

SITE DATA		
ZONING & SITE AREA		
PROPOSED USE:	PUBLIC LIBRARY	
SITE AREA		
LOT 2 (AS DECRIBED):	3.80 ACRES (165,528 SF)	CP-2
IMPREVIOUS:	1.71 ACRES (74,488 SF) (45%)	
PERVIOUS:	2.09 ACRES (91,040 SF) (55%)	
FAR (0.55 MAX):	0.15	
BUILDING AREA		
BUILDING TYPE	# STORIES	SQUARE FOOTAGE
BUILDING	1	18,500 SF
FUTURE	1	4,700 SF
PARKING		
USE	REQUIRED	PROVIDED
LIBRARY	4 PER 1000 SF = 74	83
ADA	3 (PER CITY TABLE)	5
TOTAL	74	88 (INCLUDING ADA)

NOTE:
 ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- BUILDING SETBACK LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SS STORM SEWER LINE
- SS SANITARY SEWER LINE
- GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- T PROPOSED TURF DRAIN LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED GRADE CONTOURS
- PROPOSED FIRE ACCESS ROAD

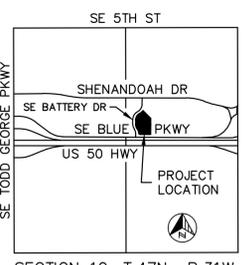
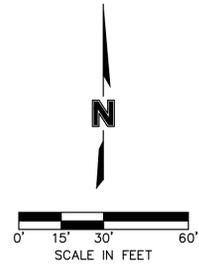
BENCHMARKS:

BENCHMARK #1:
 ELEVATION=1027.22'
 SET RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE, 66'± NORTH OF THE C OF SE BLUE PARKWAY, 86' EAST OF THE C OF SE BATTERY DRIVE.

BENCHMARK #2:
 ELEVATION=1009.31'
 SET CHISELED "C" CUT ON THE SOUTHWESTERLY CORNER OF A CONCRETE CURB INLET #40636, 630'± NORTH OF THE C OF SE BLUE PARKWAY, 86' EAST OF THE C OF SE BATTERY DRIVE.

LEGAL DESCRIPTION:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 81.81 FEET THEREOF, CONTAINING 165,561 SQUARE FEET OR 3.8008 ACRES, MORE OR LESS.



SECTION 10, T.47N., R.31W.
 VICINITY MAP
 SCALE: 1" = 2000'

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 USER: kprice
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 Springfield, MO 65804 417.877.9600

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helix.

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 Kansas City, MO 64108 816.300.0300

SPECIAL NOTICES

In the event the client consents to allow, authorize or approve of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

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Mid-Continent Public Library
 PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
 PACKAGE 04
 2240 SE BLUE PARKWAY
 LEE'S SUMMIT, MO 64063
 JACKSON COUNTY

