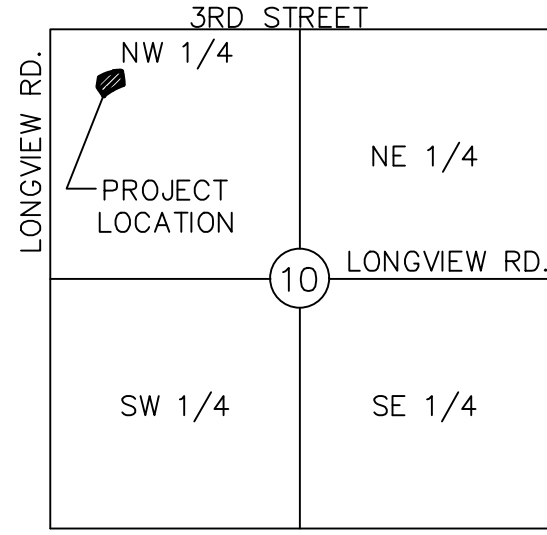


DWG: F:\2017\3001-3500\017-3175\40-Design\AutoCAD\Final Plans\Sheets\GNCV\01\_Site Plans\_36x24\C\_TTL01\_73175.dwg  
DATE: May 30, 2018 11:18am  
USER: jsellers



Sec. 10, Twp. 47 N., Rge. 32 W.  
(N.T.S.)

#### PROJECT TEAM & UTILITY CONTACT LIST

**OWNER / DEVELOPER**  
PLATFORM VENTURES  
4220 SHAWNEE MISSION PARKWAY, STE. 200B  
FAIRWAY, KS 66205  
CONTACT: COREY WALKER  
PHONE: 816.285.3878  
EMAIL: COREY.WALKER@PLATFORMV.COM

**ENGINEER**  
OLSSON ASSOCIATES  
1301 BURLINGTON, SUITE 100  
NORTH KANSAS CITY, MO 64116  
CONTACT: JULIE SELLERS, PE  
PHONE: 816.587.4320

**ARCHITECT**  
KLOVER ARCHITECTS  
10955 LOWELL AVENUE  
SUITE 700  
OVERLAND PARK, KS 66210  
CONTACT: DAVID ESKOV  
PHONE: 913-649-8181

**UTILITY SERVICE NUMBERS**  
NAME: LEE'S SUMMIT PUBLIC WORKS  
PHONE: 816-969-1800

NAME: LEE'S SUMMIT WATER & SERVICES  
DEPARTMENT  
PHONE: 816-969-1940

NAME: SPIRE (MGE)  
PHONE: 314-342-0500

NAME: AT&T  
PHONE: 800-286-8313

NAME: KCP&L  
PHONE: 816-471-5275

NAME: SPECTRUM (TWC)  
PHONE: 877-772-2253

NAME: GOOGLE FIBER  
PHONE: 877-454-6959

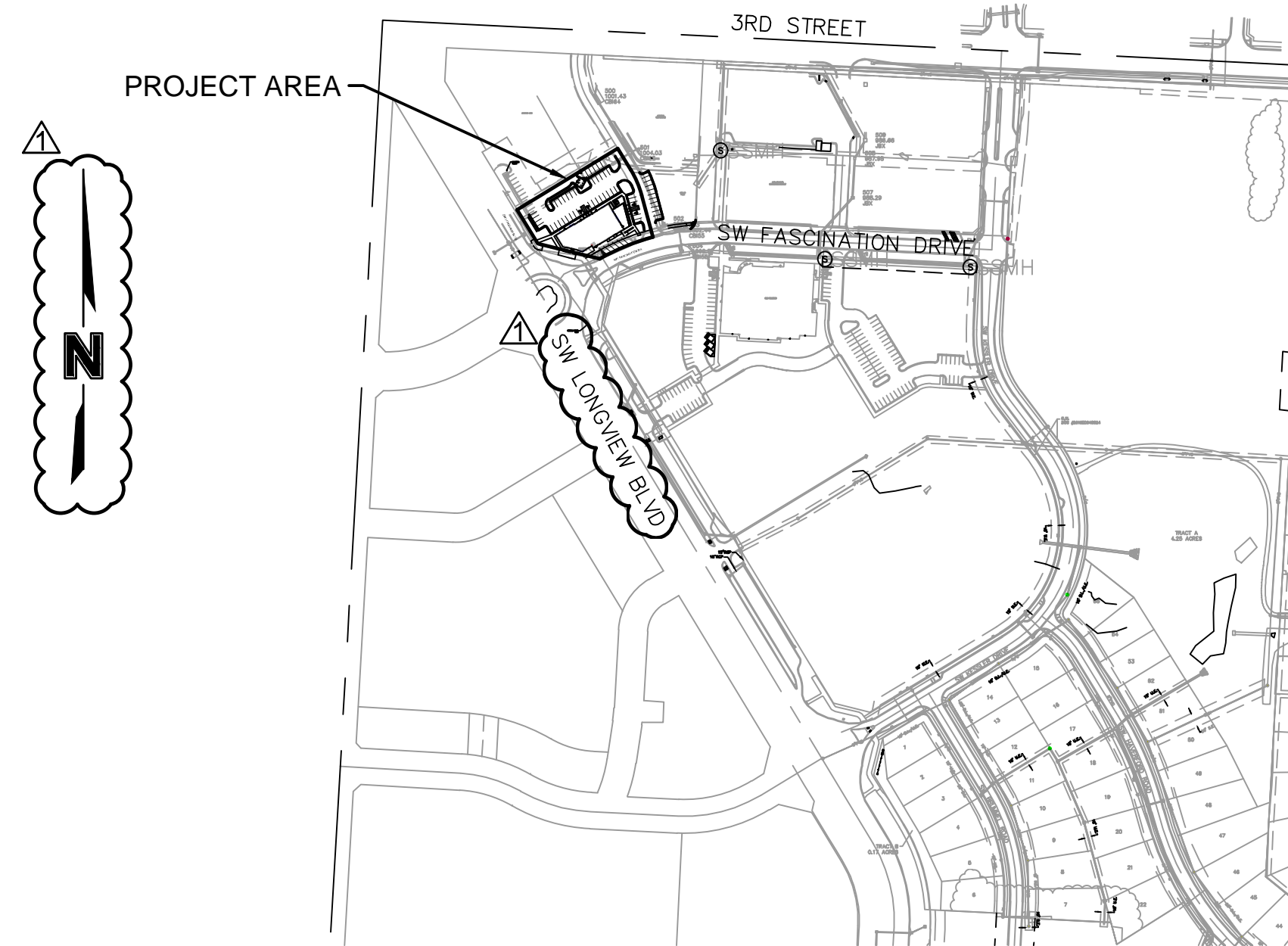
☐ NOT FOR CONSTRUCTION

☒ REVIEWED FOR CONSTRUCTION



# NEW LONGVIEW LOT 44 FINAL DEVELOPMENT PLAN

SECTION 10, TOWNSHIP 47 N, RANGE 32 W  
IN LEE'S SUMMIT, JACKSON COUNTY, MO  
AREA DISTURBED: 0.93 AC.



#### PROPERTY DESCRIPTION:

LOT 44 OF NEW LONGVIEW COMMERCIAL DISTRICT, SECOND PLAT.

#### BENCHMARK

THE STATION IS A KC METRO DISK SET IN CONCRETE AND FLUSH WITH THE GROUND. THE STATION IS STAMPED JA-148, 2002.

STATION JA-148, ELEVATION 935.04 (NAVD88 DATUM)

#### NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

Sheet List Table	
Sheet Number	Sheet Title
C001	TITLE SHEET
C002	GENERAL NOTES
C003	EXISTING CONDITIONS & DEMOLITION PLAN
C004	GRADING PLAN
C005	SITE PLAN
C006	GEOMETRIC PLAN
C007	SPOT ELEVATIONS
C008	STORM SEWER PLAN & PROFILE
C009	UTILITY PLAN
C010	DRAINAGE PLAN
C011	DRAINAGE TABLES
C012	DETAIL SHEET
C013	DETAIL SHEET
C014	DETAIL SHEET
C015	EROSION CONTROL GENERAL NOTES
C016	EROSION CONTROL PLAN - PHASE 1
C017	EROSION CONTROL PLAN - PHASE 2
C018	EROSION CONTROL PLAN - PHASE 3
C019	EROSION CONTROL DETAIL SHEET
E001	SITE LIGHTING PHOTOMETRICS PLAN
A200	SOUTH ELEVATION
A201	ELEVATIONS
L001	PLANTING PLAN

ACCEPTED:

CITY OF LEE'S SUMMIT

DATE

CIVIL ENGINEER:  
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

*Julie Sellers*  
JULIE SELLERS, PE  
CIVIL ENGINEER  
MO#2017000367

5/30/18  
DATE

**OLSSON ASSOCIATES**

NO. 018-1095  
1301 BURLINGTON, SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL 816.587.4320  
FAX 816.587.1393  
www.olssonassociates.com



REV.		DATE		REVISIONS DESCRIPTION	
1	2	2018.04.27	2018.05.23	Revised per City Comments	Revised per City Comments
REVISIONS					

TITLE SHEET SITE DEVELOPMENT PLANS	2018
NEW LONGVIEW LOT 44	
LEE'S SUMMIT, MO	

drawn by: D.A.H.O.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 2018.04.04

SHEET  
C001



GENERAL NOTES:

3. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.
3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
5. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
6. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.
8. ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.
9. CONTRACTOR SHALL COORDINATE PROTECTION OF BUILDING CORNERS, TRANSFORMERS, AND ALL OTHER APPLICABLE STRUCTURES WITH GUARD POST BOLLARDS WITHIN 5' OF THE BUILDINGS TO BE INSTALLED BY GENERAL CONTRACTOR.
10. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO COATS OF PAINT (MIN.).
11. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
12. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
13. ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.
14. THE GENERAL CONTRACTOR WILL BE HOLD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING CURB, ETC. AND TO INCLUDE ANY WORK IN CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND SURVEY MONUMENTS AND IS RESPONSIBLE FOR RE-ESTABLISHMENT OF ANY PROPERTY CORNERS OR SURVEY MONUMENTS IF DISTURBED BY CONSTRUCTION ACTIVITIES.
15. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
16. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER PRIOR TO START OF CONSTRUCTION. LATEST SPECIFICATIONS ADOPTED BY US DEPARTMENT OF TRANSPORTATION AND STATE HIGHWAY DEPARTMENT SHALL GOVERN ON THIS PROJECT.
17. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
18. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS AND SPECIFICATIONS.
19. ALL CURB RETURN RADII ARE 4.0' UNLESS OTHERWISE NOTED.
20. SITE TOPOGRAPHY TAKEN FROM FIELD WORK BY LUTJEN INC. ON THE SURVEY DATED 4-2015. CONTRACTOR TO VERIFY EXISTING CONDITIONS OF THE SITE THAT MAY NOT BE REPRESENTATIVE OF THE CONSTRUCTION PLANS.

WETLANDS NOTICE:

1. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

WARRANTY/DISCLAIMER:

1. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 1-PERCENT ANNUAL CHANCE FLOODPLAINS, AREAS OF 1-PERCENT ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1-PERCENT ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE."

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR RAISING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE AND ADJUSTMENTS DUE TO CONFLICTS OR GRADING TO ANY EXISTING STRUCTURES OR UNDERGROUND UTILITIES THAT ARE TO REMAIN IN PLACE.
5. ALL ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH STATE OR LOCAL GUIDELINES.
6. PUBLIC STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AND CLEAR OF TRASH AND DEBRIS FROM DEMOLITION OPERATIONS AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST AND EROSION CONTROL DURING DEMOLITION OPERATIONS.
8. THE CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL OR RELOCATION OF ANY UTILITIES AND TO SAFELY STOP SERVICES AND DISMANTLE SERVICE LINES PRIOR TO BEGINNING DEMOLITION OPERATIONS.
9. CONTRACTOR IS TO REMOVE AND RE-USE IF APPLICABLE, BUT IS NOT LIMITED TO, SEWER PIPES, POWER POLES AND GUY WIRES, WATER LINES AND METERS, VEGETATION, ASPHALT, AND OTHER UNSUITABLE DEBRIS OR MATERIAL, SHOWN OR NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NECESSARY TO ALLOW FOR CONSTRUCTION ACTIVITY. ALL MATERIAL TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
10. ALL CAVITIES CREATED BY REMOVAL OF EXISTING FACILITIES IN THE AREA OF PROPOSED CONSTRUCTION SHALL BE FILLED AND COMPACTED IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS TO SUBGRADE ELEVATION.
11. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF THE EXISTING OVERHEAD ELECTRICAL POWER LINES.
12. EXISTING UTILITIES ARE SHOWN AS LOCATED AND IDENTIFIED IN THE FIELD BY UTILITY COMPANY REPRESENTATIVE. THE OWNER AND THE ENGINEER MAKE NO ASSURANCE OF THE ACTUAL LOCATION, DEPTH, SIZE OR TYPE OF UTILITY LINES SHOWN. THE OWNER AND THE ENGINEER MAKES NO ASSURANCE THAT ALL OF THE EXISTING UTILITY LINES ON THE SITE ARE SHOWN.

GRADING AND CLEARING NOTES:

1. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES. PRIOR TO THE START OF ANY CONSTRUCTION WORK, ANY DAMAGE TO EXISTING STRUCTURES UTILITIES, FENCES AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
2. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEES SUMMIT, MISSOURI (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED DRIVE LANES.
3. CONTRACTOR SHALL PROVIDE A LEVEL BUILDING PAD BASED UPON PROPOSED FINISHED FLOOR ELEVATION TO  $\pm 0.10'$  OR AS ESTABLISHED THROUGH ALTERNATIVE BID DOCUMENTS.
4. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED, IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE. THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. UPON APPROVAL, THESE SHALL BE SUBMITTED TO THE CITY PLANNING & DEVELOPMENT - LAND DEVELOPMENT DIVISION FOR REVIEW.
6. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT HIS EXPENSE.
7. CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER.
8. ALL EMBANKMENT SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT PLACED WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). EMBANKMENT PLACED WITHIN THE BUILDING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 98% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF 0 TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR COMPACTION PROCEDURE. ALL EMBANKMENT PLACED WITHIN 18" OF THE BUILDING SUBGRADE SHOULD HAVE A LIQUID LIMIT LESS THAN 55. THE GEOTECHNICAL REPORT SHALL SUPERSEDE RECOMMENDATION AS STATED IN THIS PLAN SET, AS NECESSARY.

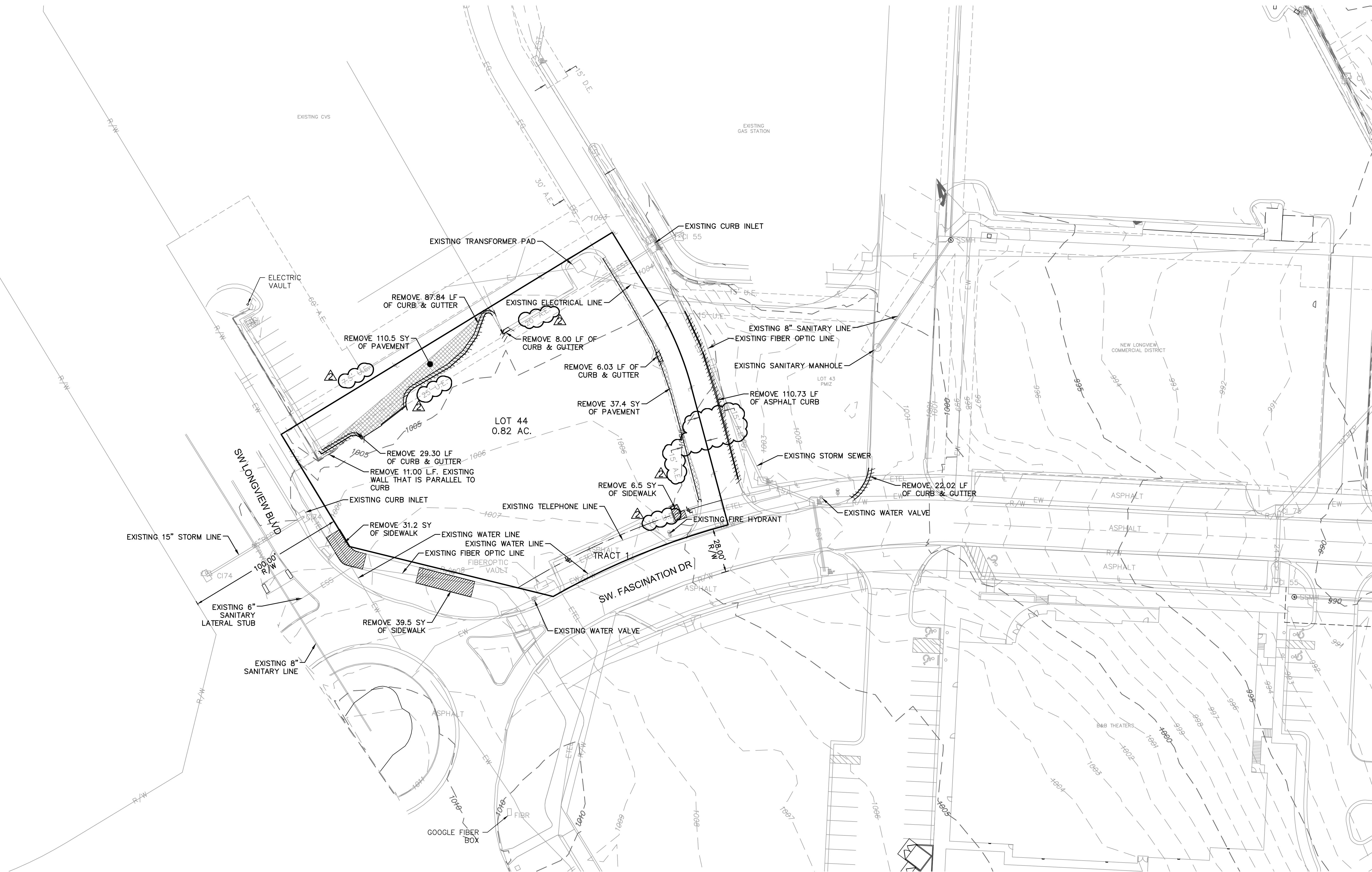
UTILITY CONSTRUCTION NOTES:

1. PRIOR TO INSTALLATION OF ANY PROPOSED UTILITY THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS WITH EXISTING UTILITIES AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES, CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
  - A. ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER CITY STANDARD DETAILS.
  - B. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
5. TELEPHONE CONDUIT SHALL HAVE A MINIMUM COVER OF 30". CONDUIT SHALL BE DUCT 1" SCHEDULE 40 PVC. CONTRACTOR SHALL COORDINATE LOCATION WITH THE AT&T REPRESENTATIVE AND LOCATE PVC CROSSING AS NECESSARY. SEE ELEC. PLANS FOR ENTRANCE LOCATIONS.
6. FOR ALL SERVICE LINE ENTRANCE LOCATIONS WITHIN THE BUILDING INCLUDING ROOF DRAIN CONNECTIONS, SEE ARCHITECTURAL PLANS AND DETAILS.
7. ALL WATER SERVICE LINES SHALL BE A MINIMUM OF 48" BELOW FINISHED GRADE.
8. ALL SANITARY SEWER LINES SHALL BE SDR-26 WITH 42" MIN. COVER.
9. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO DISRUPTION.
10. ALL ELECTRIC AND TELEPHONE INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
11. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
12. ALL PRIVATE INSTALLATIONS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS AS ADOPTED BY THE CITY OF LEE'S SUMMIT, MISSOURI.
13. EXTENSION OF BOTH DOMESTIC WATER SERVICE AND FIRE PROTECTION LINE MAY NOT BE PROVIDED UNTIL PUBLIC MAIN HAS BEEN TESTED AND ACCEPTED BY WRITTEN AUTHORIZATION FROM LEE'S SUMMIT WATER DEPARTMENT.
14. CONTRACTOR TO CONTACT LEE'S SUMMIT WATER SERVICES DEPARTMENT FOR MAIN LINE TAP AND METER SET A MINIMUM OF 48 HOURS PRIOR TO CONNECTION.
17. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL THE APPROPRIATE PERMITS HAVE BEEN PULLED FROM THE CITY OF LEE'S SUMMIT AND/OR CLAY COUNTY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
18. ALL ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 ELECTRICAL PVC, AS CALLED OUT AND HAVE AN AVERAGE OF 36" TO 42" COVER WITH A MINIMUM OF 30" CONFORMING TO THE CURRENT REGULATIONS SET FORTH BY MISSOURI PUBLIC SERVICE. SEE MECH. PLANS FOR ENTRANCE LOCATIONS.
19. CONTRACTOR SHALL MAKE APPLICATION WITH SPIRE FOR PROPOSED METER.

drawn by: _____ D.A.H.Q. checked by: _____ J.S. designed by: _____ S.S. QA/QC by: _____ M.G.D. project no.: _____ 018-1095 date: _____ 0000.00.00		NO. Certificate of Authority # 001592 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 TEL. 816.587.4320 FAX 816.587.1393 www.olsonassociates.com	
GENERAL NOTES SITE DEVELOPMENT PLANS		REVISIONS DESCRIPTION	
NEW LONGVIEW LOT 44		REVISIONS	
LEE'S SUMMIT, MO		2018	

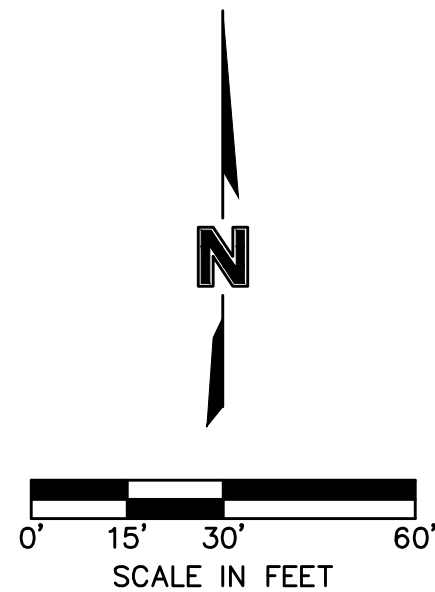


DWG: F:\2017\3001-3500\017-3175\40-Design\AutoCAD\Final Plans\Sheets\GNCV\01\_Site Plans\_36x24\C\_EXC01\_73175.dwg USER: jsellers  
DATE: May 30, 2018 11:19am



LEGEND	
	REMOVE CURB & GUTTER
	REMOVE SIDEWALK
	REMOVE PAVEMENT

- NOTES:
1. THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN THE PROJECT LIMITS AS DETERMINED BY THE MISSOURI GEOLOGICAL SURVEY.
  2. FEMA FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NUMBER 29095C 04126 EFFECTIVE 01/20/2017 CLASSIFIES THE NEW LONGVIEW LOT 44 PROPERTY AS A "ZONE X" AREA.

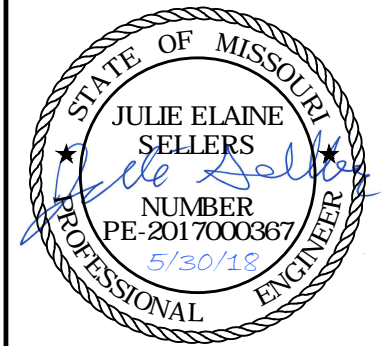


REVISIONS	
NO. REV.	DATE
1	2018.04.27
2	2018.05.23

REVISIONS DESCRIPTION	
1	Revised per City Comments
2	Revised per City Comments

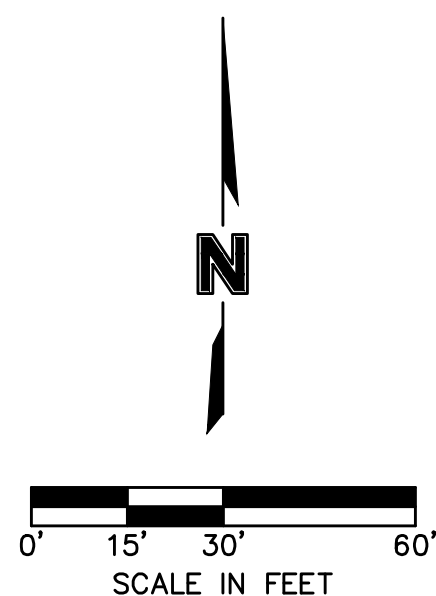
drawn by: D.A.H.Q.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 0000.00.00







SHEET  
C003



**OLSSON ASSOCIATES**  
NO. 301 E. Main Street, Suite 100  
North Kansas City, MO 64116  
TEL 816.597.4320  
FAX 816.597.1393  
www.olssonassociates.com





LEGEND	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS
	FUTURE INDEX CONTOURS
	FUTURE INTERMEDIATE CONTOURS

GENERAL NOTES:

1. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT-OF-WAY.
2. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND OR TESTING AGENCIES. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT HIS EXPENSE.
3. CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER.
4. ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED FILLS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 8". EMBANKMENT SHOULD BE COMPACTION TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1558 STANDARD PROCTOR COMPACTION. MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF -0 TO +4 PERCENT OF OPTIMUM MOISTURE CONTENT.

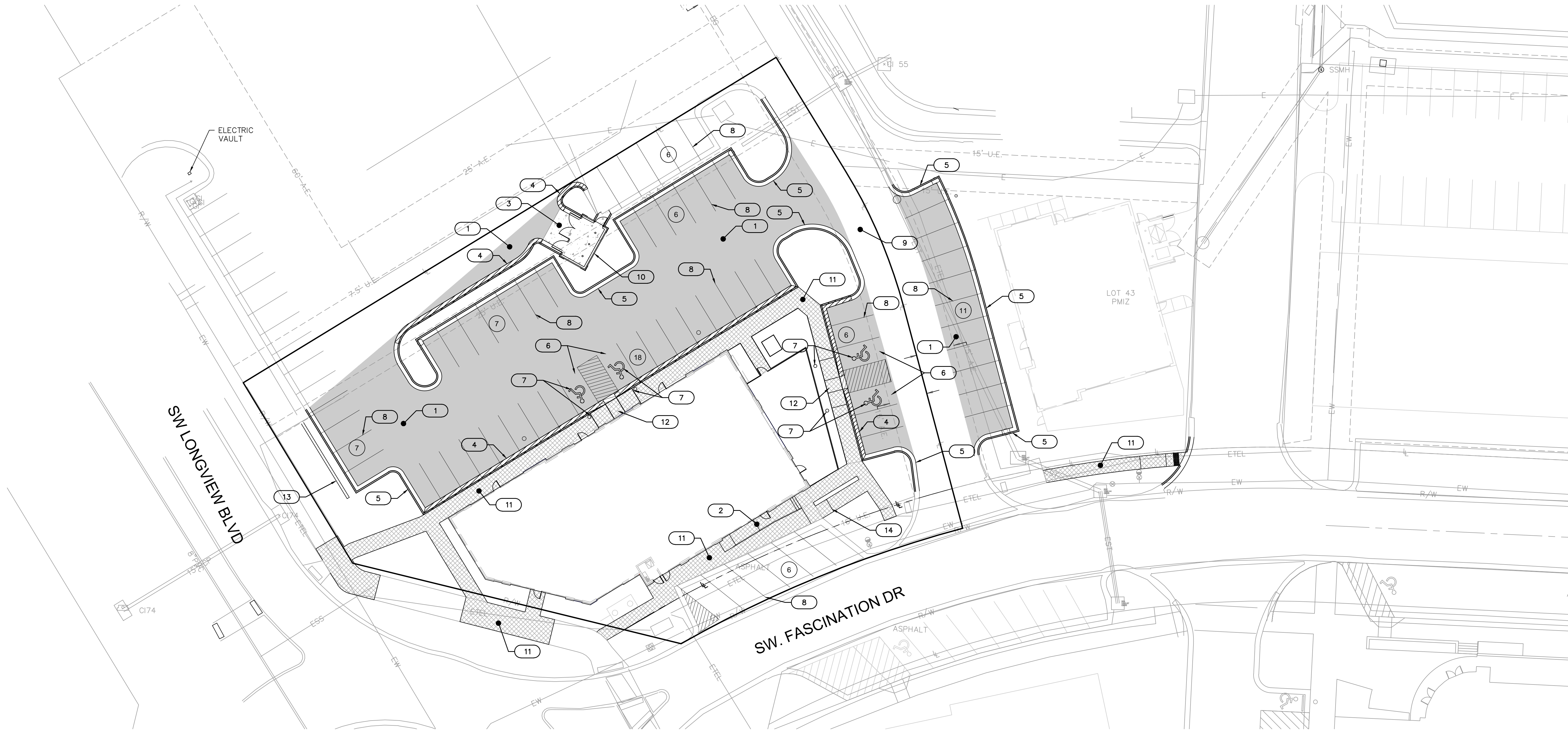
GRADING PLAN SITE DEVELOPMENT PLANS	NEW LONGVIEW LOT 44
LEE'S SUMMIT, MO	
drawn by: _____ D.A.H.Q. checked by: _____ J.S. designed by: _____ S.S. QA/QC by: _____ M.G.D. project no.: _____ 018-1095 date: _____ 2018.04.04	
SHEET C004	

**OLSSON<sup>®</sup>**  
**ASSOCIATES**

MO Certificate of Authority #001592  
1301 BURLINGTON SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL 816.587.4320  
FAX 816.587.1393  
[www.olssonassociates.com](http://www.olssonassociates.com)

STATE OF MISSOURI  
JULIE ELAINE  
SELLERS  
Professional Engineer  
No. 2017000387  
PE-2017000387  
5/30/18





LEGEND	
	CONCRETE SIDEWALK
	STANDARD DUTY ASPHALT PAVEMENT
	REINFORCED CONCRETE PAVEMENT
	CG-1 CURB & GUTTER (See Detail Sheet)
	MODIFIED CG-1 CURB & GUTTER (See Detail Sheet)
	# OF PARKING STALLS

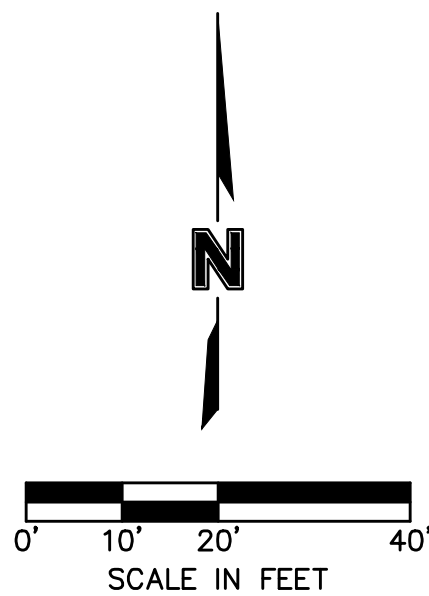
PARKING INFORMATION	
PARKING PROVIDED (INCLUDES 4 ACCESSIBLE SPACES)	67 CARS

- STANDARD DUTY ASPHALT PAVEMENT SECTION SEE DETAIL SHEET FOR PAVEMENT SECTION. (TYP.)
- PROPOSED RAMP AND LANDING TO OUTER DOOR WITH HANDRAIL (SEE SPOT ELEVATION SHEET FOR DETAIL)
- REINFORCED CONCRETE PAVEMENT SECTION SEE DETAIL SHEET FOR PAVEMENT SECTION. (TYP.)
- MODIFIED TYPE CG-1 CONCRETE CURB AND GUTTER (TYP.)
- TYPE CG-1 CONCRETE CURB AND GUTTER (TYP.)
- PROPOSED ACCESSIBLE PARKING STALLS (TYP.)
- PROPOSED ACCESSIBLE SIGNAGE AND STRIPING (TYP.) (SEE DETAIL SHEET)
- PROPOSED 4" WIDE PAVEMENT MARKING (TYP.)
- EXISTING PRIVATE DRIVE
- PROPOSED TRASH ENCLOSURE.
- PROPOSED CONCRETE SIDEWALK.
- PROPOSED ADA RAMPS (SEE SPOT ELEVATION SHEET FOR DETAIL)
- PROPOSED SCREENING WALL. MATCH EXISTING HEIGHT AND STYLE.
- PROPOSED SIDEWALK STEP.

SITE DEVELOPMENT DATA														
LOTS	EXISTING ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	NET AREA (AC.)	LAND USE DESCRIPTION	IMPERVIOUS COVERAGE (AC.)	NUMBER OF FLOORS	GROSS BUILDING / FLOOR AREA (SF)	BUILDING COVERAGE (SF)	FAR	PARKING STALLS REQUIRED			
											Retail Ratio	Restaurant Ratio	Required	Provided
1	PMIX	0.82	0.00	0.82	Undeveloped/ Commercial	0.70	One-Story	7,172	7,172	0.20	5 per 1000 SF	14 per 1000 SF	76	67
Site is included in a shared parking model.														

Site is included in a shared parking model.

SHARED PARKING DATA																	
LOT	BUILDING SF	LAND USE	UDO PER 1K SF	UDO REQ.	M-F 8am-5pm		M-F 5pm-12am		M-F 12am-6am		Weekend 8am-5pm		Weekend 5pm-12am		Weekend 12am-6am		PROVIDED
1A	12,800	Retail & Office	4 & 5	61	100%	61	20%	13	5%	4	100%	61	100%	61	5%	4	54
1B	16,200	Office	4	65	100%	65	5%	4	5%	4	5%	4	0%	0	0%	0	37
1C	28,000	Theater	5.3	148	40%	60	80%	119	10%	15	70%	104	100%	148	10%	15	37
1D	8,000	Retail	5	40	100%	40	20%	8	5%	2	100%	40	100%	40	5%	2	11
1E	52,500	Office	4	210	100%	210	20%	42	5%	11	5%	11	0%	0	0%	0	328
TRACT A	5,275	Event Space				0		0		0		0		0		0	29
2	252,813	Residential	per unit	275	60%	165	100%	275	100%	275	80%	220	100%	275	100%	275	273
SUBTOTAL	375,588			799		601		461		311		440		524		296	769
41	12,950	Retail	5	65	100%	65	20%	13	5%	4	100%	65	100%	65	5%	4	71
43	3,600	Retail	5	18	100%	18	20%	4	5%	1	100%	18	100%	18	5%	1	11
44	2,672	Retail	5	14	100%	14	20%	3	5%	1	100%	14	100%	14	5%	1	
52	4,500	Restaurant	14	63	70%	10	100%	63	10%	7	100%	63	100%	63	20%	14	56
53	4,000	Restaurant	14	56	70%	28	100%	40	10%	4	100%	40	100%	40	20%	8	56
53	35,000	Retail & Office	4 & 5	155	100%	155	20%	31	5%	8	100%	155	100%	155	5%	8	69
54	27,063	Retail & Office	4 & 5	121	100%	121	20%	25	5%	7	100%	121	100%	121	5%	7	60
SUBTOTAL	89,785			492		411		179		32		476		476		43	323
TOTAL	465,373			1,291		1,012		640		343		916		1,000		339	1092



OLSSON<sup>®</sup>  
ASSOCIATES

NO. 1000  
JULIE ELAINE  
SELLERS  
NUMBER  
PE-2017000367  
PROFESSIONAL ENGINEER

STATE OF MISSOURI  
JULIE ELAINE SELLERS  
NUMBER PE-2017000367  
PROFESSIONAL ENGINEER

NO. 1000  
JULIE ELAINE  
SELLERS  
NUMBER  
PE-2017000367  
PROFESSIONAL ENGINEER

BY

NO. REV.

DATE

REVISIONS DESCRIPTION

1

2018.04.27

Revised per City Comments

2

2018.05.23

Revised per City Comments

SITE PLAN  
SITE DEVELOPMENT PLANS

NEW LONGVIEW  
LOT 44

LEE'S SUMMIT, MO

2018

drawn by: \_\_\_\_\_ D.A.H.Q.  
checked by: \_\_\_\_\_ J.S.S.  
designed by: \_\_\_\_\_ S.S.  
QA/QC by: \_\_\_\_\_ M.G.D.  
project no.: 018-1095  
date: 0000.00.00

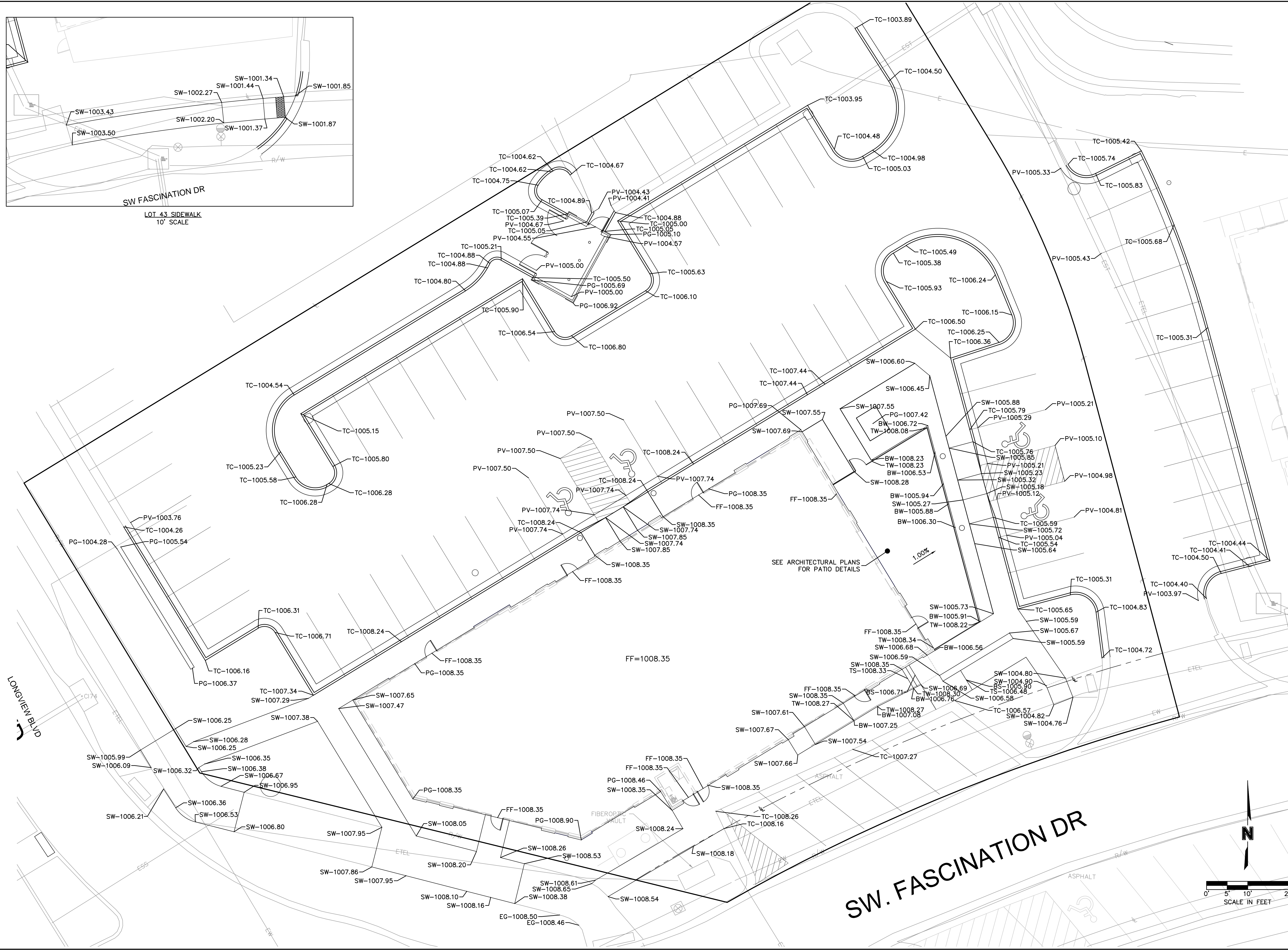
SHEET  
C005







DWG: F:\2017\3001-3500\017-3175\40-Design\AutoCAD\Final Plans\Sheets\GNV\01\_Site Plans\_36x24\C\_SPT01\_73175.dwg  
DATE: May 30, 2018 11:20am  
USER: jsellers



