

EXISTING ZONING	PI
PROPOSED ZONING	PI AND CP-2
SITE AREA	6.82 ACRES(297,179.39 S.F.)
TOTAL BUILDING FOOTPRINT AREA	20,794 S.F. EXCLUDES LOT 1 PREVIOUSLY APPROVED
TOTAL BUILDING AREA	70,264 S.F.
TOTAL PAVEMENT AREA	162,348.65 S.F.
TOTAL IMPERVIOUS AREA	223,608.65 S.F.
TOTAL OPEN AREA	120,000.49 S.F.
FAR	.559
IMPERVIOUS COVERAGE	70%

RETAIL/RESTAURANT	
LOT 2 AREA	1.24 ACRES (42,014.4 S.F.)
TOTAL BUILDING AREA	4,000 S.F.

RETAIL/RESTAURANT	
LOT 3 AREA	0.92 ACRES (40,075.20 S.F.)
TOTAL BUILDING AREA	3,000 S.F.

RETAIL/RESTAURANT	
LOT 4 AREA	0.81 ACRES (35,283.60 S.F.)
TOTAL BUILDING AREA	2,104 S.F.

LOT 5 AREA	2.29 ACRES (99,752.40 S.F.)
TOTAL BUILDING AREA	61,160 S.F.
TOTAL NUMBER OF ROOMS	98

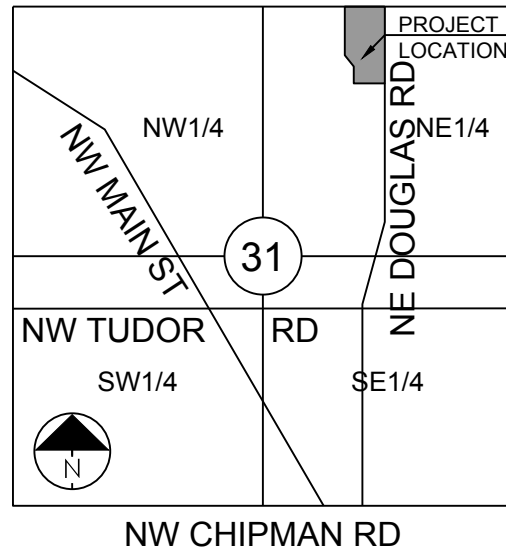
	PARKING REQUIRED	PARKING PROPOSED
LOT 1	8 SPACES (PER FACILITY & 1 PER EMPLOYEE MAX SHIFT)	8 SPACES
LOT 2	56 SPACES (14 PER 1,000 S.F.)	55 SPACES(REQUEST MODIFICATION)
LOT 3	42 SPACES (14 PER 1,000 S.F.)	42 SPACES
LOT 4	29 SPACES (14 PER 1,000 S.F.)	30 SPACES
LOT 5	98 SPACES (1 PER ROOM)	98 SPACES

233 SPACES

LOT 1 2018
LOTS 2-5 AS MARKET DEMANDS

1. LOT 2 REDUCE PARKING 1 SPACE LESS THAN CODE REQUIRED TO ALLOW AN ADDITIONAL 72 S.F.
2. REDUCE PARKING SETBACK TO 18 FEET ALONG DOUGLAS STREET WHICH IS A REDUCTION OF 2 FEET

1. BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
2. TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
3. AN EASEMENT OR LICENSE WILL, GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZH THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, CABLES, CONDUITS AND/OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "UE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
4. THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
5. THE EASEMENT OR LICENSE SHALL BE ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
6. ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS.
7. ALL PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
8. ALL DRIVES AND PARKING TO BE ASPHALT UNLESS OTHERWISE NOTED ON THE PLAN.
9. ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
10. ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
11. BASED ON THE GEOLOGIC DATA LIBRARY ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
12. ALL LIGHTS SHALL BE ARRANGED, LOCATED AND/OR SCREENED SO THAT LIGHT IS DIRECTED AWAY FROM AND NO LIGHT SOURCE IS VISIBLE FROM A PUBLIC STREET OR RESIDENTIAL USE.
13. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.
14. IFC 903.3.7- Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch floor to type fitting and located within 100 feet of a fire hydrant, or as approved by the fire code official.
15. IFC 507.5.1- Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
16. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
17. IFC 503.2.1- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved gates or gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).
18. IFC 503.2.3- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
19. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
20. IFC 506.1- Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall be accessible to the access route. IFC 506.1.1 Locks. An approved lock shall be provided on the gate and shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
21. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
22. Please note that parking lot design must meet the UDO Article 12 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
23. All public infrastructure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
24. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 15 feet.
25. All lighting shall comply with the lighting standards contained within Architcture 7 of the UDO.



SECTION 31-48-31

LOCATION MAP
SCALE 1" = 2000'

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.

Beginning at the NORTHWEST CORNER OF THE NORTHEAST 1/4 SEC 31, T 48N, R13W, thence South 88 degrees 04 minutes 20 seconds East a distance of 850.54 feet to the Northwest corner of L02, MINOR PLAT POLYTRANSITION ADDITION LOTS 1 & 2, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, a SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI as recorded at Jackson County, thence South 88 degrees 04 minutes 20 seconds East a distance of 459.51 feet, thence South 01 degrees 47 minutes 43 seconds West a distance of 100.00 feet to the point of curvature, thence along a curve to the left, having a radius of 115.00 feet, 33 degrees 15 minutes 39 seconds, a chord bearing North 53 degrees 07 minutes 19 seconds East, and an arc length of 66.76 feet; thence North 36 degrees 29 minutes 29 seconds East a distance of 39.14 feet to a point of curvature, thence along a curve to the left, tangent to the previous course and having a radius of 115.00 feet, a central angle of 34 degrees 12 minutes 47 seconds, a chord bearing of North 19 degrees 23 minutes 06 seconds East, and an arc length of 66.67 feet; thence North 02 degrees 16 minutes 52 seconds West a distance of 379.85 feet; thence North 88 degrees 04 minutes 14 seconds West a distance of 194.26 feet; thence North 01 degrees 55 minutes 46 seconds East a distance of 237.66 feet, to the Point of Beginning, and containing 6.8223 acres, more or less.

Part of Lot 2, Minor Plat, "POLY TAINERS ADDITION LOTS 1 & 2" (a replat of Lot 1, Lee's Summit North Industrial Park, First Plat, a subdivision in Lee's Summit, Jackson County Missouri) and right-of-way for Northeast Douglas Street and Northwest Victoria Drive, in the Northeast One-Quarter of Section 31, Township 48, and Range 31, being more particularly described as follows.

