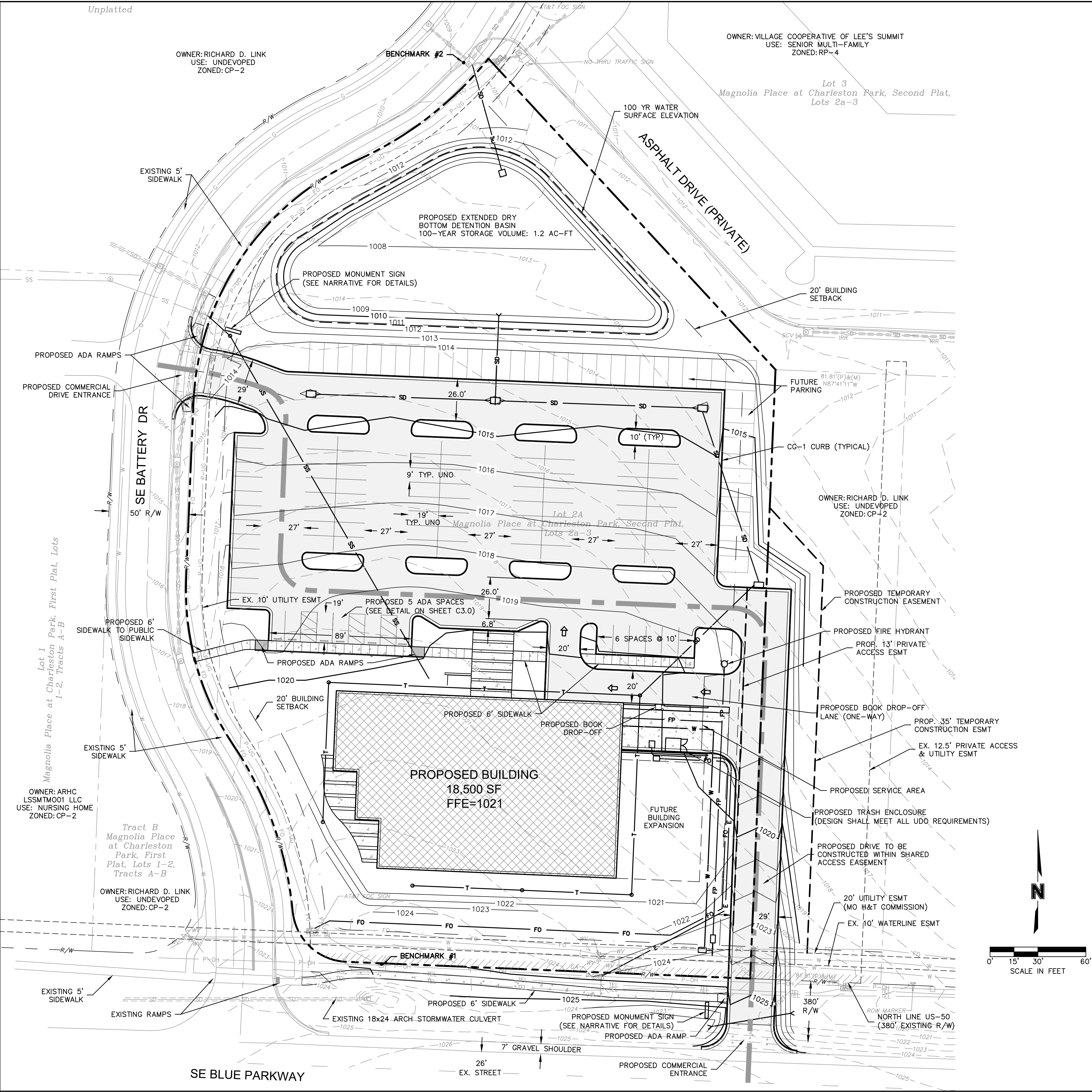


DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\ Preliminary Plans\ Sheets\ GNCV\ WORK PACKAGE 4\ LEE'S SUMMIT\ C-4LS_PDP_80330.dwg USER: kprice
DATE: Sep 18, 2018 8:18am XREFS: C-4LS_TBLK_80330 C-4LS_PBASE_80330 C-4LS_PBASE_61023 L_PBASE_61023



