

AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR AN INDOOR STORAGE FACILITY IN DISTRICT PI ON LAND LOCATED AT 1410 NE DOUGLAS STREET, PROPOSED OAKVIEW STORAGE, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, NO. 5209, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2017-205 submitted by Oakview Capital Partners, LLC, requesting a special use permit for an indoor storage facility in District PI (Planned Industrial) on land located at 1410 NE Douglas Street was referred to the Planning Commission to hold a public hearing; and

WHEREAS, the Unified Development Ordinance provides for the approval of a special use permit by the City following public hearings by the Planning Commission and City Council, and

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the special use permit on November 14, 2017, and rendered a report to the City Council recommending that the special use permit be approved; and

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on December 7, 2017, and rendered a decision to grant said special use permit.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That the application pursuant to Section 10.020.A and Section 10.420 of the Unified Development Ordinance to allow for an indoor storage facility in District PI with a special use permit is hereby granted for a period of 25 years, with respect to the following described property:

Part of Lot 2 as platted in POLYTAINERS ADDITION LOTS 1 & 2, a minor plat in the City of Lee's Summit, Jackson County, Missouri being more particularly described as follows:

Beginning at the Northwest corner of said Lot 2; thence South 88 degrees 04 minutes 20 seconds East (platted South 89 degrees 56 minutes 58 seconds East), along the North line of said Lot 2, a distance of 220.00 feet; thence South 01 degrees 55 minutes 46 seconds West, parallel to the West line of said Lot 2, a distance of 844.81 feet to a point on the South line of said Lot 2; thence North 88 degrees 03 minutes 31 seconds West (platted North 89 degrees 56 minutes 09 seconds West), along the South line of said Lot 2, a distance of 73.03 feet; thence South 01 degrees 56 minutes 29 seconds West (platted South 00 degrees 03 minutes 51 seconds West), continuing along said South line, a distance of 5.00 feet; thence North 88 degrees 03 minutes 31 seconds West (platted North 89 degrees 56 minutes 09 seconds East), along the South line of said Lot 2, a distance of 48.75 feet (platted 48.93 feet) to the Southwest corner of said Lot 2; thence North 01 degrees 54 minutes 05 seconds East (platted North 00 degrees 03 minutes 02 seconds East), along the West line of said Lot 2, a distance of 195.93 feet; thence North 39 degrees 35 minutes 15 seconds West (platted North 41 degrees 23 minutes 39 seconds

West) a distance of 148.03 feet; thence North 01 degrees 55 minutes 46 seconds East (platted North 00 degrees 03 minutes 02 seconds East), along the West line of said Lot 2, a distance of 543.00 feet to the Point of Beginning.

SECTION 2. That the following conditions of approval apply:

1. Remove the standard condition that the roof pitch be 1:3 to allow the building to be built with a flat roof as shown on the elevation rendering date stamped September 22, 2017.
2. The special use permit shall be granted for a time period of 25 years.

SECTION 3. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209, amended from time to time.

SECTION 4. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 14th day of December, 2017.


Mayor Randall L. Rhoads

ATTEST:


City Clerk Trisha Fowler Arcuri

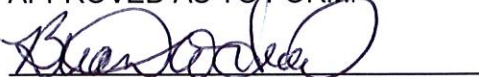
APPROVED by the Mayor of said city this 19th day of December 2017.


