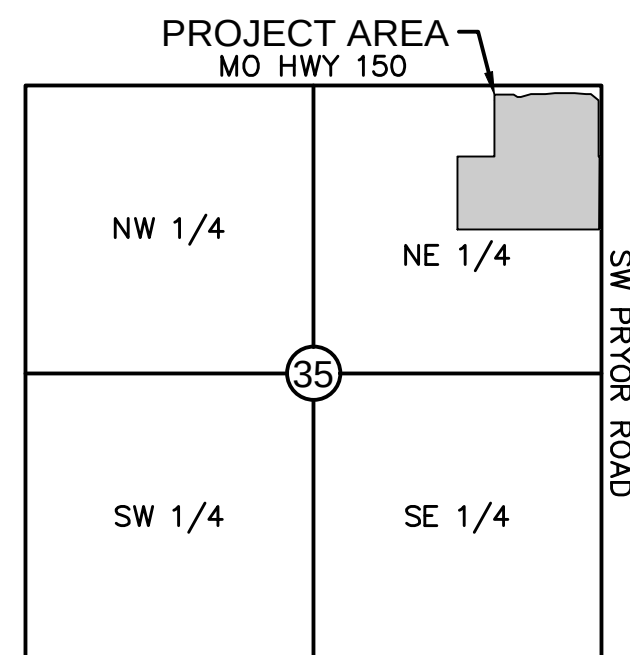


ALLERA REZONING & PRELIMINARY DEVELOPMENT PLAN

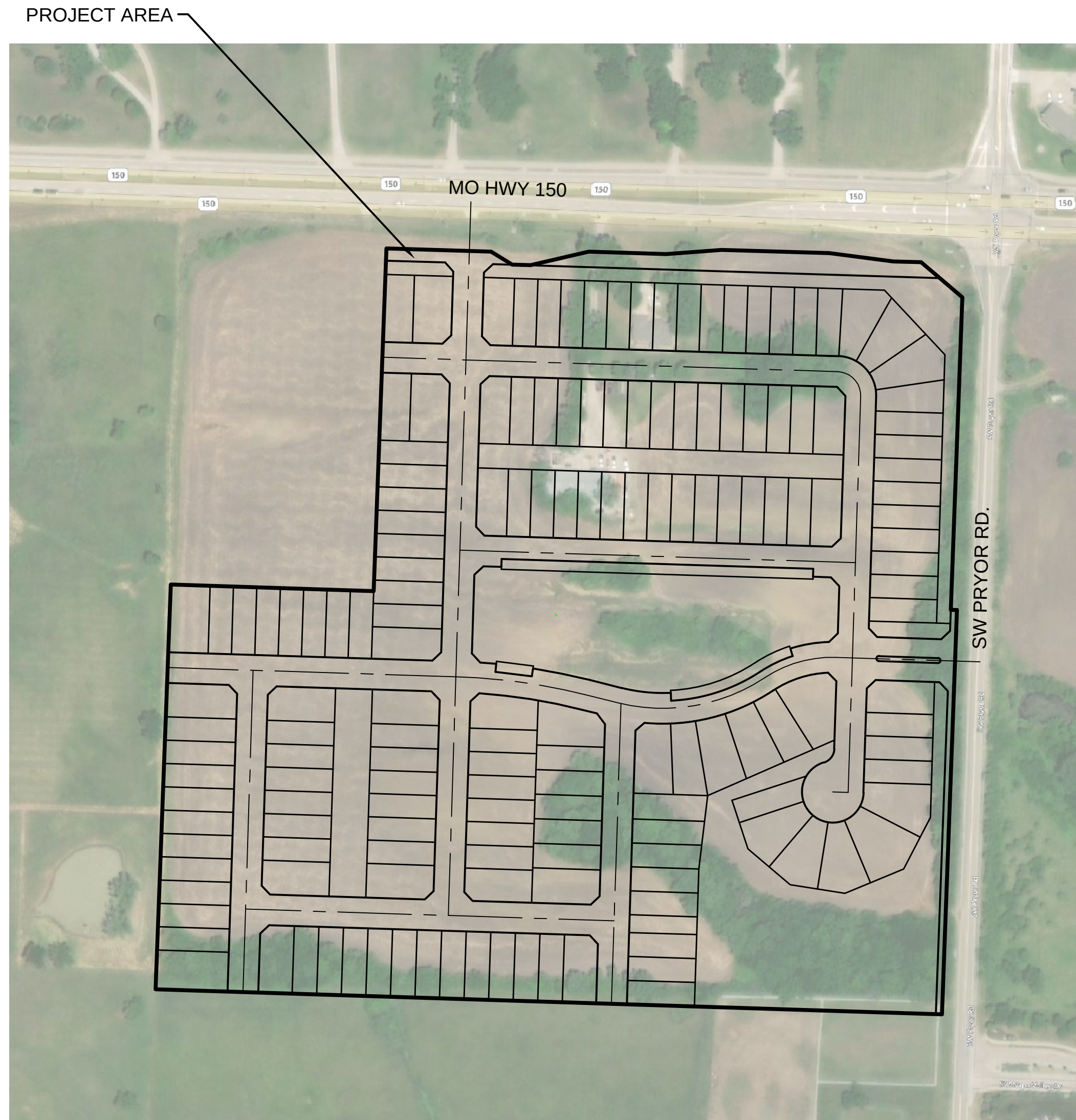
SECTION 35, TOWNSHIP 47N, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



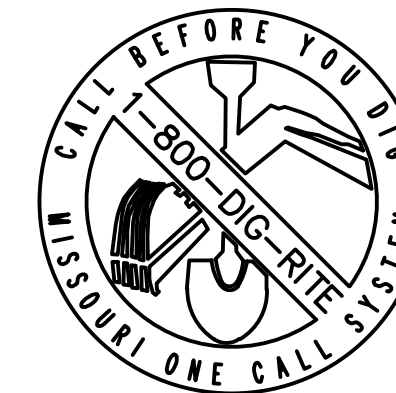
VICINITY MAP

S35, T47N, R32W
SCALE 1"=2000'

PROJECT TEAM CONTACT LIST
<u>OWNER / DEVELOPER</u> CLAYTON PROPERTIES GROUP, INC. DBA SUMMIT HOMES 120 SE 30TH ST. LEE'S SUMMIT, MO 64082 CONTACT: DAVID W. PRICE PHONE: 816.246.6700 EMAIL: DAVID@SUMMITHOMESKC.COM
<u>ENGINEER</u> OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JOHN JERPELDING PHONE: 816.361.1177 EMAIL: JERPELDING@OLSSON.COM



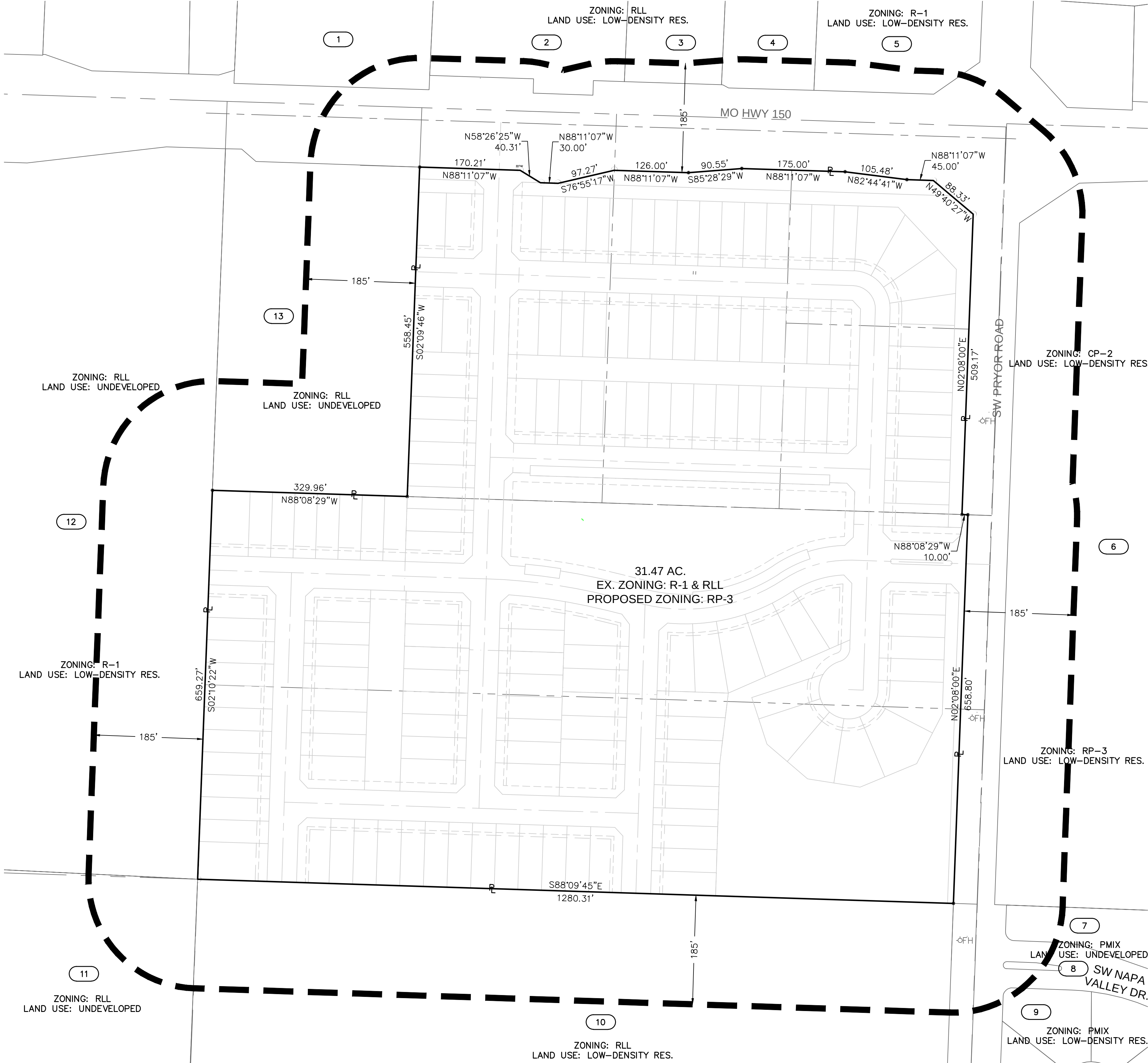
INDEX OF SHEETS	
Sheet Title	Sheet Number
TITLE SHEET	01
REZONING PLAN	02
EXISTING CONDITIONS	03
SITE PLAN	04
GRADING PLAN	05
UTILITY PLAN	06
UTILITY PLAN (CONT'D)	07
OVERALL PLAN (LANDSCAPE)	L1
ENTRY MONUMENTS	L2
ENTRY MONUMENTS	L3



PROPERTY DESCRIPTION:

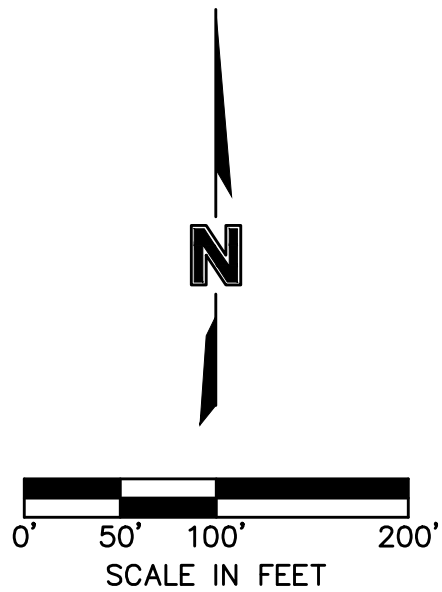
A tract of land in the Northeast Quarter of the Northeast Quarter of Section 35, Township 47 North, Range 32 West, of the 5th Principal Meridian, including part of Lots 1, 2 and 3, SALVAGGIO'S RANCH, a subdivision of land, all in Lee's Summit, Jackson County, Missouri, being bounded and described as follows: Commencing at the Northeast corner of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along the East line of said Northeast Quarter, 658.78 feet to the Southeast corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°08'29" West, along the South line of said North Half, 50.00 feet to the Southeast Corner of said Lot 3, said point also being on the Westerly right of way line of SW Pryor Road as now established and the Point of Beginning of the tract of land to be herein described; thence South 88°08'29" East, along said East line and along said Westerly right of way line, 100.00 feet; to the Westerly right of way line of said SW Pryor Road as established by Document 1963B14460, in Book 1634, at page 487, being on a line that 40.00 West of and parallel with the East line of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along last said Westerly right of way line and said parallel line, 658.80 feet to a point on the South line of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°09'45" West, along said parallel line, 1280.31 feet to the Southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°10'22" East, along the West line of the Northeast Quarter of the Northeast Quarter of said Section 35, 659.27 feet to the Southwest corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence South 88°08'29" East, along the South line of said North Half, 50.00 feet to the Northeast Quarter of the Northeast Quarter of said Section 35, 329.96 feet to the Southwest corner of the East Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°09'46" East, along the West line of said North Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35, 558.45 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0064160, being 80.00 feet right of centerline Station 314+29.79 (Station 314+29.51 Deed); thence South 88°11°07" East, along said Southerly right of way line 170.21 feet to a point that is 80.00 feet right of centerline Station 318+00.00; thence South 58°26'25" East, along said Southerly right of way line, 40.31 feet to a point that is 100.00 feet right of centerline Station 318+35.00; thence South 88°11°07" East, along said Southerly right of way line, 30.00 feet to a point that is 100.00 feet right of centerline Station 318+65.00; thence North 76°55'17" East, along said Southerly right of way line, 97.27 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006361, being 75.00 feet right of centerline Station 319+59.00; thence South 88°11°07" East, along said Southerly right of way line, 126.00 feet to a point that is 75.00 feet right of centerline Station 320+85.00; thence North 85°28'29" East, along said Southerly right of way line, 90.55 feet to a point that is 65.00 feet right of centerline Station 321+75.00; thence South 88°11°07" East, along said Southerly right of way line and along the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006351, 175.00 feet to a point that is 65.00 feet right of centerline Station 323+50.00; thence South 82°44'41" East, along said Southerly right of way line, 105.48 feet to a point that is 75.00 feet right of centerline Station 324+55.00; thence South 88°11°07" East, along said Southerly right of way line, 100.00 feet to a point that is 75.00 feet right of centerline Station 325+69.30; thence South 88°11°07" East, along said Southerly right of way line, 88.33 feet to a point that is 130.00 feet right of centerline Station 325+69.31 (Station 325+69.30 Deed); thence South 02°08'00" West, along the East line of said Lot 2, SALVAGGIO'S RANCH and on the West right of way of said SW Pryor Road as now established, thence South 02°08'00" West, along said East lot line and said West right of way line, 509.17 feet to the Point of Beginning. Containing 1,370,951 square feet or 31.473 acres, more or less.

PROPERTY OWNERS WITHIN 185'		
KEY	ADDRESS	OWNER(S) & MAILING ADDRESS
1	2124 SW MO 150 HWY LEE'S SUMMIT, MO 64082	DANIELS NANCY SUE & G MARK-TR 13320 S PRATT RD LEE'S SUMMIT, MO 64086
2	2052 SW MO 150 HWY LEE'S SUMMIT, MO 64082	DALE DONALD RAY-TRUSTEE 2052 SW MO 150 HWY LEE'S SUMMIT, MO 64082
3	2040 SW MO 150 HWY LEE'S SUMMIT, MO 64082	RYAN JOHN C 2040 SW MO 150 HWY LEE'S SUMMIT, MO 64082
4	2030 SW MO 150 HWY LEE'S SUMMIT, MO 64082	HARRISON JERRY DALE & DONNA C 2030 SW MO 150 HWY LEE'S SUMMIT, MO 64063
5	3540 SW PRYOR RD LEE'S SUMMIT, MO 64082	DOANE ERIC J & JULIE A-TRUSTEES 3540 SW PRYOR RD LEE'S SUMMIT, MO 64082
6	1905 SW MO 150 HWY LEE'S SUMMIT, MO 64082	GRIFFIN RILEY INVESTMENTS LLC 120 SE 30TH ST LEE'S SUMMIT, MO 64082
7	** NO ADDRESS **	NAPA VALLEY INVESTMENTS LLC PO BOX 375 GREENWOOD, MO 64034
8	TRAFFIC MEDIAN LEE'S SUMMIT, MO 64082	NAPA VALLEY INVESTMENTS LLC PO BOX 375 GREENWOOD, MO 64034
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13	14501 SW MO 150 HWY LEE'S SUMMIT, MO 64082	SHERRARD LAWRENCE III & MARY 4603 W 122ND ST APT 715 LEAWOOD, KS 66209



PROPERTY DESCRIPTION:

A tract of land in the Northeast Quarter of the Northeast Quarter of Section 35, Township 47 North, Range 32 West of the 5th Principal Meridian, including part of Lots 1, 2 and 3, SALVAGGIO'S RANCH, a subdivision of land, all in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northeast corner of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along the East line of said Northeast Quarter, 658.78 feet to the Southeast corner of the North Half of the Northeast Quarter of said Section 35; thence North 88°08'29" West, along the South line of said North Half, 50.00 feet to the Southeast Corner of said Lot 3, said point also being on the Westerly right of way line of SW Prior Road as now established and the Point of Beginning of the tract of land to be herein described; thence South 88°08'29" East, along said North Line and along said Westerly right of way line, 10.00 feet; to the Westerly right of way line of said SW Prior Road as established by Document 1963I814460, in Book 1634, at page 487, being on a line that 40.00 West of and parallel with the East line of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along last said Westerly right of way line and said parallel line, 658.80 feet to a point on the South line of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°09'45" West, along said South line, 1280.31 feet to the Southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°10'22" East, along the West line of the Northeast Quarter of the Northeast Quarter of said Section 35, 659.27 feet to the Southwest corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence South 88°08'29" East, along the South line of said North Half of the Northeast Quarter of said Section 35, 329.96 feet to the Southwest corner of the East Half of the Northwest Quarter of the Northeast Quarter of said Section 35; thence North 02°09'46" East, along the West line of East Half of the Northwest Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35, 558.45 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0064160, being 80.00 feet right of centerline Station 316+29.79 (Station 316+29.51 Deed); thence South 88°11'07" East, along said Southerly right of way line 170.21 feet to a point that is 80.00 feet right of centerline Station 318+00.00; thence South 58°26'25" East, along said Southerly right of way line, 40.31 feet to a point that is 100.00 feet right of centerline Station 318+35.00; thence South 88°11'07" East, along said Southerly right of way line, 30.00 feet to a point that is 100.00 feet right of centerline Station 318+65.00; thence North 76°55'17" East, along said Southerly right of way line, 97.27 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006361, being 75.00 feet right of centerline Station 319+59.00; thence South 88°11'07" East, along said Southerly right of way line, 126.00 feet to a point that is 75.00 feet right of centerline Station 320+85.00; thence North 85°28'29" East, along said Southerly right of way line, 90.55 feet to a point that is 65.00 feet right of centerline Station 321+75.00; thence South 88°11'07" East, along said Southerly right of way line and along the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006351, 175.00 feet to a point that is 65.00 feet right of centerline Station 323+50.00; thence South 82°44'41" East, along said Southerly right of way line, 105.48 feet to a point that is 75.00 feet right of centerline Station 324+55.00; thence South 88°11'07" East, along said Southerly right of way line, 45.00 feet to a point that is 75.00 feet right of centerline Station 325+00.00; thence South 49°40'27" East, along said Southerly right of way line, 88.33 feet to a point that is 130.00 feet right of centerline Station 325+69.12 (Station 325+69.30 Deed), said point also being on the East line of said Lot 2, SALVAGGIO'S RANCH and on the West right of way of said SW Prior Road as now established; thence South 02°08'00" West, along said East lot line and said West right of way line, 509.17 feet to the Point of Beginning. Containing 1,370,951 square feet or 31.473 acres, more or less.



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TEL 816.361.1177
FAX 816.361.1888
www.olsson.com

REVISIONS

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.11.20	Revised per Staff comments	CH