SITE DATA		
ZONING & SITE AREA		
PROPOSED USE:	PUBLIC LIBRARY	
	SITE AREA	ZONING
LOT 2 (AS DESCRIBED):	3.80 ACRES (165,528 SF)	CP-2
IMPREVIOUS:	1.71 ACRES (74,488 SF) (45%)	
PERVIOUS:	2.09 ACRES (91,040 SF) (55%)	
FAR (0.55 MAX):	0.15	
BUILDING AREA		
BUILDING TYPE	# STORIES	SQUARE FOOTAGE
BUILDING	1	18,500 SF
FUTURE	1	4,700 SF
PARKING		
USE	REQUIRED	PROVIDED
LIBRARY	4 PER 1000 SF = 74	83
ADA	3 (PER CITY TABLE)	5
TOTAL	74	88 (INCLUDING ADA)

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- BUILDING SETBACK LINES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTIC
- GAS LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED FIBER OPTIC
- PROPOSED WATER LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED STORM SEWER LINE
- PROPOSED TURF DRAIN LINE
- PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED GRADE CONTOURS
- PROPOSED FIRE ACCESS ROAD

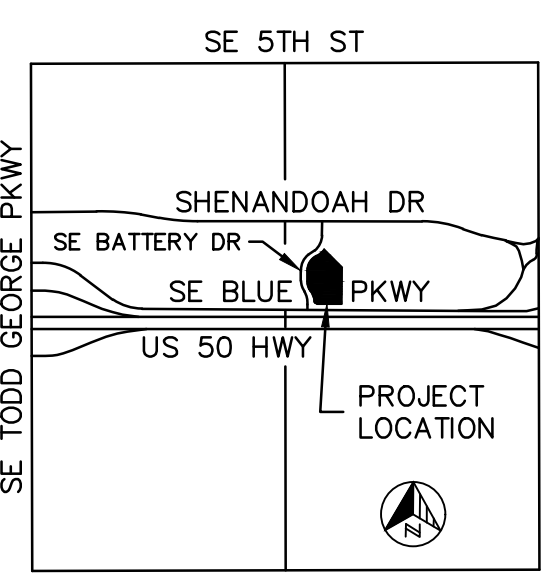
BENCHMARKS:

BENCHMARK #1:
ELEVATION=1027.22'
SET RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE, 66'± NORTH OF THE CL OF SE BLUE PARKWAY, 86' EAST OF THE CL OF SE BATTERY DRIVE.

BENCHMARK #2:
ELEVATION=1009.31'
SET CHISELED "C" CUT ON THE SOUTHWESTERLY CORNER OF A CONCRETE CURB INLET #40636, 630'± NORTH OF THE CL OF SE BLUE PARKWAY, 15' EAST OF THE CL OF SE BATTERY DRIVE.

LEGAL DESCRIPTION:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 81.81 FEET THEREOF, CONTAINING 165,561 SQUARE FEET OR 3.8008 ACRES, MORE OR LESS.



SECTION 10, T.47N., R.31W.
VICINITY MAP
SCALE: 1" = 2000'

SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #006067

1629 Walnut
Kansas City, MO 64108 816.300.0300

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of this signature wherever & whenever used, and the owner of the seal shall authorize this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH

2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

PACKAGE
04

Engineer of Record
Terry M Parsons, Engineer MO PE-2018010605

MOLSSON
ASSOCIATES

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olssonassociates.com

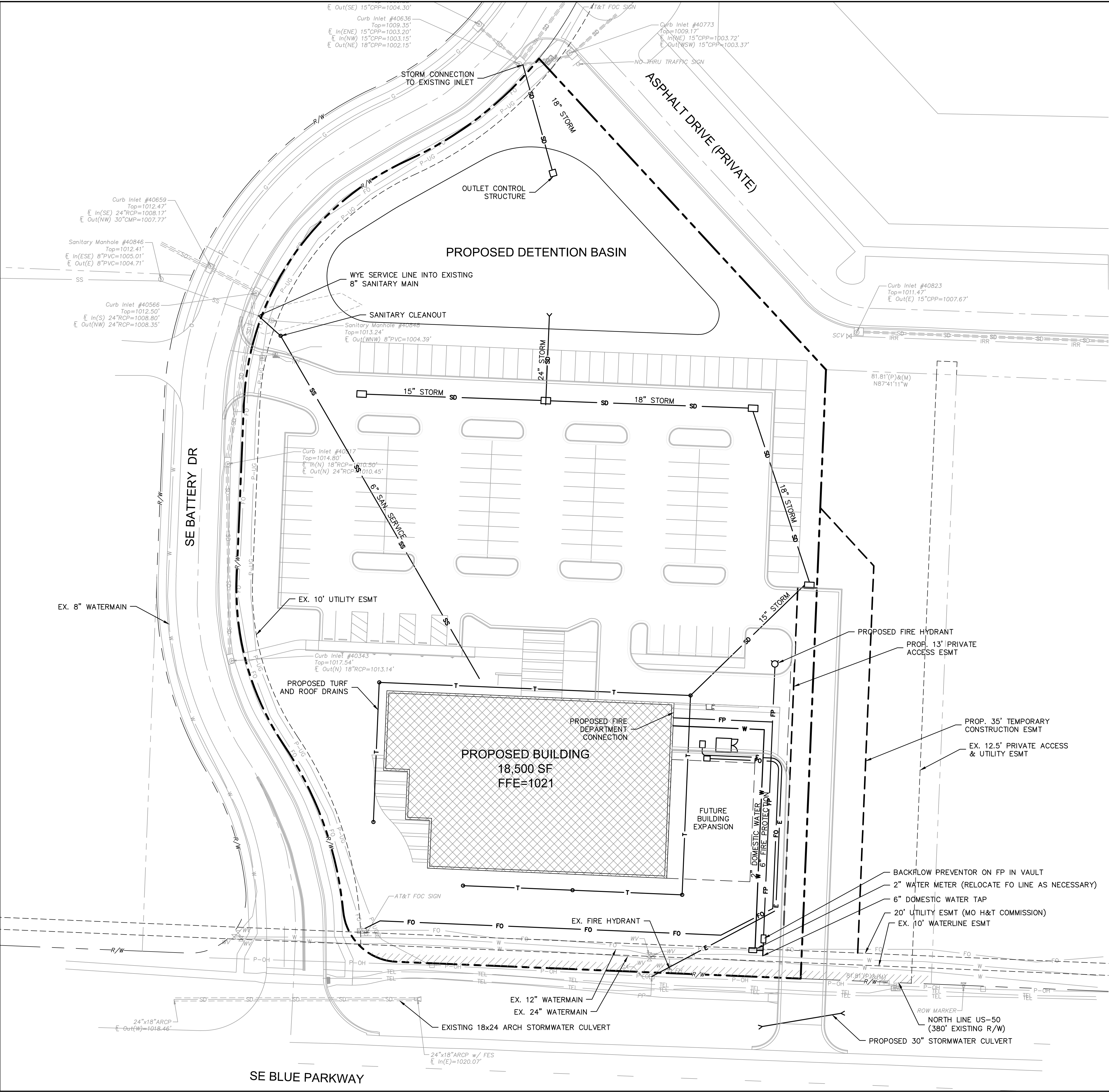
Olsson Associates
Missouri State Certificate of Authority #001592

Revision No. Description Date

Project No. B18-0330 Date 09-18-18 Drawn KDP

Drawing No.
C1.0
PRELIMINARY
DEVELOPMENT PLAN
© Copyright 2018 - Sapp Design Associates, Architects, P.C.

