

AN ORDINANCE APPROVING A REZONING FROM DISTRICT RP-3 TO DISTRICT PMIX, PRELIMINARY DEVELOPMENT PLAN AND CONCEPTUAL PLAN LOCATED AT 300 NW PRYOR, PROPOSED WEST PRYOR DEVELOPMENT IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, NO. 5209, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2018-135 submitted by The City of Lee's Summit, Missouri, requesting approval of a rezoning from District RP-3 (Planned Residential Mixed Use District) to PMIX (Planned Mixed Used District), preliminary development plan and conceptual plan on land located at 300 NW Pryor Rd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning, preliminary development plan and conceptual plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the rezoning, preliminary development plan and conceptual plan on September 11, 2018, and rendered a report to the City Council recommending that the rezoning, preliminary development plan and conceptual plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on September 20, 2018, and rendered a decision to approve the rezoning and preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning, preliminary development plan and conceptual plan is hereby approved on the following described property:

All that part of the Southeast Quarter of Section 2, Township 47 North, Range 32 West, more particularly described as follows:

A TRACT OF LAND IN THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST OF THE 5TH PRINCIPAL MERIDIAN AND ALL OF LOT 1, JOHN KNOX RETIREMENT VILLAGE 9TH PLAT, A SUBDIVISION OF LAND, ALL LYING IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 02°53'56" EAST, ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, 1,328.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF SAID SOUTHEAST QUARTER; THENCE NORTH 87°49'43" WEST, ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID SOUTHEAST QUARTER, 80.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PRYOR ROAD, AS NOW ESTABLISHED, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING NORTH

87°49'43" WEST, ALONG SAID SOUTH LINE, SAID LINE ALSO BEING THE NORTH LINE OF STERLING HILLS 1ST PLAT, A SUBDIVISION OF LAND IN SAID LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, 500.00 FEET; THENCE NORTH 02°53'56" EAST, 325.85 FEET; THENCE CONTINUING NORTH 02°53'56" EAST ALONG SAID LINE, 60.12 FEET; THENCE NORTH 04°27'07" EAST, 484.59 FEET; THENCE NORTH 85°32'53" WEST, 175.00 FEET; THENCE NORTH 04°27'07" EAST, 425.00 FEET; THENCE SOUTH 85°32'53" EAST, 175.00 FEET; THENCE NORTH 04°27'07" EAST, 289.53 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF NW O'BRIEN ROAD, AS NOW ESTABLISHED; THENCE NORTH 03°27'53" EAST, 38.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID O'BRIEN ROAD, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 1, JOHN KNOX RETIREMENT VILLAGE 9TH PLAT, A SUBDIVISION OF LAND IN SAID LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE CONTINUING NORTH 03°27'53" EAST ALONG THE WEST LINE OF SAID LOT 1, 362.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 87°37'42" WEST, 200.04 FEET; THENCE NORTH 03°27'53" EAST, 221.62 FEET; THENCE SOUTH 86°32'07" EAST, 200.00 FEET; THENCE NORTH 03°27'53" EAST, 70.20 FEET; THENCE SOUTH 86°32'07" EAST, 479.90 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID PRYOR ROAD; THENCE SOUTH 03°27'53" WEST, ALONG SAID WEST RIGHT-OF-WAY LINE, 622.51 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID NW O'BRIEN ROAD; THENCE WESTERLY, ALONG SAID NORTH RIGHT-OF-WAY LINE, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 88°53'01" WEST WITH A RADIUS OF 323.20 FEET, A CENTRAL ANGLE OF 01°46'51" AND AN ARC DISTANCE OF 10.05 FEET; THENCE SOUTH 03°27'53" WEST, ALONG SAID WEST RIGHT-OF-WAY LINE, 309.93 FEET; THENCE SOUTH 02°53'56" WEST, CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE, 1,328.27 FEET TO THE POINT OF BEGINNING. CONTAINING 1,218,234 SQUARE FEET OR 27.97 ACRES, MORE OR LESS.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the requirement for a high impact landscaping buffer along the west property line of the fire station site, to allow the landscaping buffer to be located off-site on the adjoining property to the west.
2. Development shall be subject to the recommended road improvements outlined in the Transportation Impact Analysis prepared by Michael Park, dated September 6, 2018.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

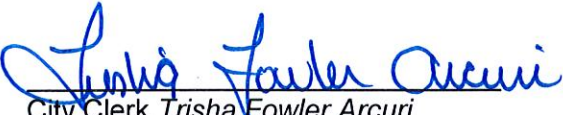
SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 2nd day of October, 2018.


Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

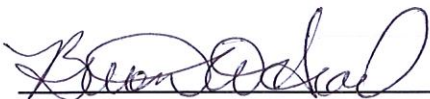
APPROVED by the Mayor of said city this 9th day of October, 2018.

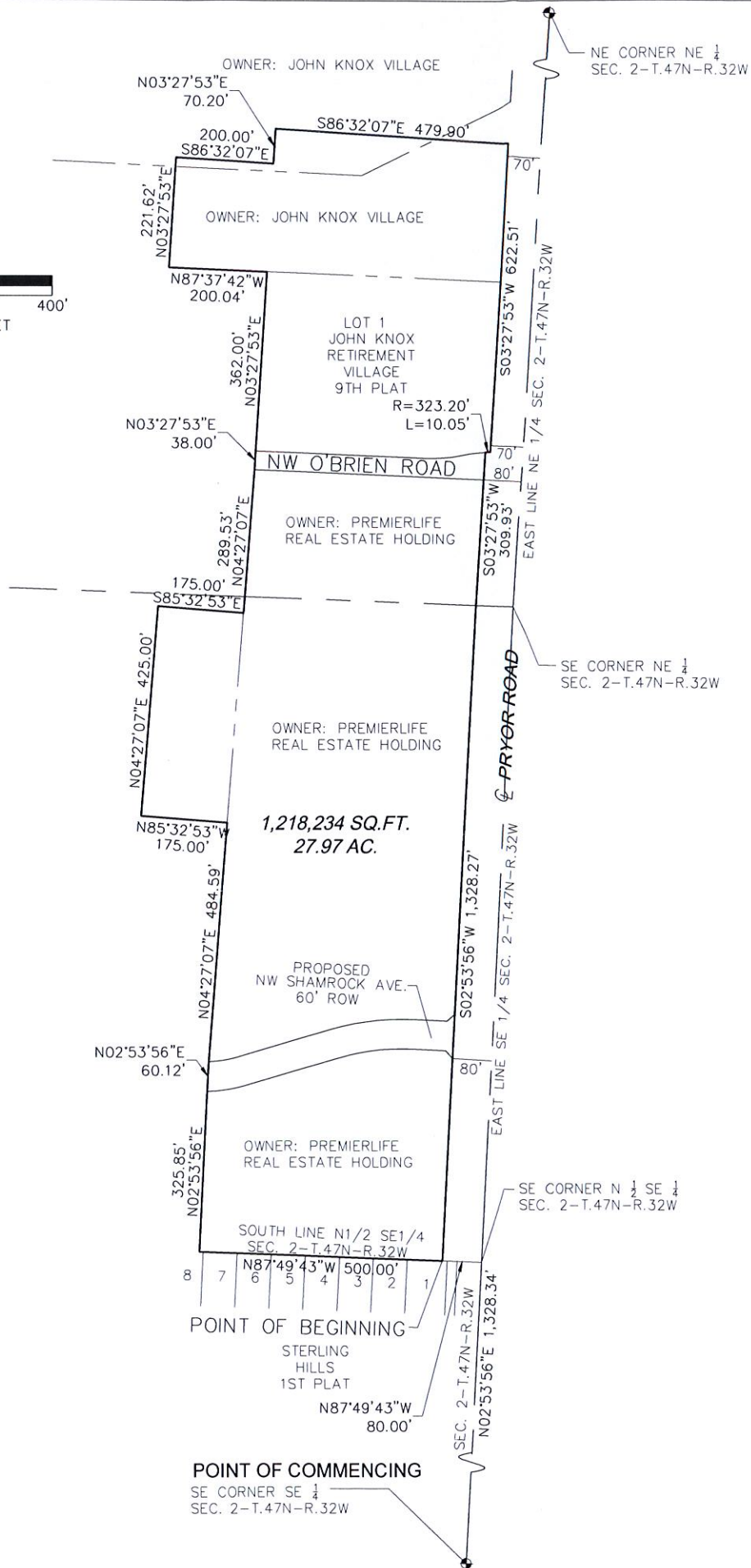
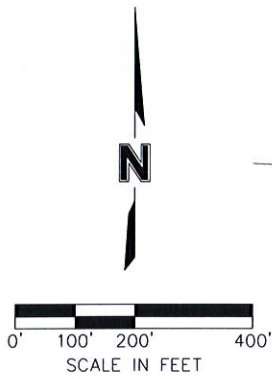

Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head



PROJECT NO: 018-1457
DRAWN BY: JSR
DATE: 2018-08-08

WEST VILLAGE COMMERCIAL PROPERTY EXHIBIT

MOLSSON
ASSOCIATES

1301 BURLINGTON, SUITE 100
NORTH KANSAS CITY, MO 64116
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www.molssonassociates.com

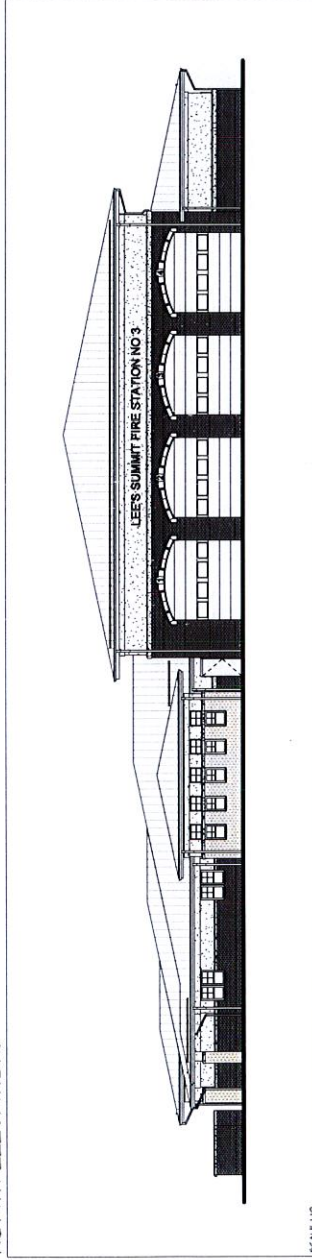
SHEET
1

LEE'S SUMMIT STATION #3

FINAL DEVELOPMENT PLAN

ISSUE DATE:
03 / 22 / 2018

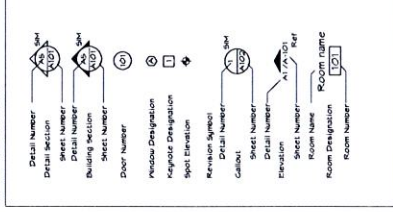
NORTH ELEVATION:



VICINITY/LOCATION MAPS:



SYMBOLS:



DRAWING INDEX:

DRAWING LIST

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AUTHENTICITY:



Williams
Spurgeon
Kuhl &
Freshrock
ARCHITECTS, P.C.

Architect:
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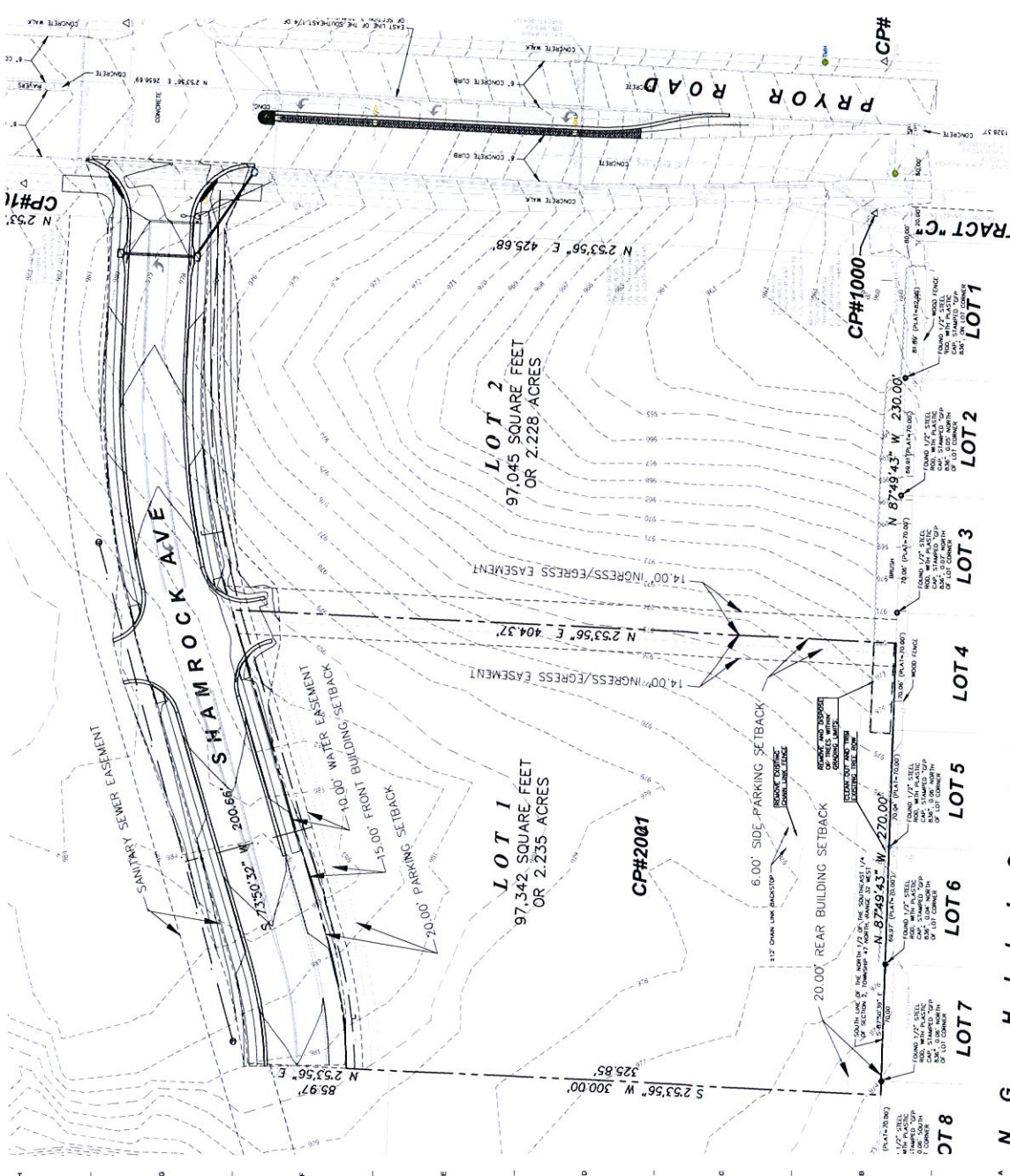
Civil Engineer/Landscape Architect

Bartlett & West
228 NW Executive Way
Lee's Summit, MO 64063
P. 816.525.3562
F. 816.525.9041

MEP Engineer.

PKMR Engineers
13300 W. 98th Street
Lenexa, KS 66215
P. 913.492.2400
F. 913.492.2437

N G H I J K



LEGAL DESCRIPTION

FINAL PLAT FENCING LOT 1, OF A MAJOR SUBDIVISION IN THE EAST 1/2 OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 22 WEST, IN THE CITY OF LEE'S SUMMIT, MO.

GENERAL NOTES

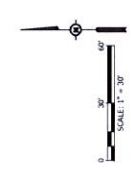
1. ZONING: PMR (FINAL PLAT FENCING)
2. CURRENT USE: VACANT LOT
3. PROPOSED USE: FIRE STATION
4. TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY PERFORMED BY THE CITY OF LEE'S SUMMIT, MO.
5. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADA) FOR BUILDINGS AND FACILITIES. APPENDIX A TO THE ADA PART 36.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT, MO. ORDINANCE #1000, WHICH IS INCORPORATED BY REFERENCE INTO THIS SITE PLAN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
8. ALL NEWLY INSTALLED MECHANICAL EQUIPMENT SHALL BE SEWERED PER CITY CODES.