Engineer of Record
 Terry M Parsons, Engineer MO PE-2018010505

MOLSSON ASSOCIATES
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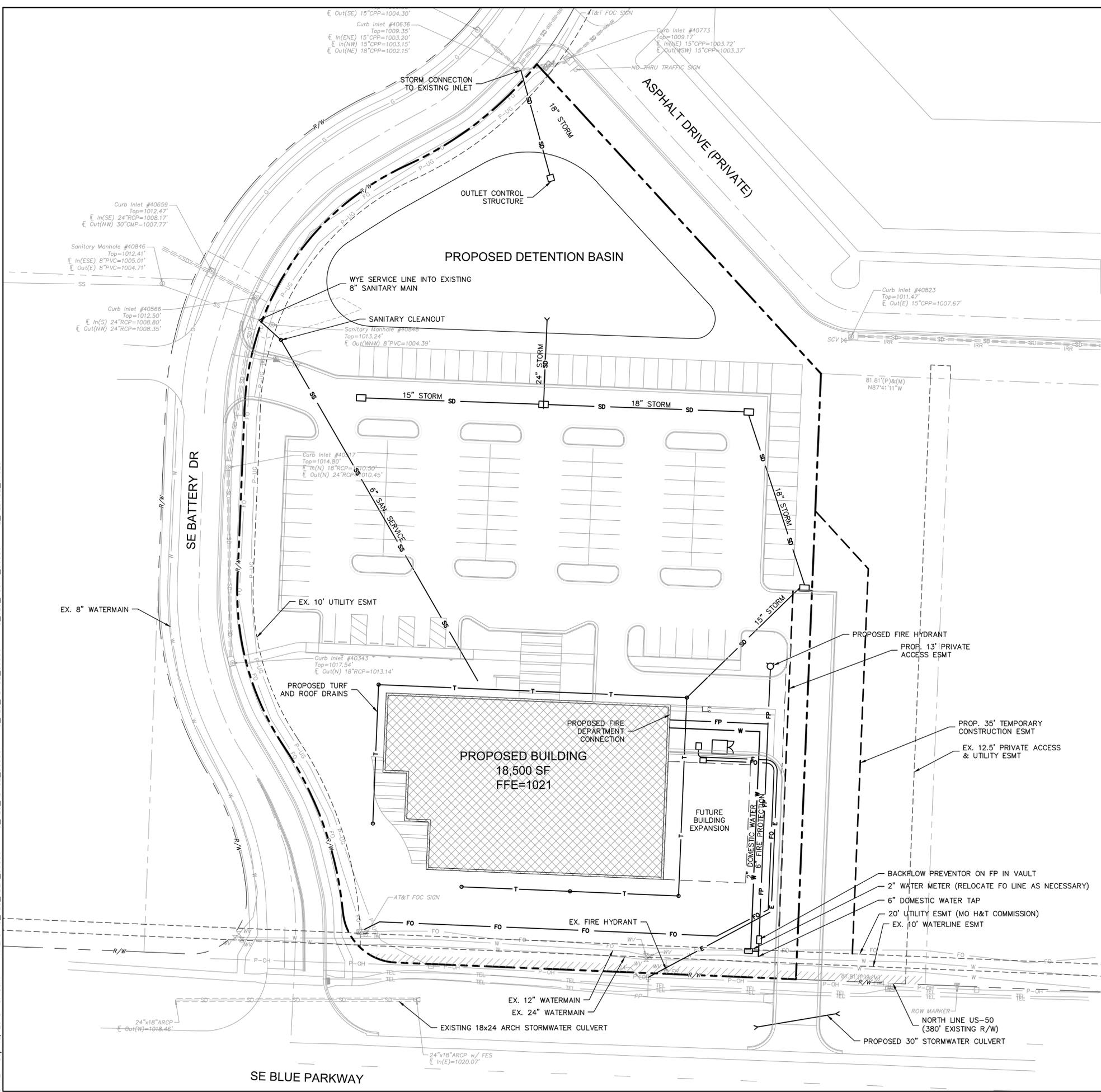
Olsson Associates
 Missouri State Certificate of Authority #001592

Revision No.	Description	Date

Project No.	Date	Drawn
B18-0330	09-18-18	KDP

Drawing No. **C1.0**
PRELIMINARY DEVELOPMENT PLAN
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DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Preliminary Plans\GNCV\WORK PACKAGE 4\LEES SUMMIT\C-4LS_LUL-80330.dwg USER: kprice
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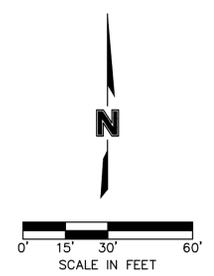


EXISTING CONDITIONS LEGEND

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- RIGHT-OF-WAY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
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- FO PROPOSED FIBER OPTIC
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- SD PROPOSED STORM SEWER LINE
- T PROPOSED TURF DRAIN LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING



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Mid-Continent Public Library
 PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
 2240 SE BLUE PARKWAY
 LEE'S SUMMIT, MO 64063
 JACKSON COUNTY

