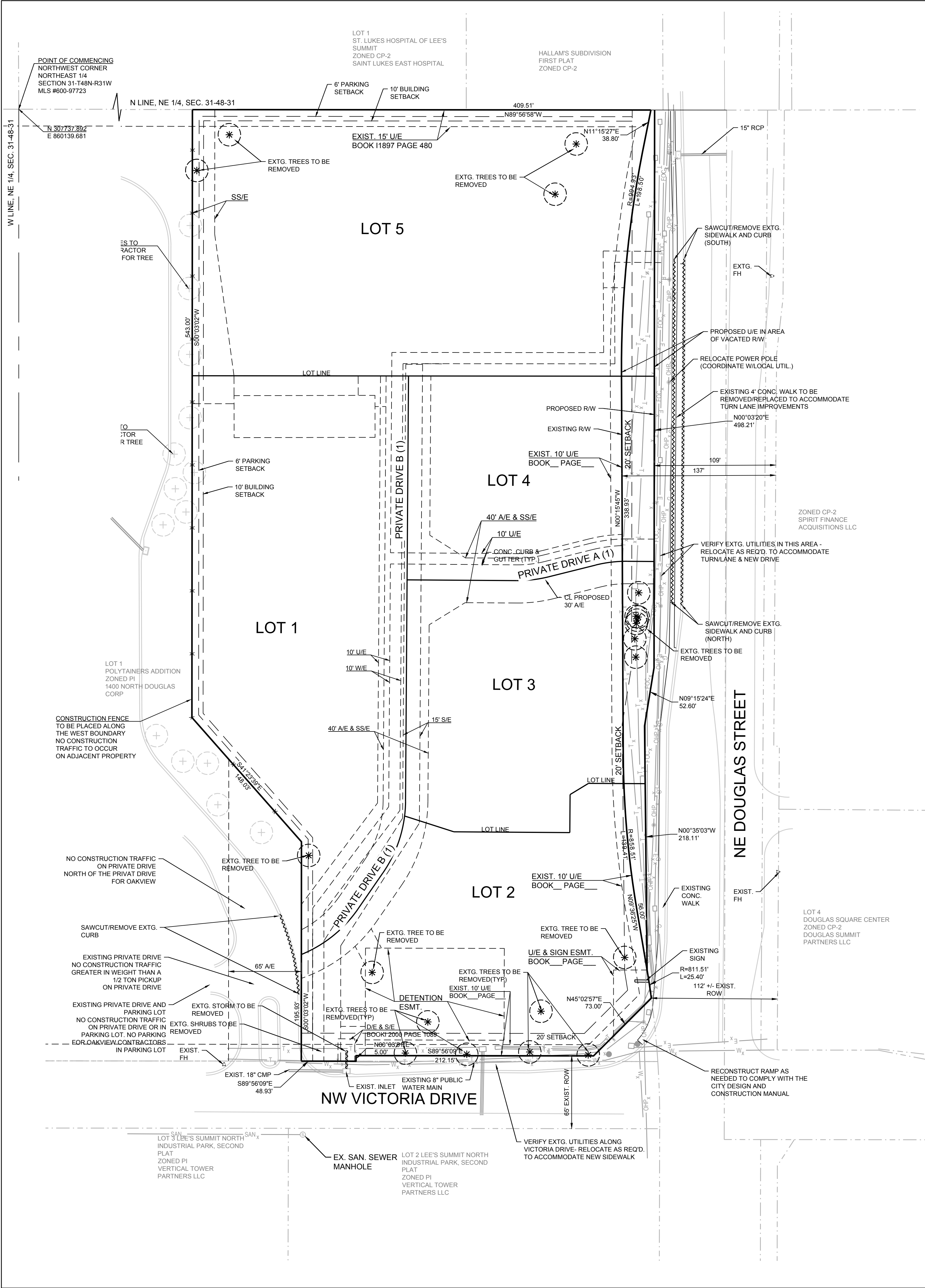




- LEGEND:**
- A/E - ACCESS EASEMENT
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 - BL or B.L. - BUILDING LINE
 - CO - CLEANOUT
 - TJB - TELEPHONE JUNCTION BOX
 - D/E - DRAINAGE EASEMENT
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 - HDPE - HIGH-DENSITY POLYETHYLENE
 - PVC - POLYVINYL CHLORIDE
 - P/L - PROPERTY LINE
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 - RCP - REINFORCED CONCRETE PIPE
 - ROW or R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - SL - SERVICE LINE
 - SS/E - STORM SEWER EASEMENT
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - RIGHT-OF-WAY
 - SANITARY SEWER MAIN
 - SANITARY SEWER MAIN - EXIST.
 - STO - STORM SEWER
 - STORM SEWER - EXISTING
 - CATV_x - CABLE TV - EXISTING
 - FOC_x - FIBER OPTIC CABLE - EXISTING
 - T_x - TELEPHONE LINE - EXIST.
 - E_x - ELECTRIC LINE - EXISTING
 - OHP_x - OVERHEAD POWER LINE - EXIST.
 - UGE_x - UNDERGROUND ELECTRIC - EX.
 - G_x - GAS LINE - EXISTING
 - W_x - WATERLINE - EXISTING
 - LIGHT - EXISTING
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE

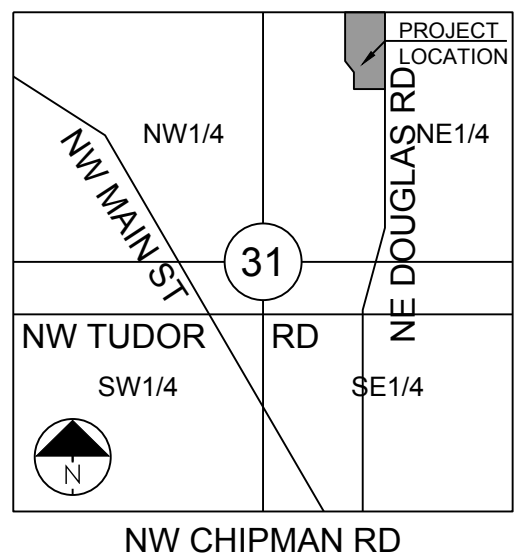
- PAVEMENT LEGEND:**
- ASPHALT PAVEMENT
 - 4" CONCRETE SIDEWALK
 - 8" CONCRETE DRIVE
 - TYPE "B" - CURB & GUTTER
 - TYPE "B" - CURB & GUTTER - DRY
 - EXISTING CURB & GUTTER

OVERALL LEGAL DESCRIPTION

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.

GENERAL NOTES:

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- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
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- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
- BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
- PARKING LOT DESIGN MUST MEET THE UDO ARTICLE 12 REQUIREMENTS AND THE PRIVATE DRIVE MUST MEET PUBLIC STREET DESIGN STANDARDS PER THE DESIGN AND CONSTRUCTION MANUAL SECTION 5200.



SECTION 31-48-31
LOCATION MAP
SCALE 1" = 2000'

SCHLAGEL & ASSOCIATES, P.A.
Engineers-Planners-Surveyors-Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificate of Authority
#E2002003600-F #LAC2001005237 #LS2002008695-F

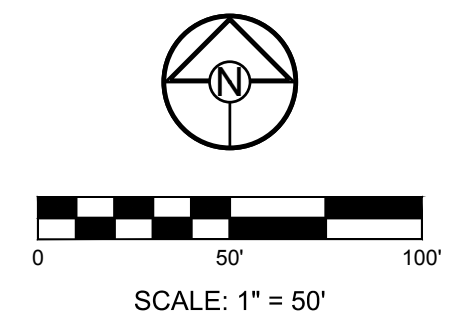
**OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS**
**NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI**

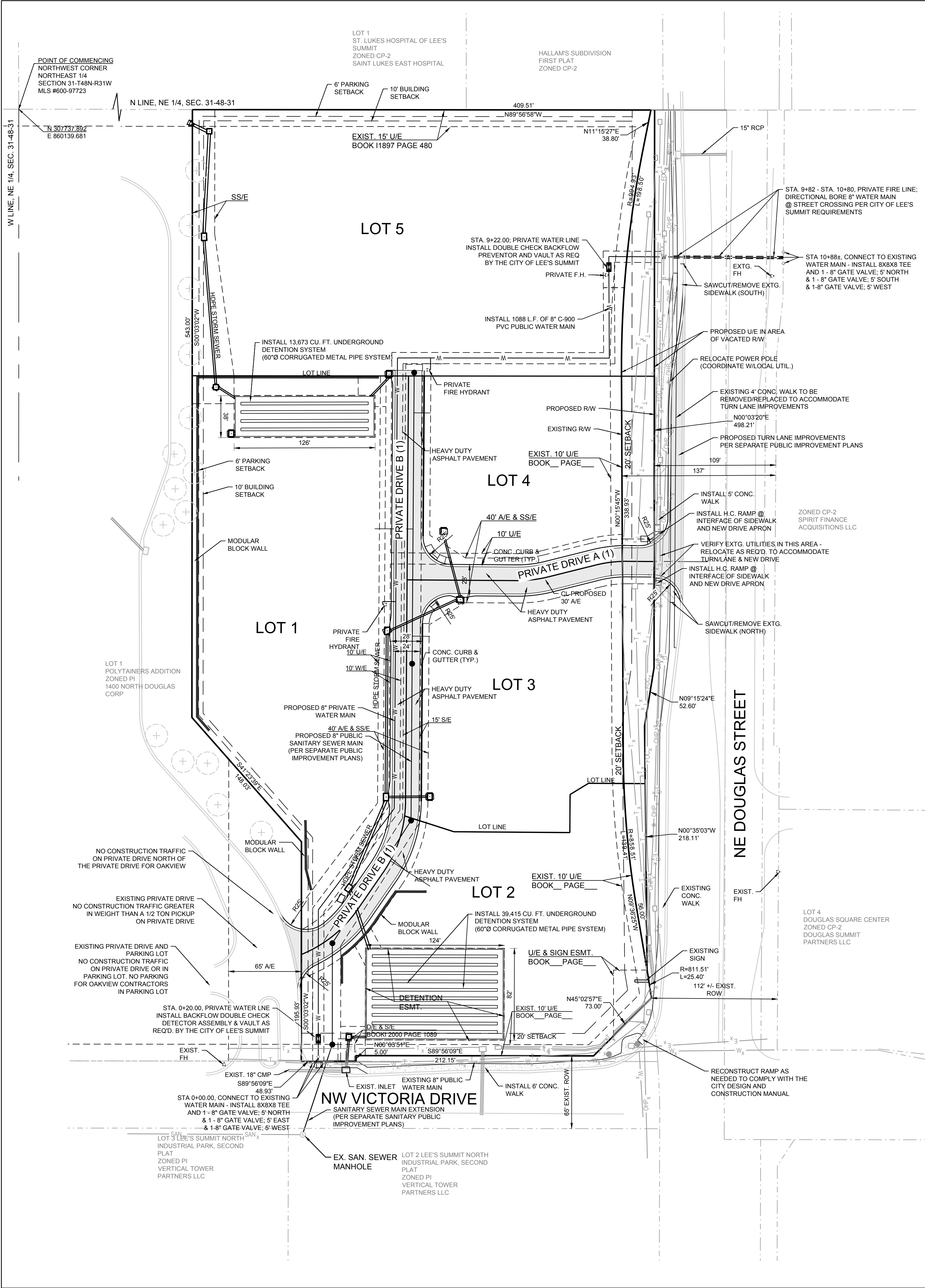
REVISION	DATE	DESCRIPTION
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2	1/2/18	17-135
3	1/2/18	17-135
4	1/2/18	17-135
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94	1/2/18	17-135
95	1/2/18	17-135
96	1/2/18	17-135
97	1/2/18	17-135
98	1/2/18	17-135
99	1/2/18	17-135
100	1/2/18	17-135

FLOOD NOTE:
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OWNER/DEVELOPER:
UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:
OAK VIEW CAPITAL PARTNERS, LLC
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442





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PAVEMENT LEGEND:

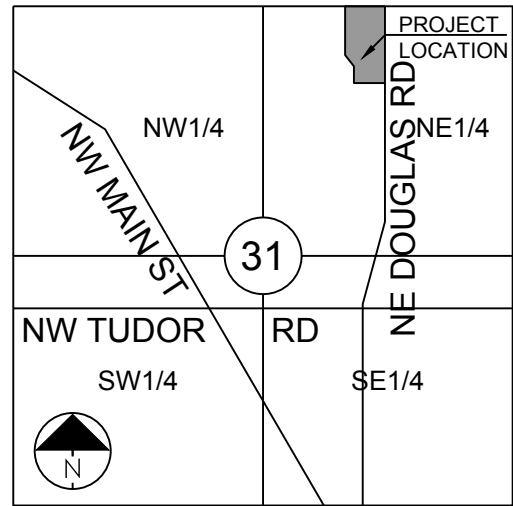
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NW CHIPMAN RD

SECTION 31-48-31

LOCATION MAP

SCALE 1" = 2000'

OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS

NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

SCHLAGEL & ASSOCIATES, P.A.
Engineers-Planners-Surveyors-Landscape Architects



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Missouri State Certificate of Authority
#E2002003600-F #LAC2001005237 #LS2002008695-F

REVISION DATE

DESCRIPTION

DRAWN BY: ###

CHECKED BY: ###

DATE PREPARED: 7-2-18

PROJ. NUMBER: 17-135

GENERAL LAYOUT

SHEET

C 2.0
OF

FLOOD NOTE:

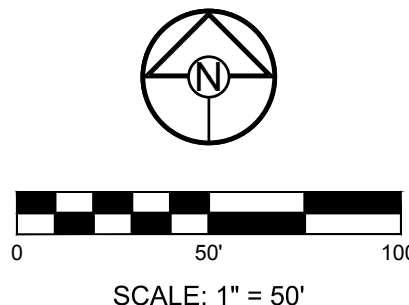
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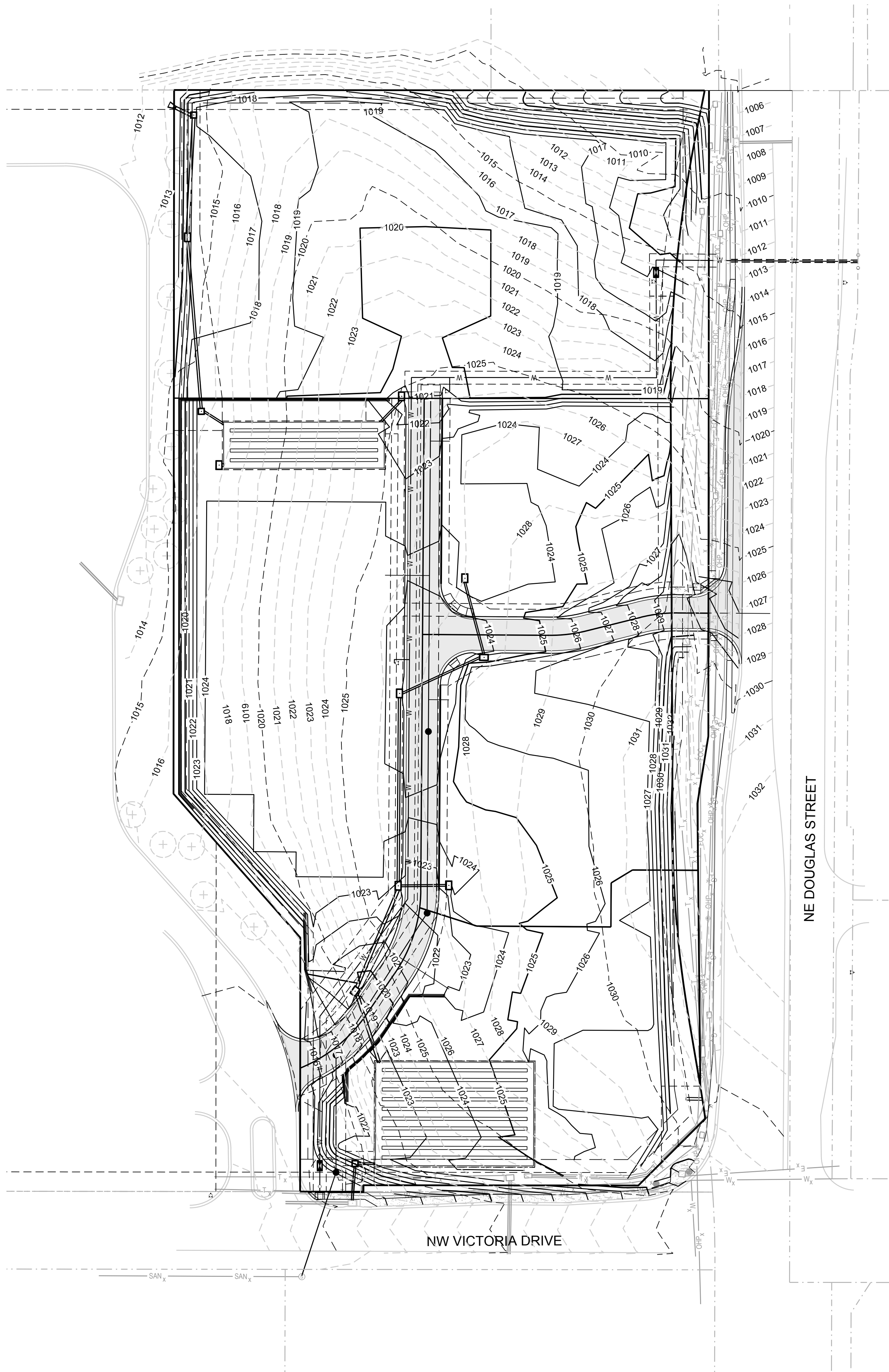
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COLLEEVILLE, TX 76034
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GRADING LEGEND:

- *XXXX EXTG. SPOT ELEVATION
XX.XX PROPOSED TOP OF CURB ELEV.
XX.XX OR LIP OF CURB OR SPOT ELEVATION
F.F.E. FINISHED FLOOR ELEVATION
- - - 1023 - - - EXISTING CONTOUR
—— 1023 —— PROPOSED CONTOUR

* - ALL SIDEWALKS TO BE INSTALLED WITH A 2.0% MAXIMUM CROSS SLOPE.