NOTE:

NO OIL AND/OR GAS WELLS WITHIN THE SUBJECT PROPERTY.
SOURCE OF INFORMATION: MISSOURI DEPARTMENT OF NATURAL RESOURCES, OIL & GAS WELLS (UPDATED 02/24/2018)

DEMOLITION NOTES:

1. ALL UTILITIES SHOWN HEREIN ARE BASED ON THE TOPOGRAPHIC INFORMATION OBTAINED FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. ALL UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
2. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DRAINAGE NECESSARY FOR CONSTRUCTION.
3. CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING TREES, SHRUBS, OR LANDSCAPE PLANTINGS THAT ARE TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
4. ALL WASTE EXCAVATION, CONSTRUCTION MATERIALS, DEMOLISHED STRUCTURES AND DEBRIS SHALL BE REMOVED FROM THE SITE AND Hauled TO AN APPROVED LANDFILL. MISSOURI DESIGN CODES.
5. ALL EXCAVATED OR OTHERWISE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS NEARLY AS IS PRACTICAL. THE REPLACEMENT MATERIALS SHALL BE COMPACTED TO THE SAME DENSITY AS THE ORIGINAL MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
6. ALL DEMOLITION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MISSOURI DESIGN CODES.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION OF ALL EXISTING STRUCTURES, INCLUDING THE CONSTRUCTION SITE. CONTINUOUS MAINTENANCE OF TRAFFIC CONTROL DEVICES DURING THE DEMOLITION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
8. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED BY MEANS OF A FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FENCE THROUGHOUT THE DEMOLITION PROCESS. THE FENCE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING AND COORDINATING REMOVAL AND INSTALLATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
10. THE CONTRACTOR SHALL VERIFY ANY DEMOLITION DIMENSIONS SHOWN PRIOR TO COMMENCING DEMOLITION.
11. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DRAINAGE NECESSARY FOR CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES THROUGHOUT THE DEMOLITION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES THROUGHOUT THE DEMOLITION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LEE'S SUMMIT, MO. PRIOR TO THE START OF CONSTRUCTION.
14. SAWCUTS ALONG SIDEWALKS AND PAVEMENT SHALL BE REPAIRED AT THE NEAREST EXISTING JOINT.



SITE SUMMARY

PROPOSED SITE SUMMARY:	
EXISTING BUILDING:	15,000 SF (0.37 AC)
PROPOSED BUILDING:	40,721 SF (0.94 AC)
EXISTING PARKING:	40,721 SF (0.94 AC)
PROPOSED PARKING:	97,492 SF (2.24 AC)
EXISTING TOTAL:	55,721 SF (1.31 AC)
PROPOSED TOTAL:	138,213 SF (3.18 AC)
TOTAL SITE AREA:	97,492 SF (2.24 AC)

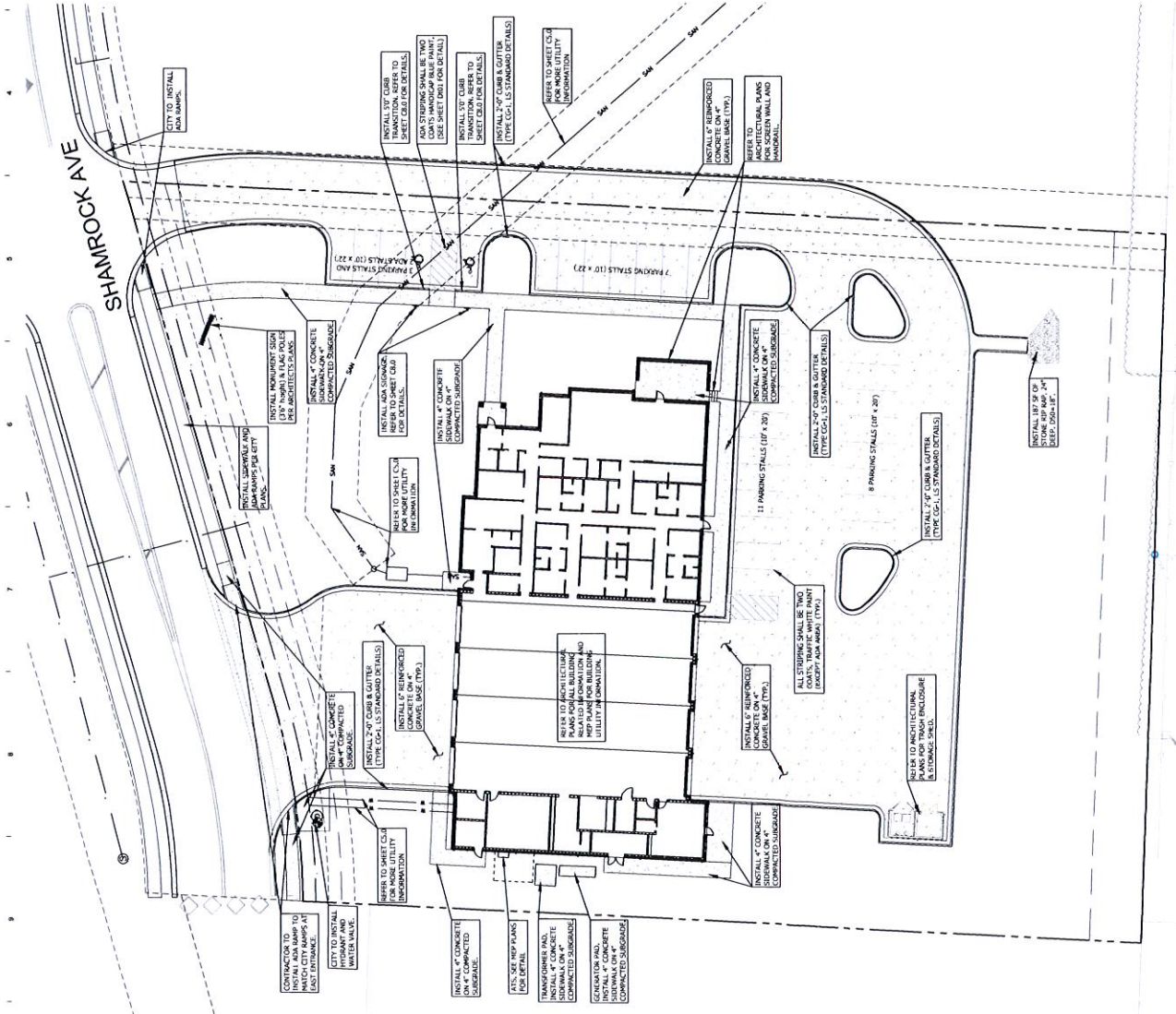
FLOOR AREA RATIO

14,000 S.F./AC MIN. 14.4%

PARKING

DESIGN REQUIREMENTS: 24 STALLS + 1 VAN ACCESSIBLE STALL
PROVIDED: 29 STALLS + 1 VAN ACCESSIBLE STALL + 1 STANDARD ADA STALL

- LAYOUT NOTES:**
1. ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY DOWNS AND LOCATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES AND SHALL RECORD "AS-BUILT" DIMENSIONS OR LOCATIONS OF ANY APERTURES IF THEY DIFFER FROM THE PLANS.
 2. ALL UNDESIGNED SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL STATE, LOCAL, AND ADA SPECIFICATIONS AS CURRENTLY IN EFFECT.
 3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
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 15. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.



REVISIONS

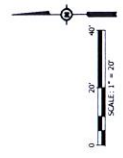
NO.	DATE	DESCRIPTION
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2		REVISIONS