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Preliminary Plans\Sheets\GNV\WORK PACKAGE 4\LEES SUMMIT\C-4LS_UTL_80330.dwg USER: kprice
DATE: Sep 18, 2018 8:18am XREFS: C-4LS_TBLK_80330 C-4LS_XBASE_80330 C-4LS_PBASE_80330 C-4LS_PSURF_80330 L_PBASE_61023

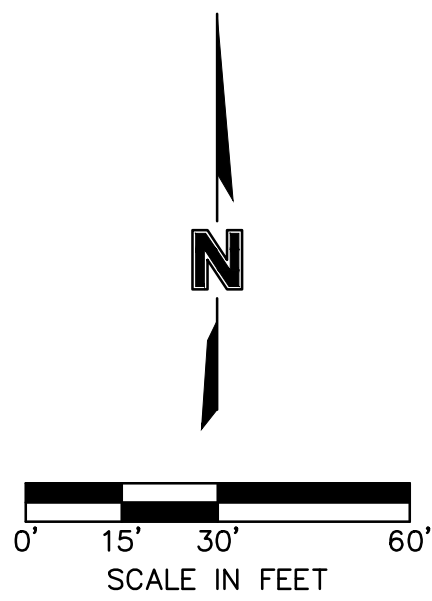


EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SS STORM SEWER LINE
- SS SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- T PROPOSED TURF DRAIN LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING



SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature wherever & whenever used, and the owner of the seal shall authorize this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

PACKAGE
04

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

MOLSSON
ASSOCIATES

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.molsonassociates.com

Olsson Associates
Missouri State Certificate of Authority #001592

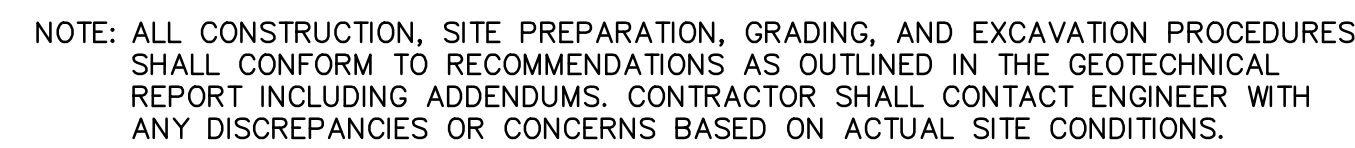
Revision No. Description Date

Project No. B18-0330 Date 09-18-18 Drawn KDP

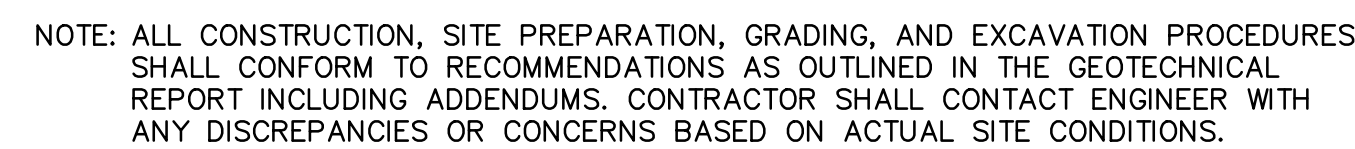
Drawing No.

C2.0
PDP UTILITY PLAN

© Copyright 2018 - Sapp Design Associates, Architects, P.C.