LEGEND

- BFG BOTTOM OF WALL FINISH GRADE ELEVATION
BW BOTTOM OF WALL
TW TOP OF WALL ELEVATION
P PAVEMENT ELEVATION
TC TOP OF CURB ELEVATION

GENERAL GRADING/EARTHWORK NOTES:

- All earthwork shall conform to the Geotechnical Report prepared for this specific project. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
- Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or other means as indicated on the plans.
- The existing site topography depicted on the plans by contouring has been established by field verified prepared by Schlager and Associates, P.A. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy. Proposed contours are to approximate finished grade.
- Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a mowable condition and positive drainage maintained throughout.
- Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
- Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
- All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
- Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a modified proctor test.
- Subgrade for pavements shall be proof-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and retested until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
- Subgrade for building pads shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the site specific Geotechnical Report.
- Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
- The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
- All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - Turf Areas – 2.5% Minimum, 4H:1V Maximum
 - Paved Areas – 1.2% Minimum, 5% Maximum
- A.D.A. parking stalls shall not be sloped greater than 2% in any direction and constructed per A.D.A. requirements.
- All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
- All disturbed areas in the right-of-way shall be sodded, per city requirements.
- Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
- Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY R.L. BUFORD & ASSOCIATES LLC - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- RETAINING WALL DESIGN IS BY THE CONTRACTOR, WALL SUPPLIER, OR OWNER CONSULTANT. SCHLAGEL & ASSOCIATES, P.A. IS NOT RESPONSIBLE FOR THE RETAINING WALL DESIGN. BOTTOM OF WALL FINISH GRADE (BFG) IS AT EXISTING GRADE. BOTTOM OF WALL TO BE DETERMINED BY WALL DESIGNER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR THE WALL.

OWNER/DEVELOPER:

OAK VIEW CAPITAL PARTNERS, LLC
JONATHON D. BUCHANAN
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442
f -
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OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS

NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

SCHLAGEL & ASSOCIATES, P.A.
Engineers-Planners-Surveyors-Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #LAC2001005237 #LS2002008659-F



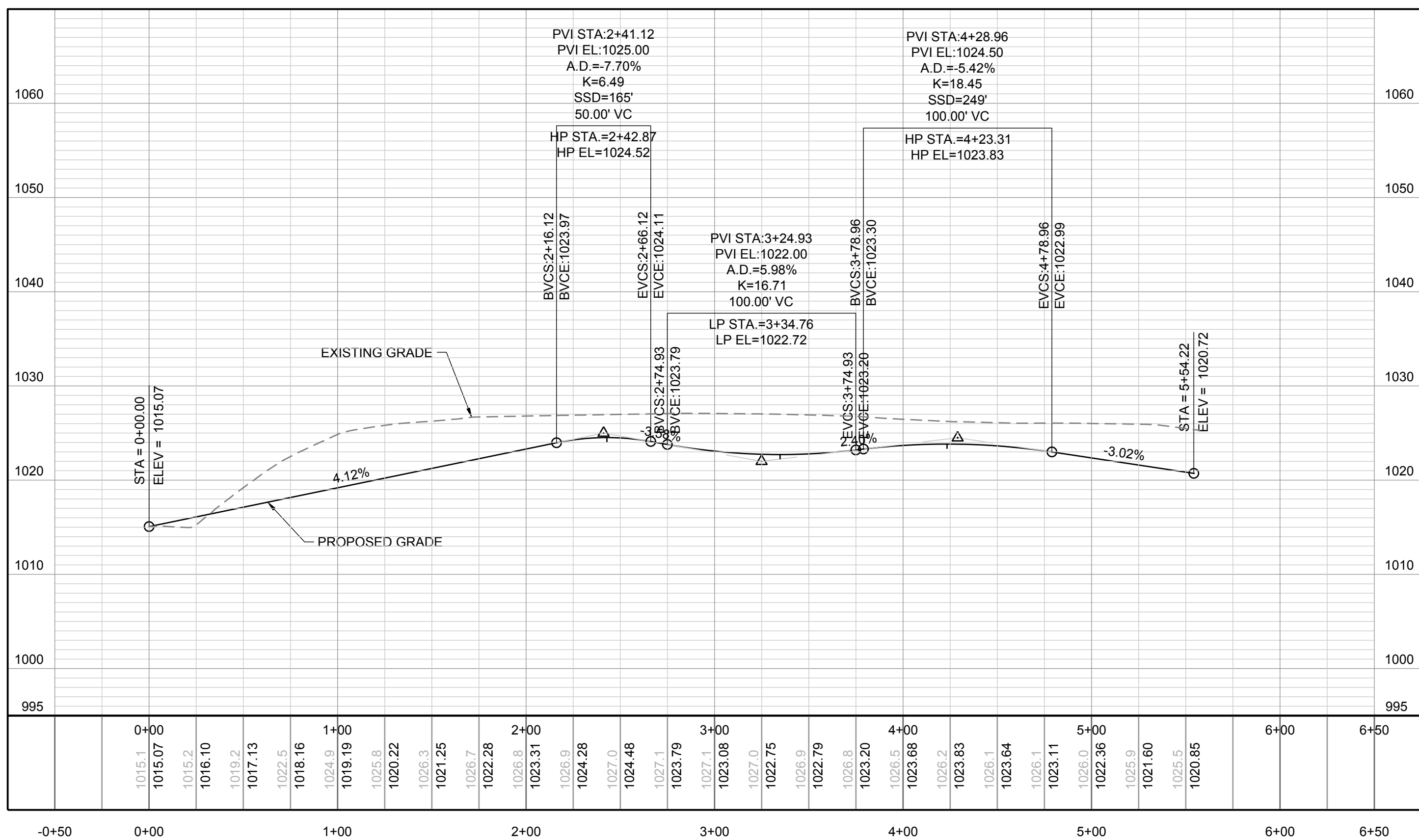
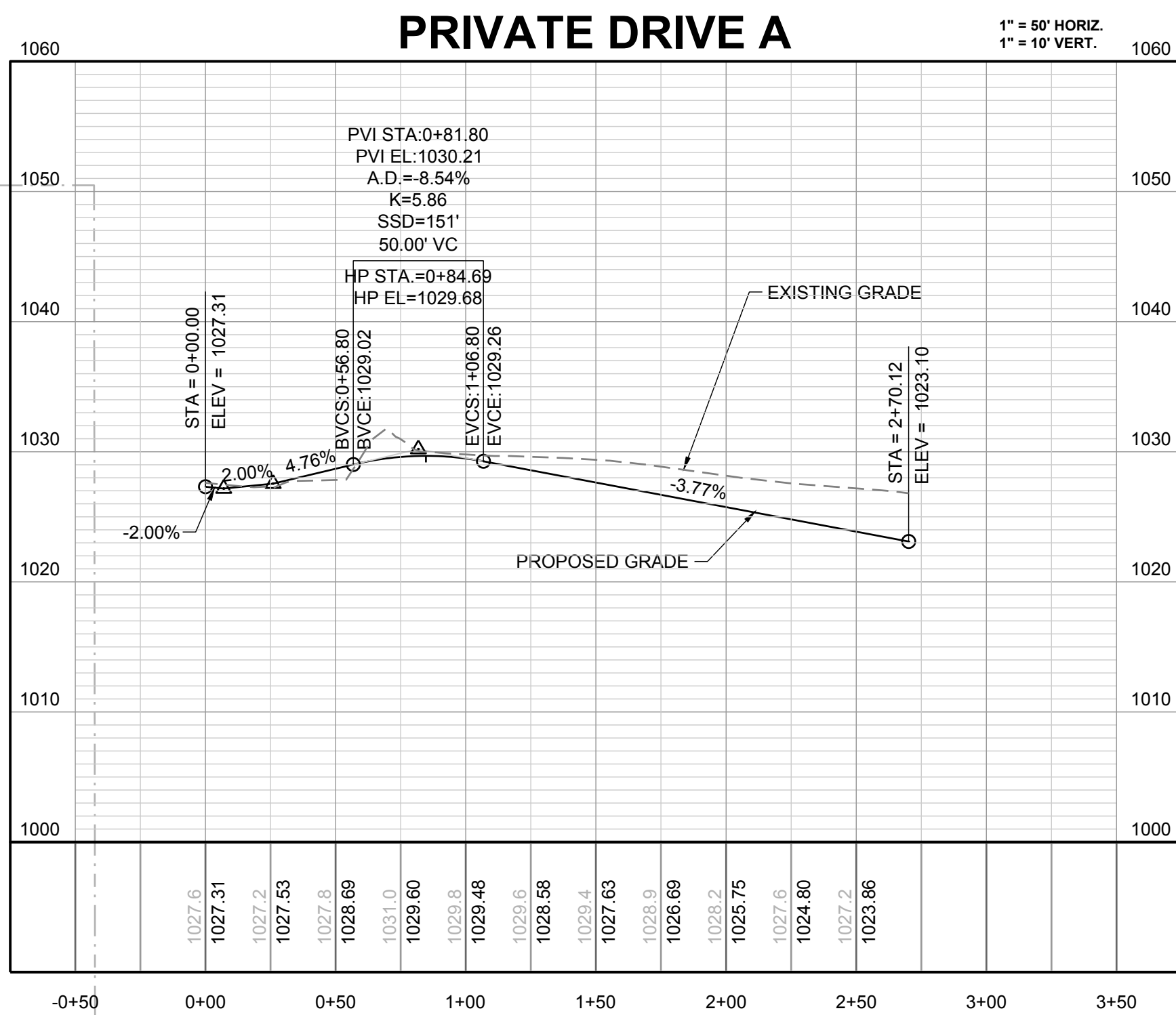
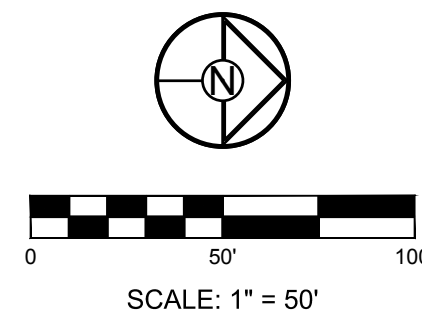
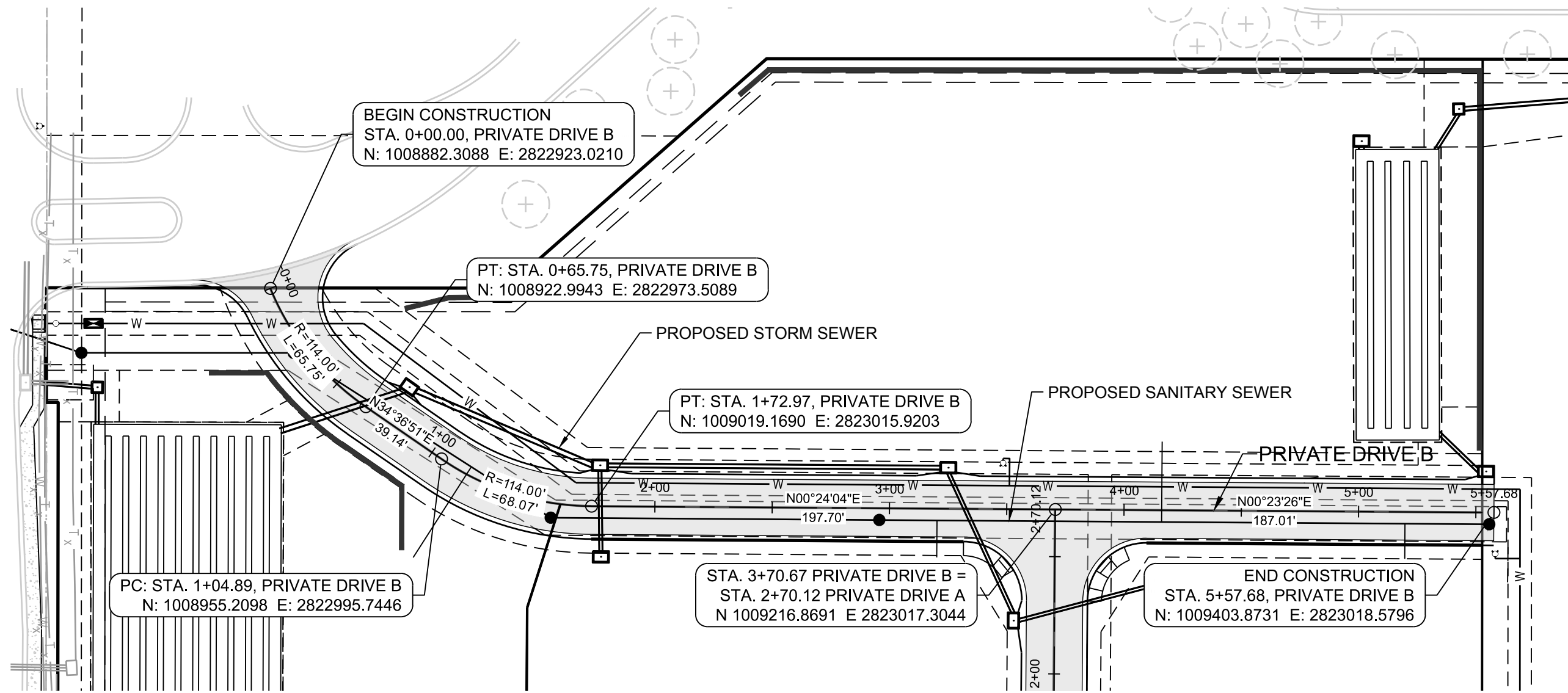
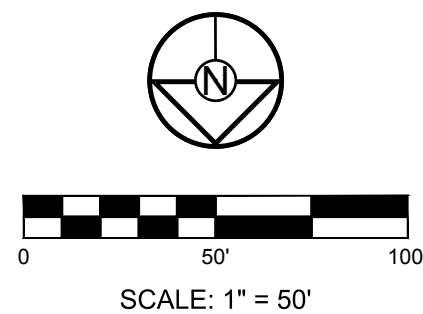
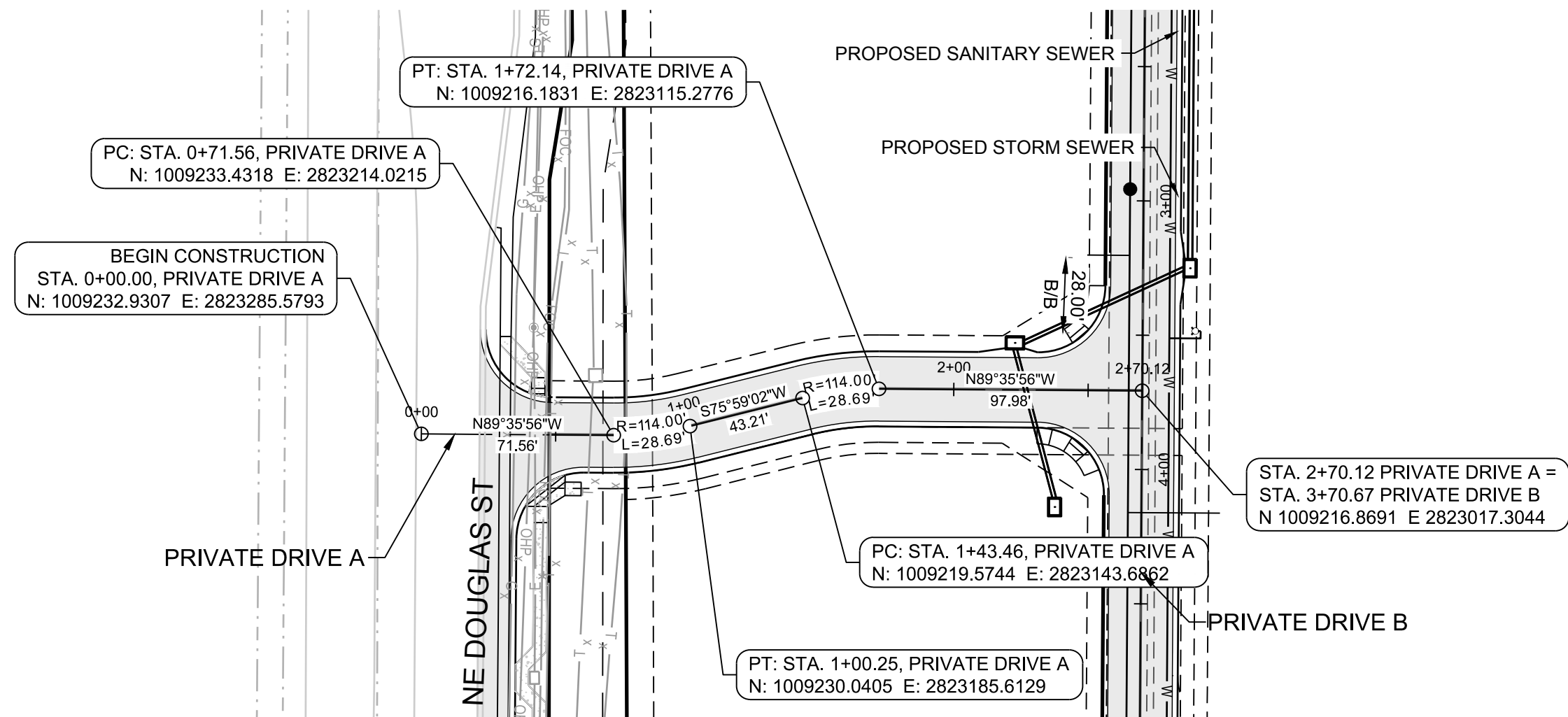
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5/1/18	5/1/18
6/1/18	6/1/18
7/1/18	7/1/18
8/1/18	8/1/18
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11/1/18	11/1/18
12/1/18	12/1/18

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DATE PREPARED:	7-2-18
PROJ. NUMBER:	17-135

GRADING PLAN

SHEET

C 3.0
OF



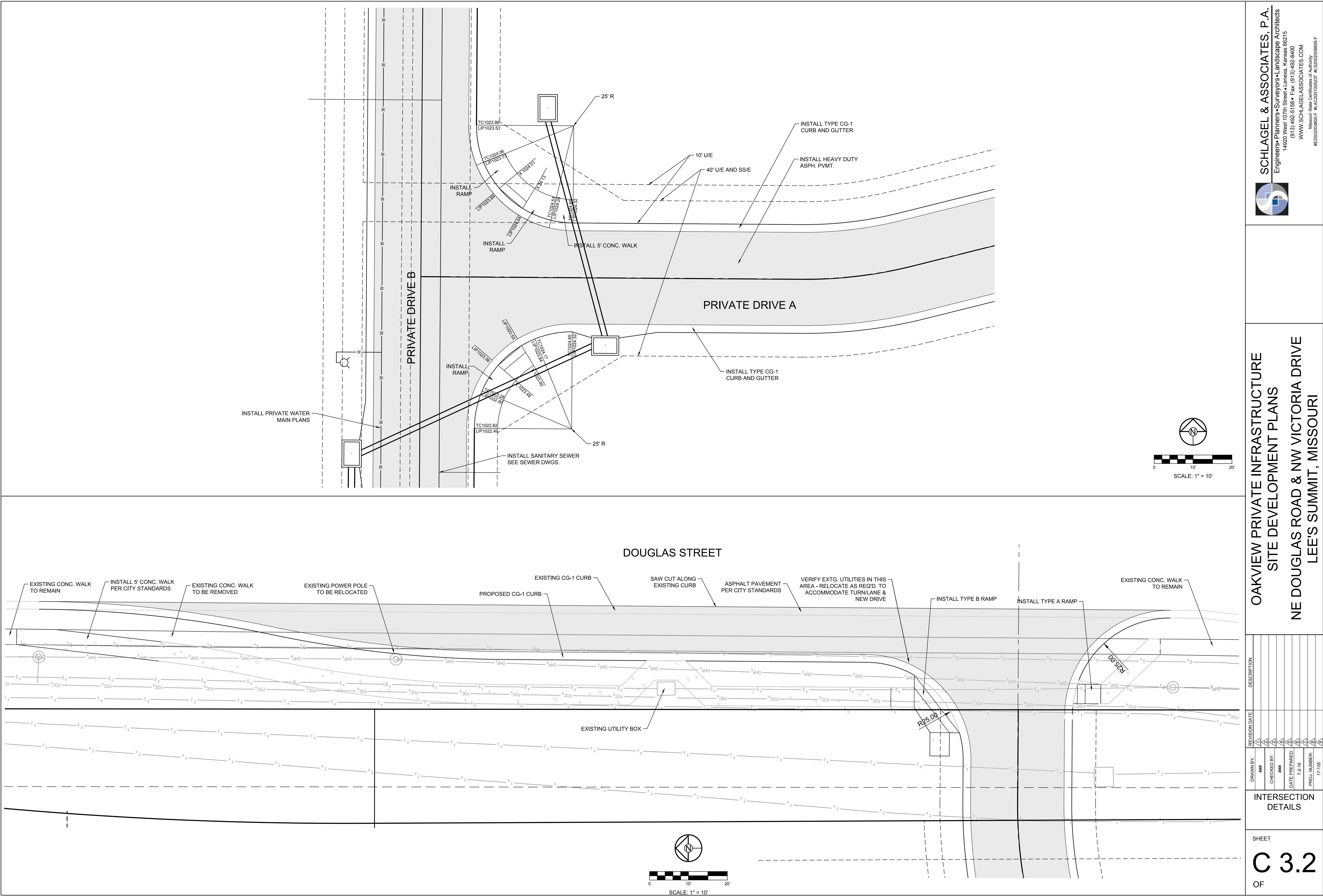
PROJECT BENCHMARK:

ELEVATIONS BASED ON ALTA SURVEY BY R.L. BUFORD & ASSOCIATES PROVIDED BY OWNER. ALTA SURVEY ELEVATIONS BASED ON NATIONAL GEODETIC SURVEY MARKER NO JE1870.