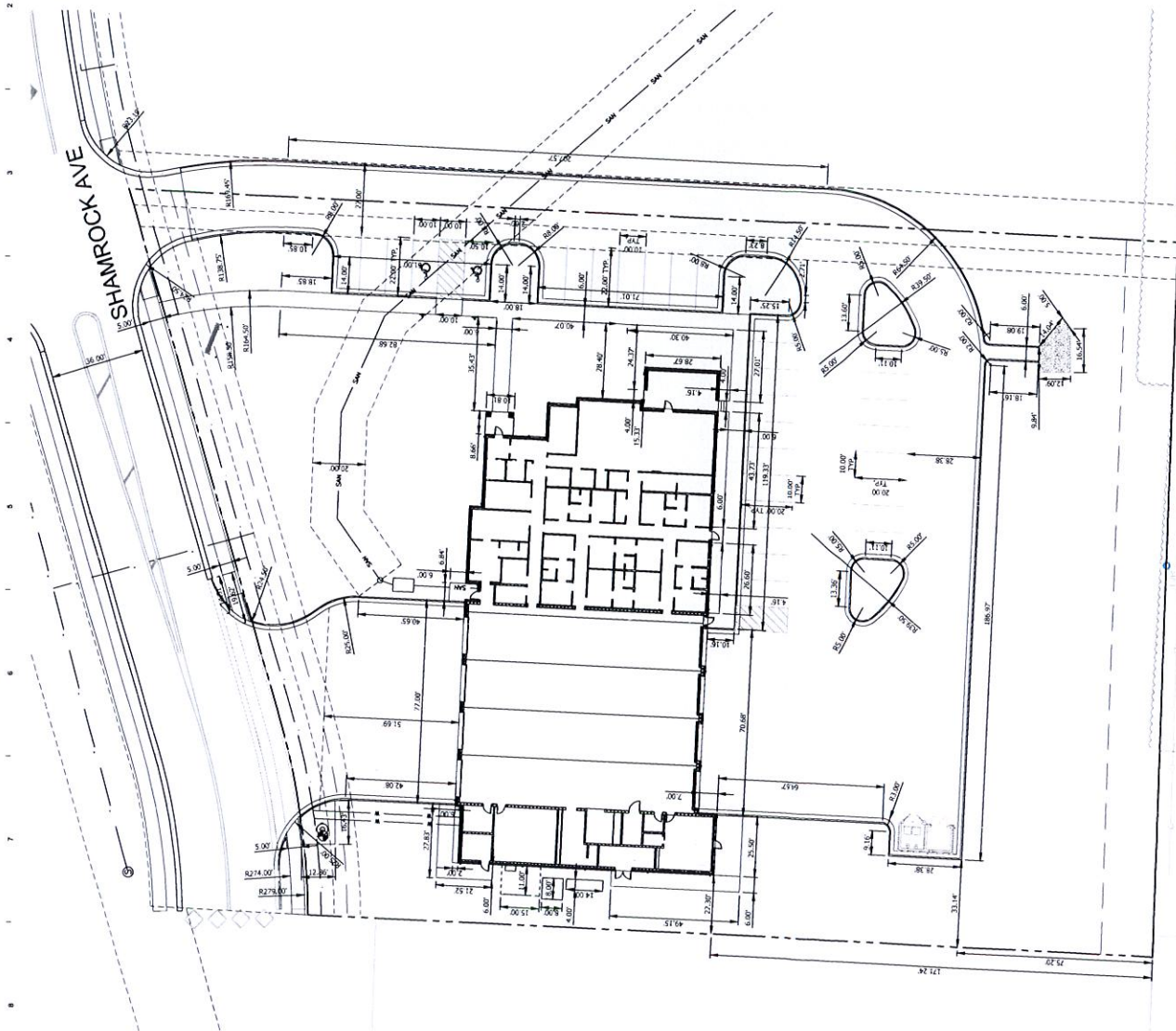


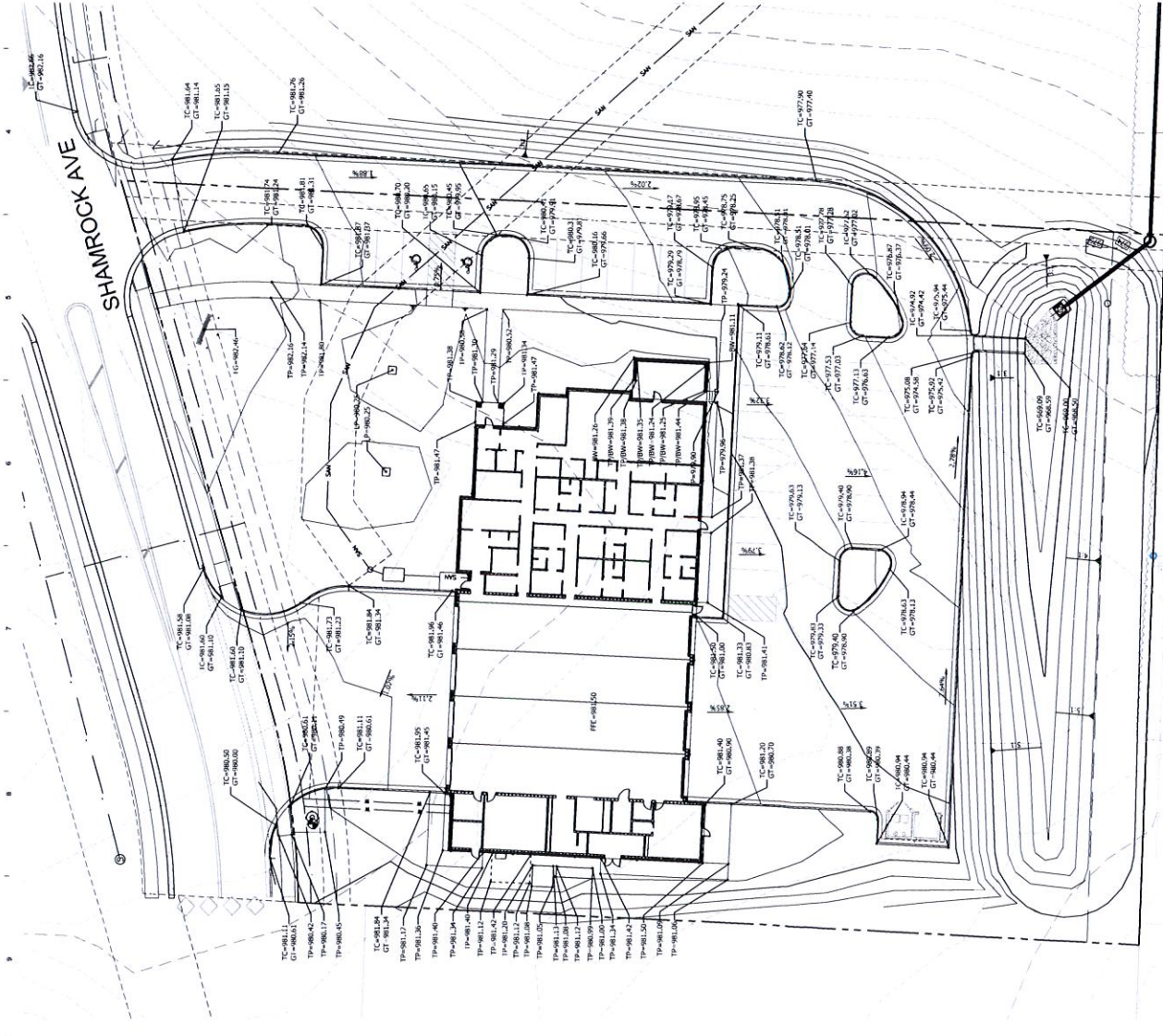
LEE'S SUMMIT STATION #3
PROR ROAD
LEE'S SUMMIT, MO 64081

Williams
Spurgeon
Kuhl &
Freshnack
Missouri Certificate of Authority
#0000011905

SITE LAYOUT PLAN
C2.0







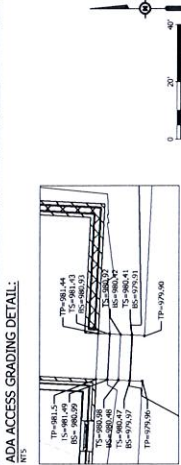
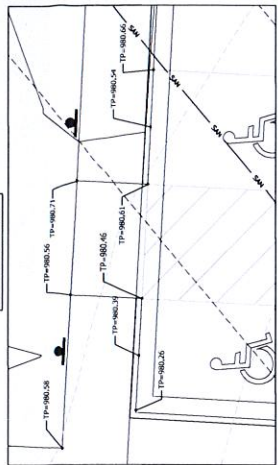
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www.bartlettwest.com

GRADING NOTES:

1. ALL QUANTITIES SHALL BE CALCULATED BY THE CONTRACTOR AND INCLUDE ALL SUBSIDIARY TIME NECESSARY TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 1% CROSS SLOPE FOR ALL PAVED AREAS AND A MINIMUM 2% CROSS SLOPE FOR ALL UNPAVED AREAS.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED FOR THE SITE GRADING.
4. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT (IF APPLICABLE) AND FAMILIARIZE HIMSELF WITH ALL SOIL CONDITIONS AND RECOMMENDATIONS.
5. ALL AREAS DISTURBED DURING THE PROGRESS OF THIS PROJECT SHALL BE FINISHED WITH 6" (MIN.) TOP TOPSOIL AND GRADENESTORED TO EXISTING CONDITIONS PRIOR TO DISTURBANCE.
6. ALL AREAS SHALL SLOPE AWAY FROM PROPOSED BUILDING.
7. ALL GROUND SURFACES SHALL VARY UNIFORMITY BETWEEN INDICATED ELEVATIONS.
8. GRADING PLAN REFLECTS TOP OF CURB OR PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
10. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
11. ALL PROPOSED SURFACES SHALL HAVE A MINIMUM OF 1% CROSS SLOPE AND A MAXIMUM CROSS SLOPE OF 1.5%.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SEDIMENTATION AND DISCHARGE OF FILL MATERIAL (SEDIMENT) INTO ADJACENT AREAS.
13. ALL DISTURBED AREAS SHALL BE SEED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE SEASONAL SEEDING SCHEDULE, SIX MONTHS AFTER COMPLETION OF THE WORK. IN ANY CASE, IF THIS IS OUTSIDE THE SEASONAL SEEDING SCHEDULE, SEEDING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF THE WORK. IN ANY CASE, IF THIS IS OUTSIDE THE SEASONAL SEEDING SCHEDULE, SEEDING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF THE WORK. IN ANY CASE, IF THIS IS OUTSIDE THE SEASONAL SEEDING SCHEDULE, SEEDING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF THE WORK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE TO PREVENT STANDING WATER. ALL DRAINAGE SHALL BE INSPECTED IMMEDIATELY AFTER EACH HEAVY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY 1/2" IN DEPTH, THEY SHALL BE REMOVED. ALL COSTS ASSOCIATED WITH THIS WORK, INCLUDING RELATED INCIDENTALS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.
15. THE CONTRACTOR SHALL NOT PERFORM FINAL GRADING OR SEEDING UNTIL ALL UTILITY INSTALLATIONS ARE COMPLETE.
16. AT ALL BUILDING EXITS INSURE MINIMUM OF 5' LANDING DEPTH (IN DIRECTION OF TRAVEL) AT 2% MAXIMUM SLOPE. NO SIDEWALKS TO EXCEED 2% SLOPE UNLESS IT IS AN ADA COMPLIANT RAMP.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES, CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS UNTIL THEY ARE DESTROYED.