REZONING PLAN

ALLERA
REZONING & PRELIMINARY DEVELOPMENT PLAN

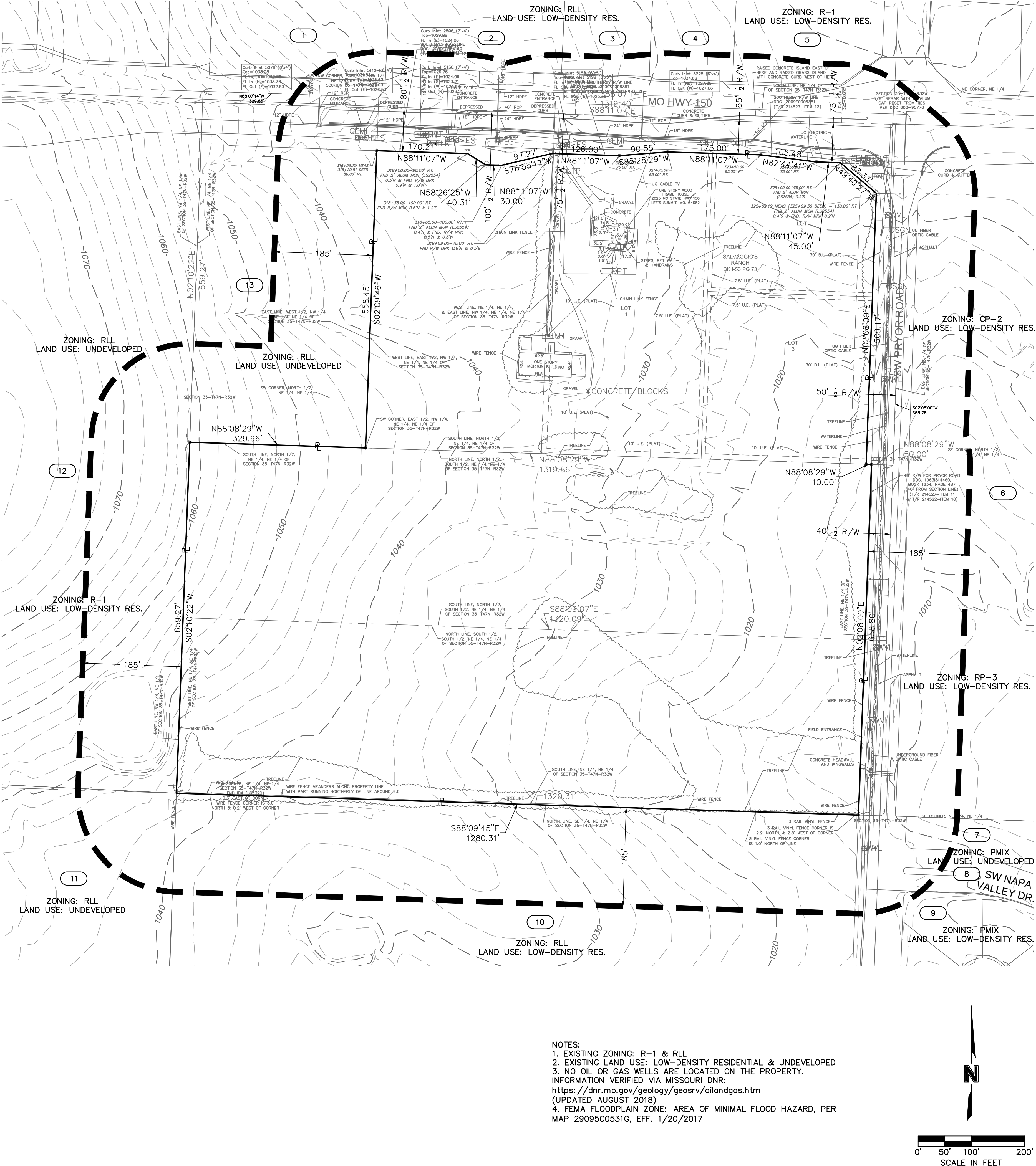
LEE'S SUMMIT, MISSOURI

drawn by: _____ G.S.
checked by: _____ C.J.H.
designed by: _____ S.M.S.
QA/QC by: _____ J.F.E.
project no.: 018-2503
date: 2018.10.13

SHEET
02

PROPERTY OWNERS WITHIN 185'		
KEY	ADDRESS	OWNER(S) & MAILING ADDRESS
1	2124 SW MO 150 HWY LEE'S SUMMIT, MO 64082	DANIELS NANCY SUE & G MARK-TR 13320 S PRATT RD LEE'S SUMMIT, MO 64086
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13	14501 SW MO 150 HWY LEE'S SUMMIT, MO 64082	SHERRARD LAWRENCE III & MARY 4603 W 122ND ST APT 715 LEAWOOD, KS 66209

LEGEND	
GENERAL	
ACU	AIR CONDITIONING UNIT
BLB	BILLBOARD
BOV	BLOW OFF VALVE
BSH	BUSH
COL	COLUMN
CTR	CONIFEROUS TREE
DRN	DRAIN GRATE
DTR	DEODUOUS TREE
FLP	FLAG POLE
GDP	GUARD POST
GPL	GUY POLE
GTP	GREASE TRAP
GUY	GUY WIRE
HCP	ACCESSABLE PARKING MARKER
LST	LIFT STATION
MLB	MAILBOX
MP	MILE POST MARKER
MWL	MONITORING WELL
PIV	POST INDICATOR VALVE
PPT	PROPANE TANK
RAT	RADIO TOWER
SAD	SATELLITE
SCV	SPRINKLER CONTROL VALVE
SGN	SIGN
SLB	STREET LIGHT BOX
SLC	STREET LIGHT CABINET
SPB	SPRINKLER BOX
SPH	SPRINKLER HEAD
STP	STUMP
SVL	SEWER VALVE
TCB	TRAFFIC CONTROL BOX
TSA	TRAFFIC SIGNAL WITH MAST ARM
TSC	TRAFFIC SIGNAL CABINET
TSMH	TRAFFIC SIGNAL MANHOLE
TSP	TRAFFIC SIGNAL POLE
	EXISTING TREELINE
	EXISTING SIDEWALK
	EXISTING BUILDINGS
	EXISTING EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
C.T.V.E.	CABLE TV EASEMENT
C.E.	CONSERVATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
F.O.E.	FIBER OPTIC EASEMENT
G.E.	NATURAL GAS EASEMENT
T.E.	TELEPHONE EASEMENT
E.E.	POWER/ELECTRIC EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
	SIGHT DISTANCE EASEMENT
S.E.	SANITARY SEWER EASEMENT
S.L.E.	STEAM LINE EASEMENT
D.E.	STORM DRAINAGE EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
SURVEY MARKERS	
BMK	BENCHMARK
CPT	CONTROL POINT
FND	FOUND MONUMENT
ROW	ROW MARKER
SCR	SECTION CORNER
SET	SET MONUMENT
BOUNDARIES	
	SECTION LINE
	PROPERTY BOUNDARY
	EXISTING LOT LINE
UTILITIES	
CAB	CABLE BOX
CAV	CABLE VAULT
TVP	TELEVISION PEDESTAL
TVR	TELEVISION RISER
EOTV	EXISTING CABLE TV, OVERHEAD
ECV	EXISTING CABLE TV, UNDERGROUND
FOT	FIBER OPTIC BOX
FOM	FIBER OPTIC MANHOLE
FOP	FIBER OPTIC PEDESTAL
FOV	FIBER OPTIC VAULT
EFOOH	EXISTING FIBER OPTIC, OVERHEAD
EFO	EXISTING FIBER OPTIC, UNDERGROUND
EG	EXISTING NATURAL GAS LINE
TEC	TELEPHONE CABINET
TEP	TELEPHONE PEDESTAL
TER	TELEPHONE RISER
TEV	TELEPHONE VAULT
TMH	TELEPHONE MANHOLE
ETELOH	EXISTING TELEPHONE LINE, OVERHEAD
ETEL	EXISTING TELEPHONE LINE, UNDERGROUND
GLT	GROUND LIGHT
LTP	LIGHT POLE
PWP	POWER POLE
TRF	ELECTRIC TRANSFORMER
EBX	ELECTRIC BOX
ELC	ELECTRIC CABINET
ELR	ELECTRIC RISER
EMH	ELECTRIC MANHOLE
EMT	ELECTRIC METER
ESC	ELECTRIC SECTIONALIZER
EVT	ELECTRIC VAULT
YDL	YARD LIGHT
EEOH	EXISTING POWER/ELECTRIC LINE, OVERHEAD
EE	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
SCO	SEWER CLEANOUT
SSMH	SANITARY MANHOLE
ESS	EXISTING SANITARY SEWER
ESL	EXISTING STEAM LINE
SDMH	STORM SEWER MANHOLE
FES	FLARED END SECTION
RDN	ROOF DRAIN
EST	EXISTING STORM SEWER
FH	FIRE HYDRANT
WMH	WATER MANHOLE
WMK	WATER MARKER
WMT	WATER METER
WVL	WATER VALVE
EW	EXISTING WATER LINE
CONTOURS	
100-	EXISTING INDEX CONTOURS
100+	EXISTING INTERMEDIATE CONTOURS



NOTES:
1. EXISTING ZONING: R-1 & RLL
2. EXISTING LAND USE: LOW-DENSITY RESIDENTIAL & UNDEVELOPED
3. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY.
INFORMATION VERIFIED VIA MISSOURI DNR:
<https://dnr.mo.gov/geology/geosrv/oilandgas.htm>
(UPDATED AUGUST 2018)
4. FEMA FLOODPLAIN ZONE: AREA OF MINIMAL FLOOD HAZARD, PER MAP 29095C0531G, EFF. 1/20/2017

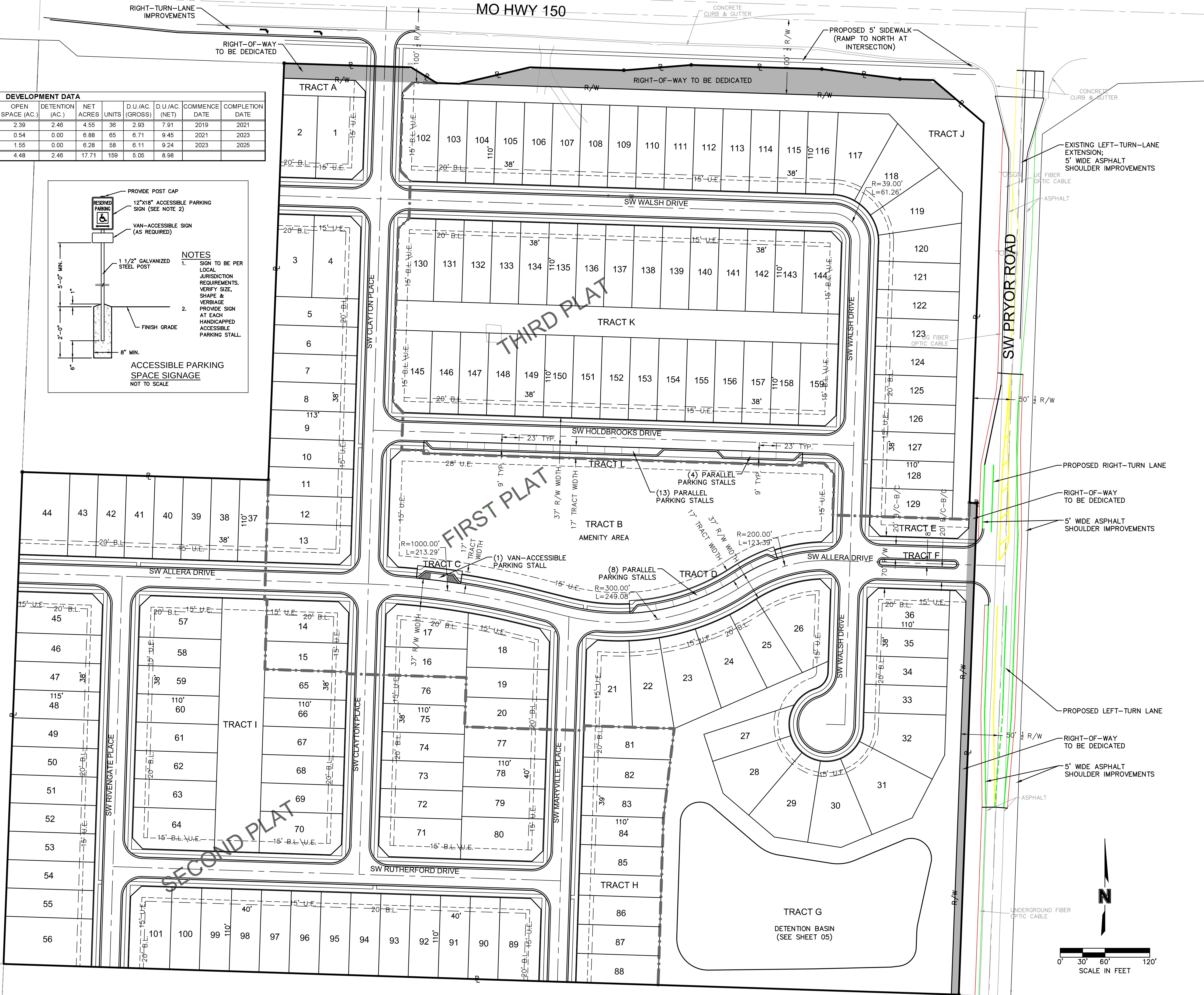
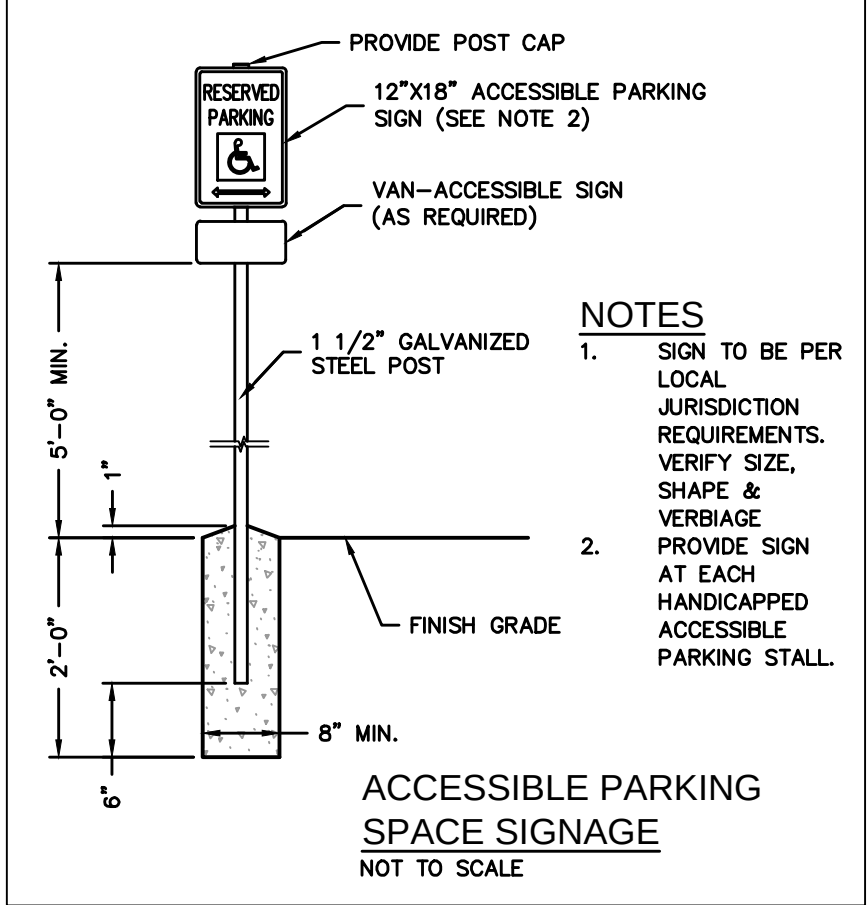
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BY	CH	REVISIONS DESCRIPTION		DATE	NO. REV.	EXISTING CONDITIONS	ALLERA REZONING & PRELIMINARY DEVELOPMENT PLAN	2018	LEE'S SUMMIT, MISSOURI
		REVISIONS							
				2018.11.20	1	Revised per Staff comments			