OLSSON<sup>®</sup>  
ASSOCIATES

NO. 1001  
1001 E. 100th St.  
NORTH KANSAS CITY, MO 64116  
TEL 816.597.1393  
FAX 816.597.1393  
www.olssonassociates.com

STATE OF MISSOURI  
JULIE ELAINE  
SELLERS  
NUMBER  
PE-2017000037  
PROFESSIONAL ENGINEER

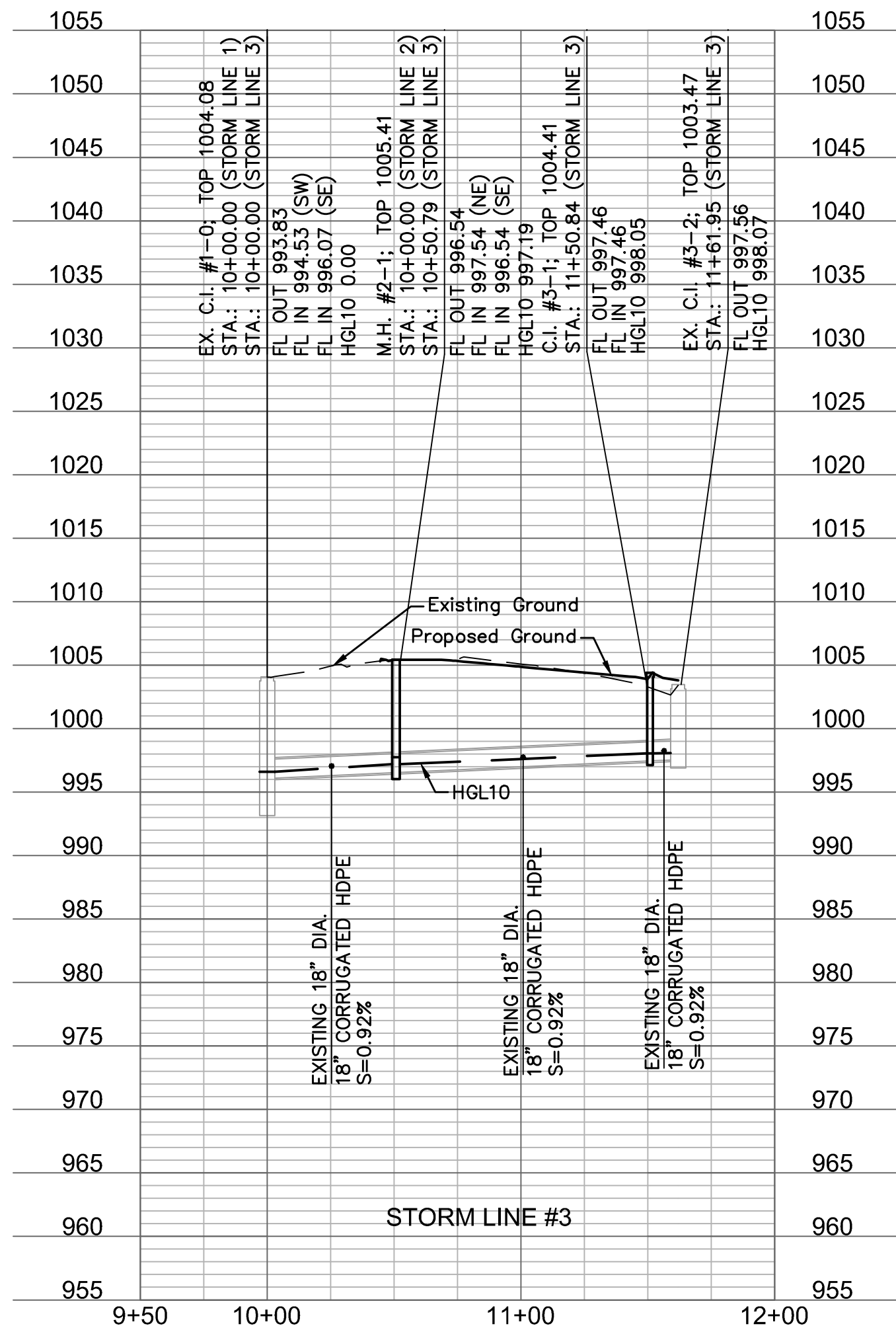
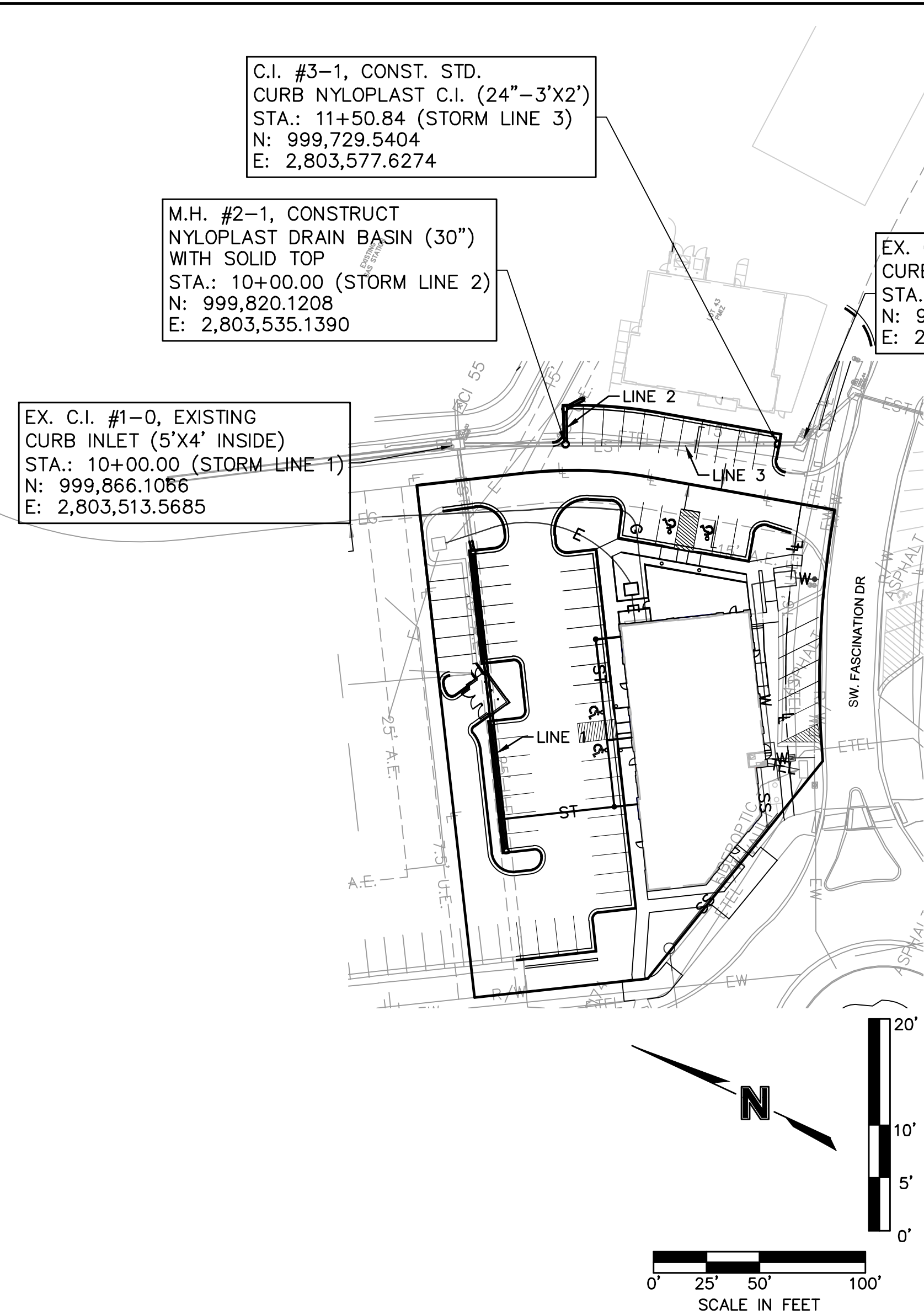
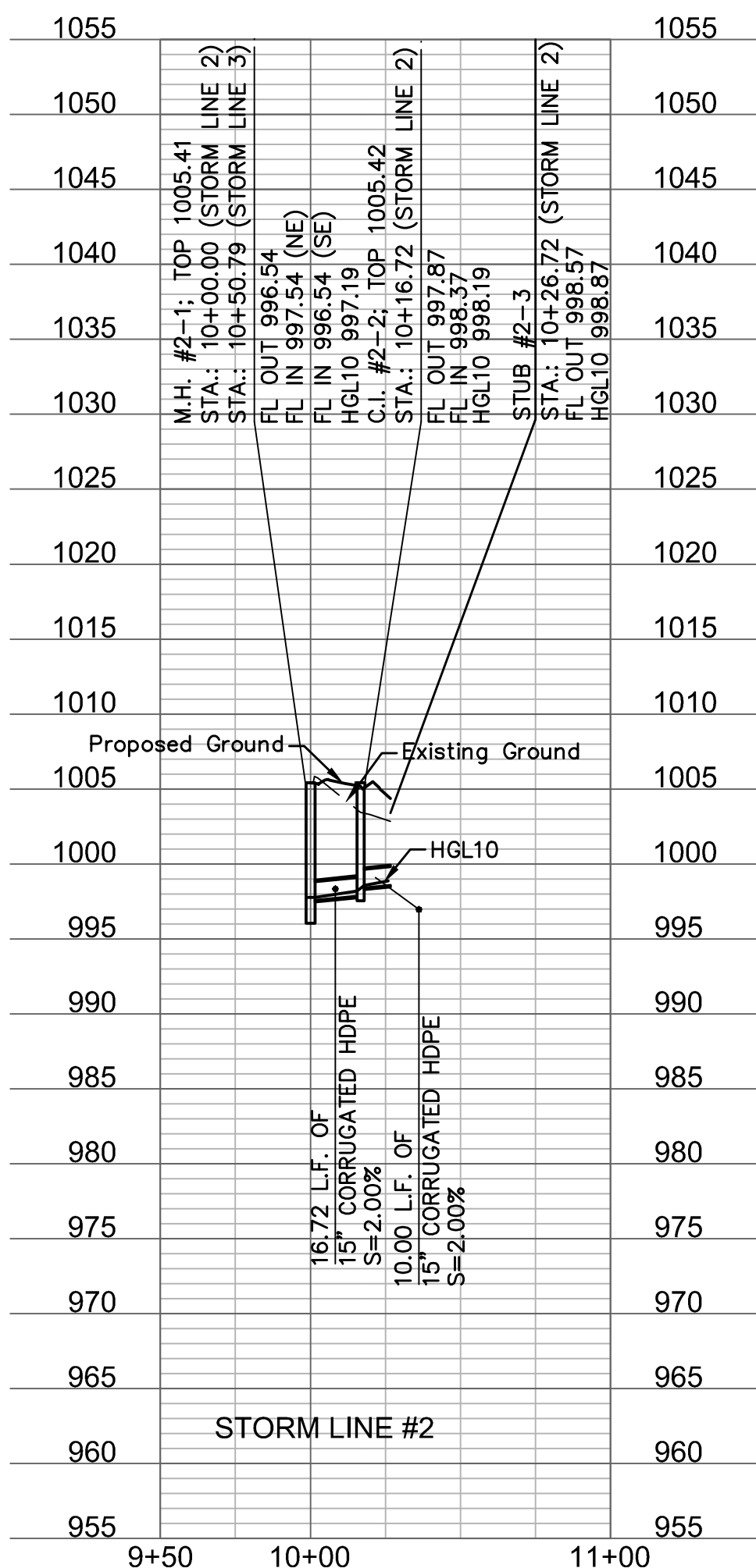
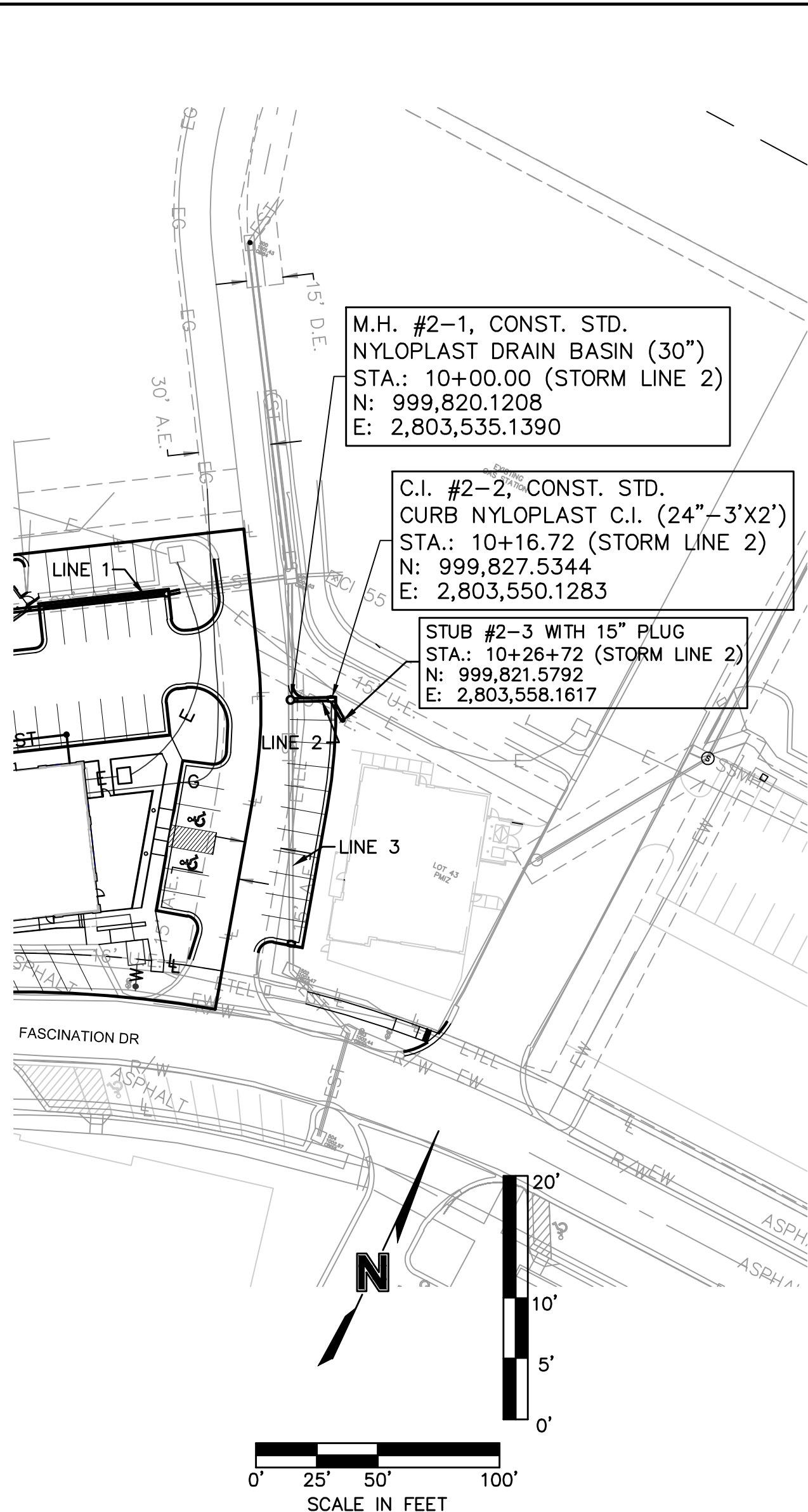
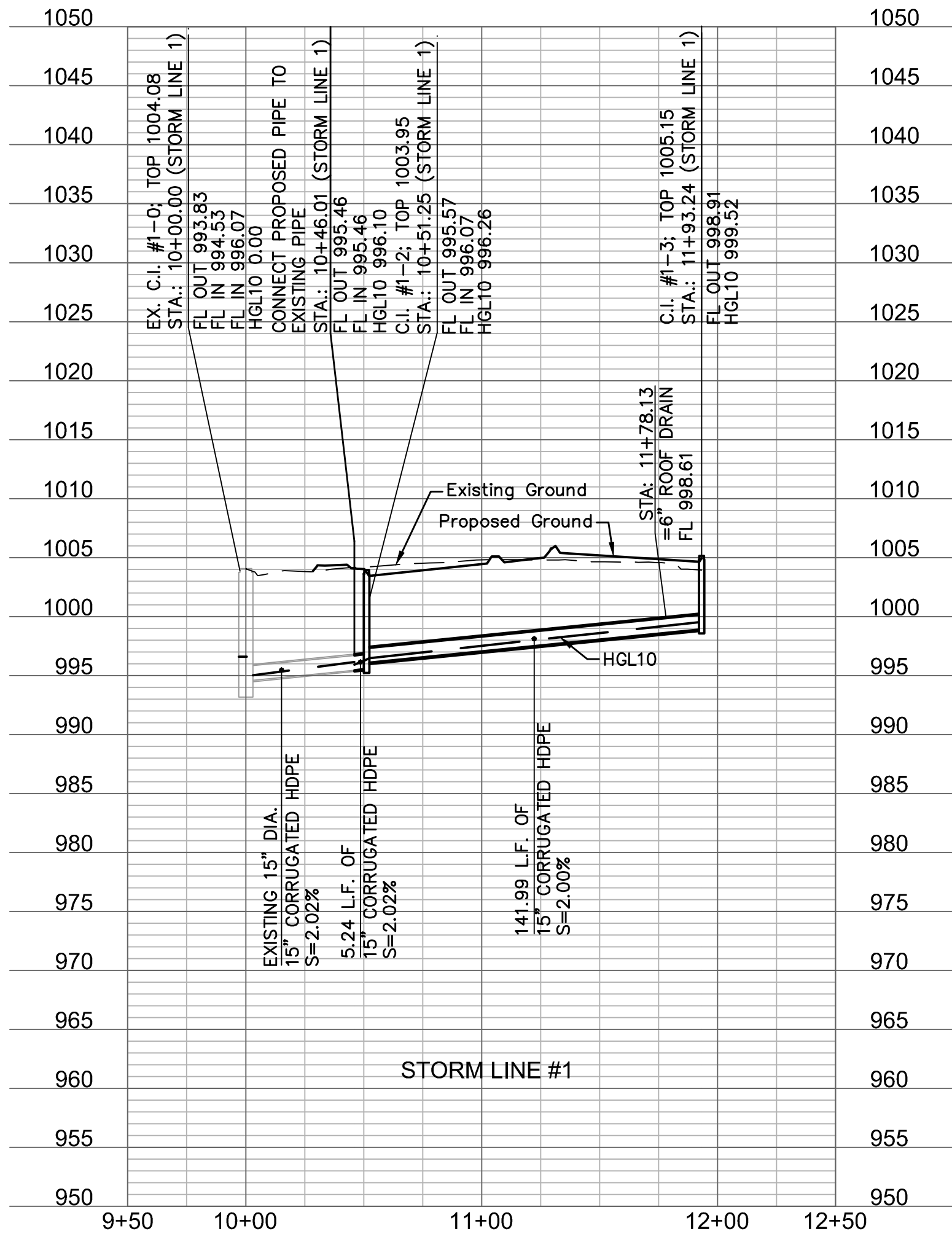
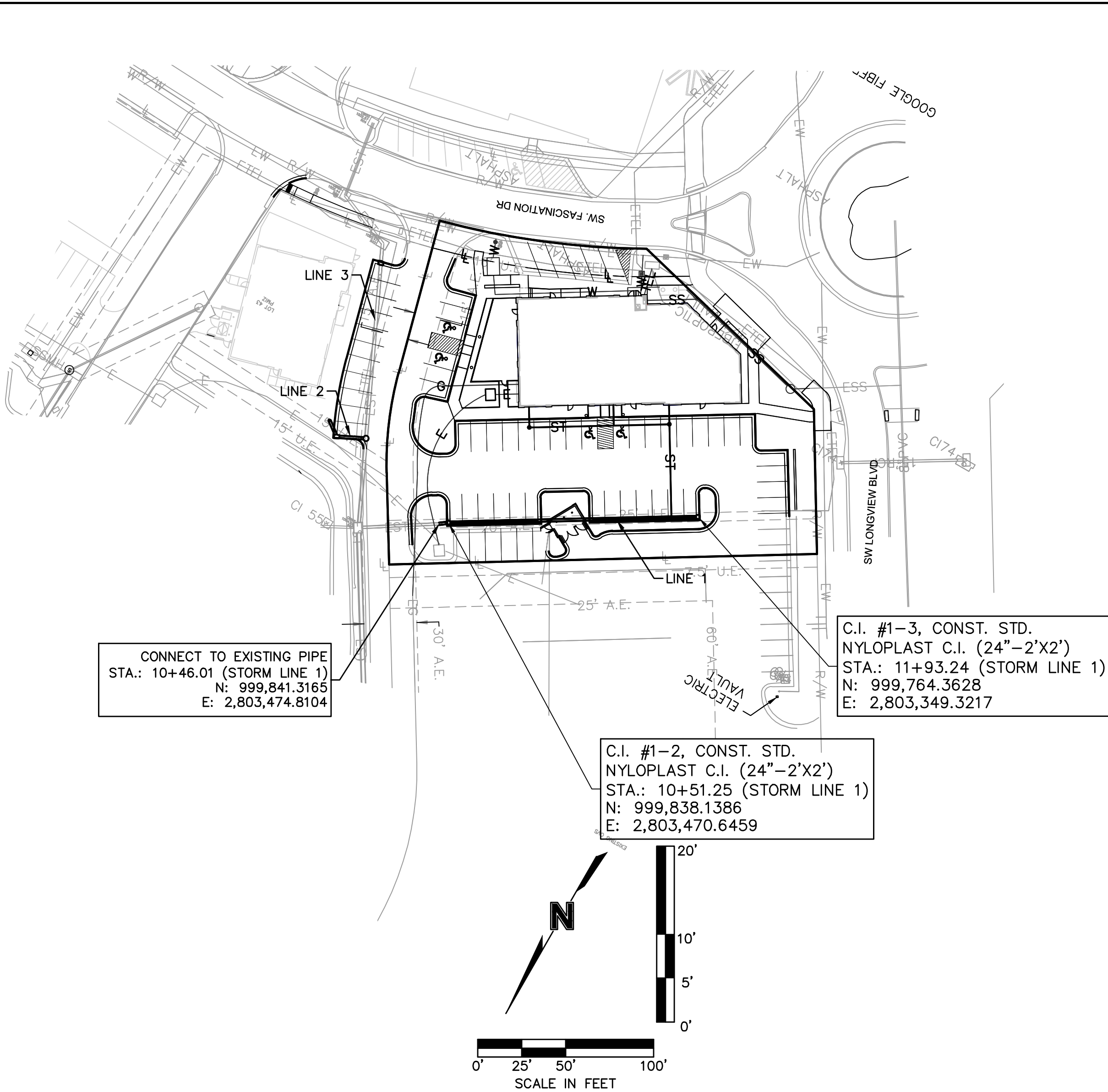
BY		REVISIONS DESCRIPTION		DATE	
NO.	REV.				

