

LEGEND:

- A/E

BC

B/B

BM

BL or B.L.

CO

TJB

C&G

D/E

E/E

EL

FL

G/E

HDPE

L/E

MSFE

PVC

P/L

PUB/E

RCP

ROW or R/W

S/E

SL

S/W

TE

U/E

WSE

W/E
- ACCESS EASEMENT

- BACK OF CURB

- BACK TO BACK

- BENCHMARK

- BUILDING LINE

- CLEANOUT

- TELEPHONE JUNCTION BOX

- CURB AND GUTTER

- DRAINAGE EASEMENT

- ELECTRICAL EASEMENT

- ELEVATION

- FLOW LINE

- GAS LINE EASEMENT

- HIGH-DENSITY POLYETHYLENE

- LANDSCAPE EASEMENT

- MINIMUM SERVICEABLE FLOOR ELEVATION

- POLYVINYL CHLORIDE

- PROPERTY LINE

- PUBLIC EASEMENT

- REINFORCED CONCRETE PIPE

- RIGHT-OF-WAY

- SANITARY SEWER EASEMENT

- SERVICE LINE

- SIDEWALK

- TOP ELEVATION

- UTILITY EASEMENT

- WATER SURFACE ELEVATION

- WATERLINE EASEMENT

- ASPHALT PAVEMENT - EXISTING
- ASPHALT PAVEMENT - PROPOSED
- CONCRETE PAVEMENT - EXISTING
- ASPHALT PAVEMENT - EXISTING
- CONCRETE SIDEWALK - EXISTING
- CONCRETE SIDEWALK - PROPOSED
- CURB & GUTTER
- CURB & GUTTER - EXISTING
- TREELINE
- EXISTING LOT AND R/W LINES
- EXISTING PLAT LINES
- P/L

PROPERTY LINES
- ROW

RIGHT-OF-WAY
- SANITARY SEWER MAIN
- SANITARY SEWER MAIN - EXIST.
- STO

STORM SEWER
- STORM SEWER - EXISTING
- CABLE TV - EXISTING
- FOC_x

FIBER OPTIC CABLE - EXISTING
- T_x

TELEPHONE LINE - EXIST.
- E_x

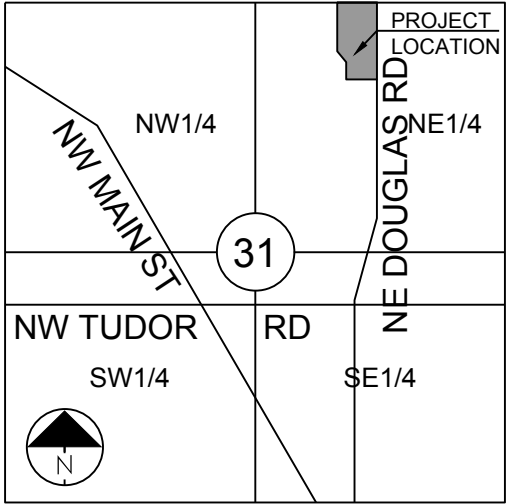
ELECTRIC LINE - EXISTING
- OHP_x

OVERHEAD POWER LINE - EXIST.
- UG_x

UNDERGROUND ELECTRIC - EX.
- G_x

GAS LINE - EXISTING
- W_x

WATERLINE - EXISTING
- LIGHT - EXISTING
- EXISTING MANHOLE
- CLEANOUT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING AREA INLET
- EXISTING CURB INLET
- EXISTING GRATE INLET
- EXISTING JUNCTION BOX
- EXISTING STORM MANHOLE



SECTION 31-48-31

LOCATION MAP
SCALE 1" = 2000'

UTILITY CONTACTS:

MISSOURI DEPARTMENT OF
TRANSPORTATION (MODOT)

Steve Holloway
600 NE Colbern Road
Lee's Summit, MO 64086
(816) 607-2186

MISSOURI GAS ENERGY (MGE)

Brent Jones
3025 SE Clover Drive
Lee's Summit, MO 64082
(816) 399-9633
brent.jones@spireenergy.com

KANSAS CITY POWER & LIGHT
COMPANY (KCP&L)

Ron Dejamette
1300 SE Hamblin Road
Lee's Summit, MO 64081
Office: (816) 347-4316
Cell: (816) 810-5234
ron.dejamette@kcpl.com

CITY OF LEES SUMMIT PUBLIC WORKS

Dena Mezger
220 SE Green Street
Lee's Summit, MO 64063
(816) 969-1800

AT&T

Mark Manion or Marty Loper
500 E. 8th Street, Room 370
Kansas City, MO 64106
(816) 275-2341 or (816) 275-1550

COMCAST CABLE

Barbara Brown
3400 W. Duncan Road
Blue Springs, MO 64015
(816) 795-2255

PUBLIC WATER SUPPLY DISTRICT

Mark Schaeffer
220 SE Green Street
Lee's Summit, MO 64063
(816) 969-1900

GENERAL NOTES:

- ALL CONSTRUCTION TO FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF LEE'S SUMMIT, MISSOURI.
- LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS, NOT SLOPE MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS.
- NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.": 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
- THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER.
- ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
- THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASED OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
- ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
- SUBGRADE SOIL FOR ALL CONCRETE STRUCTURES, REGARDLESS OF THE TYPE OR LOCATION, SHALL BE FIRM, DENSE AND THOROUGHLY COMPACTED AND CONSOLIDATED; SHALL BE FREE FROM MUCK AND MUD; AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET OF THE WORKMEN OR MACHINERY ENGAGED IN SUBGRADE SURFACING, LAYING REINFORCING STEEL, AND DEPOSITING CONCRETE THEREON. IN ALL CASES WHERE SUBSOIL IS MUCKY OR WORKS INTO MUD OR MUCK DURING SUCH OPERATIONS, A SEAL COURSE OF EITHER CONCRETE OR ROCK SHALL BE PLACED BELOW SUBGRADE TO PROVIDE A FIRM BASE FOR WORKING AND FOR PLACING THE FLOOR SLAB.
- THE CONTRACTOR SHALL CONTACT PUBLIC WORKS INSPECTIONS AT: 816-969-1800 TO OBTAIN A PUBLIC WORKS CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO PERMIT ISSUANCE. THE CONTRACTOR SHALL CONTACT THE CITY'S EROSION CONTROL SPECIALIST AT: 816-969-1800 PRIOR TO ANY LAND DISTURBANCE.
- THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
- ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL, INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.

GRADING/EARTHWORK NOTES:

- REFER TO GEOTECHNICAL REPORT FOR ALL COMPACTION REQUIREMENTS AND ASPHALT AND CONCRETE RECOMMENDED THICKNESS AND SUBGRADE TREATMENTS.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LENEXA TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM AERIAL PHOTOGRAMMETRY AND FIELD, SPOT CHECKED BY SCHLAGEL AND ASSOCIATES, P.A., CONTRACTOR TO FIELD VERIFY ELEVATIONS. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF MATERIAL.

EARTHWORK:

- IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER OBSERVE AND DOCUMENT ALL EARTHWORK ACTIVITIES.
- CONTOURS HAVE BEEN SHOWN AT 1-FOOT OR 2-FOOT INTERVALS, AS INDICATED. GRADING SHALL CONSIST OF COMPLETING THE EARTHWORK REQUIRED TO BRING THE PHYSICAL GROUND ELEVATIONS OF THE EXISTING SITE TO THE FINISHED GRADE (OR SUB-GRADE) ELEVATIONS PROVIDED ON THE PLANS AS SPOT GRADES, CONTOURS OR OTHERS MEANS AS INDICATED ON THE PLANS.
- THE EXISTING SITE TOPOGRAPHY DEPICTED ON THE PLANS BY CONTOURING HAS BEEN ESTABLISHED BY AERIAL PHOTOGRAPHY AND FIELD VERIFIED BY G.P.S. OBSERVATION NEAR JULY 18TH, 2016. THE CONTOUR ELEVATIONS PROVIDED MAY NOT BE EXACT GROUND ELEVATIONS, BUT RATHER INTERPRETATIONS OF SUCH. ACCURACY SHALL BE CONSIDERED TO BE SUCH THAT NOT MORE THAN 10 PERCENT OF SPOT ELEVATION CHECKS SHALL BE IN ERROR BY MORE THAN ONE-HALF THE CONTOUR INTERVAL PROVIDED, AS DEFINED BY THE NATIONAL MAP ACCURACY STANDARDS. ANY QUANTITIES PROVIDED FOR EARTHWORK VOLUMES ARE ESTABLISHED USING THIS TOPOGRAPHY CONTOUR ACCURACY, AND THEREFORE THE INHERENT ACCURACY OF ANY EARTHWORK QUANTITY IS ASSUMED FROM THE TOPOGRAPHY ACCURACY.
- PROPOSED CONTOURS ARE TO APPROXIMATE FINISHED GRADE.
- UNLESS OTHERWISE NOTED, PAYMENT FOR EARTHWORK SHALL INCLUDE BACKFILLING OF THE CURB AND GUTTER, SIDEWALK AND FURTHER MANIPULATION OF UTILITY TRENCH SPOILS. THE SITE SHALL BE LEFT IN A MOWABLE CONDITION AND POSITIVE DRAINAGE MAINTAINED THROUGHOUT.
- UNLESS OTHERWISE NOTED, ALL EARTHWORK IS CONSIDERED UNCLASSIFIED. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ROCK OR SHALE EXCAVATION, UNLESS SPECIFICALLY STATED OTHERWISE.
- PRIOR TO EARTHWORK ACTIVITIES, PRE-DISTURBANCE EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE PER THE STORM WATER POLLUTION PREVENTION PLAN AND/OR THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THIS SITE.
- ALL TOPSOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED AND STOCKPILED ADJACENT TO THE SITE AT AN AREA SPECIFIED BY THE PROJECT OWNER OR HIS APPOINTED REPRESENTATIVE. VEGETATION, TRASH, TREES, BRUSH, TREE ROOTS AND LIMBS, ROCK FRAGMENTS GREATER THEN 6-INCHES AND OTHER DELETERIOUS MATERIALS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE OR AS DIRECTED BY THE OWNER OR HIS APPOINTED REPRESENTATIVE.
- UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT, ALL FILLS SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (AASHTO T99/ASTM 698).
- SUBGRADE FOR PAVEMENTS SHALL BE PROOF-ROLLED PRIOR TO PAVING OPERATIONS UTILIZING A FULLY LOADED TANDEM AXLE DUMP TRUCK. ALL AREAS EXHIBITING EXCESSIVE PUMPING AND HEAVING SHALL BE REMOVED, FILLED AND COMPACTED WITH SUITABLE MATERIALS AND RETIRED UNTIL ACCEPTABLE RESULTS ARE ACHIEVED AND FINAL APPROVAL HAS BEEN OBTAINED FROM THE GEOTECHNICAL ENGINEER.
- SUBGRADE FOR BUILDING PAD SHALL INCLUDE A MINIMUM OF 18-INCHES OF LOW VOLUME CHANGE (LVC) MATERIAL, OR AS IDENTIFIED IN THE SITE SPECIFIC GEOTECHNICAL REPORT.
- FILL MATERIALS SHALL BE PER GEOTECHNICAL REPORT AND SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR TOPSOIL. ALL FILLS PLACED ON SLOPES GREATER THAN 6:1 SHALL BE BENCHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING THE TOPSOIL OVER PROPOSED TURF AND LANDSCAPED AREAS TO A MINIMUM DEPTH OF 6-INCHES BELOW FINAL GRADE.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. UNLESS NOTED OTHERWISE THE FOLLOWING GRADES SHALL APPLY:
 - TURF AREAS - 2.5% MINIMUM, 4H:1V MAXIMUM
 - PAVED AREAS - 1.2% MINIMUM, 5% MAXIMUM
- A.D.A. PARKING STALLS SHALL NOT BE SLOPED GREATER THEN 2% IN ANY DIRECTION AND CONSTRUCTED PER A.D.A. REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE FERTILIZED, SEEDED AND MULCHED IMMEDIATELY AFTER EARTHWORK ACTIVITIES HAVE CEASED. SEEDING SHALL BE PER THE EROSION AND SEDIMENT CONTROL PLAN AND/OR LANDSCAPE PLAN. IF NOT SPECIFIED SEEDING SHALL BE PER APWA SECTION 2400, LATEST EDITION. UNLESS OTHERWISE NOTED, SEEDING SHALL BE SUBSIDIARY TO THE CONTRACT PRICE FOR EARTHWORK AND GRADING ACTIVITIES.
- ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SODDED.
- UNDERDRAINS ARE RECOMMENDED FOR ALL PAVED AREAS ADJACENT TO IRRIGATED TURF AND LANDSCAPED BEDS.
- CONTRACTOR SHALL ADHERE TO THE REPORTING REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED AND KEPT CLEAN OF SILT AND DEBRIS AND IN GOOD WORKING ORDER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.

UTILITIES:

- EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY FLOW-LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE STRUCTURES.
- UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, CONCRETE ENCASEMENT OF THE SANITARY OR STORM SEWER LINE SHALL BE REQUIRED 10 FEET IN EACH DIRECTION OF THE CONFLICT.
- PAYMENT FOR TRENCHING, BACKFILLING, PIPE EMBEDMENT, FLOWABLE FILL, BACKFILL MATERIALS, CLEAN UP, SEEDING, SODDING AND ANY OTHER ITEMS NECESSARY FOR THE CONSTRUCTION OF THE UTILITY LINE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48-HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
- TRENCH SPOILS SHALL BE NEATLY PLACED ONSITE ADJACENT TO THE TRENCH, AND COMPACTED TO PREVENT SATURATION AND EXCESS SEDIMENT RUNOFF. UNSUITABLE MATERIALS, EXCESS ROCK AND SHALE, ASPHALT, CONCRETE, TREES, BRUSH ETC. SHALL BE PROPERLY DISPOSED OF OFFSITE. MATERIALS MAY BE WASTED ONSITE AT THE DIRECTION OF THE OWNER OR HIS APPOINTED REPRESENTATIVE.

NOTE:

TRENCH CHECKS TO BE INSTALL ON ALL SANITARY SEWER SERVICE LINES IN ACCORDANCE WITH CITY OF LEE'S SUMMIT STANDARDS.

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	GENERAL LAYOUT PLAN
C2.0	GRADING PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C3.2	EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C4.1	UTILITY DETAILS
C5.0	CURB AND PAVEMENT DETAILS
C5.1	SITE DETAILS
L1.0	LANDSCAPE PLAN
--	L2.0LANDSCAPE DETAILS
L2.1	LANDSCAPE DETAILS
IR1.0	IRRIGATION DESIGN STANDARDS

PREPARED AND SUBMITTED BY:

SCHLAGEL & ASSOCIATES, P.A.

OWNER/DEVELOPER:

OAK VIEW LEES SUMMIT LLC
JONATHAN BUCHANAN
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442
f -
JBUCHANAN@OAKVIEWCP.COM



SCHLAGEL & ASSOCIATES, P.A.
Engineers•Planners•Surveyors•Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #AC2001003237 #LS200200859-F

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
DRAWN BY: DGF/JTS	
CHECKED BY: JTS	
DATE PREPARED: 9-11-18	
PROJ. NUMBER: 17-135	
	WALL & ASI #8

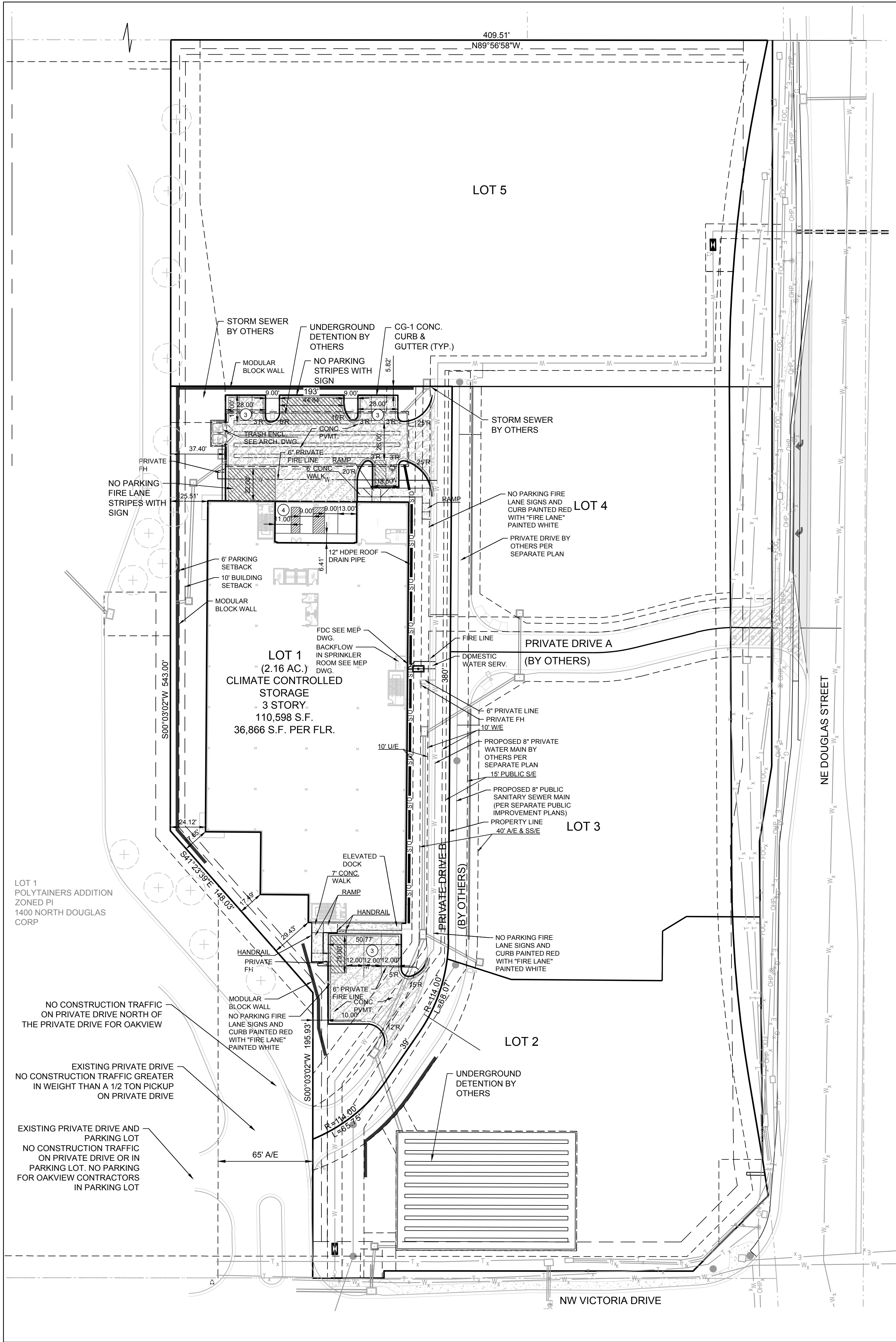
COVER SHEET

SHEET

C0.0
OF



I:\PROJECTS\2021\17-1953.0 Design\3.0 DWG Plans\4.0 SDP BUILDING\17-135 SDP BLDG GEN.dwg, 9/11/2018 2:31:12 PM, 1:1



- LEGEND:**
- A/E - ACCESS EASEMENT
 - BM - BENCHMARK
 - BL or B.L. - BUILDING LINE
 - CO - CLEANOUT
 - TJB - TELEPHONE JUNCTION BOX
 - D/E - DRAINAGE EASEMENT
 - E/E - ELECTRICAL EASEMENT
 - FL - FLOW LINE
 - G/E - GAS LINE EASEMENT
 - HDPE - HIGH-DENSITY POLYETHYLENE
 - PVC - POLYVINYL CHLORIDE
 - P/L - PROPERTY LINE
 - PUB/E - PUBLIC EASEMENT
 - RCP - REINFORCED CONCRETE PIPE
 - ROW or R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - SL - SERVICE LINE
 - SS/E - STORM SEWER EASEMENT
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - ROW - RIGHT-OF-WAY
 - SANITARY SEWER MAIN
 - SANITARY SEWER MAIN - EXIST.
 - STO - STORM SEWER
 - STORM SEWER - EXISTING
 - CATV_x - CABLE TV - EXISTING
 - FOC_x - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - OHP_x - OVERHEAD POWER LINE - EXIST.
 - UGE_x - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING
 - LIGHT - EXISTING
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE
- PAVEMENT LEGEND:**
- ASPHALT PAVEMENT
 - 4" CONCRETE SIDEWALK
 - 8" CONCRETE DRIVE
 - TYPE "B" - CURB & GUTTER
 - TYPE "B" - CURB & GUTTER - DRY
 - EXISTING CURB & GUTTER

OVERALL LEGAL DESCRIPTION

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.

GENERAL NOTES:

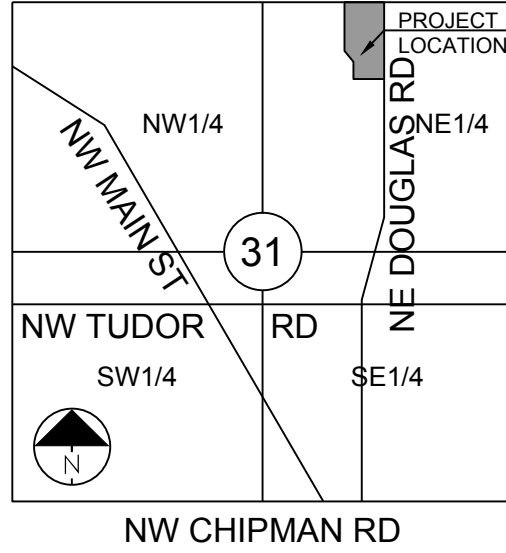
- BOUNDARY IS BASED ON THE FINAL PLATS OF LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2. The bases of bearing (N89°56'58"W) is based on the North line of the NE 1/4, Sec. 31-48N-31W as shown on the final plats of LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2.
- ADJACENT PROPERTY LINES ARE BASED ON RECORDED PLATS.
- EXISTING ROAD, SIDEWALK, AND SITE IMPROVEMENTS AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- TOPOGRAPHY FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION.
- AN EASEMENT OR LICENSE WILL, GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "U/E" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
- THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
- ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS.
- ALL ROADWAYS, PRIVATE DRIVES, PARKING DRIVE AISLES, AND PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
- ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
- BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
- PARKING LOT DESIGN MUST MEET THE UDO ARTICLE 12 REQUIREMENTS AND THE PRIVATE DRIVE MUST MEET PUBLIC STREET DESIGN STANDARDS PER THE DESIGN AND CONSTRUCTION MANUAL SECTION 5200.