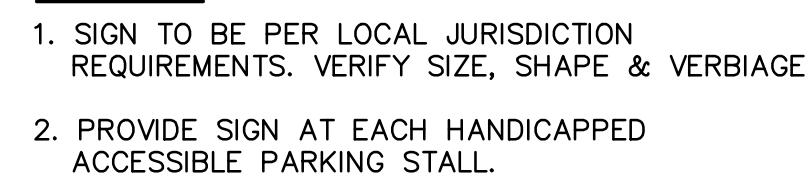
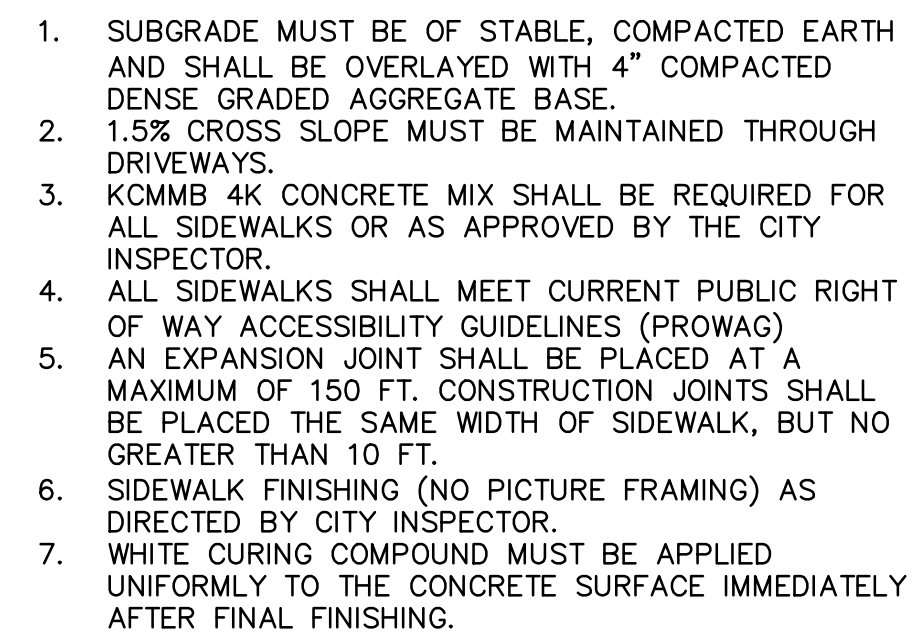
NOT TO SCALE



NOT TO SCALE



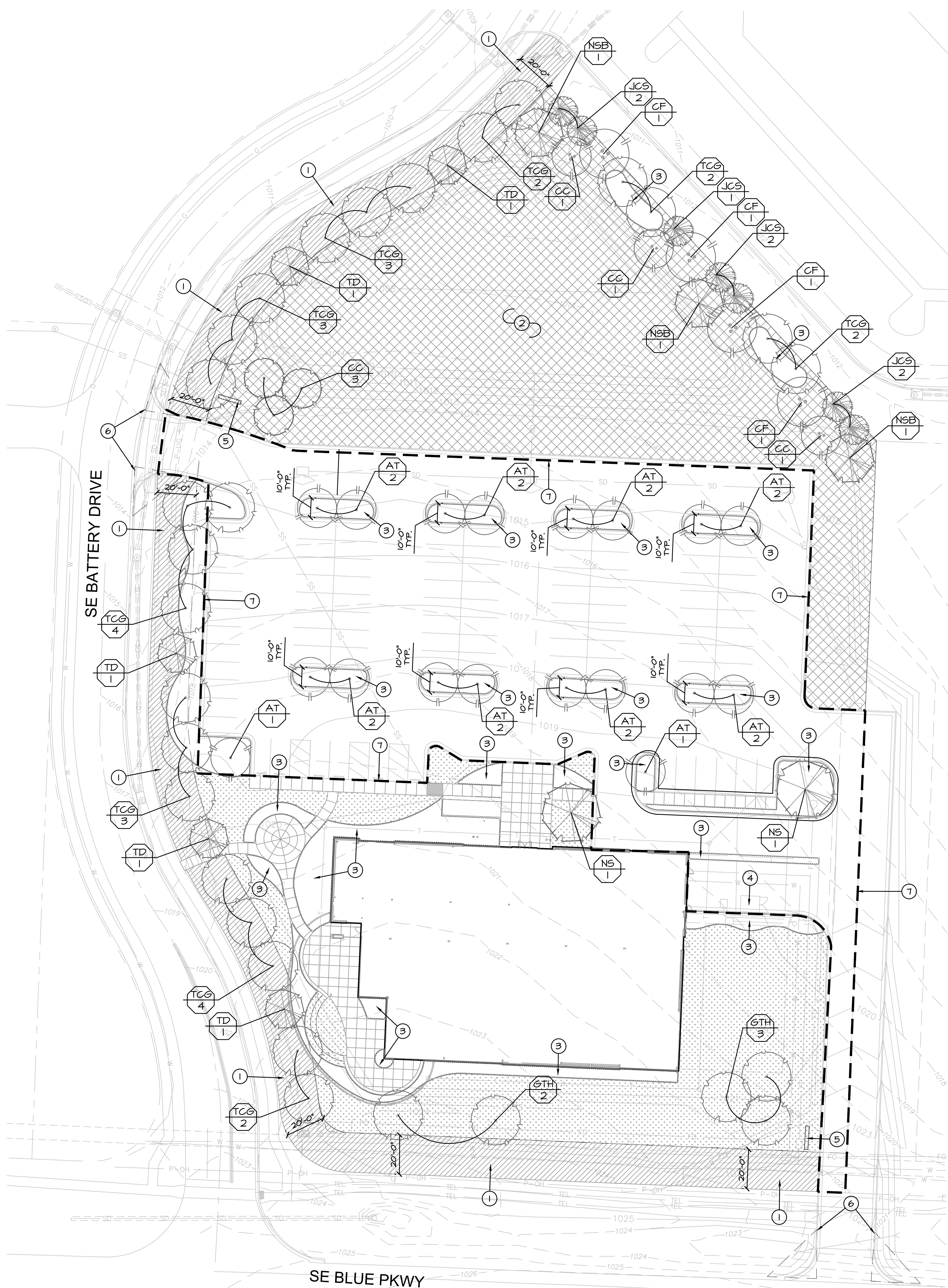
1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