SPOT ELEVATIONS SITE DEVELOPMENT PLANS		NEW LONGVIEW LOT 44		2018	
LEE'S SUMMIT, MO					

drawn by: D.A.H.O.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 0000.00.00

SHEET  
C007





STORM SEWER PLAN & PROFILE  
SITE DEVELOPMENT PLANS

NEW LONGVIEW  
LOT 44

LEE'S SUMMIT, MO

2018

drawn by: D.A.H.O.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 2018.04.04

SHEET  
C008

NO. REV.

DATE

REVISIONS DESCRIPTION

BY

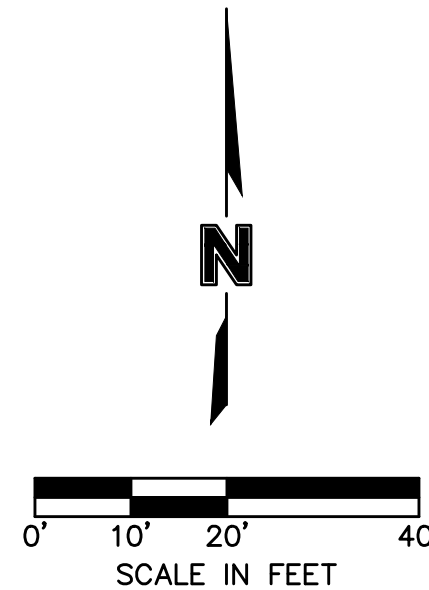
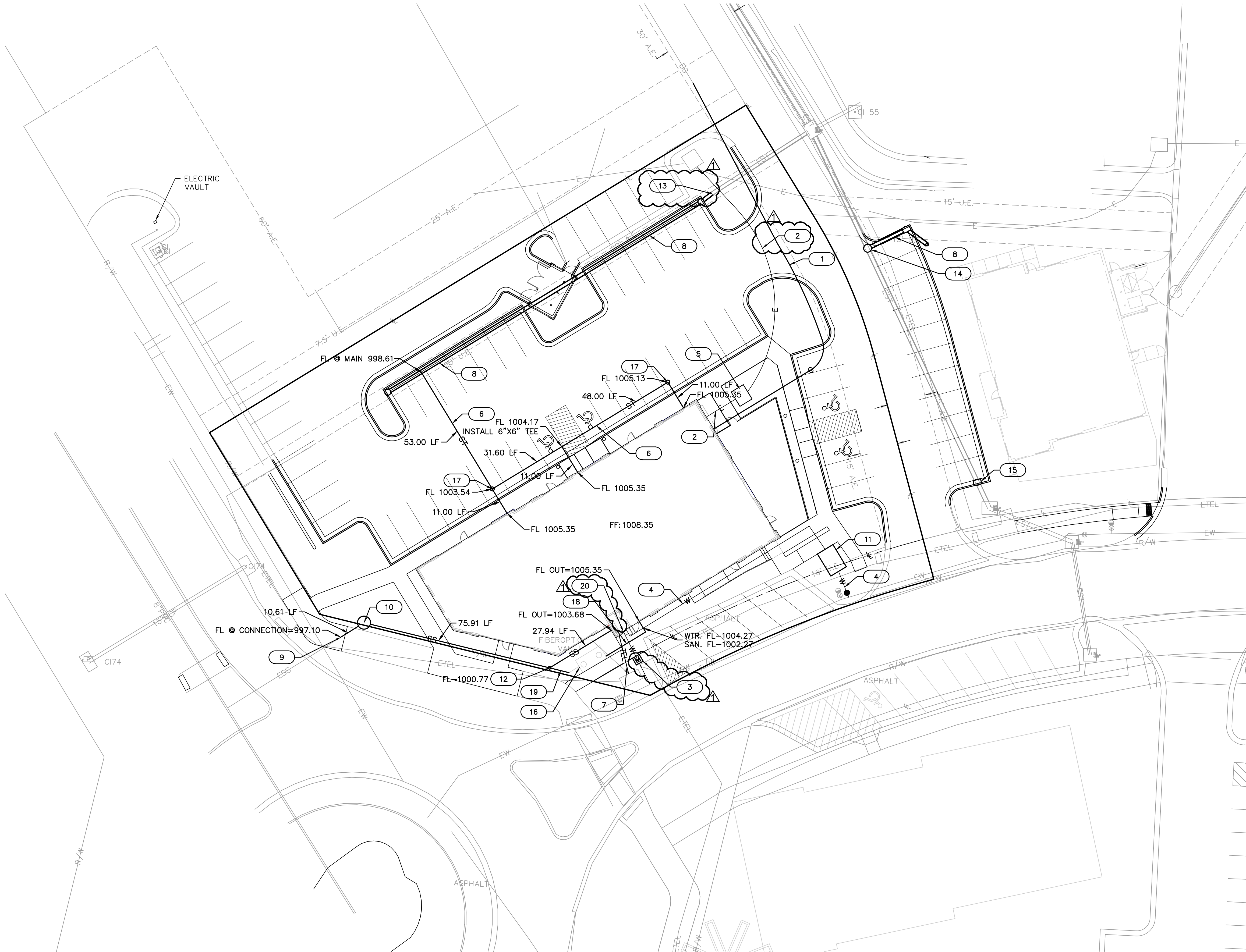
STATE OF MISSOURI  
JULIE ELAINE  
SELLERS  
Professional Engineer  
NUMBER  
PE-2017000367

OLSSON  
ASSOCIATES

NO. Certificate of Authority #031892  
301 E. HURON STREET, SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL 816.597.4320  
FAX 816.597.1393  
www.olssonassociates.com



- 1 CONTRACTOR TO PROVIDE 170 L.F. OF 4" PVC (SDR-26) CONDUIT (WITHIN 5' OF BUILDING) TO BE UTILIZED BY GAS COMPANY. CONTRACTOR TO MAKE APPLICATION WITH SPIRE ENERGY FOR METER SET AND COORDINATE WITH SPIRE FOR INSTALLATION OF SERVICES.
- 2 CONTRACTOR TO PROVIDE 98.20 L.F. OF 4" ELEC. PVC CONDUIT FROM EXISTING TRANSFORMER TO PROPOSED TRANSFORMER PAD AND 13.22 L.F. OF 4" ELEC. PVC FROM PROPOSED TRANSFORMER PAD TO BUILDING. CONTRACTOR TO COORDINATE WITH KCPL.
- 3 PROPOSED TAP BY LSMO WATER DEPT. FOR DOMESTIC SERVICE. CONTRACTOR TO EXTEND 23.02 L.F. OF 1.5" TYPE K COPPER SERVICE LINE TO PROPOSED 1.0" WATER METER LOCATION. THE PROPOSED 1" WATER METER IS LOCATED ADJACENT TO PROPOSED SIDEWALK AND 10.5' FROM EXISTING WATER LINE.  
N: 999660.7703  
E: 2803446.1316
- 4 PROPOSED 8"x6" TEE, 1-6" GATE VALVE AND 2-8" SOLID SLEEVES TO BE PROVIDED BY CONTRACTOR FOR 6" FIRE PROTECTION SERVICE. CONTRACTOR TO INSTALL GATE VALVE 2' BEHIND MAIN AND EXTEND 18.76 L.F. OF 6" C900 PVC TO BACKFLOW VAULT. CONTRACTOR TO EXTEND 83.84 L.F. OF 6" C900 PVC TO BUILDING WITH 90 DEGREE BEND.
- 5 CONTRACTOR TO PROVIDE 6.5'x5.5' CONCRETE PAD FOR TRANSFORMER AND GRADING AS NECESSARY PER KOP&L STANDARDS.
- 6 CONTRACTOR TO INSTALL 6" PVC STORM LATERALS FROM ROOF DRAINS TO STORM PIPE AT A MINIMUM 2.00% SLOPE.
- 7 CONTRACTOR TO INSTALL 15.21 L.F. OF DUAL 4" PVC CONDUIT TO BUILDING FOR USE BY TELEPHONE COMPANY. CONTRACTOR TO COORDINATE WITH AT&T FOR INSTALLATION OF SERVICE, ETC.
- 8 PROPOSED PRIVATE STORM SEWER. SEE STORM SEWER PLAN & PROFILES FOR PROPOSED SIZE, DEPTH AND LOCATION.
- 9 CONTRACTOR TO INSTALL 4" PVC (SDR-26) FROM PROPOSED PUBLIC SEWER LATERAL TO WITHIN 5'-0" OF PROPOSED BUILDING S=2.00% MIN. TO EXISTING PUBLIC 6" SEWER LATERAL WITH 1.4' RISER AND REDUCER.
- 10 PROPOSED SANITARY SAMPLING MANHOLE.  
FL IN=999.25  
FL OUT=998.75  
N: 999675.1314  
E: 2803340.1520
- 11 CONTRACTOR TO INSTALL DOUBLE CHECK DETECTOR BACKFLOW PREVENTER INSIDE VAULT PER LEE'S SUMMIT MISSOURI DETAILS.
- 12 PROPOSED SANITARY CLEANOUT
- 13 PROPOSED STORM PIPE TO CONNECT TO EXISTING STUB. REFER TO STORM SHEET FOR INFORMATION.
- 14 PROPOSED STORM MANHOLE TO CONNECT TO EXISTING PIPE. SEE STORM PLAN AND PROFILE SHEET.
- 15 PROPOSED CURB INLET TO CONNECT TO EXISTING PIPE. SEE STORM PLAN AND PROFILE SHEET.
- 16 FUTURE GREASE INTERCEPTOR TO BE PROVIDED BY TENANT.
- 17 ROOF DRAIN CLEANOUT.
- 18 SANITARY LATERAL STUB FOR FUTURE CONNECTION TO GREASE INTERCEPTOR. INSTALL 20 L.F. OF 4" PVC (SDR-26) AT 2% SLOPE WITH PLUG.
- 19 SANITARY LATERAL STUB FOR FUTURE CONNECTION TO GREASE TRAP LATERAL. INSTALL 8 L.F. OF 4" PVC (SDR-26) AT 2% SLOPE WITH PLUG.
- 20 FIRE DEPARTMENT CONNECTION.



OLSSON<sup>®</sup>  
ASSOCIATES

NO. 018-1095  
JULIE ELAINE  
SELLERS  
NUMBER  
PE-2017000367  
PROFESSIONAL ENGINEER  
STATE OF MISSOURI

BY

REVISIONS DESCRIPTION

NO. REV.

DATE

1 2018.04.27 Revised per City Comments

2018

UTILITY PLAN  
SITE DEVELOPMENT PLANS

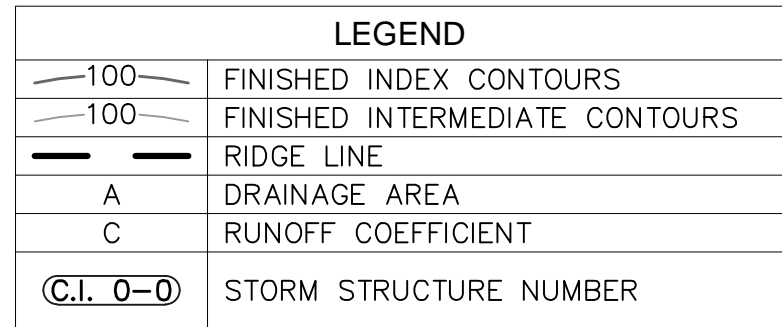
NEW LONGVIEW  
LOT 44

LEE'S SUMMIT, MO

drawn by: D.A.H.O.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 0000.00.00

SHEET  
C009



[illegible]

DRAINAGE PLAN SITE DEVELOPMENT PLANS	
NEW LONGVIEW LOT 44	
LEE'S SUMMIT, MO	2018

drawn by: D.A.H.O  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 2018.04.04



Storm Sewer Design Calculation Table													
10 Year Return Frequency													
Upstream Structure	Downstream Structure	Length (ft)	Upstream Invert (ft)	Downstream Invert (ft)	Slope (%)	Diameter (in)	Manning's n	Total Flow (cfs)	Velocity (ft/s)	Capacity (cfs)	Flow Depth (ft)	Upstream Struct. HGL (ft)	Upstream Top Elev. (ft)
C.I. #1-2	STUB #1-1	5.24	995.57	995.46	2.10	15	0.012	2.98	7.17	10.14	0.69	996.26	1003.95
C.I. #1-3	C.I. #1-2	142.00	998.91	996.07	2.00	15	0.012	2.30	6.56	9.89	0.61	999.52	1005.15
C.I. #2-2	M.H. #2-1	16.72	997.87	997.54	1.97	15	0.012	0.69	4.62	9.83	0.32	998.19	1005.70
STUB #2-3	C.I. #2-2	10.00	998.57	998.37	2.00	15	0.012	0.58	4.39	9.89	0.30	998.87	1000.00

Drainage Area Design Table					
10 Year Return Frequency					
Inlet ID	Drainage Area	C	Tc	i	Peak Flow
	(ac)		(min)	(in/hr)	(cfs)
C.I. #1-2	0.13	0.87	5.0	7.34	0.83
C.I. #1-3	0.10	0.87	5.0	7.34	0.64
C.I. #2-2	0.02	0.87	5.0	7.34	0.13
STUB #2-3	0.09	0.87	5.0	7.34	0.58
C.I. #3-1	0.11	0.87	5.0	7.34	0.58
EX. C.I. #3-2	0.29	0.87	5.0	7.34	1.85
Roof Drains	0.17	0.87	5	7.34	1.09

Inlet Design Table						
10 Year Return Frequency						
Inlet ID	Inlet Location	Peak Flow	Carryover Flow	Captured Flow	Bypass Flow	Inlet Efficiency (Note 2)
		(cfs)	(cfs)	(cfs)	(cfs)	(%)
C.I. #1-2	Sag	0.83	0	0.83	0	100
C.I. #1-3	Sag	2.30	0	2.30	0	100
C.I. #2-2	Sag	0.13	0	0.13	0	100
STUB #2-3	Sag	0.58	....	....	....	....
C.I. #3-1	Sag	0.58	0	0.58	0	100
EX. C.I. #3-2	Sag	1.85	0	1.85	0	100

Storm Sewer Design Calculation Table													
100 Year Return Frequency													
Upstream Structure	Downstream Structure	Length (ft)	Upstream Invert (ft)	Downstream Invert (ft)	Slope (%)	Diameter (in)	Manning's n	Total Flow (cfs)	Velocity (ft/s)	Capacity (cfs)	Flow Depth (ft)	Upstream Struct. HGL (ft)	Upstream Top Elev. (ft)
C.I. #1-2	STUB #1-1	5.238	995.57	995.46	2.1	15	0.012	5.35	8.37	10.14	0.94	996.51	1003.95
C.I. #1-3	C.I. #1-2	141.995	998.91	996.07	2	15	0.012	4.04	7.65	9.89	0.81	999.72	1005.15
C.I. #2-2	M.H. #2-1	16.722	997.87	997.54	1.97	15	0.012	1.22	5.46	9.83	0.44	998.31	1005.7
STUB #2-3	C.I. #2-2	10	998.57	998.37	2	15	0.012	1.01	5.18	9.89	0.39	998.96	1000