CALCULATED ELEVATIONS

HP	= HIGH POINT
TC	= TOP OF CURB
TP	= TOP OF PAVEMENT
FG	= FINISHED GRADE
BW	= BOTTOM OF WALL
BS	= BOTTOM OF STEP



SCALE: 1" = 20'

JOB NUMBER
— 00000 —
ISSUE DATE
— 11/02/2017 —
REVISIONS



Williams
Spurgeon
Kuhl &
Freshnack
Missouri Certificate of Authority
#0000011905

LEES SUMMIT STATION #3
PRYOR ROAD
LEES SUMMIT, MO 64081

1110 Pryor Road North Kansas City, Missouri 64116 Tel: 816.300.4107 Fax: 816.300.4102

GRADING PLAN
C4.0

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File Name: 301 - Grading.dwg
User: Bartlett & West, Inc.

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Architectural drawing of a building section. The drawing shows a staircase on the left and a room labeled "PIPE CLO" on the right. The drawing is oriented vertically, with the top of the page at the bottom of the image.

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PIPE #1

PIPE #2

PIPE C-11: BEGINNING R. ELEV. = 976.50+
 INSTAL. 44.17' OF 8" HOPE @ 1:4% SLOPE
 INITIAL 20.0' OF 6" HOPE

PIPE A2: BEGINNING R. ELEV. = 976.03+
 INSTAL. 44.17' OF 8" HOPE @ 1:4% SLOPE

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ISSUE DATE	11/02/2017
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EROSION CONTROL NOTES:

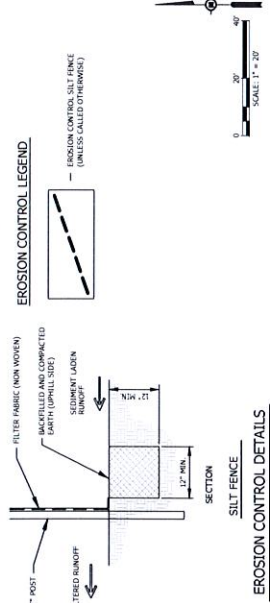
1. THE CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED AND REPAIRED. COPIES OF LOG SHALL BE FURNISHED TO THE ENGINEER.
2. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. THIS PLAN MAY BE UPDATED AS CONSTRUCTION PROGRESSES WITH APPROVAL OF ENGINEER.
3. THE CONTRACTOR SHALL COMPLY WITH THE SOIL EROSION CODE FOR THE CITY OF LEES SUMMIT, MISSOURI.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AS PART OF THIS PLAN SHALL NOT BE REMOVED FOLLOWING CONSTRUCTION UNTIL SLOPES ARE STABILIZED TO A NON-EROSIVE STATE WITH ESTABLISHED GRASS OR AS DIRECTED BY THE ENGINEER.
5. IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ANY PERIMETER EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE, SLOPE PROTECTION, ETC.) TO PREVENT EROSION AND SEDIMENT FROM THE CONSTRUCTION SITE.
6. THE RECOMMENDED PRACTICES OF CONSTRUCTION ACTIVITIES AND OF THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES IS AS FOLLOWS: ANY PERIMETER CONTROL MEASURES (SILT FENCE) INCLUDING AREAS DRAINING TO A DRAINAGE WAY SUCH AS A STREAM, DRAINAGE DITCH, OR TYPICAL DRAINAGE DITCH, SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBING ACTIVITIES. PERIMETER CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED. REMOVAL OF PERIMETER CONTROLS AND SITE CLEANUP.
7. PERIMETER SILT FENCE, BALE DITCH CHECKS AND CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE AASHTO STANDARD SPECIFICATIONS FOR CONSTRUCTION. PERIMETER SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE AASHTO STANDARD SPECIFICATIONS FOR CONSTRUCTION. PERIMETER SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE AASHTO STANDARD SPECIFICATIONS FOR CONSTRUCTION. PERIMETER SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE AASHTO STANDARD SPECIFICATIONS FOR CONSTRUCTION.
8. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR NOT LESS THAN WEEKLY OR WITHIN 24 HOURS AFTER ANY SOIL DISTURBING ACTIVITIES. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SEDIMENT REMOVAL, SILT FENCE AND MAT BALE MAINTENANCE AND/OR REPLACEMENT.
9. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR IN A MANNER THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY AND PAVED STREETS. THIS MAY INCLUDE RESOUCED TOP DRESSING WITH ADDITIONAL CHARGED STONE AS WELL AS OTHER MEASURES TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY AND PAVED STREETS THAT HAVE BEEN SOLED BY CONSTRUCTION ACTIVITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL NOTIFY EACH SUB-CONTRACTOR OR ENTITY INCLUDING UTILITY CREWS AND CITY EMPLOYEES OR THEIR AGENTS THAT WILL BE PERFORMING WORK AT THE SITE OF THE EROSION CONTROL PLAN AND WHAT ACTIONS OR PRECAUTIONS SHALL BE TAKEN TO MINIMIZE THE POTENTIAL FOR SOIL EROSION.
11. DURING ALL SOIL DISTURBING ACTIVITIES, THE GENERAL CONTRACTOR WILL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO PREVENT EROSION AND SEDIMENT FROM THE CONSTRUCTION SITE.
12. NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 7 DAYS OF NON-ACTIVITY WITHOUT BEING INCLUDED AND/OR SEED.
13. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE PLACED ON THE DOWNHILL SLOPE TO TRAP SEDIMENT.
14. WHENEVER SOIL, ROCK, VEGETATION OR OTHER MATERIALS ARE EXPORTED FOR PLACEMENT IN AN AREA OUT OF THE CONSTRUCTION SITE COVERED IN THIS PLAN, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT EROSION AND SEDIMENT FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL NOTIFY EACH SUB-CONTRACTOR OR ENTITY INCLUDING UTILITY CREWS AND CITY EMPLOYEES OR THEIR AGENTS THAT WILL BE PERFORMING WORK AT THE SITE OF THE EROSION CONTROL PLAN AND WHAT ACTIONS OR PRECAUTIONS SHALL BE TAKEN TO MINIMIZE THE POTENTIAL FOR SOIL EROSION.

STORM WATER MANAGEMENT - Sediment Control

1. THIS PLAN OUTLINES STORM WATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL PRACTICES TO BE FOLLOWED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE TO PREVENT SOIL OR SEDIMENT LOSS FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE IN PLACE, INSPECTED AND HAVE BEEN FOUND TO BE SATISFACTORY, AND UNTIL ALL TEMPORARY PRACTICES HAVE BEEN PROPERLY REMOVED.
2. THIS PROJECT HAS BEEN DESIGNED TO MINIMIZE POSITIVE POST CONSTRUCTION CONTROL OF EXCESS STORM WATER GENERATED ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE IN PLACE, INSPECTED AND HAVE BEEN FOUND TO BE SATISFACTORY, AND UNTIL ALL TEMPORARY PRACTICES HAVE BEEN PROPERLY REMOVED.
3. THIS PROJECT IS DESIGNED TO MINIMIZE OFF-SITE EFFECT OF SOIL EROSION AND RESULTING SEDIMENT LOSS THROUGH THE USE OF PROPER CONSTRUCTION TECHNIQUES, INCLUDING INSTALLING BOTH TEMPORARY AND PERMANENT MANAGEMENT PRACTICES. ALL SOIL DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER THAT WILL PREVENT EROSION AND SEDIMENT FROM THE CONSTRUCTION SITE.
4. PROPOSED DETENTION BASINS TO ACT AS SEDIMENT CONTROL BASINS. REFER TO SHEET C6.2 FOR BASIN SIZING. NO OUTLET STRUCTURE IS REQUIRED FOR DETENTION BASINS TO ACT AS SEDIMENT CONTROL BASINS. REFER TO SHEET C6.2 FOR BASIN SIZING. NO OUTLET STRUCTURE IS REQUIRED FOR DETENTION BASINS TO ACT AS SEDIMENT CONTROL BASINS. REFER TO SHEET C6.2 FOR BASIN SIZING. NO OUTLET STRUCTURE IS REQUIRED FOR DETENTION BASINS TO ACT AS SEDIMENT CONTROL BASINS.