DEVELOPMENT DATA													
PHASE	EX ZONING	PR ZONING	LAND USE	GROSS ACRES	STREET R/W (AC.)	OPEN SPACE (AC.)	DETENTION (AC.)	NET ACRES	UNITS	D.U./AC. (GROSS)	D.U./AC. (NET)	COMMENCE DATE	COMPLETION DATE
1	R-1 & RLL	RP-3	S.F. RES.	12.29	2.89	2.39	2.46	4.55	36	2.93	7.91	2019	2021
2	R-1 & RLL	RP-3	S.F. RES.	9.69	2.27	0.54	0.00	6.88	65	6.71	9.45	2021	2023
3	R-1 & RLL	RP-3	S.F. RES.	9.49	1.66	1.55	0.00	6.28	58	6.11	9.24	2023	2025
TOTAL				31.47	6.82	4.48	2.46	17.71	159	5.05	8.98		

TRACTS		
TRACT	AREA (AC.)	USE
A	0.05	OPEN SPACE
B	2.15	OPEN SPACE (AMENITY)
C	0.02	OPEN SPACE (PARKING)
D	0.08	OPEN SPACE (PARKING)
E	0.07	OPEN SPACE
F	0.02	OPEN SPACE (MEDIAN)
G	2.48	DETENTION
H	0.07	OPEN SPACE
I	0.47	OPEN SPACE
J	0.80	OPEN SPACE
K	0.55	OPEN SPACE
L	0.20	OPEN SPACE (PARKING)

- NOTES:
- RIGHT-OF-WAY WIDTH SHALL BE 50', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC R/W SHALL BE A 50' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC.
 - STREET WIDTHS AS MEASURED BETWEEN BACKS OF CURBS SHALL BE 28', EXCEPT WHERE OTHERWISE NOTED. CUL-DE-SAC PAVEMENT SHALL BE A 39' RADIUS AS MEASURED FROM THE CENTER OF THE CUL-DE-SAC TO BACK OF CURB.
 - 5' SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL PROPOSED STREETS.
 - TRACTS A, C, & J SHALL BE A MINIMUM OF 20' WIDE WHERE SEPARATING REAR LOT LINES AND RIGHT-OF-WAY.
 - PARALLEL PARKING STALLS SHALL BE 9' WIDE AND 23' LONG.
 - MINIMUM DEPTH: 110'
 - MINIMUM WIDTH: 38'
 - MINIMUM AREA: 4180 SF
 - FRONT SETBACK: 20'
 - SIDE YARD SETBACK: 5' MIN.
 - REAR YARD SETBACK: 15' MIN.
 - CORNER LOTS: 15' MIN.
 - LOT DIMENSIONS AND SETBACKS:
 - MINIMUM DEPTH: 110'
 - MINIMUM WIDTH: 38'
 - MINIMUM AREA: 4180 SF
 - FRONT SETBACK: 20'
 - SIDE YARD SETBACK: 5' MIN.
 - REAR YARD SETBACK: 15' MIN.
 - CORNER LOTS: 15' MIN.



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BY

CH

REVISIONS DESCRIPTION

NO. REV.

DATE

1

2018.11.20

Revised per Staff comments

2018

SITE PLAN

ALLERA
REZONING & PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MISSOURI

drawn by: _____ G.S.

checked by: _____ C.J.H.

designed by: _____ S.M.S.

QA/QC by: _____ J.F.E.