Commencing at the Northwest corner of the said Northeast One-Quarter; thence South 88 degrees 04 minutes 20 seconds East (South 89 degrees 56 minutes 58 seconds East, Platted), along the North line of the said Northeast One-Quarter a distance of 1310.14 feet; thence South 01 degrees 47 minutes 43 seconds West a distance of 237.67 feet to a point of Beginning; thence continuing South 01 degrees 47 minutes 43 seconds West a distance of 642.67 feet; thence North 88 degrees 03 minutes 31 seconds East a distance of 103.33 feet; thence North 01 degrees 47 minutes 43 seconds East (North 02 degrees 03 minutes 31 seconds East, Platted), along the West line of the said Northeast One-Quarter a distance of 124.22 feet to a point of curvature; thence along a curve to the left, having an initial tangent bearing of North 69 degrees 47 minutes 53 seconds East, a radius of 115.00 feet, a central angle of 33 degrees 18 minutes 24 seconds and an arc length of 66.85 feet; thence North 36 degrees 29 minutes 29 seconds East a distance of 39.14 feet to a point of curvature; thence along a curve to the left, tangent to the previous course and having a radius of 115.00 feet, a central angle of 34 degrees 12 minutes 47 seconds and an arc length of 66.67 feet; thence North 36 degrees 29 minutes 29 seconds East a distance of 12.99 feet; thence South 89 degrees 04 minutes 14 seconds East a distance of 265.76 feet, said point being the Point of Beginning, and containing 4.3134 acres, more or less.



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 Missouri State Certificate of Authority
 #E20000038900/F #A020010095237 #LS2000008589-F

OAKVIEW STORAGE
PRELIMINARY DEVELOPMENT PLAN
ONE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

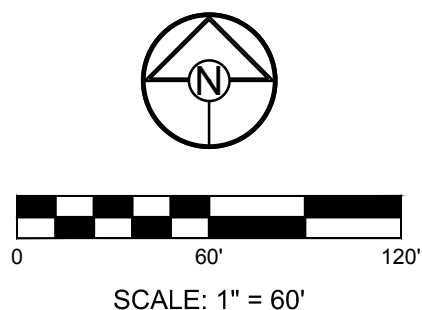
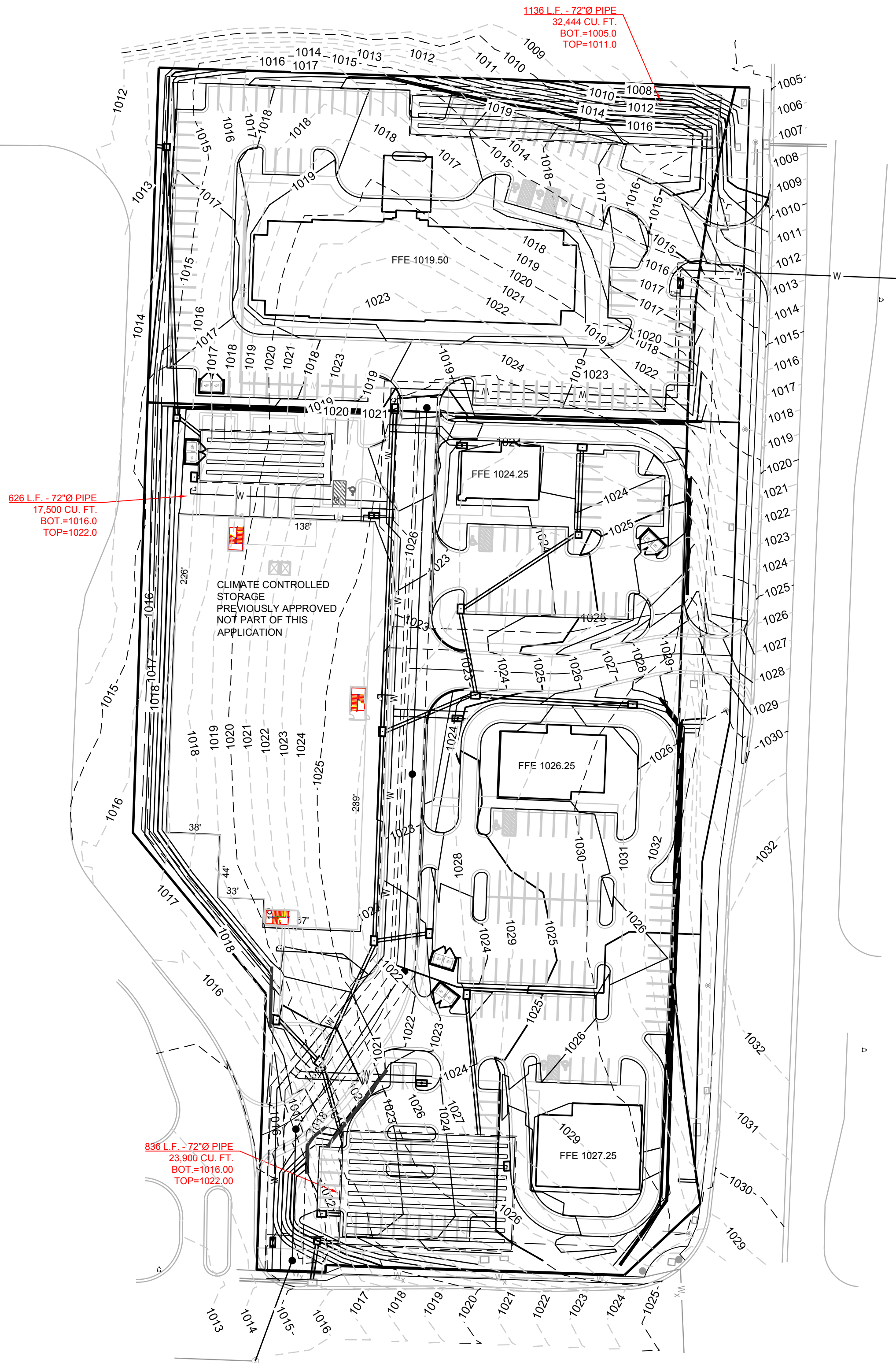
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		2	
		3	
CHECKED BY:		4	
DSF		5	
		6	
DATE PREPARED:		7	
3-2-18		8	
PROJ. NUMBER:			

SITE PLAN

SHEET

C1.0

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OAKVIEW STORAGE
PRELIMINARY DEVELOPMENT PLAN
NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

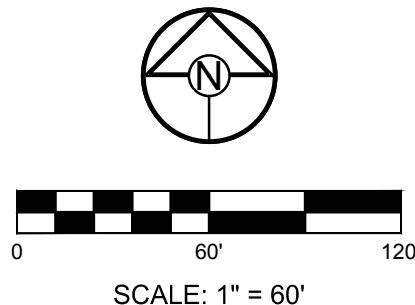
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CHECKED BY:	2	
DGF	3	
DATE PREPARED:	4	
3-2-18	5	
PROJ. NUMBER:	6	
17-135	7	
	8	