Mayor Randall L. Rhoads

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head

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Development Services

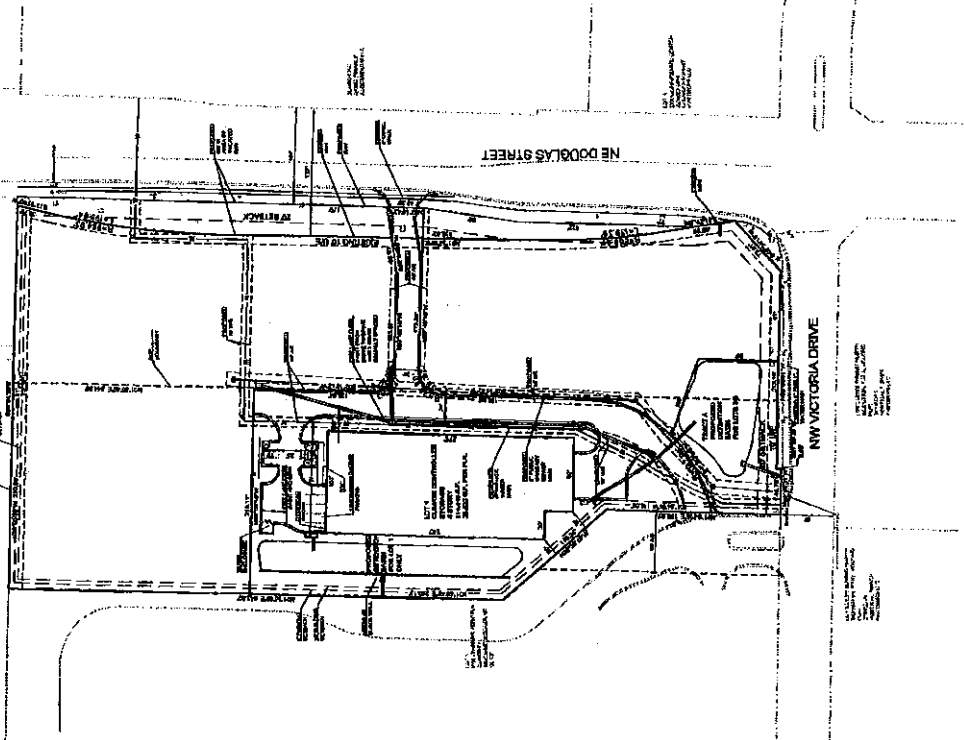
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ADDITIONAL SITE DATA
 FORTIFIED ZONING
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 TOTAL SITE AREA
 BRP SITE AREA
 TOTAL BUILDING FOOTPRINT
 TOTAL BUILDING AREA
 PAVED LOT AREA
 PAVED DRIVE PAVEMENT
 TOTAL PAVEMENT AREA
 TOTAL OPEN AREA
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REMARKS DATA
 PARKING REQUIRED
 SPECIFIC TO THIS PLACE

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**PAVING PROPOSED
SECTIONS + LOADING SPACES**

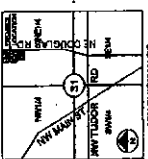
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6785 YORK AVENUE, SUITE 100, NEW YORK, NY 10021

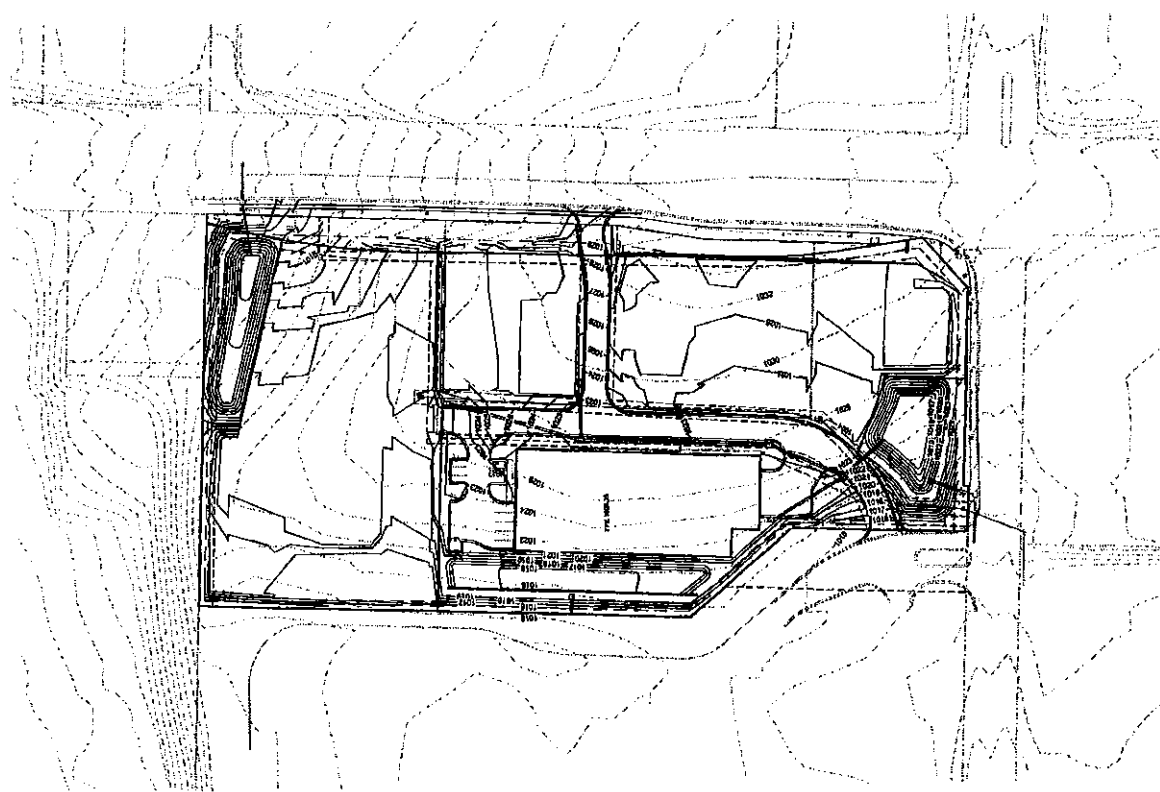


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CONVEYED, SAVED, DEEDS SECTION FROM A. L. SHERMAN, PROPOSED BY OWNER