Drainage Area Design Table					
100 Year Return Frequency					
Inlet ID	Drainage Area	C	Tc	i	Peak Flow
	(ac)		(min)	(in/hr)	(cfs)
C.I. #1-2	0.13	0.87	5	12.9	1.46
C.I. #1-3	0.10	0.87	5	12.9	1.12
C.I. #2-2	0.02	0.87	5	12.9	0.22
STUB #2-3	0.09	0.87	5	12.9	1.01
C.I. #3-1	0.11	0.87	5	12.9	1.01
EX. C.I. #3-2	0.29	0.87	5	12.9	3.25
Roof Drains	0.17	0.87	5	12.9	1.91

Inlet Design Table						
100 Year Return Frequency						
Inlet ID	Inlet Location	Peak Flow	Carryover Flow	Captured Flow	Bypass Flow	Inlet Efficiency (Note 2)
		(cfs)	(cfs)	(cfs)	(cfs)	(%)
C.I. #1-2	Sag	1.46	0	1.46	0	100
C.I. #1-3	Sag	4.04	0	4.04	0	100
C.I. #2-2	Sag	0.22	0	0.22	0	100
STUB #2-3	Sag	1.01	....	....	....	....
C.I. #3-1	Sag	1.01	0	1.01	0	100
EX. C.I. #3-2	Sag	3.25	0	3.25	0	100

OLSSON<sup>®</sup>  
ASSOCIATES

NO. 0011616 of Authority # 001092  
300 E. HURON STREET, SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL. 816.597.4320  
FAX 816.597.1393  
www.olssonassociates.com

STATE OF MISSOURI  
JULIE ELAINE SELLERS  
Professional Engineer  
NUMBER PE-20170000367  
EXPIRATION DATE 06/30/2025