ALTA SURVEY CONTROL BENCHMARK: CHISELED "X" ON NE CORNER OF CURB INLET NEAR THE SOUTHWESTERLY PROPERTY LINE OF THE PROPERTY. ELEV. 986.78'

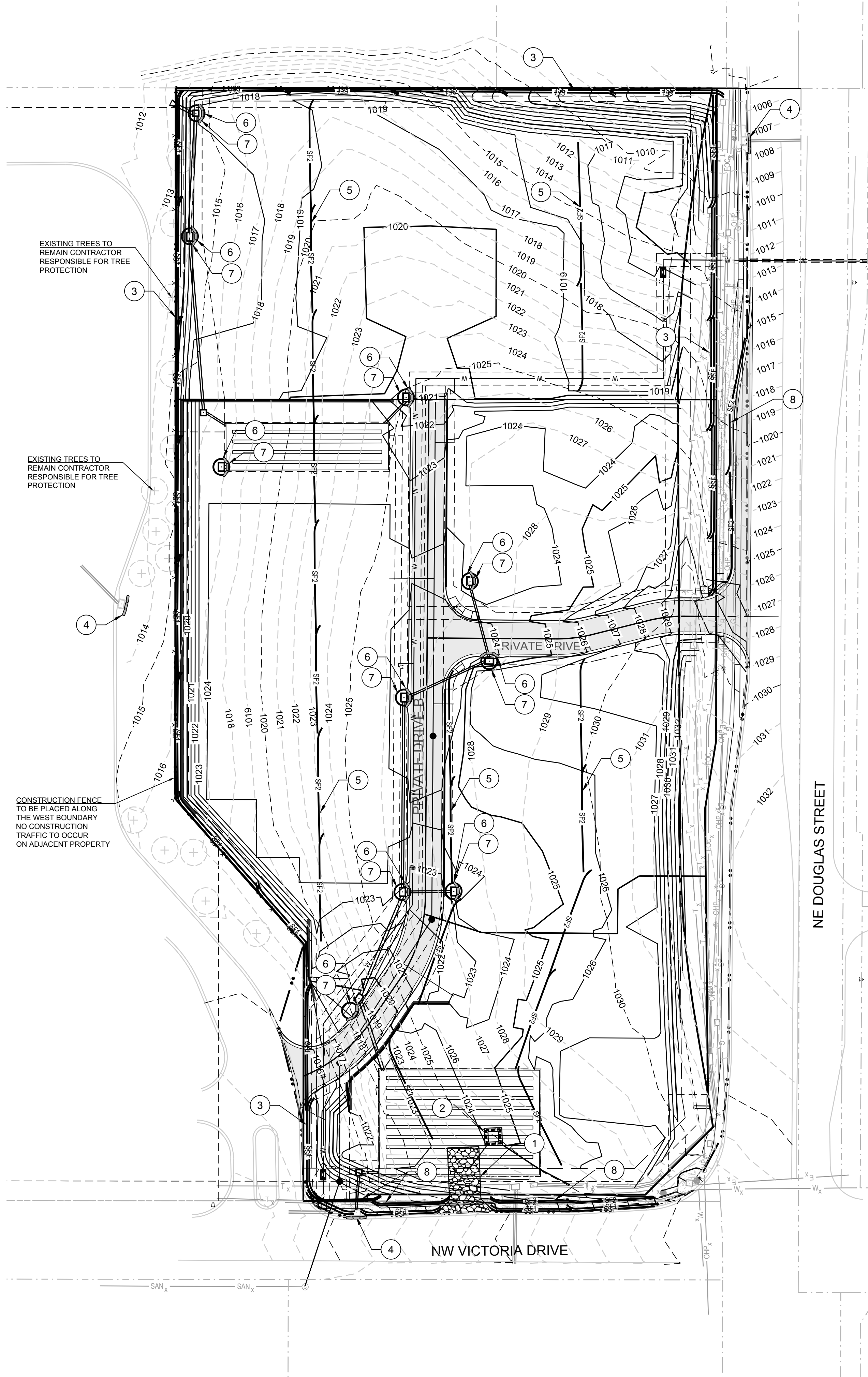
REVISION DATE	DESCRIPTION
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**OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS**
**NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI**

INTERSECTION DETAILS		DRAWN BY: ###	REVISION DATE	DESCRIPTION
		CHECKED BY: ###	▲	
		DATE PREPARED: 7-2-18	▲	
		PROJ. NUMBER: 17-135	▲	
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LEES SUMMIT SITE SPECIFIC NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES ON THE SITE.
3. THE DRAINAGE FEATURE THROUGH THE MIDDLE OF THE SITE IS A PROTECTED AREA. NO CONSTRUCTION EQUIPMENT OR ACTIVITY IS ALLOWED IN THESE AREAS UNLESS A SPECIFIC PERMIT/PERMISSION FROM THE GOVERNING AUTHORITY HAS BEEN OBTAINED.
4. A SWPPP HAS BEEN PREPARED FOR THIS PROJECT AND IS INCORPORATED INTO THIS EROSION CONTROL PLAN BY REFERENCE. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE SWPPP IMPLEMENTATION AND REPORTING REQUIREMENTS.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
6. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
7. SOIL STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED AFTER PERIODS OF INACTIVITY IN CONSTRUCTION OF GREATER THAN 7 DAYS. INITIAL STABILIZATION MUST BE COMPLETED WITHIN 21 DAYS.
8. ALL SILT FENCE AND EROSION CONTROL MEASURES THAT ARE PLACED PRIOR TO LAND DISTURBANCE WILL BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL CONTRACTORS ON SITE.
9. AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE ESTABLISHED IMMEDIATELY AFTER THE CONSTRUCTION IN THAT AREA IS COMPLETE.
10. ALL PUBLIC STREETS SHALL BE KEPT CLEAN PER THE SWPPP AND CITY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. ALL WORK IN PUBLIC EASEMENTS AND RIGHT-OF-WAY AND ALL EROSION CONTROL WORK MUST COMPLY WITH THE LATEST EDITION OF THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS, OF THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY/KANSAS CITY, KANSAS. IF ANY OF THE GENERAL NOTES CONFLICT WITH THE TECHNICAL PROVISIONS & STANDARD DRAWINGS FOR ROADS AND SEWERS, OF THE UNIFIED GOVERNMENT OF WYANDOTTE COUNTY/KANSAS CITY, KANSAS (THE UG), THE UG'S STANDARDS SHALL OVERRIDE.
2. THE CONTRACTOR SHALL MAINTAIN INSTALLED EROSION AND SEDIMENT CONTROL DEVICES IN A MANNER THAT PRESERVES THEIR EFFECTIVENESS FOR PREVENTING SEDIMENT FROM LEAVING THE SITE OR ENTERING A SENSITIVE AREA SUCH AS A NATURAL STREAM CORRIDOR, AREAS OF THE SITE INTENDED TO BE LEFT UNDISTURBED, A STORM SEWER, OR AN ON-SITE DRAINAGE CHANNEL.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL FOR THE DURATION OF A PROJECT. IF THE ENGINEER DETERMINES THAT THE BMPs IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL.
4. CONCRETE WASH OR RINSEWATER FROM CONCRETE MIXING EQUIPMENT, TOOLS AND/OR READY-MIX TRUCKS, TOOLS, ETC. MAY NOT BE DISCHARGED INTO OR BE ALLOWED TO RUN DIRECTLY INTO ANY EXISTING WATER BODY OR STORM INLET. ONE OR MORE LOCATIONS FOR CONCRETE WASH OUT WILL BE DESIGNATED ON SITE, SUCH THAT DISCHARGES DURING CONCRETE WASHOUT WILL BE CONTAINED IN A SMALL AREA WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER EVAPORATED OR INFILTRATED INTO THE GROUND.
5. CHEMICALS OR MATERIALS CAPABLE OF CAUSING POLLUTION MAY ONLY BE STORED ON-SITE IN THEIR ORIGINAL CONTAINER. MATERIALS STORED OUTSIDE MUST BE IN CLOSED AND SEALED WATER-PROOF CONTAINERS AND LOCATED OUTSIDE OF DRAINAGEWAYS OR AREAS SUBJECT TO FLOODING. LOOKS AND OTHER MEANS TO PREVENT OR REDUCE VANDALISM SHALL BE USED. SPILLS WILL BE REPORTED AS REQUIRED BY LAW AND IMMEDIATE ACTIONS TAKEN TO CONTAIN THEM.
6. THE PERMITTEE SHALL, UPON INITIATION OF CONSTRUCTION ACTIVITIES, DETERMINE AN INITIAL ROUTINE INSPECTION MONITORING PERIOD BASED ON THE START DATE OF CONSTRUCTION ACTIVITIES AND A ROUTINE MONITORING FREQUENCY OF EITHER 14 DAYS OR A DIFFERENT MONITORING FREQUENCY ESTABLISHED IN THE SWP2 PLAN THAT DOES NOT EXCEED 14 DAYS. THE SITE SHALL BE INSPECTED BASED ON AN ESTABLISHED REGULAR SCHEDULE (NOT EXCEEDING 14 DAYS) AND, WITH THE EXCEPTION OF SATURDAYS, SUNDAYS, ESTABLISHED FEDERAL HOLIDAYS AND THE DAY AFTER THANKSGIVING, BY THE END OF THE NEXT DAY FOLLOWING A RAIN EVENT WHICH RESULTS IN A RAINFALL TOTAL OF 0.5 INCHES OR GREATER.
7. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING MATERIAL. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
8. UNLESS OTHERWISE NOTED IN THE PLANS, ALL SEEDING MUST CONFORM TO THE KANSAS DEPARTMENT OF TRANSPORTATION (KDOT) STANDARD SPECIFICATIONS FOR STATE ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AS AMENDED BY THE MOST CURRENT SPECIAL PROVISIONS.
9. CONTRACTOR SHALL HAVE A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE AND AVAILABLE AT ALL TIMES THROUGHOUT CONSTRUCTION ACTIVITIES AND INSPECTION LOGS AND CHANGES TO THE INDICATED EROSION CONTROL MEASURES SHALL BE ADDED AND DOCUMENTED WITHIN THE SWPPP.
10. GOOD HOUSEKEEPING, INCLUDING SPILL RESPONSE SHALL BE PERFORMED IN ACCORDANCE WITH THE KANSAS CITY CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS, SECTION 2150.
11. THE CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF .5 INCHES OR MORE. THE CONTRACTOR SHALL REPAIR DAMAGE, CLEAN OUT SEDIMENT, AND ADD ADDITIONAL EROSION CONTROL DEVICES AS NEEDED, AS SOON AS PRACTICABLE, AFTER INSPECTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REMOVING SEDIMENT UNTIL A MINIMUM OF 70% OF PERMANENT VEGETATION HAS BECOME STABILIZED AND ESTABLISHED. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE 70% ESTABLISHED VEGETATION IS MET, OR THE DURATION OF THE PROJECT, WHICHEVER IS THE LATER DATE.

TOTAL DISTURBED AREA = 7.90 AC.

SITE SPECIFIC NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
4. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
5. SOIL STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED IMMEDIATELY AFTER AREAS ARE BROUGHT TO FINAL ESTABLISHED GRADES. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING MATERIAL. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
6. ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
7. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
8. AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.
9. ALL DOWNSLOPE SEDIMENT CONTROL DEVICES SHALL STAY IN-PLACE UNTIL AFTER THE UPSTREAM DRAINAGE AREAS IS STABILIZED AND VEGETATIVE COVER IS ESTABLISHED.
10. STEEP SLOPE PROTECTION SHALL BE PLACED ON EMBANKMENT AREAS AT THE WEST/NORTHWEST AREAS OF THE SITE AS IMMEDIATELY AS POSSIBLE UPON COMPLETION OF THE GRADING IN THOSE AREAS.
11. ANY DISTURBED AREAS EFFECTED BY THE FINAL REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE RESTORED IN COMPLIANCE WITH THE FINAL STABILIZATION PLAN AND SIMILAR TO ADJACENT RESTORED AREAS (I.E. SODDED AREAS SHOULD BE RESODDED, SEEDED/MULCHED AREAS SHALL BE RE-SEED/MULCHED).
12. ANY TEMPORARY CONTRACTOR STAGING AREAS ESTABLISHED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED UPON COMPLETION OF THE PROJECT, AFTER THE FINAL LANDSCAPING/STABILIZATION PROCEDURES AND SHALL BE STABILIZED IN COMPLIANCE WITH ADJACENT RESTORED AREAS PRIOR TO THE FINAL ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
13. ALL TURF AREAS (SOD OR SEED) SHALL HAVE 4" MINIMUM DEPTH TOP SOIL PLACED OVER AREAS IMMEDIATELY PRIOR TO INSTALLATION OF GROUND COVER MATERIAL.

EROSION AND SEDIMENT CONTROL STAGING CHART

trregem	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR OR REPLACE AS NECESSARY. (SEE NOTE 12 CONCERNING REMOVAL OF CONT. ENTRANCE AND STAGING AREAS)
	2	CONCRETE WASHOUT AREA	D	MAINTAIN, REPAIR OR REPLACE AS NECESSARY.
	3	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	4	EXISTING INLET PROTECTION (GRAVEL FILTER BAGS / GRAVEL SEDIMENT TRAP)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
B - MASS GRADING	5	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED. REMOVE & REPLACE WITH #9 BELOW.
C - UTILITY / STORM SEWER CONSTRUCTION	7	INLET PROTECTION (GRAVEL FILTER BAGS)	D/E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
	8	SILT FENCE (AFTER PAVEMENT CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED.
D - CURB AND PAVING OPERATIONS				
E - FINAL SITE STABILIZATION	9	SEED		ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY - ALL RIGHT-OF-WAY AREAS IMMEDIATELY UPON COMPLETION OF THE WORK.
	10	SEEDED AREA WITH MULCH COVER OR SEED WITH EROSION CONTROL MATTING		ALL DISTURBED AREAS WITHIN 14 DAYS OF INACTIVITY - EMBANKMENT AREAS GREATER THAN 15% SHALL BE INSTALLED WITH SEED AND COMPOST MULCH OR EROSION CONTROL MATTING FLATTER SLOPES SHALL BE INSTALLED W/MULCH COVER PER TABLE 3 OF CITY/COUNTY STNDS.

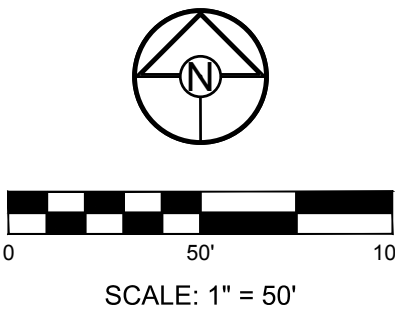
GRADING LEGEND:

- EXTG. SPOT ELEVATION
- PROPOSED TOP OF CURB ELEV.
- OR LIP OF CURB OR SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR

* - ALL SIDEWALKS TO BE INSTALLED WITH A 2.0% MAXIMUM CROSS SLOPE.

