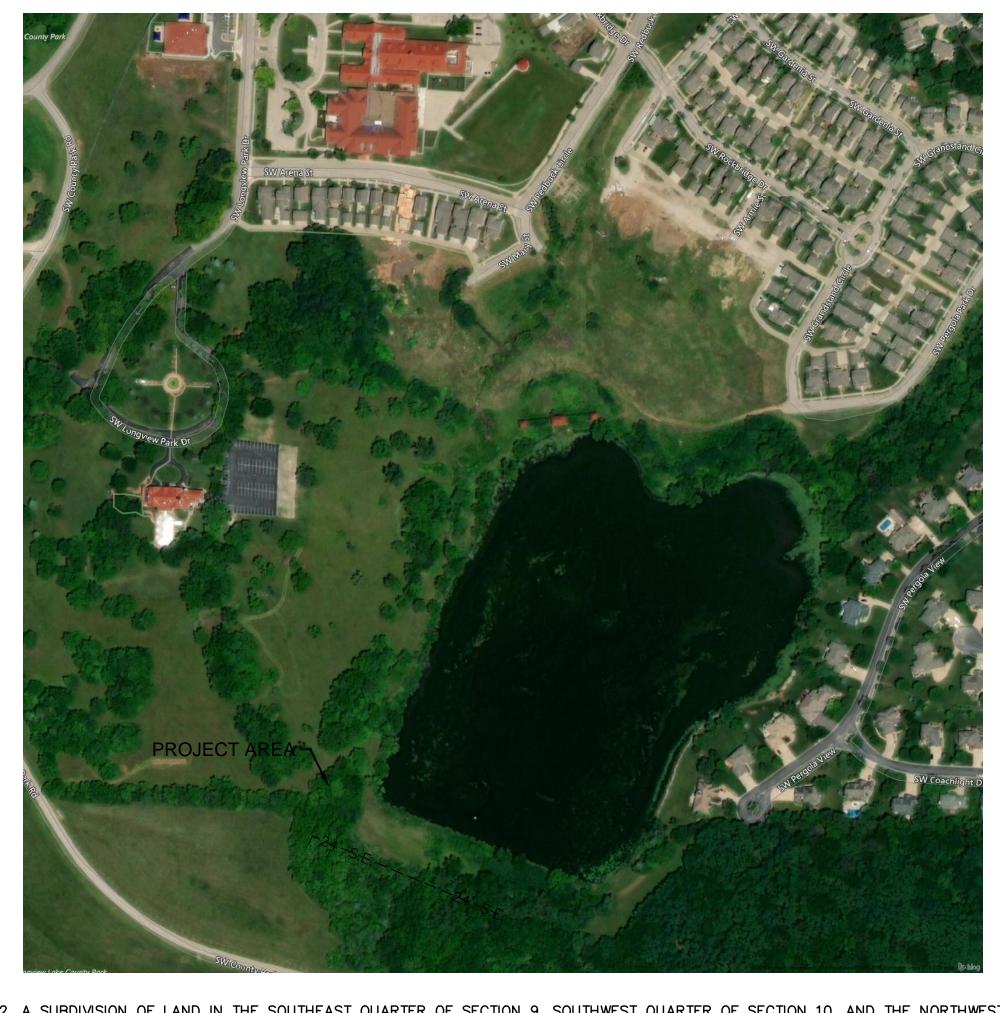
SCALE 1"=2000'



	Sheet List Table
Sheet Number	Sheet Title
C201	TITLE SHEET
C202	GENERAL NOTES
C203	GENERAL LAYOUT
C204	SANITARY SEWER PLAN & PROFILE
C205	DETAIL SHEET

OLSSON ASSOCIATES HAS BEEN RETAINED TO PROVIDE AS-BUILT DRAWINGS FOR THIS PROJECT.

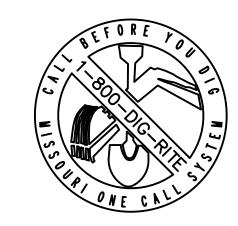
JULIE E. SELLERS, P.E. CIVIL ENGINEER MO# 2017000367 DATE

PROPERTY DESCRIPTION:

PHONE: 877-454-6959

PART OF LOTS 1 AND 2, MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, A SUBDIVISION OF LAND IN THE SOUTHEAST QUARTER OF SECTION 10, AND THE NORTHWEST QUARTER OF SECTION 15, ALL IN TOWNSHIP 47 NORTH, RANGE 32 WEST OF THE 5TH PRINCIPAL MERIDIAN IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING RECORDED AS INSTRUMENT NUMBER 2016E0123276 IN BOOK 1167 AT PAGE 16 IN THE JACKSON RECORDER OF DEEDS OFFICE, ALSO A TRACT OF LAND IN SAID SOUTHEAST QUARTER OF SAID SECTION 9, BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SAID SECTION 10; THENCE NORTH 87'47'12" WEST, ON THE SOUTH LINE OF SAID LOT 2, THENCE NORTH 18'19'24" WEST, ON THE WEST LINE OF SAID LOT 2, 407.26 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 86°45'10" EAST, ON THE SOUTH LINE OF SAID LOT 1 ALSO BEING A POINT ON THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 03°14'50" EAST, ON SAID EAST LINE ALSO BEING THE EAST LINE OF SAID LOT 1, 324.20 FEET; THENCE SOUTH 86'45'10" EAST, 205.31 FEET; THENCE NORTH 03"14'50" EAST, 200.81 FEET; THENCE NORTH 03"14'50" EAST, 202.96 FEET; THENCE NORTH 86'45'10" EAST, 205.31 FEET; THENCE NORTH WESTERLY, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 223.00 FEET, A CENTRAL ANGLE OF 48°08'14" AND AN ARC DISTANCE OF 187.35 FEET; THENCE NORTH 81°47'15" WEST, 19.78 FEET; THENCE SOUTH 53°15'42" WEST, 245.94 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 175.00 FEET, A CENTRAL ANGLE OF 21°34'36" AND AN ARC DISTANCE OF 65.90 FEET, THENCE SOUTHERLY, ON A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE WITH A RADIUS OF 39.00 FEET, A CENTRAL ANGLE OF 75°20'23" AND AN ARC DISTANCE OF 51.28 FEET; THENCE SOUTHWESTERLY, ON A CURVE TO THE RIGHT, HAVING A COMMON TANGENT WITH A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 202°12'06" AND AN ARC DISTANCE OF 176.45 FEET; THENCE SOUTH 68°32'49" WEST, 30.00 FEET; THENCE NORTH 72°46'15" WEST, 117.55 TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE NORTH 17°13'45" EAST, 213.85 FEET; THENCE NORTH 23°28'32" EAST, 282.09 FEET TO THE SOUTHWEST CORNER OF LOT 1, GODDARD SCHOOL, A SUBDIVISION IN SAID SOUTHEAST QUARTER OF SAID SECTION 9, BEING RECORDED AS INSTRUMENT NUMBER 20016E0076861 IN BOOK 1163 AT PAGE 76 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 86°45'08" EAST, ON THE SOUTH LINE OF SAID LOT 1 OF SAID GODDARD SCHOOL, 267.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1 OF SAID GODDARD SCHOOL, SAID POINT ALSO BEING THE ON THE EXISTING WEST RIGHT-OF-WAY LINE OF SW LONGVIEW PARK DRIVE, ESTABLISHED BY MADISON PARK - 1ST PLAT, A SUBDIVISION IN SAID SECTIONS 9 AND 10, RECORDED AS INSTRUMENT 200510059014 IN BOOK 187 AT PAGE 91 IN SAID EXISTING WEST, ON SAID WEST, ON SAID WEST RIGHT-OF-WAY LINE, 322.68 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID EXISTING WEST RIGHT-OF-WAY LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 165.00 FEET, A CENTRAL ANGLE OF 32°47'01" AND AN ARC DISTANCE OF 94.41 FEET TO THE SOUTHEAST CORNER OF SAID MADISON PARK - 1ST PLAT, ALSO BEING A POINT ON THE NORTH LINE OF SAID LOT 1 OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE SOUTH 53°58'07" EAST, ON SAID NORTH LINE OF SAID LOT 1 AND THE SOUTH LINE OF SAID MADISON PARK - 1 ST PLAT, 70.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 2, OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; THENCE NORTHEASTERLY, ON SAID SOUTH AND WEST LINE, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 36°01'53" EAST WITH A RADIUS OF 235.00 FEET, A CENTRAL ANGLE OF 03°18'31" AND AN ARC DISTANCE OF 13.57 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 59°57'45" EAST, ON THE NORTH LINE OF SAID LOT 2 AND SAID SOUTH LINE, 25.68 FEET; THENCE SOUTH 89°09'15" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 1,589.00 FEET, A CENTRAL ANGLE OF 091935" AND AN ARC DISTANCE OF 258.65 FEET; THENCE SOUTH 794940" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 59.58 FEET; THENCE SOUTH 770026" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 81.10 FEET; THENCE SOUTHEASTERLY, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 48'46'38" AND AN ARC DISTANCE OF 12.77 FEET; THENCE SOUTH 28"13'48" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 41.96 FEET; THENCE SOUTH 5912'05" WEST, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 476.00 FEET, A CENTRAL ANGLE OF 02°53'07" AND AN ARC DISTANCE OF 23.97 FEET; THENCE SOUTH 33°41'04" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF NORTH 56"18'58" EAST WITH A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 02"53'07" AND AN ARC DISTANCE OF 21.65 FEET; THENCE NORTH AND SOUTH LINE, ON A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF SOUTH 52°08'01" EAST WITH A RADIUS OF 130.00 FEET, A CENTRAL ANGLE OF 04°00'23" AND AN ARC DISTANCE OF 9.09 FEET; THENCE NORTH 45°01'17" EAST, CONTINUING ON SAID NORTH AND SOUTH LINE, 0.46 FEET; THENCE SOUTHEASTERLY, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 52°06'35" EAST WITH A RADIUS OF 130.00 FEET, A CENTRAL ANGLE OF 27°43'03" AND AN ARC DISTANCE OF 62.89 FEET; THENCE SOUTH 37°45'17" EAST, 17.08 FEET; THENCE SOUTH 03°49'32" WEST, 221.29 FEET; THENCE SOUTH 43°34'35" WEST, 16.34 FEET; THENCE WESTERLY, ALONG A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 83°34'38" WEST WITH A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF 08°28'14" AND AN ARC DISTANCE OF 40.66 FEET; THENCE SOUTH 14°53'36" EAST, 48.00 FEET; THENCE EASTERLY, ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF NORTH 75°06'24" EAST WITH A RADIUS OF 227.00 FEET, A CENTRAL ANGLE OF 56°52'27" AND AN ARC DISTANCE OF 225.33 FEET; THENCE SOUTH 41°58'50" WEST, 11.00 FEET; THENCE SOUTHEASTERLY, ALONG A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT 26°45'10" AND AN ARC DISTANCE OF 109.26 FEET; THENCE NORTH 15°29'35" EAST, 11.00 FEET; THENCE EASTERLY, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 74°30'25" EAST WITH A RADIUS OF 223.00 FEET, A CENTRAL ANGLE OF 16°55'28" AND AN ARC DISTANCE OF 65.87 FEET; THENCE NORTH 88°34'07" EAST, 253.88 FEET; THENCE EASTERLY, ALONG A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 177.00 FEET, A CENTRAL ANGLE OF 04°54'55" AND AN ARC DISTANCE OF 15.18 FEET; THENCE EASTERLY, ON A CURVE TO THE LEFT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 523.00 FEET, A CENTRAL ANGLE OF 01°45'51" AND AN ARC DISTANCE OF 16.10 FEET A POINT ON THE EAST LINE OF SAID LOT 2 OF SAID MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, ALSO BEING A POINT ON THE WEST LINE OF PERGOLA PARK - 3RD PLAT, A SUBDIVISION IN SAID SOUTHWEST QUARTER OF SAID SECTION 10 RECORDED AS INSTRUMENT 2006E0018783 IN BOOK 193 AT PAGE 23 IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 01°43'12" WEST, ON SAID EAST AND WEST LINE, 15.00 FEET; THENCE EASTERLY, CONTINUING ON SAID EAST AND WEST LINE, ON A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 8816'49" EAST WITH A RADIUS OF 538.00 FEET, A CENTRAL ANGLE OF 0518'24" AND AN ARC DISTANCE OF 49.83 FEET; THENCE SOUTH 2519'29" EAST, CONTINUING ON SAID EAST AND WEST LINE, 199.14 FEET; THENCE SOUTH 72°37'55" EAST, CONTINUING ON SAID EAST AND WEST LINE, 79.42 FEET TO A POINT THE WEST LINE OF LONGVIEW FARM ESTATES SECOND PLAT, A SUBDIVISION IN SAID SOUTHWEST QUARTER OF SAID SECTION 10 RECORDED AS INSTRUMENT 1993I1163167 IN BOOK 152 AT PAGE 77, IN SAID JACKSON COUNTY RECORDER OF DEEDS OFFICE; THENCE SOUTH 26'23'14" WEST, ON SAID EAST LINE AND SAID EAST LINE OF SAID LONGVIEW FARMS ESTATES SECOND PLAT, 266.90 FEET; THENCE SOUTH 15'53'11" WEST, CONTINUING ON SAID EAST AND WEST LINE, 202.86 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID EAST AND WEST LINE, ON A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST DESCRIBED COURSE WITH A RADIUS OF 175.00 FEET, A CENTRAL ANGLE OF 188.38 FEET; THENCE SOUTHWESTERLY, CONTINUING ON SAID EAST AND WEST LINE, ON A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE WITH A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF 57°09'10" AND AN ARC DISTANCE OF 274.31 FEET; THENCE SOUTH 20°24'41" WEST, CONTINUING ON SAID EAST AND WEST LINE, 218.62 FEET; THENCE SOUTH 52°42'10" EAST, CONTINUING ON SAID EAST AND WEST

LINE, 110.65 FEET; THENCE SOUTH 3719'54" WEST, ON SAID EAST LINE OF SAID LOT 2, 300.18 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2, 1,171.27 FEET TO THE POINT OF BEGINNING. CONTAINING 2,592,295 SQUARE FEET OR 59.51 ACRES,



BENCHMARK

MORE OR LESS.