SITE DATA

EXISTING ZONING	PI
CLIMATE CONTROLLED STORAGE	
LOT 1 AREA	2.16 ACRES (94,089.60 S.F.)
TOTAL BUILDING AREA	110,598 S.F.
BUILDING FOOTPRINT AREA	36,908.51 S.F.
PAVEMENT AREA	12,480.28 S.F.
TOTAL IMPERVIOUS AREA	49,388.79 S.F.
FLOOR AREA RATIO	1.18 FAR

PARKING DATA

	PARKING REQUIRED	PARKING PROPOSED
LOT 1	8 SPACES (PER FACILITY & 1 PER EMPLOYEE MAX SHIFT)	14 SPACES



SECTION 31-48-31

LOCATION MAP
SCALE 1" = 2000'

PRELIMINARY

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

DRAWN BY:	DSF/JTS
CHECKED BY:	JTS
DATE PREPARED:	9-11-18
PROJ. NUMBER:	17-135

GENERAL
LAYOUT PLAN

SHEET

C1.0
OF

FLOOD NOTE:

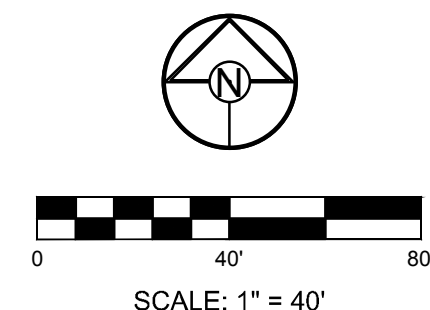
According to the Flood Insurance Rate Map of FEMA panel 409 of 625 for map number 20095C0409G dated January 20, 2017 and panel 417 of 625 for map number 29095C0417G dated January 20, 2017, the project lies outside of any identified FEMA floodplain.

OWNER/DEVELOPER:

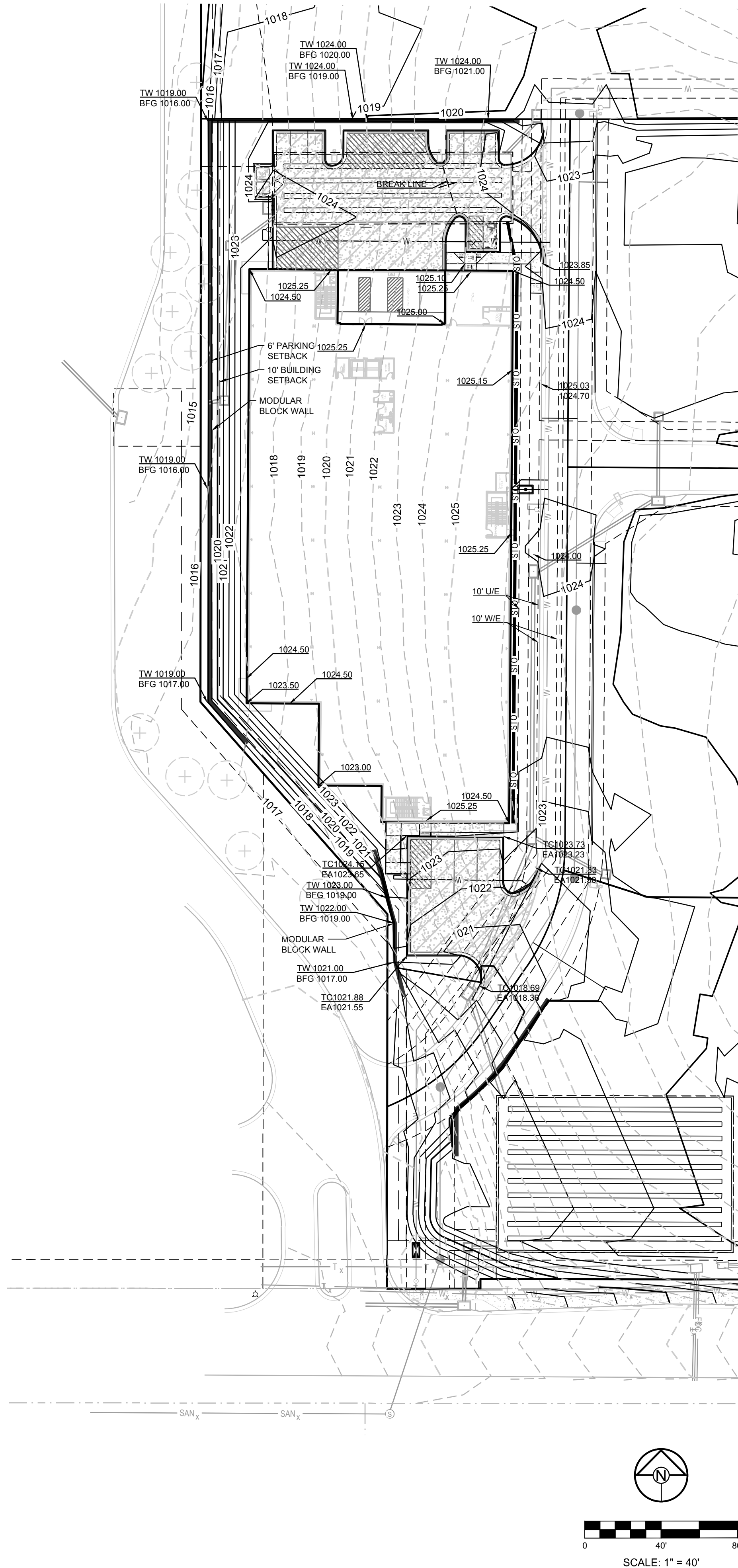
UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:

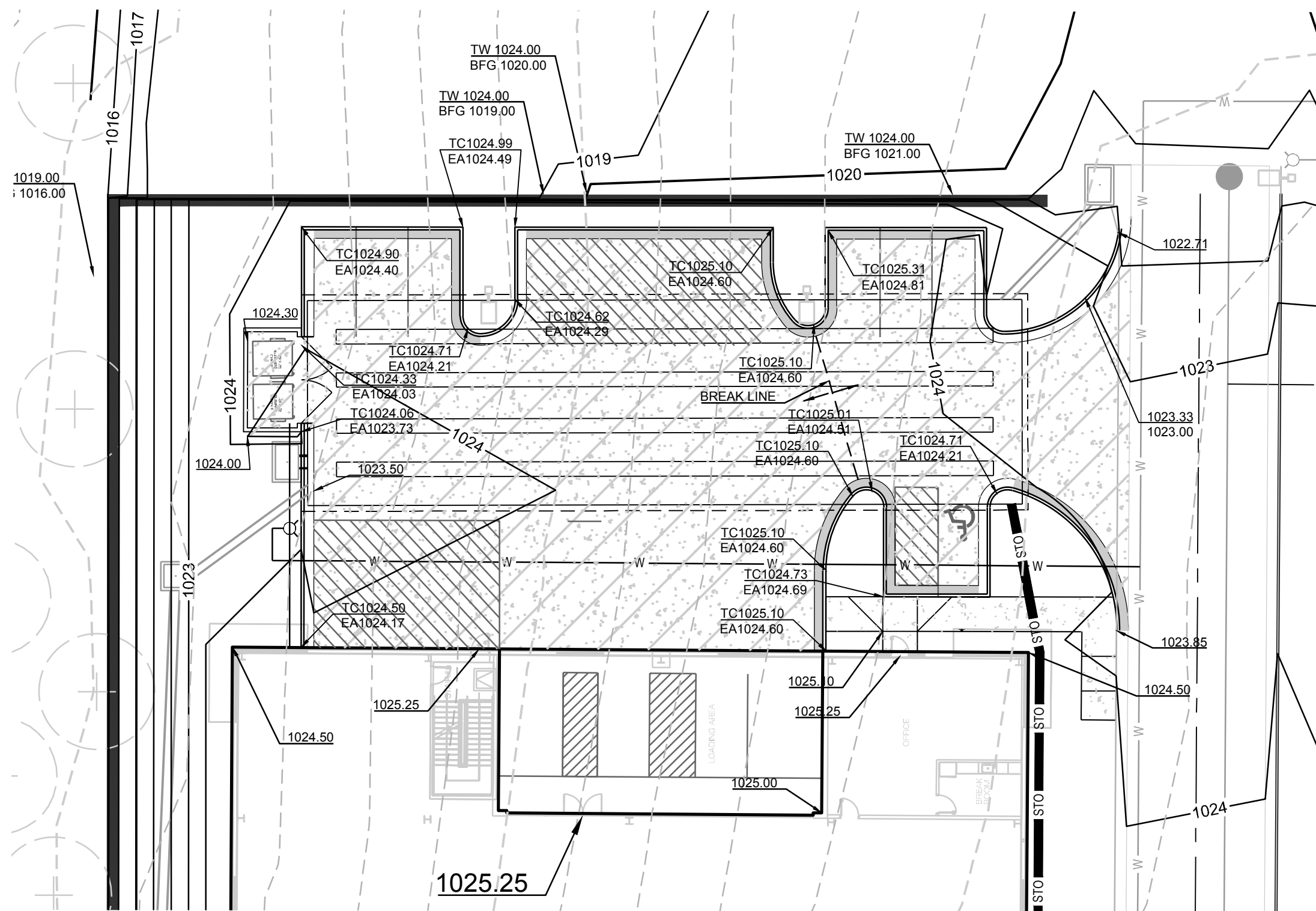
OAK VIEW LEES SUMMIT LLC
201 HAWKS RIDGE TRAIL
COLLEEVILLE, TX 76034
p 214-460-8442



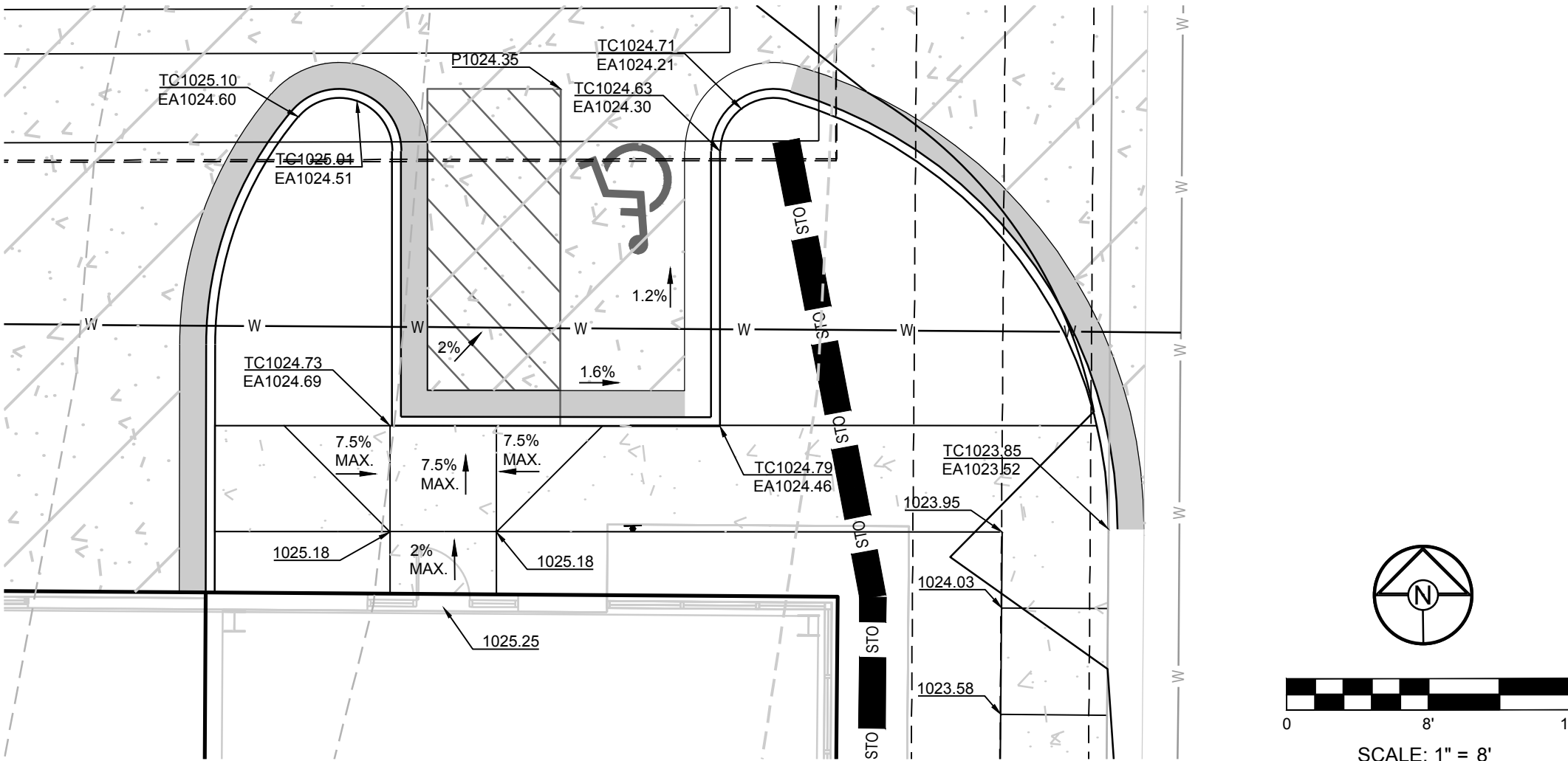
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1 SOUTH PARKING AREA GRADING DETAIL



2 NORTH PARKING AREA GRADING DETAIL



3 ACCESSIBLE PARKING GRADING DETAIL

RETAINING WALL NOTES:

1. RETAINING WALL DESIGN IS BY THE CONTRACTOR, WALL SUPPLIER, OR OWNER CONSULTANT. SCHLAGEL & ASSOCIATES, P.A. IS NOT RESPONSIBLE FOR THE RETAINING WALL DESIGN. BOTTOM OF WALL FINISH GRADE (BFG) IS AT EXISTING GRADE. BOTTOM OF WALL TO BE DETERMINED BY WALL DESIGNER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR THE WALL.

GRADING LEGEND:

- EXXX
XX XX
XX XX
F.F.E.
- EXTG. SPOT ELEVATION
PROPOSED TOP OF CURB ELEV.
OR LIP OF CURB OR SPOT ELEVATION
FINISHED FLOOR ELEVATION
- 1023 ---
--- 1023 ---
- EXISTING CONTOUR
PROPOSED CONTOUR
- * - ALL SIDEWALKS TO BE INSTALLED WITH A 2.0% MAXIMUM CROSS SLOPE.
- LEGEND
- BFG
BW
TW
P
TC
- BOTTOM OF WALL FINISH GRADE ELEVATION
BOTTOM OF WALL
TOP OF WALL ELEVATION
PAVEMENT ELEVATION
TOP OF CURB ELEVATION

GENERAL GRADING/EARTHWORK NOTES:

1. All earthwork shall conform to the Geotechnical Report prepared for this specific project. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
3. The existing site topography depicted on the plans by contouring has been established by field verified prepared by Schlager and Associates, P.A. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
4. Proposed contours are to approximate finished grade.
5. Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a mowable condition and positive drainage maintained throughout.
6. Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
7. Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
8. All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
9. Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a modified proctor test.
10. Subgrade for pavements shall be proof-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and retested until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
11. Subgrade for building pads shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the site specific Geotechnical Report.
12. Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
13. The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
14. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - a. Turf Areas - 2.5% Minimum, 4H:1V Maximum
 - b. Paved Areas - 1.2% Minimum, 5% Maximum
15. A.D.A. parking stalls shall not be sloped greater than 2% in any direction and constructed per A.D.A. requirements.
16. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to contract price for earthwork and grading activities.
17. All disturbed areas in the right-of-way shall be sodded, per city requirements.
18. Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
19. Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.
20. RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
21. PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
22. ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
23. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
24. EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY R.L. BUFORD & ASSOCIATES LLC - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
25. ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
26. ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
27. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
28. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
29. RETAINING WALL DESIGN IS BY THE CONTRACTOR, WALL SUPPLIER, OR OWNER CONSULTANT. SCHLAGEL & ASSOCIATES, P.A. IS NOT RESPONSIBLE FOR THE RETAINING WALL DESIGN. BOTTOM OF WALL FINISH GRADE (BFG) IS AT EXISTING GRADE. BOTTOM OF WALL TO BE DETERMINED BY WALL DESIGNER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR THE WALL.

FLOOD NOTE:

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OWNER/DEVELOPER:

OAK VIEW LEES SUMMIT LLC
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

PRELIMINARY

SCHLAGEL & ASSOCIATES, P.A.
Engineers-Planners-Surveyors-Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM

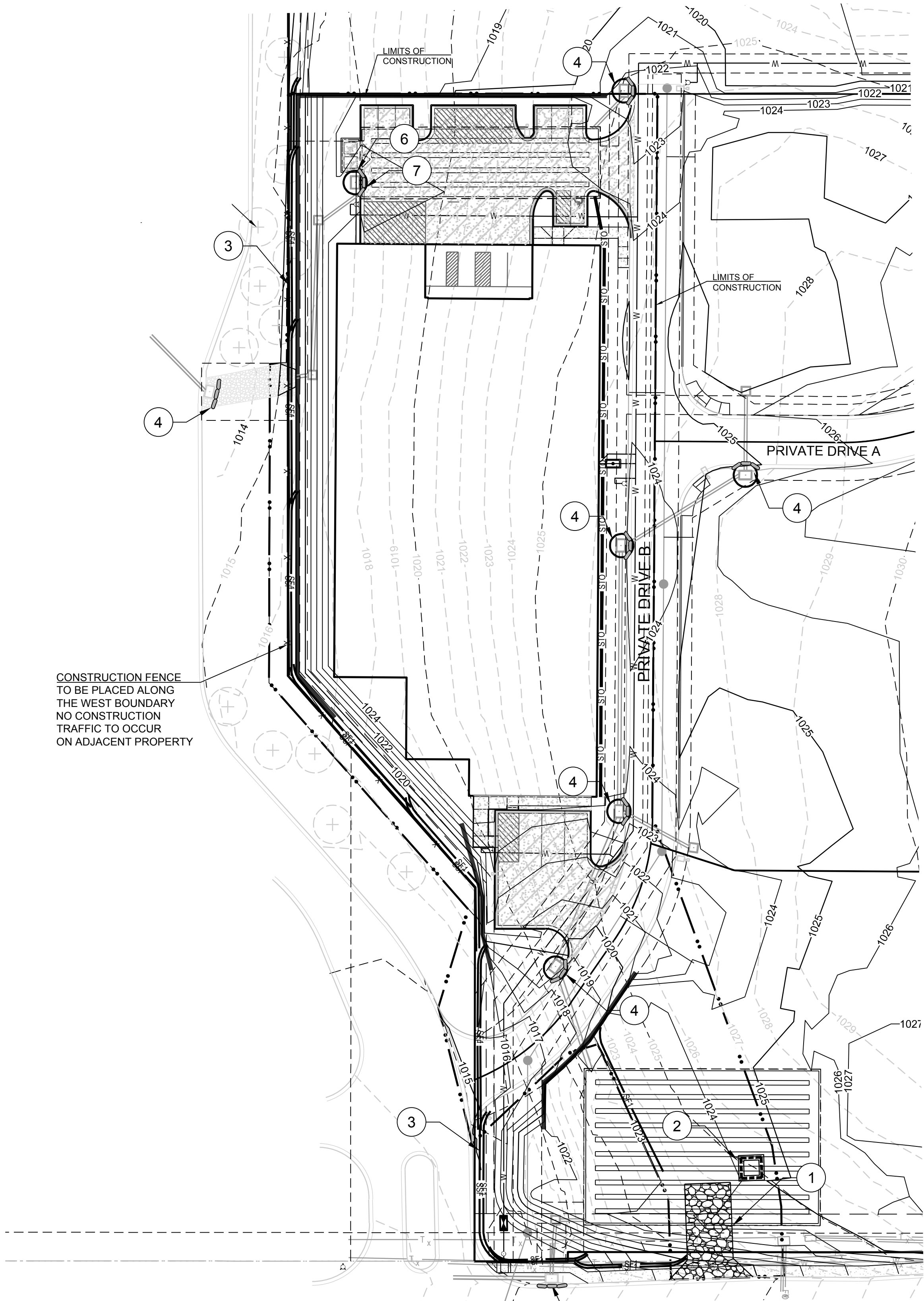
REVISION DATE	DESCRIPTION
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2	2
3	3
4	4
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6	6
7	7
8	8