PRELIMINARY
DEVELOPMENT
PLAN

SHEET
C2.0
OF



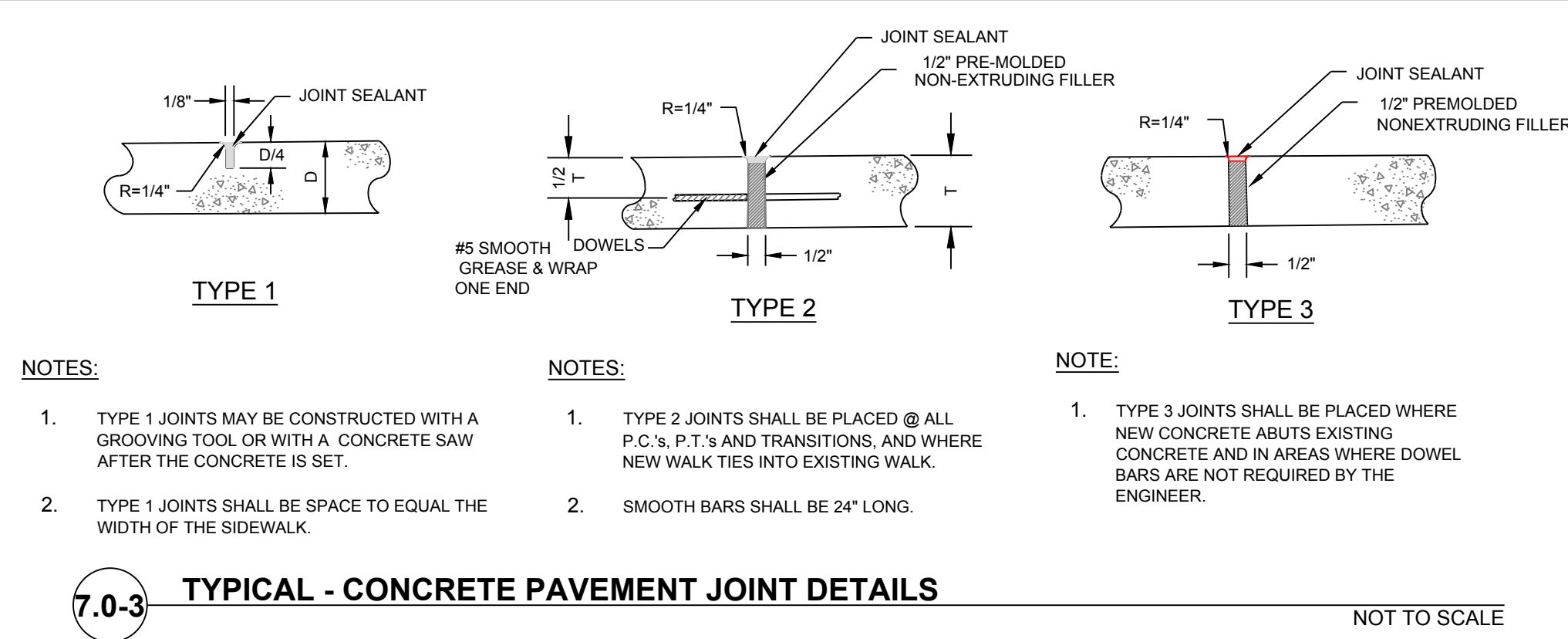
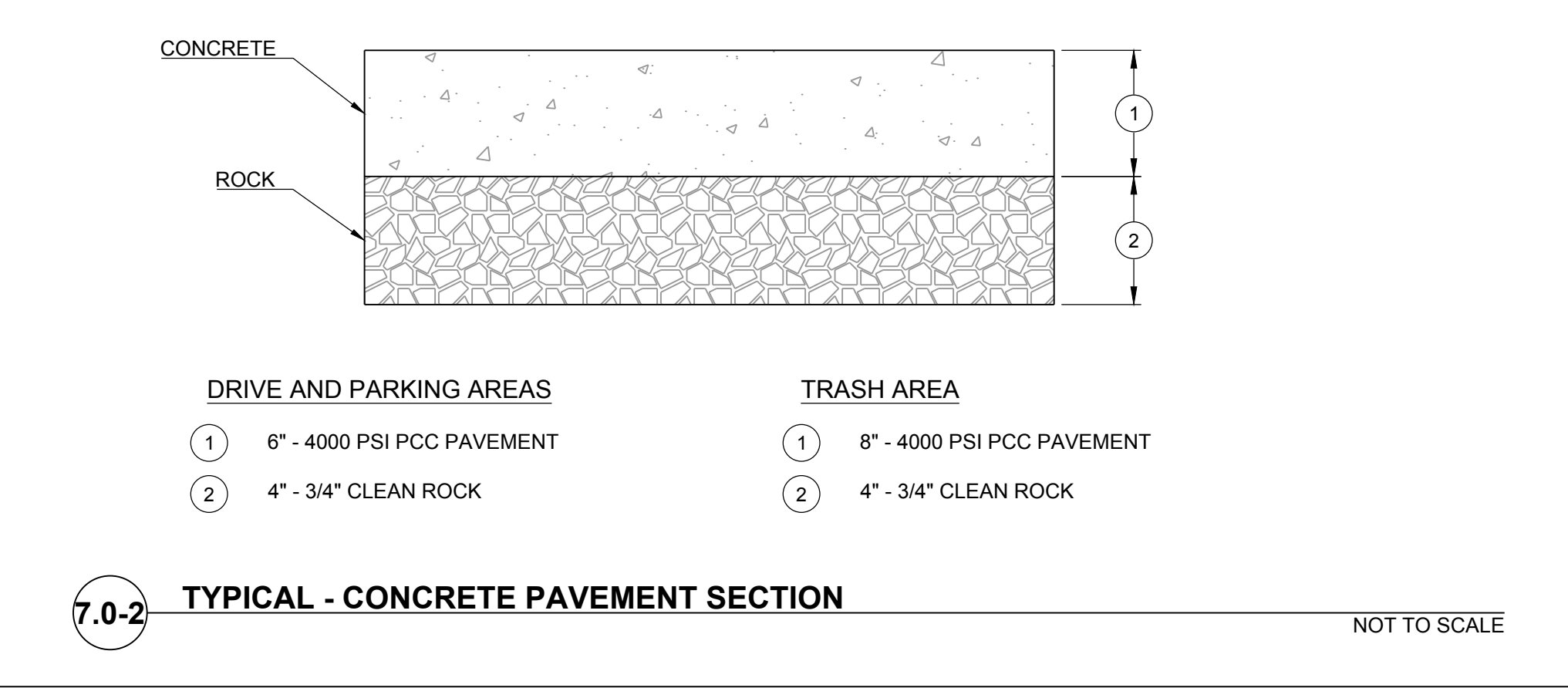