NOT TO SCALE

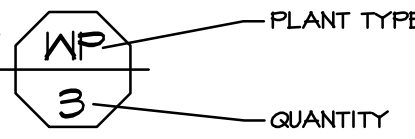


1 OVERSTORY LANDSCAPE PLAN

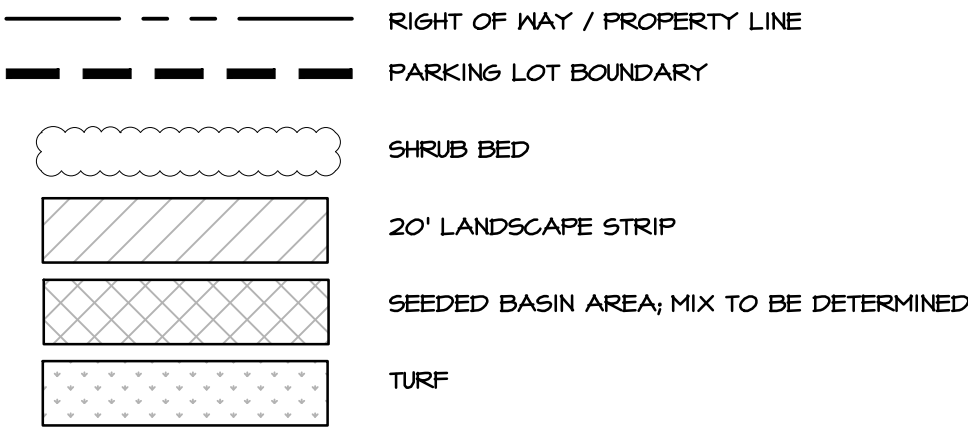


LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER'S RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION



LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

- 1 20' LANDSCAPE STRIP
- 2 SEEDED AREA, MIX TO BE DETERMINED
- 3 PLANTING BED, REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 4 TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
- 5 MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)
- 6 SIGHT TRIANGLES
- 7 PARKING LOT BOUNDARY

PARKING LOT LANDSCAPE - AREA CALCULATIONS

ORDINANCE REQUIREMENT	
LANDSCAPE ISLANDS, STRIPS, AND PLANTING AREAS SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING.	
TOTAL PARKING LOT AREA = 60,609 SQ. FT. FIVE PERCENT (5%) OF 60,609 = 3,031 SQ. FT.	TOTAL ISLAND AREA = 2,504 SQ. FT. TOTAL LANDSCAPE AREA = 4,112 SQ. FT.