3/8" IB CAP AT THE S.W. CORNER OF SW PERGOLA PARK DRIVE AND SW GRANDSTAND CIRCLE. ELEVATION= 948.83 3/8" IB CAP N.E. CORNER OF SW LONGVIEW PARK DRIVE AND SW ARENA STREET. ELEVATION= 970.720

OLSSON (R) A S S O C I A T E S

JULIE ELAINE
SELLERS

NUMBER
PE-2017000367

SZ SZ				2018
NO. DATE				
REVISIONS DESCRIPTION				REVISIONS

SANITARY SEWER PLANS
OLD LONGVIEW LAKE

 drawn by:
 D.A.H.G.

 checked by:
 J.E.S.

 designed by:
 J.E.S.

 QA/QC by:
 M.G.I.

 project no.:
 017-030

 date:
 0000 00 0

SHEET C201

2. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT "CITY STANDARDS" AND SPECIFICATIONS OF THE CPD-DS-LDD, LEE'S SUMMIT, EXCEPT AS NOTED.

3. THE DEVELOPER SHALL PERFORM ALIGNMENT AND GRADE, INFILTRATION -EXFILTRATION, DEFLECTION, SOIL DENSITY, AND MANHOLE TESTS AS CALLED OUT IN SECTION 2500 OF THE CURRENT APWA (AMERICAN PUBLIC WORKS ASSOCIATION) STANDARDS AND SPECIFICATIONS. ANY SECTION OF SEWER FAILING ANY OF THE ABOVE MENTIONED TESTS SHALL BE RETESTED BY THE DEVELOPER AFTER REPLACEMENT OR REPAIR.

4. THE DEVELOPER MAY, AS AN ALTERNATE, SUBSTITUTE A.B.S. OR V.C.P. PIPE FOR P.V.C. PIPE. THE FOLLOWING PIPE DEFLECTION TEST SHALL BE IMPLEMENTED ON A.B.S. AND P.V.C. PIPE:

THE DEVELOPER SHALL PERFORM DIAMETRICAL DEFLECTION TESTS ON FLEXIBLE AND SEMI-FLEXIBLE (I.E. POLY-VINYL-CHLORIDE AND ACRYLONITRILLE BUTADIENE STYRENE) PIPE WHEN USED AS A PUBLIC DIAMETER. ALL TESTS HALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTS SHALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTED SHALL BE 100% OF THE TOTAL SEWER INSTALLED. A MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE BEING INSTALLED SHALL BE USED.

5. THE DEVELOPER SHALL PERFORM DIAMETRICAL DEFLECTION TESTS ON FLEXIBLE AND SEMI-FLEXIBLE (I.E. POLY-VINYL-CHLORIDE AND ACRYLONITRILE BUTADIENE STYRENE) PIPE WHEN USED AS A PUBLIC SEWER PRIOR TO FINAL ACCEPTANCE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE 5% OF THE INSIDE DIAMETER. ALL TESTS SHALL BE CONDUCTED BETWEEN MANHOLES. SEWER TESTED SHALL BE 100% OF THE TOTAL SEWER INSTALLED. A MANDREL WITH A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE BEING INSTALLED SHALL BE USED.

6. PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS.

7. DEVELOPER SHALL PROVIDE EARTHWORK AND MATERIAL TESTING TO COMPLY WITH THE STANDARD SPECIFICATIONS OF THE CPD-DS-LDD.

8. DURING CONSTRUCTION OF THE PROJECT, THE DEVELOPER SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS, AND SHOP DRAWINGS AT THE SITE IN GOOD CONDITION. THESE DOCUMENTS SHALL BE ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THE EXACT LOCATION OF ALL SEWER WYES, TEES, AND SERVICE LINES SHALL BE RECORD ON THESE DOCUMENTS. AT THE CONCLUSION OF CONSTRUCTION, THESE DOCUMENTS SHALL BE FORWARDED TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.

9. THE PROJECT BENCHMARKS AND ALL ELEVATIONS SHOWN ON THE PROFILES ARE N.G.V.D.

10. THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE DEVELOPER MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE DEVELOPERS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.

11. THE DEVELOPER SHALL ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC." 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. THE NAMES AND TELEPHONE NUMBERS OF UTILITY COMPANIES, EVEN IF ONLY REMOTELY INVOLVED WITH THIS HIS PROJECT ARE LISTED UNDER "UTILITY CONTACTS" THIS SHEET.

12. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).

13. THE SITE PLAN IS BASED ON SURVEY BY OLSSON ASSOCIATES, COMPLETED 12-13-16. CONDITIONS ON SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. DEVELOPER SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.

14. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL PERMITS (EXCEPT LAND DISTURBANCE), BONDS, INSURANCE, ETC. AND PAYING ALL FEES. THE COST OF DEVELOPERS BONDS AND INSURANCE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.

15. DEVELOPER SHALL COMPLY WITH ALL APPLICABLE REGULATIONS REQUIRED BY THE CITY AND THE STATE.

16. THE DEVELOPER MUST REMOVE AT HIS COST ANY BAD SUBSURFACE SOIL WHICH WOULD NOT BE ABLE TO SUPPORT ANY PROPOSED PUBLIC IMPROVEMENT. BACKFILL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTIONS 2100 AND 2201 ENTITLED "GRADING AND SITE PREPARATION" AND "SUBGRADE PREPARATION".

17. VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE DEVELOPER IS ADVISED TO USE BENCHMARK INFORMATION FOR VERTICAL CONTROL. HORIZONTAL CONTROL (CONTROL POINT INFORMATION) IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE DEVELOPER IS ADVISED TO USE CONTROL POINT INFORMATION FOR HORIZONTAL CONTROL.

PLUMBING NOTES:

1. ALL LOTS HAVE BEEN SUPPLIED WITH WYES, TEES OR LATERALS. PLUMBER SHALL CONNECT HOUSE SERVICE TO MAIN AT LOCATIONS INDICATED.

2. ALL SERVICE LINES SHALL BE LAID AT 2% MINIMUM SLOPE, UNLESS OTHERWISE NOTED.

3. M.S.E. ELEVATION — INDICATES BASEMENT FLOOR ELEVATION OR LOWEST FLOOR ELEVATION SERVICEABLE BY PROPOSED SANITARY SEWER.

EXCAVATING NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING ROCK ELEVATIONS AT 25 FOOT (MAXIMUM) INTERVALS WHERE ENCOUNTERED, AND FURNISHING THIS INFORMATION TO THE DESIGN ENGINEER FOR USE ON AS-BUILTS.

3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.

4. NO SUBSURFACE EXPLORATION FOR THE DETERMINATION OF AND/OR THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS. LOCATION OF EXISTING ROCK HAS BEEN MADE.

5. WHEN SEWER LINES CROSS A LOW POINT IN A CREEK, THE SEWER LINE MUST BE ENCASED ACCORDING TO LEE'S SUMMIT.

6. DEVELOPER IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS PROJECT. INSPECTIONS AND CLEANUP TO OCCUR ON A DAILY BASIS.

7. DEVELOPER SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS AND TRASH AT ALL TIMES. DEVELOPER SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. DEVELOPER SHALL PROVIDE METHODS, MEANS AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.E. FUEL) USED DURING CONSTRUCTION.

