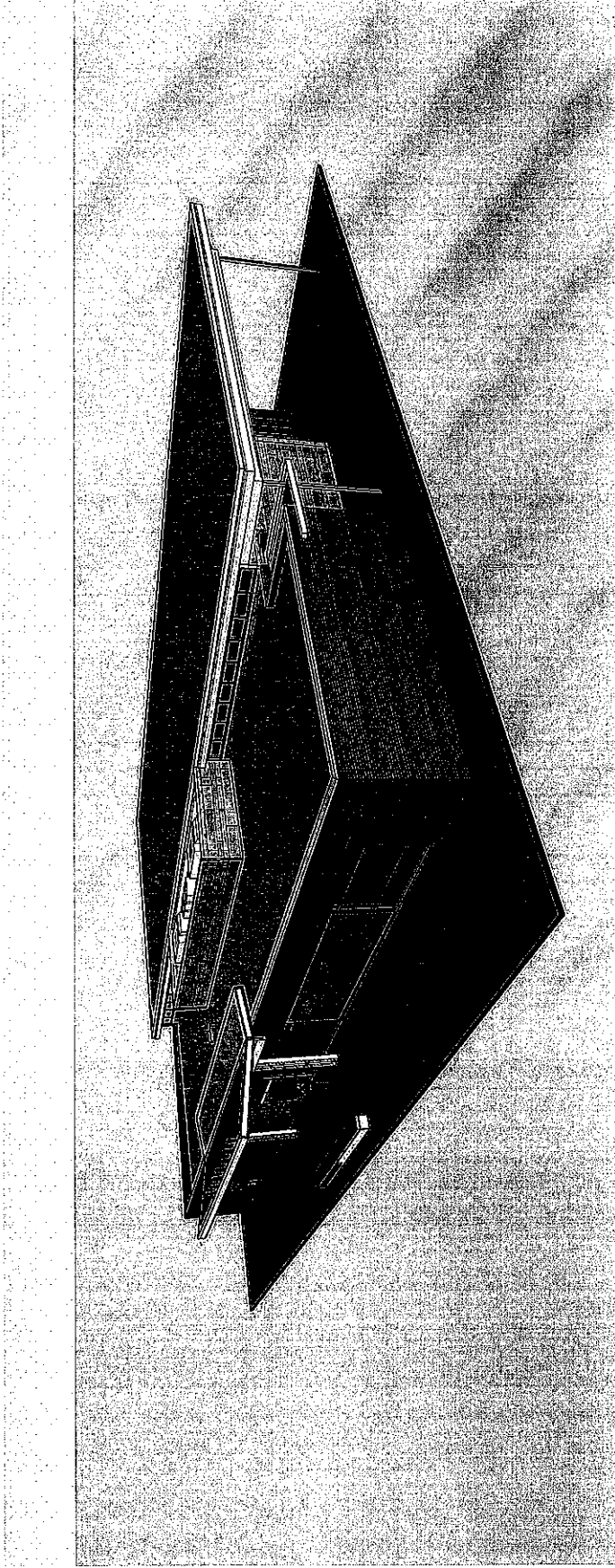
ACCESSIBLE PARKING
SPACE SIGNAGE

NOT TO SCALE



CANADA PARKING SPACES DETAIL

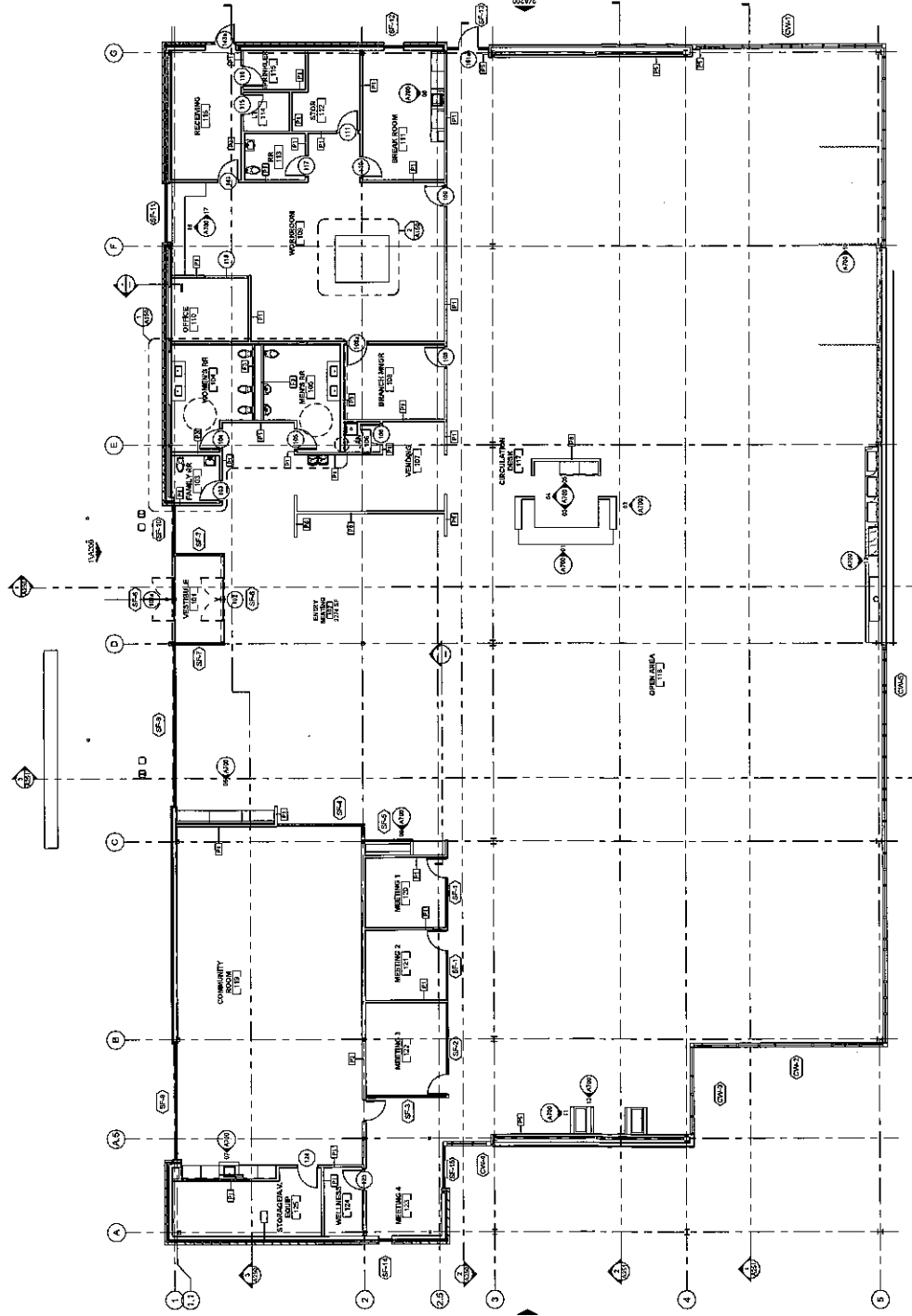




GENERAL NOTES

1. ALL DIMENSIONS INDICATED IN CONTACT DOCUMENTS ARE IN INCHES UNLESS OTHERWISE NOTED. DIMENSIONS OF CONCRETE OR BLOCK OR TYPICAL WALL THICKNESS OR OTHER MATERIALS SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS OF CONCRETE OR BLOCK OR TYPICAL WALL THICKNESS OR OTHER MATERIALS SHALL BE AS SHOWN ON THE DRAWING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