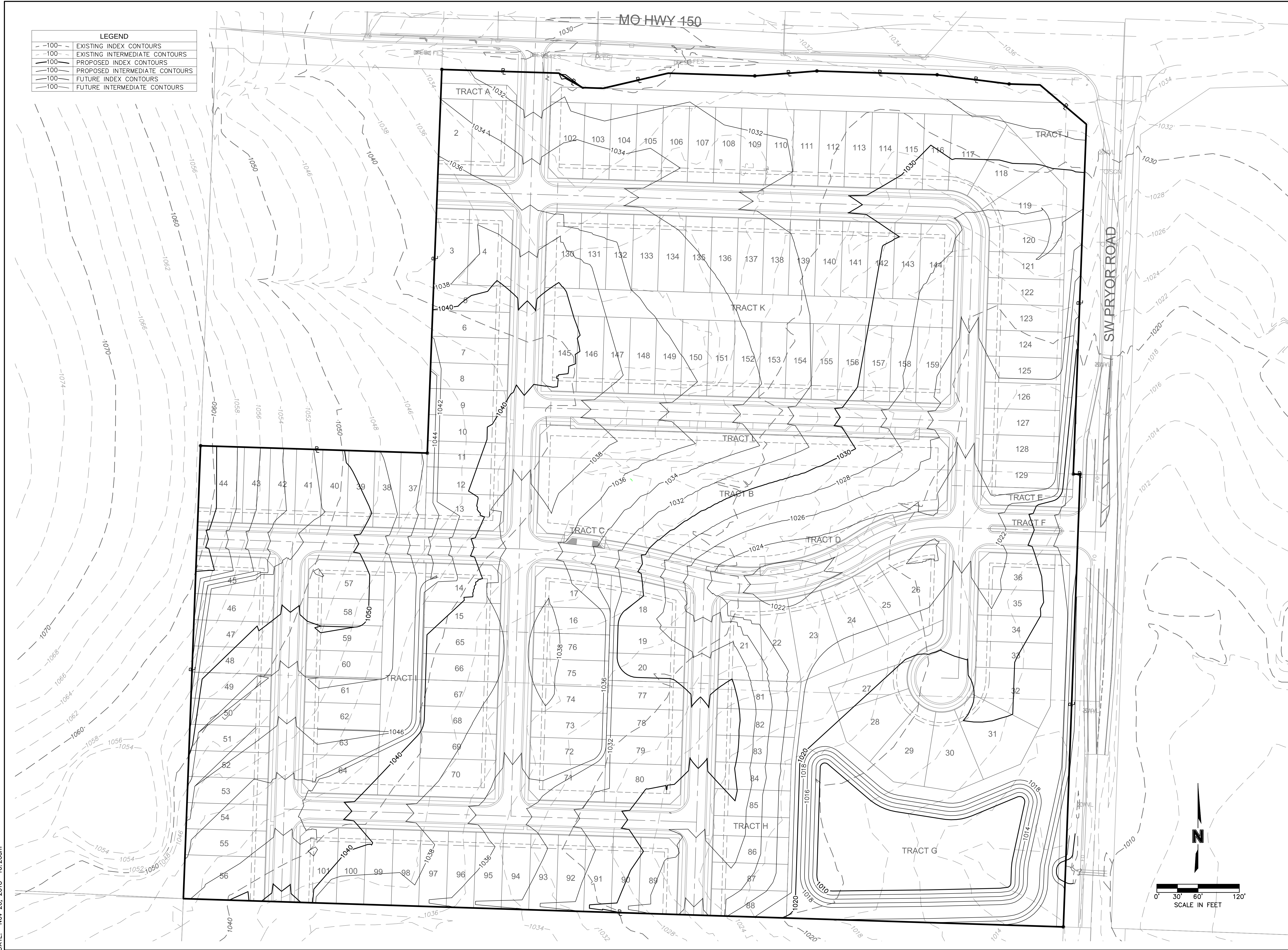
project no.: 018-2503

date: 2018.10.18

SHEET

04

USER: cholmquist



SHEET
05

GRADING PLAN

ALLERA

EE'S SUMMIT, MISSOURI

2018

NO	DATE	REVISIONS DESCRIPTION	BY
1	2018.11.20	Revised per Staff comments	CJH

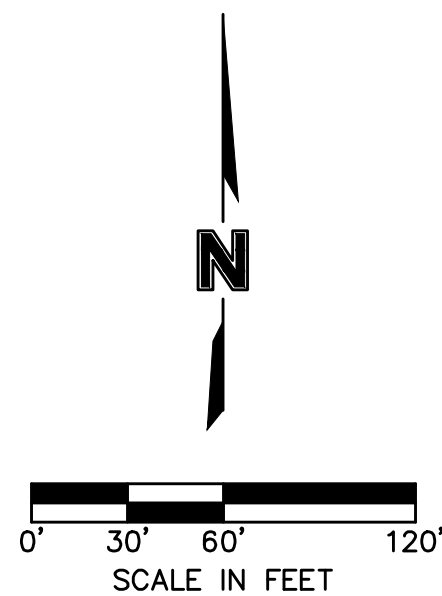
REVISIONS

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LEGEND	
	EXISTING CABLE TV, OVERHEAD
	EXISTING CABLE TV, UNDERGROUND
	PROPOSED CABLE TV, OVERHEAD
	PROPOSED CABLE TV, UNDERGROUND
	FUTURE CABLE TV, OVERHEAD
	FUTURE CABLE TV, UNDERGROUND
	EXISTING FIBER OPTIC, OVERHEAD
	EXISTING FIBER OPTIC, UNDERGROUND
	PROPOSED FIBER OPTIC, OVERHEAD
	PROPOSED FIBER OPTIC, UNDERGROUND
	FUTURE FIBER OPTIC, OVERHEAD
	FUTURE FIBER OPTIC, UNDERGROUND
	EXISTING FIRE PROTECTION SYSTEM LINE
	PROPOSED FIRE PROTECTION SYSTEM LINE
	FUTURE FIRE PROTECTION SYSTEM LINE
	EXISTING FUEL LINE
	PROPOSED FUEL LINE
	FUTURE FUEL LINE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	FUTURE NATURAL GAS LINE
	EXISTING TELEPHONE LINE, OVERHEAD
	EXISTING TELEPHONE LINE, UNDERGROUND
	PROPOSED TELEPHONE LINE, OVERHEAD
	PROPOSED TELEPHONE LINE, UNDERGROUND
	FUTURE TELEPHONE LINE, OVERHEAD
	FUTURE TELEPHONE LINE, UNDERGROUND
	EXISTING POWER/ELECTRIC LINE, OVERHEAD
	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
	PROPOSED POWER/ELECTRIC LINE, OVERHEAD
	PROPOSED POWER/ELECTRIC LINE, UNDERGROUND
	FUTURE POWER/ELECTRIC LINE, OVERHEAD
	FUTURE POWER/ELECTRIC LINE, UNDERGROUND
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STEAM LINE
	PROPOSED STEAM LINE
	FUTURE STEAM LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE

LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS

[illegible]

UTILITY PLAN (CONT'D)	
ALLERA REZONING & PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MISSOURI	2018

drawn by: G.S.
checked by: C.J.H.
designed by: S.M.S.
QA/QC by: J.F.E.
project no.: 018-2503
date: 2018.10.19

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	85	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust		3"	6'	min. clear., ground to canopy
	98	Platanus x acerifolia	London Plane Tree		3"	6'	min. clear., ground to canopy
	112	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		3"	6'	min. clear., ground to canopy
	51	Quercus bicolor	Swamp White Oak		3"	6'	min. clear., ground to canopy
	71	Acer griseum	Paperbark Maple		3"	6'	min. clear., ground to canopy
	23	Ulmus parvifolia	Lacebark Elm		3"	6'	min. clear., ground to canopy
EVERGREEN TREES							
	66	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		8'	ht.	symmetrical pyramidal form
	44	Picea abies	Norway Spruce		8'	ht.	symmetrical pyramidal form
	37	Picea pungens	Colorado Blue Spruce		6'	ht.	symmetrical pyramidal form
ORNAMENTAL TREES							
	16	Cercis canadensis	Eastern Redbud			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	101	Liriope spicata 'Silver Dragon'	Silver Dragon Liriope	1 gal.			Plant @ 18" O.C.
	80	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.			Plant @ 18" O.C.
	13	Abelia x grandiflora Kaleidoscope	Kaleidoscope Abelia	3 gal. 16" ht. min.			Plant @ 4' O.C.
	138	Equisetum hyemale	Horsetail Reed	1 gal.			Plant @ 18" O.C.
EVERGREEN SHRUBS							
	51	Juniperus chinensis 'Spartan'	Spartan Juniper		5'	ht.	Symmetrical pyramidal form

Landscape Calculations/Requirements

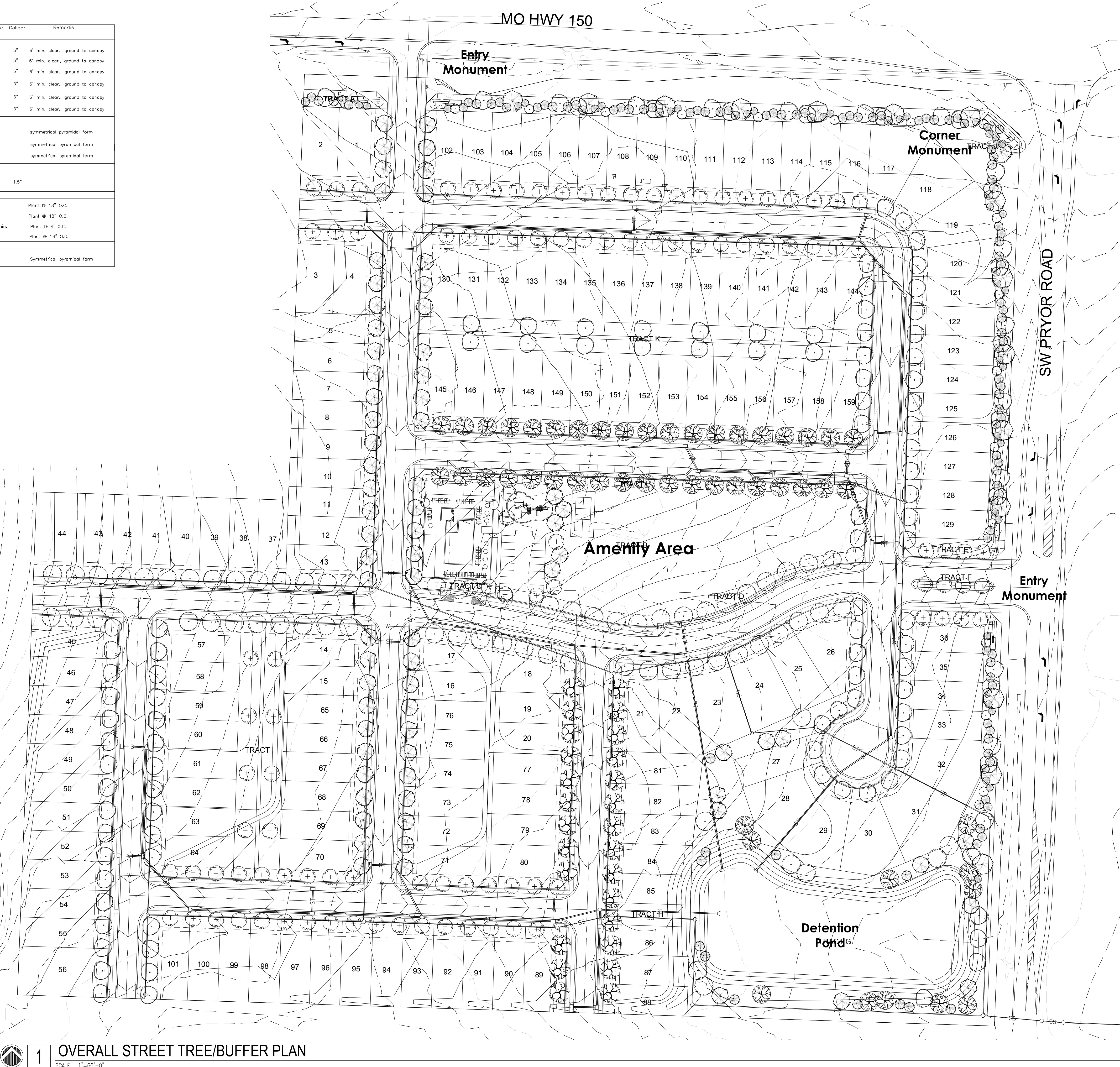
Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty (30) feet of street frontage, within 20' setback. REQUIREMENTS MET

Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:
1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:
1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.



