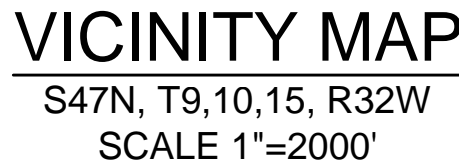
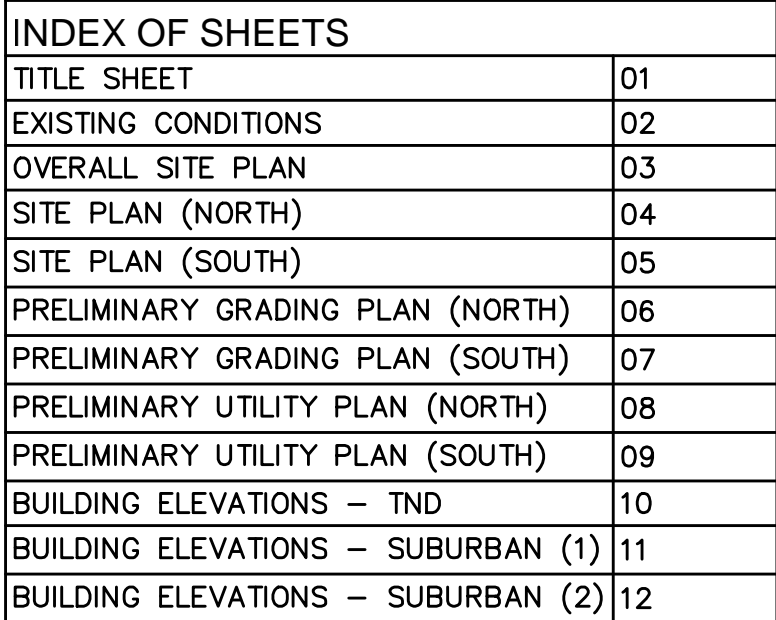


SECTION 47N, TOWNSHIP 9,10,15, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MO




PROPERTY DESCRIPTION:

part of Lots 1 and 2, MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, subdivision of land in the Southeast Quarter of Section 9, Southwest Quarter of Section 10, and the Northwest Quarter of Section 15, all in Township 47 North, Range 32 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being recorded as Instrument Number 2016E00123276 in Book 167 at Page 16 in the Jackson Recorder of Deeds Office, also a tract of land in said Southeast Quarter of said Section 9, being bounded and described as follows: Beginning at the Southwest corner of said Southwest Quarter of said Section 10; thence North 87°47'12" West, on the South line of said Lot 2 and Southeast Quarter of said Section 9, 399.79 feet to the Southwest corner of said Lot 2; thence North 18°19'24" West, on the West line of said Lot 2, 407.26 feet to the Southwest corner of said Lot 1; thence South 86°45'10" East, on the South line of said Lot 1, 549.45 feet to the Southeast corner of said Lot 1 also being a point on the East line of said Southeast Quarter; thence North 03°14'50" East, on said East line also being the East line of said Lot 1, 324.20 feet; thence South 86°45'10" East, 205.31 feet; thence North 03°14'50" East, 262.56 feet; thence North 31°35'45" West, 200.81 feet; thence North 05°01'33" East, 222.96 feet; thence North 84°58'27" West, 11.03 feet; thence Northwesterly, on a curve to the right, being tangent to the last described course with a radius of 223.00 feet, a central angle of 48°08'14" and an arc distance of 187.35 feet; thence North 81°47'15" West, 19.78 feet; thence South 53°15'42" West, 245.94 feet; thence Southwesterly, on a curve to the left, being tangent to the last described course with a radius of 175.00 feet, a central angle of 21°34'36" and an arc distance of 65.90 feet; thence Southerly, on a curve to the left, having a common tangent with the last described course with a radius of 39.00 feet, a central angle of 75°20'23" and an arc distance of 51.28 feet; thence Southwesterly, on a curve to the right, having a common tangent with the last described course with a radius of 50.00 feet, a central angle of 20°21'06" and an arc distance of 176.45 feet; thence South 68°32'49" West, 30.00 feet; thence North 72°46'15" West, 117.55 to a point on the West line of said Lot 1; thence North 17°13'45" East, on said West line, 365.72 feet to the Northeast corner of said Lot 1; thence continuing North 17°13'45" East, 213.85 feet; thence North 23°28'32" East, 282.09 feet to the Southwest corner of Lot 1, GODDARD SCHOOL, a subdivision in said Southeast Quarter of said Section 9, being recorded as Instrument Number 2006E0076861 in Book 163 at Page 76 in said Jackson County Recorder of Deeds Office; thence South 86°45'08" East, on the South line of said Lot 1 of said GODDARD SCHOOL, 267.50 feet to the Southeast corner of said Lot 1 of said GODDARD SCHOOL, said point also being the on the Existing West right-of-way line of SW Longview Park Drive, established by MADISON PARK — 1ST PLAT, a subdivision in said Sections 9 and 10, recorded as Instrument 2005I0059014 in Book 187 at Page 91 in said Jackson County Recorder of Deeds Office; thence South 03°14'52" West, on said West right-of-way line, 322.68 feet; thence Southwesterly, continuing on said Existing West right-of-way line, on a curve to the right, being tangent to the last described course with a radius of 165.00 feet, a central angle of 32°47'01" and an arc distance of 94.41 feet to the Southeast corner of said MADISON PARK — 1ST PLAT, also being a point on the North line of said Lot 1 of said MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; thence South 53°58'07" East, on said North line of said Lot 1 and the South line of said MADISON PARK — 1ST PLAT, 70.00 feet to a point on the West line of said Lot 2, of said MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2; thence Northeasterly, on said South and West line, on a curve to the left, having an initial tangent bearing of North 36°01'53" East with a radius of 235.00 feet, a central angle of 03°18'31" and an arc distance of 13.57 feet to the Northwest corner of said Lot 2; thence South 59°57'45" East, on the North line of said Lot 2 and said South line, 25.68 feet; thence South 89°09'15" East, continuing on said North and South line, 180.99 feet; thence Easterly, continuing on said North and South line, on a curve to the right, being tangent to the last described course with a radius of 1,589.00 feet, a central angle of 09°19'35" and an arc distance of 258.65 feet; thence South 79°49'40" East, continuing on said North and South line, 59.58 feet; thence South 77°00'26" East, continuing on said North and South line, 81.10 feet; thence Southeasterly, continuing on said North and South line, on a curve to the right, being tangent to the last described course with a radius of 15.00 feet, a central angle of 48°46'38" and an arc distance of 12.77 feet; thence South 28°13'48" East, continuing on said North and South line, 41.96 feet; thence South 59°12'05" West, continuing on said North and South line, 10.34 feet; thence Southwesterly, continuing on said North and South line, on a curve to the left, being tangent to the last described course with a radius of 476.00 feet, a central angle of 02°53'07" and an arc distance of 23.97 feet; thence South 33°41'04" East, continuing on said North and South line, 46.00 feet; thence Northeasterly, continuing on said North and South line, on a curve to the right, having an initial tangent bearing of North 56°18'58" East with a radius of 430.00 feet, a central angle of 02°53'07" and an arc distance of 21.65 feet; thence North 59°12'05" East, continuing on said North and South line, 160.18 feet; thence Southeasterly, continuing on said North and South line, on a curve to the right having an initial tangent bearing of South 52°08'01" East with a radius of 130.00 feet, a central angle of 04°00'23" and an arc distance of 9.09 feet; thence North 45°01'17" East, continuing on said North and South line, 0.46 feet; thence Southeasterly, on a curve to the left, having an initial tangent bearing of South 52°06'35" East with a radius of 130.00 feet, a central angle of 27°43'03" and an arc distance of 62.89 feet; thence South 37°45'17" East, 17.08 feet; thence South 03°49'52" West, 221.29 feet; thence South 43°34'35" West, 16.34 feet; thence Westerly, along a curve to the left, having an initial tangent bearing of South 83°34'38" West with a radius of 275.00 feet, a central angle of 08°28'14" and an arc distance of 40.66 feet; thence South 14°53'36" East, 48.00 feet; thence Easterly, on a curve to the right, having an initial tangent bearing of North 75°06'24" East with a radius of 227.00 feet, a central angle of 56°52'27" and an arc distance of 225.33 feet; thence South 41°58'50" West, 11.00 feet; thence Southeasterly, along a curve to the right, having an initial tangent bearing of South 48°01'10" East with a radius of 216.00 feet, a central angle of 00°15'55" and an arc distance of 1.00 feet; thence Southeasterly, along a curve to the left, having a common tangent with the last described course with a radius of 234.00 feet, a central angle of 26°45'10" and an arc distance of 109.26 feet; thence North 15°29'35" East, 11.00 feet; thence Easterly, on a curve to the left, having an initial tangent bearing of South 74°30'25" East with a radius of 223.00 feet, a central angle of 16°55'28" and an arc distance of 65.87 feet; thence North 88°34'07" East, 253.88 feet; thence Easterly, along a curve to the right, being tangent to the last described course with a radius of 177.00 feet, a central angle of 04°54'55" and an arc distance of 15.18 feet; thence Easterly, on a curve to the left, being tangent to the last described course with a radius of 523.00 feet, a central angle of 01°45'51" and an arc distance of 16.10 feet to a point on the East line of said Lot 2 of said MINOR PLAT OF NEW LONGVIEW MANSION, LOTS 1-2, also being a point on the West line of PERGOLA PARK — 3RD PLAT, a subdivision in said Southwest Quarter of said Section 10 recorded as Instrument 2006E0018783 in Book 193 at Page 23 in said Jackson County Recorder of Deeds Office; thence South 01°43'12" West, on said East and West line, 15.00 feet; thence Easterly, continuing on said East and West line, on a curve to the left, having an initial tangent bearing of South 88°16'49" East with a radius of 538.00 feet, a central angle of 05°18'24" and an arc distance of 49.83 feet; thence South 25°19'29" East, continuing on said East and West line, 199.14 feet; thence South 72°37'55" East, continuing on said East and West line, 79.42 feet to a point the West line of LONGVIEW FARM ESTATES SECOND PLAT, a subdivision in said Southwest Quarter of said Section 10 recorded as Instrument 1993I1613167 in Book 152 at Page 77, in said Jackson County Recorder of Deeds Office; thence South 26°23'14" West, on said East line and said West line of said LONGVIEW FARM ESTATES SECOND PLAT, 266.90 feet; thence South 15°53'11" West, continuing on said East and West line, 202.86 feet; thence Southwesterly, continuing on said East and West line, on a curve to the right, being tangent to the last described course with a radius of 175.00 feet, a central angle of 61°40'35" and an arc distance of 188.38 feet; thence Southwesterly, continuing on said East and West line, on a curve to the left, having a common tangent with the last described course with a radius of 275.00 feet, a central angle of 57°09'10" and an arc distance of 274.31 feet; thence South 20°24'41" West, continuing on said East and West line, 218.62 feet; thence South 52°42'10" East, continuing on said East and West line, 110.65 feet; thence South 37°19'54" West, on said East line of said Lot 2, 300.18 feet to the Southeast corner of said Lot 2; thence North 67°13'23" West, on the South line of said Lot 2, 1,171.27 feet to the Point of Beginning. Containing 2,592,295 square feet or 59.51 acres, more or less.