KEYNOTES



1 MAIN FLOOR
108' x 140'

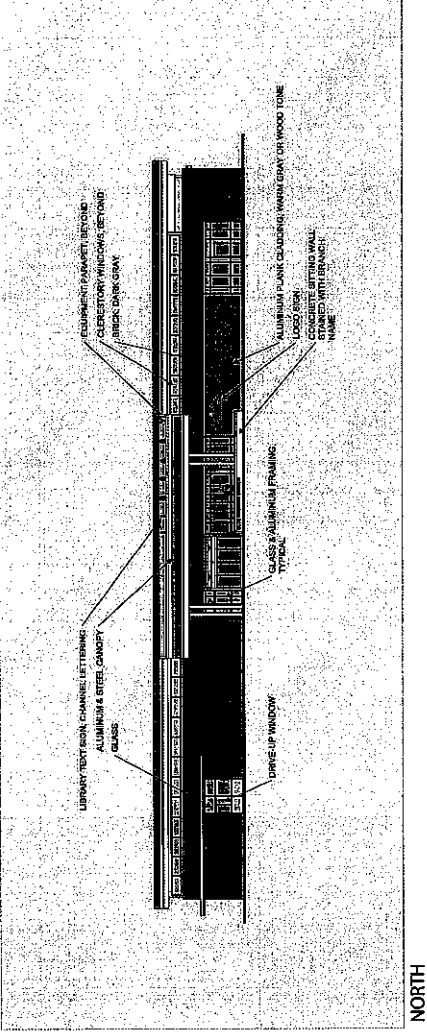
PRELIMINARY, UNCERTIFIED
FLOOR PLAN
RESUBMITTAL FOR PRE-DEVELOPMENT PLAN
9.18.2018

**SAPP
DESIGN
ARCHITECTS**
2550 G. Avenue, Suite 100
St. Louis, MO 63103
314.433.1111
www.sappdesign.com

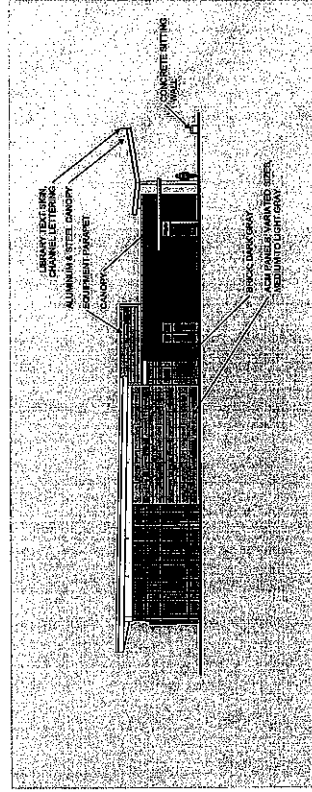
helix.
2550 G. Avenue, Suite 100
St. Louis, MO 63103
314.433.1111
www.helixdesign.com

EAST LEE'S SUMMIT
NEW BRANCH LIBRARY
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MISSOURI 64083
JACKSON COUNTY

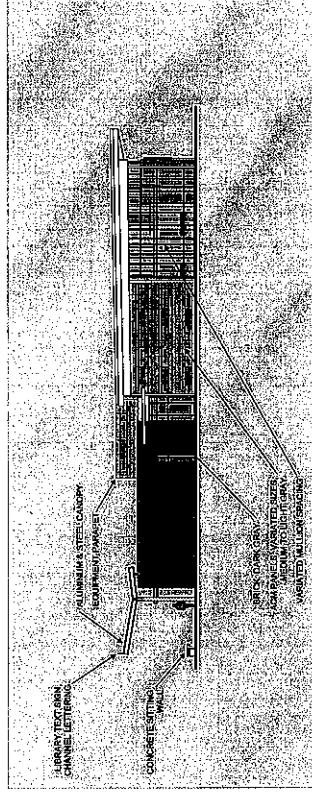
A100
Project No. 19-11-2018
Client: Lee's Summit
Architect: SAPP Design Architects
Engineer: Helix Design
Revision No. 1
Description: New Branch Library
Scale: 1/8" = 1'-0"