LOW IMPACT BUFFER TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
TCG	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	4
NSB	Nyssa sylvatica	BLACK GUM	3" CAL.	B & B	3
ORNAMENTAL TREES					
CC	Cercis canadensis	EASTERN REDBUD	3" CAL.	B & B	3
CF	Cornus florida	FLOWERING DOGWOOD	3" CAL.	B & B	4
EVERGREEN TREES					
JCS	Juniperus chinensis 'Spartan'	SPARTAN JUNIPER	3" CAL.	B & B	1
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
SIDE LOT LINE = 20' 245 LF x 20' = 4900 SQ. FT. 1 DECIDUOUS TREES REQUIRED 1 ORNAMENTAL TREES REQUIRED 1 EVERGREEN TREES REQUIRED					
					TOTAL PROPOSED 1
					TOTAL PROPOSED 1

STREET FRONTAGE TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	<i>Acer truncatum</i>	SHANTUNG MAPLE	3" CAL.	B & B	5
GTH	<i>Gleditsia triacanthos</i> f. <i>inermis</i> 'Skycole'	SKYLINE HONEY LOCUST	3" CAL.	B & B	
NS	<i>Nyssa sylvatica</i>	BLACK GUM	3" CAL.	B & B	21
TCG	<i>Tilia cordata</i> 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	
TD	<i>Taxodium distichum</i> 'Michelson'	SHAWNEE BRAVE BALD CYPRESS	3" CAL.	B & B	5
ORNAMENTAL TREES					
CC	<i>Cercis canadensis</i>	EASTERN REDBUD	3" CAL.	B & B	
CF	<i>Cornus florida</i>	FLOWERING DOGWOOD	3" CAL.	B & B	
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
921 FT. OF STREET FRONTAGE / 30 = 31 TREES REQUIRED					
					TOTAL PROPOSED 31

OPEN YARD TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	Acer truncatum	SHANTUNG MAPLE	3" CAL.	B & B	18
NS	Nyssa sylvatica	BLACK GUM	3" CAL.	B & B	
TCG	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	2
TD	Taxodium distichum 'Michelson'	SHAWNEE BRAVE BALD CYPRRESS	3" CAL.	B & B	
ORNAMENTAL TREES					
CC	Cercis canadensis	EASTERN REDBUD	3" CAL.	B & B	7
CF	Cornus Florida	FLOWERING DOGWOOD	3" CAL.	B & B	
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES).					
165,464 SQ. FT. OF TOTAL LOT AREA MINUS 10,450 SQ. FT. OF BUILDING FOOTPRINT 147,014					
147,014 SQ. FT. / 5000 = 29 TREES REQUIRED					
					TOTAL PROPOSED 32

SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature wherever & whenever used, and the owner of the seal shall authorize its use and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
RENOVATIONS TO
EAST LEE'S SUMMIT BRANCH
150 NW Oldham Pkwy
Lee's Summit, Missouri 64081
Jackson County

100% DD
SUBMITTAL
PACKAGE
04

NOT FOR
CONSTRUCTION

OCHSNER
HARE & HARE
a design studio of
OLSSON.
ASSOCIATES

Revision No. Description Date

Project No. 016-1023 Date 09-18-18 Drawn TG

Drawing No. L500 OVERSTORY LANDSCAPE PLAN

© Copyright 2018 - Sapp Design Associates, Architects, P.C.

