

# LEE'S SUMMIT STATION #3

## FINAL DEVELOPMENT PLAN

ISSUE DATE:  
02 / 02 / 2018

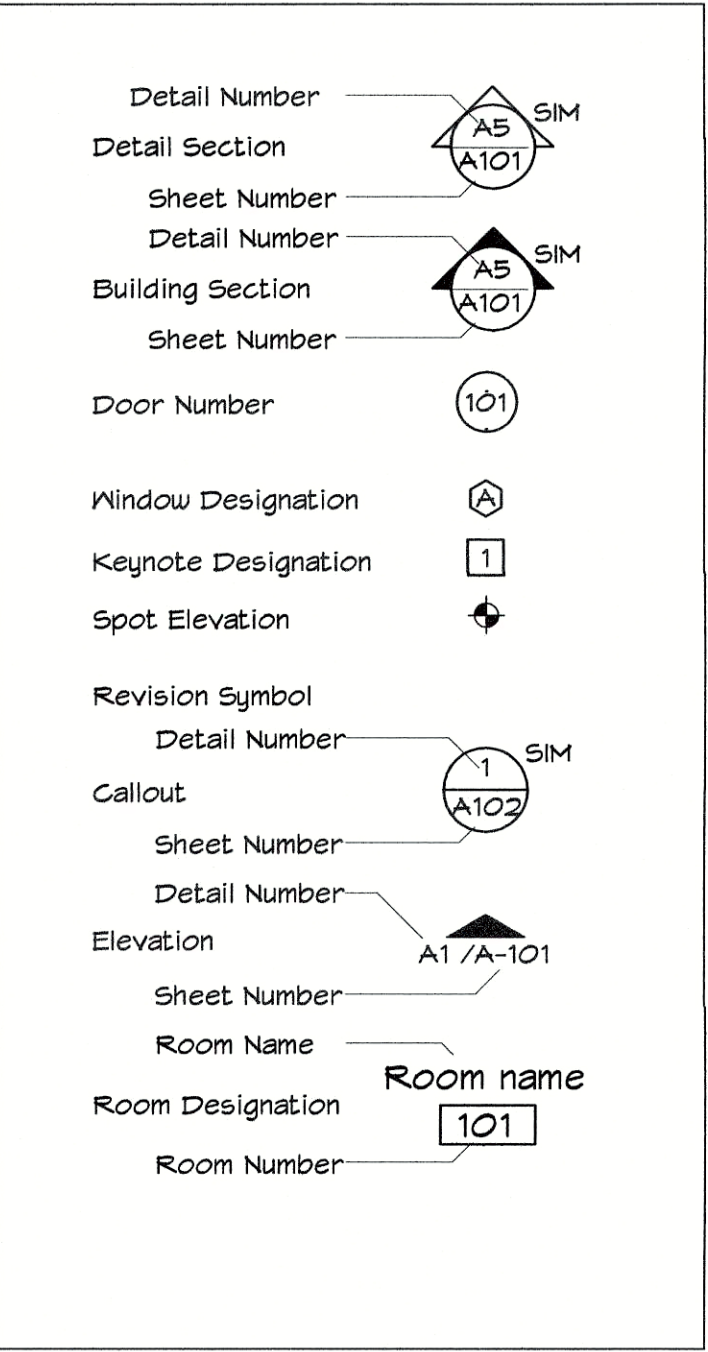
FRONT ELEVATION:



VICINITY/LOCATION MAPS:



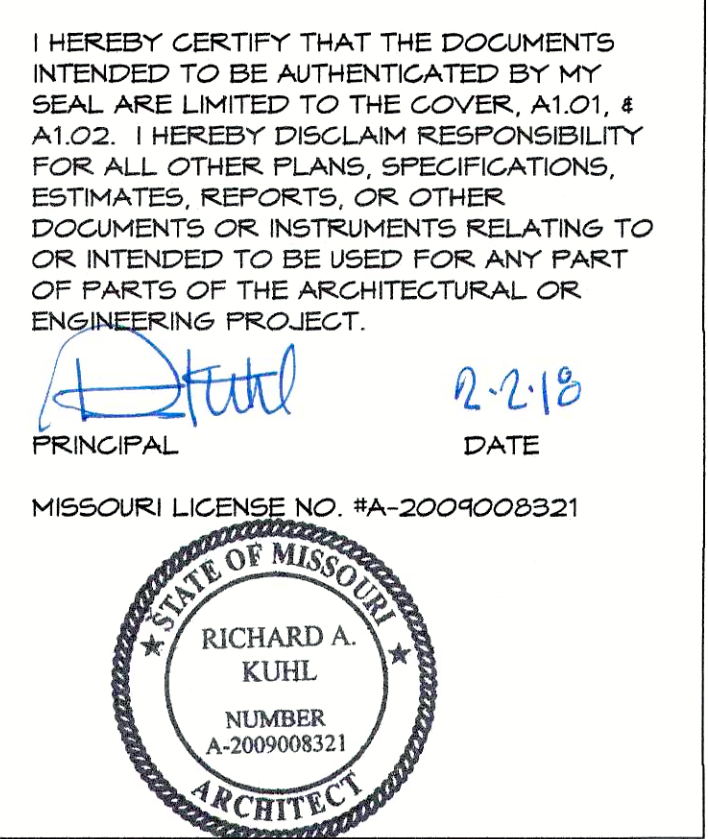
SYMBOLS:



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Kuhl &  
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| 11/02/2017 |
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LEGAL DESCRIPTION

(FINAL PLAT PENDING) LOT 1, OF A MAJOR SUBDIVISION IN THE EAST 1/2 OF SECTION 2, TOWNSHIP 47 NORTH, RANGE 32 WEST, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

GENERAL NOTES

- EXISTING ZONING: RP-3 (PLANNED RESIDENTIAL MIXED USE).
- CURRENT USE: VACANT LOT.
- PROPOSED USE: FIRE STATION
- TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY PREPARED BY THE CITY OF LEE'S SUMMIT, MO.
- THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDING AND FACILITIES, APPENDIX A TO 28 CFR PART 26.
- ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC SHALL COMPLY WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND "STANDARD HIGHWAY SIGNS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, WITH RESPECT TO SIZE, SHAPE, COLOR, RETROREFLECTIVITY, AND POSITION.
- THE CITY OF LEE'S SUMMIT, MO SHALL NOT BE RESPONSIBLE FOR DAMAGE TO PAVEMENT DUE TO THE WEIGHT OF REFUSE VEHICLES.
- ALL NEWLY INSTALLED MECHANICAL EQUIPMENT SHALL BE SCREENED PER CITY CODES.

DEMOLITION NOTES:

- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE TOPOGRAPHIC INFORMATION GIVEN TO BARTLETT & WEST, INC. AT THE TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DEWATERING NECESSARY FOR CONSTRUCTION.
- CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING VEGETATION OUTSIDE OF AREAS TO BE GRADED. THE PERSON(S) WHO DAMAGES ANY OF THESE AREAS SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
- ALL WASTE EXCAVATION, CONSTRUCTION MATERIALS, DEMOLISHED STRUCTURES AND DEBRIS REMOVED FROM THE SITE SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MISSOURI DESIGN CODES.
- ALL EXCAVATED OR OTHERWISE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS NEARLY AS IS PRACTICAL. THE REPLACEMENT MATERIALS SHALL BE COMPACTED SO AS TO PREVENT SETTLEMENT. ANY PARKING OR DRIVE SURFACING, SIDEWALK OR ESTABLISHED TURF AREAS SHALL BE REPLACED IN KIND OR AS SHOWN HEREIN.
- ALL DEMOLITION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT, MISSOURI DESIGN CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL BARRICADES REQUIRED FOR SAFETY IN AND AROUND THE CONSTRUCTION SITE. CONTINUOUS MAINTENANCE OF TRAFFIC CONTROL DEVICES DURING THE TERM OF THIS PROJECT IS THE CONTRACTOR'S RESPONSIBILITY. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED BY MEANS OF FENCING AND OTHER DEVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THESE STRUCTURES AND CLEAN UP ALL DEBRIS NEAR, ON, OR AROUND THESE STRUCTURES AT COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING REMOVAL AND REPLACEMENT OF ALL UTILITIES ON THIS SITE WITH THE OWNER, AND THE APPROPRIATE UTILITY PROVIDER, ALL UTILITIES INCLUDE, BUT ARE NOT LIMITED TO STORM, SANITARY, GAS, ELECTRIC, WATER, TELEPHONE, AND CABLE.
- THE CONTRACTOR SHALL VERIFY ANY DEMOLITION DIMENSIONS SHOWN PRIOR TO COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL ESTABLISH STAGING, STORAGE AND PARKING AREAS PER APPROVAL OF THE OWNER, THE AREAS SHALL BE FENCED WITH TEMPORARY FENCING AS APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES (CONTROL POINTS, REFERENCE POINTS, BENCH MARKS, PROPERTY AND OFFSET CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS) UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. THE CONTRACTOR SHALL PAY FOR RE-STAKING ANY SURVEY STAKES THAT ARE DESTROYED.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN MOVING UTILITIES.
- SAWCUTS ALONG SIDEWALKS AND PAVEMENT SHALL BE REMOVED AT THE NEAREST EXISTING JOINT.