PACKAGE **04**

Engineer of Record
 Terry M Parsons, Engineer MO PE-2018010505

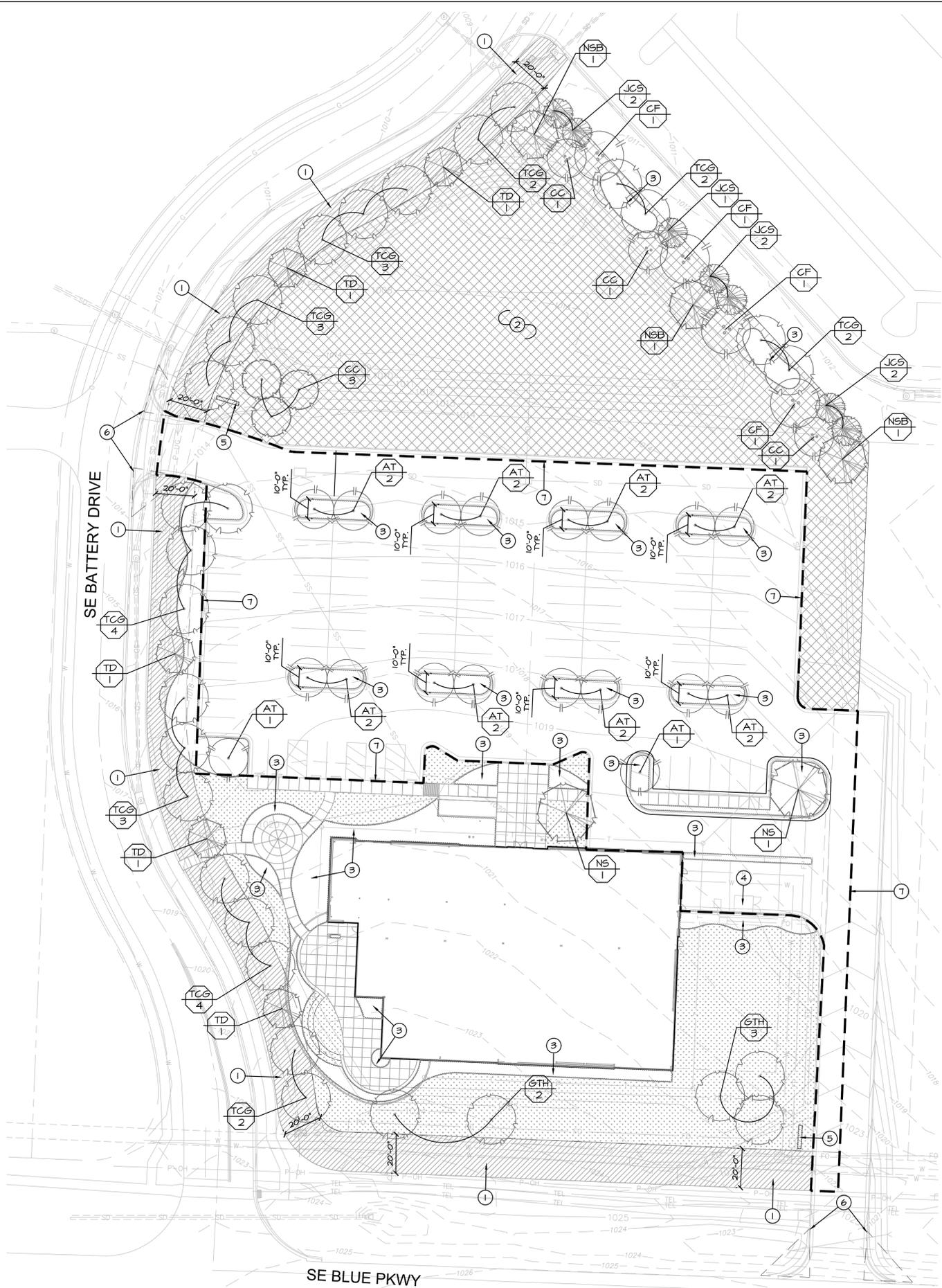
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Olsson Associates
 Missouri State Certificate of Authority #001592

Revision No.	Description	Date

Project No.	Date	Drawn
B18-0330	09-18-18	KDP

Drawing No. **C2.0**
PDP UTILITY PLAN
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LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANTING BEDS WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
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12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION:
 - WP - PLANT TYPE
 - 3 - QUANTITY

LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

- 1 20' LANDSCAPE STRIP
- 2 SEEDED AREA; MIX TO BE DETERMINED
- 3 PLANTING BED; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 4 TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
- 5 MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)
- 6 SIGHT TRIANGLES
- 7 PARKING LOT BOUNDARY

PARKING LOT LANDSCAPE - AREA CALCULATIONS

ORDINANCE REQUIREMENT	
LANDSCAPE ISLANDS, STRIPS AND PLANTING AREAS SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING.	TOTAL BUMP OUT AREA = 2,328 SQ FT
TOTAL PARKING LOT AREA = 60,604 SQ FT	TOTAL ISLAND AREA = 2,504 SQ FT
FIVE PERCENT (5%) OF 60,604 = 3,031 SQ FT	TOTAL LANDSCAPE AREA = 4,112 SQ FT

LOW IMPACT BUFFER TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
TCG	<i>Tilia cordata</i> 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	4
NSB	<i>Nyssa sylvatica</i>	BLACK GUM	3" CAL.	B & B	3
ORNAMENTAL TREES					
CC	<i>Cercis canadensis</i>	EASTERN REDBUD	3" CAL.	B & B	3
CF	<i>Cornus florida</i>	FLOWERING DOGWOOD	3" CAL.	B & B	4
EVERGREEN TREES					
JCS	<i>Juniperus chinensis</i> 'Spartan'	SPARTAN JUNIPER	3" CAL.	B & B	7
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
SIDE LOT LINE = 20'					
245 LF x 20' = 4900 SQ FT					
7 DECIDUOUS TREES REQUIRED					
7 EVERGREEN TREES REQUIRED					
TOTAL PROPOSED 14					