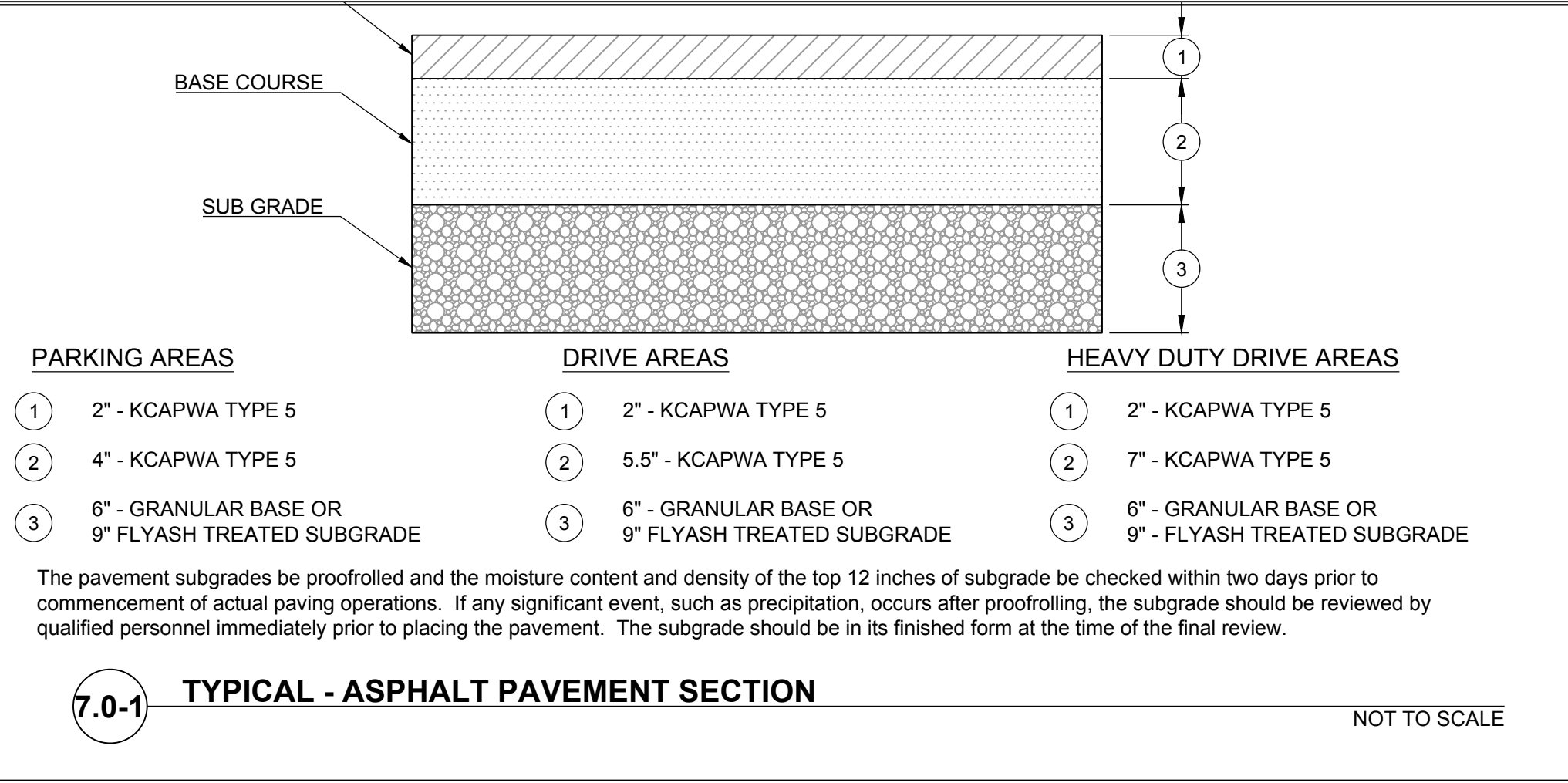
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L1.0