drawn by: _____ C.J.H. checked by: _____ S.O.B. O.A./O.C. by: _____ J.P.E. project no.: 018-1346 date: 2018.08.03		TITLE SHEET		NO. REV.	DATE	REVISIONS DESCRIPTION	BY
PERGOLA PARK 5TH PLAT PRELIMINARY DEVELOPMENT PLAN		LEE'S SUMMIT, MO					
		2018		REVISIONS			

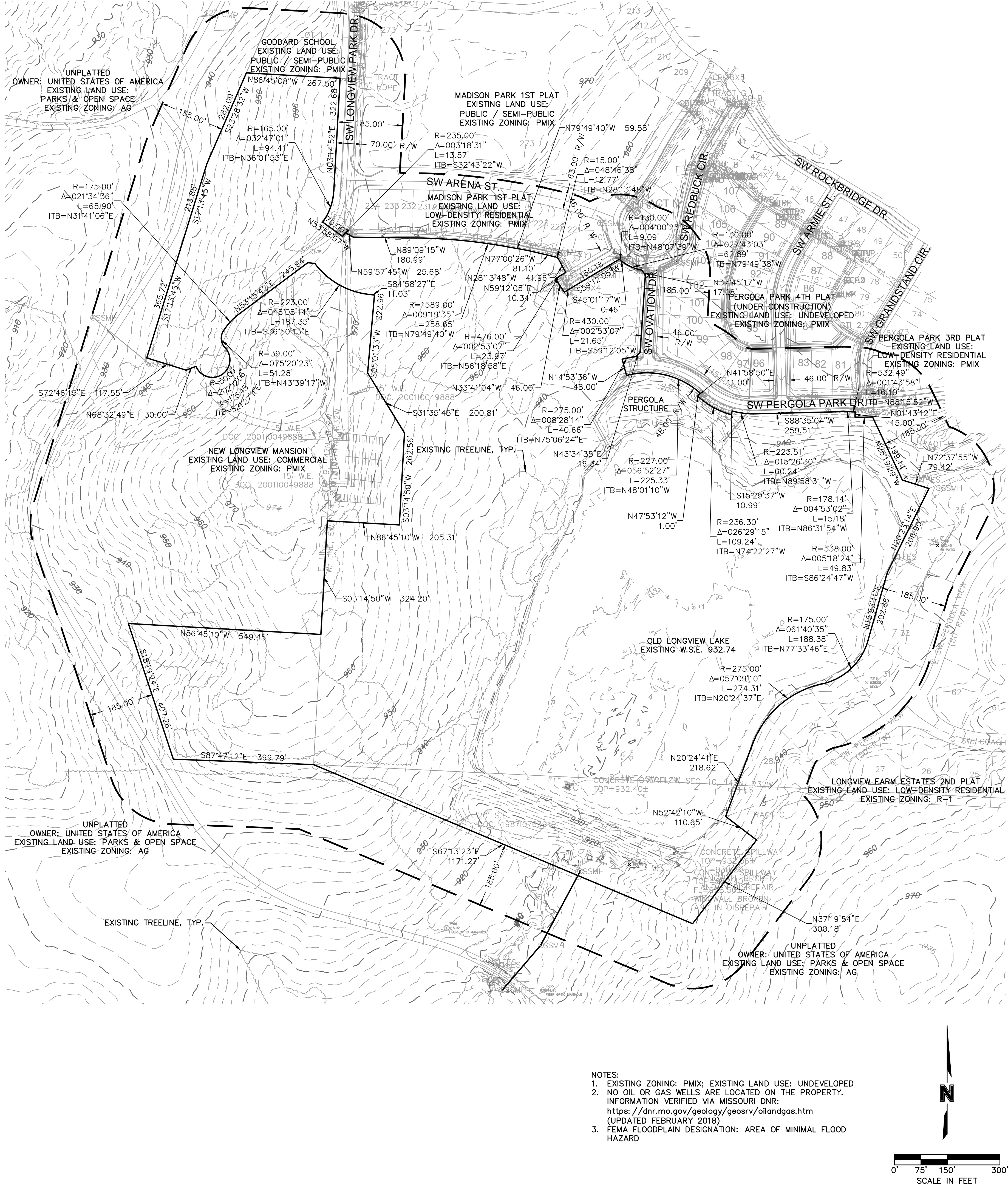


MO Certificate of Authority #001562
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FAX 916.987.1393
www.dissocassociates.com

SHEET
01

GENERAL	
	ACU AIR CONDITIONING UNIT
	AST ARROW STRAIGHT
	ATL ARROW TURN LEFT
	ATR ARROW TURN RIGHT
	BLB BILLBOARD
	BOV BLOW OFF VALVE
	BSH BUSH
	COL COLUMN
	CTR CONIFEROUS TREE
	DRN DRAIN GRATE
	DTR DECIDUOUS TREE
	FLP FLAG POLE
	GDP GUARD POST
	GYP GUY POLE
	GTP GREASE TRAP
	GUY GUY WIRE
	HCP ACCESSABLE PARKING MARKER
	LST LIFT STATION
	MLB MAILBOX
	MP MILE POST MARKER
	MWL MONITORING WELL
	PIV POST INDICATOR VALVE
	PPT PROPANE TANK
	RAT RADIO TOWER
	SAD SATELLITE
	SCV SPRINKLER CONTROL VALVE
	SGN SIGN
	SLB STREET LIGHT BOX
	SLC STREET LIGHT CABINET
	SPB SPRINKLER BOX
	SPH SPRINKLER HEAD
	STP STUMP
	SVL SEWER VALVE
	TCB TRAFFIC CONTROL BOX
	TSA TRAFFIC SIGNAL WITH MAST ARM
	TSC TRAFFIC SIGNAL CABINET
	TSMH TRAFFIC SIGNAL MANHOLE
	TSP TRAFFIC SIGNAL POLE
	EXISTING TREELINE
	EXISTING SIDEWALK
	EXISTING BUILDINGS
	EXISTING EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	R RADIUS
	L ARC DISTANCE
	D DELTA / CENTRAL ANGLE
EASEMENTS & SETBACKS	
	A.E. ACCESS EASEMENT
	B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
	B.L. BUILDING SETBACK
	C.T.V.E. CABLE TV EASEMENT
	C.E. CONSERVATION EASEMENT
	C.G.E. CONSTRUCTION GRADING EASEMENT
	F.P.E. FLOOD PLAIN EASEMENT
	F.O.E. FIBER OPTIC EASEMENT
	F.P.S.E. FIRE PROTECTION SYSTEM EASEMENT
	F.L.E. FUEL LINE EASEMENT
	L.S.E. LANDSCAPE EASEMENT
	G.E. NATURAL GAS EASEMENT
	T.E. TELEPHONE EASEMENT
	E.E. POWER/ELECTRIC EASEMENT
	P.S. PARKING SETBACK
	S.B. STREAM BUFFER
	S.D.E. SURFACE DRAINAGE EASEMENT
	SIGHT DIST. ESMT. SIGHT DISTANCE EASEMENT
	S.E. SANITARY SEWER EASEMENT
	S.L.E. STEAM LINE EASEMENT
	D.E. STORM DRAINAGE EASEMENT
	S.W.M.E. STORM WATER MANAGEMENT EASEMENT
	T.C.D.S.E. TEMPORARY CUL-DE-SAC EASEMENT
	TEMP. ESMT. TEMPORARY EASEMENT
	TRAIL ESMT. TRAIL PATH EASEMENT
	U.E. UTILITY EASEMENT
	W.E. WATER EASEMENT
	F.Y.S. FRONT YARD SETBACK
	R.Y.S. REAR YARD SETBACK
	S.Y.S. SIDE YARD SETBACK