LEGEND

- BFG BOTTOM OF WALL FINISH GRADE ELEVATION
- BW BOTTOM OF WALL
- TW TOP OF WALL ELEVATION
- P PAVEMENT ELEVATION
- TC TOP OF CURB ELEVATION



OWNER/DEVELOPER:

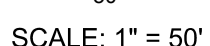
OAK VIEW CAPITAL PARTNERS, LLC
JONATHON D. BUCHANAN
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
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JBUCHANAN@OAKVIEWCP.COM

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EROSION CONTROL PLAN

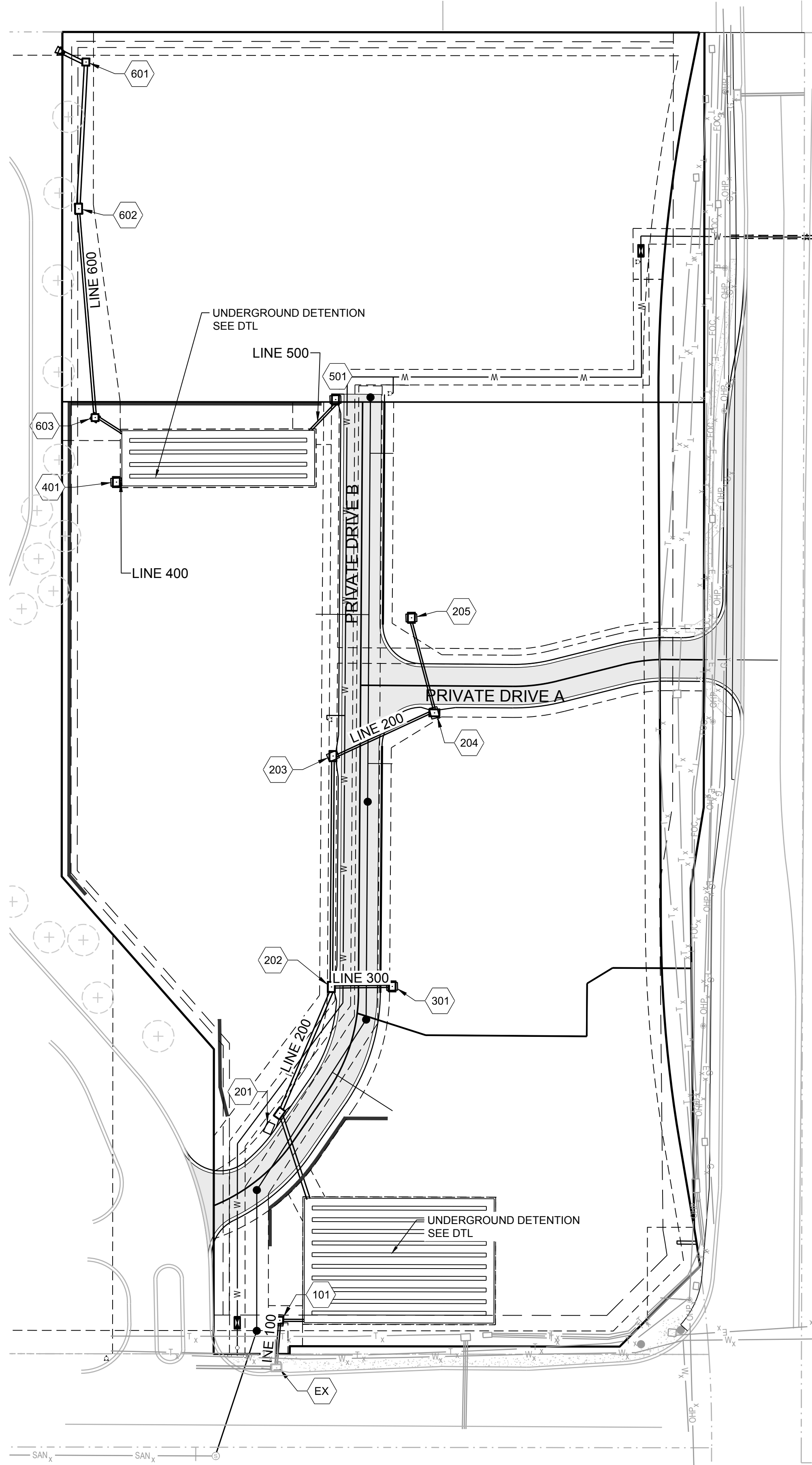
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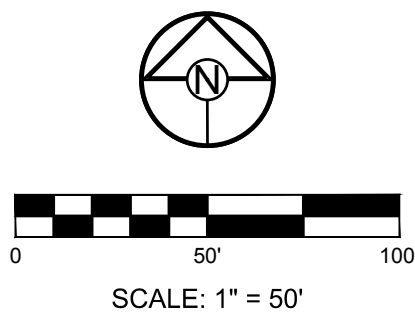


Schlagel & Associates, P.A.																											
Project Name:		Oakview - Lee's Summit										Curb Type: B															
Project #:		17-135										City: Lee's Summit															
Time:		7/5/2018 13:41																									
Design Storm:		100																									
"K" Value:		1.25																									
"F" Factor:		1.00																									
Runoff Calculations												Pipe Properties															
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. Cx/A	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up Cx/A	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.	
LINE 100																											
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102	0.00	0.81	0.00	0.00	5.0	10.32	0.00	0.00	13.53	11.03			0.00	0.00	102	101	PEP	0.012	15	15.78	3.74	N/A	1017.10	1016.51	1022.00	1020.00	
LINE 200																											
201	0.58	0.81	2.27	1.84	6.2	9.86	5.79	22.67	24.51	7.80			0.00	0.00	201		PEP	0.012	Drop in Inlet			0.00					
202	0.11	0.81	1.69	1.37	5.9	9.98	1.11	17.07	17.33	5.52	301		0.34	0.28	202	201	PEP	0.012	24	51.64	1.00	0.25	1016.52	1016.00	1020.00	1018.71	
203	0.70	0.81	1.24	1.00	5.5	10.11	7.17	12.70	12.72	7.20			0.00	0.00	203	202	PEP	0.012	18	148.46	1.25	0.25	1019.37	1017.51	1024.00	1021.60	
204	0.12	0.81	0.54	0.44	5.3	10.22	1.24	5.59	5.64	4.60			0.00	0.00	204	203	PEP	0.012	15	70.87	0.65	0.25	1020.08	1019.62	1024.57	1022.21	
205	0.42	0.81	0.42	0.34	5.0	10.32	4.39	4.39	4.95	4.03			0.00	0.00	205	204	PEP	0.012	15	62.86	0.50	N/A	1020.64	1020.33	1024.00	1022.56	
LINE 300																											
301	0.34	0.81	0.34	0.28	5.0	10.32	3.55	3.55	7.00	5.70			0.00	0.00	301	202	PEP	0.012	15	39.05	1.00	0.75	1018.40	1018.01	1023.75	1019.48	
LINE 500																											
501	0.43	0.81	0.43	0.35	5.0	10.32	4.49	4.49	7.00	5.70			0.00	0.00	501		PEP	0.012	15	25.67	1.00	N/A	1016.76	1016.50	1021.50	1017.81	
LINE 600																											
601	0.19	0.81	2.12	1.72	5.6	10.09	1.94	21.66	21.78	6.93			0.00	0.00	601		PEP	0.012	24	15.39	0.79	0.50	1013.12	1013.00	1017.50	1015.25	
602	0.60	0.81	1.93	1.56	5.3	10.19	6.19	19.90	21.22	6.76			0.00	0.00	602	601	PEP	0.012	24	94.43	0.75	0.25	1013.33	1013.62	1018.50	1016.35	
603	0.90	0.81	1.33	1.08	5.0	10.30	9.39	13.87	13.94	7.89			0.00	0.00	603	602	PEP	0.012	18	134.70	1.50	0.50	1016.85	1014.83	1023.01	1018.84	
604	0.00	0.81	0.43	0.35	5.0	10.32	0.00	4.49	8.46	6.89	501		0.43	0.35	604	603	PEP	0.012	15	20.56	1.46	N/A	1017.40	1017.10	1023.00	1019.03	

STORM DRAINAGE PLAN



Storm Sewer Construction Notes	
Structure	Notes
101	STA 0+29.47, LINE 100 INSTALL 6 X 4 CURB INLET N 1008808.4755 E 2822965.1785
201	STA 0+51.64, LINE 200 INSTALL 6 X 4 CURB INLET N 1008932.1079 E 2822958.4551
202	STA 1+50.75, LINE 200 INSTALL 6 X 4 CURB INLET N 1009022.7915 E 2822998.4452
203	STA 2+99.21, LINE 200 INSTALL 6 X 4 CURB INLET N 1009171.2516 E 2822999.4846
204	STA 3+70.08, LINE 200 INSTALL 6 X 4 CURB INLET N 1009199.0369 E 2823064.6807
205	STA 4+32.94, LINE 200 INSTALL 6 X 4 CURB INLET N 1009260.1305 E 2823049.9017
301	STA 0+39.05, LINE 300 INSTALL 6 X 4 CURB INLET N 1009023.1513 E 2823037.4976
401	STA 0+03.60, LINE 400 INSTALL 6 X 4 CURB INLET N 1009347.4036 E 2822860.1972
501	STA 0+25.67, LINE 500 INSTALL 6 X 4 CURB INLET N 1009400.4954 E 2823001.0897
600	STA 0+00.00, LINE 600 INSTALL. INSTALL 24" HDPE FLARED END SECTION W/TOEWALL AND 5 CU. YD. (14'LX6'WX1.5'T) STONE RIP-RAP USING A MIN. 50# (D50=12") STONE. PLACE FILTER FABRIC PRIOR TO INSTALLATION OF RIP-RAP. N 1009623.3153 E 2822826.3502
601	STA 0+15.39, LINE 600 INSTALL 4 X 4 AREA INLET N 1009617.4802 E 2822840.5915
602	STA 1+09.82, LINE 600 INSTALL 6 X 4 CURB INLET N 1009523.1681 E 2822835.9287
603	STA 2+44.51, LINE 600 INSTALL 4 X 4 AREA INLET N 1009388.8879 E 2822846.5081



OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
###	1	
CHECKED BY:	2	
###	3	
DATE PREPARED:	4	
7-2-18	5	
PROJ. NUMBER:	6	
17-135	7	
	8	