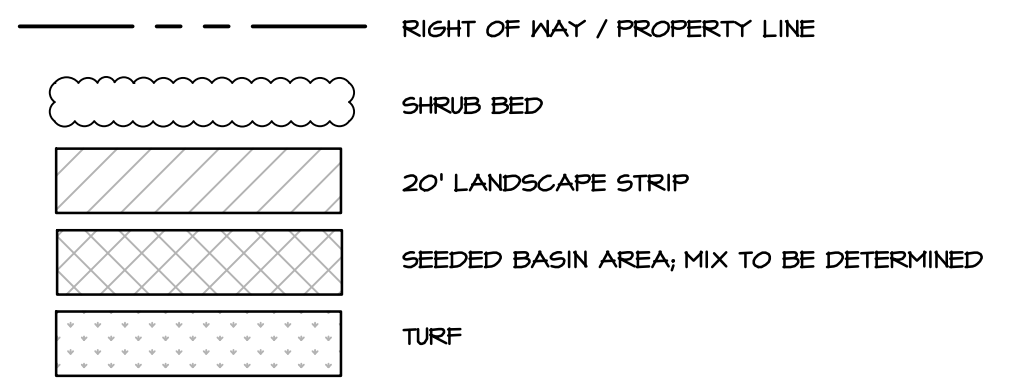


LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APMA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSING. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION:

WP	PLANT TYPE
3	QUANTITY

LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

1. 20' LANDSCAPE STRIP
2. AREA TO BE SODDED WITH TURF TYPE FESCUE, REF. SPECIFICATIONS
3. SEEDED AREA; MIX TO BE DETERMINED
4. PLANTING BED; REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
5. HARDWOOD MULCH; REF. LANDSCAPE GENERAL NOTES & SPECIFICATIONS
6. CONSTRUCT STEEL BED EDGE; REF. 4/L540
7. TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
8. SIGHT TRIANGLES
9. MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)

LOW IMPACT BUFFER SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
AMB	Aronia melanocarpa	BLACK CHOKEBERRY	3" CAL.	B # B	4
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	3" CAL.	B # B	4
POD	Physocarpus opulifolius 'Diabolo'	DIABOLO NINEBARK	3" CAL.	B # B	2
S.L.	Spirea japonica 'Little Princess'	LITTLE PRINCESS SPIREA	3" CAL.	B # B	4
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	3" CAL.	B # B	4
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.			SIDE LOT LINE = 20' 245 LF x 20' = 4900 SQ FT 25 SHRUBS REQUIRED		
			TOTAL PROPOSED 26		

STREET FRONTAGE SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	40
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	10
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
ONE (1) SHRUB PER 20 FEET OF STREET FRONTAGE.			921 FT. OF STREET FRONTAGE / 20' = 46 TREES REQUIRED		
			TOTAL PROPOSED 50		

OPEN YARD SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	12
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
TWO (2) SHRUBS PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT.			165,464 SQ. FT. OF TOTAL LOT AREA MINUS 18,450 SQ. FT. OF BUILDING FOOTPRINT 147,014 147,014 SQ. FT. / 5000 x 2 = 59 TREES REQUIRED		
			TOTAL PROPOSED 114		

PARKING LOT SCREENING - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	12
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
12 SHRUBS PER 40 LINEAR FEET (MUST BE 2.5 FEET TALL; BERRMS MAY BE COMBINED WITH SHRUBS)			WEST SIDE OF PARKING LOT: 175 LINEAR FT. / 40 LINEAR FT. x 12 = 53 TREES REQUIRED SOUTH SIDE OF PARKING LOT: 80 LINEAR FT. / 40 LINEAR FT. x 12 = 24 TREES REQUIRED		
			TOTAL PROPOSED 104		

SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of this signature whenever & wherever used, and the owner of the seal shall authenticate this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
RENOVATIONS TO
EAST LEE'S SUMMIT BRANCH
150 NW Oldham Pkwy
Lee's Summit, Missouri 64081
Jackson County

100% DD
SUBMITTAL
PACKAGE
04

NOT FOR
CONSTRUCTION

OCHSNER
HARE & HARE
a design studio of
OLSSON.
ASSOCIATES

Revision No. Description Date

Project No. 016-1023 Date 09-18-18 Drawn TG

Drawing No.

L510
UNDERSTORY
LANDSCAPE PLAN

© Copyright 2018 - Sapp Design Associates, Architects, P.C.