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NO. REV.: \_\_\_\_\_

DRAINAGE TABLES  
SITE DEVELOPMENT PLANS

NEW LONGVIEW  
LOT 44

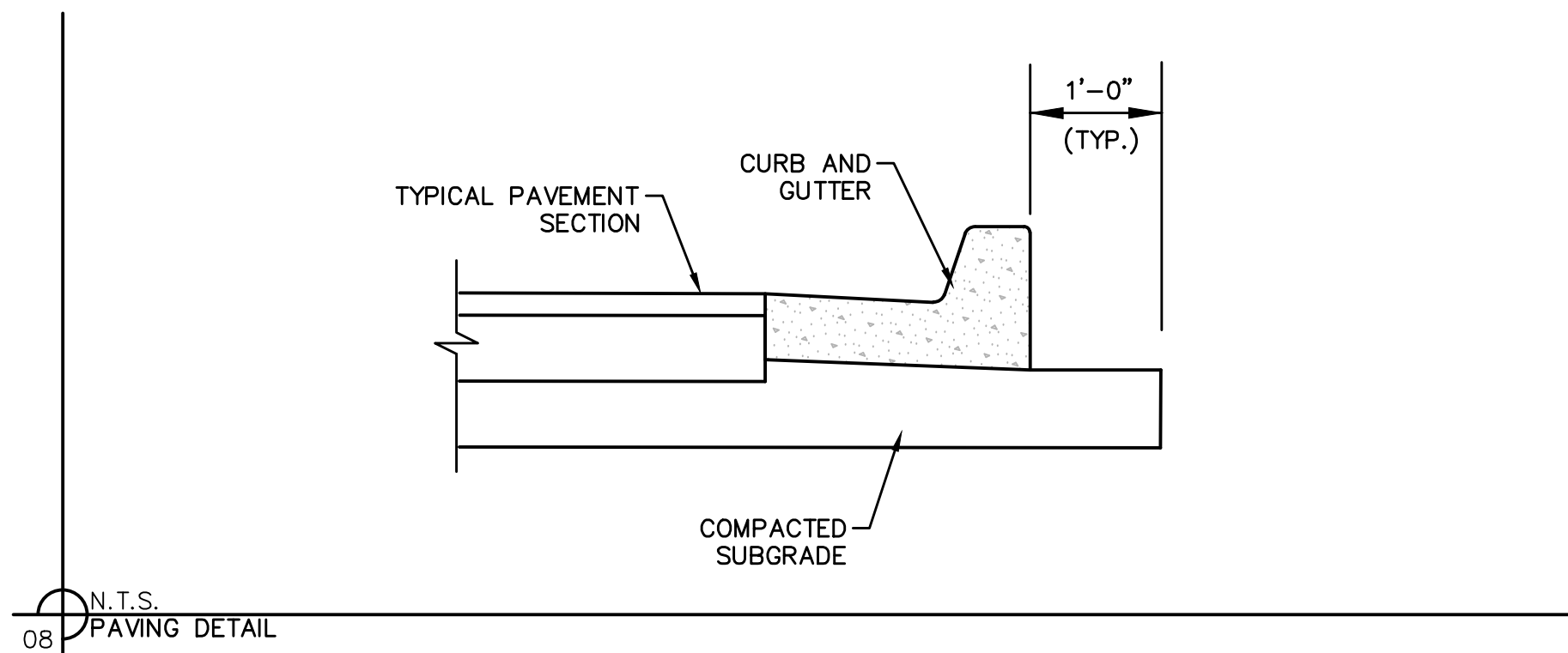
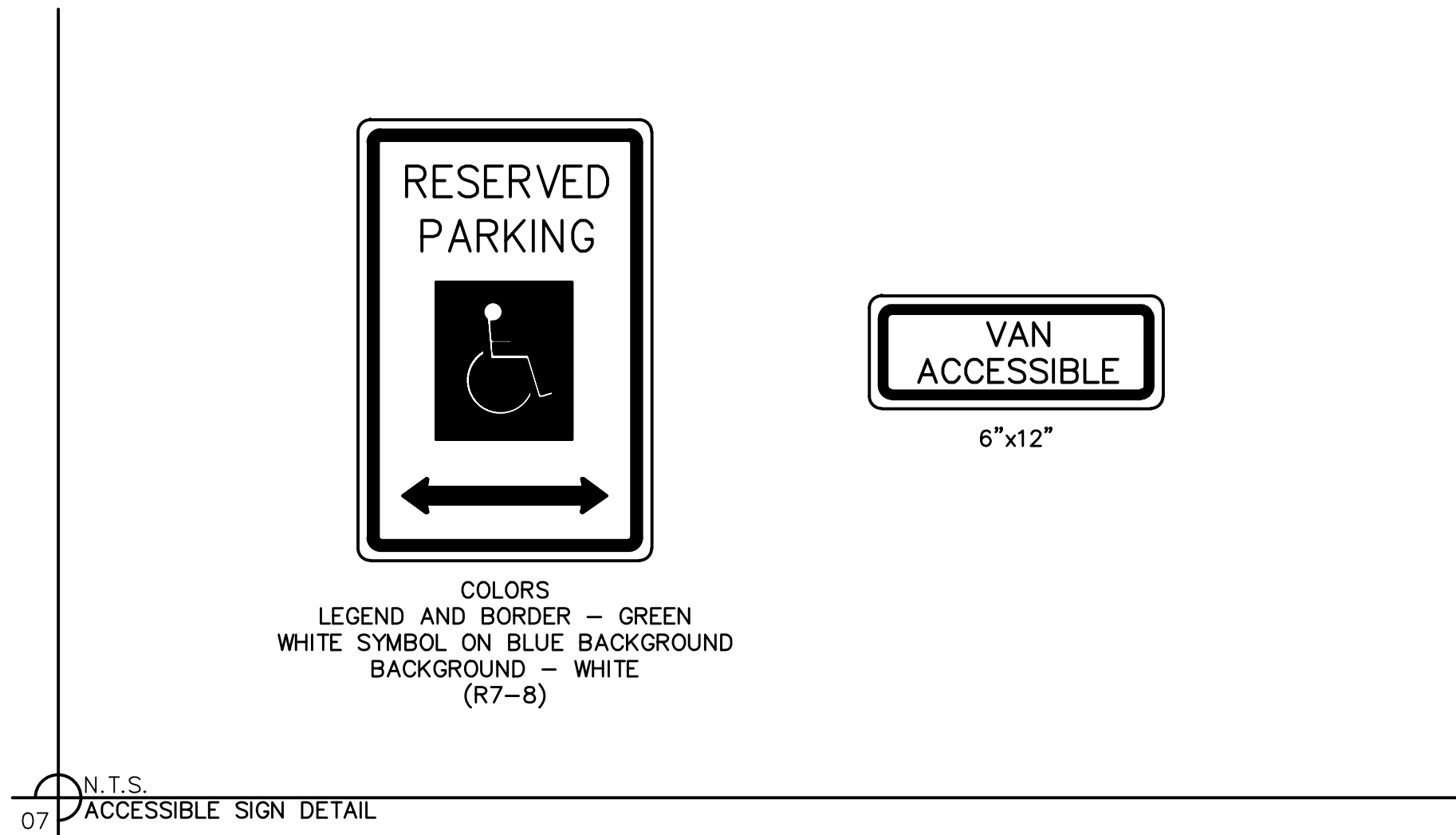
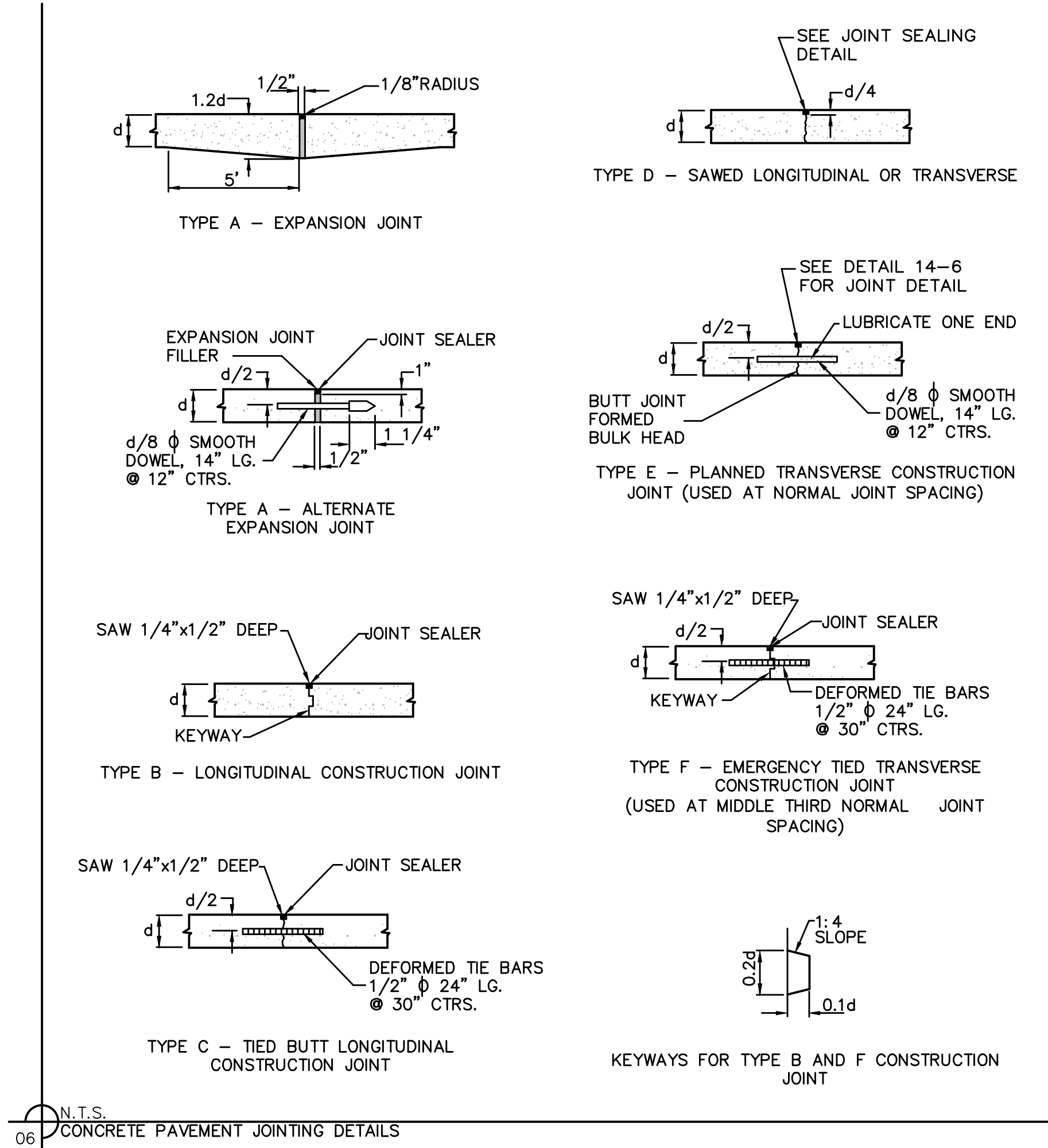
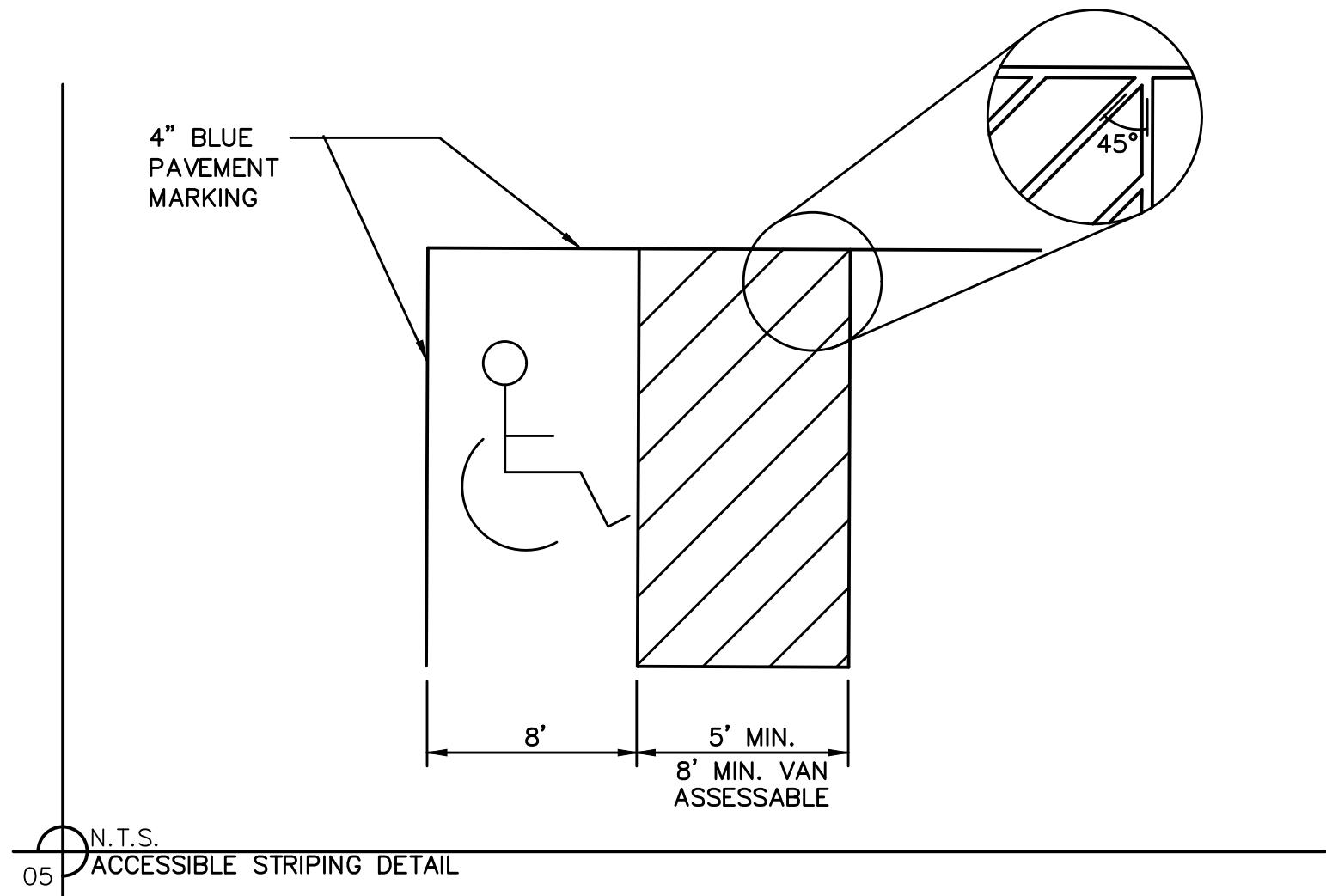
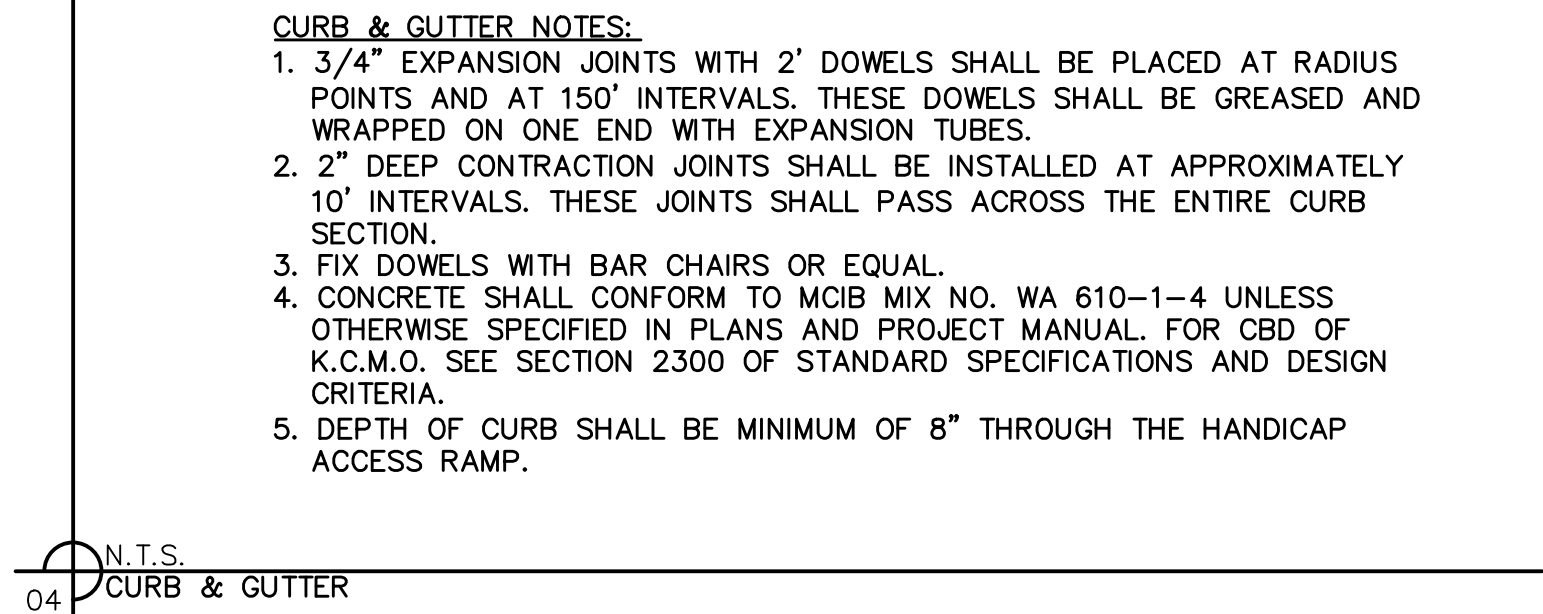
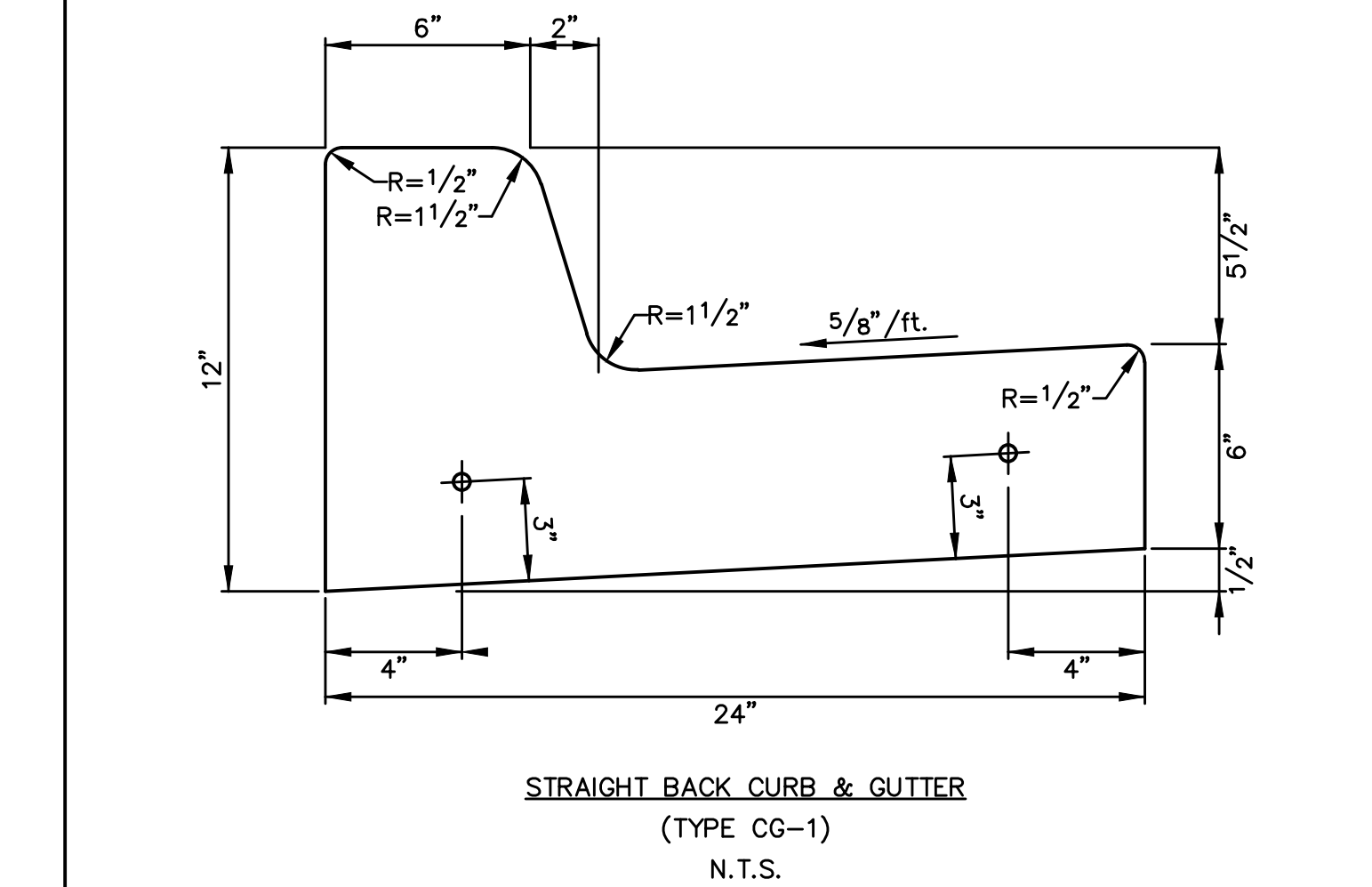
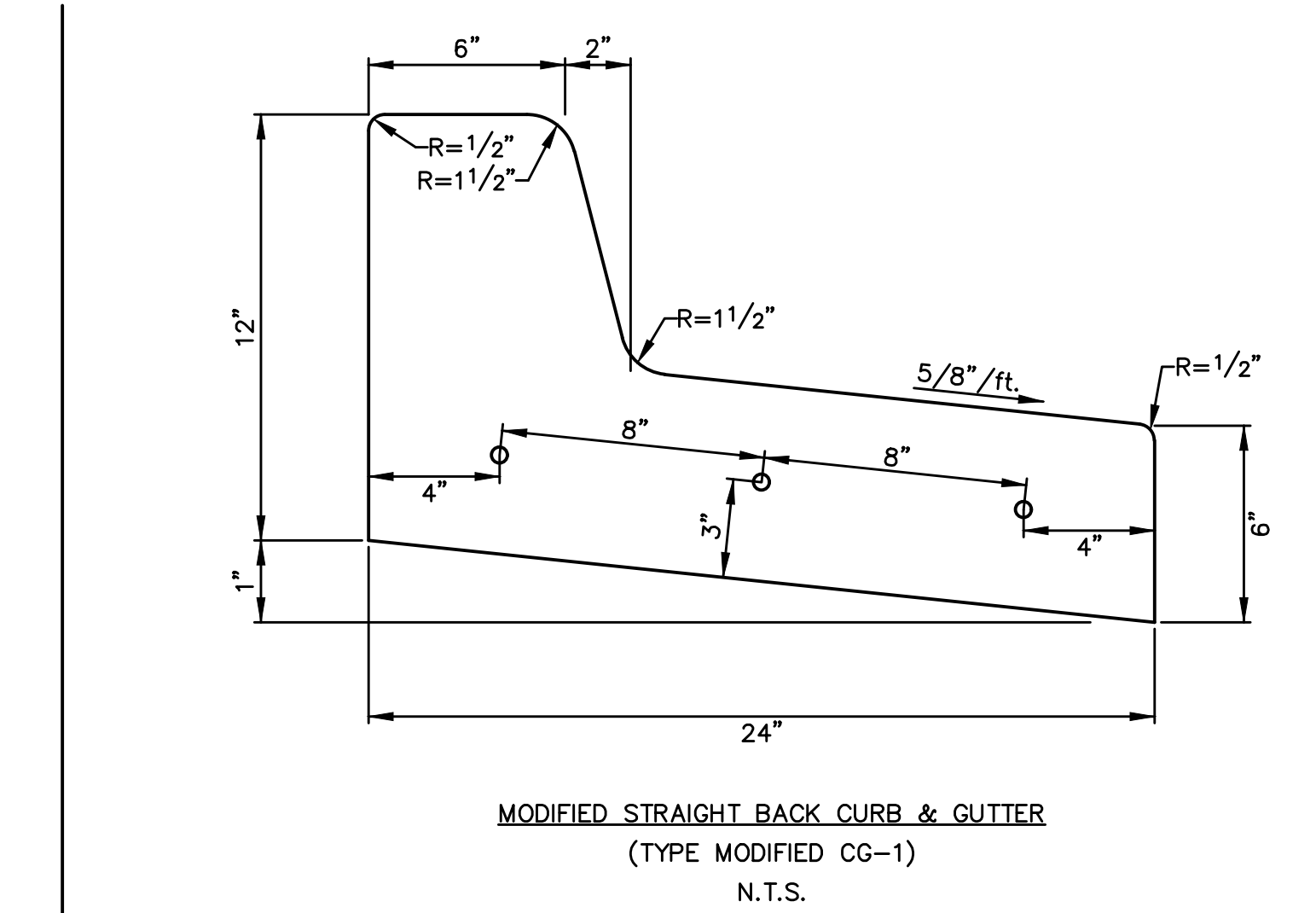
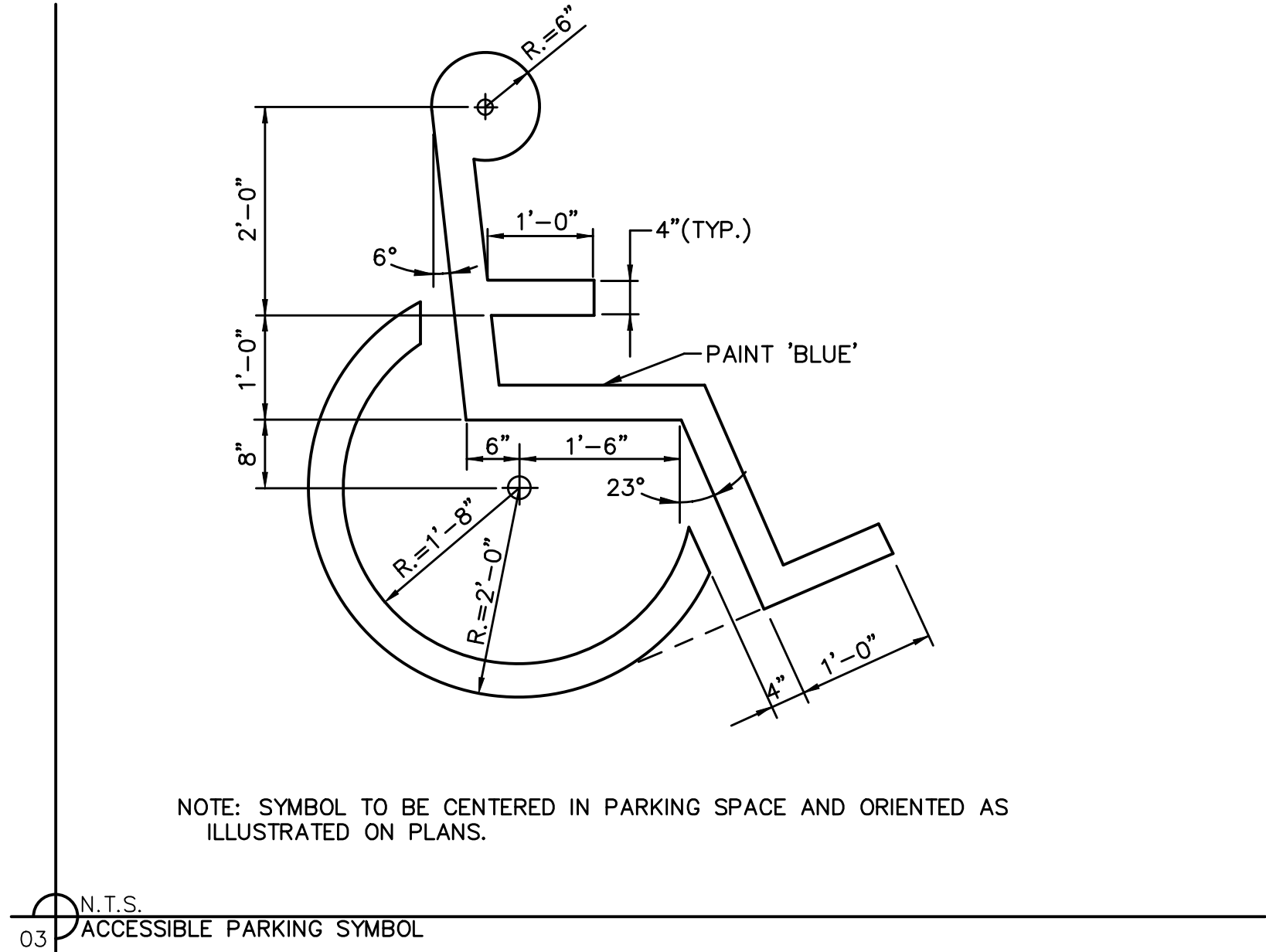
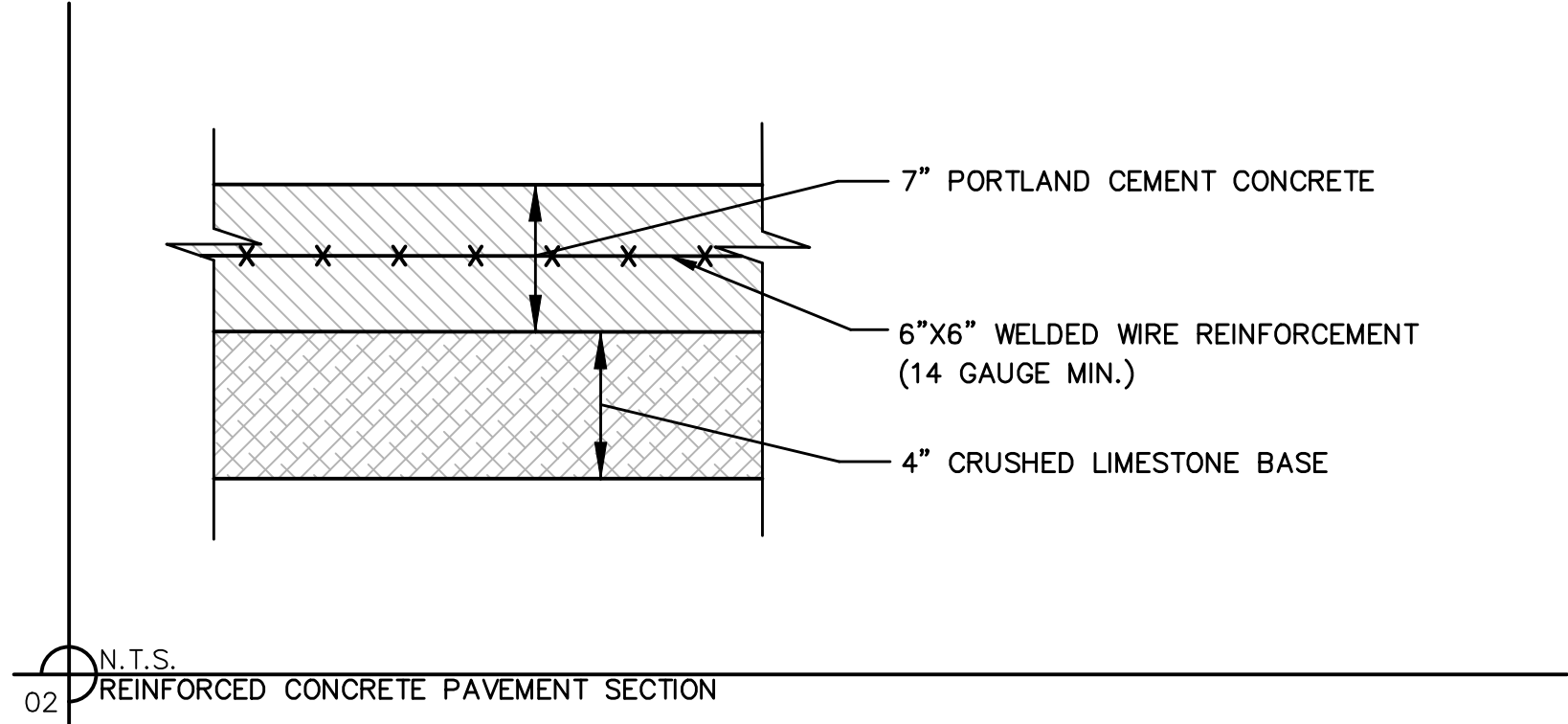
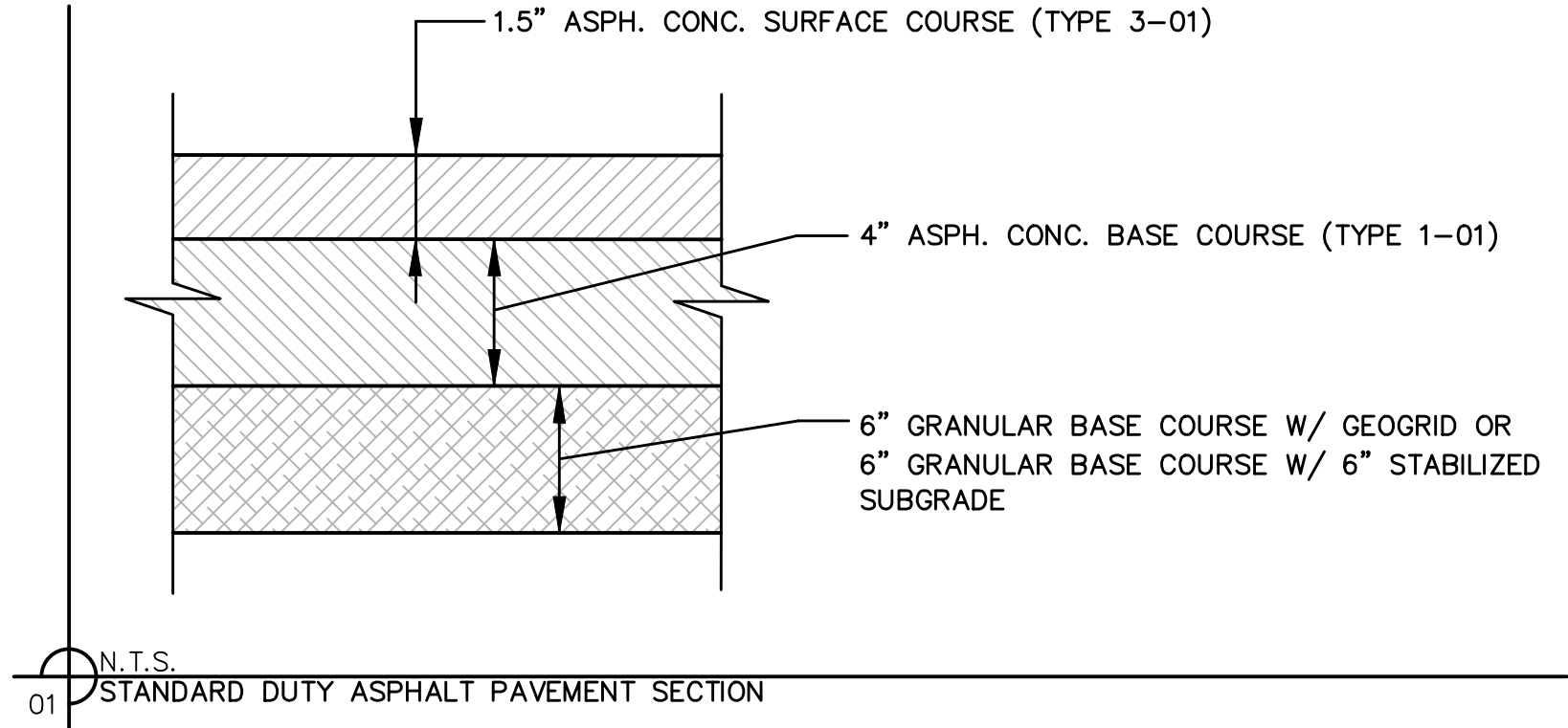
LEE'S SUMMIT, MO

drawn by: \_\_\_\_\_ D.A.H.O.  
checked by: \_\_\_\_\_ J.S.  
designed by: \_\_\_\_\_ S.S.  
QA/QC by: \_\_\_\_\_ M.G.D.  
project no.: 018-1095  
date: 2018.04.04