GRADING PLAN

SHEET

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OF

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LEES SUMMIT SITE SPECIFIC NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES ON THE SITE.
3. **THE DRAINAGE FEATURE THROUGH THE MIDDLE OF THE SITE IS A PROTECTED AREA. NO CONSTRUCTION EQUIPMENT OR ACTIVITY IS ALLOWED IN THESE AREAS UNLESS A SPECIFIC PERMIT/PERMISSION FROM THE GOVERNING AUTHORITY HAS BEEN OBTAINED.**
4. A SWPPP HAS BEEN PREPARED FOR THIS PROJECT AND IS INCORPORATED INTO THIS EROSION CONTROL PLAN BY REFERENCE. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE SWPPP IMPLEMENTATION AND REPORTING REQUIREMENTS.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
6. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
7. SOIL STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED AFTER PERIODS OF INACTIVITY IN CONSTRUCTION OF GREATER THAN 7 DAYS. INITIAL STABILIZATION MUST BE COMPLETED WITHIN 21 DAYS.
8. ALL SILT FENCE AND EROSION CONTROL MEASURES THAT ARE PLACED PRIOR TO LAND DISTURBANCE WILL BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL CONTRACTORS ON SITE.
9. AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE ESTABLISHED IMMEDIATELY AFTER THE CONSTRUCTION IN THAT AREA IS COMPLETE.
10. ALL PUBLIC STREETS SHALL BE KEPT CLEAN PER THE SWPPP AND CITY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. ALL WORK IN PUBLIC EASEMENTS AND RIGHT-OF-WAY AND ALL EROSION CONTROL WORK MUST COMPLY WITH THE LATEST EDITION OF THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS, OF THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY/KANSAS CITY, KANSAS. IF ANY OF THE GENERAL NOTES CONFLICT WITH THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS, OF THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY/KANSAS CITY, KANSAS (THE UG), THE UG'S STANDARDS SHALL OVERRIDE.
2. THE CONTRACTOR SHALL MAINTAIN INSTALLED EROSION AND SEDIMENT CONTROL DEVICES IN A MANNER THAT PRESERVES THEIR EFFECTIVENESS FOR PREVENTING SEDIMENT FROM LEAVING THE SITE OR ENTERING A SENSITIVE AREA SUCH AS A NATURAL STREAM CORRIDOR, AREAS OF THE SITE INTENDED TO BE LEFT UNDISTURBED, A STORM SEWER, OR AN ON-SITE DRAINAGE CHANNEL.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL FOR THE DURATION OF A PROJECT. IF THE ENGINEER DETERMINES THAT THE BMPs IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL.
4. CONCRETE WASH OR RINSEWATER FROM CONCRETE MIXING EQUIPMENT, TOOLS AND/OR READY-MIX TRUCKS, TOOLS, ETC. MAY NOT BE DISCHARGED INTO OR BE ALLOWED TO RUN DIRECTLY INTO ANY EXISTING WATER BODY OR STORM INLET. ONE OR MORE LOCATIONS FOR CONCRETE WASH OUT WILL BE DESIGNATED ON SITE, SUCH THAT DISCHARGES DURING CONCRETE WASHOUT WILL BE CONTAINED IN A SMALL AREA WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER EVAPORATED OR INFILTRATED INTO THE GROUND.
5. CHEMICALS OR MATERIALS CAPABLE OF CAUSING POLLUTION MAY ONLY BE STORED ON-SITE IN THEIR ORIGINAL CONTAINER. MATERIALS STORED OUTSIDE MUST BE IN CLOSED AND SEALED WATER-PROOF CONTAINERS AND LOCATED OUTSIDE OF DRAINAGEWAYS OR AREAS SUBJECT TO FLOODING. LOCKS AND OTHER MEANS TO PREVENT OR REDUCE VANDALISM SHALL BE USED. SPILLS WILL BE REPORTED AS REQUIRED BY LAW AND IMMEDIATE ACTIONS TAKEN TO CONTAIN THEM.
6. THE PERMITTEE SHALL, UPON INITIATION OF CONSTRUCTION ACTIVITIES, DETERMINE AN INITIAL ROUTINE INSPECTION MONITORING PERIOD BASED ON THE START DATE OF CONSTRUCTION ACTIVITIES AND A ROUTINE MONITORING FREQUENCY OF EITHER 14 DAYS OR A DIFFERENT MONITORING FREQUENCY ESTABLISHED IN THE SWP2 PLAN THAT DOES NOT EXCEED 14 DAYS. THE SITE SHALL BE INSPECTED BASED ON AN ESTABLISHED REGULAR SCHEDULE (NOT EXCEEDING 14 DAYS) AND, WITH THE EXCEPTION OF SATURDAYS, SUNDAYS, ESTABLISHED FEDERAL HOLIDAYS AND THE DAY AFTER THANKSGIVING, BY THE END OF THE NEXT DAY FOLLOWING A RAIN EVENT WHICH RESULTS IN A RAINFALL TOTAL OF 0.5 INCHES OR GREATER.
7. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING MATERIAL. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
8. UNLESS OTHERWISE NOTED IN THE PLANS, ALL SEEDING MUST CONFORM TO THE KANSAS DEPARTMENT OF TRANSPORTATION (KDOT) STANDARD SPECIFICATIONS FOR STATE ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AS AMENDED BY THE MOST CURRENT SPECIAL PROVISIONS.
9. CONTRACTOR SHALL HAVE A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE AND AVAILABLE AT ALL TIMES THROUGHOUT CONSTRUCTION ACTIVITIES AND INSPECTION LOGS AND CHANGES TO THE INDICATED EROSION CONTROL MEASURES SHALL BE ADDED AND DOCUMENTED WITHIN THE SWPPP.
10. GOOD HOUSEKEEPING, INCLUDING SPILL RESPONSE SHALL BE PERFORMED IN ACCORDANCE WITH THE KANSAS CITY CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS, SECTION 2150.
11. THE CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF .5 INCHES OR MORE. THE CONTRACTOR SHALL REPAIR DAMAGE, CLEAN OUT SEDIMENT, AND ADD ADDITIONAL EROSION CONTROL DEVICES AS NEEDED, AS SOON AS PRACTICABLE, AFTER INSPECTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL A MINIMUM OF 70% OF PERMANENT VEGETATION HAS BECOME STABILIZED AND ESTABLISHED. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE 70% ESTABLISHED VEGETATION IS MET, OR THE DURATION OF THE PROJECT, WHICHEVER IS THE LATER DATE.

TOTAL DISTURBED AREA = 1.83 AC.

LEGEND		
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA	SF1 SILT FENCE (PRIOR TO LAND DISTURBANCE)
	CONCRETE WASHOUT AREA	SF2 SILT FENCE (DURING CONSTRUCTION)
		X CONSTRUCTION FENCE
		.. LIMITS OF DISTURBANCE
		965 EXISTING CONTOURS
		965 PROPOSED CONTOURS
		1 BMP PLAN REF. NO.

SITE SPECIFIC NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
4. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
5. SOIL STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED IMMEDIATELY AFTER AREAS ARE BROUGHT TO FINAL ESTABLISHED GRADES. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING MATERIAL. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
6. ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
7. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
8. AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.
9. ALL DOWNSLOPE SEDIMENT CONTROL DEVICES SHALL STAY IN-PLACE UNTIL AFTER THE UPSTREAM DRAINAGE AREAS IS STABILIZED AND VEGETATIVE COVER IS ESTABLISHED.
10. STEEP SLOPE PROTECTION SHALL BE PLACED ON EMBANKMENT AREAS AT THE WEST/NORTHWEST AREAS OF THE SITE AS IMMEDIATELY AS POSSIBLE UPON COMPLETION OF THE GRADING IN THOSE AREAS.
11. ANY DISTURBED AREAS EFFECTED BY THE FINAL REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE RESTORED IN COMPLIANCE WITH THE FINAL STABILIZATION PLAN AND SIMILAR TO ADJACENT RESTORED AREAS (I.E. SODDED AREAS SHOULD BE RESODDED, SEEDED/MULCHED AREAS SHALL BE RE-SEED/MULCHED).
12. ANY TEMPORARY CONTRACTOR STAGING AREAS ESTABLISHED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED UPON COMPLETION OF THE PROJECT, AFTER THE FINAL LANDSCAING/STABILIZATION PROCEDURES AND SHALL BE STABILIZED IN COMPLIANCE WITH ADJACENT RESTORED AREAS PRIOR TO THE FINAL ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
13. ALL TURF AREAS (SOD OR SEED) SHALL HAVE 4" MINIMUM DEPTH TOP SOIL PLACED OVER AREAS IMMEDIATELY PRIOR TO INSTALLATION OF GROUND COVER MATERIAL.

EROSION AND SEDIMENT CONTROL STAGING CHART

	trregem	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
PRE-CLEARING PHASE	A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR OR REPLACE AS NECESSARY. (SEE NOTE 12 CONCERNING REMOVAL OF CONT. ENTRANCE AND STAGING AREAS)
		2	CONCRETE WASHOUT AREA	D	MAINTAIN, REPAIR OR REPLACE AS NECESSARY.
		3	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		4	EXISTING INLET PROTECTION (GRAVEL FILTER BAGS / GRAVEL SEDIMENT TRAP)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
CONSTRUCTION PHASE	B - GRADING	5	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
		6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED. REMOVE & REPLACE WITH #9 BELOW.
FINAL STABILIZATION PHASE	C - UTILITY / STORM SEWER CONSTRUCTION	7	INLET PROTECTION (GRAVEL FILTER BAGS)	D/E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
		9	SEED		ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY - ALL RIGHT-OF-WAY AREAS IMMEDIATELY UPON COMPLETION OF THE WORK.
		10	SEEDED AREA WITH MULCH COVER OR SEED WITH EROSION CONTROL MATTING		ALL DISTURBED AREAS WITHIN 14 DAYS OF INACTIVITY - EMBANKMENT AREAS GREATER THAN 15% SHALL BE INSTALLED WITH SEED AND COMPOST MULCH OR EROSION CONTROL MATTING FLATTER SLOPES SHALL BE INSTALLED W/MULCH COVER PER TABLE 3 OF CITY/COUNTY STNDS.

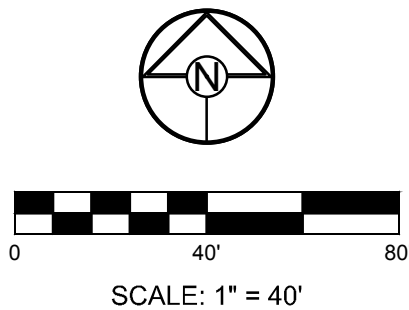
GRADING LEGEND:

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- PROPOSED TOP OF CURB ELEV.
- OR LIP OF CURB OR SPOT ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION
- 1023 EXISTING CONTOUR
- 1023 PROPOSED CONTOUR

LEGEND

- BFG BOTTOM OF WALL FINISH GRADE ELEVATION
- BW BOTTOM OF WALL
- TW TOP OF WALL ELEVATION
- P PAVEMENT ELEVATION
- TC TOP OF CURB ELEVATION

3' - SILT FENCE ALONG NORTH, WEST AND SOUTH BOUNDARY SHALL BE INSTALLED AS A DOUBLE ROW OF SILT FENCE WITH THE OUTER ROW CONSISTING OF WIRE REINFORCED SILT FENCE WITH METAL POSTS.



OWNER/DEVELOPER:

OAK VIEW LEES SUMMIT LLC
JONATHAN BUCHANAN
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
P 214-460-8442
F -
JBUCHANAN@OAKVIEWCP.COM

PRELIMINARY

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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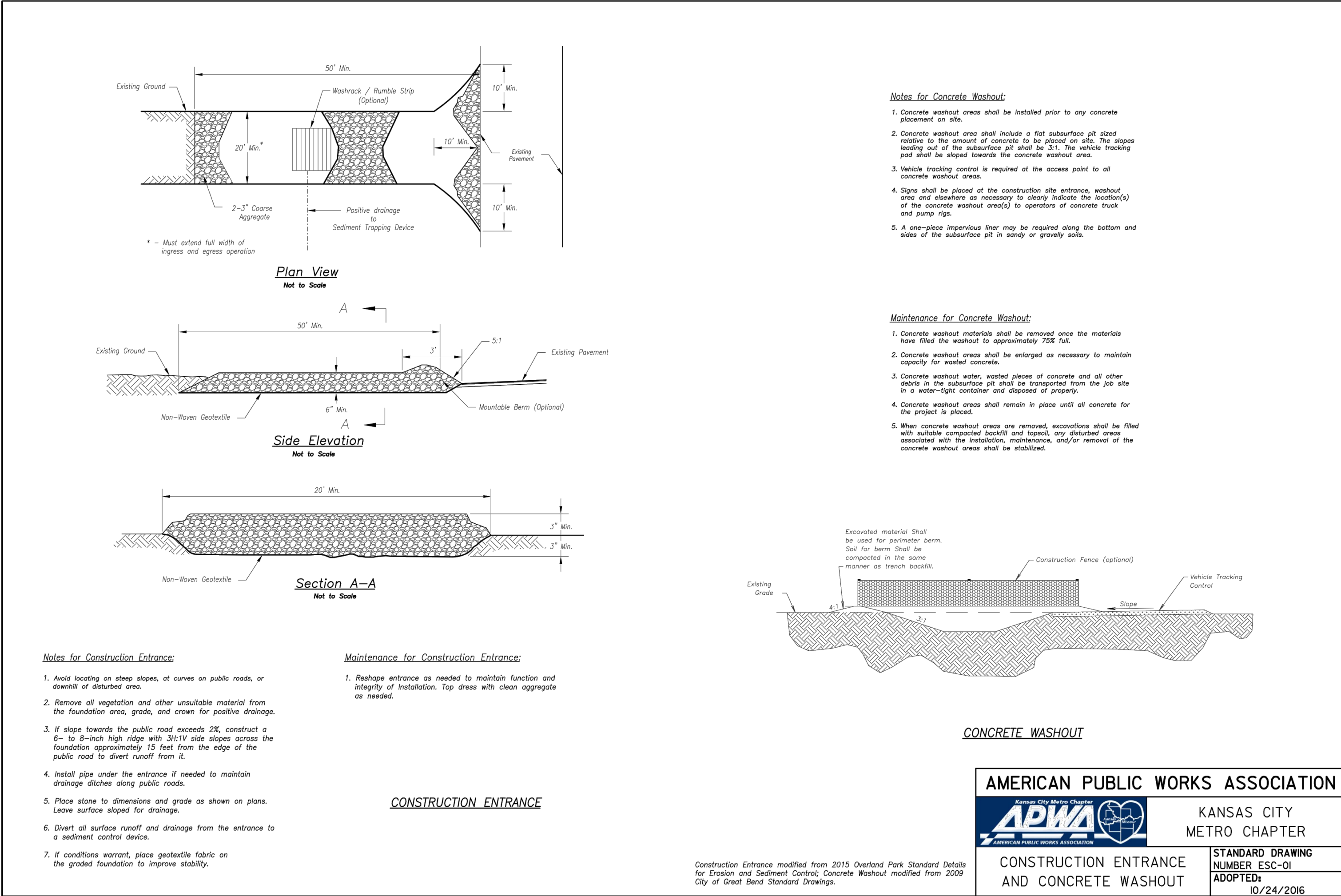
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CHECKED BY:	JTS
DATE PREPARED:	9-11-18
PROJ. NUMBER:	17-135

EROSION CONTROL PLAN

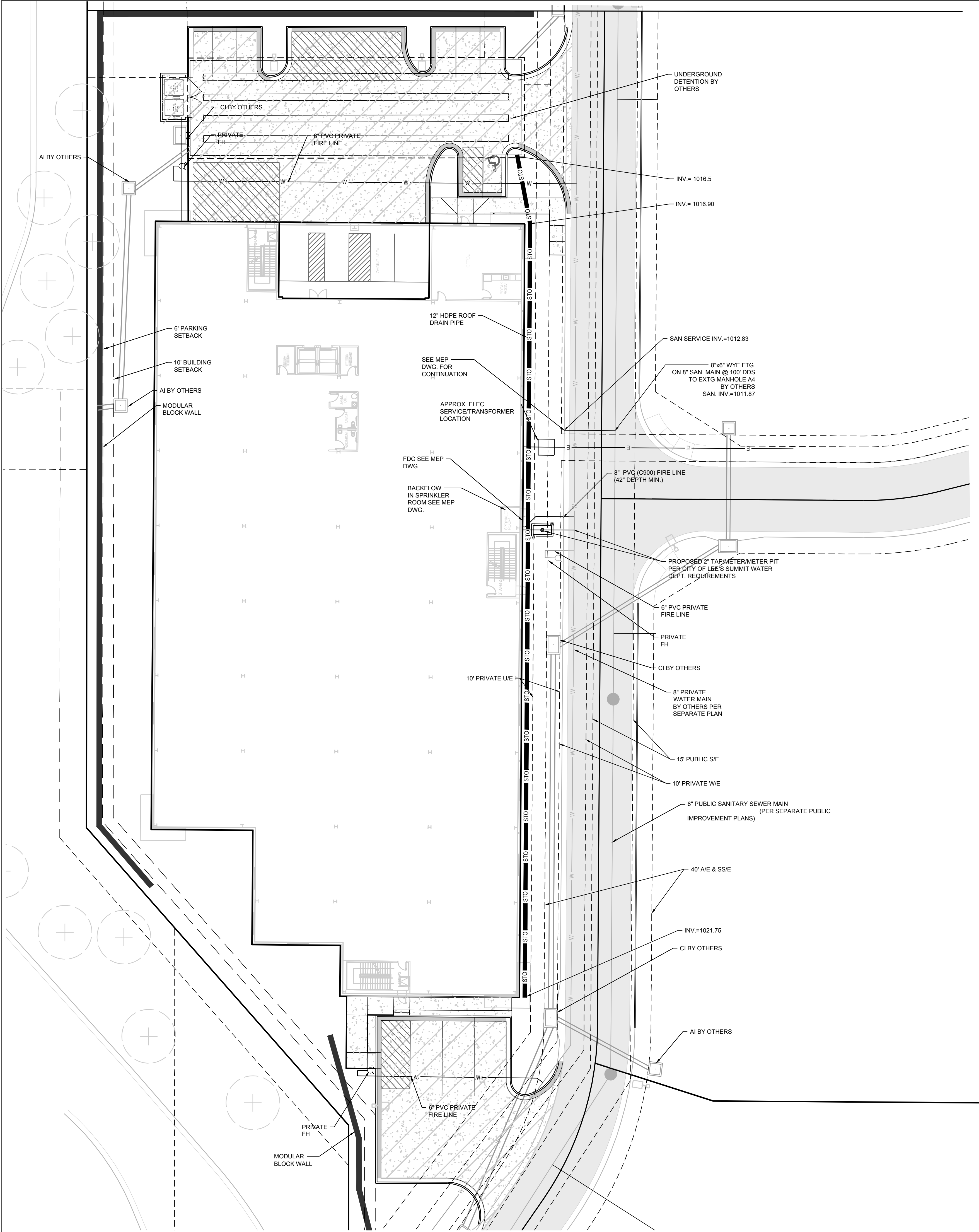
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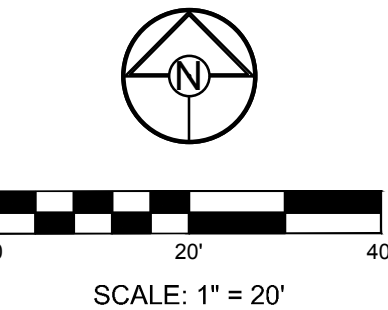
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14920 West 107th Street • Lenexa, Kansas 66215
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WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003606F #LAC200100237 #LS200200859F



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- LEGEND:**
- A/E - ACCESS EASEMENT
 - BM - BENCHMARK
 - BL or B.L. - BUILDING LINE
 - CO - CLEANOUT
 - TJB - TELEPHONE JUNCTION BOX
 - D/E - DRAINAGE EASEMENT
 - E/E - ELECTRICAL EASEMENT
 - FL - FLOW LINE
 - G/E - GAS LINE EASEMENT
 - HDPE - HIGH-DENSITY POLYETHYLENE
 - PVC - POLYVINYL CHLORIDE
 - P/L - PROPERTY LINE
 - PUB/E - PUBLIC EASEMENT
 - RCP - REINFORCED CONCRETE PIPE
 - ROW or R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - SL - SERVICE LINE
 - SS/E - STORM SEWER EASEMENT
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - ROW - RIGHT-OF-WAY
 - SANITARY SEWER MAIN
 - SANITARY SEWER MAIN - EXIST.
 - STO - STORM SEWER
 - STORM SEWER - EXISTING
 - CATV_x - CABLE TV - EXISTING
 - FOC_x - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - OHP_x - OVERHEAD POWER LINE - EXIST.
 - UGE_x - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING
 - LIGHT - EXISTING
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE



OVERALL LEGAL DESCRIPTION

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.

GENERAL NOTES:

- BOUNDARY IS BASED ON THE FINAL PLATS OF LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2. The bases of bearing (N89°56'58"W) is based on the North line of the NE 1/4, Sec. 31-48N-31W as shown on the final plats of LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2.
- ADJACENT PROPERTY LINES ARE BASED ON RECORDED PLATS.
- EXISTING ROAD, SIDEWALK, AND SITE IMPROVEMENTS AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- TOPOGRAPHY FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION.
- AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "U/E" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
- THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
- ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS.
- ALL ROADWAYS, PRIVATE DRIVES, PARKING DRIVE AISLES, AND PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
- ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
- BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
- PARKING LOT DESIGN MUST MEET THE UDO ARTICLE 12 REQUIREMENTS AND THE PRIVATE DRIVE MUST MEET PUBLIC STREET DESIGN STANDARDS PER THE DESIGN AND CONSTRUCTION MANUAL SECTION 5200.

FLOOD NOTE:

According to the Flood Insurance Rate Map of FEMA panel 409 of 625 for map number 20095C0409G dated January 20, 2017 and panel 417 of 625 for map number 29095C0417G dated January 20, 2017, the project lies outside of any identified FEMA floodplain.