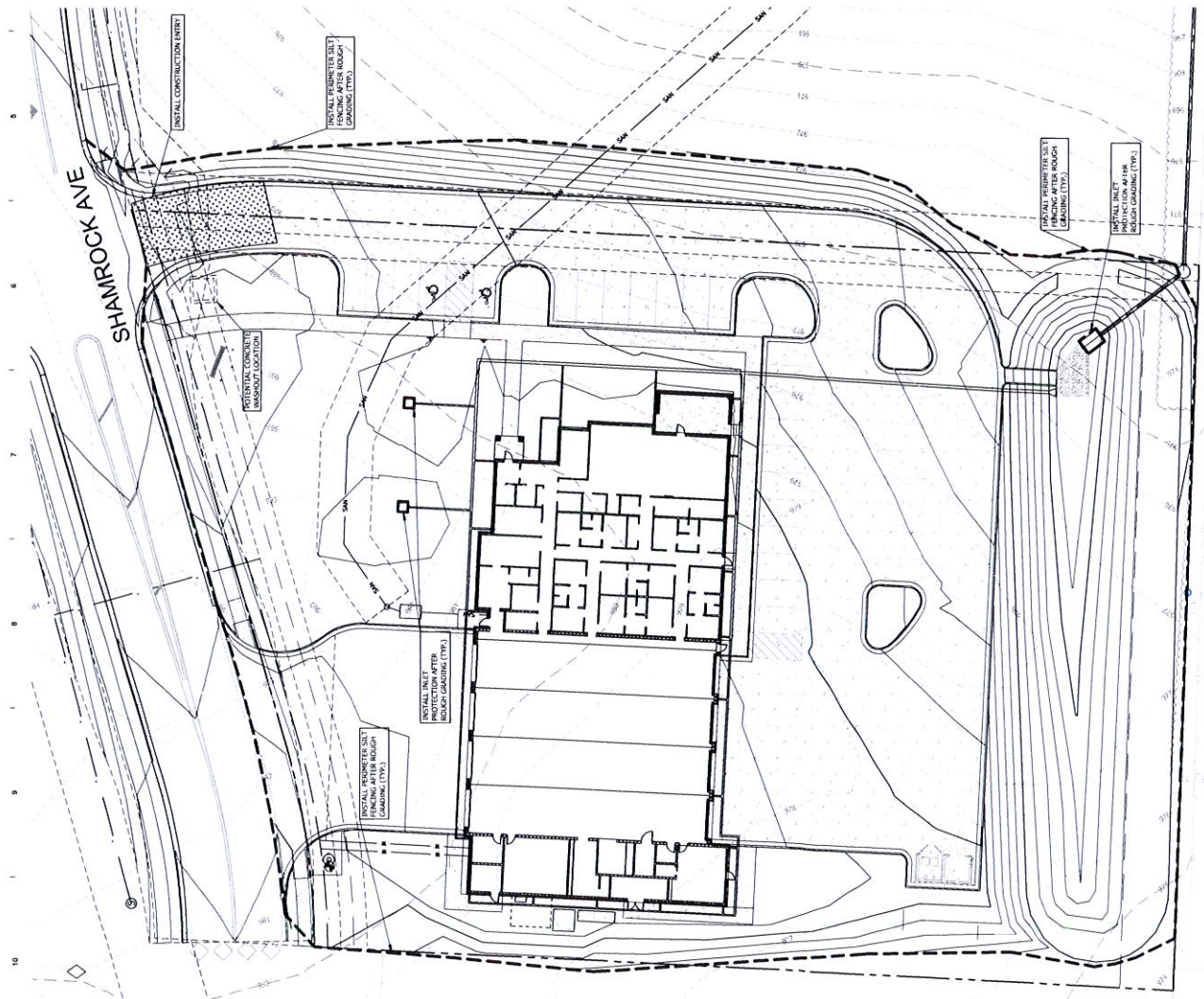
CONSTRUCTION SPECIFICATIONS

1. WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. SILT FENCE SHALL BE FENCED IN WITH A MECHANICAL TRENCHES SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF 6" DEEP AND 6" WIDE TO ALLOW FOR THE SILT FENCE TO BE LAD IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH WOOD SUPPORT POST OR TO WOVEN WIRE WHICH IS IN TURN ATTACHED TO THE WOOD SUPPORT POST.
5. INSPECTION SHALL BE FREQUENT AND REPAIRS OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE UNIFORMLY DISTRIBUTED ON THE SOURCE AREA PRIOR TO DISPOSING.
8. THE EROSION CONTROL SHOWN SHALL BE SILT FENCE. ADDITIONAL EROSION CONTROL INDICATED BY CONTRACTOR MAY BE STAIN FENCE DUNE.



EROSION CONTROL DETAILS

875



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Drawing: 11022017

LEES SUMMIT STATION #3

PRYOR ROAD

LEES SUMMIT, MO 64081

Williams
Spurgeon
Kuhl &
Freshnack
A.L.L.E.R.T. P.C.
Missouri Professional Engineer
#0000011282

EROSION
CONTROL PLAN

C6.0



LANDSCAPE NOTES:

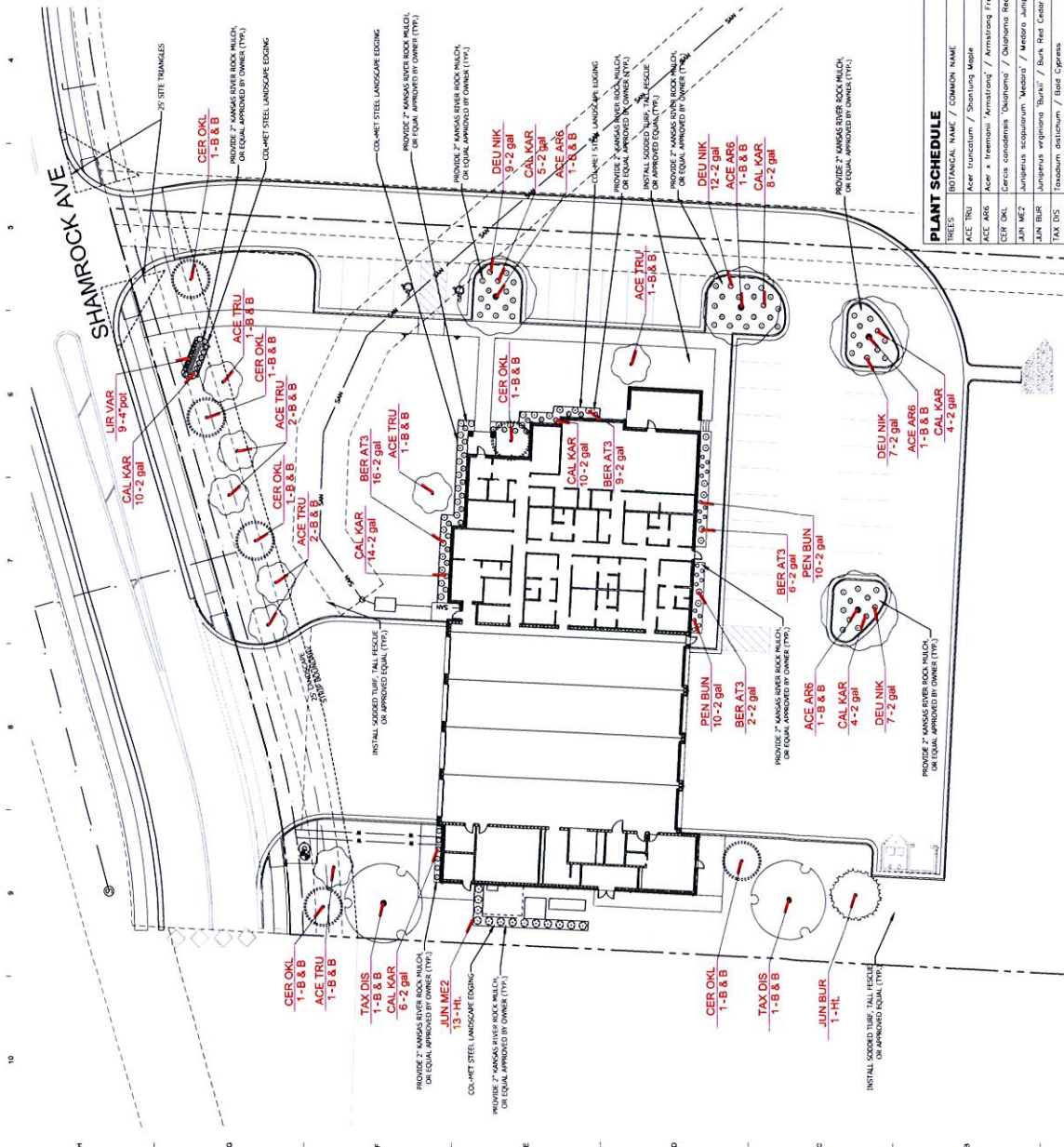
1. GENERAL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR PERIOD OF SIX (6) MONTHS FROM DATE OF PROJECT SUBstantial COMPLETION.
2. ALL PLANT MATERIALS SHALL BE SECURELY Labeled WITH A WATERPROOF TAG INDICATING BotANICAL NAME, AND COMMON NAME FOR DELIVERY TO SITE.
3. EACH TREE AND SHrub SHALL BE SECURELY Labeled WITH A WATERPROOF TAG INDICATING BotANICAL NAME, AND COMMON NAME FOR DELIVERY TO SITE.
4. ALL PLANT MATERIALS SHALL BE Labeled WITH THE NAME OF THE OWNER. ALL PLANTING LOCATIONS FOR TREES AND SHRUBS SHALL BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE OWNER, PRIOR TO INSTALLATION.
5. ALL SPECIFICATIONS AND FIELD CHANGES SHALL BE NOTIFIED TO THE OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. WHEN CONDITIONS CHANGE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CORRECTING ANY SUCH CHANGES AS A RESULT OF FIELD, DESIGN, CONDITIONS OR OBSTRUCTIONS. LANGUAGE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE BEGInNING.
6. THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF AND INSPECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR.
7. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
8. ALL SHRUBS AND TREE PLANTING AREAS SHALL BE EXCAVATED AND BACKFILLED WITH PLANT MIX. PROVIDE FERTILIZER WITH NOT LESS THAN 10% TOTAL NITROGEN WITH PLANT MIX OR AS SPECIFIED. USE DETAILS FOR COMPLETE PLANTING INSTRUCTIONS. PREPARE PLANTING AREAS AND INSTALL PLANTS.
9. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE WITHIN 10 DAYS OF BEGInNING OF WORK. DELIVERY SHALL BE IN ACCORDANCE WITH THE STABLE MANURE AND THESE TENDERS' WORKING WITH FERTILIZING ARE SPECIFIED AND NOTED.
10. ALL SHRUBS SHALL BE INSTALLED IN PROPOSED PLANTING AREAS AND COPIED WITH EVERGREEN BUCK MULCH OR ACCEPTABLE MATERIAL APPROVED BY THE OWNER.
11. ALL PLANTING AREAS SHALL BE EXCAVATED AND BACKFILLED WITH PLANT MIX. PROVIDE FERTILIZER WITH NOT LESS THAN 10% TOTAL NITROGEN WITH PLANT MIX OR AS SPECIFIED. USE DETAILS FOR COMPLETE PLANTING INSTRUCTIONS. PREPARE PLANTING AREAS AND INSTALL PLANTS.
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IRRIGATION NOTE: ALL PARKING LOT ISLANDS AND BUILDING FOUNDATION PLANTING BEDS TO BE DRIP IRRIGATED, ALL OTHER PLANTED OR GREEN SPACE AREAS TO BE IRRIGATED WITH HEAD-TO-HEAD COVERAGE WITHIN THE PROPERTY BOUNDARY. LAYOUT TO BE PROVIDED BY THE PROFESSIONAL LANDSCAPE CONTRACTOR AND APPROVED BY THE OWNER.

PLANT SCHEDULE

SPECIES	BOTANICAL NAME / COMMON NAME				QTY	LANDSCAPE SHIP		OPEN YARD AREAS
	CONT	SIZE	FIELD2	FIELD3				
ACE THU	Acer fructicosum / Shantung Maple	B & B	13'Gal		6			
ACE ARB	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	13'Gal		4			4
GER OAL	Cercis canadensis 'Oshagum' / Oshagum Redbud	B & B	13'Gal		6	4		2
JUN M22	Juniperus scopulorum 'Meebold' / Meebold Juniper	HL	Min. 8' Tail		13			13
JUN BLR	Juniperus virginiana 'Burkii' / Burk Red Cedar	HL	Min. 8' Tail		1			1
TAX D5	Taxodium distichum / Bald Cypress	B & B	13'Gal		2			2
SPECIES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	LANDSCAPE SHIP	OPEN YARD AREAS	
BERF A12	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanese Barberry	2 gal			33		33	
CAL CAR	Calamagrostis x acutiflora 'Xari Favourite' / Feather Reed Grass	2 gal			61	10	51	
DELU NK	Delphinium gracilis 'Naked' / Slender Delphinium	2 gal			35		35	
LIR VAR	Liriodendron 'Variegata' / Variegated Liriodendron	4' pot			9	9		
PEL BUN	Pennisetum glaucum 'Little Bunny' / Little Bunny Fountain Grass	2 gal			20		20	

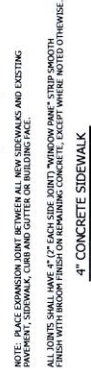
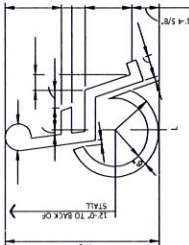
SHRUBS	BOTANICAL NAME / COMMON NAME
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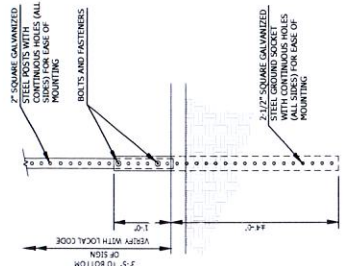


* SLOPE DOWNWARD FROM THE CURB WITH THE SAME MIN. & MAX. SLOPE LIMITS AT LOCATIONS SHOWN ON PLANS OR WHERE SO DIRECTED BY THE ENGINEER