OF

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Cimarron LED



Applications

- Spaulding's most popular area site lighting fixture newly designed with the most advanced LED lighting technology to deliver energy efficiency, safety and security to meet today's outdoor site lighting needs.

Features

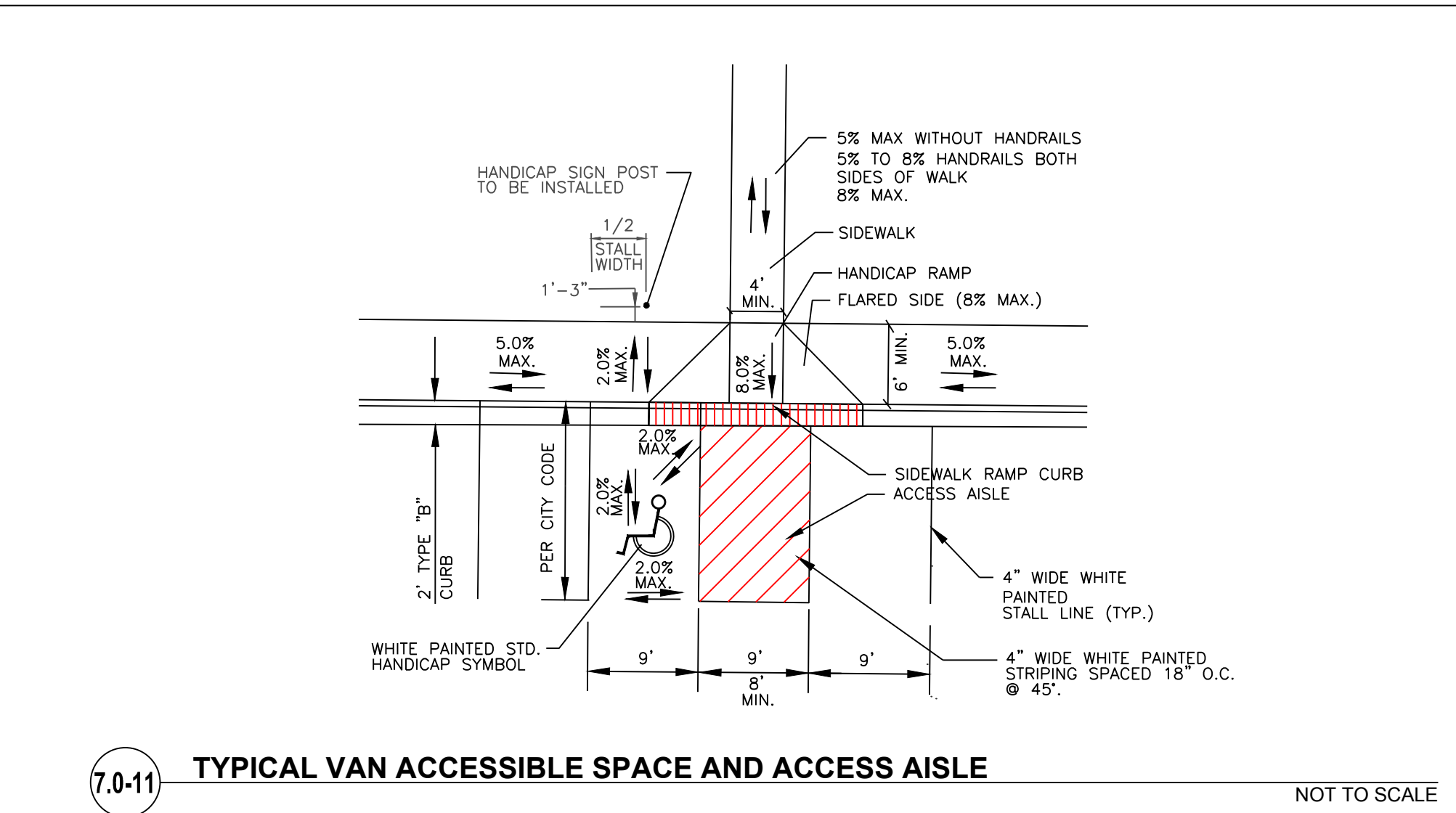
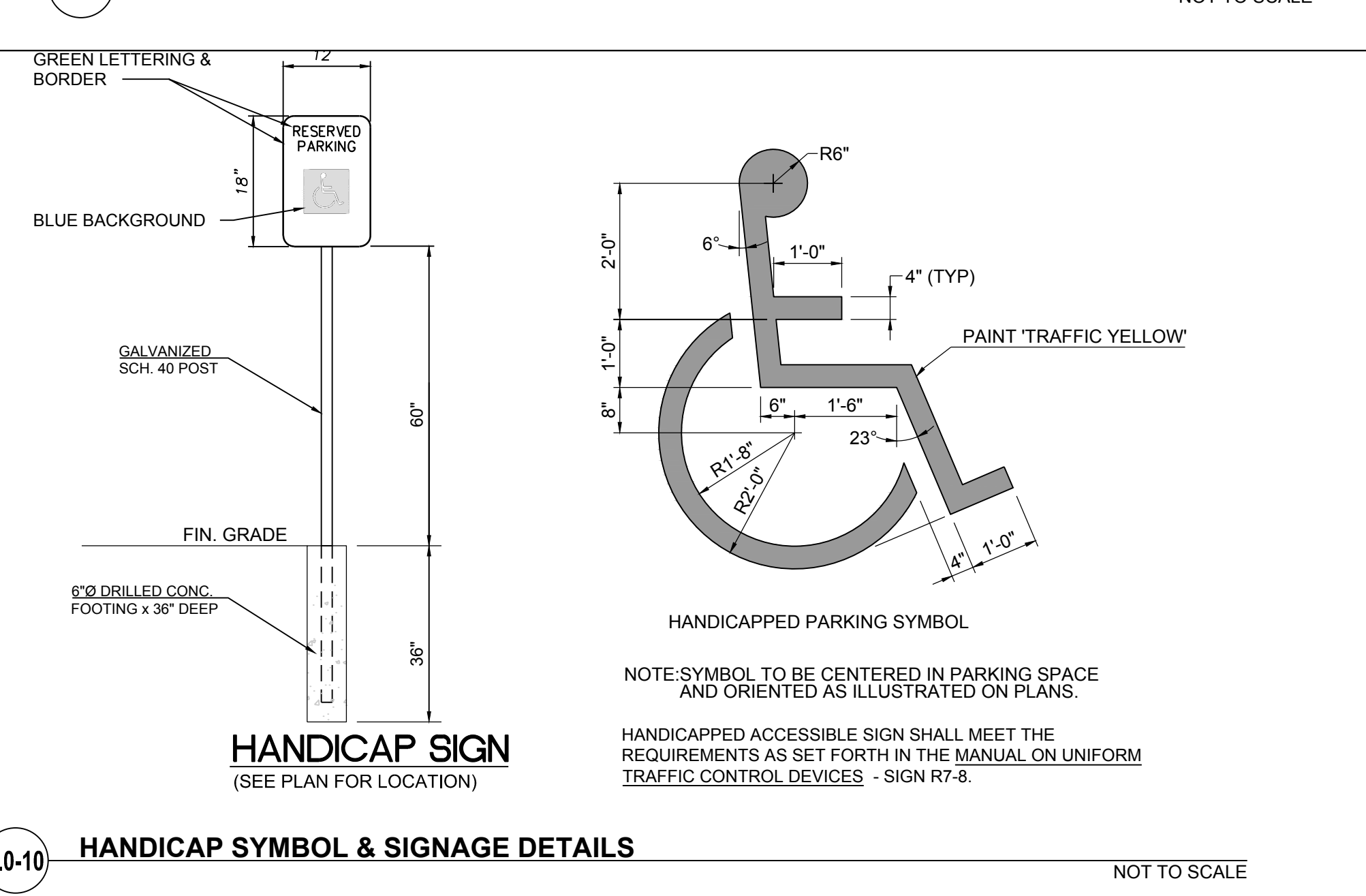
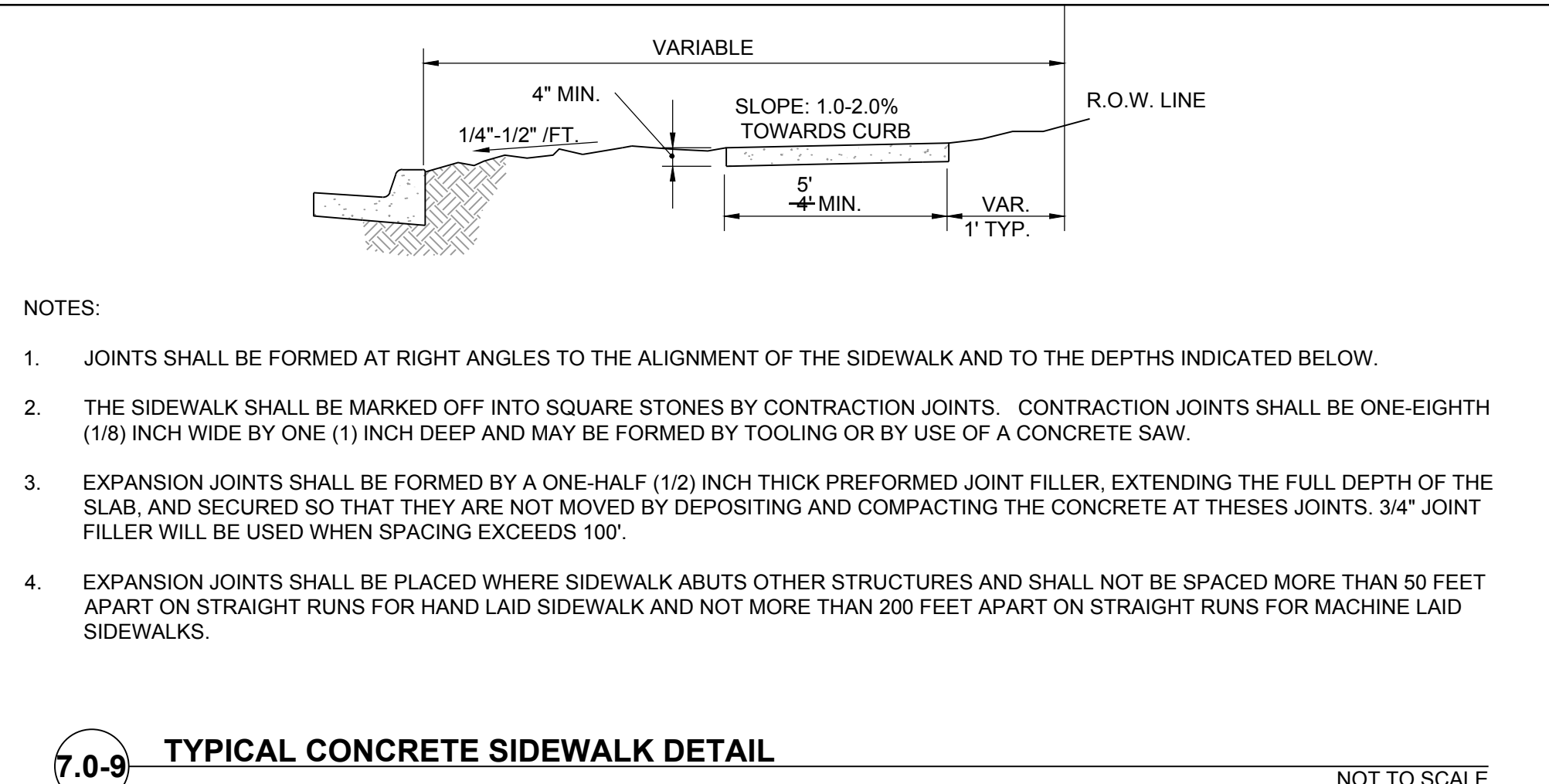
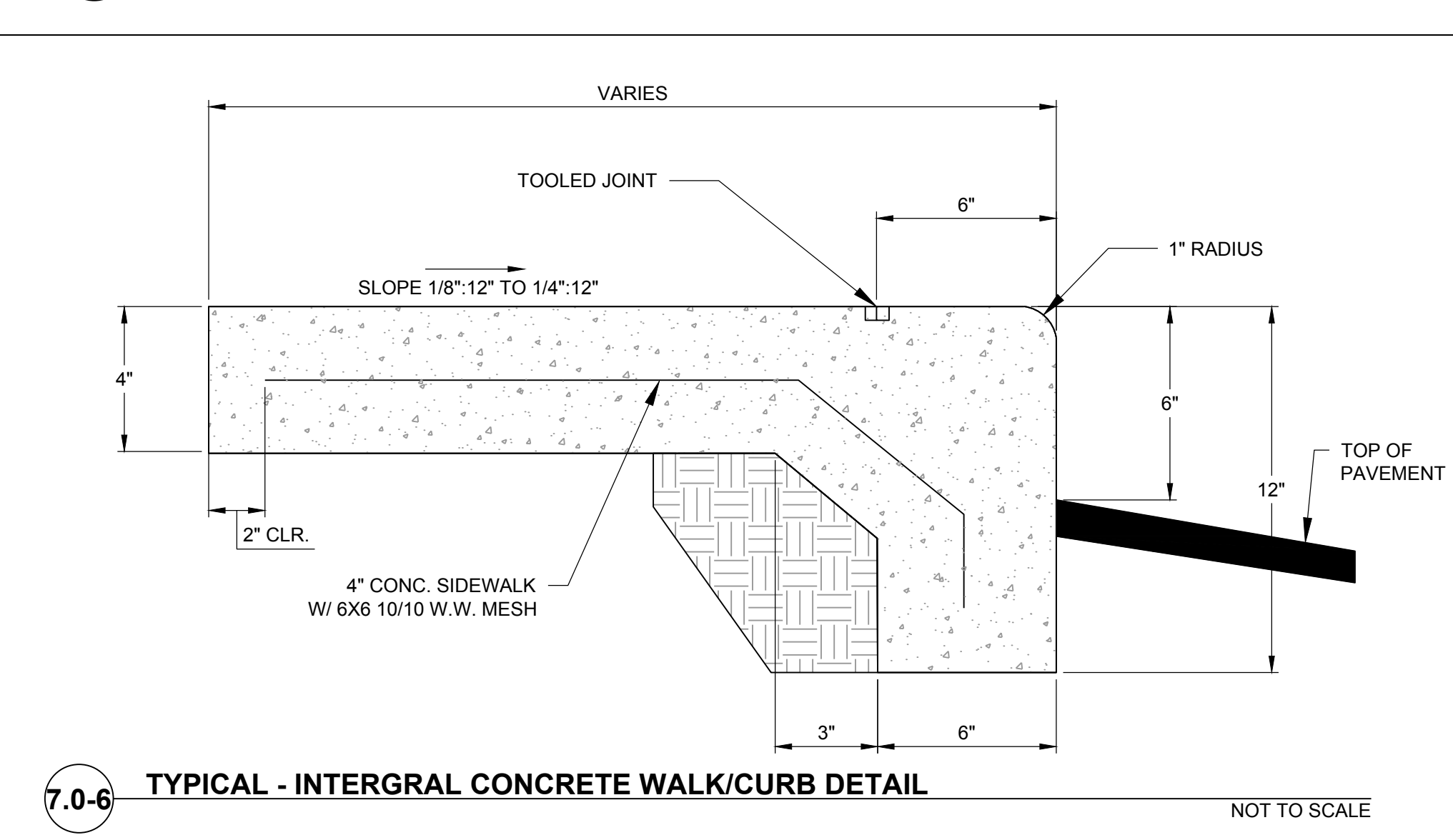
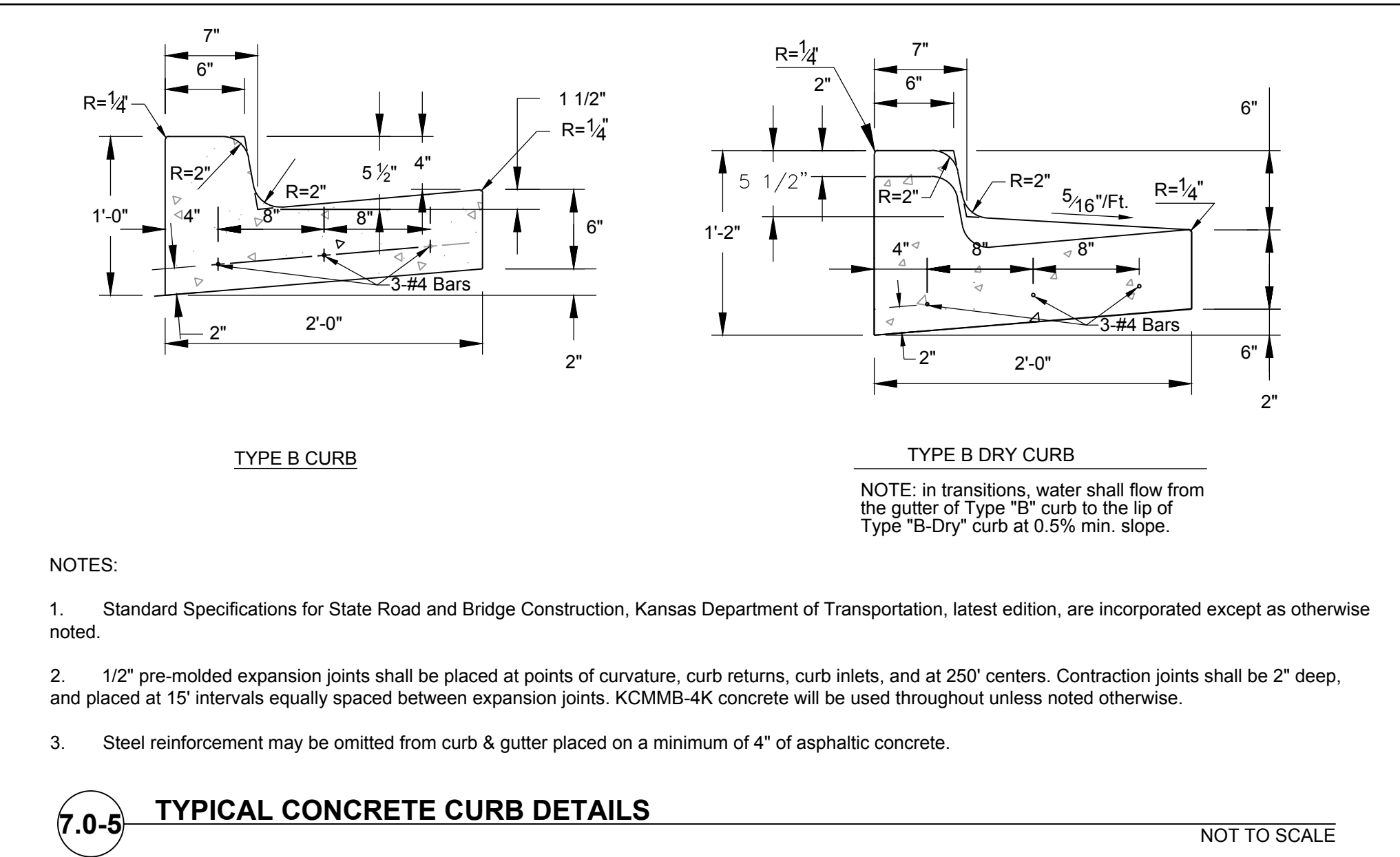
- Cimarron LED incorporates a unique vertically-finned die-cast housing that optimizes heat transfer to keep the fixture cool and maximize component life.
- Multiple LED configurations with over 26,000 lumens
- DesignLights Consortium (DLC) listed
- Design flexibility is optimized with 32 high brightness LED light engine configurations in IES type II, III, IV and V distributions enables mounting heights from 15ft to over 35ft.
- Maintenance free housing designed to IP65 and 60,000 hours life
- Energy control option uses less than 50% of the energy of an equivalent HID at full brightness
- Internal self-monitoring sensor detects above-tolerance temperatures and automatically reduces heat load to preserve LED life
- Mounting versatility with choice of traditional straight, architectural upswep die-cast aluminum or mast arm fitter designs
- Optional vandal resistant guard provides additional protection when necessary
- 20KA surge protection with an end of life LED indicator