STORM PLAN

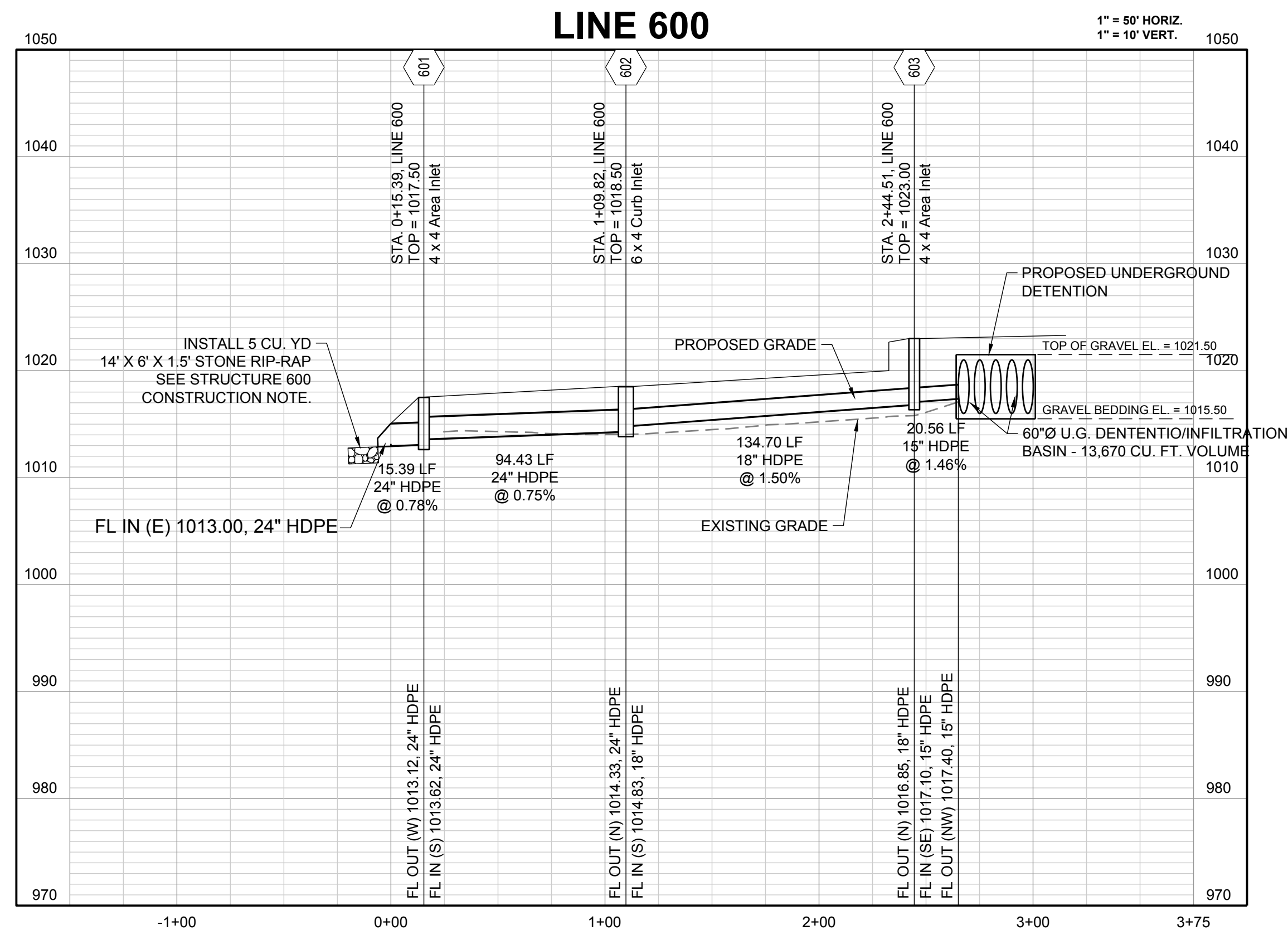
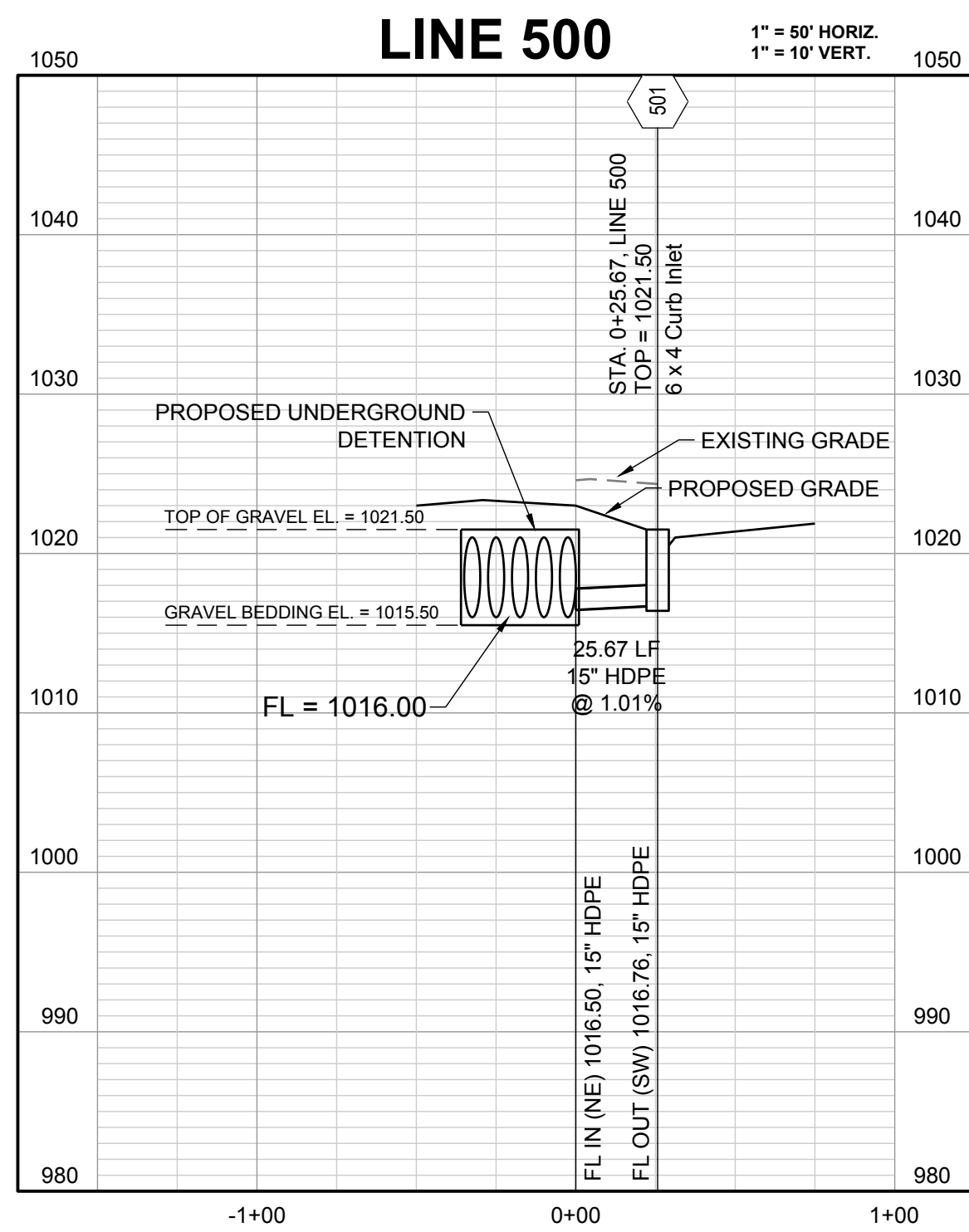
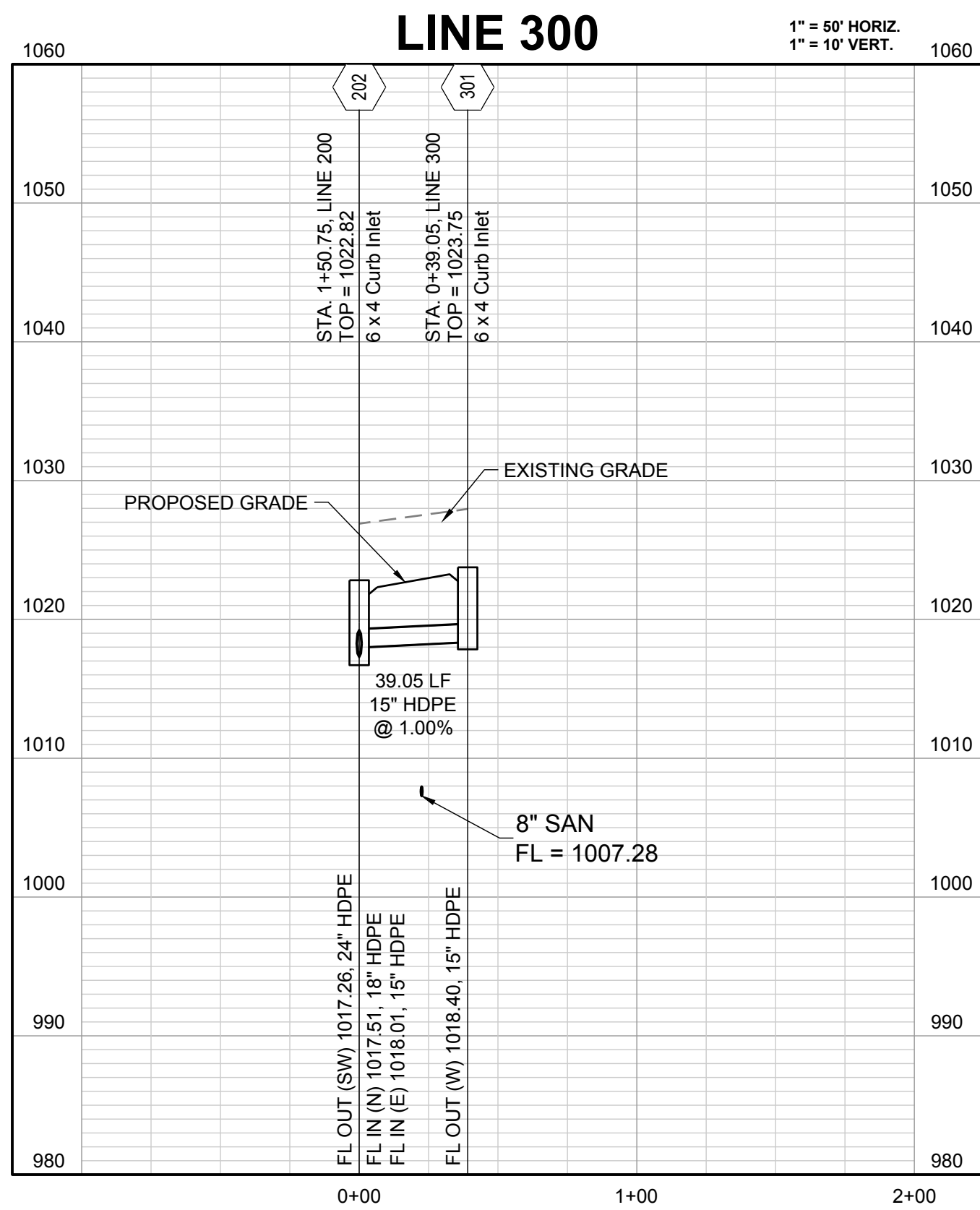
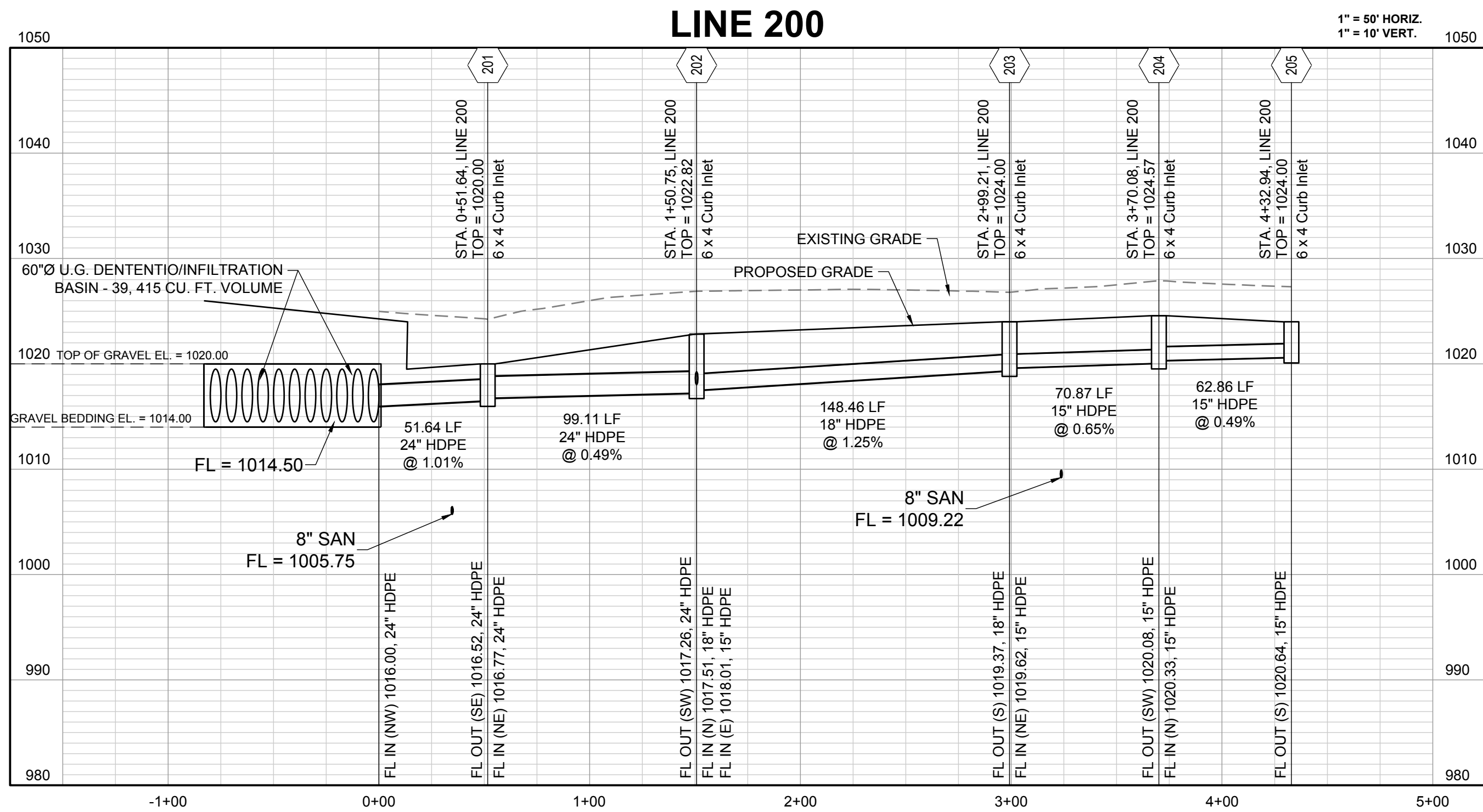
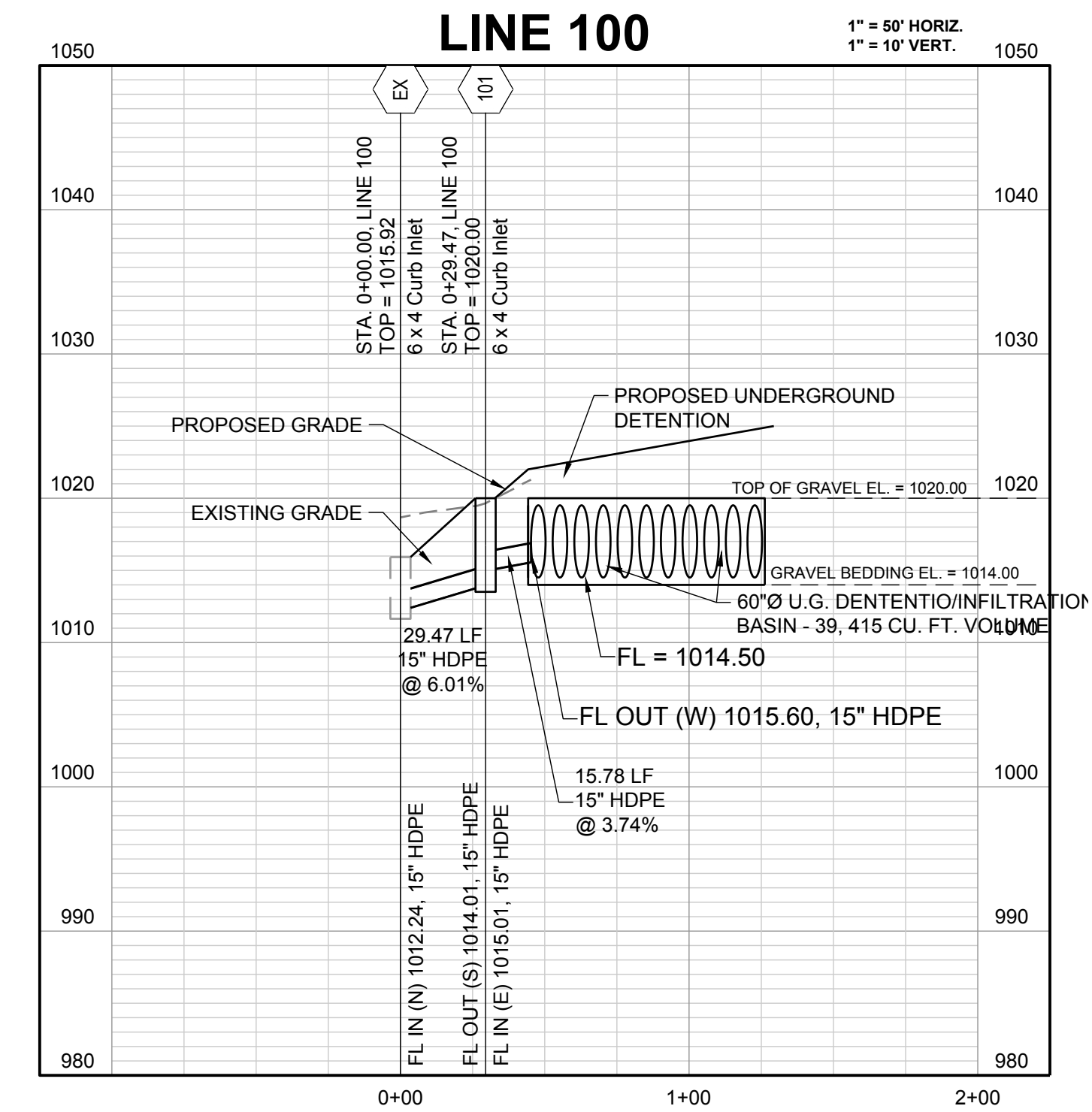
SHEET

C 5.1

OF



SCHLAGEL & ASSOCIATES, P.A.
Engineers•Planners•Surveyors•Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #LAC2001006237 #LS2002008659-F



DRAWN BY:	REVISION DATE	DESCRIPTION
###	1	
###	2	
###	3	
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UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LEGEND:

A/E	- ACCESS EASEMENT
BM	- BENCHMARK
BL or B.L.	- BUILDING LINE
CO	- CLEANOUT
TJB	- TELEPHONE JUNCTION BOX
D/E	- DRAINAGE EASEMENT
E/E	- ELECTRICAL EASEMENT
FL	- FLOW LINE
G/E	- GAS LINE EASEMENT
HDPE	- HIGH-DENSITY POLYETHYLENE
PVC	- POLYVINYL CHLORIDE
P/L	- PROPERTY LINE
PUB/E	- PUBLIC EASEMENT
RCP	- REINFORCED CONCRETE PIPE
ROW or R/W	- RIGHT-OF-WAY
S/E	- SANITARY SEWER EASEMENT
SL	- SERVICE LINE
SS/E	- STORM SEWER EASEMENT
U/E	- UTILITY EASEMENT
W/E	- WATERLINE EASEMENT
	- CURB & GUTTER
	- CURB & GUTTER - EXISTING
	- EXISTING LOT AND R/W LINES
	- EXISTING PLAT LINES
P/L	- PROPERTY LINES
ROW	- RIGHT-OF-WAY
	- SANITARY SEWER MAIN
STO	- SANITARY SEWER MAIN - EXIST.
	- STORM SEWER
	- STORM SEWER - EXISTING
CATV _x	- CABLE TV - EXISTING
FOC _x	- FIBER OPTIC CABLE - EXISTING
T _x	- TELEPHONE LINE - EXIST.
E _x	- ELECTRIC LINE - EXISTING
OHF _x	- OVERHEAD POWER LINE - EXIST.
U/E _x	- UNDERGROUND ELECTRIC - EX.
G _x	- GAS LINE - EXISTING
W _x	- WATERLINE - EXISTING
	- LIGHT - EXISTING
	- EXISTING MANHOLE
	- CLEANOUT
	- EXISTING SANITARY MANHOLE
	- PROPOSED SANITARY MANHOLE
AI	- EXISTING AREA INLET
CI	- EXISTING CURB INLET
GI	- EXISTING GRATE INLET
JB	- EXISTING JUNCTION BOX
	- EXISTING STORM MANHOLE

UTILITY INFORMATION & CONTACTS:

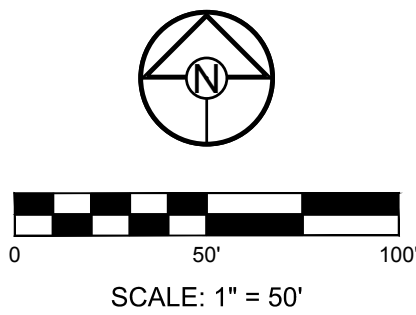
Missouri Gas Energy
Attn: Lucas Walls
3025 Southeast Clover Drive
Lee's Summit, Missouri 64082
Phone: (816) 969-2218
Email: lucas.walls@sug.com

Kansas City Power & Light
Attn: Phillip Ingram
1300 Hamblen Road
Lee's Summit, Missouri 64081
Phone: (816) 347-4339
Email: phillip.ingram@kcpl.com

Sewer and Water - City of Lee's Summit
220 SE Green Street
Lee's Summit, Missouri 64063
Phone: (816) 969-1900
Email: publicworks@cityofs.net

AT&T
Attn: Herb Upshaw
9444 Nall Avenue
Overland Park, Kansas 66207
Phone: (913) 383-4929
Email: hu4112@att.com

811
Missouri One Call - 1-800-344-7483



OVERALL LEGAL DESCRIPTION

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.

GENERAL NOTES:

- BOUNDARY IS BASED ON THE FINAL PLATS OF LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2. The bases of bearing (N89°56'58"W) is based on the North line of the NE 1/4, Sec. 31-48N-31W as shown on the final plats of LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, LOT 1 and POLYTAINERS ADDITION LOTS 1 & 2.
- ADJACENT PROPERTY LINES ARE BASED ON RECORDED PLATS.
- EXISTING ROAD, SIDEWALK, AND SITE IMPROVEMENTS AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- TOPOGRAPHY FROM ALTA SURVEY PREPARED BY McLaughlin Mueller, Inc. PROVIDED BY AND USED WITH APPROVAL OF THE OWNER. SCHLAGEL AND ASSOCIATES HAS NOT FIELD VERIFIED THIS INFORMATION.
- AN EASEMENT OR LICENSE WILL, GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "U/E" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
- THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
- ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS.
- ALL ROADWAYS, PRIVATE DRIVES, PARKING DRIVE AISLES, AND PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
- ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
- BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
- PARKING LOT DESIGN MUST MEET THE UDO ARTICLE 12 REQUIREMENTS AND THE PRIVATE DRIVE MUST MEET PUBLIC STREET DESIGN STANDARDS PER THE DESIGN AND CONSTRUCTION MANUAL SECTION 5200.

GENERAL UTILITY NOTES:

- EXISTING UTILITIES HAVE BEEN SHOWN TO THE GREATEST EXTENT POSSIBLE BASED UPON INFORMATION PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES AND FIELD LOCATING UTILITIES PRIOR TO CONSTRUCTION AND IDENTIFYING ANY POTENTIAL CONFLICTS. ALL CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY EXTENSIONS TO THE SITE AND BUILDINGS INCLUDING SUBMITTING SERVICE REQUESTS. SCHLAGEL & ASSOCIATES IS NOT RESPONSIBLE FOR UTILITY COORDINATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY REQUIRED UTILITY RELOCATIONS. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY FLOW LINES AND STRUCTURE TOPS PRIOR TO CONSTRUCTION, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. PROVIDE SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED UTILITY STRUCTURES FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION OF THE STRUCTURES.
- UTILITY SEPARATION: WATERLINES SHALL HAVE A MINIMUM OF 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWER LINES. IF MINIMUM SEPARATIONS CAN NOT BE OBTAINED, CONCRETE ENCASEMENT OF THE SANITARY OR STORM SEWER LINE SHALL BE REQUIRED 10 FEET IN EACH DIRECTION OF THE CONFLICT.
- PAYMENT FOR TRENCHING, BACKFILLING, PIPE EMBEDMENT, FLOWABLE FILL, BACKFILL MATERIALS, CLEAN UP, SEEDING, SODDING AND ANY OTHER ITEMS NECESSARY FOR THE CONSTRUCTION OF THE UTILITY LINE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE UTILITY INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING RESPECTIVE UTILITY COMPANIES 48 HOURS IN ADVANCE FOR THE INSPECTION OF ANY PROPOSED UTILITY MAIN EXTENSION OR SERVICE LINE OR SERVICE CONNECTION TO ANY EXISTING MAIN.
- NO GEOLOGICAL INVESTIGATION HAS BEEN PERFORMED ON THE SITE.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS AND APPARENT FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT OF WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. THE CONTRACTOR MAY ALSO UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.", 1-800-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
- THE CONTRACTOR SHALL PROTECT ALL MAJOR TREES FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE.
- CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, OR AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST.
- ALL EXCAVATIONS SHALL BE UNCLASSIFIED. NO SEPARATE PAYMENT WILL BE MADE FOR ROCK EXCAVATION.
- THE CONTRACTOR SHALL CONTROL THE EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION, AND SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
- THE CONTRACTOR SHALL CONTACT PUBLIC WORKS INSPECTIONS AT: 816-969-1800 TO OBTAIN A PUBLIC WORKS CONSTRUCTION PERMIT. A MINIMUM 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO PERMIT ISSUANCE.
- THE CONTRACTOR SHALL CONTACT THE CITY'S EROSION CONTROL SPECIALIST AT: 816-969-1800 PRIOR TO ANY LAND DISTURBANCE.
- THE CONTRACTOR SHALL CONTACT THE RIGHT OF WAY INSPECTOR AT 816-969-1800 PRIOR TO ANY LAND DISTURBANCE ACTIVITIES WITHIN THE RIGHT OF WAY. THESE ACTIVITIES MAY REQUIRE A PERMIT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
- ALL SANITARY SEWER LATERALS SHALL HAVE A TRENCH CHECK, CONSISTING OF FLOWABLE BACKFILL, INSTALLED DURING CONSTRUCTION. TRENCH CHECK SHALL EXTEND TO BOTTOM OF TRENCH, TO WIDTH OF TRENCH, TO 12 INCHES ABOVE PIPE, FOR A MINIMUM LENGTH OF 12 INCHES. TRENCH CHECK SHALL BE LOCATED AT LEAST 5 FEET FROM SANITARY MAIN.
- ALL BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95-PERCENT OF MAXIMUM DENSITY AS DEFINED USING A STANDARD PROCTOR TEST (AASHTO T99/ASTM 698).
- BACKFILL MATERIALS SHALL NOT INCLUDE ORGANIC MATTER, DEBRIS OR TOPSOIL.
- ALL WYES ARE STATIONED USING MAIN LINE STATIONS.
- M.S.F.E. DENOTES MINIMUM SEWERABLE FLOOR ELEVATION.
- ALL SERVICE LINES ARE TO BE 90° TO THE MAIN UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS OTHERWISE NOTED.

