

SECTION 47N, TOWNSHIP 9, 10, 15, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MO

Sheet List Table	
Sheet Number	Sheet Title
C201	TITLE SHEET
C202	GENERAL NOTES
C203	GENERAL LAYOUT
C204	SANITARY SEWER PLAN & PROFILE
C205	DETAIL SHEET



JULIE E. SELLERS, P.E. DATE
CIVIL ENGINEER
MO# 2017000367

PART OF LOTS 1 AND 2, MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, A SUBDIVISION OF LAND IN THE SOUTHEAST QUARTER OF SECTION 9, SOUTHWEST QUARTER OF SECTION 10, AND THE NORTHWEST QUARTER OF SECTION 15, ALL IN TOWNSHIP 47 NORTH, RANGE 32 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING RECORDED AS INSTRUMENT NUMBER 2016E0123276 IN BOOK 1167 AT PAGE 16 IN THE JACKSON RECORDER OF DEEDS OFFICE, ALSO A TRACT OF LAND IN SAID SOUTHEAST QUARTER OF SAID SECTION 9, BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 10; THENCE NORTH 87°47'12" WEST, ON THE SOUTH LINE OF SAID LOT 2 AND SOUTHEAST QUARTER OF SAID SECTION 9, 399.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 18°19'24" WEST, ON THE WEST LINE OF SAID LOT 2, 407.26 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 86°45'10" EAST, ON THE SOUTH LINE OF SAID LOT 1, 549.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 ALSO BEING A POINT ON THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 03°14'50" EAST, ON SAID EAST LINE ALSO BEING THE EAST LINE OF SAID LOT 1, 324.20 FEET; THENCE SOUTH 86°45'10" EAST, 205.31 FEET; THENCE NORTH 03°14'50" EAST, 262.56 FEET; THENCE NORTH 31°35'45" WEST, 200.81 FEET; THENCE NORTH 05°01'33" EAST, 222.96 FEET; THENCE NORTH 84°58'27" WEST, 11.03 FEET; THENCE NORTHWESTERLY, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 223.00 FEET, A CENTRAL ANGLE OF 48°08'14" AND AN ARC DISTANCE OF 187.35 FEET; THENCE NORTH 81°47'15" WEST, 19.78 FEET; THENCE SOUTH 53°15'42" WEST, 254.94 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 175.00 FEET, A CENTRAL ANGLE OF 21°34'36" AND AN ARC DISTANCE OF 65.90 FEET; THENCE SOUTHERLY, ON A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 39.00 FEET, A CENTRAL ANGLE OF 75°20'23" AND AN ARC DISTANCE OF 51.28 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE RIGHT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 202°12'06" AND AN ARC DISTANCE OF 176.45 FEET; THENCE SOUTH 68°32'49" WEST, 30.00 FEET; THENCE NORTH 72°46'15" WEST, 117.55 TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE NORTH 17°13'45" EAST, ON SAID WEST LINE, 365.72 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE CONTINUING NORTH 17°13'45" EAST, 213.85 FEET; THENCE NORTH 23°28'32" EAST, 282.09 FEET TO THE SOUTHWEST CORNER OF LOT 1, GODDARD SCHOOL, A SUBDIVISION IN SAID SOUTHEAST QUARTER OF SAID SECTION 9, BEING RECORDED AS INSTRUMENT NUMBER 2016E0076861 IN BOOK 1163 AT PAGE 76 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 86°45'08" EAST, ON THE SOUTH LINE OF SAID LOT 1 OF SAID GODDARD SCHOOL, 267.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 OF SAID GODDARD SCHOOL, SAID POINT ALSO BEING THE ON THE EXISTING WEST RIGHT-OF-WAY LINE OF SW LONGVIEW PARK DRIVE, ESTABLISHED BY MADISON PARK - 1ST PLAT, A SUBDIVISION IN SAID SECTIONS 9 AND 10, RECORDED AS INSTRUMENT 20050509014 IN BOOK 187 AT PAGE 91 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 03°14'52" WEST, ON SAID WEST RIGHT-OF-WAY LINE, 322.68 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID EXISTING WEST RIGHT-OF-WAY LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 165.00 FEET, A CENTRAL ANGLE OF 32°47'01" AND AN ARC DISTANCE OF 94.41 FEET TO THE SOUTHEAST CORNER OF SAID MADISON PARK - 1ST PLAT, ALSO BEING A POINT ON THE NORTH LINE OF SAID LOT 1 OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE SOUTH 53°58'07" EAST, ON SAID NORTH LINE OF SAID LOT 1 AND THE SOUTH LINE OF SAID MADISON PARK - 1ST PLAT, 70.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 2, OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE NORTHWESTERLY, ON SAID SOUTH AND WEST LINE, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL ANGLE OF 03°18'31" AND AN ARC DISTANCE OF 13.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 59°57'45" EAST, ON THE NORTH LINE OF SAID LOT 2 AND SAID SOUTH LINE, 25.68 FEET; THENCE SOUTH 89°09'15" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 180.99 FEET; THENCE EASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 1,589.00 FEET, A CENTRAL ANGLE OF 09°19'35" AND AN ARC DISTANCE OF 258.65 FEET; THENCE SOUTH 79°49'40" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 59.58 FEET; THENCE SOUTH 77°02'26" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 81.10 FEET; THENCE SOUTHEASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 48°46'38" AND AN ARC DISTANCE OF 12.77 FEET; THENCE SOUTH 28°13'48" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 41.96 FEET; THENCE SOUTH 59°12'05" WEST, CONTINUING ON SAID NORTH AND SOUTH LINE, 10.34 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 46.00 FEET, A CENTRAL ANGLE OF 02°53'00" AND AN ARC DISTANCE OF 23.97 FEET; THENCE SOUTH 33°41'04" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 46.00 FEET; THENCE NORTHWESTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL ANGLE OF 03°18'31" AND AN ARC DISTANCE OF 13.57 FEET; THENCE SOUTH 59°57'45" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 25.68 FEET; THENCE SOUTH 89°09'15" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 180.99 FEET; THENCE EASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 1,589.00 FEET, A CENTRAL ANGLE OF 09°19'35" AND AN ARC DISTANCE OF 258.65 FEET; THENCE SOUTH 79°49'40" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 59.58 FEET; THENCE SOUTH 77°02'26" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 81.10 FEET; THENCE SOUTHEASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED CURVE WITH A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 48°46'38" AND AN ARC DISTANCE OF 12.77 FEET; 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3/8" IB CAP AT THE S.W. CORNER OF SW PERGOLA PARK DRIVE AND SW GRANDSTAND CIRCLE. ELEVATION= 948.83
3/8" IB CAP N.E. CORNER OF SW LONGVIEW PARK DRIVE AND SW ARENA STREET. ELEVATION= 970.720



STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER
PE-2017000367
PROFESSIONAL ENGINEER

[illegible]

<p>drawn by: _____ D.A.H.O.</p> <p>checked by: _____ J.E.S.</p> <p>designed by: _____ J.E.S.</p> <p>QA/QC by: _____ M.G.D.</p> <p>project no.: _____ 017-23055</p> <p>date: _____ 0000.00.00</p>	<p>TITLE SHEET</p> <p>SANITARY SEWER PLANS</p>	<p>2018</p>
	<p>OLD LONGVIEW LAKE</p>	<p>IEEE'S SUMMIT MO</p>
<p>SHEET</p> <p>C201</p>		

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drawn by: _____ **D.A.H.Q**

checked by: _____ **J.E.S**

designed by: _____ **J.E.S**

QA/QC by: _____ **M.G.D**

project no.: _____ **017-03905**

date: _____ **0000.00.00**

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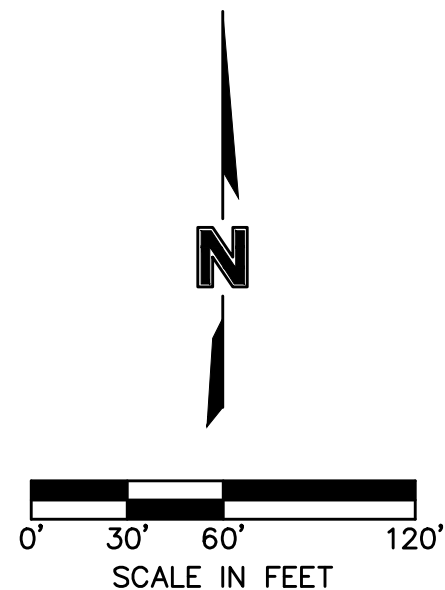
GENERAL NOTES	NO. REV.	DATE	REVISIONS DESCRIPTION	BY
GENERAL NOTES SANITARY SEWER PLANS				
OLD LONGVIEW LAKE REHABILITATION				
LEE'S SUMMIT, MO 2018			REVISIONS	