8. THE DEVELOPER SHALL ERECT AND MAINTAIN ORANGE COLORED TEMPORARY CONSTRUCTION FENCE AROUND ALL AREAS INDICATED ON THE PLANS TO BE LEFT UNDISTURBED BOTH TEMPORARY AND PERMANENTLY THE DEVELOPER WILL BE GIVEN NOTICE WHEN HE MAY ENTER THESE AREAS MARKED TEMPORARY BY THE OWNER ONCE PERMITS HAVE BEEN OBTAINED. THE FENCE MATERIAL SHALL BE 48" TALL. HIGH DENSITY POLYETHYLENE (HDPE) WITH NOMINAL MESH OPENING SIZE OF 1.25 INCHES X 1.25 INCHES.

	ESTIMATE OF QUANT	TITIES		
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	AS-BUILT
	SANITARY			
1	8" SANITARY PVC (SDR-26)	L.F.	257.06	
2	8" DIP	L.F.	250	
3	MANHOLES, STD. 4' DIA.	EA.	2	
4	CONNECTION TO EXISTING M.H.	EA.	1	
5	CONCRETE ENCASEMENT	LF.	60	

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE

AS-BUILT / SERVICE LINE NOTE

1.) CONTRACTOR SHALL PLACE 2"X4" TIMBER OR METALLIC TAPE AT END OF EACH SERVICE LINE STUB. STANDARD 8' LENGTH MAY BE VARIED WITH 3' EXPOSED WHEN PLACED DIRECTLY OVER THE SERVICE LINE TERMINATION POINT. 2"X4" TIMBER SHALL BE MARKED APPROPRIATELY TO IDENTIFY SEWER SERVICE STUB.

2.) CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING OF ROCK ELEVATIONS AT 25' INTERVALS WHERE ENCOUNTERED. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR RECORDING SERVICE LINE LOCATIONS FROM THE DOWNSTREAM OR UPSTREAM MANHOLE AND SERVICE LINE LENGTHS DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO RECORD VERTICAL ELEVATIONS WITH A REFERENCE POINT. ALL INFORMATION SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR PREPARATION OF AS-BUILT PLANS.

				GENERAL
		AC	ACU	AIR CONDITIONING UNIT
40 DI III T		1	AST	ARROW STRAIGHT
AS-BUILT		4	ATL	ARROW TURN LEFT
		4	ATR	ARROW TURN RIGHT
		o,	BLB	BILLBOARD
		\bowtie	BOV	BLOW OFF VALVE
		0	BSH	BUSH
		0	COL	COLUMN
		ZWZ	CTR	CONIFEROUS TREE
			DRN	DRAIN GRATE
		\odot	DTR	DECIDUOUS TREE
		0	FLP	FLAG POLE
		0	GDP	GUARD POST
		D	GPL	GUY POLE
		\$	GTP	GREASE TRAP
	(GUY	GUY WIRE
		Ġ	HCP	ACCESSABLE PARKING M
		©	LST	LIFT STATION
		Φ	MLB	MAILBOX

↑ AST	ARROW STRAIGHT
A TL	ARROW TURN LEFT
→ ATR	ARROW TURN RIGHT
o BLB	BILLBOARD
M BOV	BLOW OFF VALVE
⊕ BSH	BUSH
o COL	COLUMN
₩ CTR	CONIFEROUS TREE
⊞ DRN	DRAIN GRATE
O DTR	DECIDUOUS TREE
O FLP	FLAG POLE
O GDP	GUARD POST
- GPL	GUY POLE
© GTP	GREASE TRAP
← GUY	GUY WIRE
🔥 HCP	ACCESSABLE PARKING MARKER
© LST	LIFT STATION
Φ MLB	MAILBOX
<u>Ф</u> МР	MILE POST MARKER
● MWL	MONITORING WELL
₩ PIV	POST INDICATOR VALVE
O PPT	PROPANE TANK
<u></u> RAT	RADIO TOWER
全 SAD	SATELLITE
⋈ SCV	SPRINKLER CONTROL VALVE
→ SGN	SIGN
SLB	STREET LIGHT BOX
SLC SLC	STREET LIGHT CABINET
S SPB	SPRINKLER BOX
O SPH	SPRINKLER HEAD
P STP	STUMP
X SVL	SEWER VALVE
₪ TCB	TRAFFIC CONTROL BOX
→ 	TRAFFIC SIGNAL WITH MAST ARM
TS TSC	TRAFFIC SIGNAL CABINET
	TRAFFIC SIGNAL MANHOLE
₩ TSP	TRAFFIC SIGNAL POLE
121	
	EXISTING TREELINE
/ * * *	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	DADILIC
R	RADIUS
R L	ARC DISTANCE
	ARC DISTANCE
L D	ARC DISTANCE DELTA / CENTRAL ANGLE
L D E	ARC DISTANCE DELTA / CENTRAL ANGLE ASEMENTS & SETBACKS
L D E.A A.E.	ARC DISTANCE DELTA / CENTRAL ANGLE ASEMENTS & SETBACKS ACCESS EASEMENT
L D E/ A.E. B.M.P.	ARC DISTANCE DELTA / CENTRAL ANGLE ASEMENTS & SETBACKS ACCESS EASEMENT BEST MANAGEMENT PRACTICE EASEMENT
L D EA A.E. B.M.P. B.L.	ARC DISTANCE DELTA / CENTRAL ANGLE ASEMENTS & SETBACKS ACCESS EASEMENT BEST MANAGEMENT PRACTICE EASEMENT BUILDING SETBACK
L D EA A.E. B.M.P. B.L. C.T.V.E.	ARC DISTANCE DELTA / CENTRAL ANGLE ASEMENTS & SETBACKS ACCESS EASEMENT BEST MANAGEMENT PRACTICE EASEMENT BUILDING SETBACK CABLE TV EASEEMNT
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R.Y.S. | REAR YARD SETBACK