OWNER/DEVELOPER:

UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:

OAK VIEW LEES SUMMIT LLC
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442

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PRELIMINARY

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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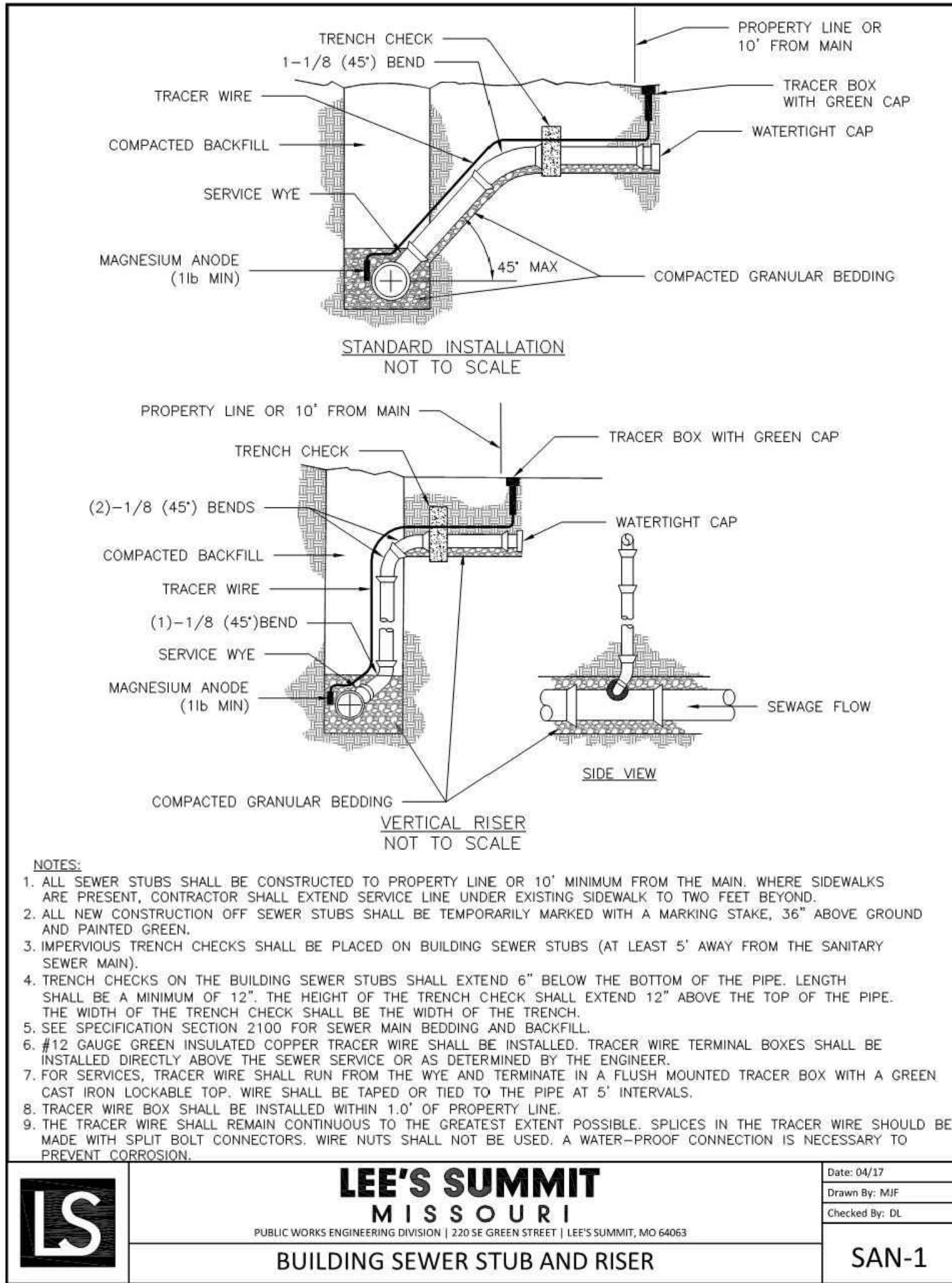
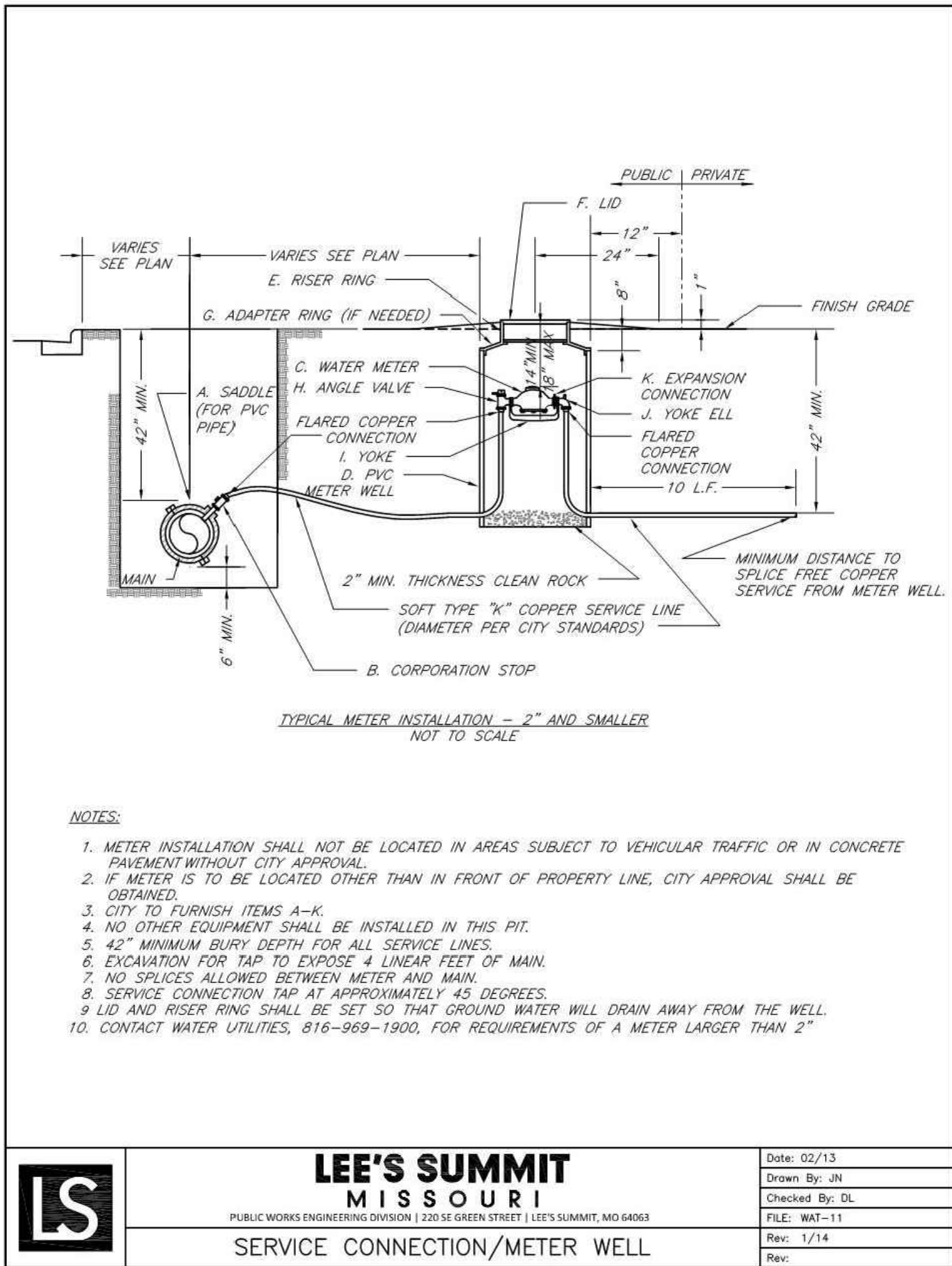
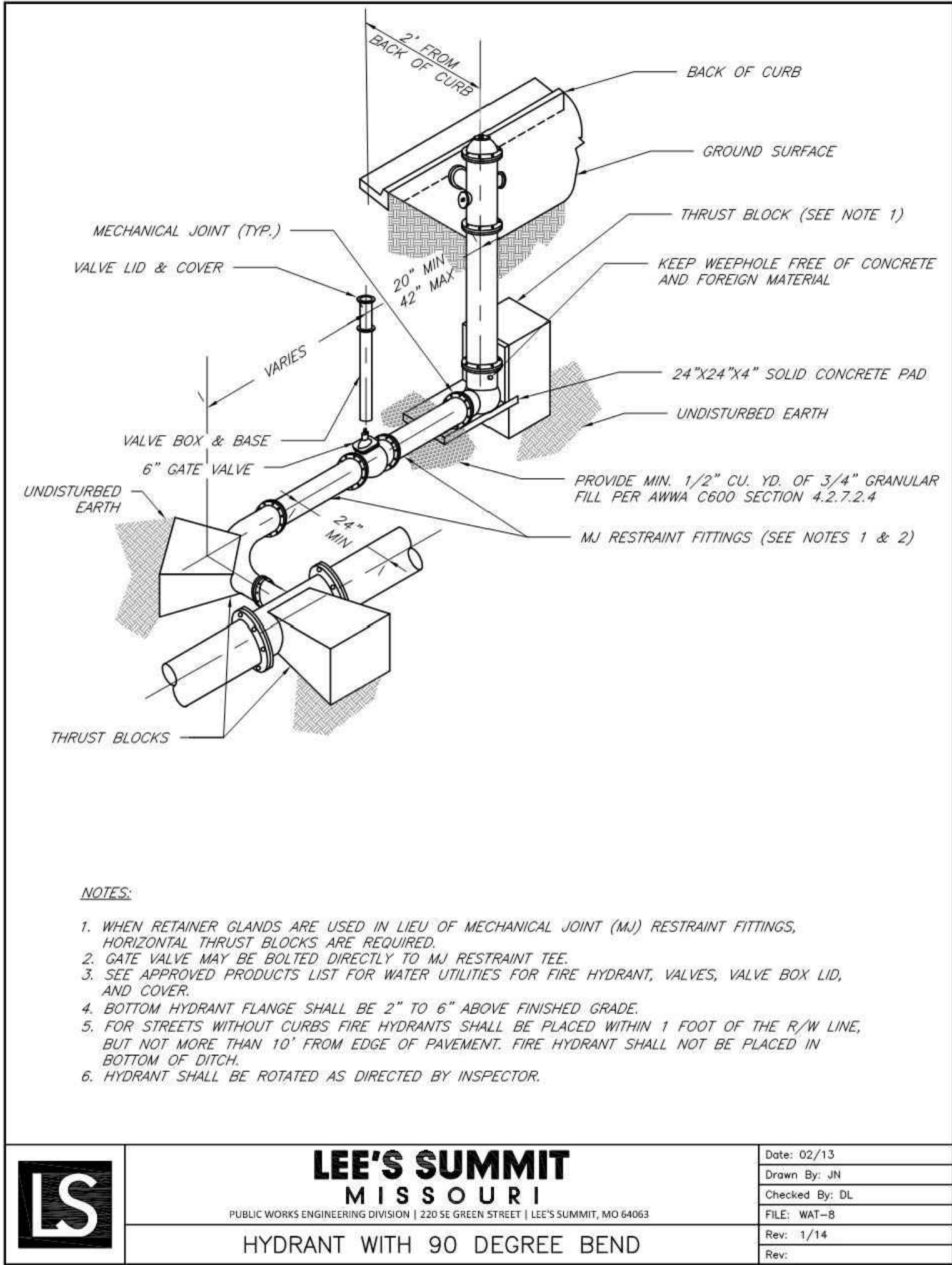
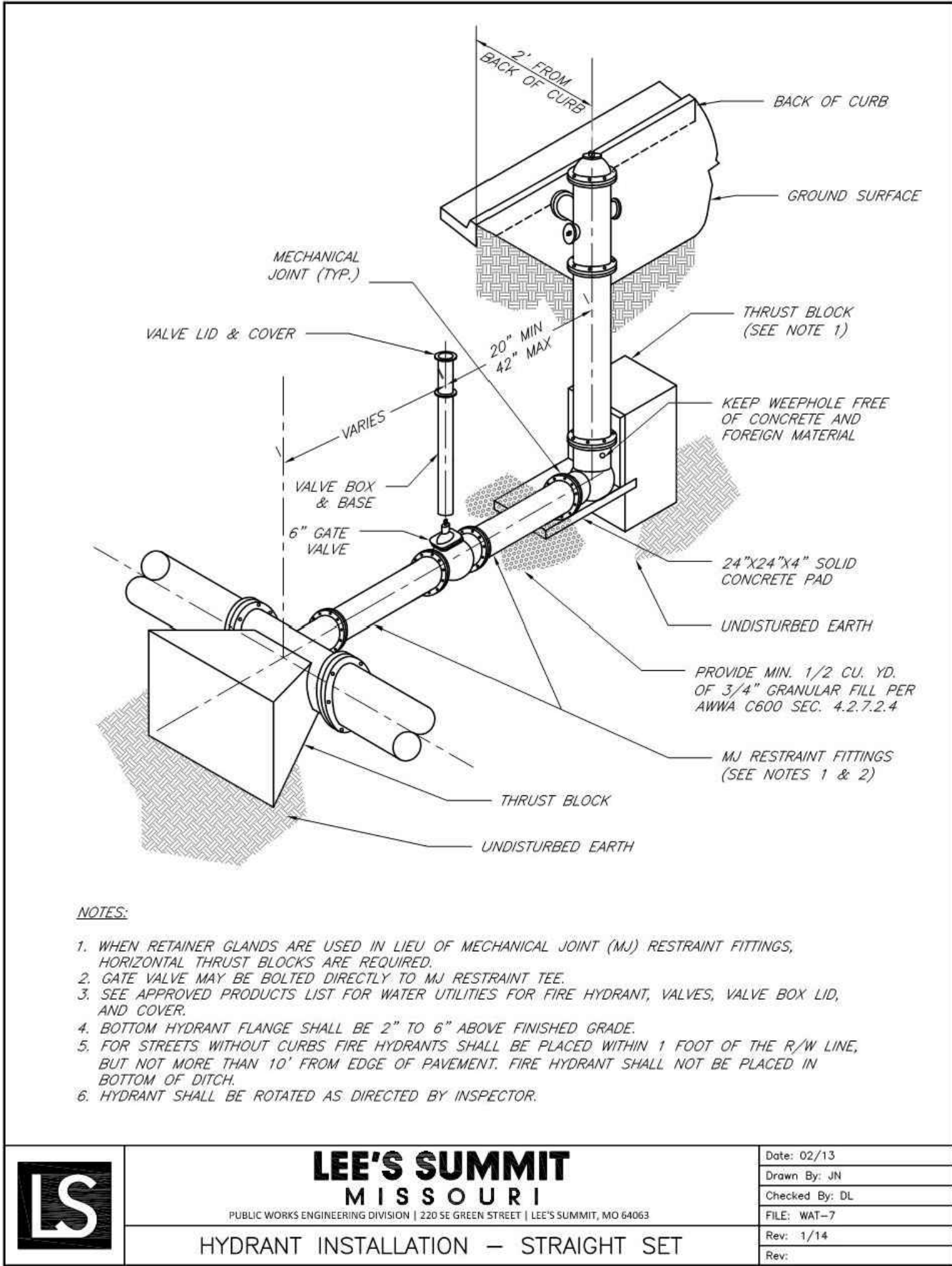
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CHECKED BY:	JTS
DATE PREPARED:	9-11-18
PROJ. NUMBER:	17-135

UTILITY PLAN

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OF

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OAKVIEW CLIMATE CONTROLLED STORAGE

FINAL DEVELOPMENT PLANS

NE DOUGLAS ROAD & NW VICTORIA DRIVE

LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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DATE PREPARED:	9-11-18
PROJ. NUMBER:	17-035

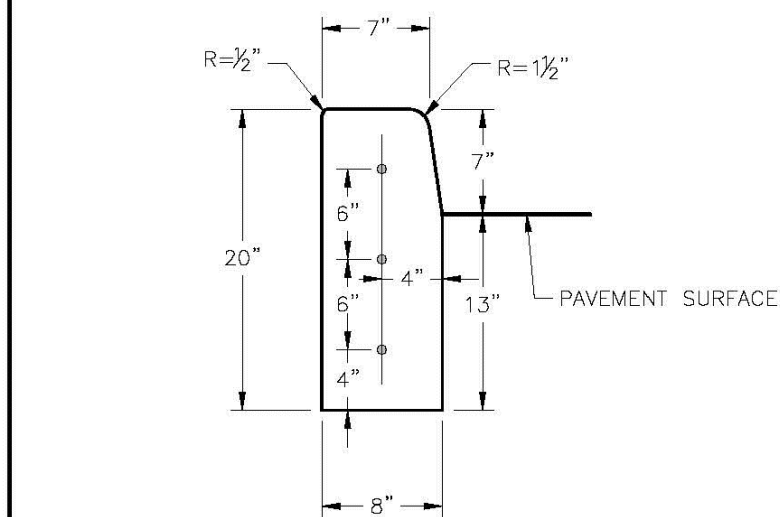
UTILITY DETAILS

SHEET

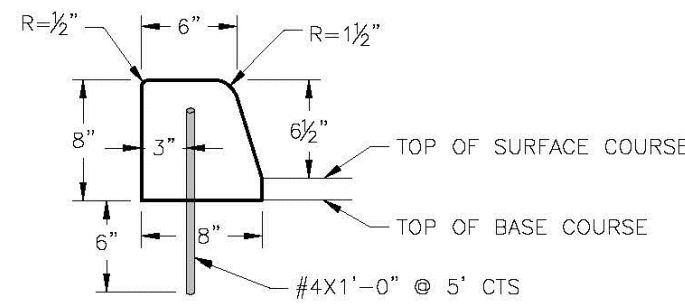
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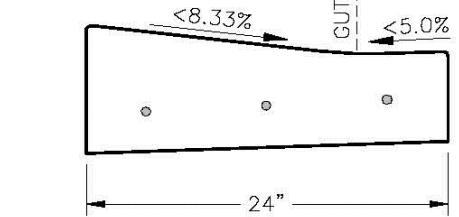
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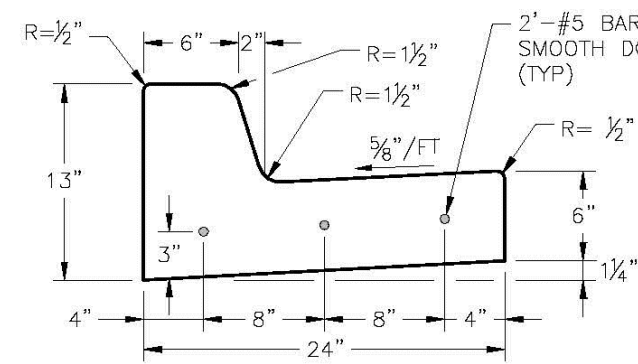
STRAIGHT CURB
(TYPE C-1)



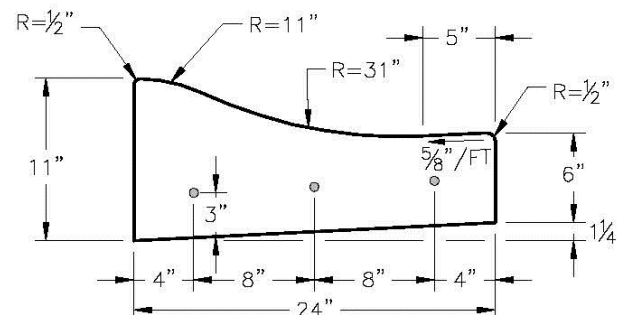
DOWELED CURB
(TYPE DC)



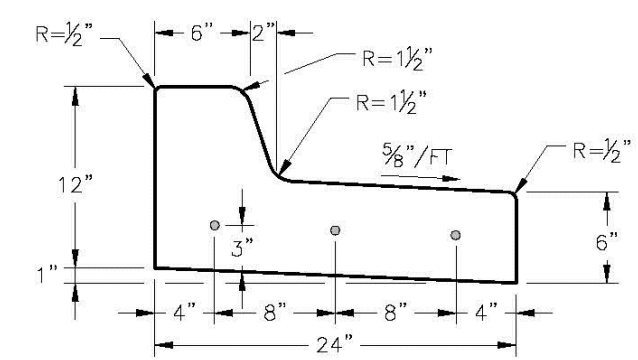
CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)



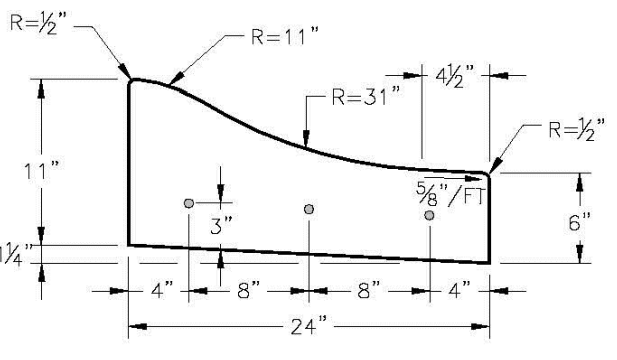
STRAIGHT BACK CURB &
GUTTER
(TYPE CG-1)