STREET FRONTAGE TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	<i>Acer truncatum</i>	SHANTUNG MAPLE	3" CAL.	B & B	5
GTH	<i>Gleditsia triacanthos</i> f. <i>inermis</i> 'Skycole'	SKYLINE HONEY LOCUST	3" CAL.	B & B	5
NS	<i>Nyssa sylvatica</i>	BLACK GUM	3" CAL.	B & B	5
TCG	<i>Tilia cordata</i> 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	21
TD	<i>Taxodium distichum</i> 'Michelson'	SHAWNEE BRAVE BALD CYPRESS	3" CAL.	B & B	5
ORNAMENTAL TREES					
CC	<i>Cercis canadensis</i>	EASTERN REDBUD	3" CAL.	B & B	5
CF	<i>Cornus florida</i>	FLOWERING DOGWOOD	3" CAL.	B & B	5
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
921 FT. OF STREET FRONTAGE / 30 = 31 TREES REQUIRED					
TOTAL PROPOSED 51					

OPEN YARD TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	<i>Acer truncatum</i>	SHANTUNG MAPLE	3" CAL.	B & B	10
NS	<i>Nyssa sylvatica</i>	BLACK GUM	3" CAL.	B & B	2
TCG	<i>Tilia cordata</i> 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	2
TD	<i>Taxodium distichum</i> 'Michelson'	SHAWNEE BRAVE BALD CYPRESS	3" CAL.	B & B	2
ORNAMENTAL TREES					
CC	<i>Cercis canadensis</i>	EASTERN REDBUD	3" CAL.	B & B	7
CF	<i>Cornus florida</i>	FLOWERING DOGWOOD	3" CAL.	B & B	4
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES).					
165,464 SQ. FT. OF TOTAL LOT AREA MINUS 10,450 SQ. FT. OF BUILDING FOOTPRINT 147,014					
147,014 SQ. FT. / 5000 = 29 TREES REQUIRED					
TOTAL PROPOSED 32					

1 OVERSTORY LANDSCAPE PLAN



Sapp Design Associates Architects, P.C.
 Missouri State Certificate of Authority #0030607



1629 Walnut
 Kansas City, MO 64108 816.300.0300

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Mid-Continent Public Library
 RENOVATIONS TO
EAST LEE'S SUMMIT BRANCH
 150 NW Oldham Pkwy
 Lee's Summit, Missouri 64081
 Jackson County

100% DD SUBMITTAL PACKAGE **04**

NOT FOR CONSTRUCTION

OCHSNER HARE & HARE
 a design studio of **OLSSON ASSOCIATES**

Revision No.	Description	Date
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Project No.	Date	Drawn
016-1023	09-18-18	TG

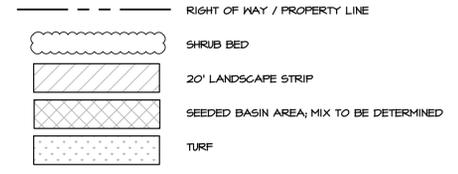
Drawing No. **L500**
OVERSTORY LANDSCAPE PLAN



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LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

1. 20' LANDSCAPE STRIP
2. AREA TO BE SODDED WITH TURF TYPE FESCUE, REF. SPECIFICATIONS
3. SEEDDED AREA; MIX TO BE DETERMINED
4. PLANTING BED; REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
5. HARDWOOD MULCH; REF. LANDSCAPE GENERAL NOTES & SPECIFICATIONS
6. CONSTRUCT STEEL BED EDGE; REF. 4/L540
7. TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
8. SIGHT TRIANGLES
9. MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)

LOW IMPACT BUFFER SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
AMB	<i>Aronia melanocarpa</i>	BLACK CHOKEBERRY	3" CAL.	B 4 B	4
CAB	<i>Cornus alba 'Balthala'</i>	IVORY HALO DOGWOOD	3" CAL.	B 4 B	4
POD	<i>Physocarpus opulifolius 'Diabolo'</i>	DIABOLO NINEBARK	3" CAL.	B 4 B	2
SLL	<i>Spiraea japonica 'Little Princess'</i>	LITTLE PRINCESS SPIREA	3" CAL.	B 4 B	12
VCK	<i>Viburnum carlesii</i>	KOREANSPICE VIBURNUM	3" CAL.	B 4 B	4
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
SIDE LOT LINE = 20' 245 LF x 20' = 4900 SQ FT 25 SHRUBS REQUIRED					
TOTAL PROPOSED 26					