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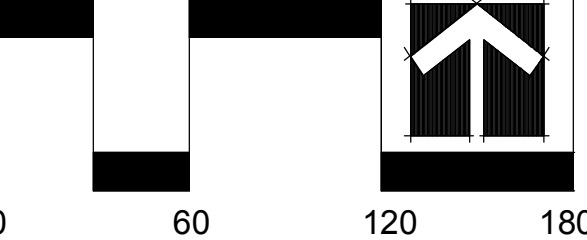
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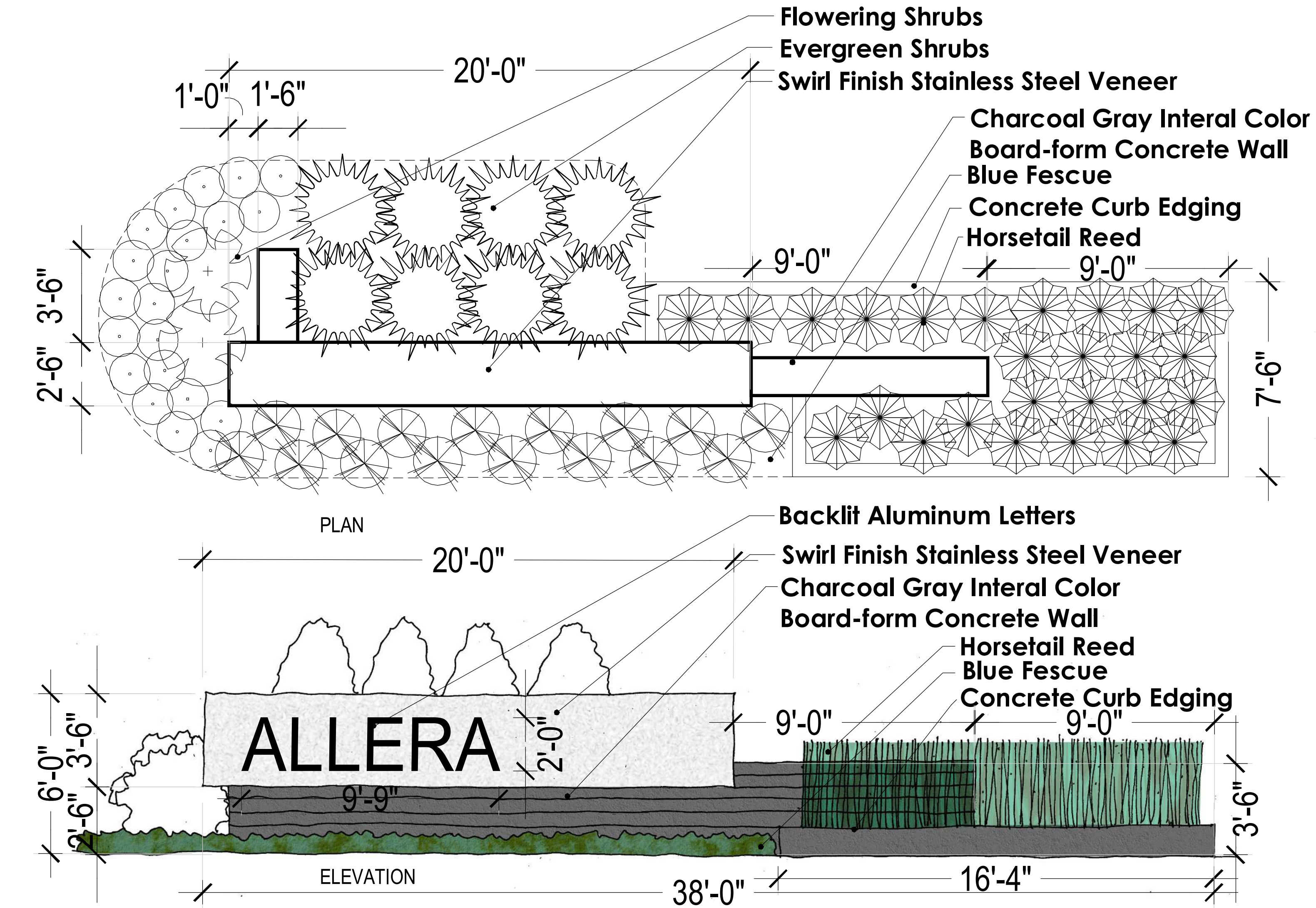
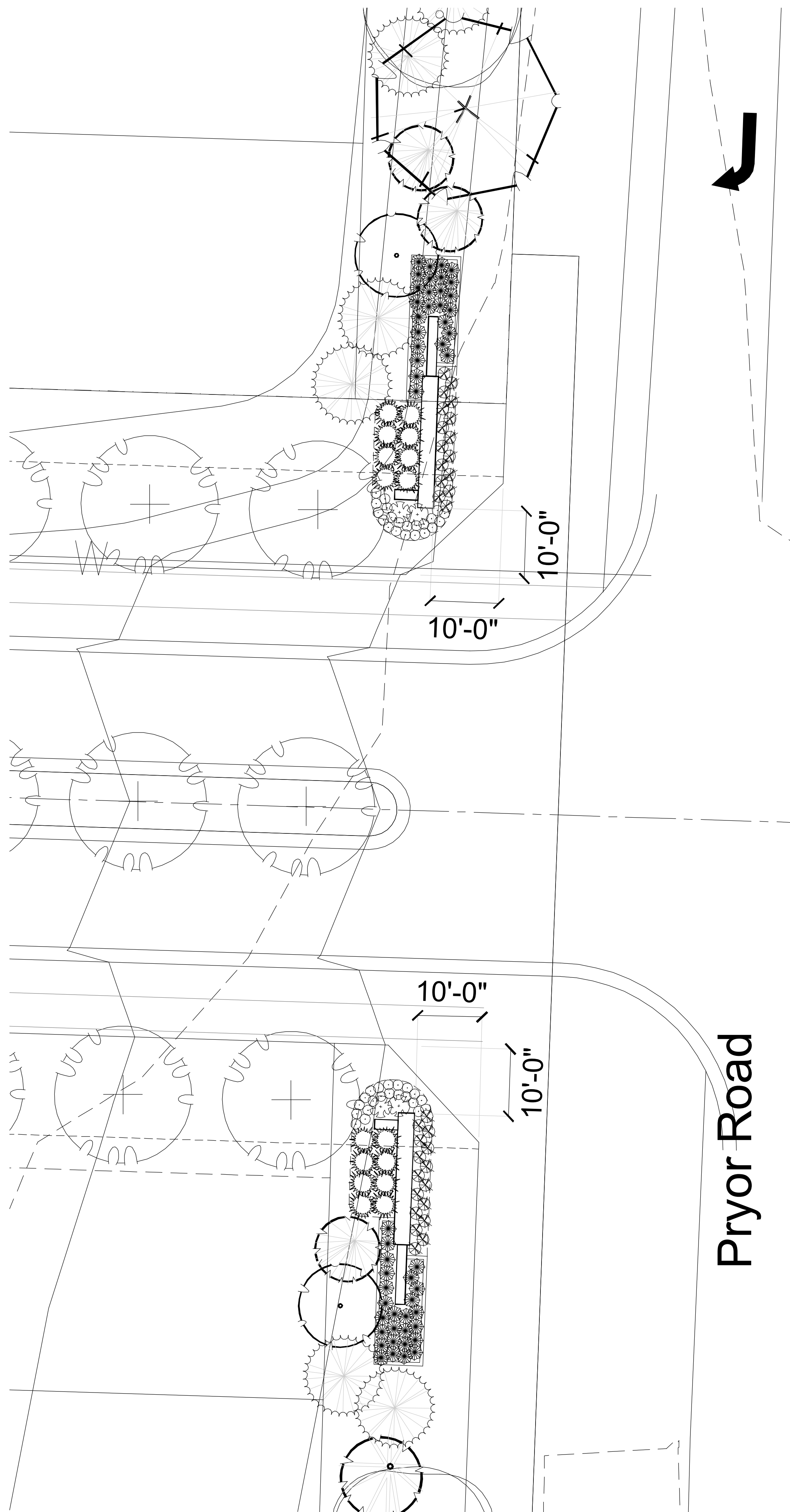
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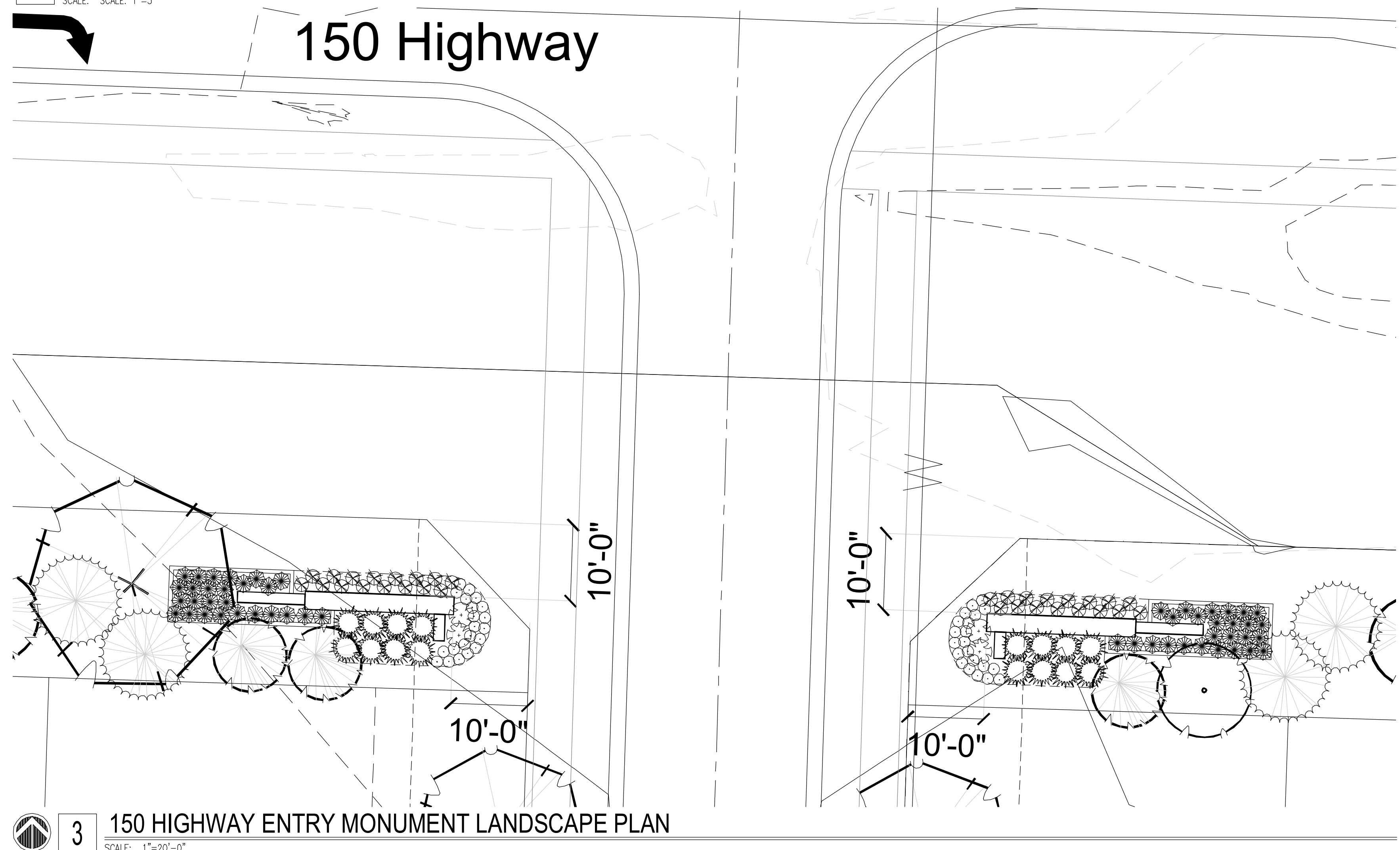
Date: 11.20.18