FLOOD NOTE:

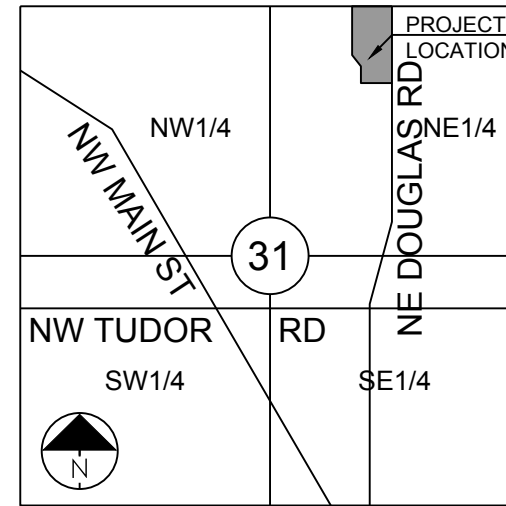
According to the Flood Insurance Rate Map of FEMA panel 409 of 625 for map number 20095C0409G dated January 20, 2017 and panel 417 of 625 for map number 29095C0417G dated January 20, 2017, the project lies outside of any identified FEMA floodplain.

OWNER/DEVELOPER:

UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:

OAK VIEW CAPITAL PARTNERS, LLC
201 HAWKS RIDGE TRAIL
COLLEEVILLE, TX 76034
p 214-460-8442



SECTION 31-48-31

LOCATION MAP

SCALE 1" = 2000'

OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS

SCHLAGEL & ASSOCIATES, P.A.
Engineers-Planners-Surveyors-Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003600-F #LAC2001005237 #LS2002008659-F



NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

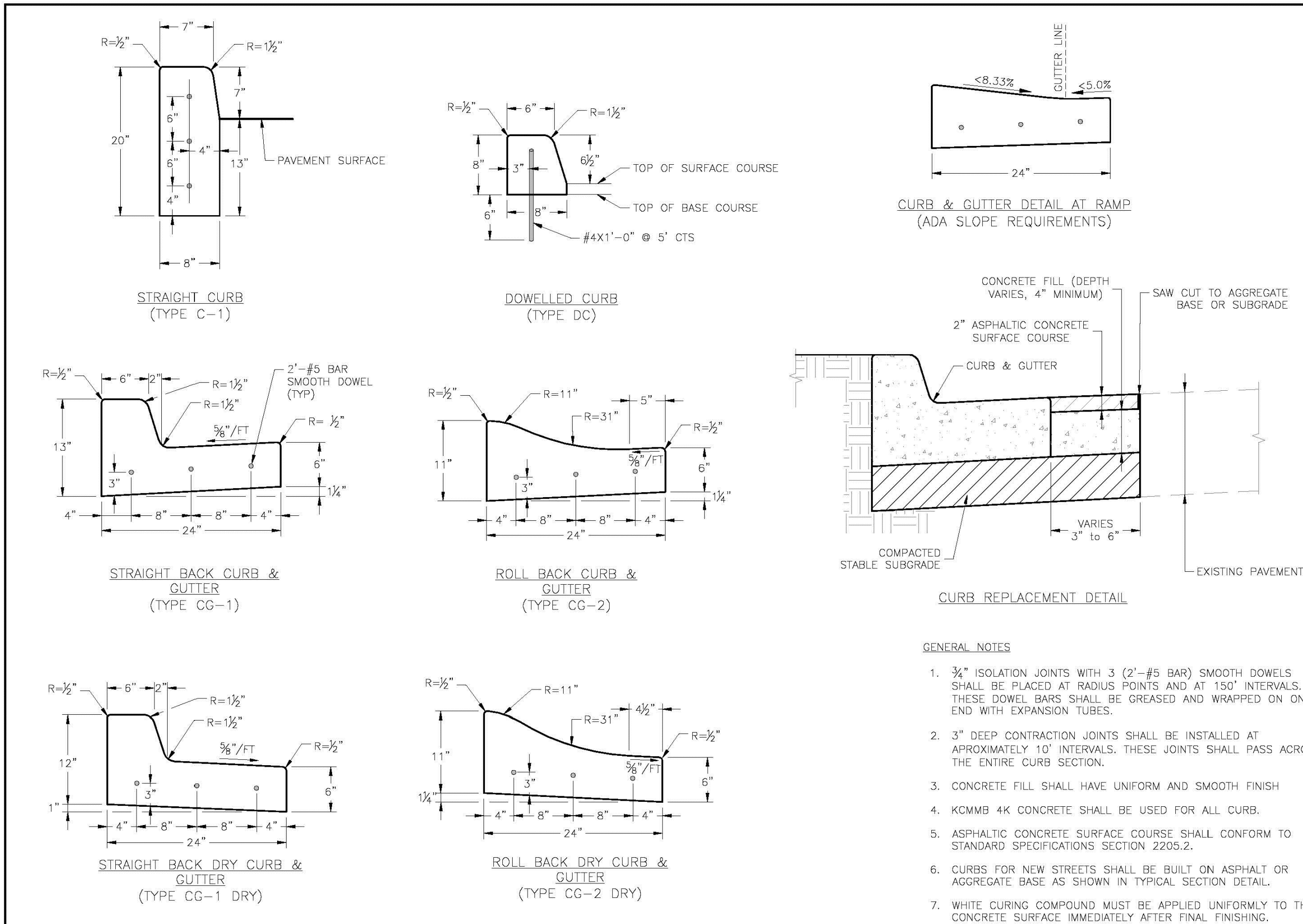
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DATE PREPARED:	7-2-18
PROJ. NUMBER:	17-135

UTILITY PLAN

SHEET

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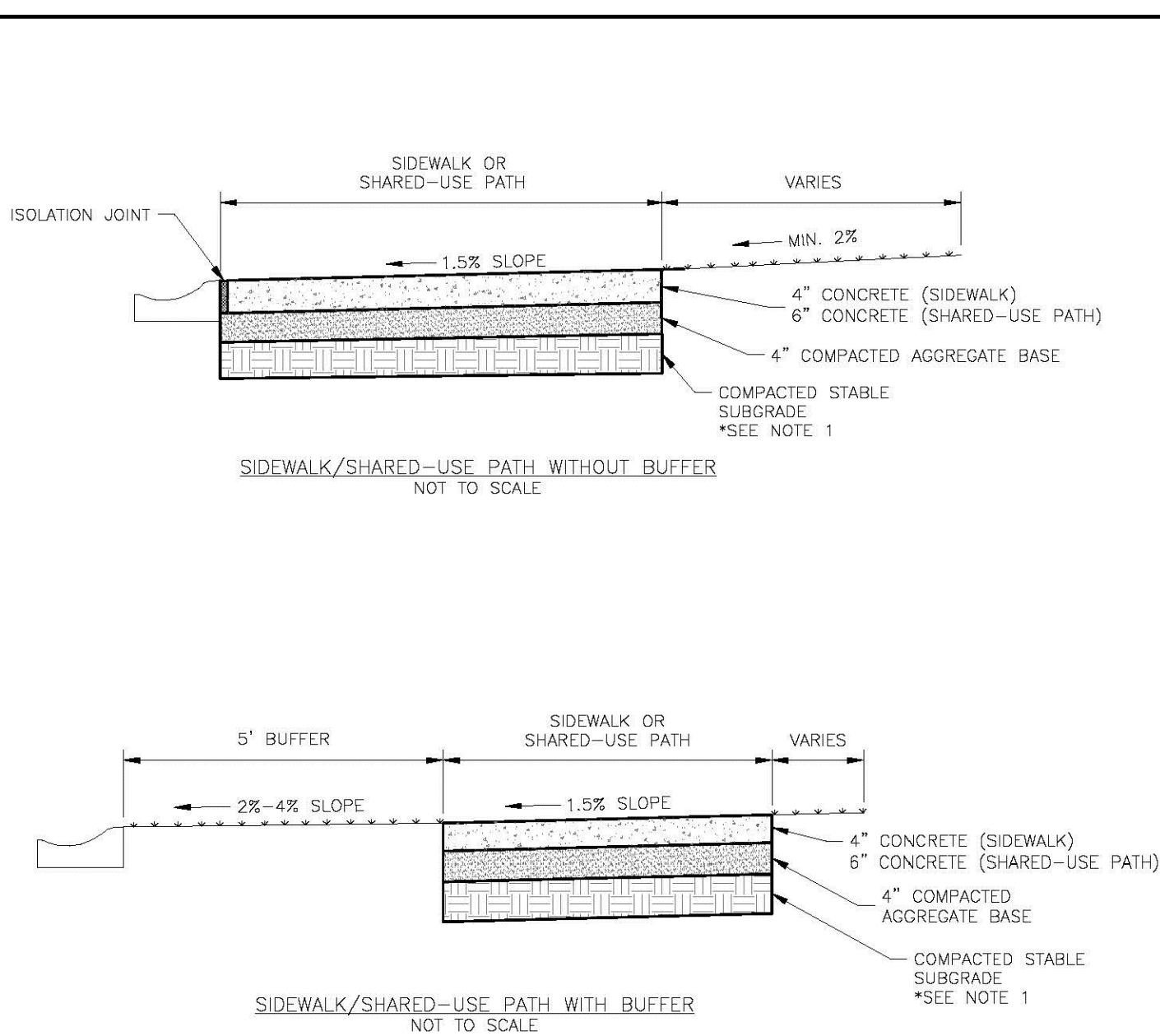


- GENERAL NOTES**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
 - KOMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4



- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KOMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
 - ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAD).
 - AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
 - SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



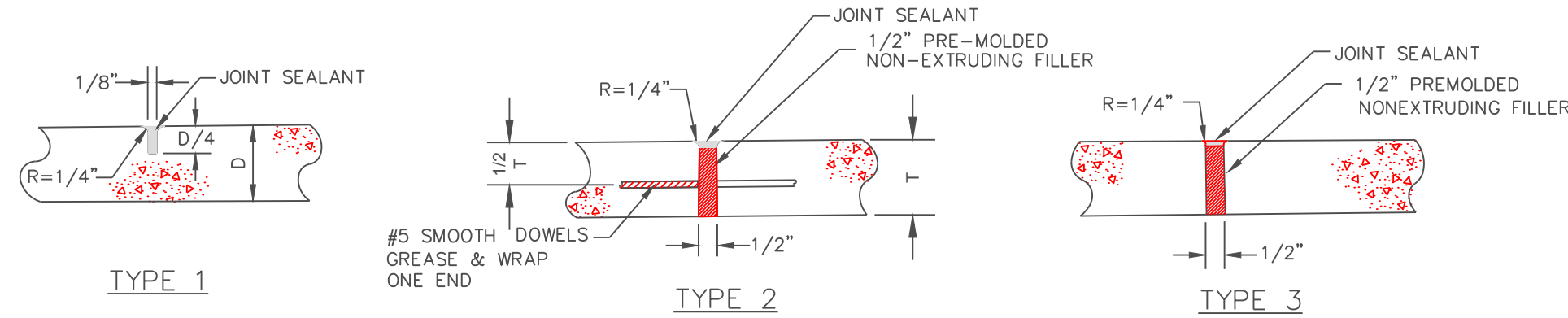
LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17
Drawn By: MIF
Checked By: DL

GEN-2

6 TYPICAL PUBLIC CONCRETE SIDEWALK DETAIL

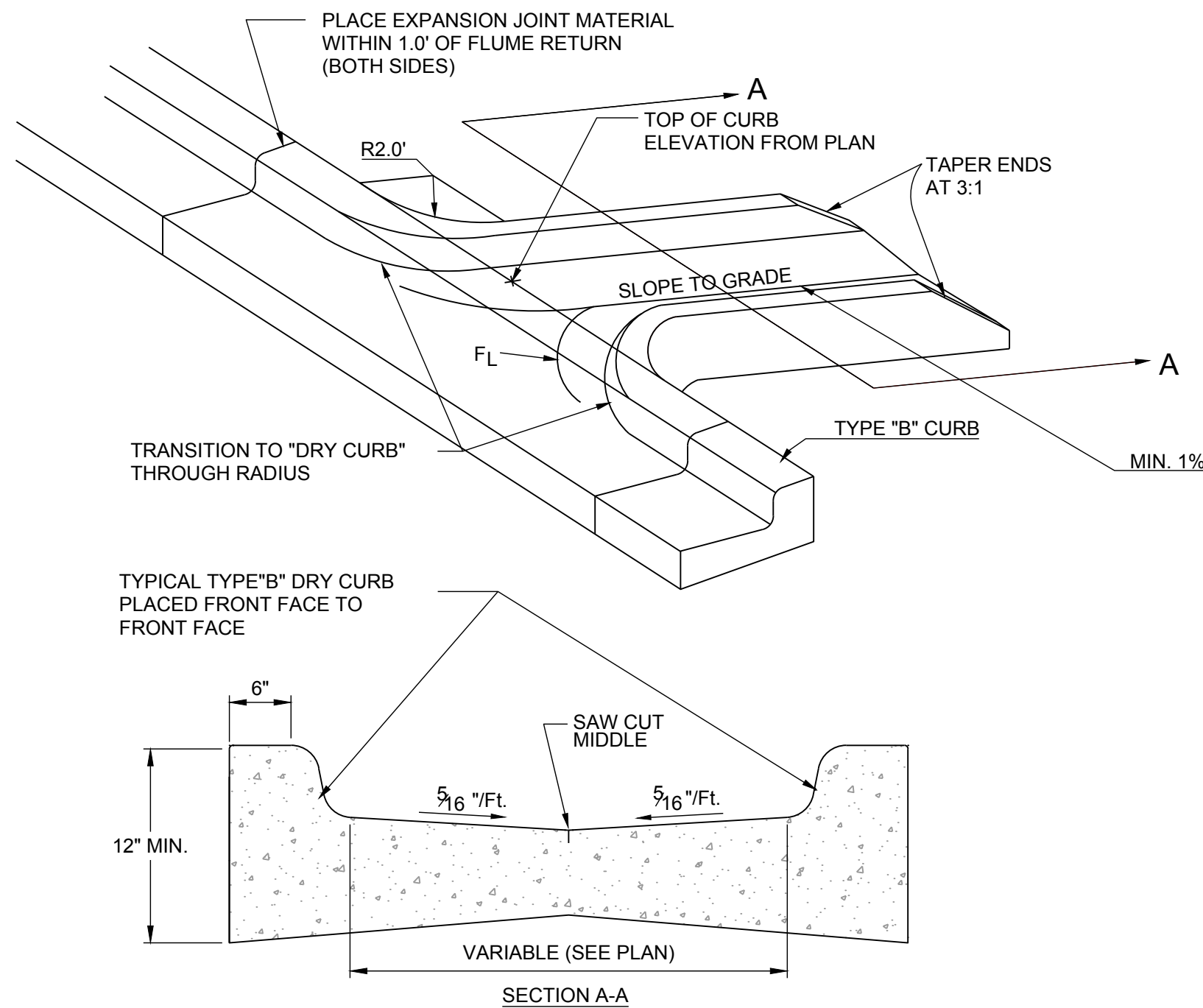
NOT TO SCALE



- NOTES:**
- TYPE 1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.
 - TYPE 1 JOINTS SHALL BE SPACE TO EQUAL THE WIDTH OF THE SIDEWALK.
 - TYPE 2 JOINTS SHALL BE PLACED @ 1/2" PRE-MOLDED NON-EXTRUDING FILLER.
 - SMOOTH BARS SHALL BE 24" LONG.
 - TYPE 3 JOINTS SHALL BE PLACED WHERE NEW CONCRETE ABUTS EXISTING CONCRETE AND IN AREAS WHERE DOWEL BARS ARE NOT REQUIRED BY THE ENGINEER.

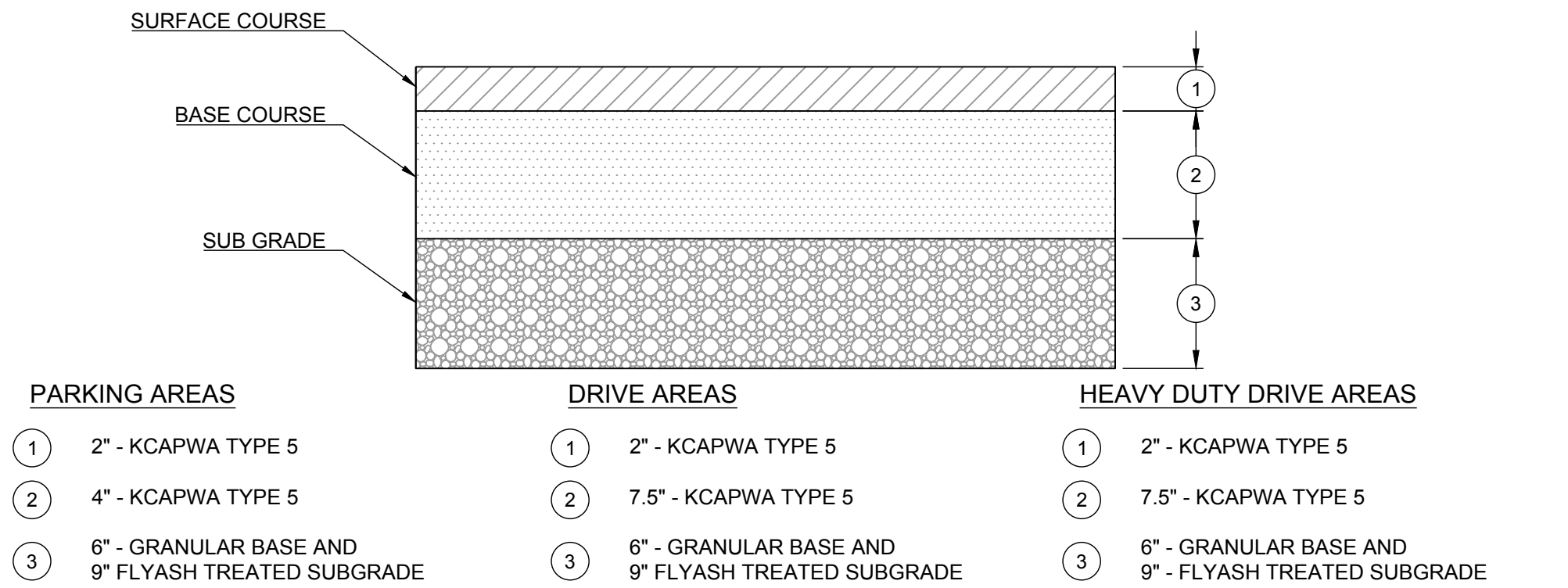
2 TYPICAL - PRIVATE CONCRETE PAVEMENT JOINT DETAILS