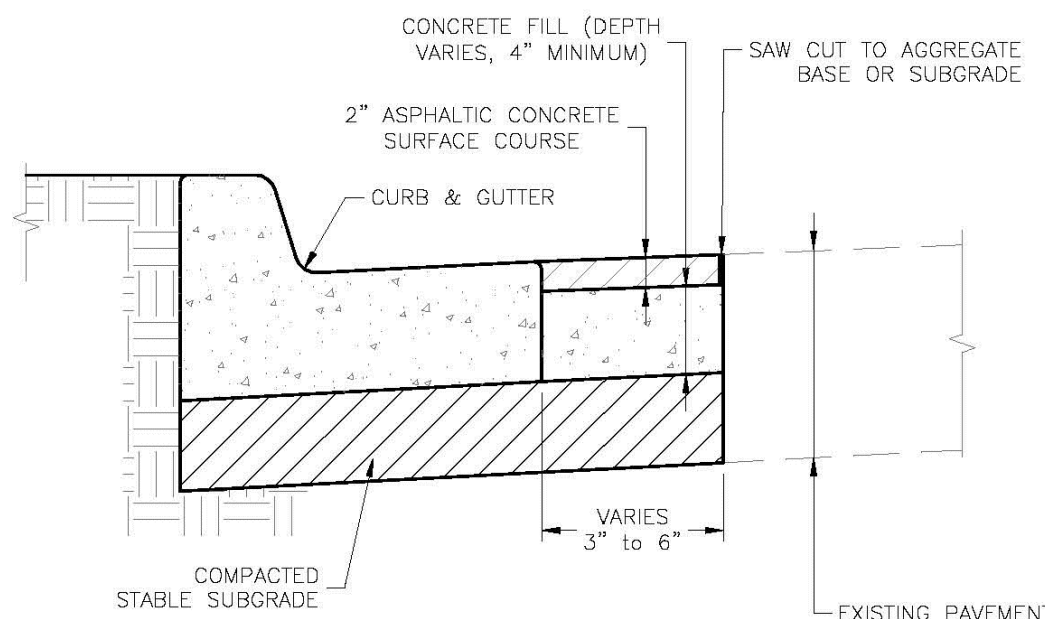
ROLL BACK CURB &
GUTTER
(TYPE CG-2)



STRAIGHT BACK DRY CURB &
GUTTER
(TYPE CG-1 DRY)



ROLL BACK DRY CURB &
GUTTER
(TYPE CG-2 DRY)



CURB REPLACEMENT DETAIL

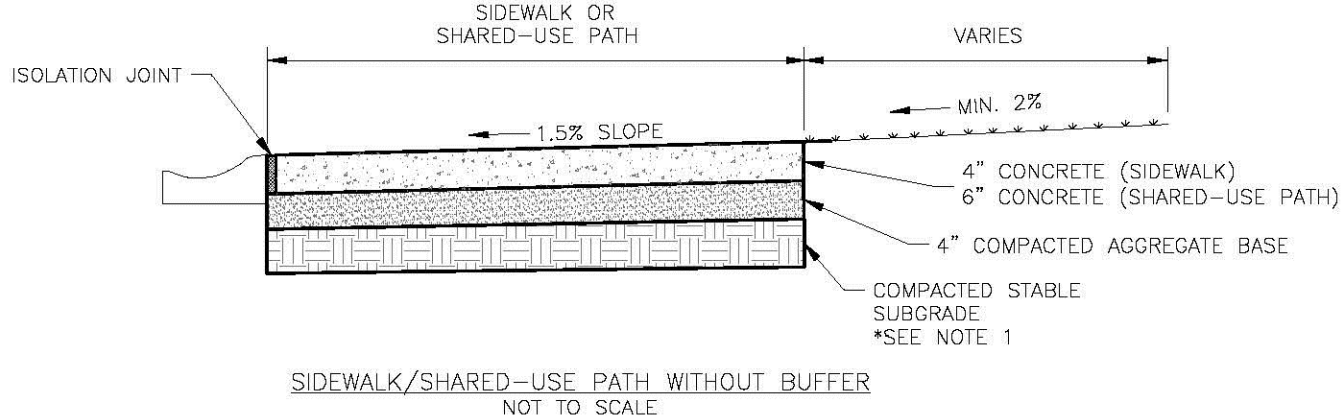
GENERAL NOTES

- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
- KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURB.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
- CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

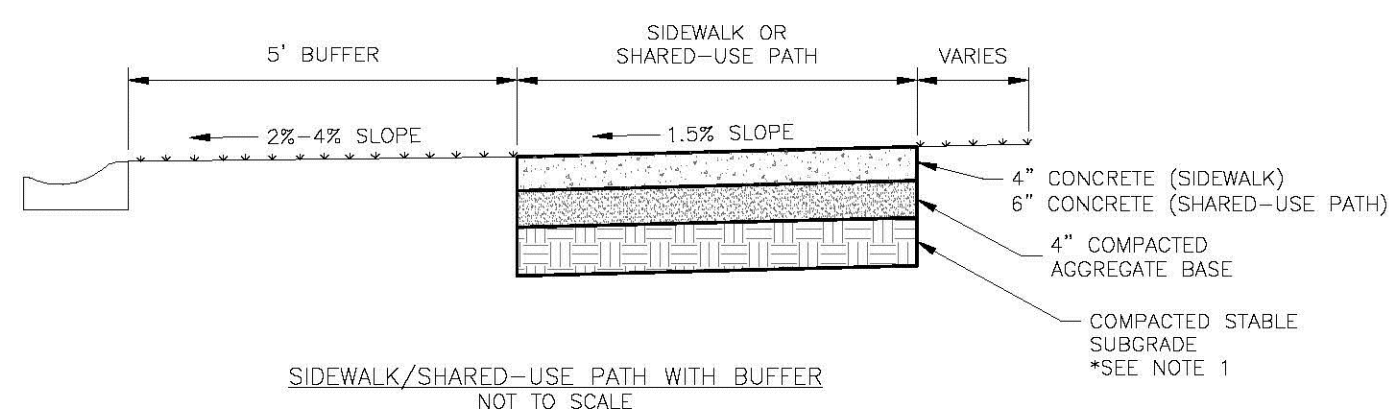
LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4



SIDEWALK/SHARED-USE PATH WITHOUT BUFFER
NOT TO SCALE



SIDEWALK/SHARED-USE PATH WITH BUFFER
NOT TO SCALE

GENERAL NOTES:

- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
- KCMBB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
- ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
- AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
- SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
- SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



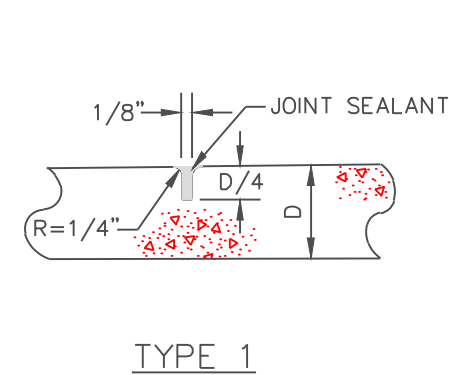
LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17
Drawn By: MIF
Checked By: DL

GEN-2

TYPICAL PUBLIC CONCRETE SIDEWALK DETAIL

NOT TO SCALE



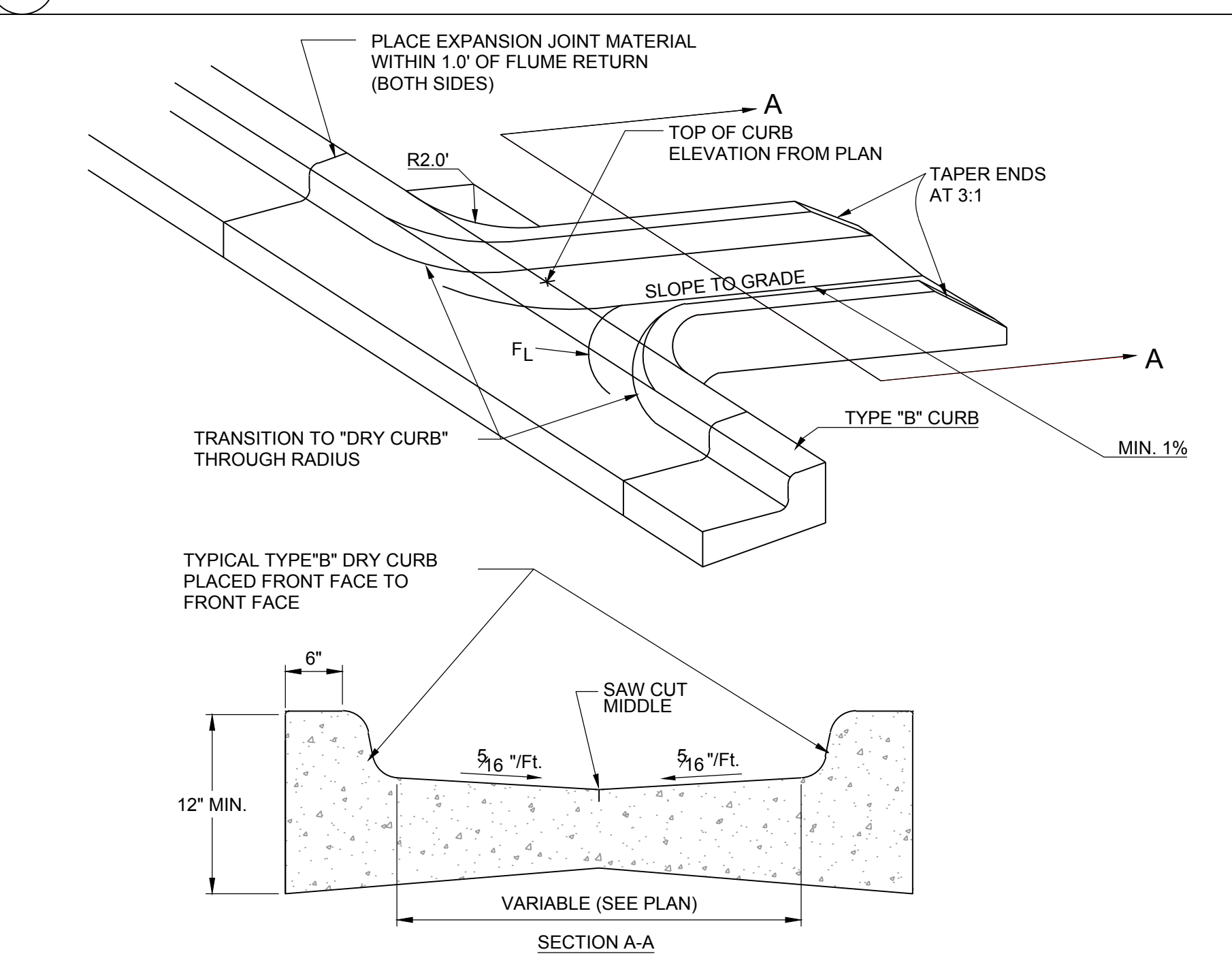
TYPE 1

NOTES:

- TYPE 1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.
- TYPE 1 JOINTS SHALL BE SPACE TO EQUAL THE WIDTH OF THE SIDEWALK.

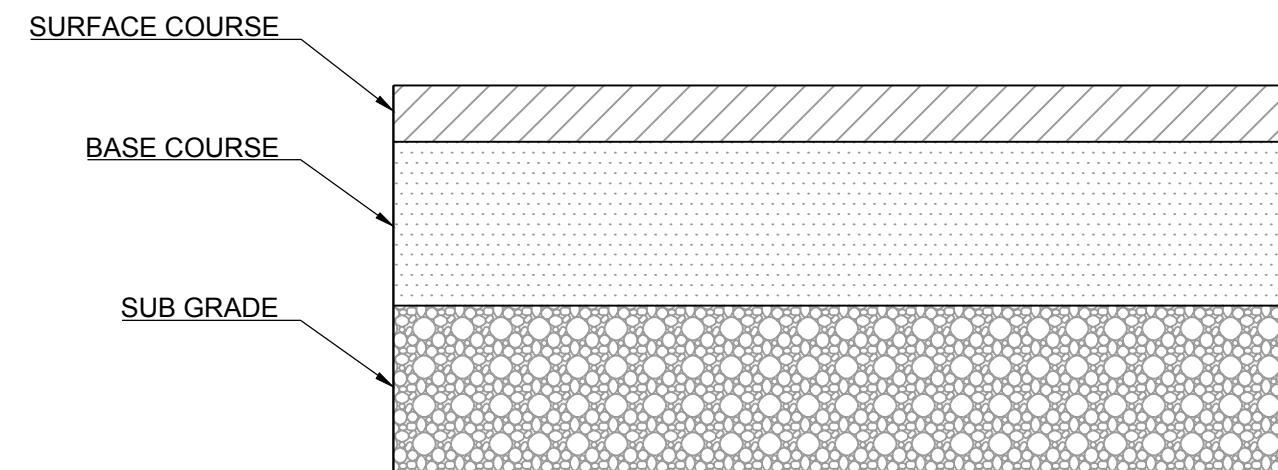
2 TYPICAL - PRIVATE CONCRETE PAVEMENT JOINT DETAILS

NOT TO SCALE



3 TYPICAL - CURB FLUME DETAIL

NOT TO SCALE



PARKING AREAS

- 2" - KCAPWA TYPE 5
- 4" - KCAPWA TYPE 5
- 6" - GRANULAR BASE AND 9" FLYASH TREATED SUBGRADE

DRIVE AREAS

- 2" - KCAPWA TYPE 5
- 7.5" - KCAPWA TYPE 5
- 6" - GRANULAR BASE AND 9" FLYASH TREATED SUBGRADE

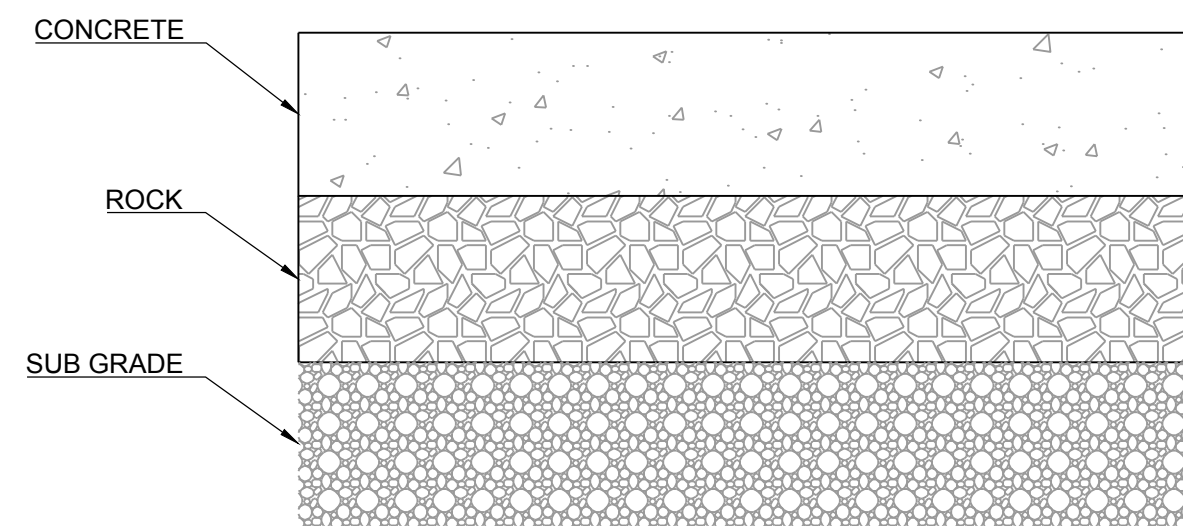
HEAVY DUTY DRIVE AREAS

- 2" - KCAPWA TYPE 5
- 7.5" - KCAPWA TYPE 5
- 6" - GRANULAR BASE AND 9" - FLYASH TREATED SUBGRADE

The pavement subgrades be proofrolled and the moisture content and density of the top 12 inches of subgrade be checked within two days prior to commencement of actual paving operations. If any significant event, such as precipitation, occurs after proofrolling, the subgrade should be reviewed by qualified personnel immediately prior to placing the pavement. The subgrade should be in its finished form at the time of the final review.

3 TYPICAL - ASPHALT PAVEMENT SECTION

NOT TO SCALE



DRIVE AND PARKING AREAS

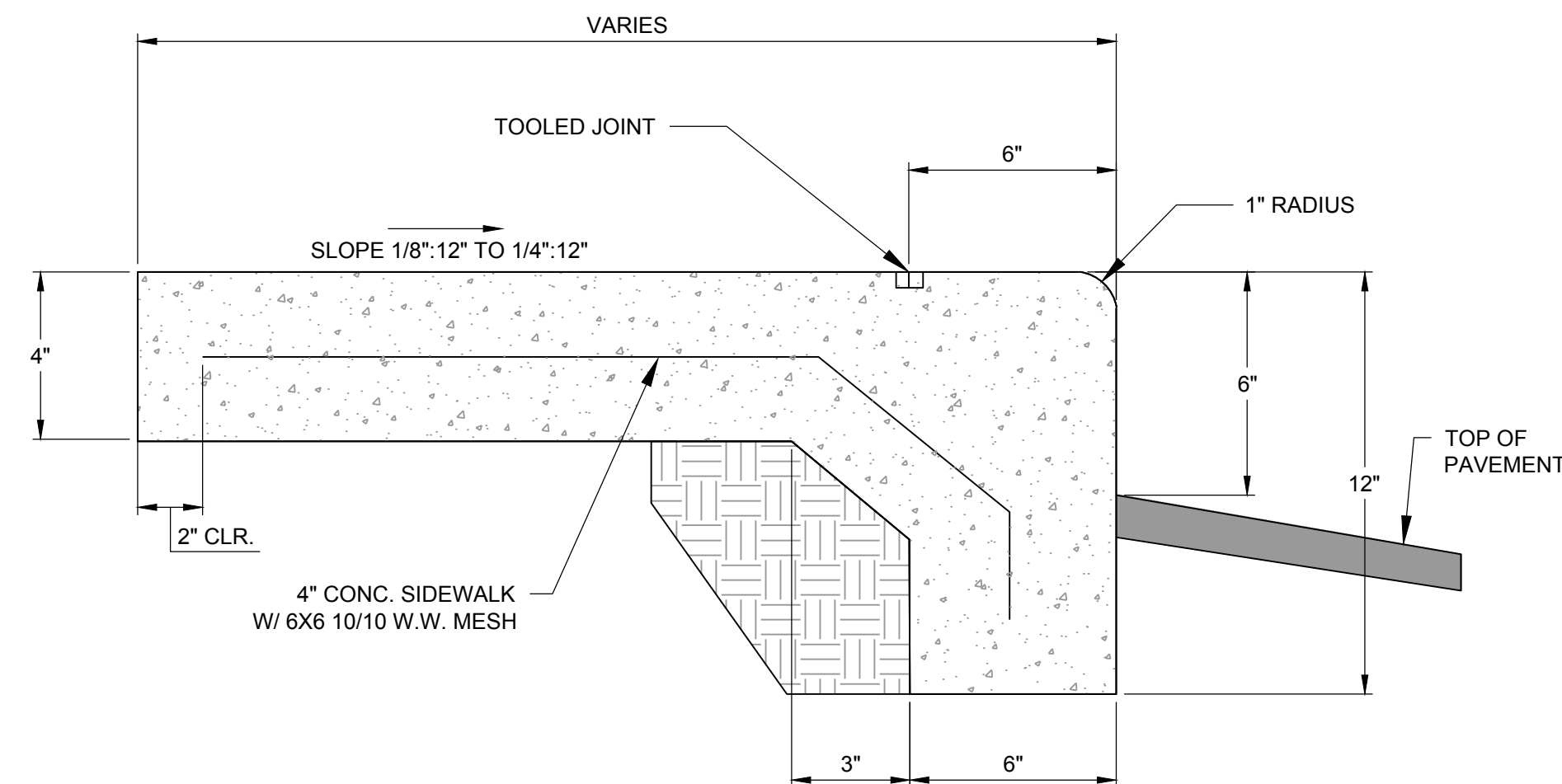
- 8" - 4000 PSI PCC PAVEMENT
- 4" - 3/4" CLEAN ROCK
- 9" STABILIZED SUBGRADE

TRASH AREA

- 8" - 4000 PSI PCC PAVEMENT
- 4" - 3/4" CLEAN ROCK
- 9" STABILIZED SUBGRADE

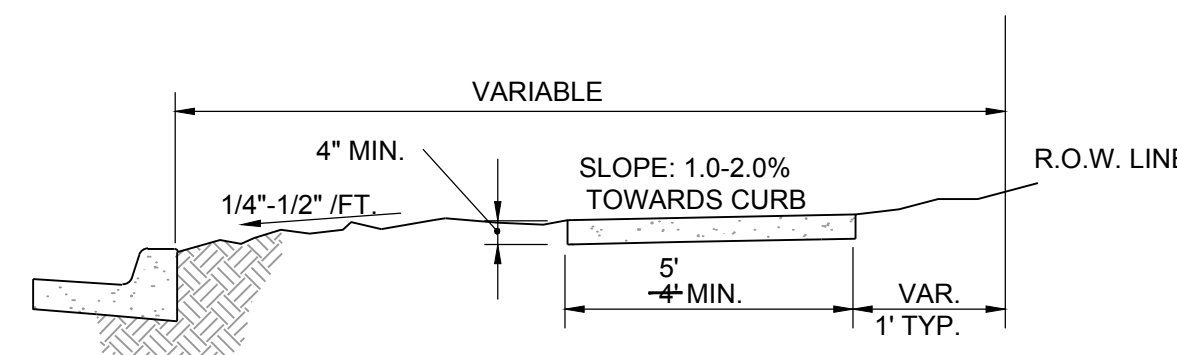
4 TYPICAL - CONCRETE PAVEMENT SECTION

NOT TO SCALE



5 TYPICAL - INTERGRAL CONCRETE WALK/CURB DETAIL

NOT TO SCALE



NOTES:

- JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE SIDEWALK AND TO THE DEPTHS INDICATED BELOW.
- THE SIDEWALK SHALL BE MARKED OFF INTO SQUARE STONES BY CONTRACTION JOINTS. CONTRACTION JOINTS SHALL BE ONE-EIGHTH (1/8) INCH WIDE BY ONE (1) INCH DEEP AND MAY BE FORMED BY TOOLING OR BY USE OF A CONCRETE SAW.
- EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. 3/4" JOINT FILLER WILL BE USED WHEN SPACING EXCEEDS 100'.
- EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALK ABUTS OTHER STRUCTURES AND SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID SIDEWALK AND NOT MORE THAN 200 FEET APART ON STRAIGHT RUNS FOR MACHINE LAID SIDEWALKS.