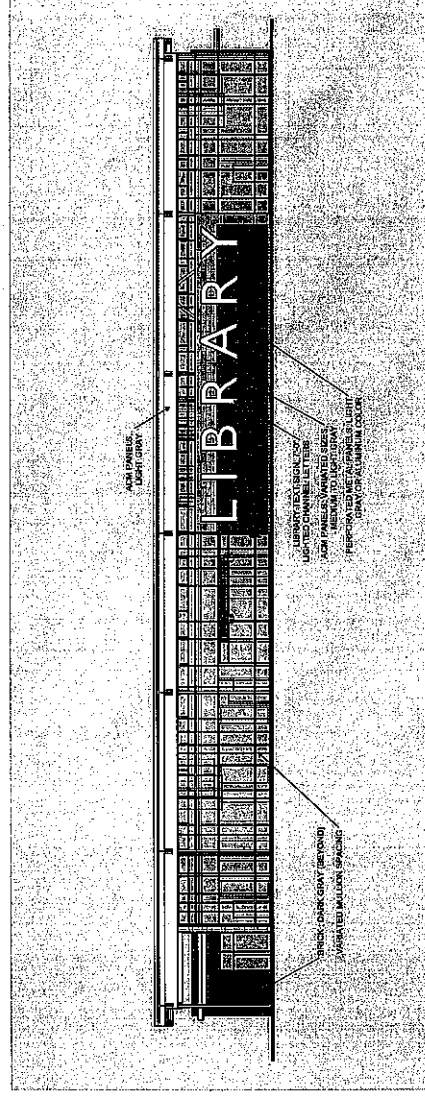
NORTH



EAST



WEST



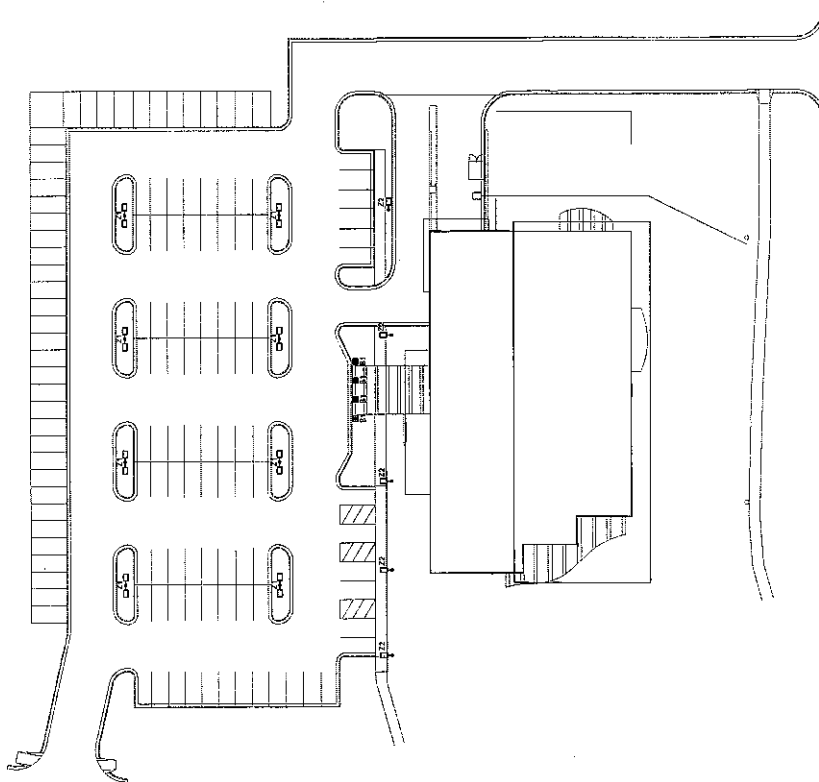
SOUTH

POLE-MOUNTED LUMINAIRE
LANDSCAPE FLOOD LUMINAIRE
KEYNOTE
JUNCTION BOX

SCHEDULING		SITE LUMINAIRE SCHEDULE					SCHEDULED NOTES	
DATE	BY	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	MODEL	LAMPS (QTY) TYPE	LAMP CCT	LAMP CRI	VOLTAGE
01/11/2017	BT	42" TALL, LED SITE BOLLARD, DIE-CAST ALUMINUM HOUSING, WITH IP65 RATED OPTICAL SYSTEM, TYPE V DISTRIBUTION, FULL CUTOFF (NO UPLIGHT), 13" WIDE X 7" TALL, LED SITE LUMINAIRE, IP65 RATED, 10' WET LOCATION LISTED, TYPE N DISTRIBUTION, FULL CUTOFF (NO UPLIGHT), TWO HEADS MOUNTED ON POLE, 180 DEGREES APART, PROVIDE 25' JUMP TO SELECT FINISH, MOUNTING COMPATIBLE WITH FIXTURE, ARCHITECT TO LONG FINISH.	PAV'S PT-NUS-12-PTD30K-42A-LIN-UMH		LED	3000 K	70	277 V
01/11/2017	Z1	42" TALL, LED SITE BOLLARD, DIE-CAST ALUMINUM HOUSING, WITH IP65 RATED OPTICAL SYSTEM, TYPE V DISTRIBUTION, FULL CUTOFF (NO UPLIGHT), 13" WIDE X 7" TALL, LED SITE LUMINAIRE, IP65 RATED, 10' WET LOCATION LISTED, TYPE N DISTRIBUTION, FULL CUTOFF (NO UPLIGHT), TWO HEADS MOUNTED ON POLE, 180 DEGREES APART, PROVIDE 25' JUMP TO SELECT FINISH, MOUNTING COMPATIBLE WITH FIXTURE, ARCHITECT TO LONG FINISH.	DSX1 LED PS 30K 4" M MOUNT SPA		LED	3000 K	70	277 V
01/11/2017	Z2	36" LONG X 13" WIDE X 7" TALL, LED SITE LUMINAIRE, IP65 RATED, 10' WET LOCATION LISTED, TYPE N DISTRIBUTION, FULL CUTOFF (NO UPLIGHT), TWO HEADS MOUNTED ON POLE, 180 DEGREES APART, PROVIDE 25' JUMP TO SELECT FINISH, MOUNTING COMPATIBLE WITH FIXTURE, ARCHITECT TO LONG FINISH.	DSX2 LED PS 30K 7" M MOUNT SPA		LED	3000 K	70	277 V

1. SEE SHEET 8001 FOR LEGEND AND ADDITIONAL GENERAL NOTES.