NOT TO SCALE



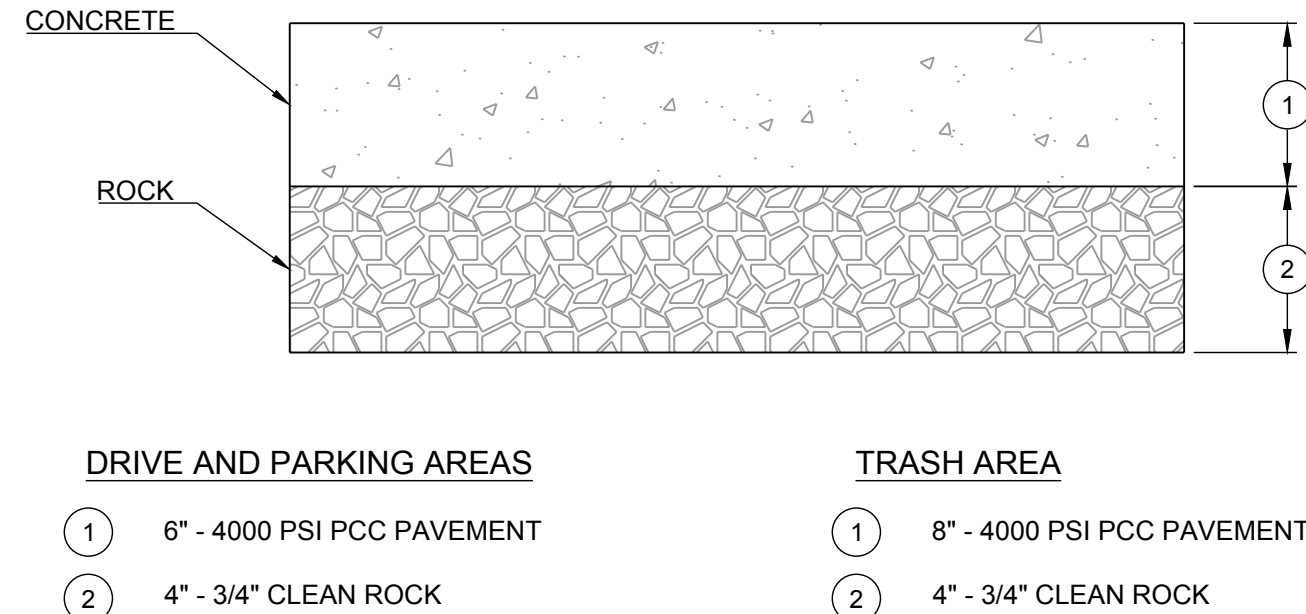
3 TYPICAL - CURB FLUME DETAIL

NOT TO SCALE



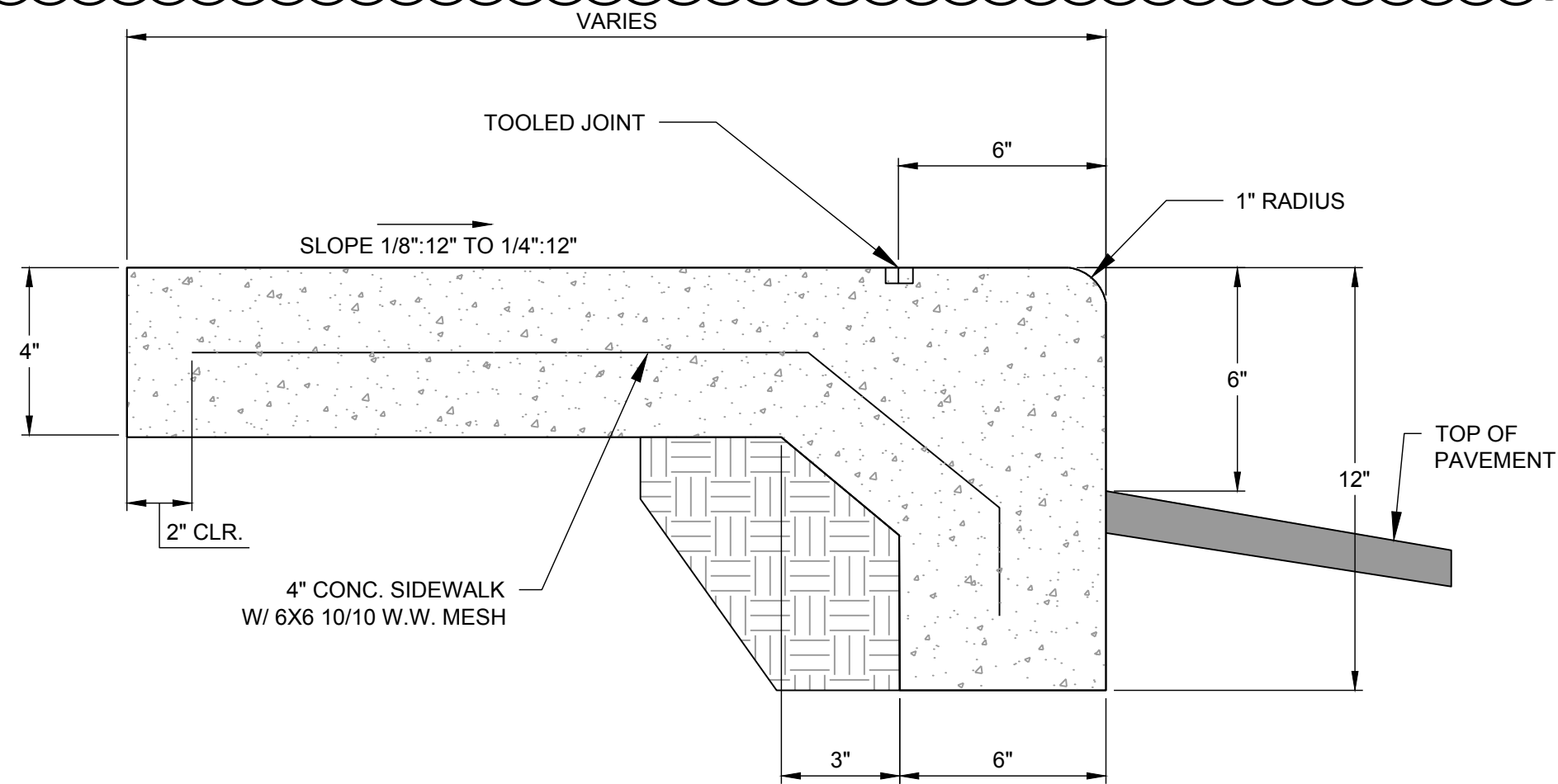
3 TYPICAL - ASPHALT PAVEMENT SECTION

NOT TO SCALE



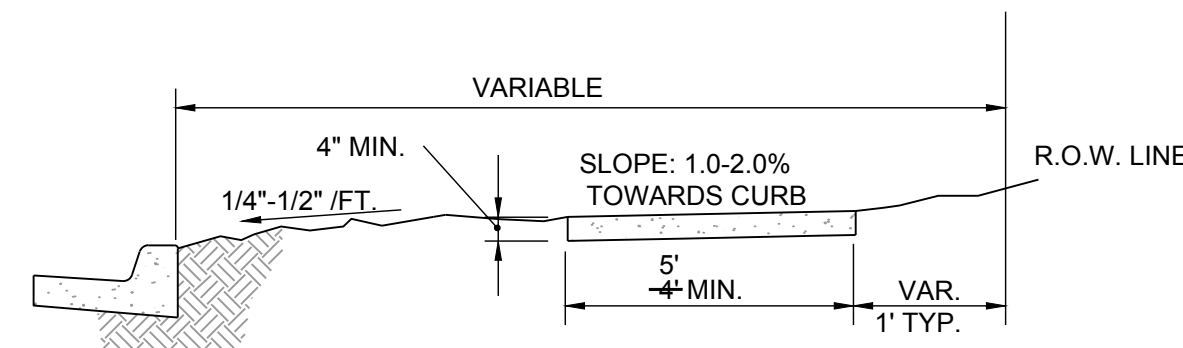
4 TYPICAL - CONCRETE PAVEMENT SECTION

NOT TO SCALE



5 TYPICAL - INTERGRAL CONCRETE WALK/CURB DETAIL

NOT TO SCALE



NOTES:

- JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE SIDEWALK AND TO THE DEPTHS INDICATED BELOW.
- THE SIDEWALK SHALL BE MARKED OFF INTO SQUARE STONES BY CONTRACTION JOINTS. CONTRACTION JOINTS SHALL BE ONE-EIGHTH (1/8) INCH WIDE BY ONE (1) INCH DEEP AND MAY BE FORMED BY TOOLING OR BY USE OF A CONCRETE SAW.
- EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. 3/4" JOINT FILLER WILL BE USED WHEN SPACING EXCEEDS 100'.
- EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALK ABUTS OTHER STRUCTURES AND SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID SIDEWALK AND NOT MORE THAN 200 FEET APART ON STRAIGHT RUNS FOR MACHINE LAID SIDEWALKS.

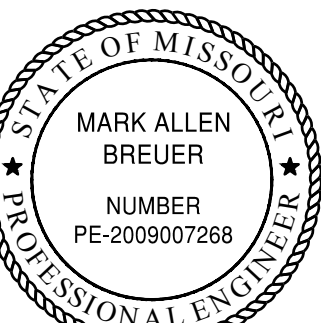
6 TYPICAL PRIVATE CONCRETE SIDEWALK DETAIL

NOT TO SCALE

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14920 West 10th Street • Lenexa, Kansas 66215
(913) 492-5188 • Fax: (913) 492-8400
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PREPARED BY:



Mark Allen Breuer, P.E.
MO# PE-2009007268

OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

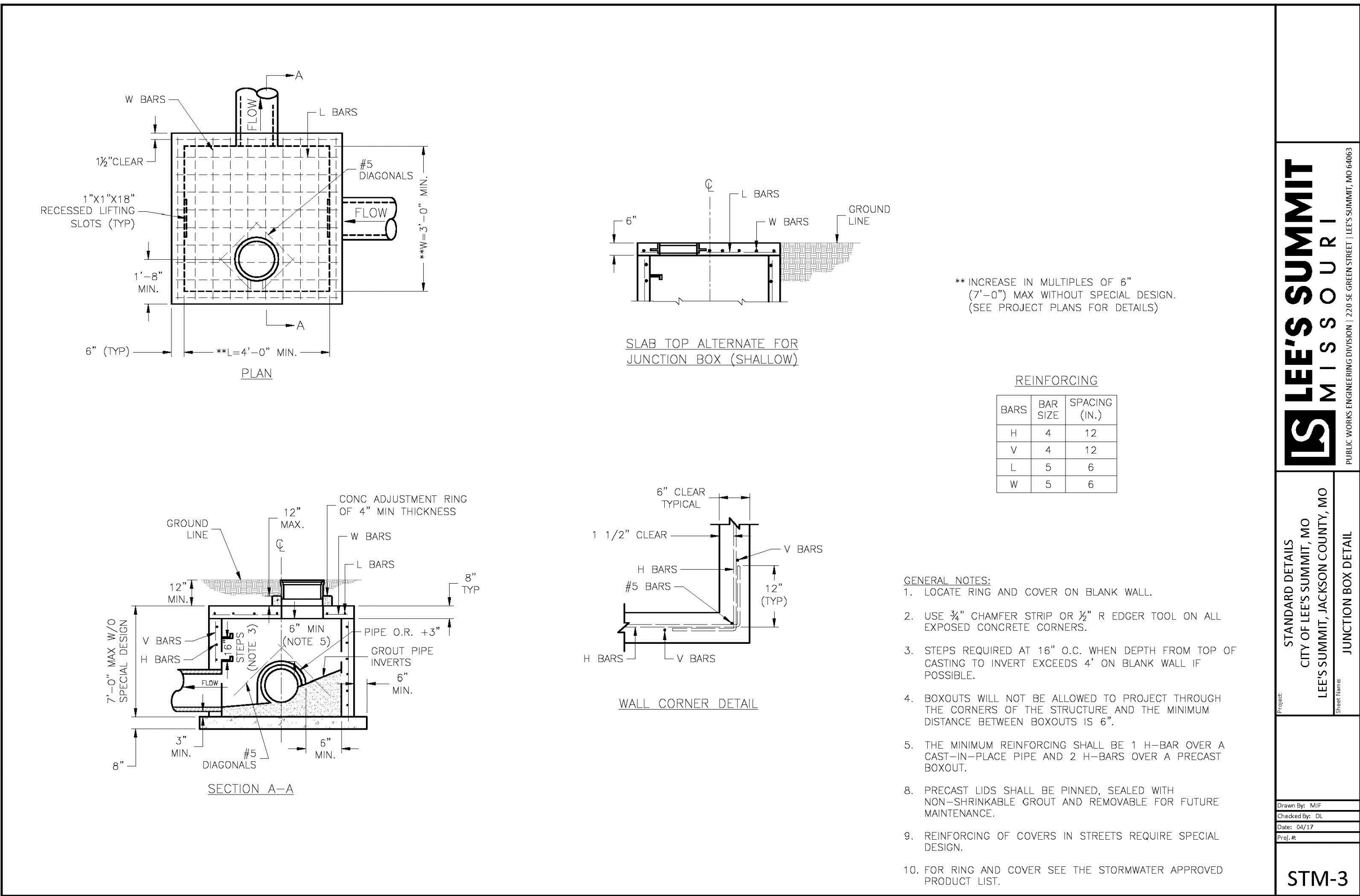
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PAVEMENT
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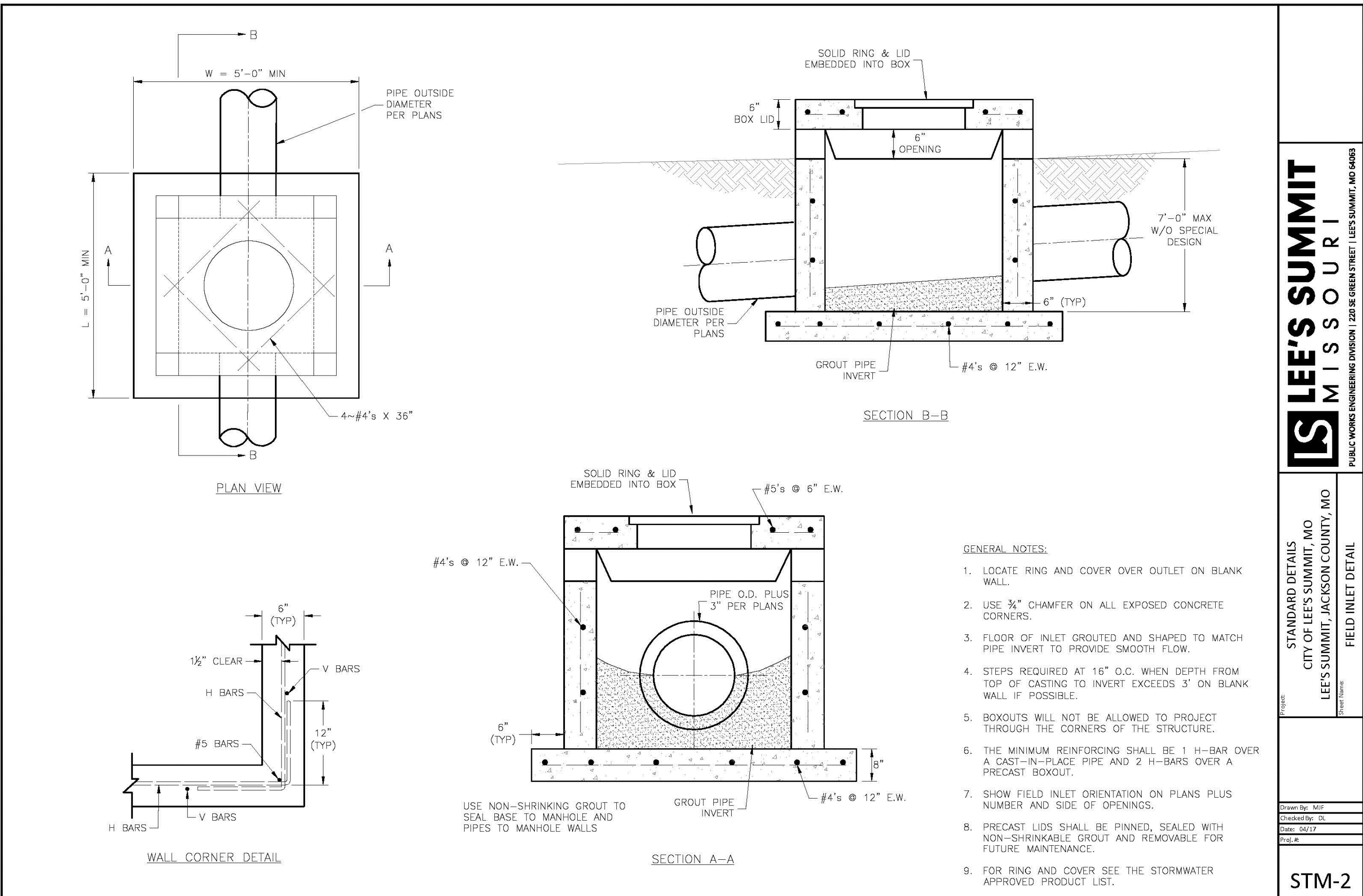
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LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