S.Y.S. | SIDE YARD SETBACK

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		<u></u> BMK	BENCHMARK CONTROL POINT	
		O FND	FOUND MONUMENT	
		ROW ROW	ROW MARKER	
		SCR SET	SECTION CORNER SET MONUMENT	
		321	BOUNDARIES	
			SECTION LINE	
			EXISTING PROPERTY BOUNDARY PROPOSED PROPERTY BOUNDARY	
			EXISTING LOT LINE	
			PROPOSED LOT LINE	
		R/W	EXISTING RIGHT-OF-WAY PROPOSED RIGHT-OF-WAY	
		17, 11	UTILITIES	
		© CAB	CABLE BOX	∢
R		© CAV TVP	CABLE VAULT TELEVISION PEDESTAL	
		© TVR		
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			EXISTING CABLE TV, UNDERGROUND	
			PROPOSED CABLE TV, OVERHEAD PROPOSED CABLE TV, UNDERGROUND	-
		E FOB	FIBER OPTIC BOX	
		⊚ FOM	FIBER OPTIC MANHOLE	
		FOP FOV	FIBER OPTIC PEDESTAL FIBER OPTIC VAULT	
		—EFOOH	EXISTING FIBER OPTIC, OVERHEAD	
		EFO	EXISTING FIBER OPTIC, UNDERGROUND	\(\frac{1}{2} \)
			PROPOSED FIBER OPTIC, OVERHEAD PROPOSED FIBER OPTIC, UNDERGROUND	'
		₩ FDC	FIRE DEPT. CONNECTION	
		EFP	EXISTING FIRE PROTECTION SYSTEM LINE	
ARM			PROPOSED FIRE PROTECTION SYSTEM LINE EXISTING FUEL LINE	2
ARM			PROPOSED FUEL LINE	\vdash
			GAS RISER	
			GAS MANHOLE	
			GAS MARKER GAS METER	
			GAS REGULATOR	
			GAS VALVE	
			EXISTING NATURAL GAS LINE PROPOSED NATURAL GAS LINE	
			TELEPHONE CABINET	
NT NE			TELEPHONE PEDESTAL	
LINE LINE			TELEPHONE RISER TELEPHONE VAULT	1 2
LIIVE			TELEPHONE MANHOLE	
			EXISTING TELEPHONE LINE, OVERHEAD	
			EXISTING TELEPHONE LINE, UNDERGROUND PROPOSED TELEPHONE LINE, OVERHEAD	2
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			GROUND LIGHT	NOITGIGUS DESCRIPTION
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(OLIVILIVI		▲ TRF		
			ELECTRIC BOX	
EMENT		ELC ER ELR		
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SEMENT			ELECTRIC SECTIONALIZER ELECTRIC VAULT	
			YARD LIGHT	
		—EEOH—	,	
		→ EE ◆ SCO	EXISTING POWER\ELECTRIC LINE, UNDERGROUND SEWER CLEANOUT	1 ,
		© SSMH	SANITARY MANHOLE	
		ESS	EXISTING SANITARY SEWER	
IT		SS ESL	PROPOSED SANITARY SEWER EXISTING STEAM LINE	Š.
			PROPOSED STEAM LINE	F
			STORM SEWER MANHOLE	
SEMENT			FLARED END SECTION ROOF DRAIN	
SEMENT		EST	EXISTING STORM SEWER	
			PROPOSED STORM SEWER	
		-Ó FH W WMH	FIRE HYDRANT WATER MANHOLE	
			WATER MARKER	
			WATER METER	
		X WVL	WATER VALVE EXISTING WATER LINE	
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—100— | PROPOSED INTERMEDIATE CONTOURS

LEGEND

Control Point Table | Point Number | Northing | Easting | Point elevation | Raw Description 948.83 | 995767.520 | 2803980.470 | Set 3/8" IB/ Cap at the S.E. corner of SW. Pergola Park Drive and SW. Grandstand Circle. 5.0' N to back of curb, 14.0' W to FH, 43.0' E to MH Set 3/8" IB/ Cap N.W. corner of SW. Rockbridge Drive and SW. Redbuck Circle. 3' S to back of curb, 19.1' E to stop sign, 37.4' NE to MH 996699.785 2803643.760 996444.728 2802574.004 970.72 Set 3/8" IB/ Cap N.E. corner of SW. Longview Park Drive and SW. Areana Street. 11.7' W to Stop Sign, 10.4' S.E. to back of curb at pc return, 6.6' N to sidewalk 995493.880 2802676.202 Set 3/8" IB/ Cap off of the S.E. cornor of the parking lot on the East side fo the Longview Lake Mansion House. 9.0' W to S.E. corner gravel parking lots, 58.5' W-N.W. to S.E. for asphalt parking lot, 69.5' S.W. to 50" +/- tree **U**

(R) (N)