SHEET
C202

Control Point Table				
Point Number	Northing	Easting	Point elevation	Raw Description
7371	995767.520	2803980.470	948.83	Set 3/8" IB/ Cap at the S.E. corner of SW. Pergola Park Drive and SW. Grandstand Circle. 5.0' N to back of curb, 14.0' W to FH, 43.0' E to MH
1000	996699.785	2803643.760	960.32	Set 3/8" IB/ Cap N.W. corner of SW. Rockbridge Drive and SW. Redbuck Circle. 3' S to back of curb, 19.1' E to stop sign, 37.4' NE to MH
1001	996444.728	2802576.004	970.72	Set 3/8" IB/ Cap N.E. corner of SW. Longview Park Drive and SW. Areeana Street. 11.7' W to Stop Sign, 10.4' S.E. to back of curb at pcr turn, 6.6' N to sidewalk
1002	995493.880	2802676.020	953.54	Set 3/8" IB/ Cap off of the S.E. corner of the parking lot on the East side for the Longview Lake Mansion House. 9.0' W to S.E. corner gravel parking lots, 58.5' W-N.W. to S.E. for asphalt parking lot, 69.5' S.W. to 50' +/- tree

DWG: F:\2017\0001-0500\017-
DATE: Aug 09, 2018 12:01pm

STRUCTURES		
STRUCTURE ID	NORTHING	EASTING
EX MH. 42-005	994454.0608	2803187.1447
EX MH. 42-006	994243.0218	2803074.4817
EX MH. 42-007	994115.7961	2802965.5667
MH. 1-1	994550.8465	2802956.6405
MH. 1-2	994650.3659	2802719.6258

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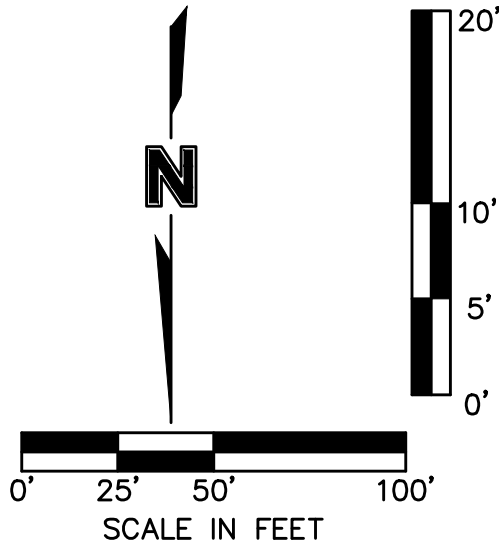
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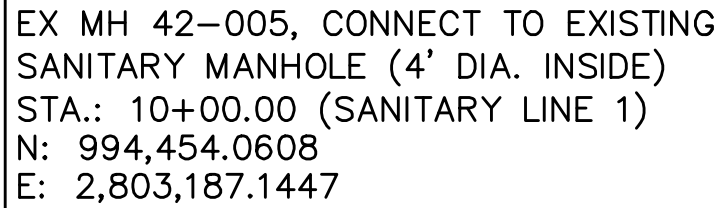
GENERAL LAYOUT SANITARY SEWER PLANS	2018
OLD LONGVIEW LAKE REHABILITATION	
LEE'S SUMMIT, MO	

drawn by: D.A.H.O
checked by: J.E.S
designed by: J.E.S
QA/QC by: M.G.D
project no.: 017-0305
date: 0000.00.00

SHEET
C203



Sanitary Sewer Design Information											
Upstream Manhole	Downstream Pipe Slope	Downstream Pipe Diameter	Existing Cumulative Area	Future Cumulative Area	Peak Base Flow	Peak Infiltration Flow	Peak Inflow	Total Peak Flow	Downstream Pipe Mannings N	Downstream Pipe Capacity	Downstream Pipe Full Flow Velocity
	(%)	(in)	(Ac.)	(Ac.)	(gpd)	(gpd)	(cfs)	(cfs)		(cfs)	(fps)
EX MH-42-007	0.24%	12	167.45	24.26	287565.00	95855.000	3.094	3.688	0.013	1.75	2.22
EX MH-42-006	0.42%	12	167.45	24.26	287565.00	95855.000	3.094	3.688	0.013	2.31	2.94
EX MH-42-005	0.35%	12	167.45	24.26	287565.00	95855.000	3.094	3.688	0.013	2.11	2.68
MH 1-1	0.80%	8	0.00	24.26	36390.00	12130.000	0.629	0.704	0.013	1.08	3.10
MH 1-2	5.50%	8	0.00	24.26	36390.00	12130.000	0.629	0.704	0.013	2.83	8.12



MH. 1-1, CONST. STD.
SANITARY MANHOLE (4' DIA. INSIDE)
STA.: 12+50.00 (SANITARY LINE 1)
N: 994,550.8465
E: 2,802,956.6405

MH. 1-2, CONST. STD.
SANITARY MANHOLE (4' DIA. INSIDE)
STA.: 15+07.06 (SANITARY LINE 1)
N: 994,650.3659
E: 2,802,719.6258

NOTES:
CONTRACTOR SHALL FILL AND COMPACT TO 95%
STANDARD DENSITY TO A POINT 36" MINIMUM
ABOVE THE TOP OF PIPE PRIOR TO EXCAVATION
FOR THE PIPE.