Overall Plan

L1

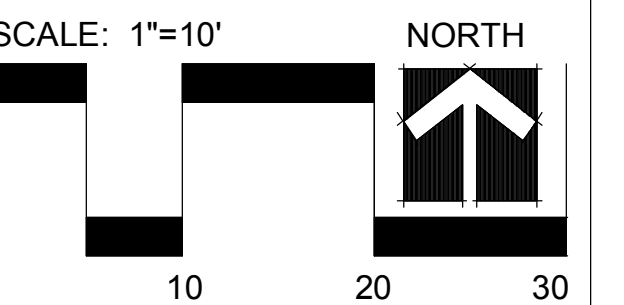


2 COMMUNITY ENTRY MONUMENT PLAN VIEW, AND ELEVATION VIEW
SCALE: 1"=3'

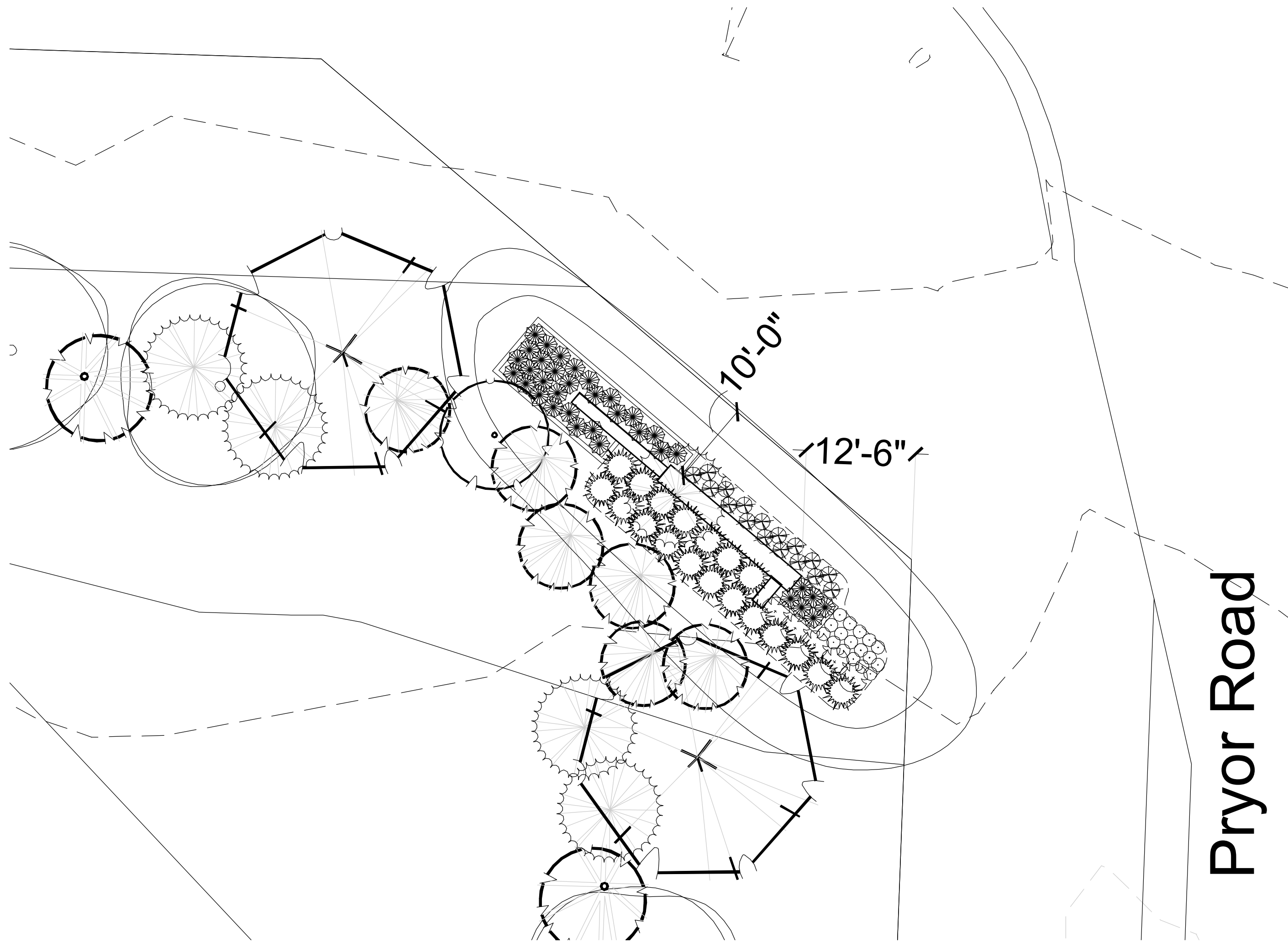


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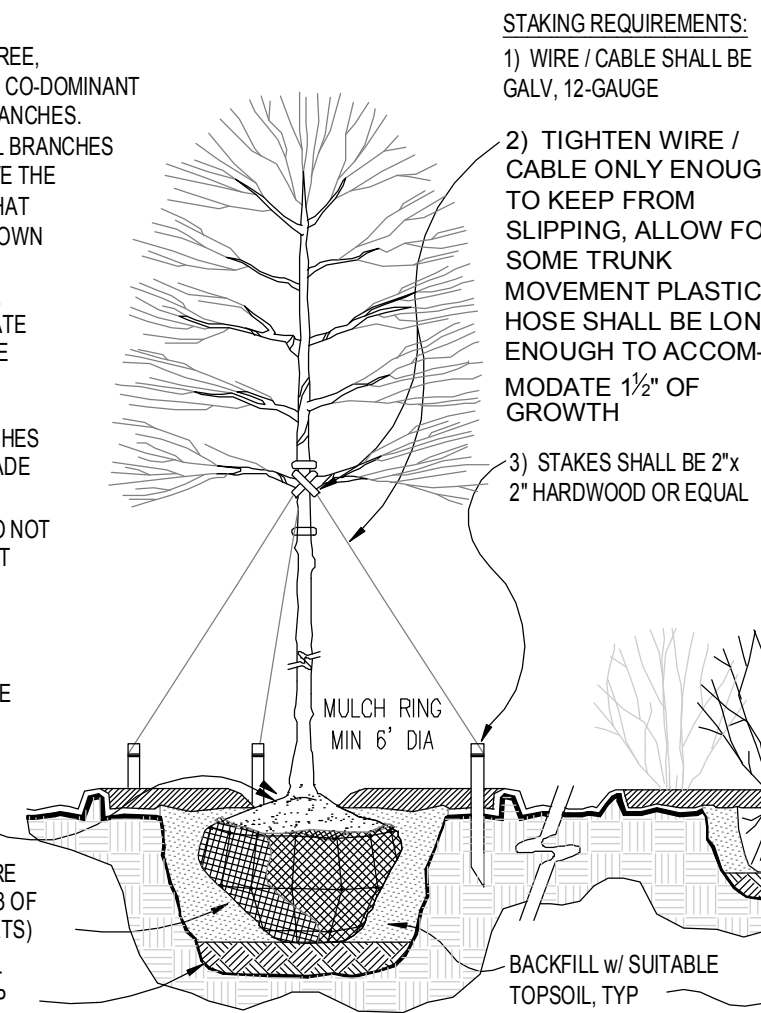


Date: 11.20.18
Entry Monuments



1 CORNER ENTRY MONUMENT LANDSCAPE PLAN
SCALE: 1"=10'-0"

- TREE PLANTING NOTES:
- 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
 - 4) APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
 - 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
 - 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

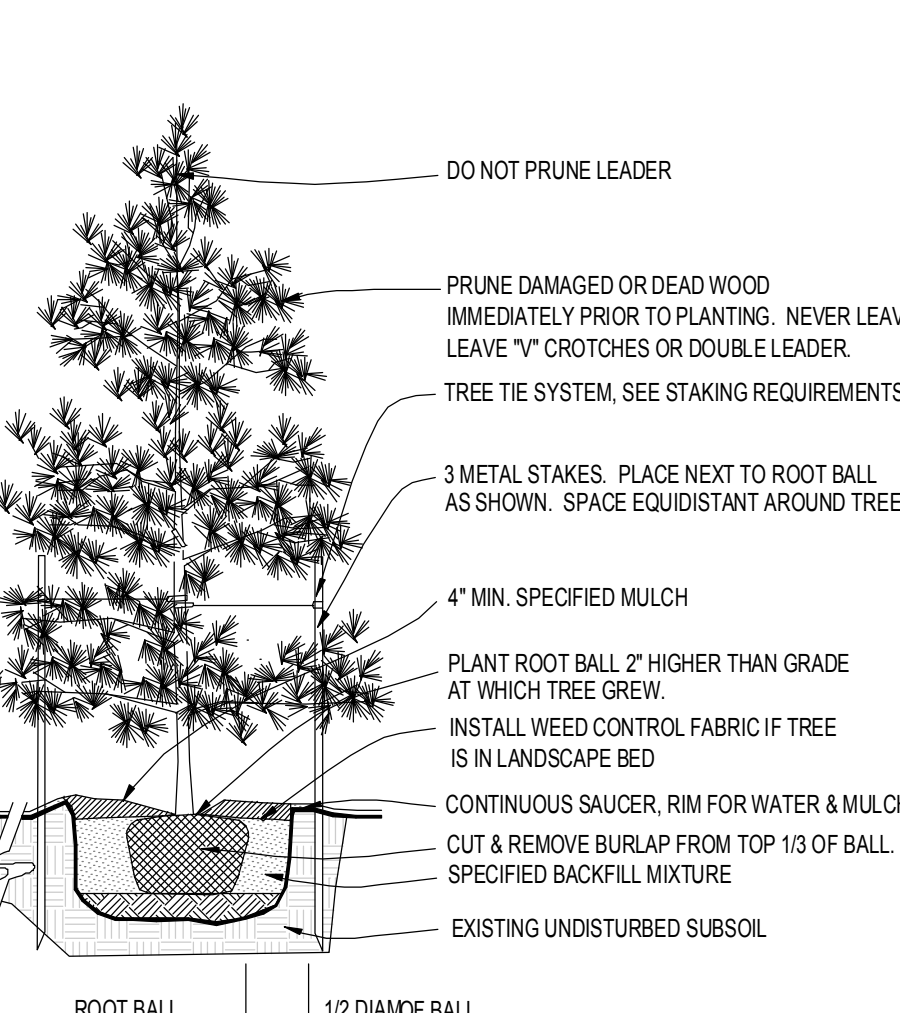


- STAKING REQUIREMENTS:
- 1) WIRE / CABLE SHALL BE GALV, 12-GAUGE
 - 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
 - 3) STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:
- 1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

- SHRUB PLANTING NOTES:
- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

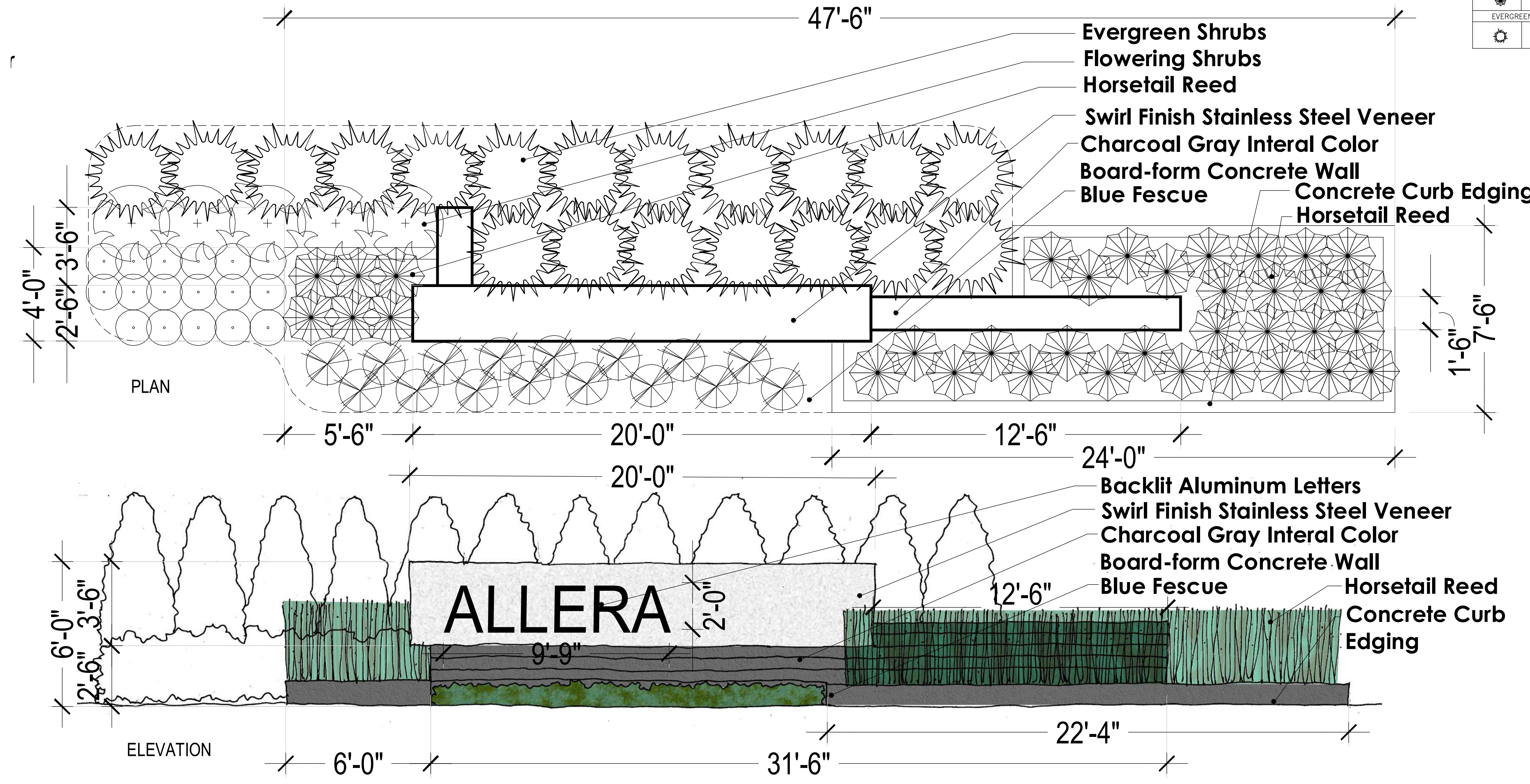
INITIAL WATERING:
WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