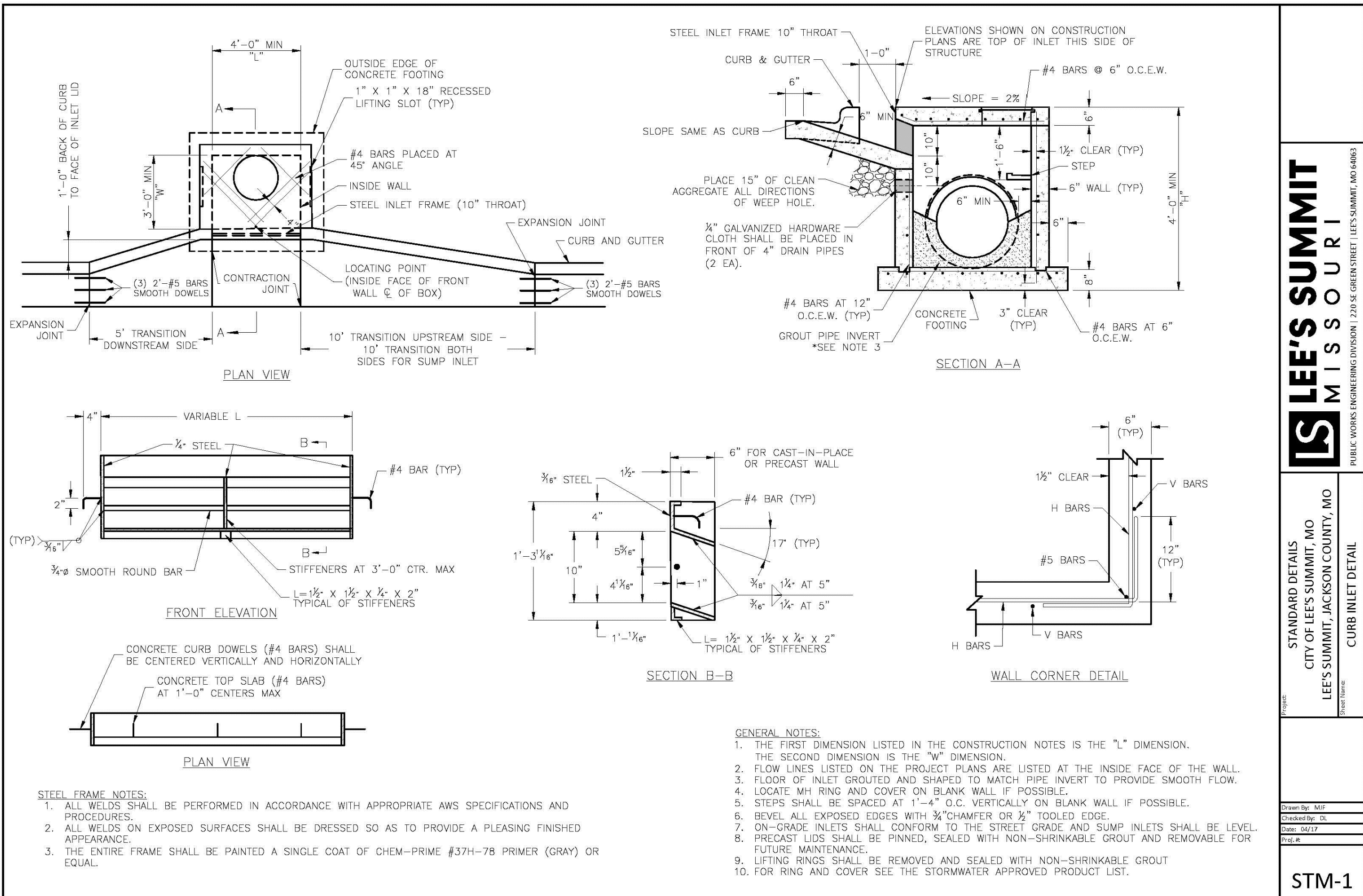
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CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

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LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

STM-1

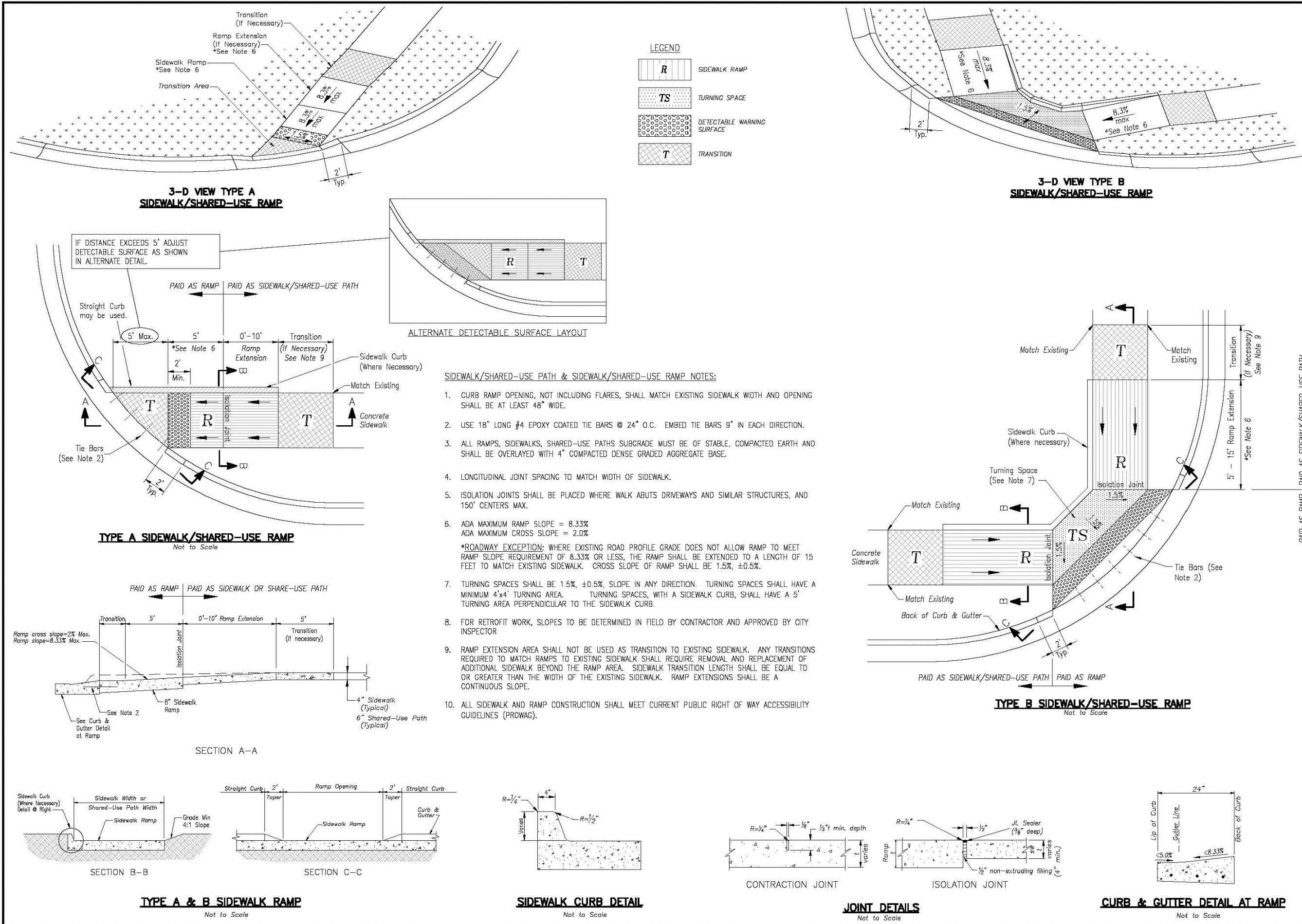
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Missouri State Certificates of Authority
#E2002003600-F #LAC2001005237 #LS2002008659-F

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MARK ALLEN BREUER
NUMBER
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Mark Allen Breuer, P.E.
MO# PE-2009007268

OAKVIEW PRIVATE INFRASTRUCTURE
SITE DEVELOPMENT PLANS
NE DOUGLAS ROAD & NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

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LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 2219 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

ADA RAMP RETROFIT DETAIL

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Checked By: RL

Date: 05/17

City: LS

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MARK ALLEN BREUER

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OAKVIEW PRIVATE INFRASTRUCTURE

SITE DEVELOPMENT PLANS

NE DOUGLAS ROAD & NW VICTORIA DRIVE

LEE'S SUMMIT, MISSOURI

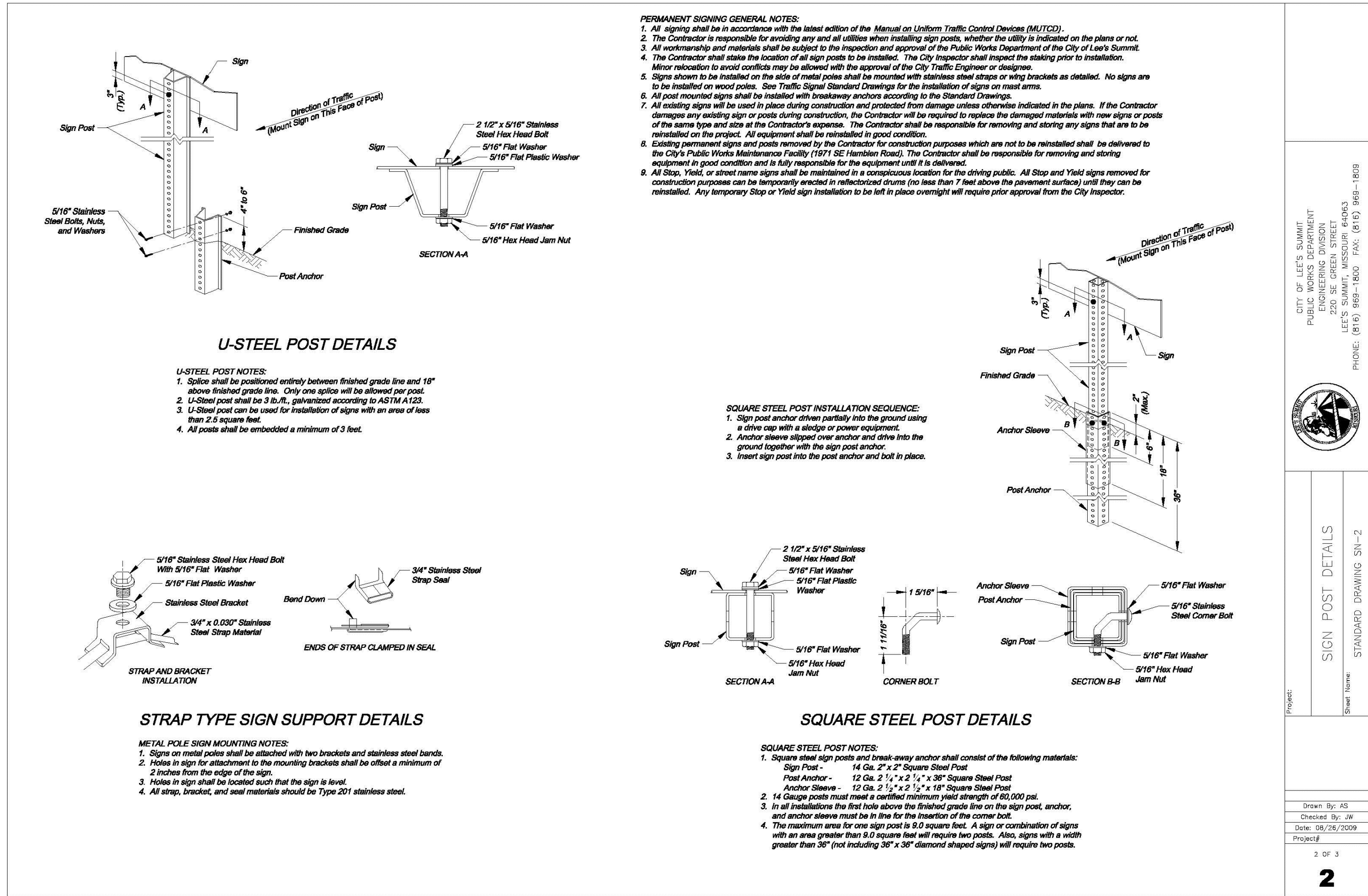
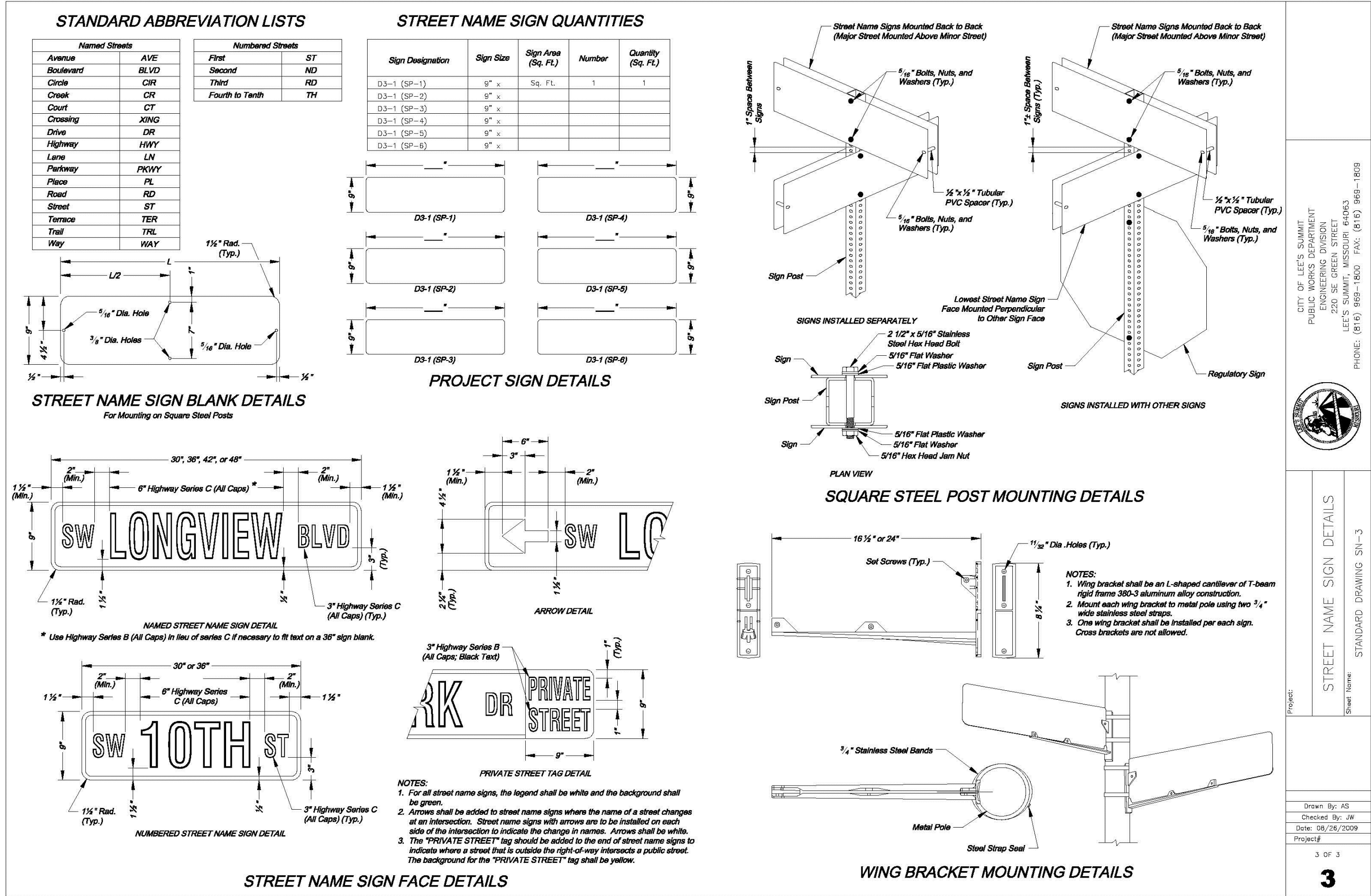
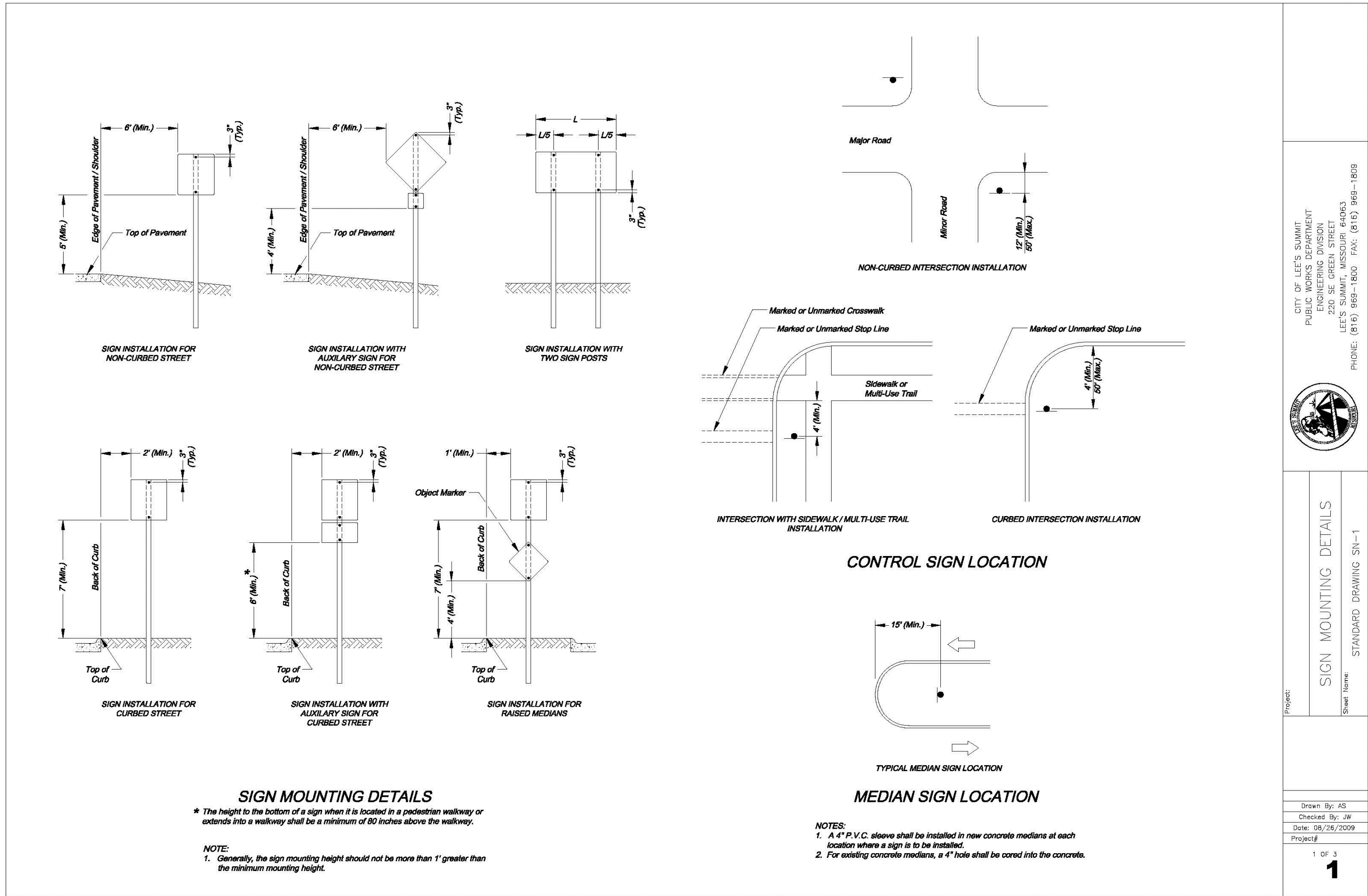
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