SURVEY MARKERS	
	BMK BENCHMARK
	CPT CONTROL POINT
	FND FOUND MONUMENT
	ROW ROW MARKER
	SCR SECTION CORNER
	SET SET MONUMENT
BOUNDARIES	
	SECTION LINE
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	EXISTING LOT LINE
	EXISTING RIGHT-OF-WAY
UTILITIES	
	CAB CABLE BOX
	CAV CABLE VAULT
	TVP TELEVISION PEDESTAL
	TVR TELEVISION RISER
	EXISTING CABLE TV, OVERHEAD
	EXISTING CABLE TV, UNDERGROUND
	FOB FIBER OPTIC BOX
	FOM FIBER OPTIC MANHOLE
	FOP FIBER OPTIC PEDESTAL
	FOV FIBER OPTIC VAULT
	EXISTING FIBER OPTIC, OVERHEAD
	EXISTING FIBER OPTIC, UNDERGROUND
	FDC FIRE DEPT. CONNECTION
	EXISTING FIRE PROTECTION SYSTEM LINE
	EXISTING FUEL LINE
	GAR GAS RISER
	GMH GAS MANHOLE
	GMK GAS MARKER
	GMT GAS METER
	GRG GAS REGULATOR
	GVL GAS VALVE
	EXISTING NATURAL GAS LINE
	TEC TELEPHONE CABINET
	TEP TELEPHONE PEDESTAL
	TER TELEPHONE RISER
	TEV TELEPHONE VAULT
	TMH TELEPHONE MANHOLE
	EXISTING TELEPHONE LINE, OVERHEAD
	EXISTING TELEPHONE LINE, UNDERGROUND
	GLT GROUND LIGHT
	LTP LIGHT POLE
	PWP POWER POLE
	TRF ELECTRIC TRANSFORMER
	EBX ELECTRIC BOX
	ELC ELECTRIC CABINET
	ELR ELECTRIC RISER
	EMH ELECTRIC MANHOLE
	EMT ELECTRIC METER
	ESC ELECTRIC SECTIONALIZER
	EVT ELECTRIC VAULT
	YDL YARD LIGHT
	EXISTING POWER/ELECTRIC LINE, OVERHEAD
	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
	SCO SEWER CLEANOUT
	SSMH SANITARY MANHOLE
	EXISTING SANITARY SEWER
	EXISTING STEAM LINE
	SDMH STORM SEWER MANHOLE
	FES FLARED END SECTION
	RDN ROOF DRAIN
	EXISTING STORM SEWER
	FH FIRE HYDRANT
	WMH WATER MANHOLE
	WMK WATER MARKER
	WMT WATER METER
	WVL WATER VALVE
	EXISTING WATER LINE
CONTOURS	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS



NOTES:
1. EXISTING ZONING: PMIX; EXISTING LAND USE: UNDEVELOPED
2. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY.
INFORMATION VERIFIED VIA MISSOURI DNR:
<https://dnr.mo.gov/geology/geosrv/oilandgas.htm>
(UPDATED FEBRUARY 2018)
3. FEMA FLOODPLAIN DESIGNATION: AREA OF MINIMAL FLOOD HAZARD

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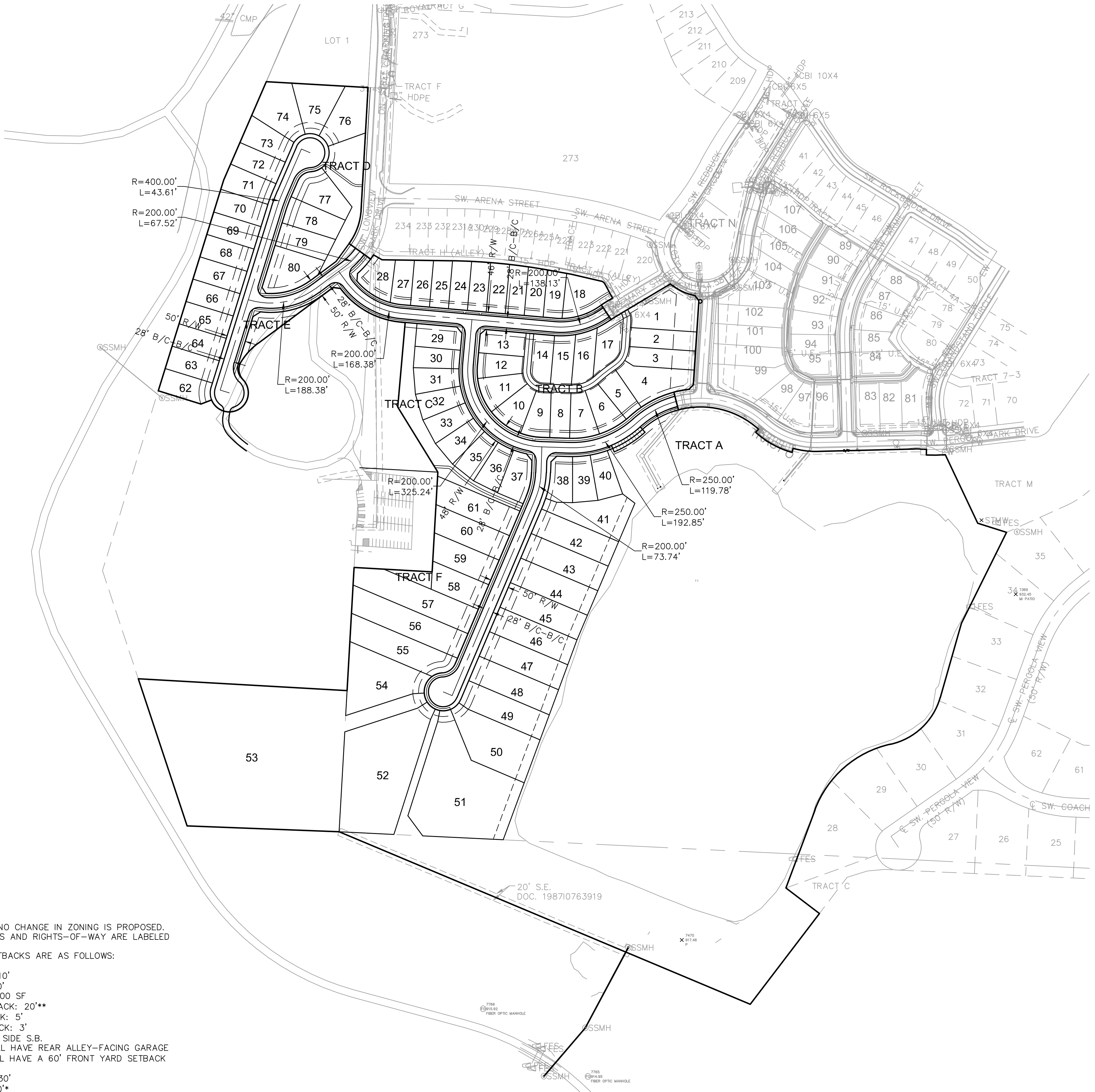
EXISTING CONDITIONS		REVISIONS	
PERGOLA PARK 5TH PLAT PRELIMINARY DEVELOPMENT PLAN		LEE'S SUMMIT, MO	
drawn by: _____	checked by: _____	designed by: _____	QA/QC by: _____
project no.: _____	date: _____	project no.: _____	date: _____