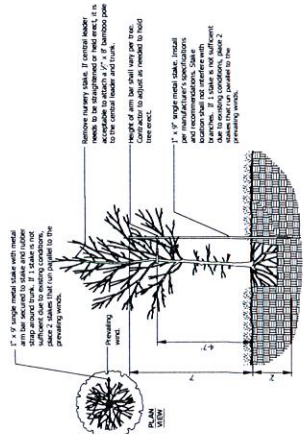
CONCRETE SIDEWALK SECTION

CURB TRANSITION
NIS

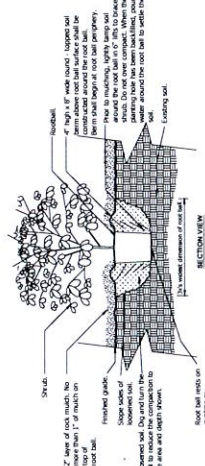
ACCESSIBLE SIGN DETAIL



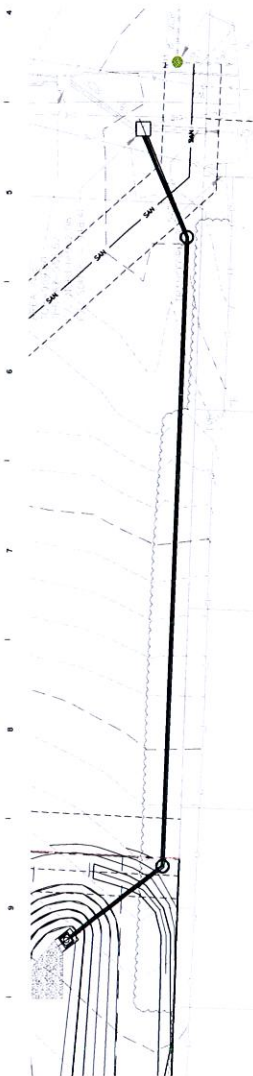
DESIGN POST SLEEVE SUPPORT



TREE STAKING - SINGLE METAL STAKE

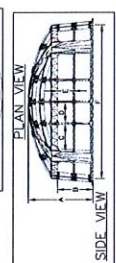
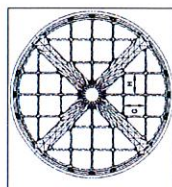
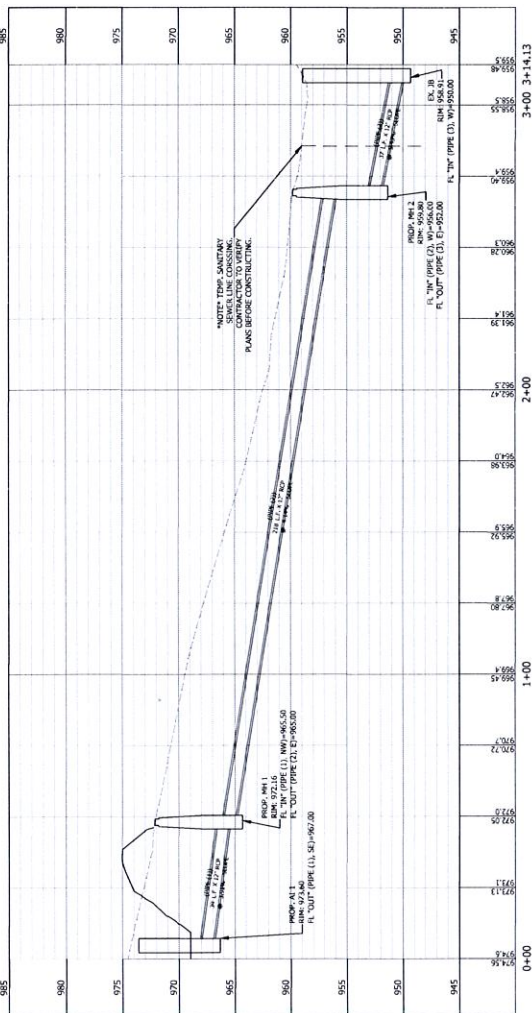


SHRUBS



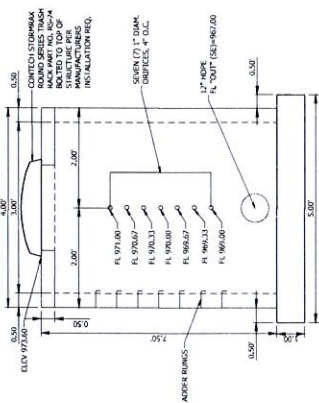
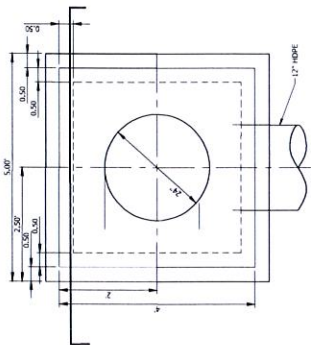
STORM SEWER NOTES

- ANY PIPE LENGTHS SHOWN ON PLAN WILL BE FROM CENTER POINT TO CENTER POINT OF STRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD DRAWINGS SHALL BE MAINTAINED BY CONTRACTOR AND KEPT UP TO DATE AS CONSTRUCTION PROGRESSES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO ENGINEER WORK COMPLETION OF CONSTRUCTION.
- INTAKE GRATES SHALL BE SET TO FINISHED PAVEMENT OR GROUND LEVELS.
- ALL STORM SEWER PIPE AND DRAINAGE STRUCTURE WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS CITY AND STATE CODES, STANDARDS, ORDINANCES, AND REQUIREMENTS IN PLACE AT TIME OF PLAN APPROVAL.
- STORM SEWER MANHOLES STANDARD PRECAST CONCRETE RINGS SHALL BE USED UNLESS OTHERWISE SPECIFIED BY ENGINEERING SERVICES DEPARTMENT. PROVIDE STANDARD FRAME AND LID PER CITY.
- CURB INTAKES ARE STANDARD CURB INTAKES AT A LOW CURB ELEVATION. PROVIDE STANDARD FRAME AND LID PER DEPARTMENT. RESIDES TO BE 4" UP DIA.
- PROVIDE 15' OF 12" RIP RAP AT STORM SEWER OUTLET. GRASSES, CHANGED IN PLACE AT STORM SEWER OUTLET. PAPER INTO DETENTION BASIN.
- PROVIDE 12" MIN. COVER TO TOP OF BOTTOM OF 12" DRAINAGE STRUCTURE. PROVIDE 24" TOP AND BOTTOM.



ROUND SERIES TRASH RACKS										
PART NO.	RACKER									
	CONCRETE INSOLE DIA.	CAP OR HOLES NOMINAL DIA.	A	B	C	D	E	F	G	H
RS-24	27"±	17 1/2"±	13 1/2"±	7 3/4"±	8 1/4"±	8 1/4"±	37 1/2"	8 1/4"±	8 1/4"±	3 1/2"

OUTLET STRUCTURE TRASH RACK

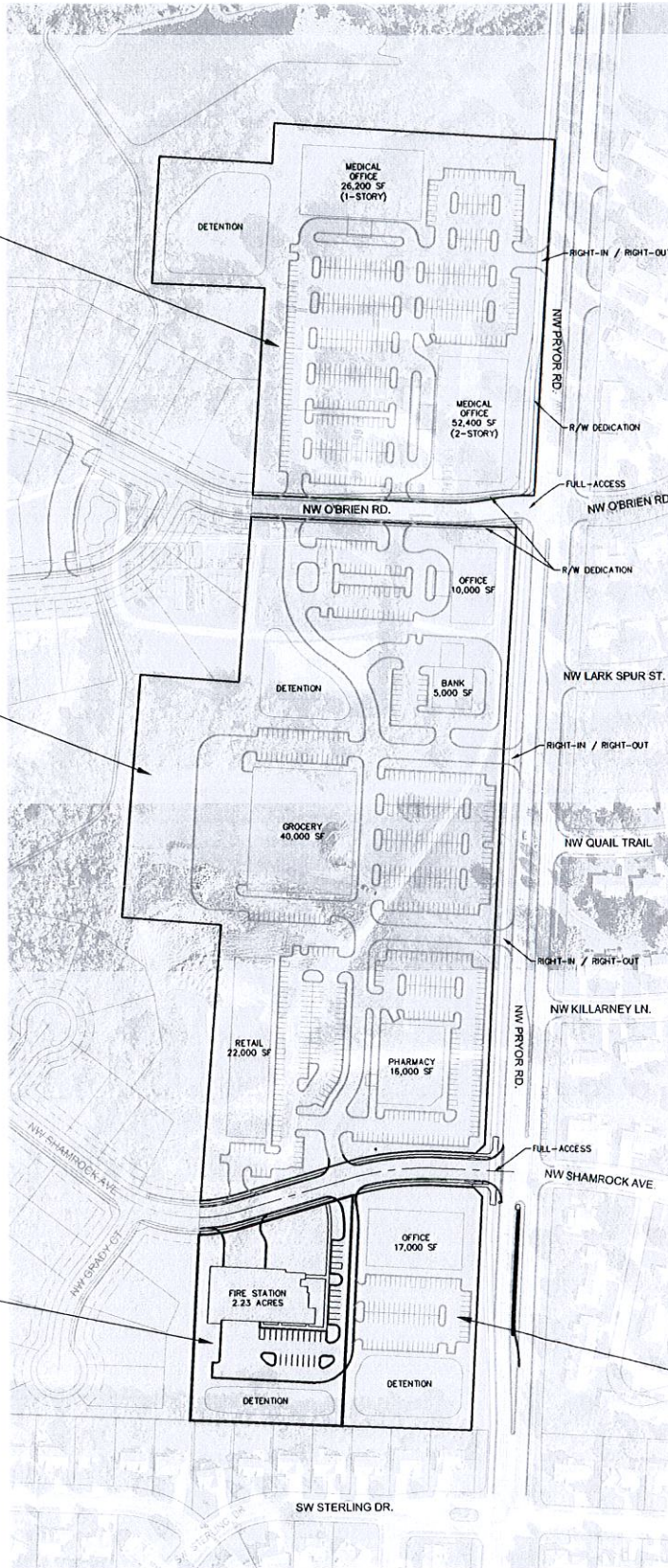
OUTLET STRUCTURE SECTION
NTS

OUTLET STRUCTURE PLAN

CONCEPTUAL PLAN

CONCEPTUAL PLAN

FIRE STATION #3
 PRELIMINARY
 DEVELOPMENT PLAN



CONCEPTUAL PLAN

drawn by: GLL	CONCEPT PLAN	NO. REV.	DATE	REVISIONS DESCRIPTION	BY
checked by: GLL	WEST VILLAGE				
designed by: GLL	PROPOSED COMMERCIAL				
QA/QC by: GLL	LEE'S SUMMIT, MO				
project no: 2018-1001-1500					
date: 2018.08.28					
SHEET 1 OF 1				REVISIONS	

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 www.molssonassociates.com

**Appl. #PL2018-135 – REZONING from RP-3 to PMIX
and PRELIMINARY DEVELOPMENT PLAN
West Pryor, 300 NW Pryor Rd
City of Lee's Summit, applicant**