2. COORDINATE WITH ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR LOCATIONS AND MOUNTING HEIGHTS OF ALL LUMINAIRES. ARCHITECTURAL DRAWINGS AND ELEVATIONS SHALL TAKE PRECEDENCE WHERE ELECTRICAL DRAWINGS VARY FROM ARCHITECTURAL DRAWINGS.
3. USE #14 AWG COPPER WIRE FOR ALL SITE WIRING, UNLESS NOTED OTHERWISE. REFER TO LIGHTING PLAN FOR BUILDING MOUNTED EXTERIOR LUMINAIRES.

1. NEW PAD-MOUNTED UTILITY TRANSFORMER BY KCPAL, MOUNT ON KCPAL APPROVED CONCRETE EQUIPMENT PAD, IN ACCORDANCE WITH ALL KCPAL CLEARANCE AND ACCESSORY REQUIREMENTS.
2. C.T. CABINET, NEMA 3R ENCLOSURE, AND UTILITY ELECTRIC METER, INSTALL PER KCPAL REQUIREMENTS.



A1 ELECTRICAL SITE PLAN
1" = 30'-0"



helix.

529 Walnut
Kansas City, MO 64108
915.300.0300

the word for the "earthly" laws, according to reports of the prophet, is "the law of the Lord." The prophet also says that the law of the Lord is the law of the "king of the earth," and that the law of the Lord is the law of the "king of the world." The prophet also says that the law of the Lord is the law of the "king of the universe," and that the law of the Lord is the law of the "king of the whole world." The prophet also says that the law of the Lord is the law of the "king of the whole creation," and that the law of the Lord is the law of the "king of the whole world."

EAST LEE'S SUMMIT
NEW BRANCH LIBRARY
MID-CONTINENT PUBLIC LIBRARY
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MISSOURI 64063
JACKSON COUNTY



10/10/2013

m GROUP
7400 COLLEGE BLVD., STE. 150
OVERLAND PARK, KS 66210
T: 913.951.8311
F: 913.491.1838
www.mgroup.com

J.E. GROUP
13500 81st Avenue, Suite 100, Richmond, BC V6V 2G2
Tel: 604-273-1111 Fax: 604-273-1112

Receipt No.	Date	Quam
1013-004	08-16-2018	AP

ES101	
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ELECTRICAL SITE PLAN

Appl. #PL2018-145 PRELIM DEV PLAN East Lee's Summit Branch Library