JULIE ELAINE` SELLERS NUMBER \PE-2017000367/

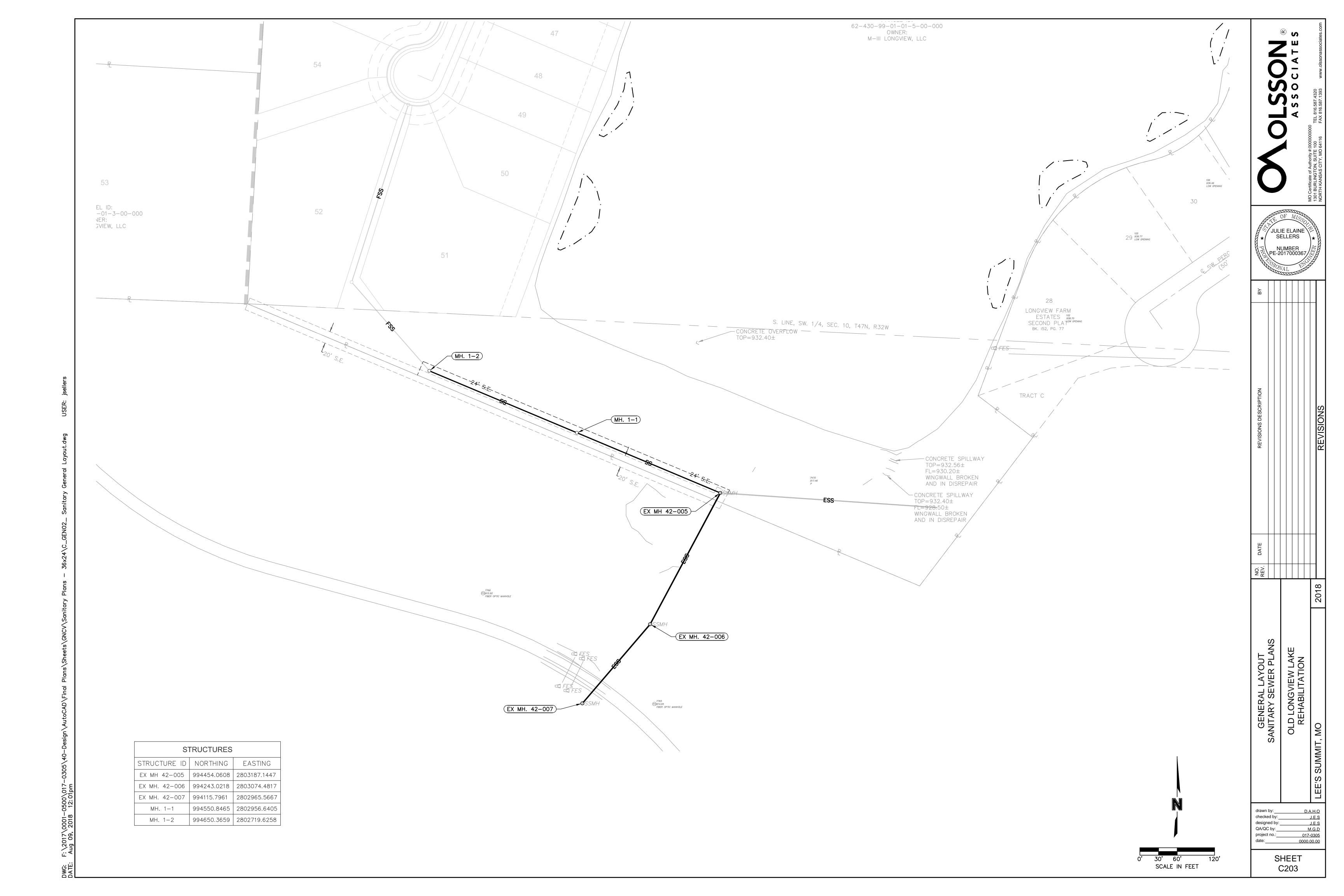
QA/QC by: _ M.G.D project no.:____

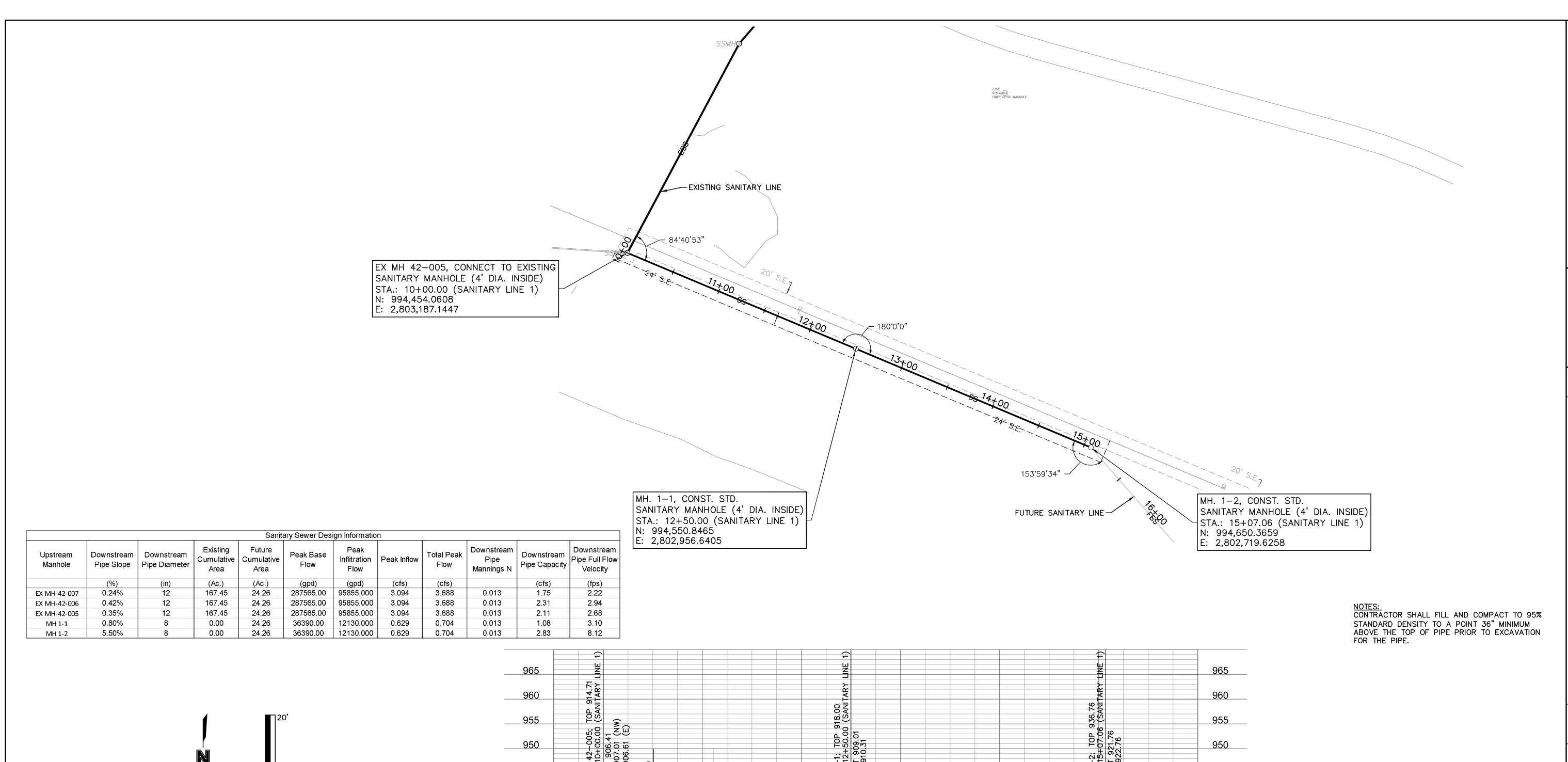
D LONGVIEW LAI REHABILITATION

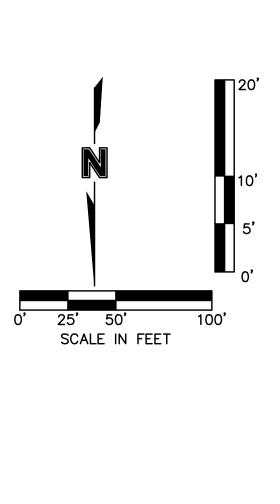
SHEET C202

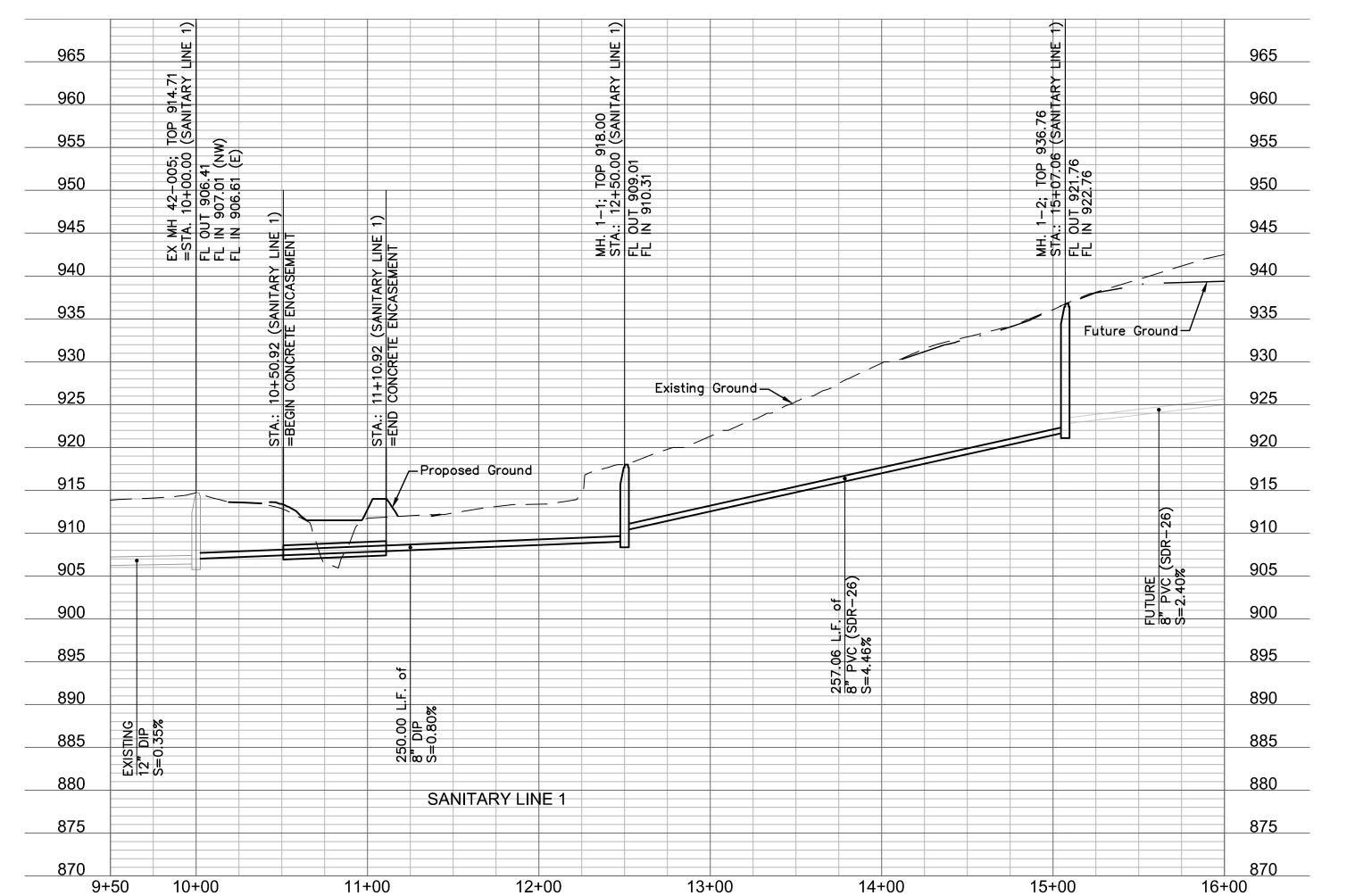
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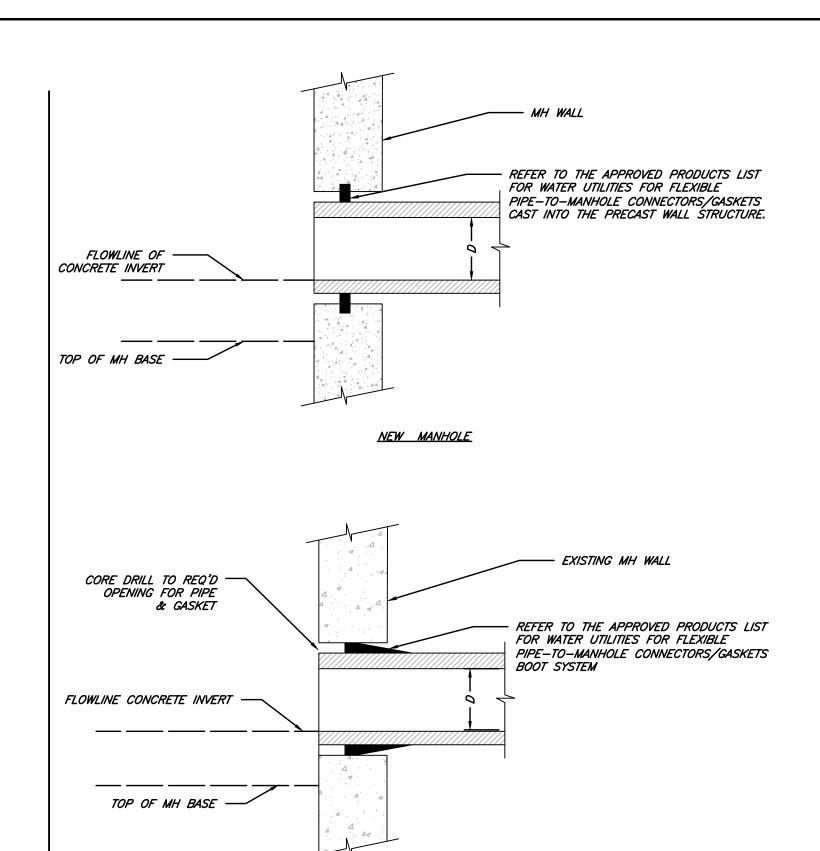