Certifications

- DesignLights Consortium (DLC) qualified
- UL1598A
- CSA
- Wet listed
- IDA

FIXTURES MOUNTED AT 25'
FIXTURE TO MATCH LOT 1 FIXTURES

2 TYPICAL PARKING LOT LIGHT NOT TO SCALE



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OAKVIEW STORAGE
PRELIMINARY DEVELOPMENT PLAN
NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	4/3/2018	17-135
2	4/3/2018	17-135
3	4/3/2018	17-135
4	4/3/2018	17-135
5	4/3/2018	17-135
6	4/3/2018	17-135
7	4/3/2018	17-135
8	4/3/2018	17-135

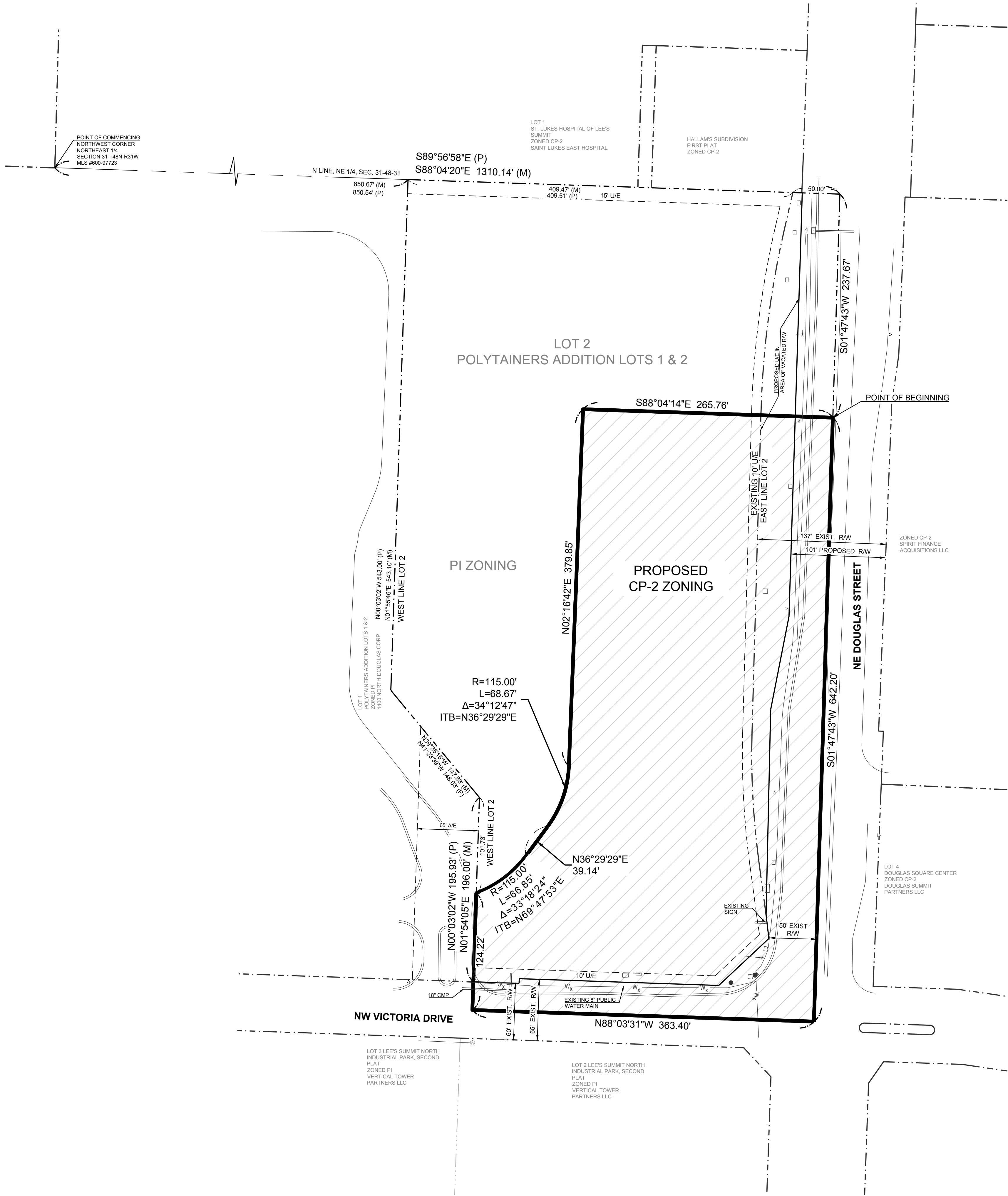
SITE DETAILS

SHEET

C3.0

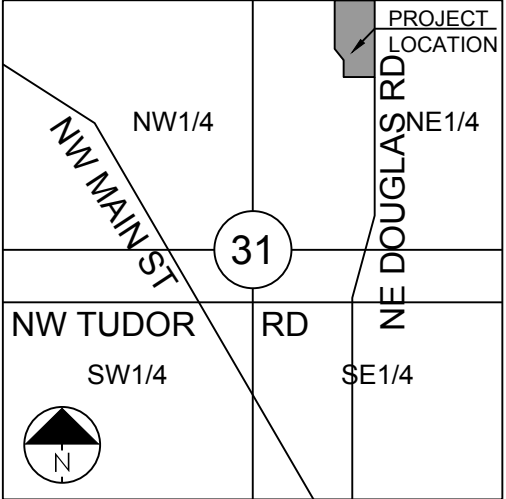
PLAN REVIEW/BID SET

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OVERALL SITE DATA

EXISTING ZONING	PI
PROPOSED ZONING	PI AND CP-2
SITE AREA	7.01 ACRES (PLATTED)
LOT 2:	7.4602 ACRES OR 324965.77 SQ FT
PROPOSED LOT AREA:	



SECTION 31-48-31

LOCATION MAP
SCALE 1" = 2000'

OVERALL LEGAL DESCRIPTION

LOT 2, MINOR PLAT, "POLYTAINERS ADDITION LOTS 1 & 2" (A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI) AND RIGHT-OF-WAY FOR NORTHEAST DOUGLAS STREET AND NORTHWEST VICTORIA DRIVE, IN THE NORTHEAST ONE-QUARTER OF SECTION 31, TOWNSHIP 48, AND RANGE 31.

CP-2, REZONING LEGAL DESCRIPTION

Part of Lot 2, Minor Plat, "POLYTAINERS ADDITION LOTS 1 & 2" (a replat of Lot 1, Lee's Summit North Industrial Park, First Plat, a subdivision in Lee's Summit, Jackson County Missouri) and right-of-way for Northeast Douglas Street and Northwest Victoria Drive, in the Northeast One-Quarter of Section 31, Township 48, and Range 31, being more particularly described as follows.

Commencing at the Northwest corner of the said Northeast One-Quarter; thence South 88 degrees 04 minutes 20 seconds East(South 89 degrees 56 minutes 58 seconds East, Platted), along the North line of the said Northeast One-Quarter a distance of 1310.14 feet; thence South 01 degrees 47 minutes 43 seconds West a distance of 237.67 feet to the point of Beginning; thence continuing South 01 degrees 47 minutes 43 seconds West a distance of 642.20 feet; thence North 88 degrees 03 minutes 31 seconds West a distance of 363.40 feet; thence North 01 degrees 54 minutes 05 seconds East(North 00 degrees 03 minutes 02 seconds East, Platted), along the West line of said Lot 2 and its Southerly extension a distance of 124.22 feet to a point of curvature; thence along a curve to the left, having and initial tangent bearing of North 69 degrees 47 minutes 53 seconds East, a radius of 115.00 feet, a central angle of 33 degrees 18 minutes 24 seconds and an arc length of 66.85 feet; thence North 36 degrees 29 minutes 29 seconds East a distance of 39.14 feet to a point of curvature; thence along a curve to the left, tangent to the previous course and having a radius of 115.00 feet, a central angle of 34 degrees 12 minutes 47 seconds and an arc length of 68.67 feet; thence North 02 degrees 16 minutes 42 seconds East a distance of 379.85 feet; thence South 88 degrees 04 minutes 14 seconds East a distance of 265.76 feet, said point being the Point of Beginning, and containing 4.3134 acres, more or less.

NOTES:

1. BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PROVIDED BY AND USED WITH APPROVAL OF THE OWNER; PREPARED BY MCLAUGHLIN MUELLER, INC., PROJECT NUMBER 16045, DATED OCTOBER 12, 2016.
2. (P) - PLATTED BEARING/ DISTANCE.
3. (M) - MEASURED BEARING/ DISTANCE FROM PROVIDED SURVEY.

FLOOD NOTE:

According to the Flood Insurance Rate Map of FEMA panel 409 of 625 for map number 20095C0409G dated January 20, 2017 and panel 417 of 625 for map number 29095C0417G dated January 20, 2017, the project lies outside of any identified FEMA floodplain.

OWNER/DEVELOPER:

UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:

OAK VIEW CAPITAL PARTNERS, LLC
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442

OAKVIEW STORAGE
PRELIMINARY DEVELOPMENT PLAN
NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

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DRAWN BY:	REVISION DATE	DESCRIPTION
DGF	1. 4-3-18	CITY COMMENTS
CHECKED BY:	2.	
DGF	3.	
DATE PREPARED:	4.	
3-2-18	5.	
PROJ. NUMBER:	6.	
17-135	7.	

REZONING EXHIBIT

SHEET

1

OF