6 TYPICAL PRIVATE CONCRETE SIDEWALK DETAIL

NOT TO SCALE

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PRELIMINARY

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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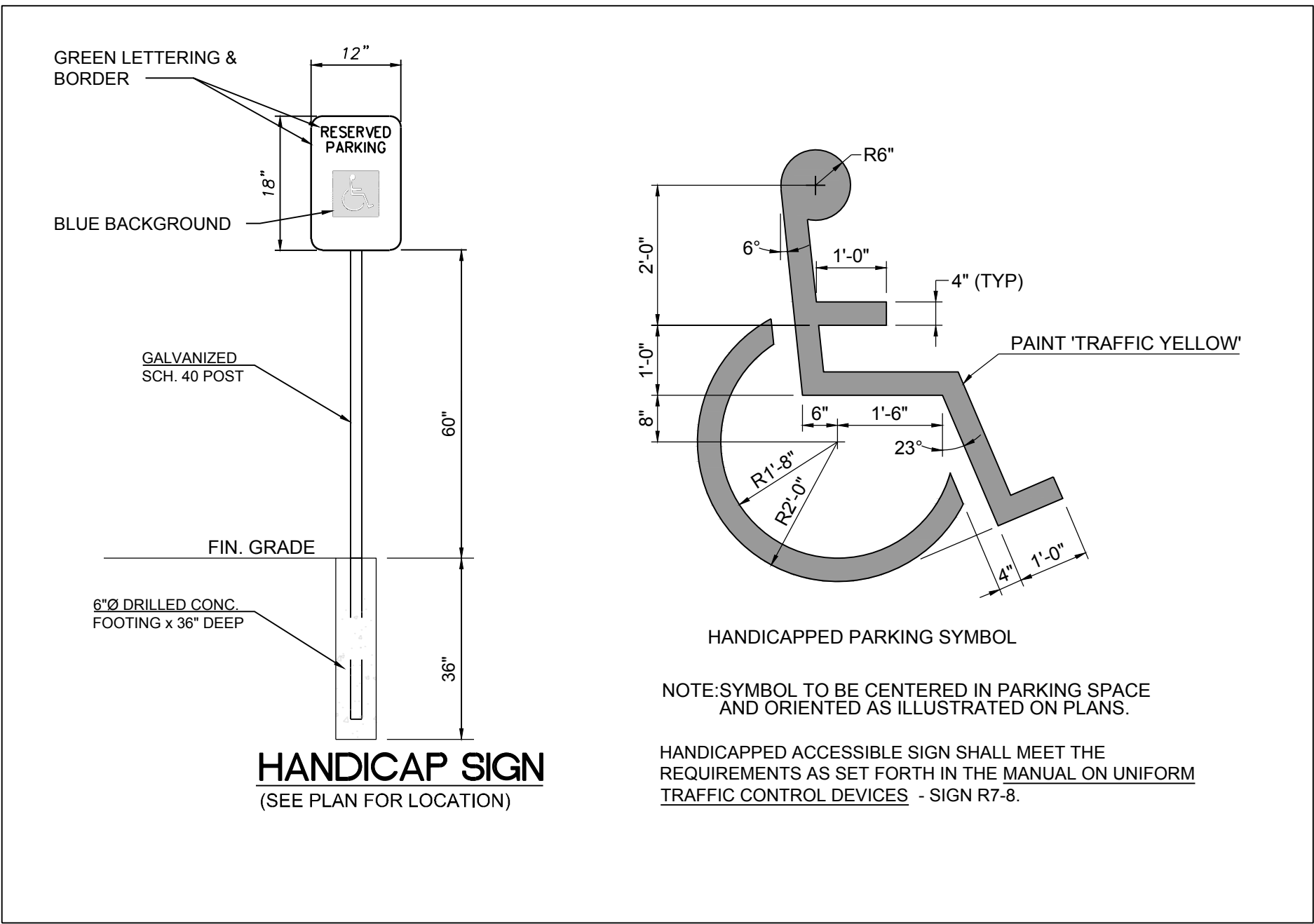
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CHECKED BY:	JTS
DATE PREPARED:	9-11-18
PROJ. NUMBER:	17-135

CURB AND
PAVEMENT
DETAILS

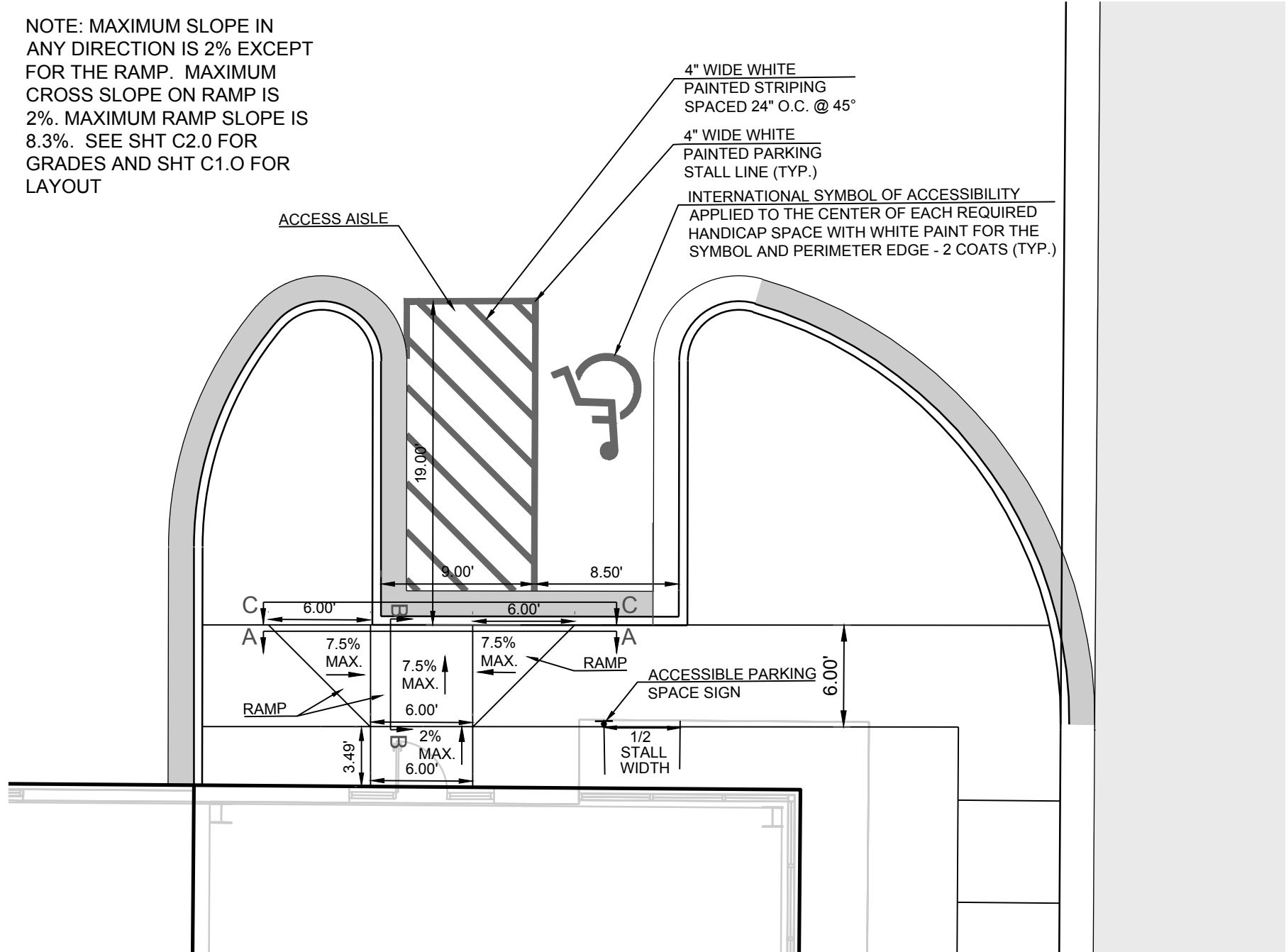
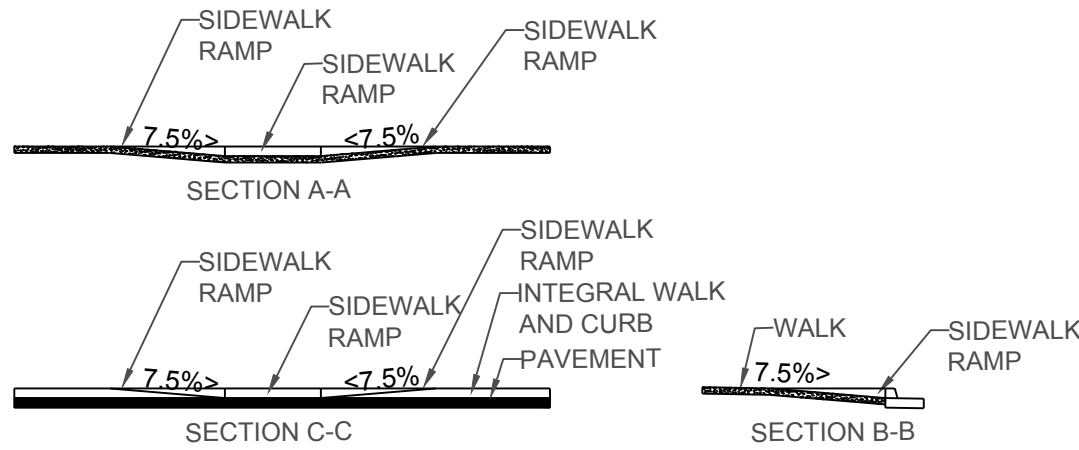
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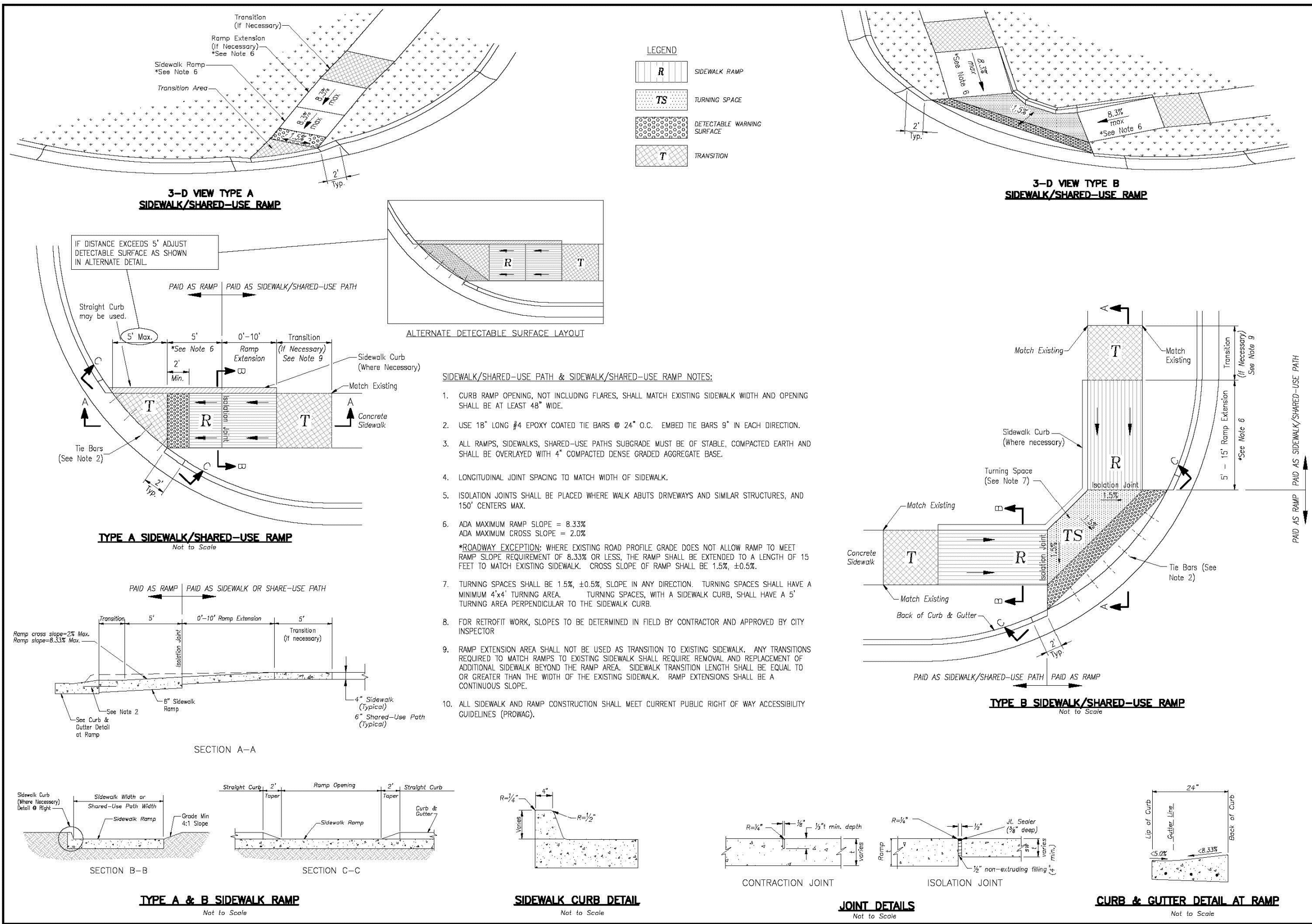
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2 BUILDING ENTRANCE VAN ACCESSIBLE SPACE AND ACCESS AISLE NOT TO SCALE



STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

ADA RAMP RETROFIT DETAIL

LS

LEE'S SUMMIT

MISSOURI

Public Works Engineering Division | 220 S. E. Green Street | Lee's Summit, MO 64083

Drawn By: MHT

Checked By: JLS

Date: 05/17

Proj. #

GEN-3A

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

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CHECKED BY:	JTS
DATE PREPARED:	9-11-16
PROJ. NUMBER:	17-135

SITE DETAILS

SHEET

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OF

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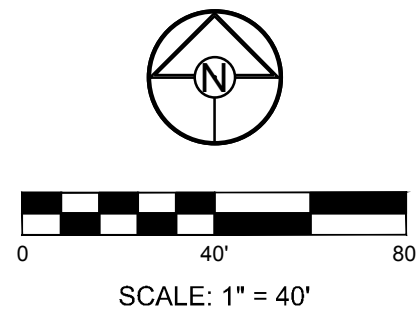
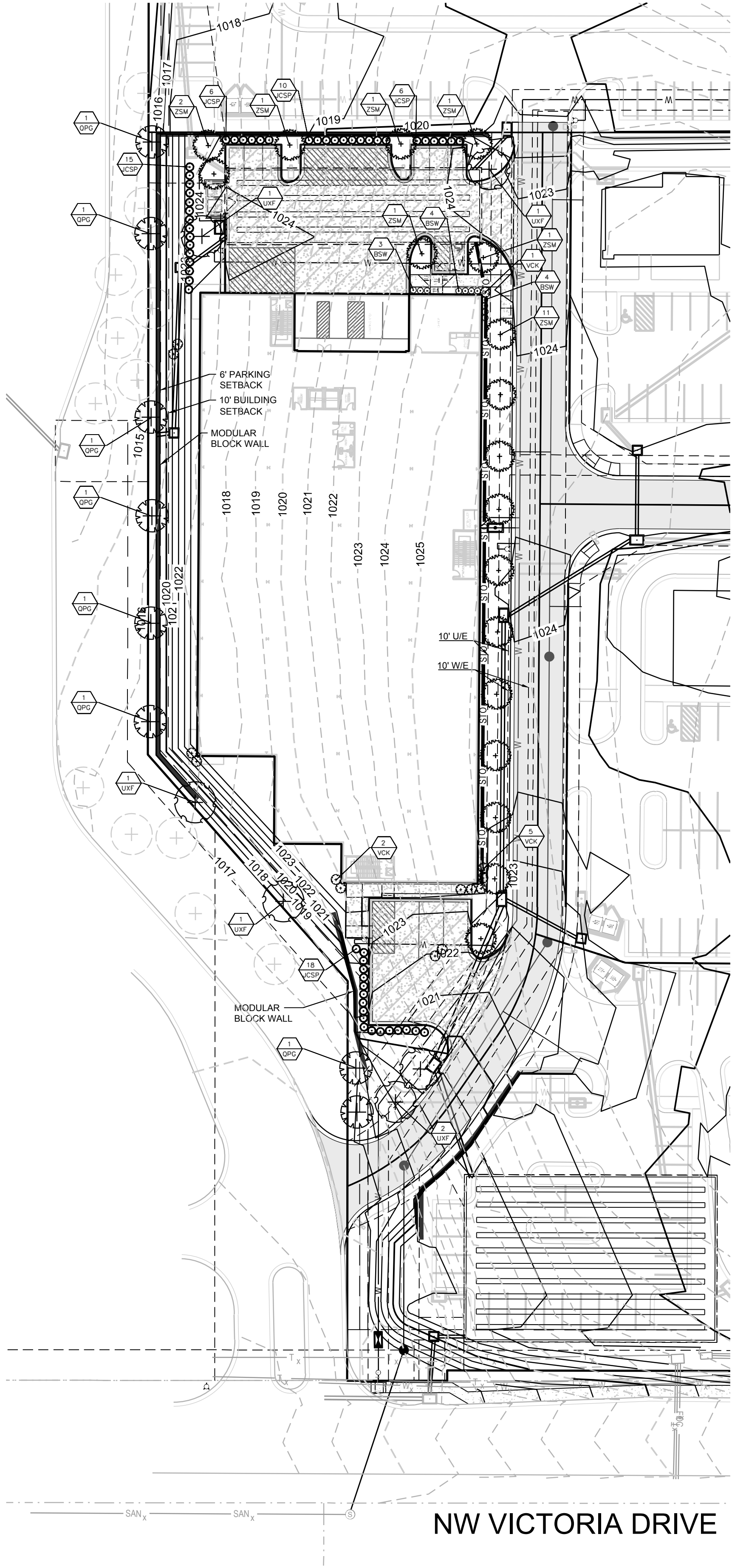
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Missouri State Certificates of Authority

#E2002003600-F #LAC200100237 #LS200200859-F

PRELIMINARY

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- MODIFICATIONS REQUESTED:
1. REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES.
 2. REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 5 FEET.
 3. REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".

NOTES:

1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS/EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
5. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
8. ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
9. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT. PRIOR TO INSTALLATION.
10. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
11. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE/4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB/ FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
14. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
15. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

SHADE TREES

	QPG	8 EA.	Quercus palustris Green Pillar	Green Pillar Oak	2.5" Cal.	B&B
	UXF	6 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
	ZSM	18 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

EVERGREEN TREES

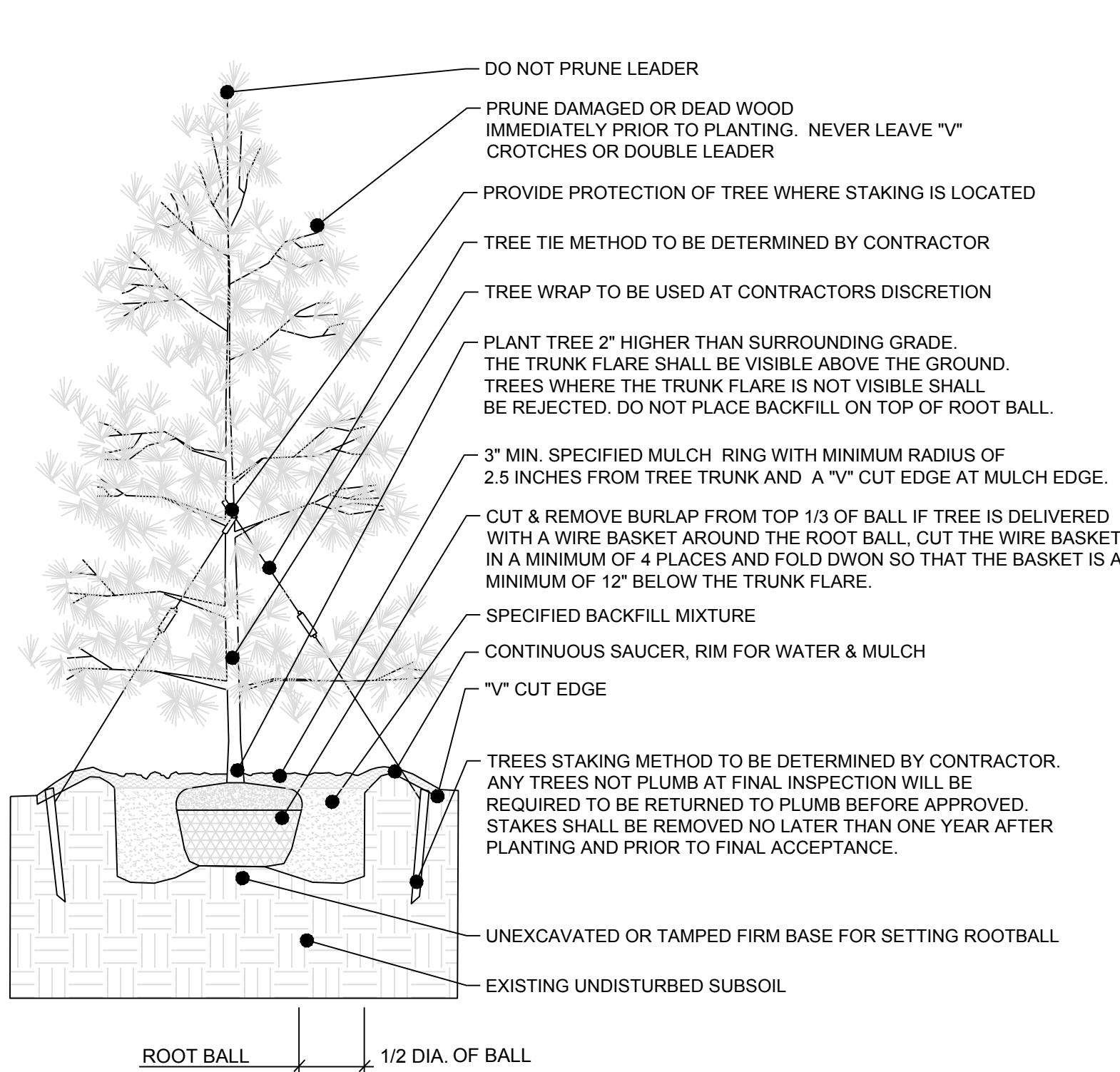
	JCSP	55 EA.	Juniperus chinensis 'Spartan'	Spartan Juniper	6' ht.	B&B
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SHRUBS

	BSW	11 EA.	Buxus sinica var. insularis 'Wintergreen' fka a microphylla var.	Wintergreen Boxwood	5 gal.	Cont.
	VCK	14 EA.	Viburnum carlesii 'Korean Spice'	Koreanspice Viburnum	5 gal.	Cont.