JULIE ELAINE SELLERS SANITARY SEWER PLAN & PROFILE SANITARY SEWER PLANS checked by: designed by:_

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QA/QC by: M.G.D project no.: 017-0305 date: 0000.00.00

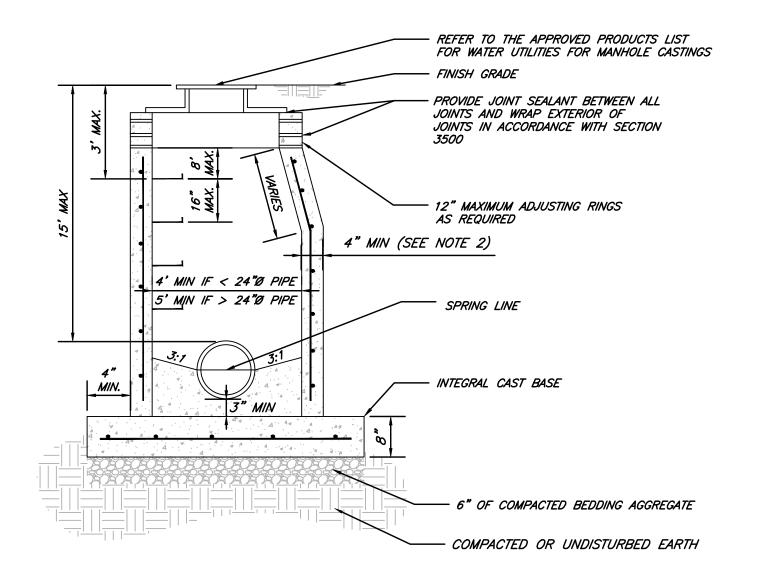
SHEET C204



EXISTING MANHOLE

N.T.S.

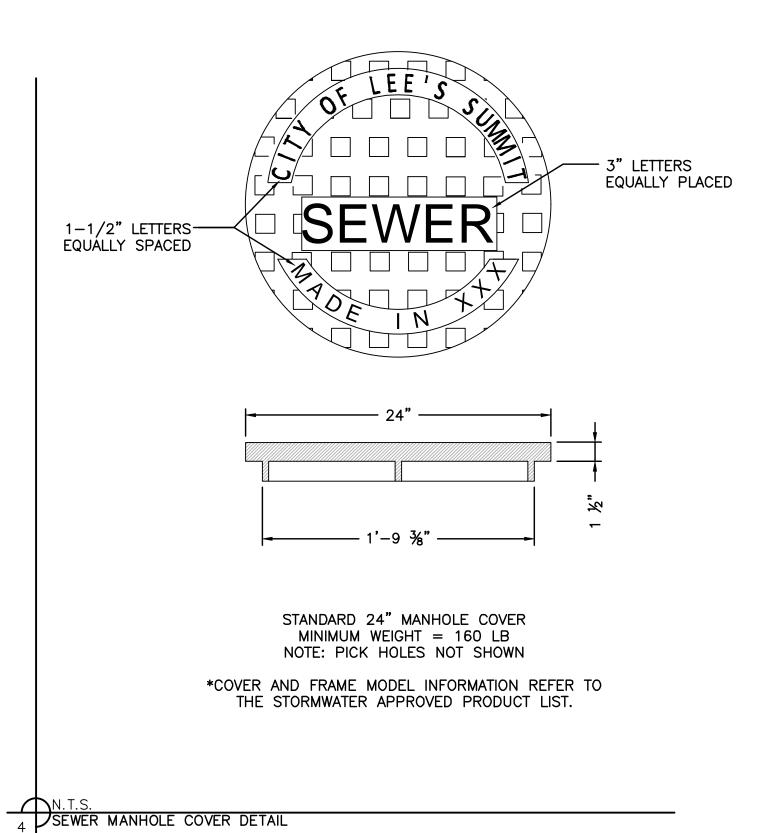
MANHOLE WALL CONNECTIONS

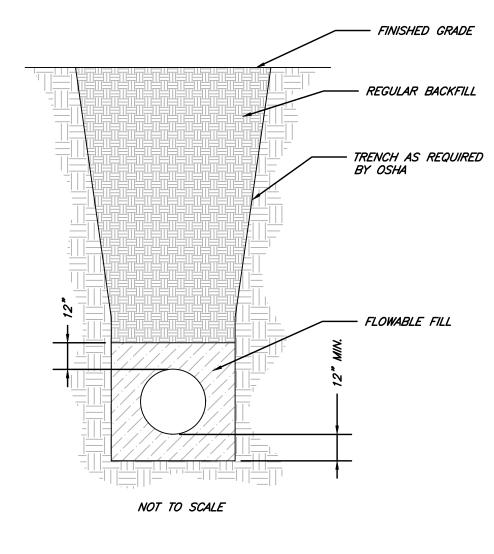


1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS. 2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER, SHALL BE USED WHEN THE MANHOLE DEPTH IS LESS THEN 15'. 3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF

- A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS OF BITUMINOUS COATING. 4. ONLY ECCENTRIC MANHOLE CONES WILL BE ALLOWED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 5. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION
- INTO THE FLOW LINE. 6. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR APPROVED MANHOLE GASKET MODELS.
 7. REFER TO THE APPROVED PRODUCTS LIST FOR APPROVED STEPS.