SHEET 02

GENERAL		LEGEND		SURVEY MARKERS	
	ACU	AIR CONDITIONING UNIT		BMK	BENCHMARK
	AST	ARROW STRAIGHT		CPT	CONTROL POINT
	ATL	ARROW TURN LEFT		CND	FOUND MONUMENT
	ATR	ARROW TURN RIGHT		ROW	ROW MARKER
	BLB	BILLBOARD		SCR	SECTION CORNER
	BOV	BLOW OFF VALVE		SET	SET MONUMENT
	BSH	BUSH	BOUNDARIES		
	COL	COLUMN	SECTION LINE		
	CTR	CONIFEROUS TREE	EXISTING PROPERTY BOUNDARY		
	DRN	DRAIN GRATE	PROPOSED PROPERTY BOUNDARY		
	DTR	DECIDUOUS TREE	EXISTING LOT LINE		
	FLP	FLAG POLE	PROPOSED LOT LINE		
	GDP	GUARD POST	EXISTING RIGHT-OF-WAY		
	GPL	GUY POLE	PROPOSED RIGHT-OF-WAY		
	GTP	GREASE TRAP	UTILITIES		
	GUY	GUY WIRE	CABLE BOX		
	HCP	ACCESSABLE PARKING MARKER	CABLE VAULT		
	LST	LIFT STATION	TELEVISION PEDESTAL		
	MLB	MAILBOX	TELEVISION RISER		
	MP	MILE POST MARKER	EXISTING CABLE TV, OVERHEAD		
	MWL	MONITORING WELL	EXISTING CABLE TV, UNDERGROUND		
	PIV	POST INDICATOR VALVE	PROPOSED CABLE TV, OVERHEAD		
	PPT	PROPANE TANK	PROPOSED CABLE TV, UNDERGROUND		
	RAT	RADIO TOWER	FIBER OPTIC BOX		
	SAD	SATELLITE	FIBER OPTIC MANHOLE		
	SCV	SPRINKLER CONTROL VALVE	FIBER OPTIC PEDESTAL		
	SGN	SIGN	FIBER OPTIC VAULT		
	SLB	STREET LIGHT BOX	EXISTING FIBER OPTIC, OVERHEAD		
	SLC	STREET LIGHT CABINET	EXISTING FIBER OPTIC, UNDERGROUND		
	SPB	SPRINKLER BOX	PROPOSED FIBER OPTIC, OVERHEAD		
	SPH	SPRINKLER HEAD	PROPOSED FIBER OPTIC, UNDERGROUND		
	STP	STUMP	FIRE DEPT. CONNECTION		
	SVL	SEWER VALVE	EXISTING FIRE PROTECTION SYSTEM LINE		
	TCB	TRAFFIC CONTROL BOX	PROPOSED FIRE PROTECTION SYSTEM LINE		
	TSA	TRAFFIC SIGNAL WITH MAST ARM	EXISTING FUEL LINE		
	TSC	TRAFFIC SIGNAL CABINET	PROPOSED FUEL LINE		
	TSMH	TRAFFIC SIGNAL MANHOLE	GAR		
	TSP	TRAFFIC SIGNAL POLE	GAS RISER		
		EXISTING TREELINE	GAS MANHOLE		
		PROPOSED TREELINE	GAS MARKER		
		EXISTING SIDEWALK	GAS METER		
		PROPOSED SIDEWALK	GAS REGULATOR		
		EXISTING BUILDINGS	GAS VALVE		
		PROPOSED BUILDINGS	EXISTING NATURAL GAS LINE		
		EXISTING EDGE OF PAVEMENT	PROPOSED NATURAL GAS LINE		
		PROPOSED EDGE OF PAVEMENT	TELEPHONE CABINET		
		EXISTING ROADWAY CENTER LINE	TELEPHONE PEDESTAL		
		PROPOSED ROADWAY CENTER LINE	TELEPHONE RISER		
		EXISTING CURB & GUTTER	TELEPHONE VAULT		
		PROPOSED CURB & GUTTER	TELEPHONE MANHOLE		
	R	RADIUS	EXISTING TELEPHONE LINE, OVERHEAD		
	L	ARC DISTANCE	EXISTING TELEPHONE LINE, UNDERGROUND		
	D	DELTA / CENTRAL ANGLE	PROPOSED TELEPHONE LINE, OVERHEAD		
EASEMENTS & SETBACKS			PROPOSED TELEPHONE LINE, UNDERGROUND		
	A.E.	ACCESS EASEMENT	GROUND LIGHT		
	B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT	LIGHT POLE		
	B.L.	BUILDING SETBACK	POWER POLE		
	C.T.V.E.	CABLE TV EASEMNT	ELECTRIC TRANSFORMER		
	C.E.	CONSERVATION EASEMENT	ELECTRIC BOX		
	C.G.E.	CONSTRUCTION GRADING EASEMENT	ELECTRIC CABINET		
	F.P.E.	FLOOD PLAIN EASEMENT	ELECTRIC RISER		
	F.O.E.	FIBER OPTIC EASEMENT	ELECTRIC MANHOLE		
	F.P.S.E.	FIRE PROTECTION SYSTEM EASEMENT	ELECTRIC METER		
	F.L.E.	FUEL LINE EASEMENT	ELECTRIC SECTIONALIZER		
	L.S.E.	LANDSCAPE EASEMENT	ELECTRIC VAULT		
	G.E.	NATURAL GAS EASEMENT	YARD LIGHT		
	T.E.	TELEPHONE EASEMENT	EXISTING POWER/ELECTRIC LINE, OVERHEAD		
	E.E.	POWER/ELECTRIC EASEMENT	EXISTING POWER/ELECTRIC LINE, UNDERGROUND		
	P.S.	PARKING SETBACK	SEWER CLEANOUT		
	S.B.	STREAM BUFFER	SANITARY MANHOLE		
	S.D.E.	SURFACE DRAINAGE EASEMENT	EXISTING SANITARY SEWER		
	SIGHT DIST. ESMT.	SIGHT DISTANCE EASEMENT	PROPOSED SANITARY SEWER		
	S.E.	SANITARY SEWER EASEMENT	EXISTING STEAM LINE		
	S.L.E.	STEAM LINE EASEMENT	PROPOSED STEAM LINE		
	D.E.	STORM DRAINAGE EASEMENT	STORM SEWER MANHOLE		
	S.W.M.E.	STORM WATER MANAGEMENT EASEMENT	FLARED END SECTION		
	T.C.D.S.E.	TEMPORARY CUL-DE-SAC EASEMENT	ROOF DRAIN		
	TEMP. ESMT.	TEMPORARY EASEMENT	EXISTING STORM SEWER		
	TRAIL/PATH ESMT.	TRAIL/PATH EASEMENT	PROPOSED STORM SEWER		
	U.E.	UTILITY EASEMENT	FIRE HYDRANT		
	W.E.	WATER EASEMENT	WATER MANHOLE		
	F.Y.S.	FRONT YARD SETBACK	WATER MARKER		
	R.Y.S.	REAR YARD SETBACK	WATER METER		
	S.Y.S.	SIDE YARD SETBACK	WATER VALVE		
			EXISTING WATER LINE		
			PROPOSED WATER LINE		
			CONTOURS		
	-100-	EXISTING INDEX CONTOURS			
	-100-	EXISTING INTERMEDIATE CONTOURS			
	-100-	PROPOSED INDEX CONTOURS			
	-100-	PROPOSED INTERMEDIATE CONTOURS			

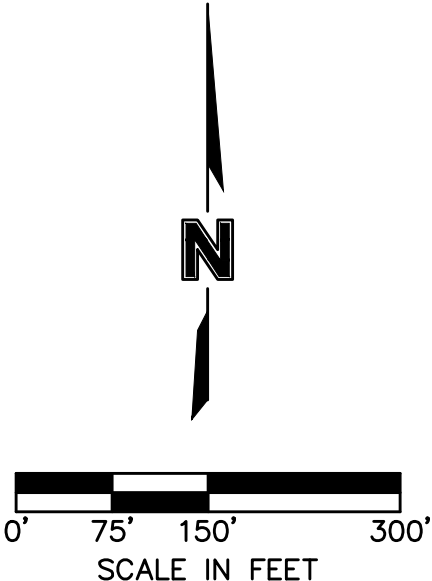
GENERAL NOTES:

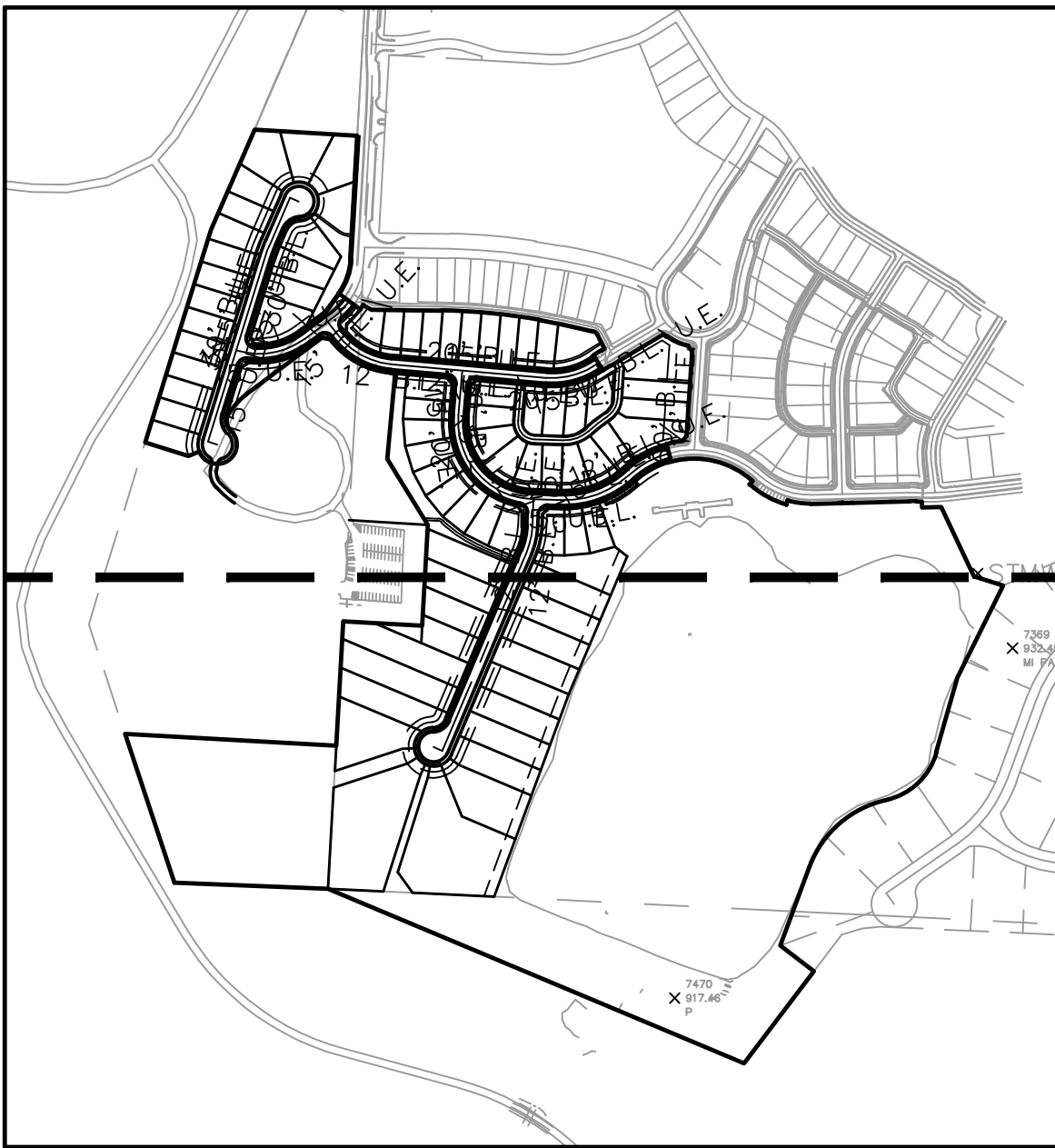
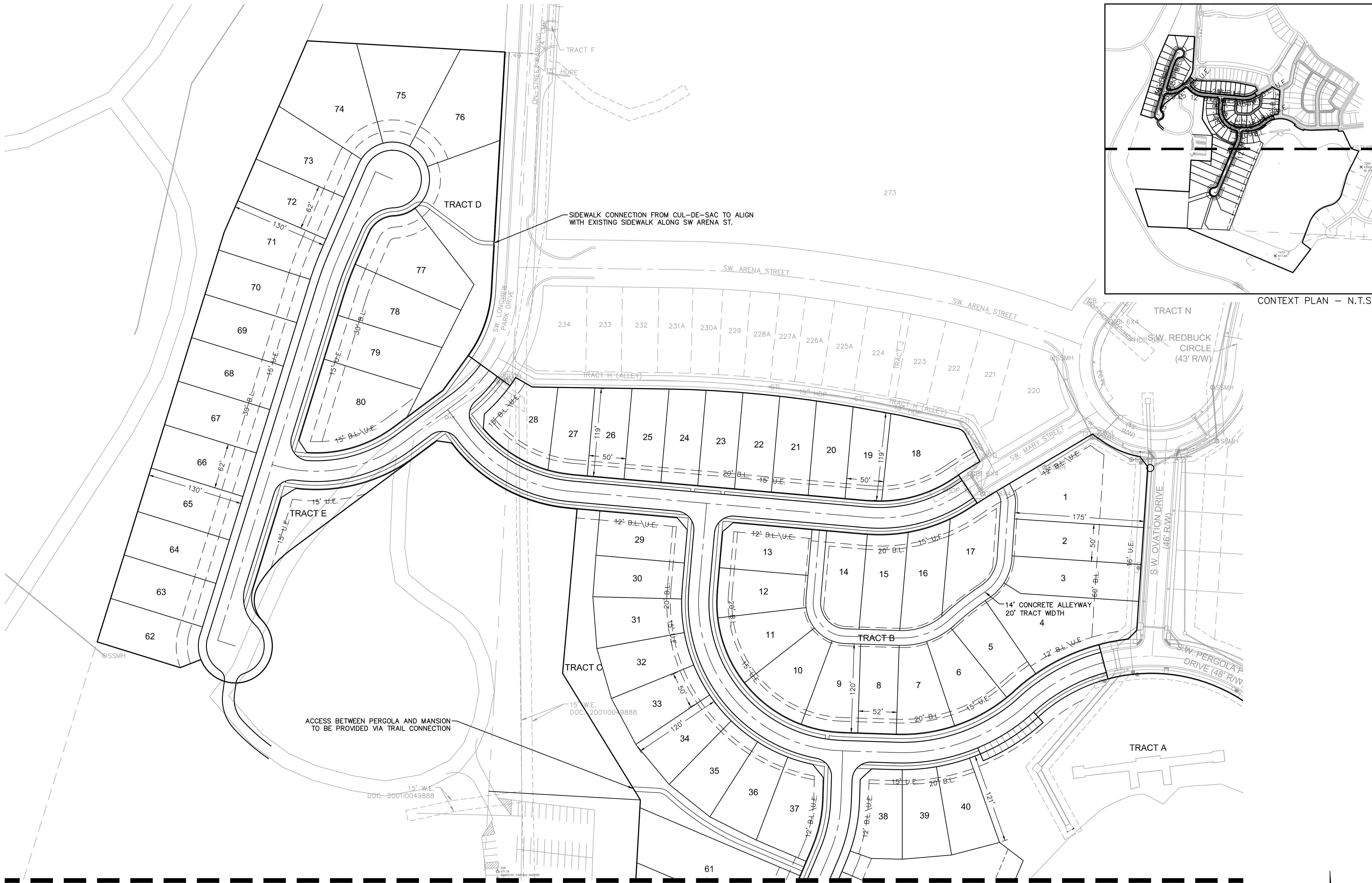
1. EXISTING ZONING: PMIX. NO CHANGE IN ZONING IS PROPOSED.
2. PROPOSED STREET WIDTHS AND RIGHTS-OF-WAY ARE LABELED ON THE PLAN ABOVE.
3. LOT DIMENSIONS AND SETBACKS ARE AS FOLLOWS:
 - LOTS 1-40:
 - MINIMUM DEPTH: 110'
 - MINIMUM WIDTH: 50'
 - MINIMUM AREA: 5500 SF
 - FRONT YARD SETBACK: 20'**
 - SIDE YARD SETBACK: 5'
 - REAR YARD SETBACK: 3'
 - CORNER LOTS: 12' SIDE S.B.
 - * LOTS 1-28 SHALL HAVE REAR ALLEY-FACING GARAGE
 - ** LOTS 1-4 SHALL HAVE A 60' FRONT YARD SETBACK
 - LOTS 41-61:
 - MINIMUM DEPTH: 130'
 - MINIMUM WIDTH: 70'*
 - MINIMUM AREA: 9100 SF
 - FRONT YARD SETBACK: 30'*
 - SIDE YARD SETBACK: 7.5'
 - REAR YARD SETBACK: 25'
 - CORNER LOTS: N/A
 - * LOTS 41, 50-54 SHALL HAVE NARROWER WIDTHS AT R/W FRONTAGE WITH BUILDINGS SET FARTHER BACK THAN THE BUILDING LINE.
 - LOTS 62-80:
 - MINIMUM DEPTH: 130'
 - MINIMUM WIDTH: 58'
 - MINIMUM AREA: 7540 SF
 - FRONT YARD SETBACK: 30'
 - SIDE YARD SETBACK: 5'
 - REAR YARD SETBACK: 25'
 - CORNER LOTS: 15' SIDE S.B.
4. 5' SIDEWALKS SHALL BE INSTALLED ALONG PROPOSED STREETS WHERE SHOWN.



TRACT AREAS	
TRACT	AREA (AC.)
A	29.09
B	0.24
C	0.50
D	0.45
E	0.18
F	0.07

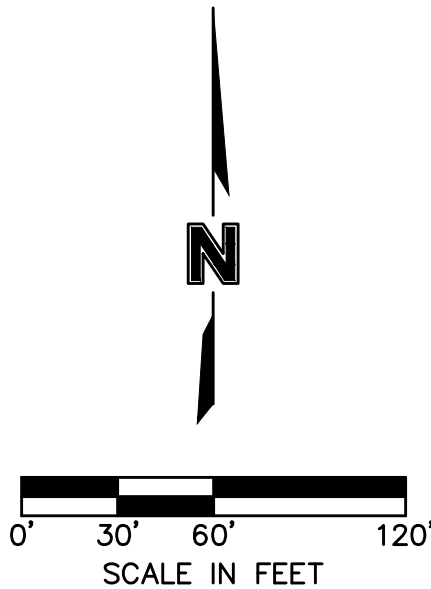
DEVELOPMENT DATA										
LAND USE	GROSS ACRES	STREET R/W (AC.)	OPEN SPACE (AC.)	DETENTION (AC.)	NET ACRES	UNITS	D U./AC. (GROSS)	D U./AC. (NET)	COMMENCE DATE	COMPLETION DATE
S.F. RES.	59.51	4.02	30.53	0.00	24.96	80	1.34	3.21	2018	2020





CONTEXT PLAN - N.T.S.

MATCHLINE - SEE NEXT SHEET



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SITE PLAN (NORTH)

PERGOLA PARK 5TH PLAT
PRELIMINARY DEVELOPMENT PLAN

2018

LEE'S SUMMIT, MO

drawn by: C.H.

checked by: SGB

designed by: JS

QA/QC by: JEE

project no.: 018-1343

date: 2018.08.03

NO. REV.