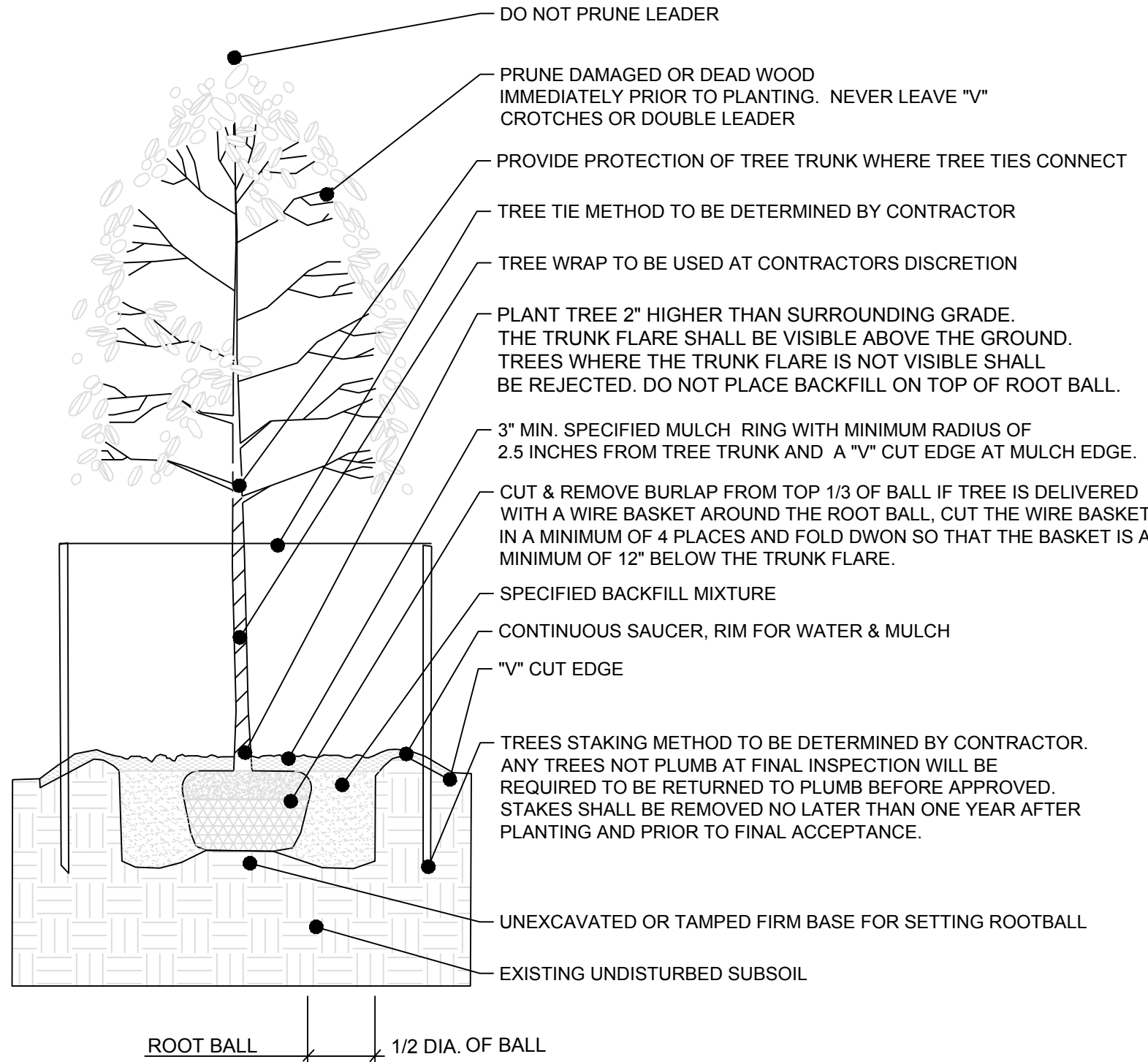
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DATE PREPARED:	9-11-18
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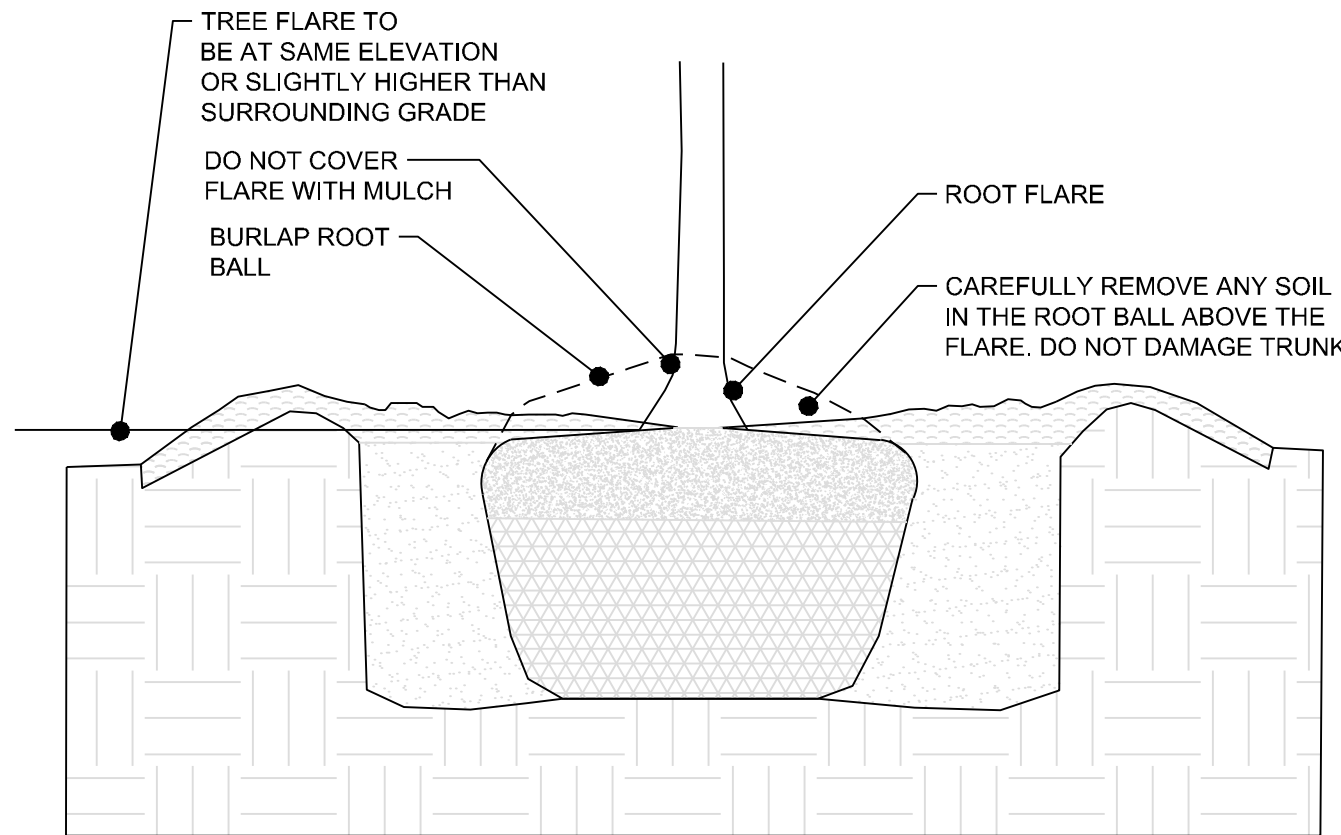
TYP. EVERGREEN PLANTING & GUYING

NO SCALE



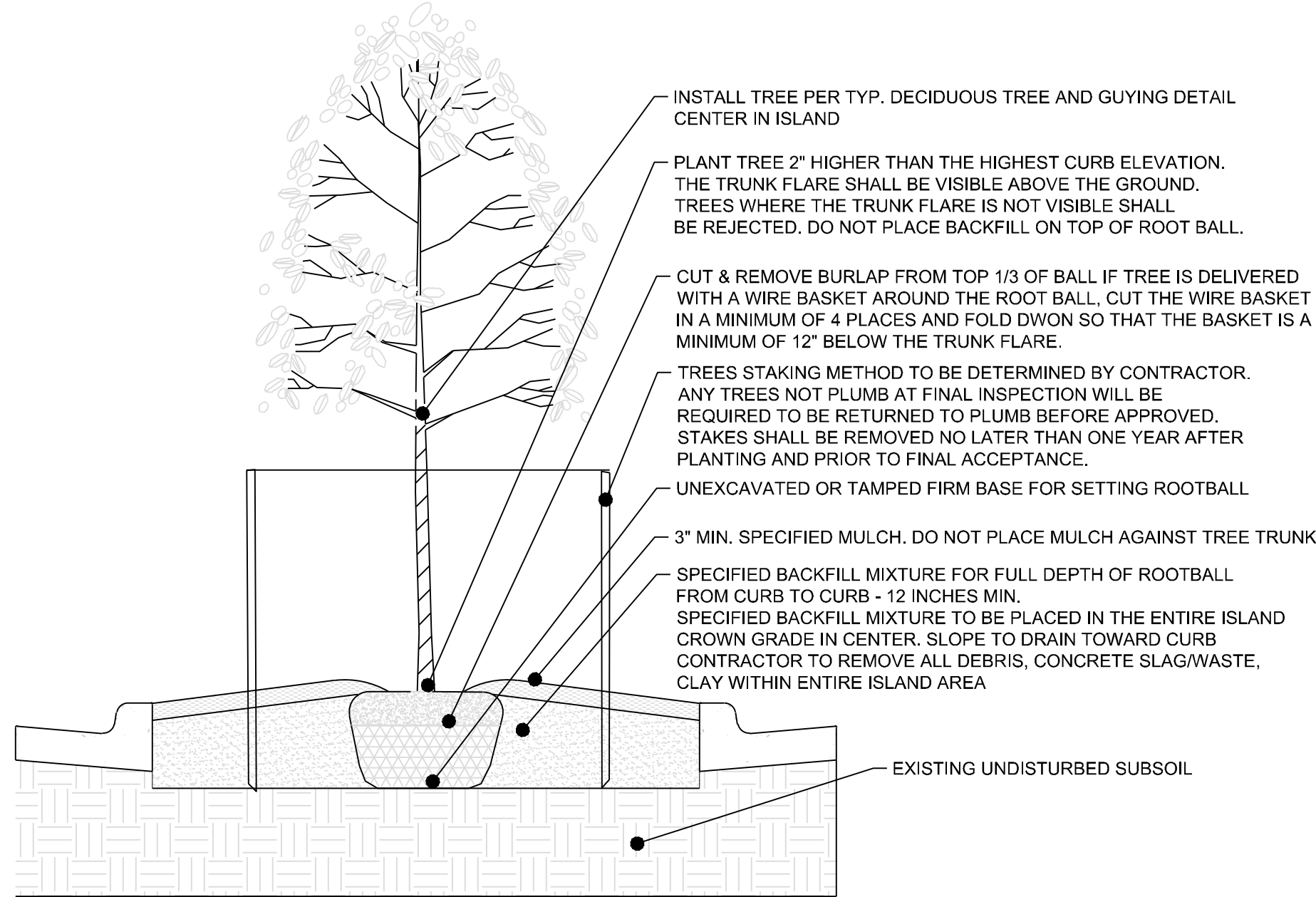
TYP. DECIDUOUS PLANTING & GUYING

NO SCALE



TYP. TREE PLANTING DEPTH

NO SCALE



TYP. PARKING LOT ISLAND PLANTING

NO SCALE

1. All trees shall comply with State and Federal regulations. Trees should be obtained from local sources but must meet the quality guidelines herein. Trees transported from out of the region shall meet all State and Federal regulations and be certified to be disease and insect free.
2. Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, bores, and larvae. At the time of planting all plants shall have a root system, stem, and branch form that will not restrict normal growth, stability and health for the expected life of the plant.
3. All trees shall be nursery-grown.
4. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Tree quality above the soil line shall comply with the following:
5. Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar pruned to a central and dominant leader.
6. Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-stem, clump, or unique selections such as contorted or weeping cultivars.
7. Leaves: The size, color, and appearance of leaves shall be typical for the time of year and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilted, shriveled, or dead leaves.
8. Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
 - a.) Main branches shall be distributed along the central leader not clustered together. Potential main branches shall be evenly spaced and have appropriate space between them. They shall form a balanced crown appropriate for the cultivar/species.
 - b.) Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
 - c.) The attachment of the largest branches (scaffold branches) shall be free of included bark.
 - d.) Branches shall be distributed radially around and vertically along the trunk, forming a generally symmetrical crown typical for the species.
 - e.) The attachment of scaffold branches shall be free of included bark.
9. Branch structure: The better quality, large-maturing shade trees (lower extreme left) have all branches less than about two-thirds the trunk diameter. Poor quality shade trees (lower left center) have larger upright branches. Trees such as crape myrtle and other small-maturing trees can have several trunks. Trees with extensive defects in branches such as cracks and included bark (lower right) represent lesser quality than trees free of these potential problems. Included bark can be seen between the two arrows below. Branches with bark inclusions are weakly attached to the tree and can split easily.
10. Evergreen branch structure: The branch pattern should dense, symmetrical and the branch stems should be evenly spaced completely around the trunk. The branches shall extend to within 12 inches of the ground and be along the full length of the trunk. Trees which are not symmetrical or that have an "open area" will be rejected. For structural integrity on evergreen trees, all side branches should be less than half the diameter of the adjacent trunk (less than one-third is preferred).
11. Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, conks (fungal fruiting bodies), wood cracks, sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury).
12. Evergreen tree trunk: Evergreen trees shall have a single trunk that is straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, conks (fungal fruiting bodies), wood cracks, sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury). Codominant trunks (trunks of similar size) will not be accepted.
13. Temporary branches, unless otherwise specified, can be present along the lower trunk below the lowest main (scaffold) branch, particularly for trees less than 1 inch in caliper. These branches should be no greater than 3/8-inch diameter. Clear trunk should be no more than 40% of the total height of the tree.
14. Central Leader: **Trees shall have a single(one), relatively straight central leader** and tapered trunk, free of co-dominant stems and vigorous, upright branches that compete with the central leader. Preferably, the central leader should not have been headed. However, in cases where the original leader has been removed, an upright branch at least 1/2 (one-half) the diameter of the original leader just below the pruning point shall be present. All trees are assumed to have one central leader trees unless a different form is specified in the plant list or drawings. If the central leader is broken or damaged during delivery or installation the tree shall be rejected and removed from the site. If the central leader dies within the warranty period the tree shall be replaced at the end of the warranty period.
15. All graft unions, where applicable, shall be completely closed without visible sign of graft rejection. All grafts shall be visible above the soil line.
16. Trunk caliper and taper shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stake may be used to maintain a straight leader in the upper half of the tree.
17. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
18. The roots shall be reasonably free of scrapes, broken or split wood.
19. The root system shall be reasonably free of injury from biotic (e.g., insects and pathogens) and abiotic (e.g., herbicide toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
20. A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
21. Plants with structural roots on only one side of the trunk (J roots) shall be rejected.
22. The root collar shall be within the upper 1 inch of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball. Any excess soil shall be removed from the root ball so that the root flare is visible as indicated in the "Planting Depth Detail". The root collar shall be visible above the mulch layer.
23. The root system shall be free of stem girdling roots over the root collar or kinked roots from nursery production practices.
24. Plant Grower Certification: The final plant grower shall be responsible to have determined that the plants have been root pruned at each step in the plant production process to remove stem girdling roots and kinked roots, or that the previous production system used practices that produce a root system throughout the root ball that meets these specifications. Regardless of the work of previous growers, the plant's root system shall be modified at the final production stage, if needed, to produce the required plant root quality. The final grower shall certify in writing that all plants are reasonably free of stem girdling and kinked roots as defined in this specification, and that the tree has been grown and harvested to produce a plant that meets these specifications.
25. At time of observations and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by stunted, discolored, distorted, or dead roots.

SCHLAGEL & ASSOCIATES, P.A.
Engineers • Planners • Surveyors • Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #AC200100237 #LS200200859-F

STATE OF MISSOURI
DANIEL G. FOSTER
NUMBER
LA-2001001877

Daniel G. Foster
Landscape Architect
MO# LA-2001001877

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

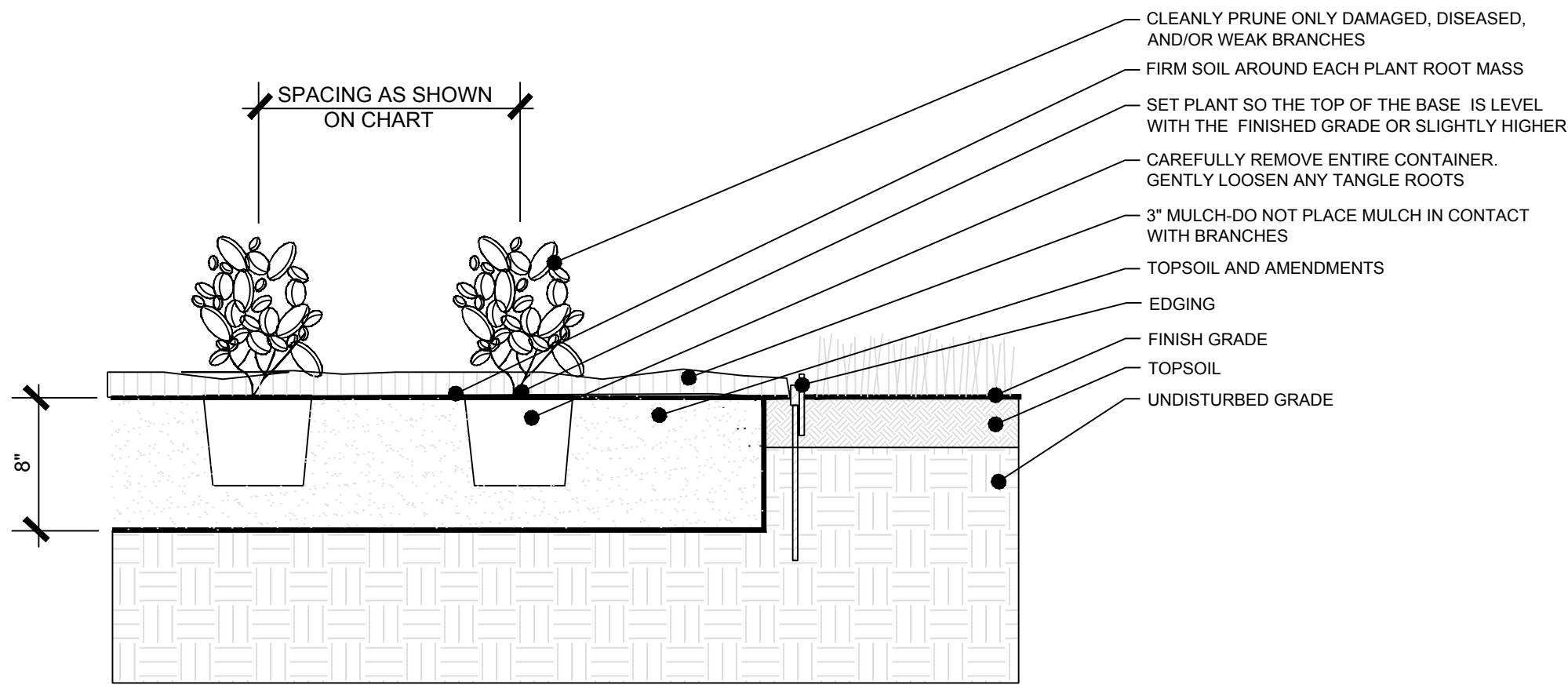
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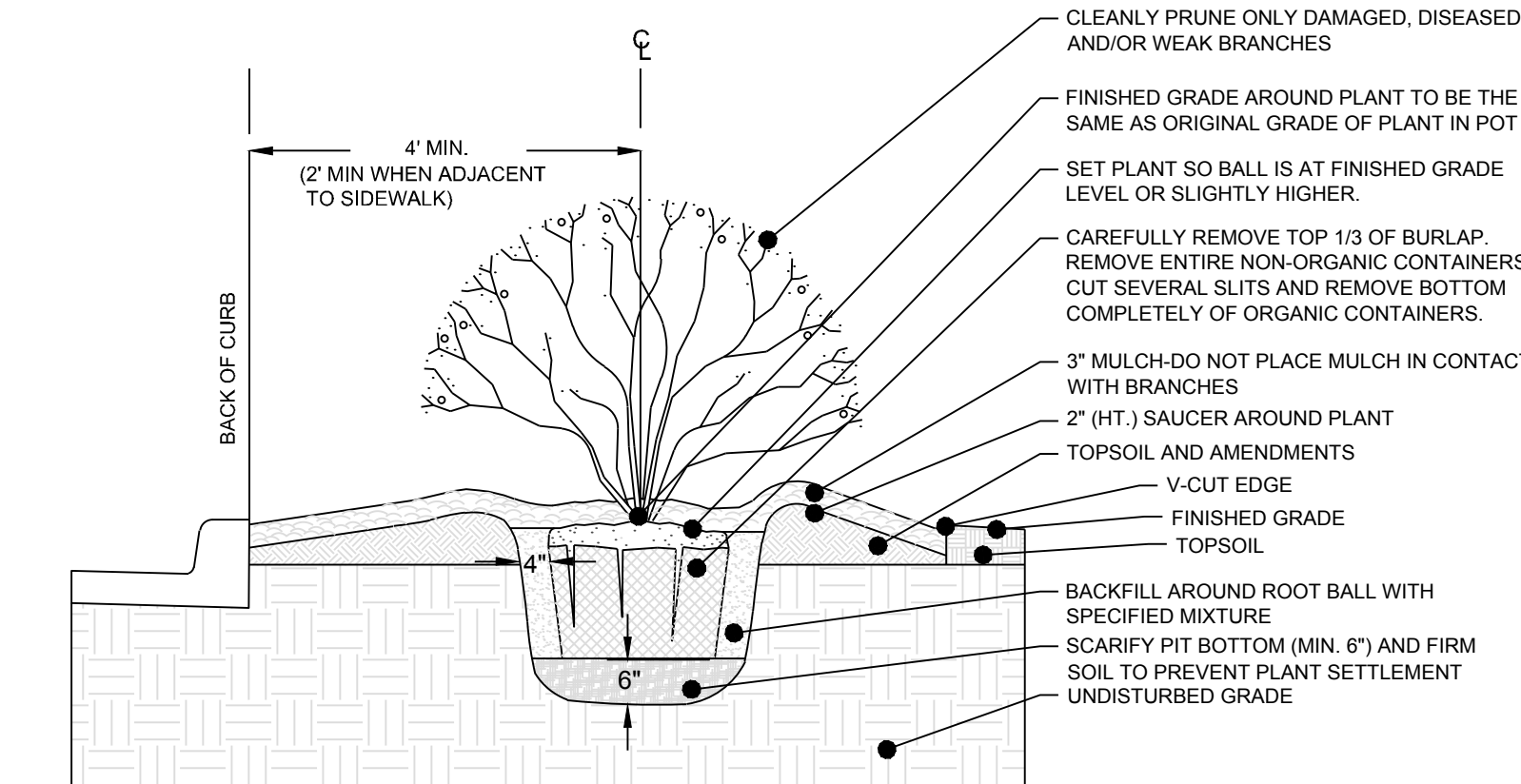
L2.0LANDSCAPE
DETAILS