STREET FRONTAGE SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	<i>Cornus alba 'Balthala'</i>	IVORY HALO DOGWOOD	5 GAL.	CONT.	40
CLA	<i>Clethra alnifolia</i>	SUMMERSWEET	5 GAL.	CONT.	
FXI	<i>Forsythia X intermedia</i>	BORDER FORSYTHIA	5 GAL.	CONT.	10
IVL	<i>Itea virginica 'Little Henry'</i>	LITTLE HENRY SWEETSPICE	5 GAL.	CONT.	
VCK	<i>Viburnum carlesii</i>	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	1 GAL.	CONT.	10
FVH	<i>Panicum virgatum 'Heavy Metal'</i>	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	<i>Rudbeckia fulgida speciosa 'Goldsturm'</i>	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	10
SHP	<i>Sporobolus heterolepis</i>	PRAIRIE DROPSSEED	1 GAL.	CONT.	
SSB	<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
ONE (1) SHRUB PER 20 FEET OF STREET FRONTAGE.					
921 FT. OF STREET FRONTAGE / 20' = 46 TREES REQUIRED					
TOTAL PROPOSED 50					

OPEN YARD SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	<i>Cornus alba 'Balthala'</i>	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	<i>Clethra alnifolia</i>	SUMMERSWEET	5 GAL.	CONT.	
FXI	<i>Forsythia X intermedia</i>	BORDER FORSYTHIA	5 GAL.	CONT.	10
IVL	<i>Itea virginica 'Little Henry'</i>	LITTLE HENRY SWEETSPICE	5 GAL.	CONT.	
VCK	<i>Viburnum carlesii</i>	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	1 GAL.	CONT.	10
FVH	<i>Panicum virgatum 'Heavy Metal'</i>	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	<i>Rudbeckia fulgida speciosa 'Goldsturm'</i>	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	10
SHP	<i>Sporobolus heterolepis</i>	PRAIRIE DROPSSEED	1 GAL.	CONT.	
SSB	<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
THO (2) SHRUBS PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT.					
165,464 SQ. FT. OF TOTAL LOT AREA MINUS 18,450 SQ. FT. OF BUILDING FOOTPRINT 147,014 147,014 SQ. FT. / 5000 x 2 = 59 TREES REQUIRED					
TOTAL PROPOSED 114					

PARKING LOT SCREENING - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	<i>Cornus alba 'Balthala'</i>	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	<i>Clethra alnifolia</i>	SUMMERSWEET	5 GAL.	CONT.	
FXI	<i>Forsythia X intermedia</i>	BORDER FORSYTHIA	5 GAL.	CONT.	10
IVL	<i>Itea virginica 'Little Henry'</i>	LITTLE HENRY SWEETSPICE	5 GAL.	CONT.	
VCK	<i>Viburnum carlesii</i>	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	1 GAL.	CONT.	10
FVH	<i>Panicum virgatum 'Heavy Metal'</i>	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	<i>Rudbeckia fulgida speciosa 'Goldsturm'</i>	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	10
SHP	<i>Sporobolus heterolepis</i>	PRAIRIE DROPSSEED	1 GAL.	CONT.	
SSB	<i>Schizachyrium scoparium</i>	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
12 SHRUBS PER 40 LINEAR FEET (MUST BE 2.5 FEET TALL; BERMS MAY BE COMBINED WITH SHRUBS)					
WEST SIDE OF PARKING LOT: 175 LINEAR FT. / 40 LINEAR FT. x 12 = 53 TREES REQUIRED					
SOUTH SIDE OF PARKING LOT: 80 LINEAR FT. / 40 LINEAR FT. x 12 = 24 TREES REQUIRED					
TOTAL PROPOSED 104					

1 UNDERSTORY LANDSCAPE PLAN

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In this sheet the client consents to allow, authorize or approve of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

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Mid-Continent Public Library
RENOVATIONS TO
EAST LEE'S SUMMIT BRANCH
150 NW Oldham Pkwy
Lee's Summit, Missouri 64081
Jackson County

100% DD SUBMITTAL PACKAGE **04**

NOT FOR CONSTRUCTION

OCHSNER HARE & HARE
a design studio of **OLSSON ASSOCIATES**

Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	09-18-18	TG

Drawing No. **L510**
UNDERSTORY LANDSCAPE PLAN

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