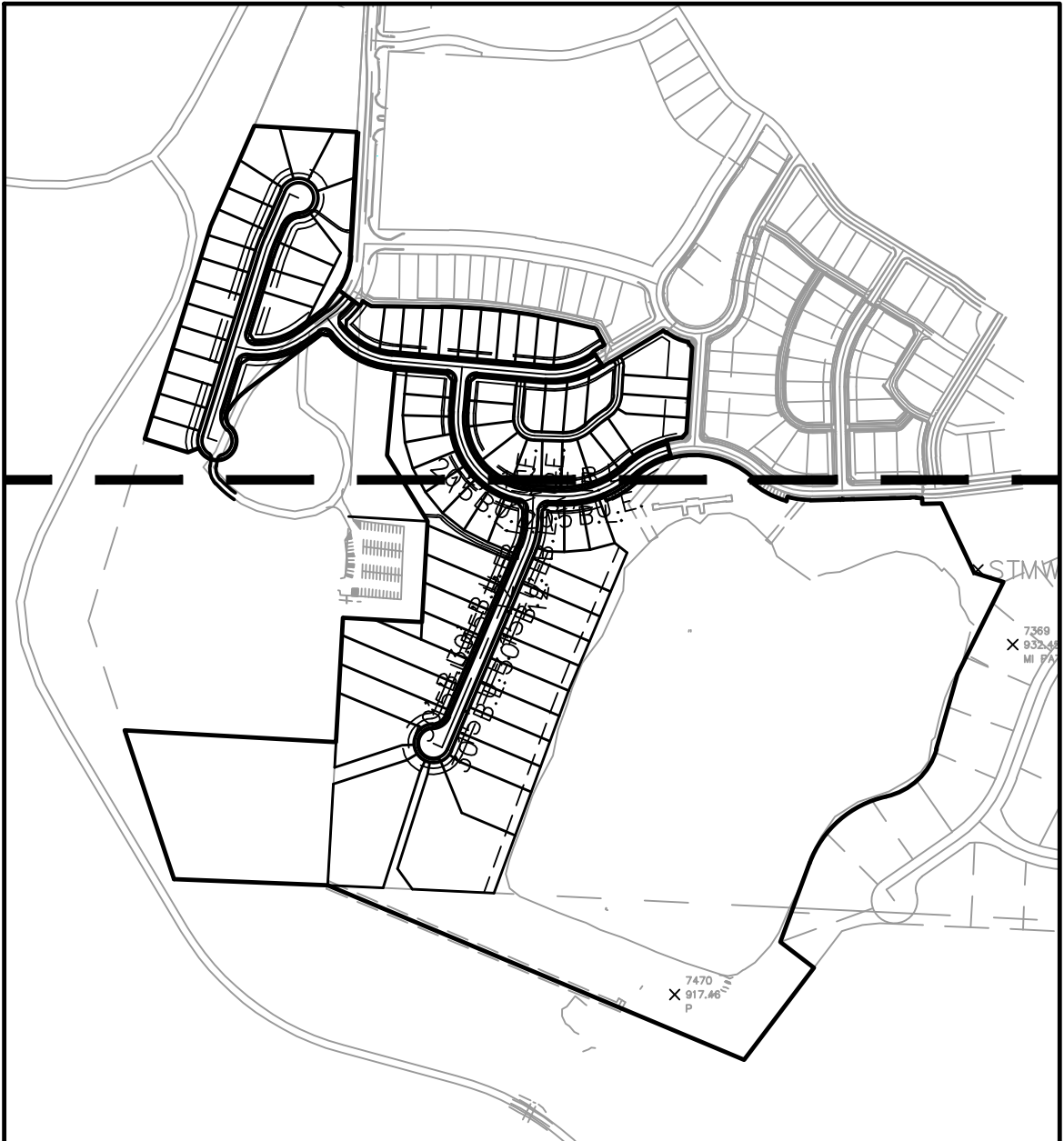
DATE

REVISIONS DESCRIPTION

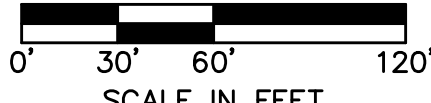
BY

REVISIONS

MATCHLINE - SEE PREVIOUS SHEET



CONTEXT PLAN – N.T.S.



SITE PLAN (SOUTH)

PERGOLA PARK 5TH PLAT PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

2018

REVISIONS DESCRIPTION

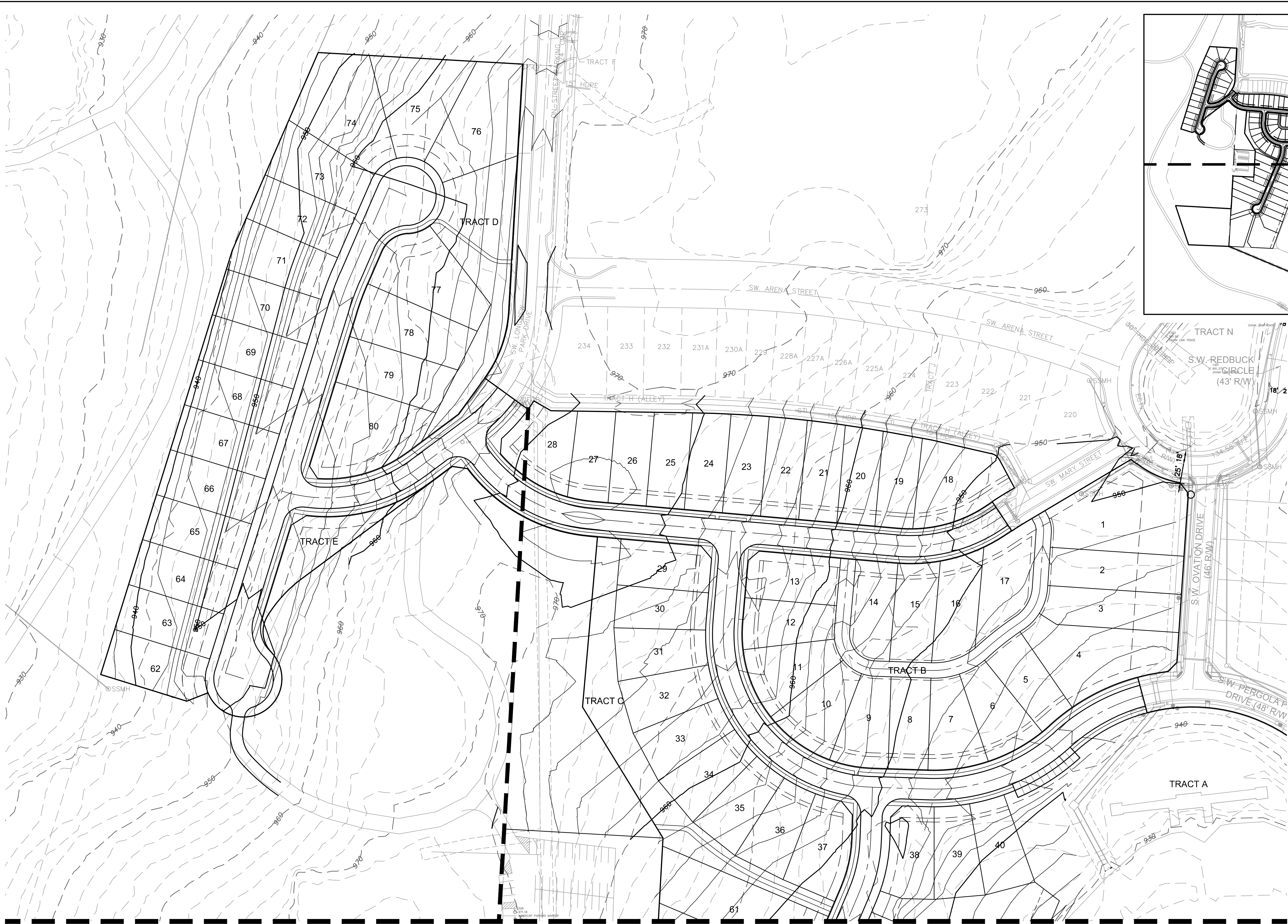
BY

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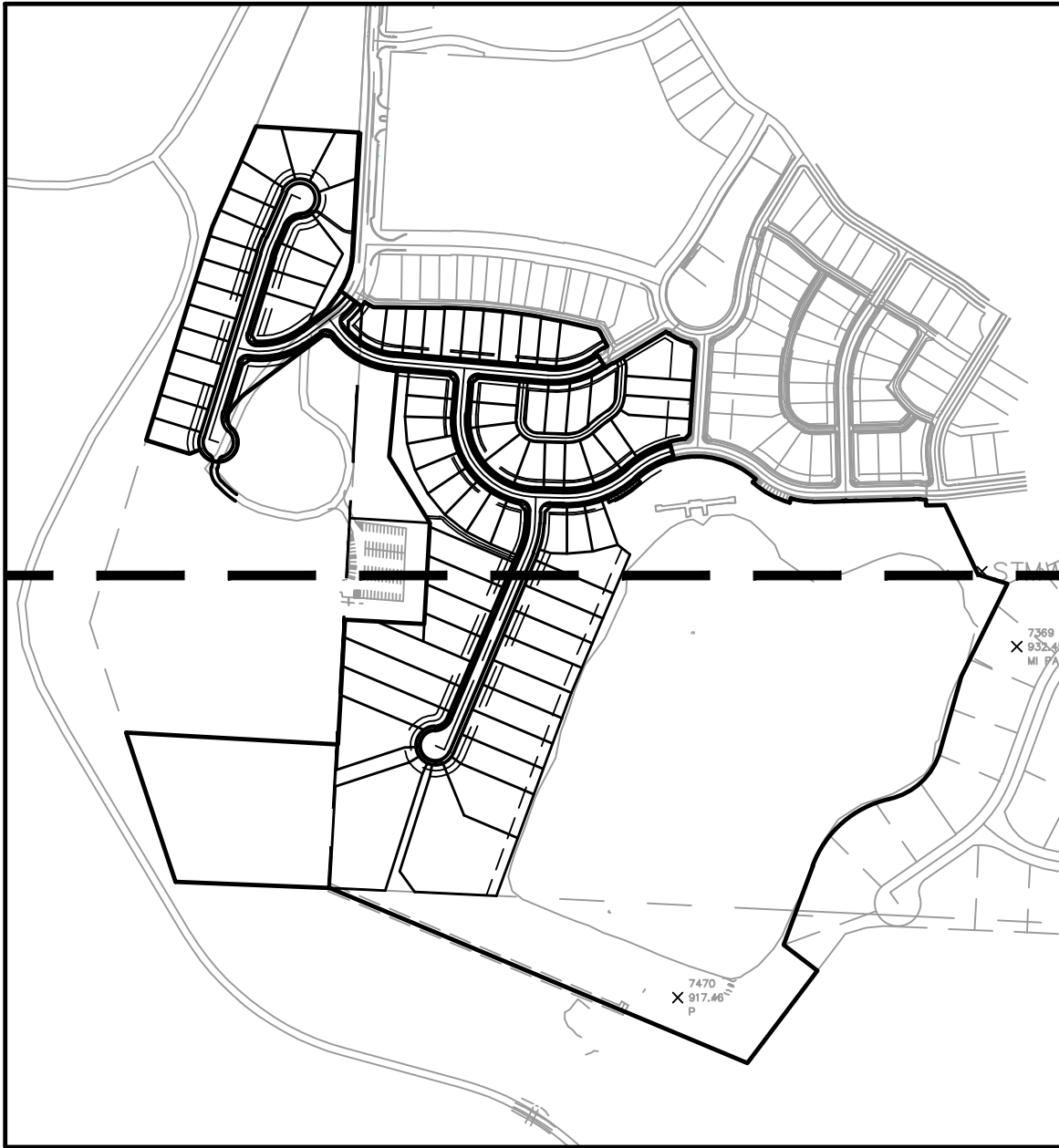
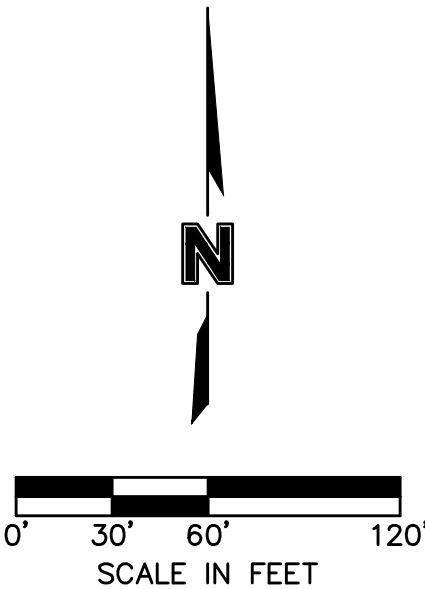
drawn by: C.JH
checked by: SQB
designed by: JS
QA/QC by: JFE
project no.: 018-1343
date: 2018.08.03