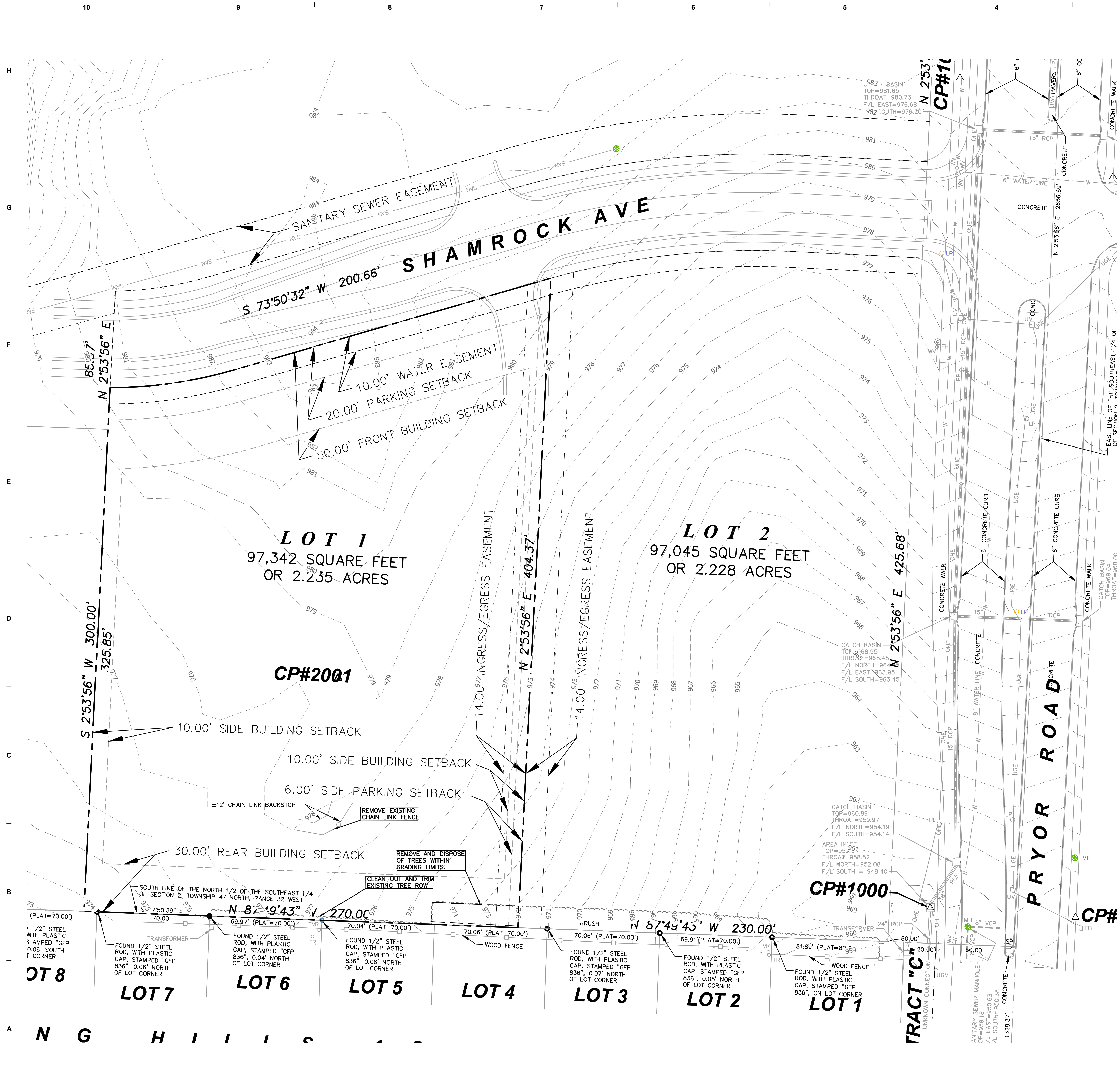
LEE'S SUMMIT STATION #3  
PRYOR ROAD  
LEE'S SUMMIT, MO 64081