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9017-305

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SHEET

SITE DETAILS

NO.	DESCRIPTION
1	10816 SHAWNEE MISSION PARKWAY
2	SHAWNEE, KANSAS
3	ANDY'S FROZEN CUSTARD
4	SITE PLAN
5	10816 SHAWNEE MISSION PARKWAY
6	SHAWNEE, KANSAS
7	ANDY'S FROZEN CUSTARD
8	SITE PLAN
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12	SITE PLAN
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15	ANDY'S FROZEN CUSTARD
16	SITE PLAN
17	10816 SHAWNEE MISSION PARKWAY
18	SHAWNEE, KANSAS
19	ANDY'S FROZEN CUSTARD
20	SITE PLAN

Development: 2017-2025

OCT 24 2017

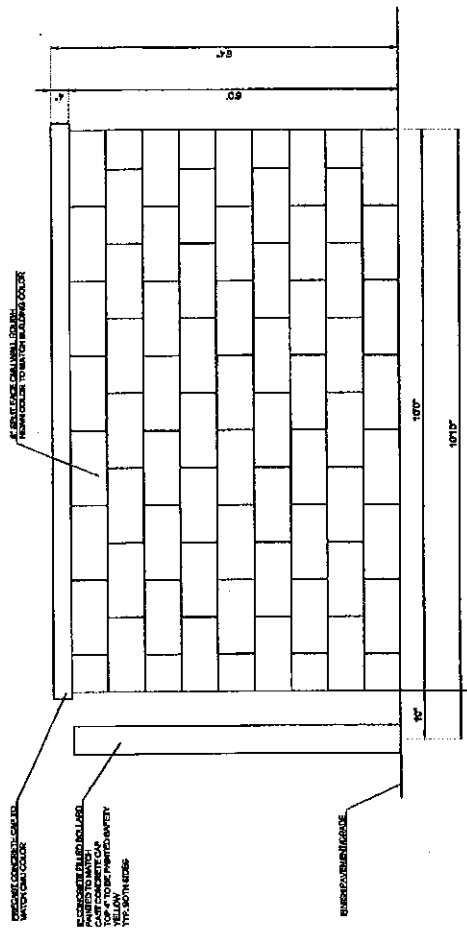
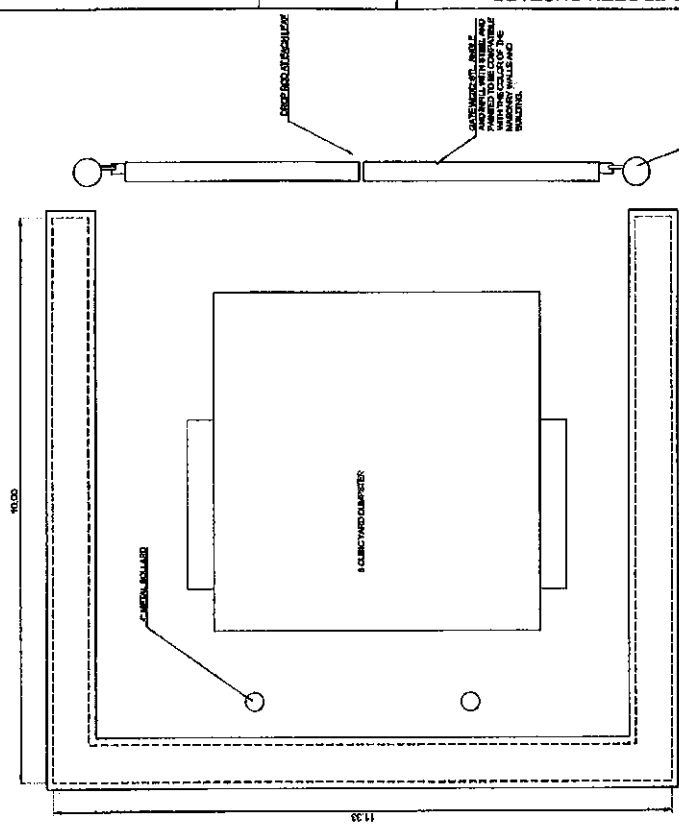
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~2017-2025