SHEET
05



MATCHLINE - SEE NEXT SHEET

LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS
-100-	FUTURE INDEX CONTOURS
-100-	FUTURE INTERMEDIATE CONTOURS



CONTEXT PLAN - N.T.S.

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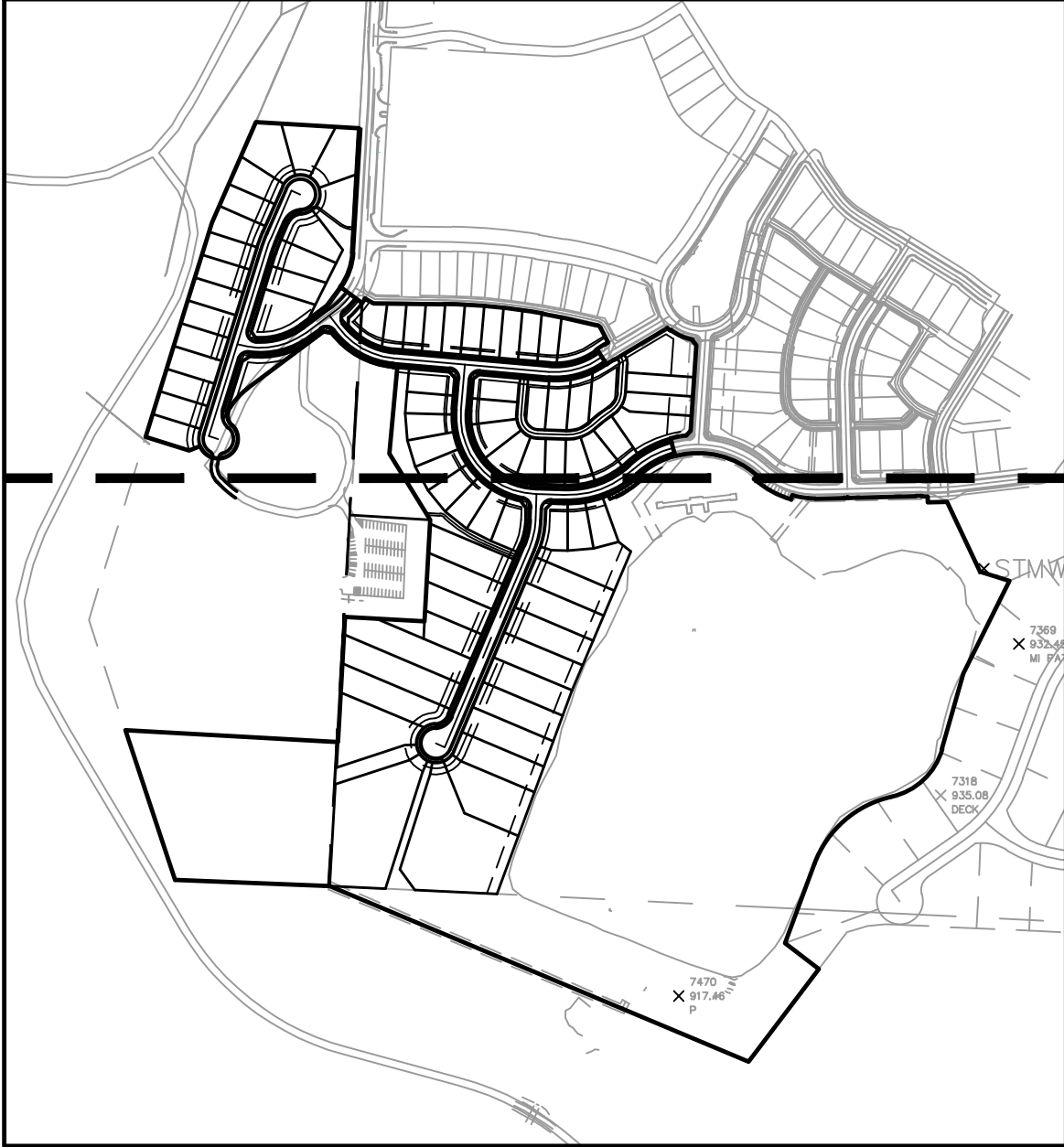
PRELIMINARY GRADING PLAN (NORTH)	BY	REVISIONS DESCRIPTION
PERGOLA PARK 5TH PLAT PRELIMINARY DEVELOPMENT PLAN	NO. REV.	DATE
	2018	
LEE'S SUMMIT, MO		REVISIONS







drawn by: C.J.H.
checked by: S.O.B.
designed by: J.S.
QA/QC by: J.F.E.
project no.: 018-1343
date: 0000.00.00

SHEET
06

DWG: F:\2018\1001-1500\018

MATCHLINE - SEE PREVIOUS SHEET



LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS

0' 30' 60' 120'

SCALE IN FEET

PRELIMINARY GRADING PLAN (SOUTH)