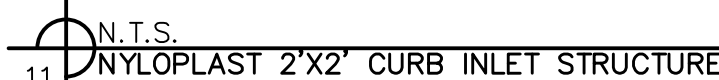
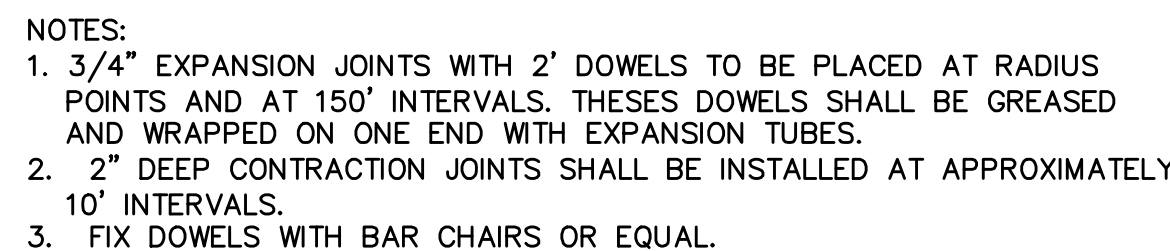
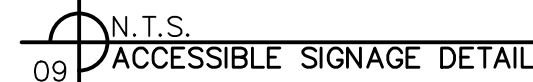
SHEET  
C011

REVISIONS  
2018

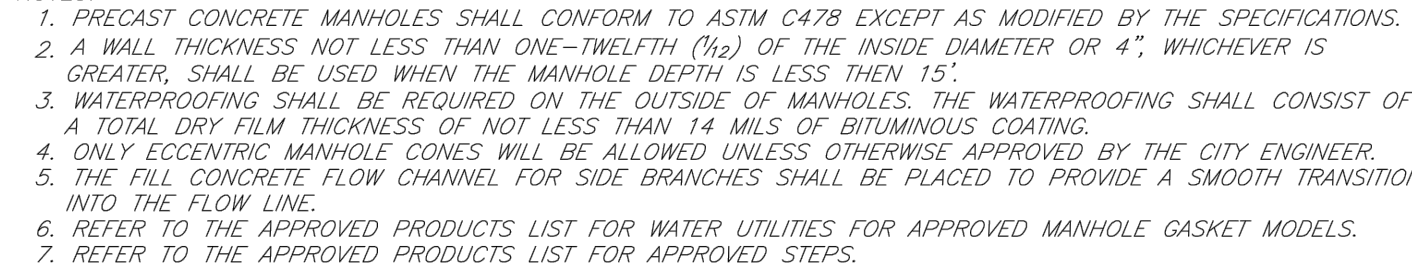








1. METER VAULT WALLS TO BE POURED OR PRECAST CONCRETE. METER VAULT ROOF TO BE REINFORCED CONCRETE WITH OPENING CENTRED OVER DETECTOR METER. REINFORCED WALLS AND SLABS ARE TO BE DESIGNED BY THE OWNER'S ENGINEER OR PRECAST ENGINEER.
2. METER VAULT TO BE LOCATED, WHEN POSSIBLE, OUTSIDE TRAFFIC AREA AND WHERE SURFACE WATER WILL NOT DRAIN INTO IT. PROVIDE CONCRETE SUMP TO DRAIN TO AN ABOVE GROUND DISCHARGE POINT.
3. ALL PIPE AND FITTINGS FROM THE CITY WATER MAIN THROUGH THE VAULT SHALL BE PROVIDED WITH RESTRAINED JOINT FITTINGS.
4. ALL FITTINGS FOR THE DETECTOR METER BE BRASS.
5. STEPS SHALL BE IN ACCORDANCE WITH THE APPROVED PRODUCT LIST FOR WATER UTILITIES AND SHALL BE ON 16" CENTERS.
6. A DEPARTMENT OF NATURAL RESOURCES APPROVED DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW PREVENTER MUST BE USED. FOR A COPY OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES APPROVED BACKFLOW PREVENTION ASSEMBLIES, CONTRACT WATER UTILITIES AT 816.969.1900.
7. ALL VALVES SHALL HAVE RISING STEMS.
8. MANHOLE COVER SHALL BE A BILCO K-1 MODEL UNLESS IN A VEHICLE TRAFFIC AREA. SEE THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR TRAFFIC CONDITIONS. THE COVER SHALL HAVE A 1-3/4" DIAMETER HOLE DRILLED FOR A TOUGH/READ DEVICE.
9. A MINIMUM OF 18" CLEARANCE SHALL BE PROVIDED AROUND ALL PIPING, VALVES, APPURTENANCES, ETC.
10. CONTACT PUBLIC WORKS ENGINEERING FOR VAULTS THAT INCLUDE A FIRE DEPARTMENT CONNECTION OF A 3" OR LARGER METER.









SITE DISTURBANCE NOTES:

1. THE INTENT OF THIS EROSION CONTROL PLAN IS TO ASSIST THE CONTRACTOR IN HIS RESPONSIBILITY TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF SOIL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR HIS AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.

THIS PLAN INDICATES THE CRITICAL AREA(S) OF CONCERN AND THESE AREA(S) WILL BE CONTROLLED AS A MINIMUM. THE CONTROL MAY CONSIST OF TEMPORARY CONTROL MEASURES AS SHOWN ON THE PLANS OR ORDERED BY THE OWNER DURING THE LIFE OF THE CONTRACT TO CONTROL EROSION OR WATER POLLUTION, THROUGH THE USE OF BERMS, DIKES, DAMS, SEDIMENT BASINS, FIBER MATS, NETTING, GRAVEL, MULCHES, GRASSES, SLOPE DRAINS, DIVERSION SWALES OR OTHER EROSION CONTROL DEVICES OR METHODS. THE OWNER HAS THE AUTHORITY TO LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY THE CONSTRUCTION OPERATIONS AND TO DIRECT THE CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT OR CONVEYANCES.

THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH ANY PERMANENT EROSION CONTROL FEATURES SPECIFIED ELSEWHERE IN THE CONTRACT TO THE EXTENT PRACTICAL TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST CONSTRUCTION PERIOD.

2. THIS SEDIMENTATION CONTROL PLAN MAKES USE OF THE FOLLOWING APPLICATIONS:

- ☐ PRESERVATION OF EXISTING VEGETATION
- ☒ SEDIMENT BARRIERS
- ☐ SEDIMENT TRAPS
- ☒ INLET PROTECTION
- ☐ OUTLET PROTECTION
- ☐ SOIL RETAINING SYSTEMS
- ☐ SLOPE DRAINS
- ☐ SUBSURFACE DRAINS

PHYSICAL DESCRIPTION OF EACH SPECIFIC SEDIMENT CONTROL DEVICE TO BE UTILIZED IS CALLED OUT ON THE PLANS WITH INSTALLATION PROCEDURES, CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARRANGEMENT AS CALLED FOR ON THE DETAIL SHEET. IN ADDITION TO THE MEASURES SPECIFIED, THE FOLLOWING GENERAL PRACTICES SHALL BE ADHERED TO WHEN APPLICABLE.

- A) CLEARING AND GRUBBING WITHIN 50' OF A DEFINED DRAINAGE COURSE SHOULD BE AVOIDED WHEN POSSIBLE. WHERE CHANGES TO A DEFINED DRAINAGE COURSE OCCUR, WORK SHOULD BE DELAYED UNTIL ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT AND COMPLETE THE DRAINAGE CHANGE ARE ON SITE. CHANGES SHALL BE COMPLETED AS QUICKLY AS POSSIBLE ONCE THE WORK HAS BEEN INITIATED. THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE. AREAS WITHIN 50' OF A DEFINED DRAINAGE WAYS SHOULD BE RECONTOURED AS NEEDED OR OTHERWISE PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.
- B) WHERE SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES. IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH, THEN THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.
- C) EXISTING VEGETATION SHALL BE PRESERVED TO THE EXTENT AND WHERE PRACTICAL. IN NO CASE SHALL DISTURBED AREAS REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.
- D) ADDITIONAL SITE MANAGEMENT PRACTICES WHICH SHALL BE ADHERED TO DURING THE CONSTRUCTION PROCESS SHALL INCLUDE:

SOLID AND HAZARDOUS WASTE MANAGEMENT INCLUDING PROVIDING TRASH CONTAINERS AND REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE SUCH AS BUILDING MATERIAL, PRODUCT/MATERIAL SHIPPING WASTE, FOOD CONTAINERS AND CUPS, AND PROVIDING CONTAINERS FOR THE PROPER DISPOSAL OF WASTE PAINTS SOLVENTS, AND CLEANING COMPOUNDS.

PROVISIONS OF PORTABLE TOILETS FOR PROPER DISPOSAL OF SANITARY SEWAGE.

STORAGE OF CONSTRUCTION MATERIALS AWAY FROM DRAINAGE COURSES AND LOW AREAS.

INSTALLATION OF CONTAINMENT BERMS AND USE OF DRIP PANS AT PETROLEUM PRODUCT AND LIQUID STORAGE TANKS AND CONTAINERS.

3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY AND GOOD ENGINEERING PRACTICES. THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE OF THE SEEDING PERIOD, SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED.
4. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING ALL ADDITIONAL STANDARDS, SPECIFICATIONS OR REQUIREMENTS WHICH ARE REQUIRED BY GOVERNING AGENCIES (INCLUDING LOCAL, STATE AND FEDERAL AUTHORITIES) HAVING JURISDICTION OVER THE WORK PROPOSED BY THESE CONSTRUCTION DRAWINGS.
5. ALL EROSION CONTROL MEASURES, TEMPORARY OR PERMANENT, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED IMMEDIATELY AFTER EACH HEAVY RAINSTORM AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE REPAIR WORK INCLUDING RELATED INCIDENTALS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.

ESTIMATE OF QUANTITIES				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	AS-BUILT
GRADING				
1	EXCAVATION	C.Y.	39	
2	EMBANKMENT	C.Y.	961	
SITE DISTURBANCE				
3	INLET PROTECTION	EA.	6	
4	SILT FENCE	L.F.	734	
5	DISTURBED AREA	AC.	0.93	
6	TEMPORARY CONSTRUCTION ENTRANCE	EA.	1	

SUMMARY OF QUANTITIES AS INDICATED ABOVE AND ANY QUANTITIES AS SHOWN WITHIN THE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

EROSION CONTROL GENERAL NOTES

SITE DEVELOPMENT PLANS

NEW LONGVIEW  
LOT 44

LEE'S SUMMIT, MO

2018

drawn by: D.A.H.O.  
checked by: J.S.  
designed by: S.S.  
QA/QC by: M.G.D.  
project no.: 018-1095  
date: 2018.04.04

SHEET  
C015

OLSSON<sup>®</sup>

ASSOCIATES

NO. 041692  
300 E. HURON STREET, SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL 816.597.4320  
FAX 816.597.1393  
www.olssonassociates.com

STATE OF MISSOURI

JULIE ELAINE SELLERS

*Julie Sellers*

NUMBER PE-2017000367

PROFESSIONAL ENGINEER

BY

REVISIONS DESCRIPTION




DATE

NO. REV.

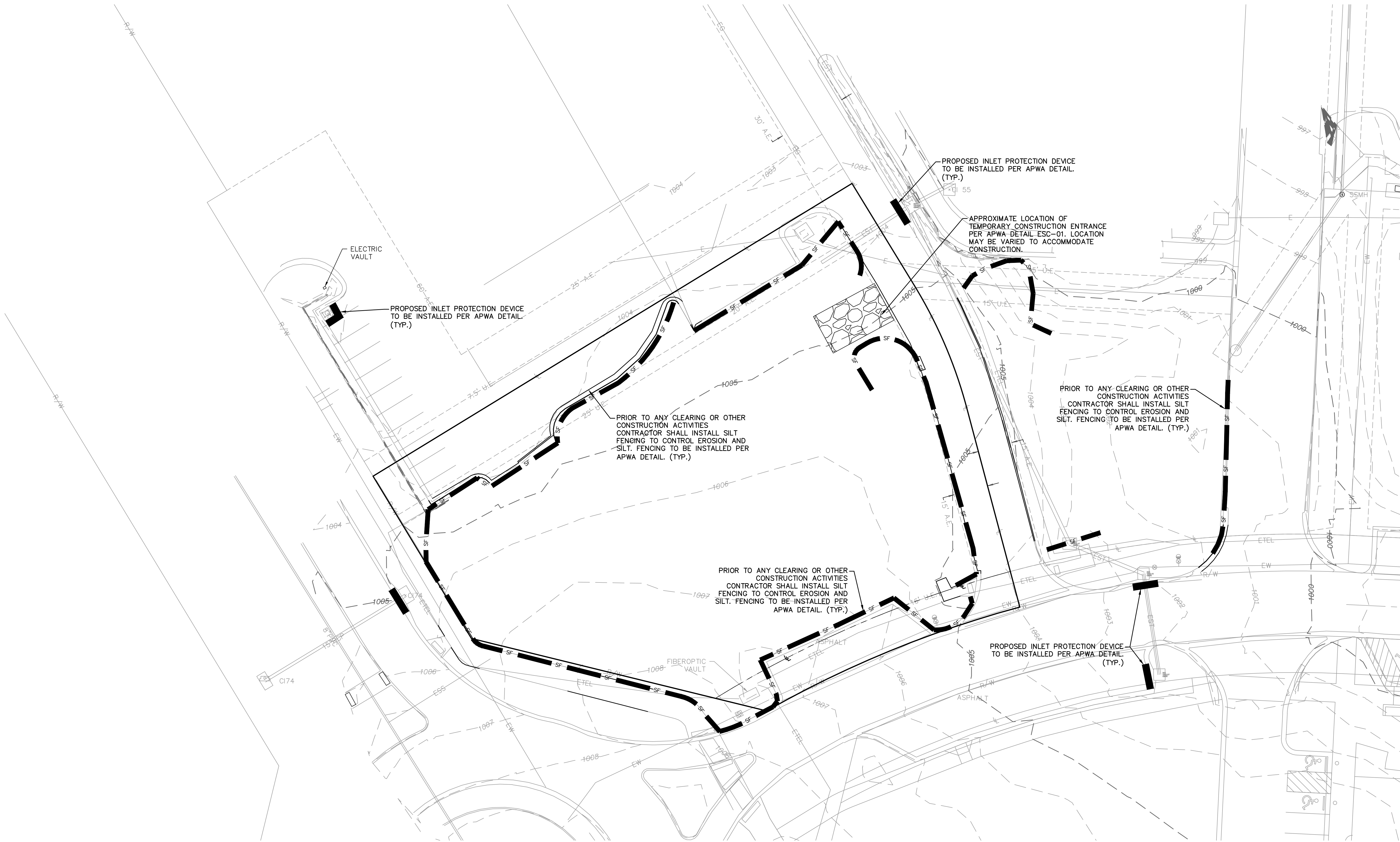
REVISIONS



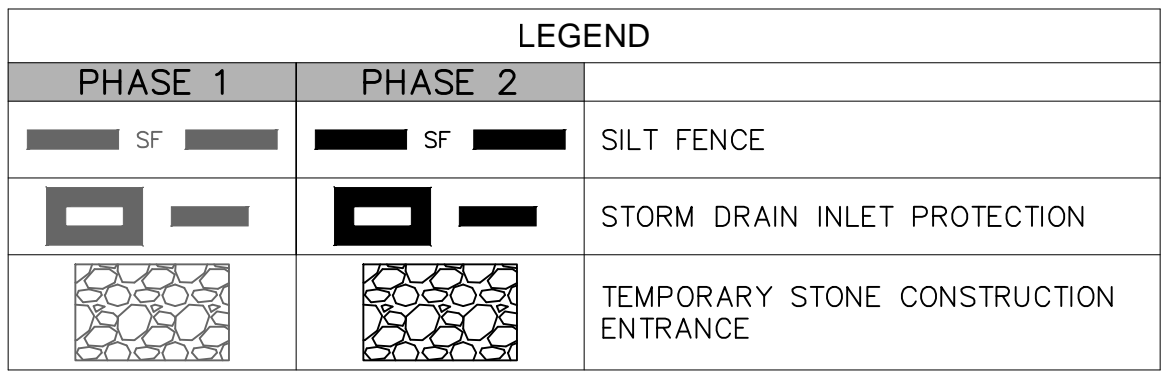
DWG: F:\2017\3001-3500\017-3175\40-Design\AutoCAD\Final Plans\Sheets\GNCV\01\_Site Plans\_36x24\C\_ERC01\_73175.dwg  
DATE: May 30, 2018 11:23am  
USER: jsellers

LEGEND	
PHASE 1	
	SILT FENCE
	STORM DRAIN INLET PROTECTION
	TEMPORARY STONE CONSTRUCTION ENTRANCE

NOTE:  
THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.







**OLSSON®**  
**A S S O C I A T E S**

NO Certificate of Authority #001562  
100 E. HARRIS SUITE 100  
NORTH HAVEN, CT 06474  
TEL 916 897 4520  
FAX 916 897 1393  
[www.olssonassociates.com](http://www.olssonassociates.com)



SEED & MULCH NOTES:  
SEEDING SHALL BE DONE BEFORE THE PROPOSED SEEDBED BECOMES ERODED, CRUSTED OVER, OR DRIED OUT AND SHALL NOT BE DONE WHEN THE GROUND IS FROZEN, OR COVERED WITH SNOW. THE SEED SHALL COMPLY WITH THE REQUIREMENTS OF THE MISSOURI SEED LAW AND THE FEDERAL SEED ACT. ALSO, IT SHALL CONTAIN NO SEED OF ANY PLANT ON THE FEDERAL NOXIOUS WEED LIST. OTHER WEED SEED SHALL NOT EXCEED ONE PERCENT BY WEIGHT OF MIX.

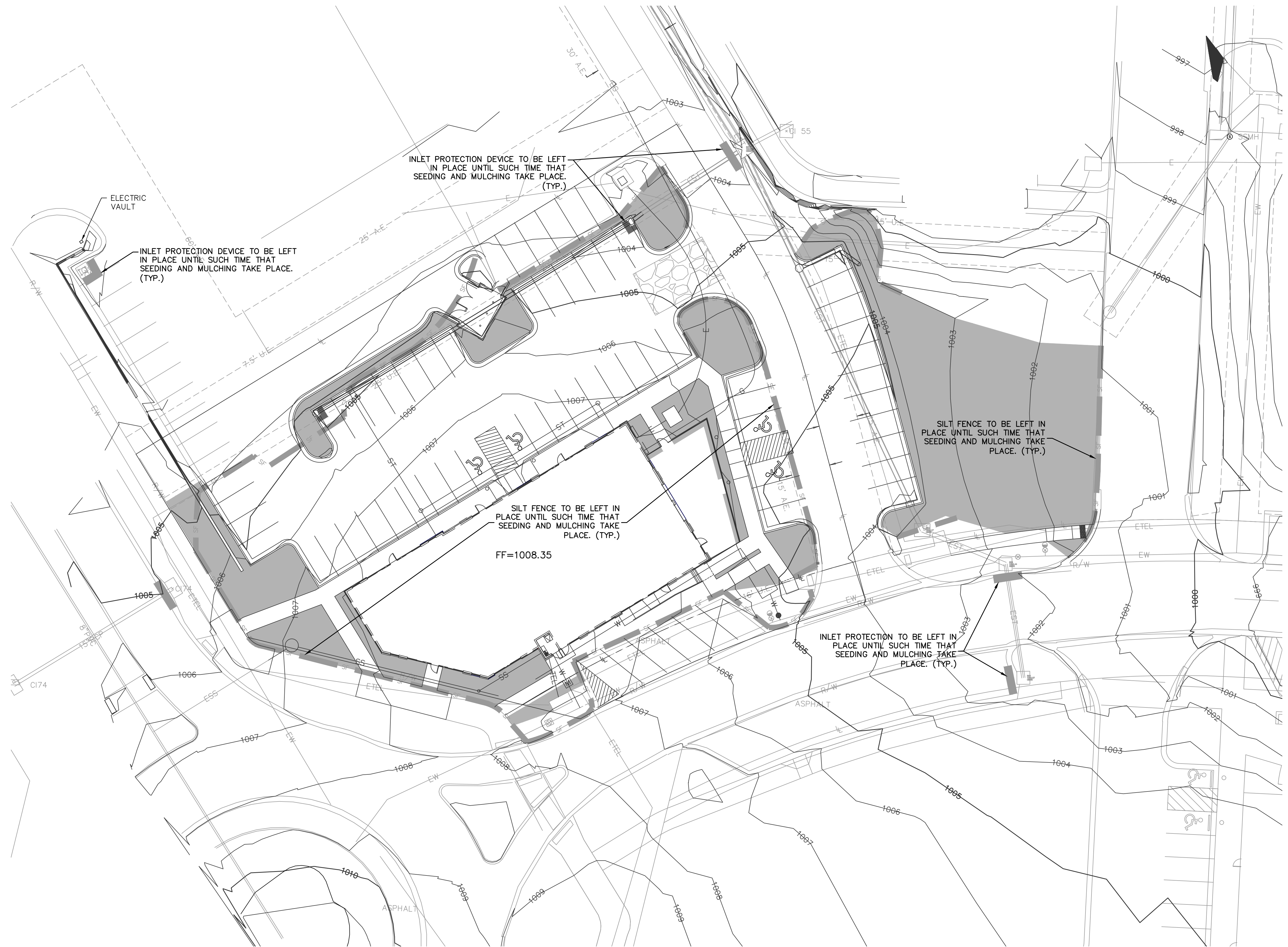
SEED & FERTILIZER RATE:  
MIX I - RYE GRASS / BLUE GRASS -----100 LBS. PER ACRE  
MIX II - TALL FESCUE / BLUE GRASS -----195 LBS. PER ACRE  
LIME -----2000 LBS. PER ACRE  
(50 LBS. PER 1000 SQ. FT.)  
FERTILIZER -----800 TO 1200 LBS.  
PER ACRE (25 LBS. PER 1000 SQ. FT.)