2 PLANTING INSTALLATION DETAILS
SCALE: NTS

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
	85	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust	3"	6'	min. clear., ground to canopy	
	98	Platanus x acerifolia	London Plane Tree	3"	6'	min. clear., ground to canopy	
	112	Acer x truncatum "Warrenred"	Pacific Sunset Maple	3"	6'	min. clear., ground to canopy	
	51	Quercus bicolor	Swamp White Oak	3"	6'	min. clear., ground to canopy	
	71	Acer griseum	Paperbark Maple	3"	6'	min. clear., ground to canopy	
	23	Ulmus parvifolia	Lacebark Elm	3"	6'	min. clear., ground to canopy	
EVERGREEN TREES							
	66	Juniperus chinensis "Keteleeri"	Keteleeri Juniper		8' ht.	symmetrical pyramidal form	
	44	Picea abies	Norway Spruce		8' ht.	symmetrical pyramidal form	
	37	Picea pungens	Colorado Blue Spruce		6' ht.	symmetrical pyramidal form	
ORNAMENTAL TREES							
	16	Cercis canadensis	Eastern Redbud			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	101	Liriodie spicata "Silver Dragon"	Silver Dragon Liriodie	1 gal.		Plant @ 18" O.C.	
	80	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.		Plant @ 18" O.C.	
	13	Abelia x grandiflora Kaleidoscope	Kaleidoscope Abelia	3 gal.	18" ht. min.	Plant @ 4' O.C.	
	138	Equisetum hyemale	Horsetail Reed	1 gal.		Plant @ 18" O.C.	
EVERGREEN SHRUBS							
	51	Juniperus chinensis "Spartan"	Spartan Juniper		5' ht.	Symmetrical pyramidal form	



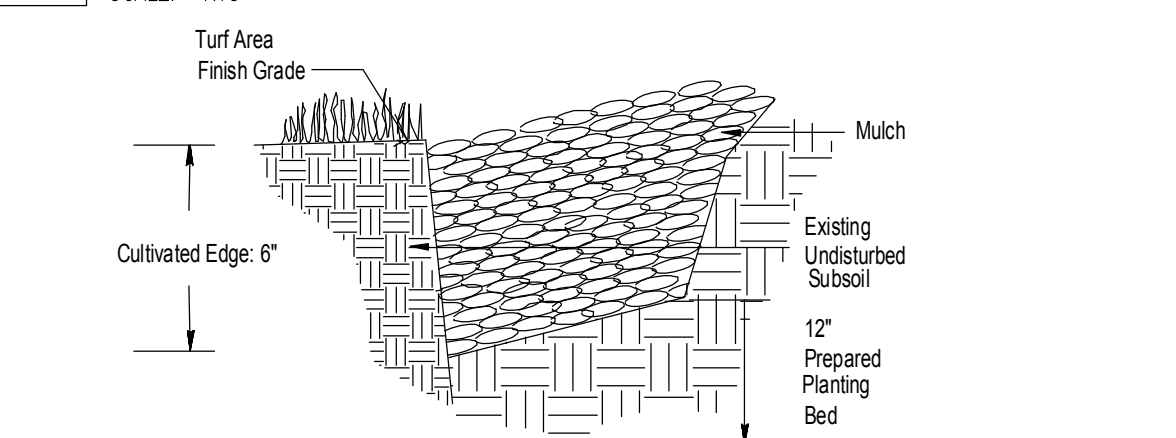
3 NEIGHBORHOOD ENTRY MONUMENT
SCALE: 1"=3'

Groundcover or Shrub Pit	Container	Shredded Bark Mulch
60.00"		

Inches Between Plants	Plant Quantities Per Square Foot
10"	Square Feet x 1.50
12"	Square Feet x 1.00
18"	Square Feet x .44
30"	Square Feet x .16
36"	Square Feet x .11

- NOTES:
1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
 2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS.

4 GROUNDCOVER/SHRUB DETAIL
SCALE: NTS

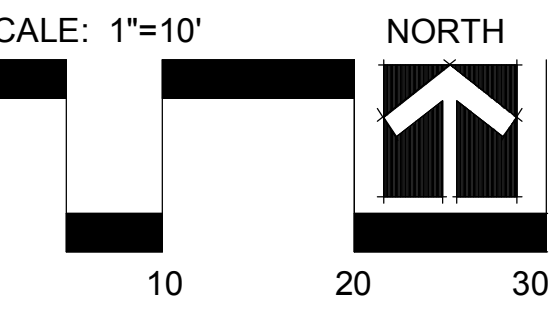


5 CULTIVATED EDGE DETAIL
SCALE: NTS



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Date: 11.20.18
Entry Monuments



Landscape Schedule (Amenity area only)

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	5	Gleditsia tricanthos "Skyline"	Shademaster Honeylocust			3"	6' min. clear., ground to canopy
	8	Platanus x acerifolia	London Plane Tree			3"	6' min. clear., ground to canopy
DECIDUOUS SHRUBS/GRASSES							
	9	Liriope muscari "Variegated"	Variegated Liriope		1 gal.		Plant @ 18" O.C.
	16	Spiraea x bumalda "Goldflame"	Goldflame spirea		3 gal. 18" ht. min.		Plant @ 3' O.C.
	16	Abelia x grandiflora Kaleidoscope	Kaleidoscope Abelia		3 gal. 18" ht. min.		Plant @ 4' O.C.
EVERGREEN SHRUBS							
	76	Juniperus chinensis "Gold Coast"	Gold Coast Juniper		3 gal. 18" ht. min.		Plant @ 4' O.C.
	00	Juniperus chinensis Spartan	Spartan Juniper		5" ht.		Symmetrical pyramidal form

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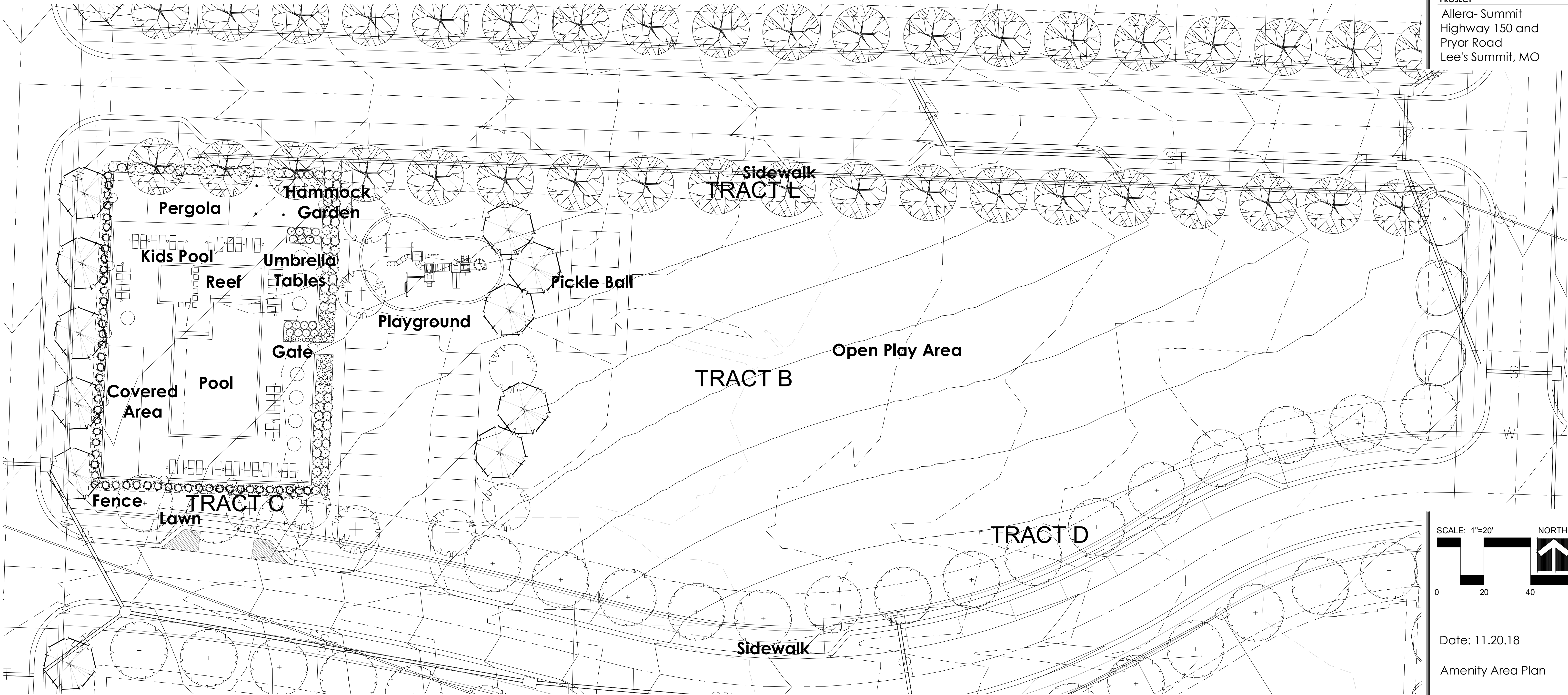
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1 CHARACTER IMAGES

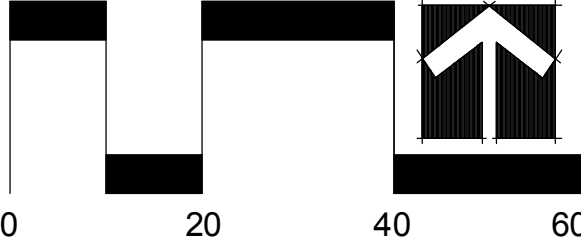
SCALE: NTS



2 AMENITY AREA ENLARGEMENT PLAN

SCALE: 1"=20'

SCALE: 1"=20'



Date: 11.20.18

Amenity Area Plan

L4