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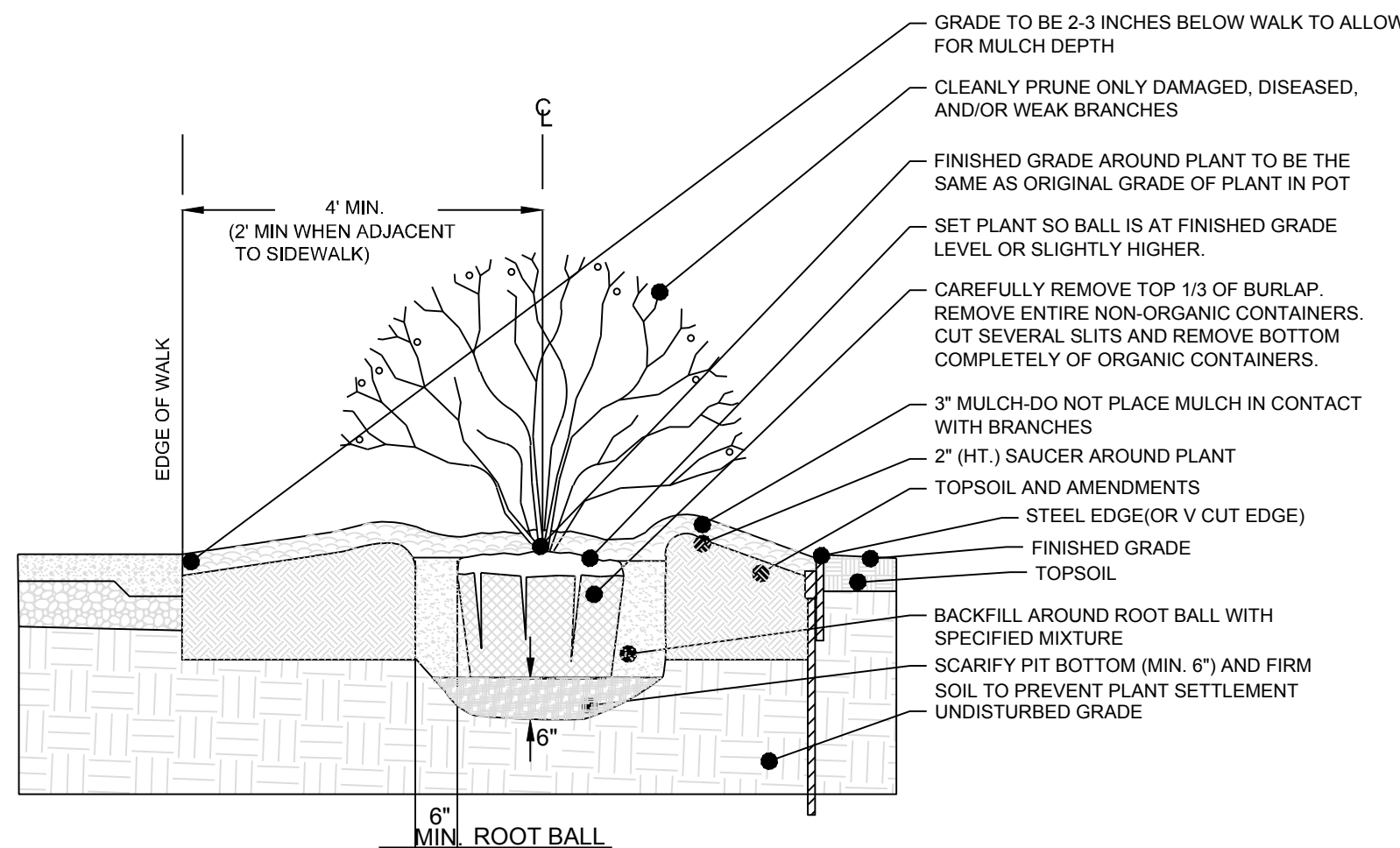
PLAN REVIEW/BID PLANS



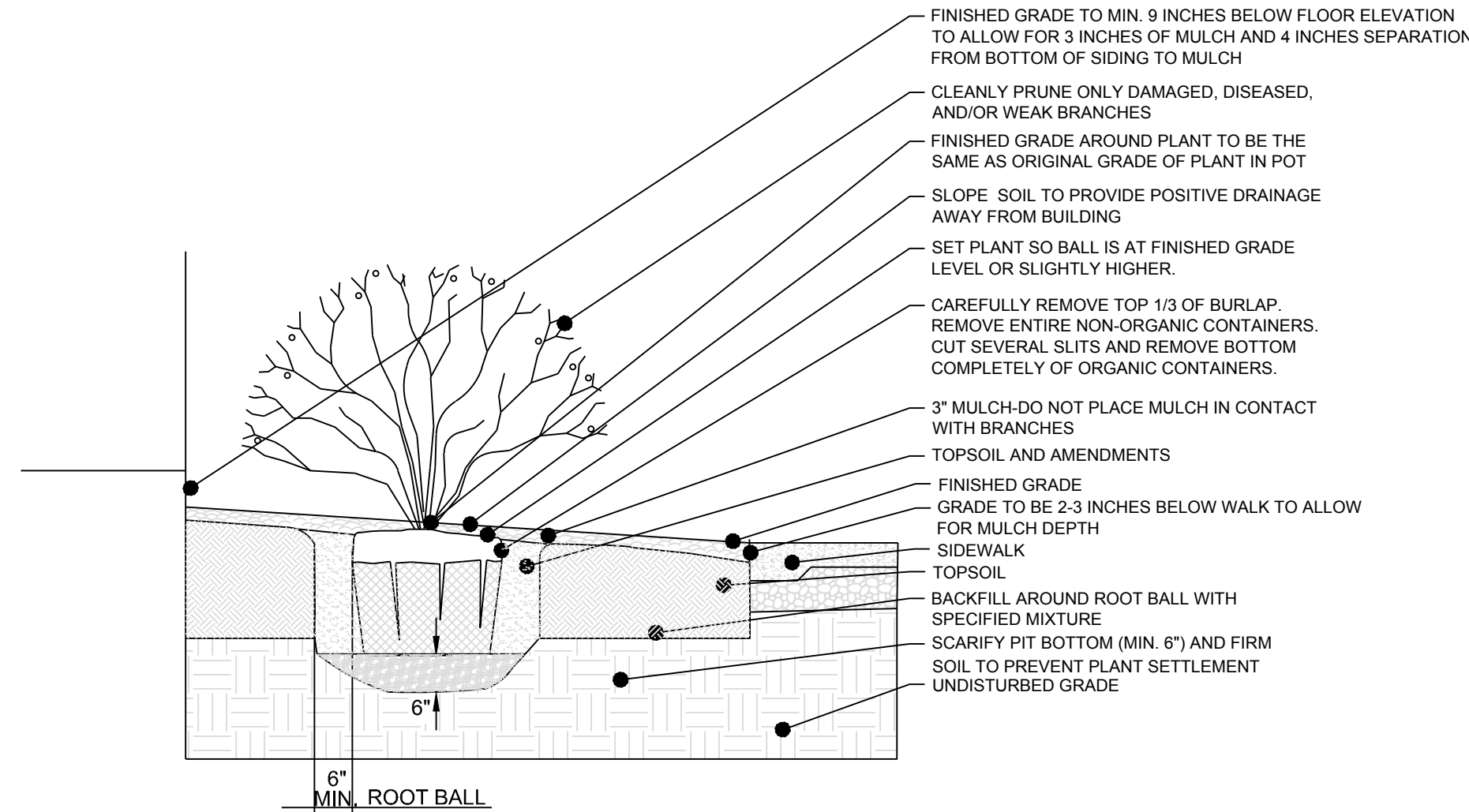
TYP. ANNUAL/PERENNIAL PLANTING
NO SCALE



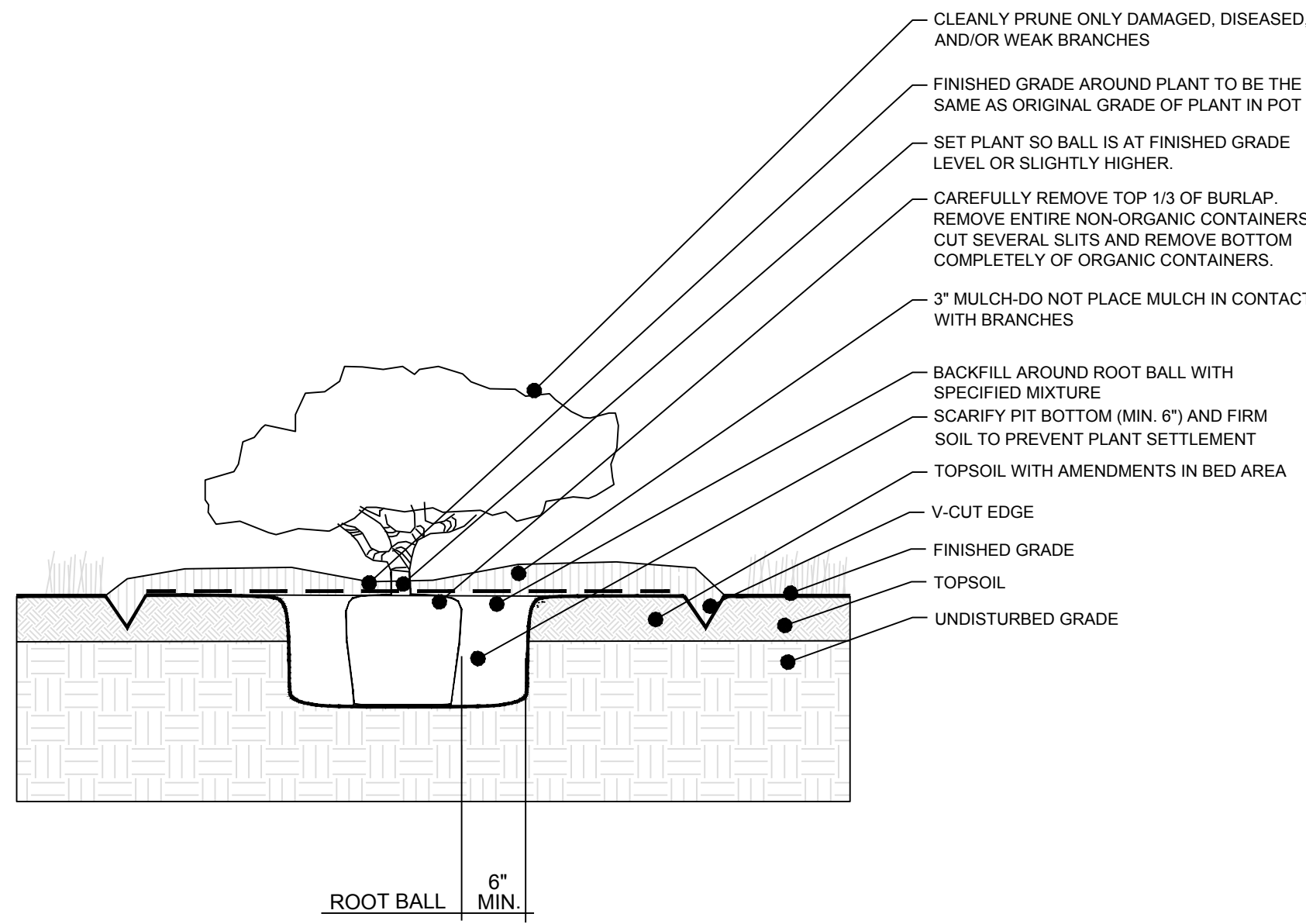
TYP. SHRUB PLANTING ADJACENT TO CURB
NO SCALE



TYP. SHRUB PLANTING ADJACENT TO WALK
NO SCALE



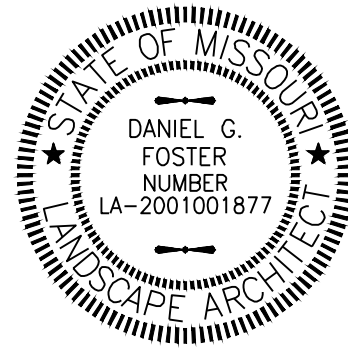
TYP. SHRUB PLANTING ADJACENT TO BUILDING
NO SCALE



TYP. SHRUB BED IN LAWN DETAIL
NO SCALE



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Engineers • Planners • Surveyors • Landscape Architects
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(913) 492-5158 • Fax: (913) 492-8400
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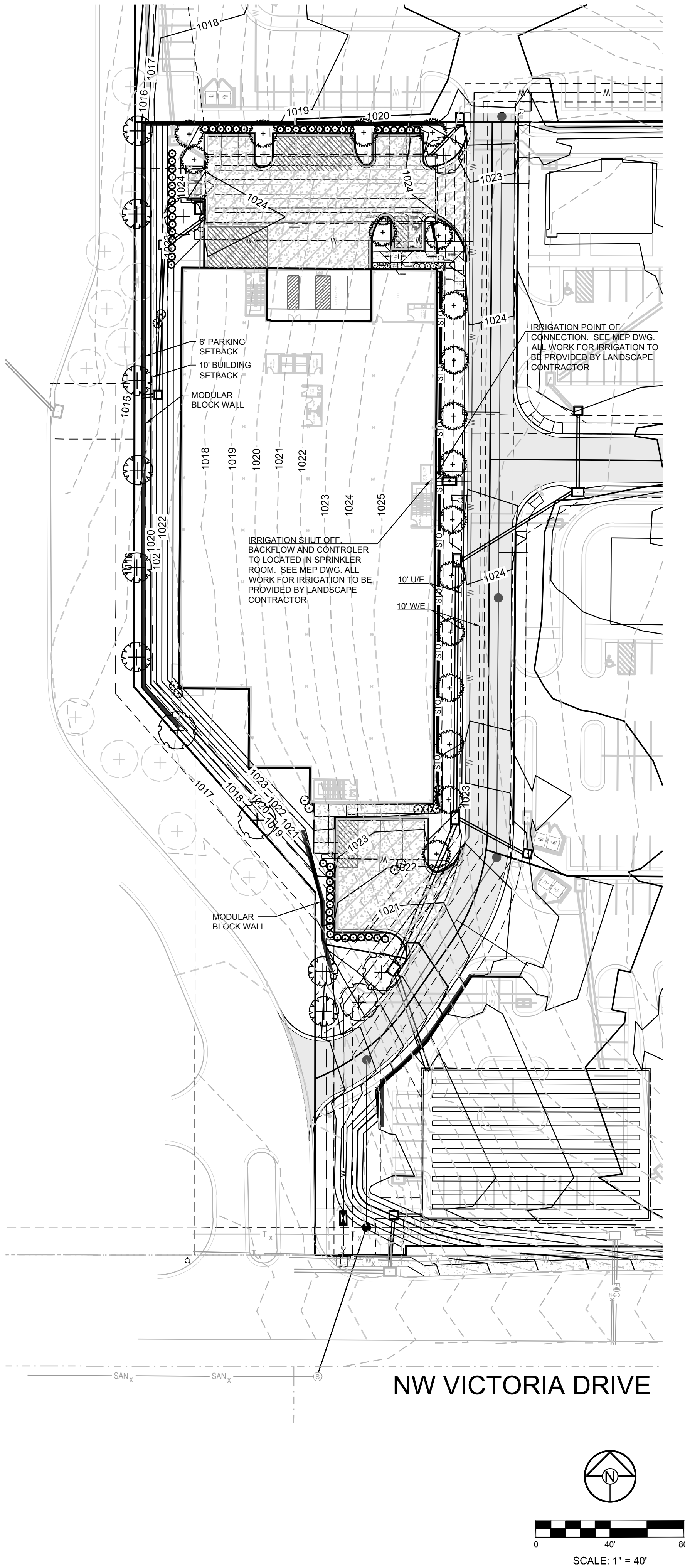
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PROJ. NUMBER:	17-135

LANDSCAPE
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PLAN REVIEW/BID PLANS

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- IRRIGATION NOTES:
- METHOD OF DELIVERY FOR THE IRRIGATION SYSTEM IS DESIGN/BUILD.
 - QUANTITIES PROVIDED ON THE PLANS ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND COMPLETING ON TAKE OFFS FOR BIDS.
 - FINAL IRRIGATION DESIGN SHALL BE DONE BY COMPETENT DESIGN/BUILD IRRIGATION CONTRACTOR AND/OR LANDSCAPE CONTRACTOR THAT HAVE PROVEN EXPERIENCE WITH SIMILAR PROJECTS. DRAWINGS ARE TO BE APPROVED BEFORE ANY CONSTRUCTION IS INITIATED. THE CONTRACTOR IS TO KEEP DETAILED CONSTRUCTION DRAWINGS AND PROVIDE ACCURATE AND LEGIBLE (AS-BUILT) DRAWINGS FOR ALL PHASES OF THE PROJECT. ALL IRRIGATION WORK IS TO BE COORDINATED AND SCHEDULED IN COOPERATION WITH ALL OTHER CONTRACTORS. ANY DIFFICULTIES, COST CHANGES, OR DAMAGES DUE TO LACK OF COOPERATION OR COMMUNICATION ARE THE RESPONSIBILITY OF THE CONTRACTOR, IRRIGATION CONTRACTOR AND/OR LANDSCAPE CONTRACTORS.
 - THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE AND AVAILABLE FLOW PRIOR TO CONSTRUCTION. IF DEFICIENCIES ARE NOTED THAT WILL HINDER THE SYSTEM'S PERFORMANCE, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO CORRECT DEFICIENCIES.
 - ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDRO-ZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
 - SLEEVING SHALL BE INSTALLED AT ALL ROADS, DRIVES, WALKS, AND UTILITY CROSSINGS USING SCHEDULE 40 PVC. SLEEVES SHALL EXTEND 12" BEYOND SURFACE CROSSED.
 - PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
 - MAIN LINES SHALL BE A MINIMUM DEPTH OF 36". LATERAL LINES SHALL BE A MINIMUM DEPTH OF 12".
 - PROPER BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED PER ALL LOCAL, COUNTY, AND STATE REGULATIONS AND CODES WHEN CONNECTING TO A PUBLIC WATER SOURCE.
 - POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4" IN LAWN AREAS AND 12" IN PLANTER AREAS.
 - ANNUALS, PERENNIALS, AND GROUND COVERS, SHALL HAVE A POP-UP SPRAY SYSTEM USING MIN. 12" POP-UPS. CONTRACTOR CAN UTILIZE SUBSURFACE DRIP IRRIGATION IN PLANTER BED AREAS.
 - ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - PRECISE INDIVIDUAL STATION TIMING
 - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD-TO-HEAD COVERAGE SQUARE OR TRIANGULAR SPACING AS APPROPRIATE.
 - SPRINKLER HEADS SHALL BE ADJUSTED TO ELIMINATE OVERSPRAY ON ADJACENT IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, PATIO, FENCES, BUILDINGS, AND PARKING AREAS.
 - PROVIDE MINIMUM (1) QUICK COUPLER VAL VIE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE LOCATIONS WITH OWNER.

OAKVIEW CLIMATE CONTROLLED STORAGE
FINAL DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

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IRRIGATION
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