PERGOLA PARK 5TH PLAT
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

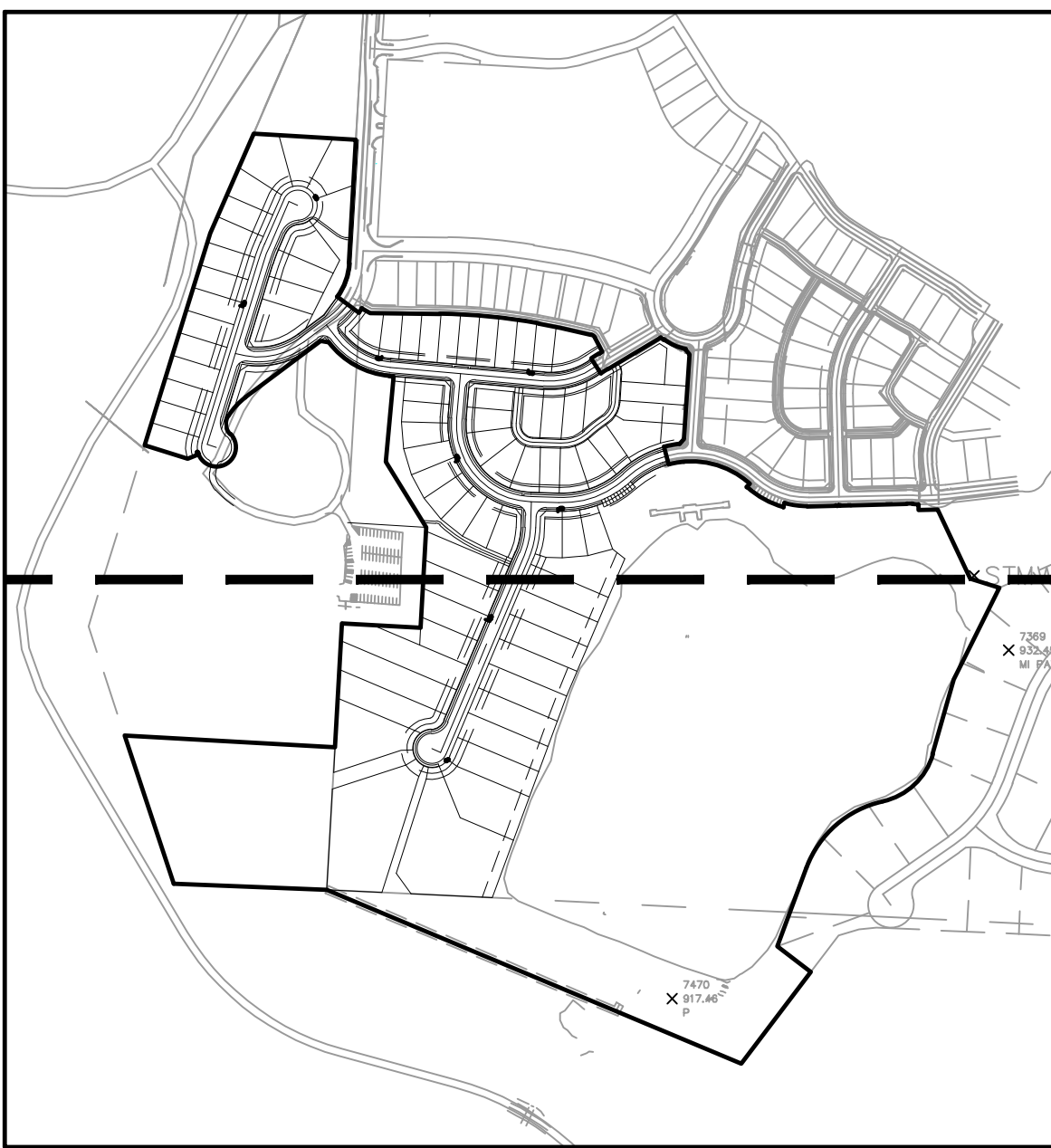
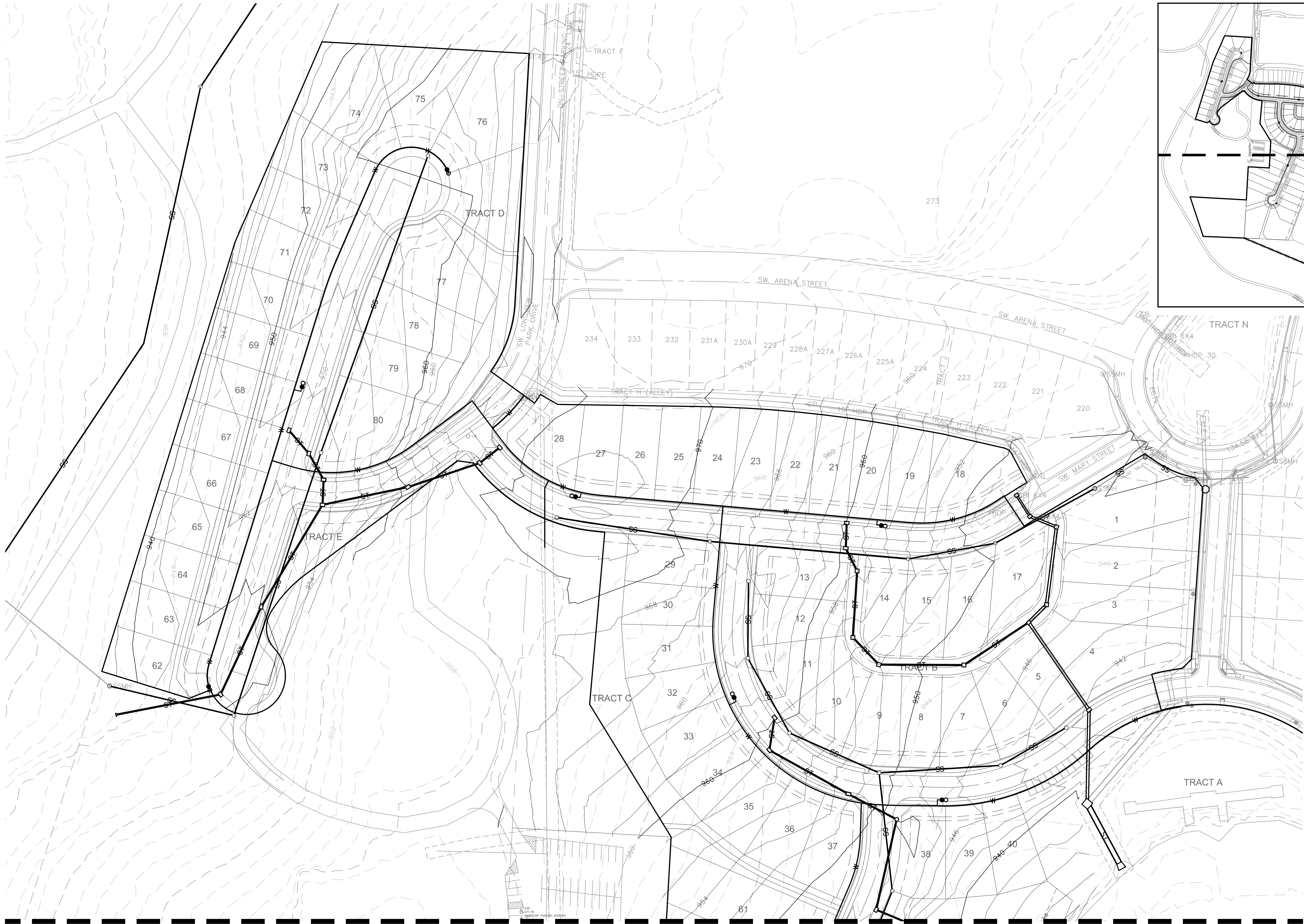
2018

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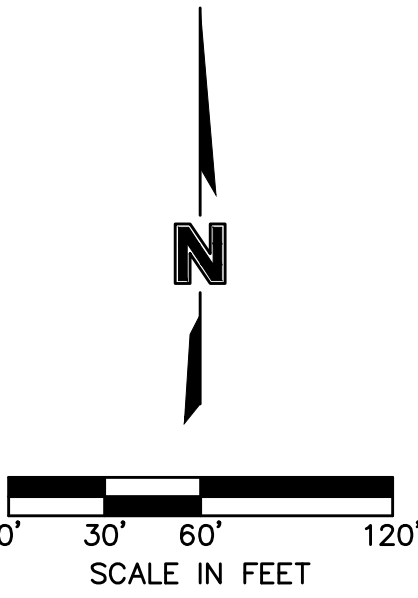
REVISIONS



CONTEXT PLAN - N.T.S.

MATCHLINE - SEE NEXT SHEET

LEGEND	
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE



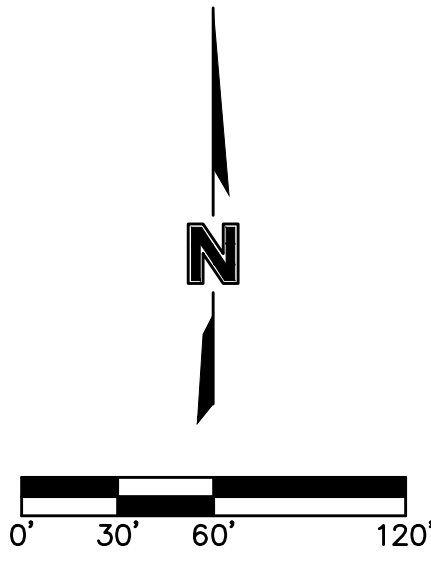
drawn by: _____ C.J.H			
checked by: _____ SGB			
designed by: _____ J.S			
QA/QC by: _____ J.E			
project no.: _____ 018-1343			
date: _____ 2018.08.03			
SHEET			
08			
PRELIMINARY UTILITY PLAN (NORTH)		REVISIONS	
PERGOLA PARK 5TH PLAT PRELIMINARY DEVELOPMENT PLAN	NO. REV.	DATE	BY
LEE'S SUMMIT, MO	2018		

drawn by: C.H.
checked by: SGB
designed by: JS
QA/QC by: JEE
project no.: 018-1343
date: 2018.08.03

DWG: F:\2018\1001-1500\018-1343\40-Design\AutoCAD\Preliminary Plans\GNCV\01_Development Plans_36x24\C_UTL02_81343.dwg
DATE: Aug 02, 2018 6:23pm USER: cholquist



LEGEND	
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FUTURE STORM SEWER
	EXISTING WATER LINE
	PROPOSED WATER LINE
	FUTURE WATER LINE



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PRELIMINARY UTILITY PLAN (SOUTH)		REVISIONS	
PERGOLA PARK 5TH PLAT		2018	
PRELIMINARY DEVELOPMENT PLAN		LEE'S SUMMIT, MO	
drawn by: C.H.		checked by: SGB	
designed by: JS		QA/QC by: JEE	
project no.: 018-1343		date: 2018.08.03	

SHEET
09



drawn by: _____ C.JH
checked by: _____ SOB
designed by: _____ JS
QA/QC by: _____ JEE
project no.: 018-1343
date: 2018.08.03

BUILDING ELEVATIONS - TND

PERGOLA PARK 5TH PLAT
PRELIMINARY DEVELOPMENT PLAN

NO. REV.

DATE

REVISIONS DESCRIPTION

BY

2018

REVISIONS

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SHEET
10

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ASHE - CRAFTSMAN



ASHE - PRAIRIE



BALENTINE - FRENCH COUNTRY



MONTELENA - CRAFTSMAN



MONTELENA - SHINGLE



PECOTA - SHINGLE



SPENCER - CRAFTSMAN



SPENCER - FRENCH COUNTRY

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BUILDING ELEVATIONS - SUBURBAN (2)

PERGOLA PARK 5TH PLAT
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

2018

drawn by: C.J.H.
checked by: SGB
designed by: JS
QA/QC by: JEE
project no.: 018-1343
date: 2018.08.03

SHEET

12

BY

NO. REV.

DATE

REVISIONS DESCRIPTION

REVISIONS