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Missouri Certificate of Authority  
#2003011262

EXISTING  
CONDITIONS  
& DEMOLITION

C1.0



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**SITE SUMMARY**

**EXISTING SITE SUMMARY:**

|                     |           |            |
|---------------------|-----------|------------|
| EXISTING BUILDINGS: | 0 SF      | (0.00 AC.) |
| EXISTING PAVEMENT:  | 0 SF      | (0.00 AC.) |
| TOTAL IMPERVIOUS:   | 0 SF      | (0.00 AC.) |
| EXISTING PERVIOUS:  | 97,492 SF | (2.24 AC.) |
| TOTAL SITE AREA:    | 97,492 SF | (2.24 AC.) |

**PROPOSED SITE SUMMARY:**

|                      |           |            |
|----------------------|-----------|------------|
| PROPOSED BUILDINGS:  | 16,050 SF | (0.37 AC.) |
| PROPOSED PAVEMENT:   | 40,721 SF | (0.94 AC.) |
| PROPOSED IMPERVIOUS: | 56,771 SF | (1.31 AC.) |
| PROPOSED PERVIOUS:   | 40,721 SF | (0.93 AC.) |
| TOTAL SITE AREA:     | 97,492 SF | (2.24 AC.) |

**FLOOR AREA RATIO**

16,050 SF/97492 SF= 16.46%

**PARKING**

DESIGN REQUIREMENTS: 24 STALLS + 1 VAN ACCESSIBLE STALL

PROVIDED: 29 STALLS + 1 VAN ACCESSIBLE STALL + 1 STANDARD ADA STALL

**LAYOUT NOTES:**

- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES AND INCIDENTAL DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND QUANTITIES AND SHALL RECORD "AS-BUILT" DIMENSIONS OR LOCATIONS OF ANY APPURTENANCES IF THEY DIFFER FROM THE PLANS.
- ALL HANDICAPPED SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL STATE, LOCAL, AND ADA SPECIFICATIONS AS CURRENTLY IN EFFECT.
- CONTACT AFFECTED OWNER(S) A MINIMUM OF 24 HOURS PRIOR TO HALTING OF UTILITY SERVICES. UNDER NO CIRCUMSTANCE SHALL ANY UTILITY SERVICE BE DISCONTINUED FOR MORE THAN ONE (1) 12-HOUR PERIOD.
- ALL DISTURBED OFFSITE CONDITIONS SHALL BE REPLACED TO THEIR PREVIOUS CONDITION(S). ANY DAMAGE TO OR REMOVAL OF EXISTING CONDITIONS OCCURRING UPON ADJACENT PROPERTY DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THEIR PREVIOUS CONDITION(S).
- CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING VEGETATION OUTSIDE OF AREAS TO BE GRADED. THE PERSON(S) WHO DAMAGES ANY OF THESE AREAS SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
- CONNECT WATER LINES WITH APPROPRIATE TEE JOINTS & VALVE BOXES PER CITY OF LEE'S SUMMIT UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS. CONTACT CITY OF LEE'S SUMMIT UTILITY DEPARTMENT REPRESENTATIVE PRIOR TO ANY WATER LINE INSTALLATION.
- ALL ROUTING AND INSTALLATION OF PROPOSED UTILITIES (TELEPHONE, GAS, WATER, ETC.) SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE APPROPRIATE UTILITY PROVIDER. ALL UTILITY ROUTING SHALL BE APPROVED BY THE OWNER/ARCHITECT AND THE APPROPRIATE UTILITY PROVIDER PRIOR TO INSTALLATION. ANY PROPOSED UTILITY ROUTING DESIGNATED ON THESE DOCUMENTS ARE FOR GENERAL GUIDELINES ONLY UNLESS OTHERWISE SPECIFIED. BARTLETT & WEST INC. ASSUMES NO LIABILITY FOR IMPROPER ROUTING OR CONNECTIONS TO EXISTING UTILITIES.
- ALL METHODS AND MEANS OF CONSTRUCTION PERFORMED ON THIS PROJECT SHALL CONFORM TO THE DESIGN CRITERIA FOR THE CITY OF LEE'S SUMMIT, MISSOURI.
- REFER TO ELECTRICAL ENGINEER'S PLANS FOR ALL LOCATIONS, TYPE, DESIGN AND DETAILS OF SITE LIGHTING AND ALL ELECTRICAL ROUTING USED THROUGHOUT THE PROJECT.
- CONTRACTOR TO INSTALL ANY NECESSARY OIL/WATER SEPARATORS BASED ON BUILDING USE. COORDINATE WITH UTILITY PLAN.
- WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY MAINS AND AT LEAST 5 FEET HORIZONTALLY FROM STORM SEWER. THE DISTANCE SHALL BE MEASURED EDGE OF PIPE TO EDGE OF PIPE. CONTRACTOR SHALL BE REQUIRED TO VERIFY AND FOLLOW ALL CURRENT STATE DEPARTMENT OF HEALTH AND ENVIRONMENT JURISDICTION REGULATIONS.
- WATER MAINS SHALL MAINTAIN 18-INCHES OF VERTICAL CLEARANCE BETWEEN THE OUTSIDE OF THE WATER MAIN TO THE OUTSIDE OF THE SANITARY MAIN. CONTRACTOR SHALL BE REQUIRED TO VERIFY AND FOLLOW ALL CURRENT STATE DEPARTMENT OF HEALTH AND ENVIRONMENT JURISDICTION REGULATIONS.
- ALL WATER MAINS SHALL MAINTAIN A MINIMUM COVERAGE OF 42-INCHES.