DURING THE DATES DECEMBER 15TH THROUGH MAY 31 ALL LIME, FERTILIZER, SEED, AND MULCH SHALL BE APPLIED TO FINISHED SLOPES OF DISTURBED AREAS. DURING THE MONTHS OF JUNE, JULY, OCTOBER, AND NOVEMBER 1ST THROUGH DECEMBER 15TH LIME, FERTILIZER, SEED, AND MULCH SHALL BE APPLIED AT THE FOLLOWING RATES:

LIME - 100 % OF SPECIFIED QUANTITY  
FERTILIZER - 75 % OF THE SPECIFIED QUANTITY  
SEED - 50 % OF THE SPECIFIED QUANTITY  
MULCH - 100 % OF THE SPECIFIED QUANTITY

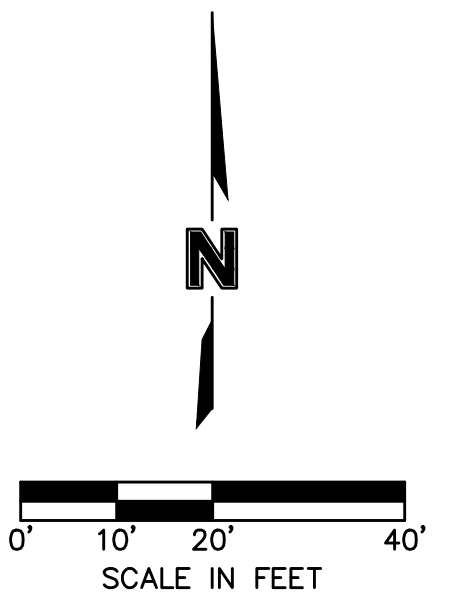
MULCH SHALL BE VEGETATIVE TYPE, CEREAL STRAW FROM STRALKS OF OATS, RYE, OR BARLEY, OR APPROVED EQUAL. THE STRAW SHALL BE FREE OF PROHIBITED WEED SEED AND RELATIVELY FREE OF ALL OTHER NOXIOUS AND UNDESIRABLE SEED. MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE, (70 TO 90 LBS. PER 1000 SQ. FT.). MULCH SHALL BE EMBEDDED BY A MULCH ANCHORING TOOL OR DISK TYPE ROLLER HAVING FLAT SERRATED DISKS SPACED NOT MORE THAN 10 INCHES APART AND CLEANING SCRAPERS SHALL BE PROVIDED.

THE SITE DISTURBANCE PLANS INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

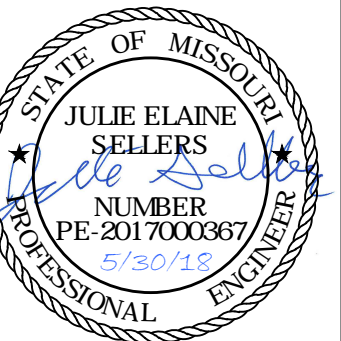


LEGEND			
PHASE 1	PHASE 2	PHASE 3	
			SILT FENCE
			STORM DRAIN INLET PROTECTION
			TEMPORARY STONE CONSTRUCTION ENTRANCE

SEED DISTURBED AREAS PER  
MIX DESIGN THIS SHEET



**VOOLSSON<sup>®</sup>**  
**ASSOCIATES**



1301 BURLINGTON, SUITE 100  
NORTH KANSAS CITY, MO 64116  
TEL 816.587.4320  
FAX 816.587.1393  
www.olssonassociates.com

[illegible]

## EROSION CONTROL PLAN - PHASE 3 SITE DEVELOPMENT PLANS

NEW LONGVIEW  
LOT 44

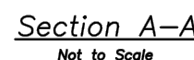
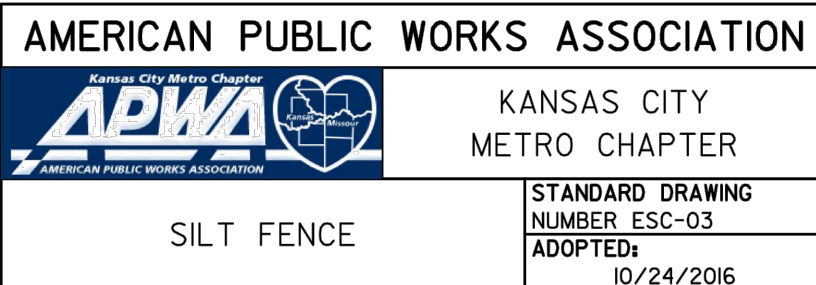
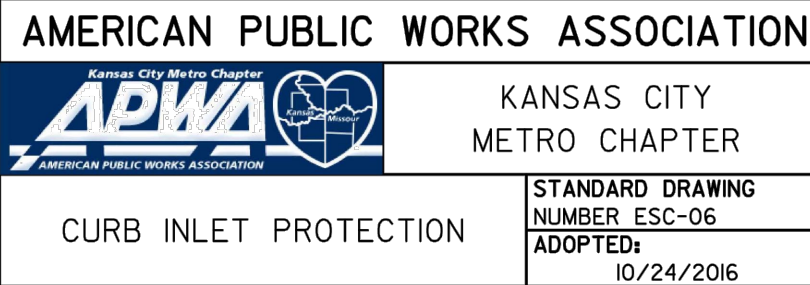
2018

LEE'S SUMMIT, MO

Drawn by: D.A.H.Q  
 Checked by: J.S.  
 Designed by: S.S.  
 A/QC by: M.G.D.  
 Project no.: 018-1095  
 Date: 2018.04.04

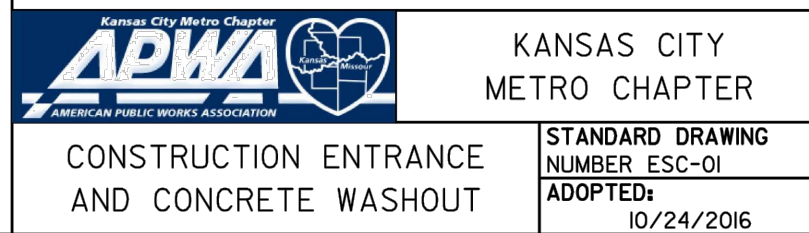
SHEET  
C018



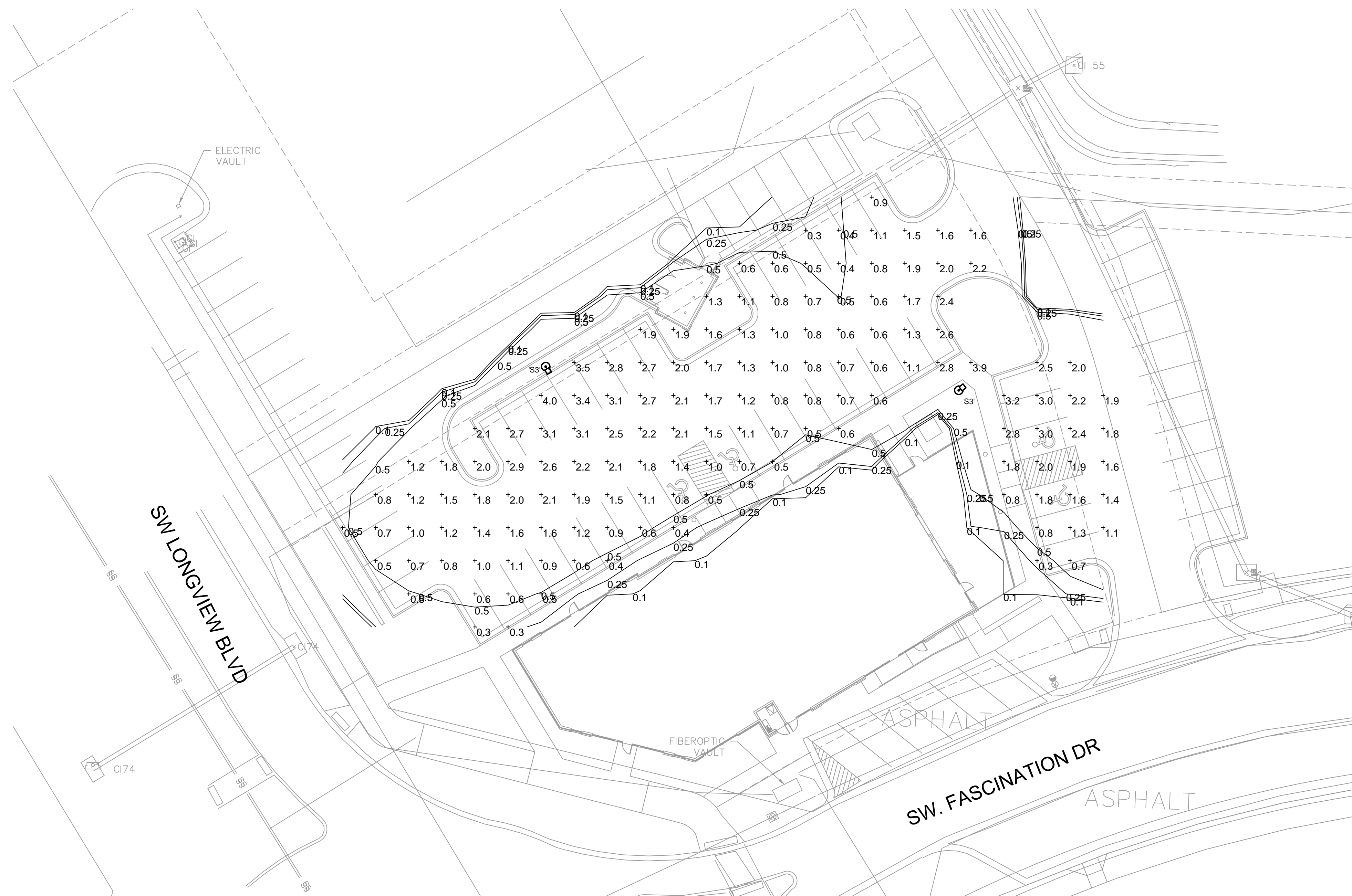


- CONSTRUCTION ENTRANCE

- CONCRETE WASHOUT




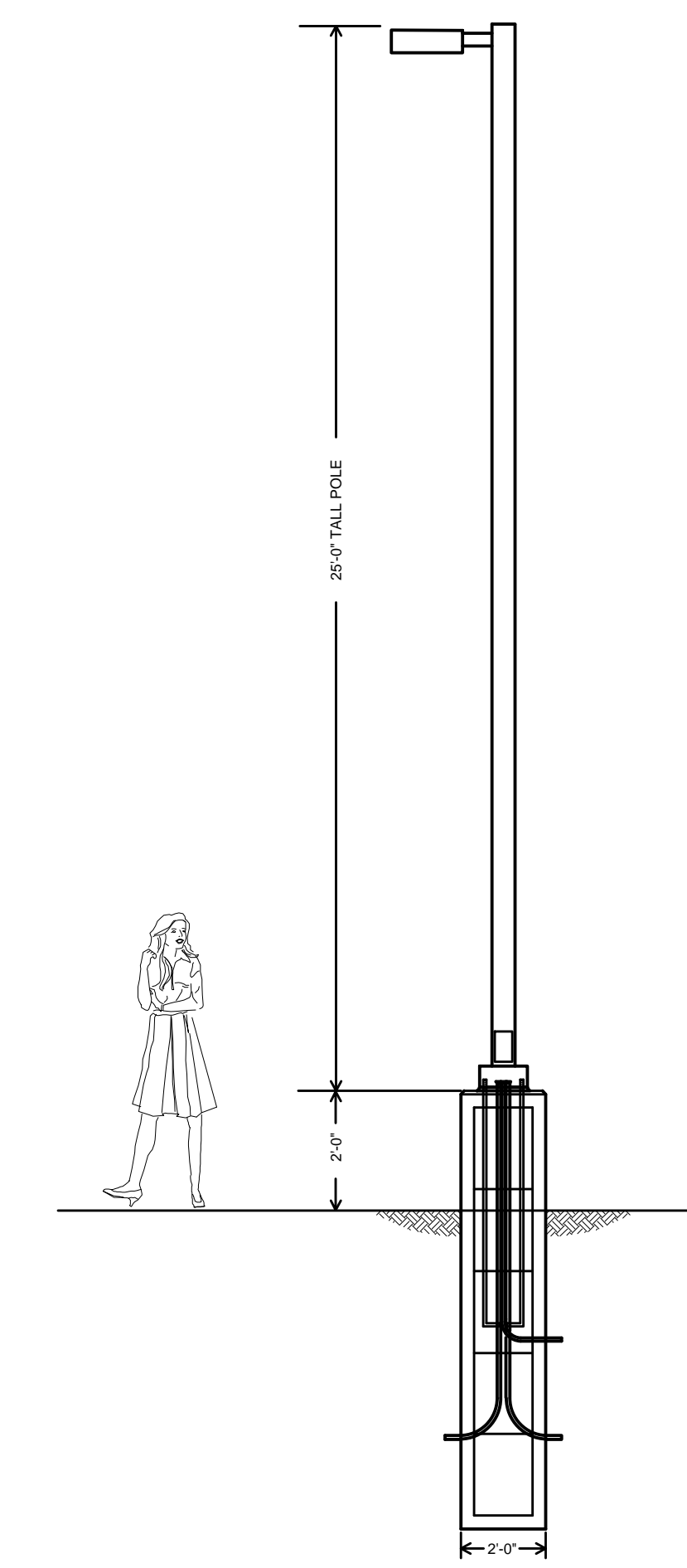
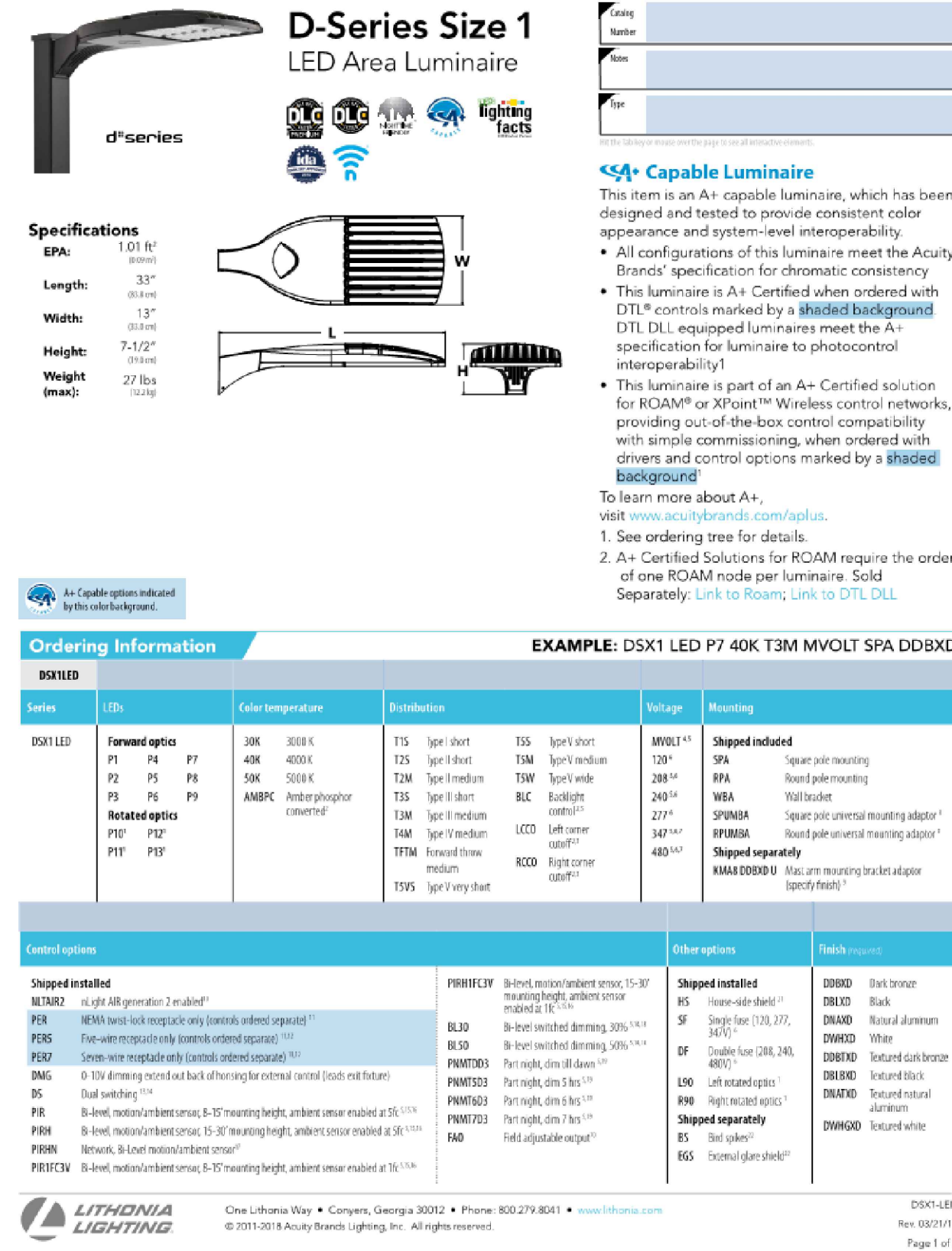




 **1 SITE LIGHTING PHOTOMETRICS PLAN**  
SCALE: 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.5 fc	4.0 fc	0.3 fc	13.3:1	5.0:1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Factor	Light Loss Factor	Wattage
	S3	2	Lithonia Lighting	DSX1 LED P7 40K T3M MVOLT	DSX1 LED P7 40K T3M MVOLT	LED	1	DSX1_LED_P7_40K_T3M_MVOLT.ies	20140	0.9	183



2 LIGHT FIXTURE AND FOUNDATION  
SCHEMATIC DETAIL  
SCALE: NONE

[illegible]