**ANDY'S FROZEN CUSTARD
SITE PLAN**

10816 SHAWNEE MISSION PARKWAY
SHAWNEE, KANSAS

SCHLAGEL & ASSOCIATES, P.A.
1000 Main Street, Suite 1000
Shawnee, KS 66201
Tel: 913.424.4000
Fax: 913.424.4001
www.schlagelassociates.com



1 TYPICAL BRICK LING LINGURE

NOT TO SCALE

Oakview Storage Narrative

The proposed use for the site is a climate controlled self storage building. The building is to be located on the western portion of the site approximately 200 feet back from the Douglas Street right of way. The building is proposed to be four stories tall. The building conceptual architectural elevations show the building to have various material changes, articulations and offsets in the façades of the building. The conceptual elevations show that the building will use block, brick, metal panels and stucco for exterior finish materials and will have banks of windows on all sides of the building. The elevation drawings and perspective renderings show the color palette for the materials are earth tone colors. The building will incorporate well-designed architectural features to create interest in the building façades.

Section 10.050.B

1. Character of the neighborhood

The character of the neighborhood is commercial and office uses. The site is at the intersection of two major streets. Both streets are developed commercial corridors interspersed with commercial retail, manufacturing and office uses.

2. Compatibility with adjacent property uses and zoning

Due to the adjacent surrounding commercial, office, and manufacturing uses, the site is suited for the proposed use.

3. Suitability of the property for which the special use is being requested

Due to the adjacent surrounding commercial, office, and manufacturing uses, the site is suited for the proposed use.

4. Extent to which the proposed use will negatively impact the aesthetics of the property and adjoining properties

The properties adjacent to the site are commercial or industrial uses. The building conceptual architectural elevations show the building to have various material changes, articulations and offsets in the façades of the building which are consistent with features of adjacent buildings. The building is setback 200 feet from Douglas Road and the site will be landscaped as required by code.

5. Extent to which the proposed use will injure the appropriate use of, or detrimentally affect, neighboring property

The properties adjacent to the site are commercial or industrial uses. The rezoning of this property will detrimentally affect any nearby property.

6. Impact on the street system to handle traffic and/or parking

The property is zoned for industrial uses. The proposed use is a low traffic generator so the existing street network should be adequate to serve the project.

7. Impact of additional storm water runoff to the existing system or to the water shed area if no storm sewer is available

Storm sewer is available. Detention is being provided.

8. Impact of noise pollution or other environmental harm

The proposed use will generate very little noise and will comply with all noise ordinances.

9. Potential negative impact on neighborhood property values

The properties adjacent to the site are commercial or industrial uses. The potential to negatively impact property values is very low.

10. Extent to which there is need of the proposed use in the community

There is not a similar use in the area. The commercial, office, and industrial businesses in the area could benefit from having the proposed use in the area.

11. Economic impact upon the community

There would be no negative economic impact on the community.

12. Extent to which public facilities and services are available and adequate to satisfy the demand generated by the proposed use

Utility services are immediately available and accessible for the development of this property.

13. Comparison of the benefit gained to the public health, safety and welfare of the community if approved versus the hardship imposed upon the landowner if the requested application is denied

The commercial, office, and industrial businesses in the area could benefit from having the proposed use in the area. There is no relative gain to the public in recommending denial of this rezoning application given the existing development pattern in the vicinity. The hardship imposed upon the landowner with denial of the application would be the termination of the land sale.

14. Conformance to the UDO, and current city policies and ordinances (Amend.#16)

The project is in conformance with the UDO

15. Recommendation of professional staff

Staff is supportive of the proposed use

16. Consistency with permitted uses in the area in which the special use is sought

The proposed use is consistent with the adjacent surrounding commercial, office, and manufacturing uses.

Section 10.420.

Mini-warehouse facility

A Mini-Warehouse Facility shall be subject to the following conditions and restrictions:

- A. In any non-industrial district, a mini-warehouse facility must be enclosed on all sides by a wall or earthen berm that shields the development from view.

The proposed project is located in an industrial district and is completely enclosed with walls.

- B. Colors selected must be of muted shades.

The elevation drawings and perspective renderings show the color palette for the materials are earth tone colors.

- C. Roof pitch shall be 1:3.

The style of the building is designed to be similar to the adjacent buildings. The developer is seeking a modification to the roof pitch requirement.

#PL2017-205 --SPECIAL USE PERMIT
Oakview Storage, 1410 NE Douglas St.
Oakview Capital Partners, LLC, applicant