**LEE'S SUMMIT STATION #3**  
PRYOR ROAD  
LEE'S SUMMIT, MO 64081

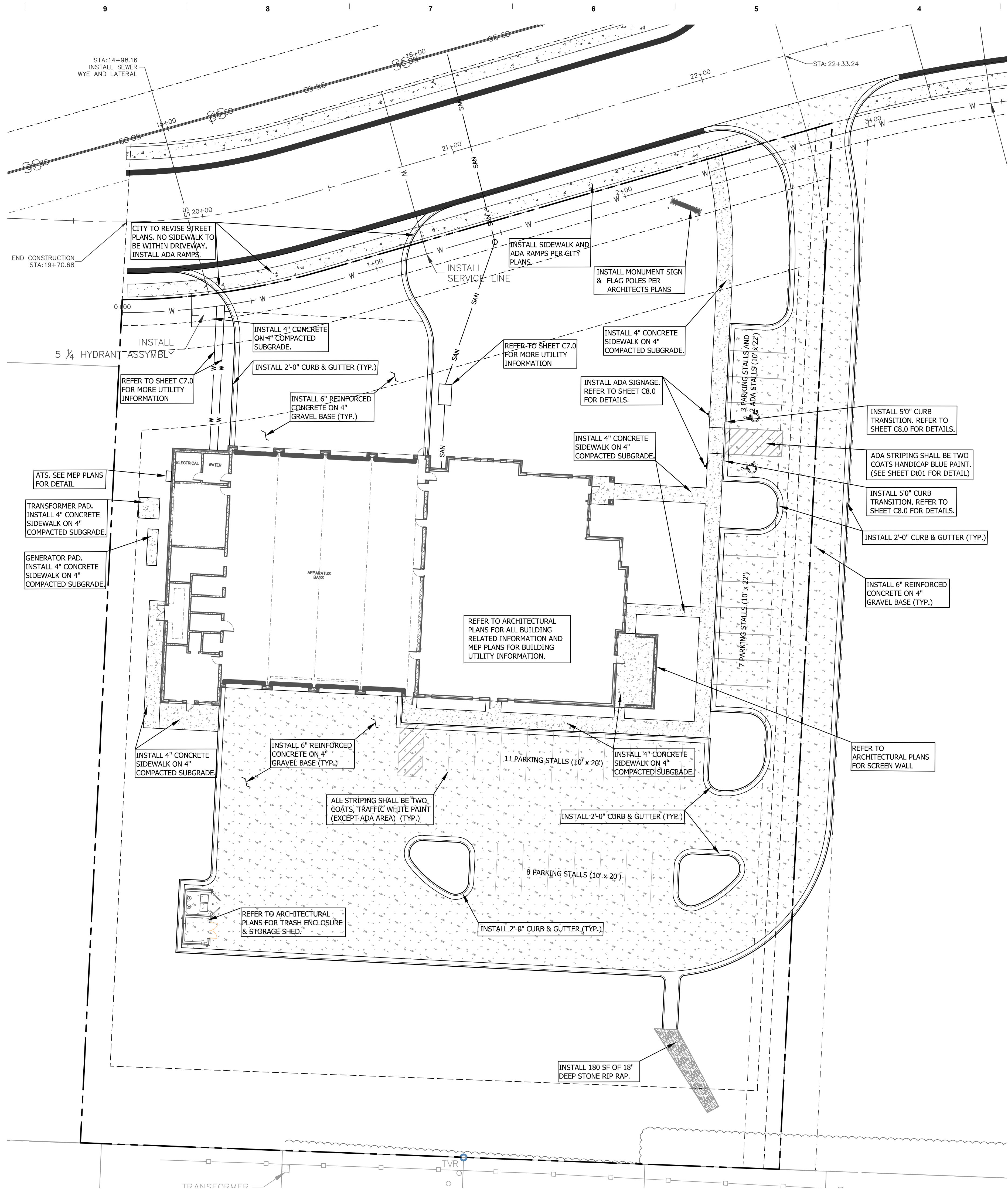
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**SITE LAYOUT  
PLAN**