2 USTANDARD PRECAST MANHOLE - SANITARY SEWER



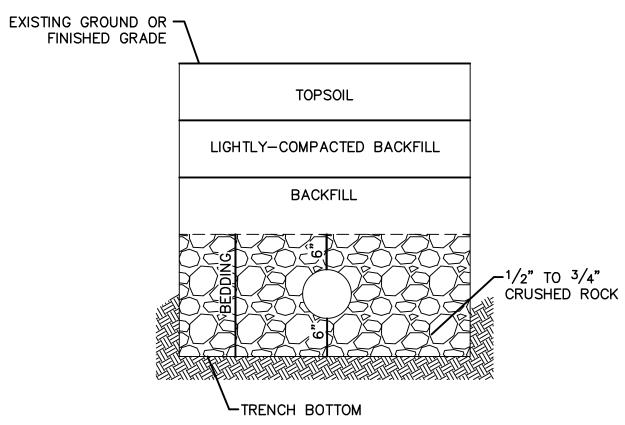


<u>NOTES:</u> 1. FLOWABLE FILL SHALL MEET THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION 2. REGULAR BACKFILL ABOVE THE TRENCH CHECK SHALL BE FREE OF DEBRIS, ORGANIC MATTER, AND STONES

- > 6" IN ANY DIMENSION.
- 3. TOP OF FLOWABLE BACKFILL SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE.
 4. LENGTH OF TRENCH CHECK SHALL BE A MINIMUM OF 12".

N.T.S.

TRENCH CHECK

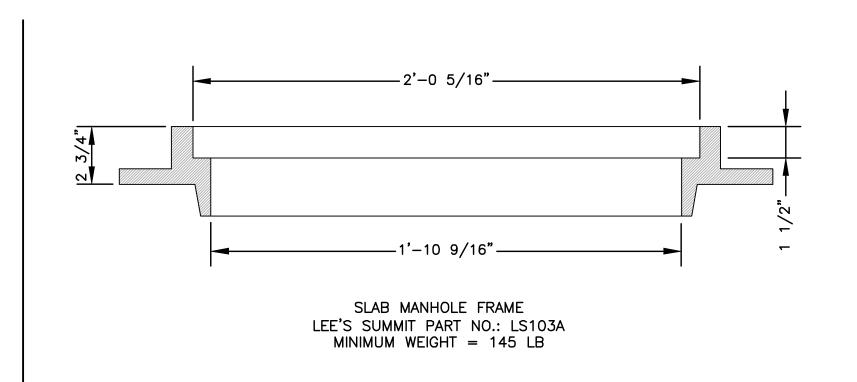


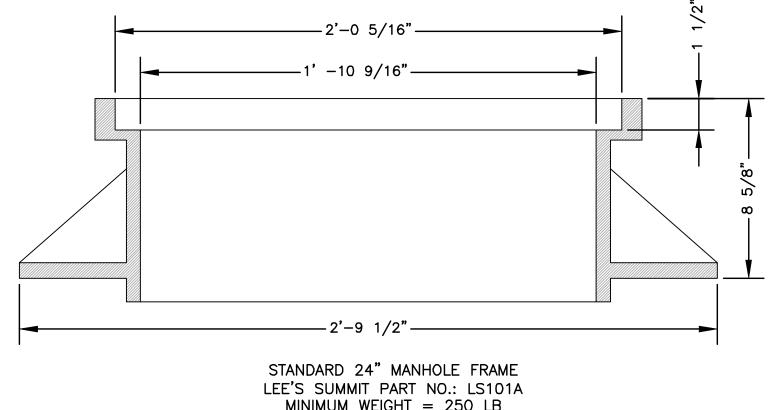
UNDERGROUND PIPE INSTALLATION FOR SANITARY SEWER

1. A MINIMUM OF 36 INCHES OF COVER SHALL BE OVER THE TOP OF THE PIPE. THIS MINIMUM OF COVER SHALL BE FROM THE TOP OF PIPE TO THE FINISHED GRADE.

- 2. BEDDING AGGREGATE SHALL BE PLACED FROM A LEVEL 6 INCHES BELOW THE BOTTOM OF THE PIPE TO A LEVEL 6 INCHES ABOVE THE TOP OF THE PIPE.
- 3. TRENCH BACKFILL IN PAVED AREAS WITHIN STREET OR ALLEY RIGHT OF WAYS a. NARROW TRENCH: SUITABLE BACKFILL MATERIAL FOR TRENCHES 24 INCHES OR LESS IN WIDTH AND SHALL BE TYPE A FLOWABLE FILL. b. STANDARD TRENCH: SUITABLE BACKFILL MATERIAL FOR TRENCHES BETWEEN 24 TO 48 INCHES WIDE SHALL BE EITHER TYPE A FLOWABLE FILL OR DENSE, WELL GRADED AGGREGATE BASE MATERIAL. AGGREGATE BASE MATERIAL SHALL MEET
- THE REQUIREMENTS FOR KDOT AB-3; MODOT TYPES 1 OR 5; OR APWA 2202.2. c. WIDE TRENCH: SUITABLE BACKFILL MATERIAL FOR TRENCHES GREATER THAN 48 INCHES WIDE SHALL BE SUITABLE MATERIAL AS SPECIFIED FOR EARTH EMBANKMENT IN APWA STANDARD SPECIFICATIONS, SECTION 2102.2.C.
- 4. SUITABLE BACKFILL MATERIAL OUTSIDE OF PAVED AREAS WITHIN RIGHT OF WAY, AND ALL AREAS OUTSIDE RIGHT OF WAY, MAY BE SUITABLE MATERIAL AS SPECIFIED FOR EARTH EMBANKMENT IN APWA STANDARD SPECIFICATIONS, SECTION 2102.2.C. SUITABLE BACKFILL MATERIAL MAY ALSO BE OTHER TRENCH BACKFILL MATERIAL (FLOWABLE FILL OR AGGREGATE BASE) DEPENDING ON SITE CONDITIONS, TRENCH WIDTHS, OR AT THE DIRECTION OF THE CITY'S ON SITE INSPECTOR.

PIPE EMBEDMENT DETAIL





MINIMUM WEIGHT = 250 LB

*COVER AND FRAME MODEL INFORMATION REFER TO THE SANITARY APPROVED PRODUCTS LIST.

N.T.S.
SANITARY MANHOLE FRAME DETAIL

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JULIE ELAINE SELLERS NUMBER \PE-2017000367/

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designed by: QA/QC by:_ M.G.D project no.:____ 017-0305 0000.00.00

> SHEET C205