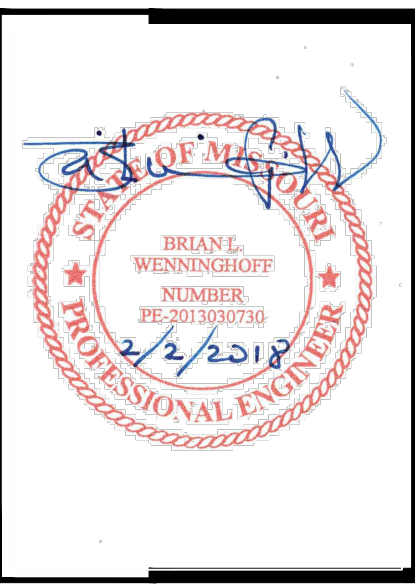
**C2.0**

0 20' 40'  
SCALE: 1" = 20'



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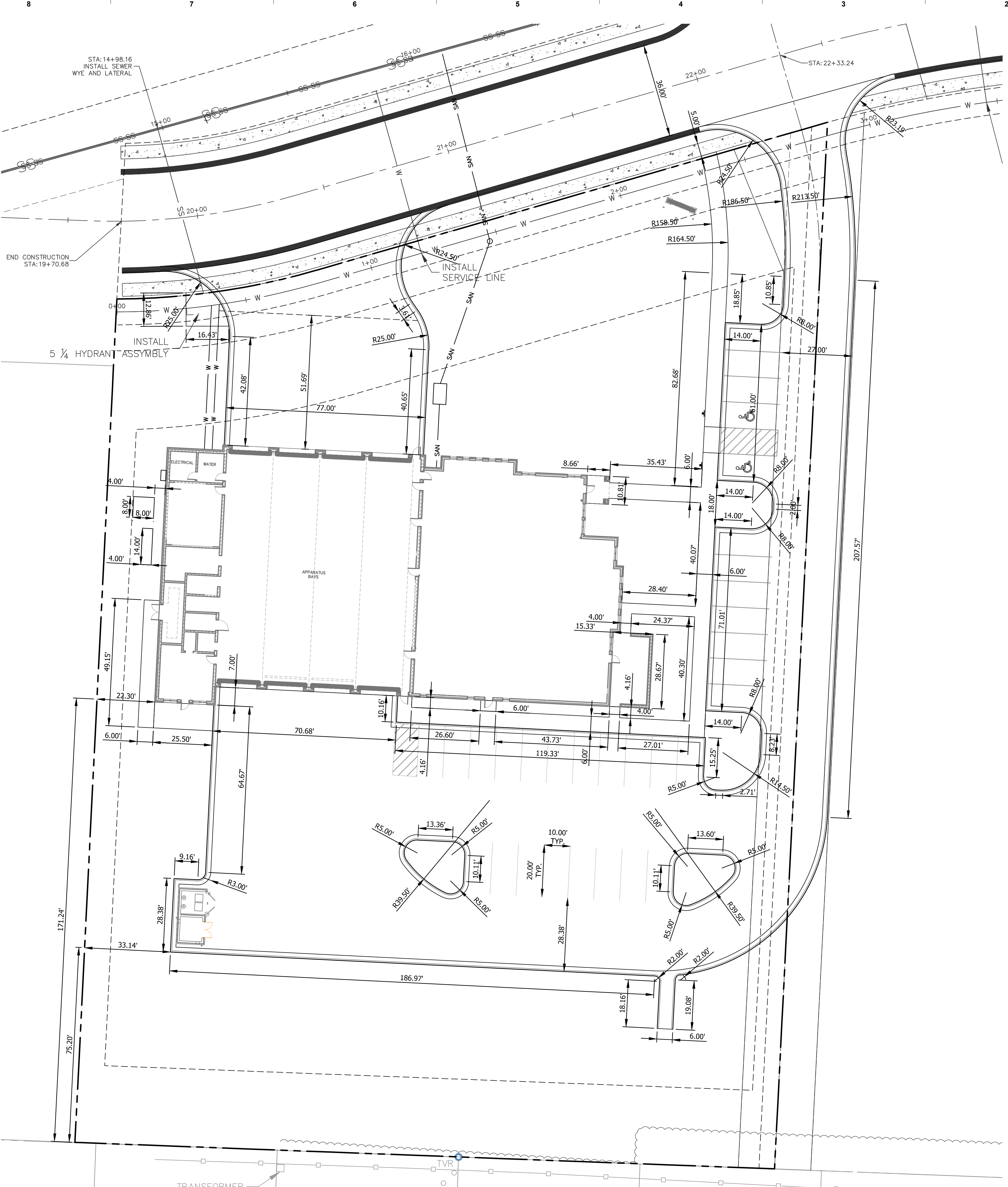
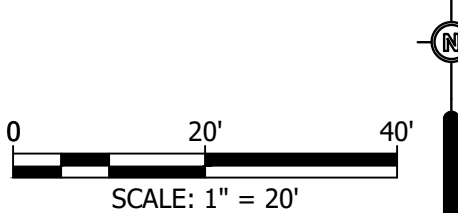
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DIMENSION  
PLAN  
**C3.0**



**GRADING NOTES:**

1. ALL QUANTITIES SHALL BE CALCULATED BY THE CONTRACTOR AND INCLUDE ALL SUBSIDIARY ITEMS NECESSARY TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL ASSUME NO ROCK EXCAVATION AS PART OF MASS GRADING OR UTILITY CONSTRUCTION. CONTRACTOR SHALL PROVIDE A UNIT PRICE ESTIMATE FOR ROCK EXCAVATION AS NECESSARY WITH BID.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED FOR THE SITE GRADING.
4. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT (IF APPLICABLE) AND FAMILIARIZE HIMSELF WITH ALL SOIL CONDITIONS AND RECOMMENDATIONS.
5. ALL AREAS DISTURBED DURING THE PROGRESS OF THIS PROJECT SHALL BE FINISHED WITH 6" (MIN.) OF TOPSOIL AND GRADED/RESTORED TO EXISTING CONDITIONS PRIOR TO DISTURBANCE.
6. ALL AREAS SHALL SLOPE AWAY FROM PROPOSED BUILDING.
7. ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
8. GRADING PLAN REFLECTS TOP OF TURF OR PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
10. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES, AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. ALL PROPOSED SIDEWALKS SHALL HAVE A MINIMUM OF 1% CROSS SLOPE AND A MAXIMUM CROSS SLOPE OF 2%.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF FILL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR HIS AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR. REFER TO EROSION CONTROL SHEET FOR MORE NOTES AND INFORMATION.
13. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY. THIS SHALL BE COMPLETED WITHIN SEVEN (7) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE THE SEASONAL SEEDING PERIOD, SILT FENCES SHALL BE INSTALLED AS REQUIRED UNTIL SUCH TIME THAT THE AREA(S) CAN BE SEEDED.
14. SILT FENCES WHETHER STRAW BALES OR FILTER FABRIC, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH HEAVY RAINSTORM AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE, THE SEDIMENT SHALL BE REMOVED OR A SECOND SILT FENCE SHALL BE INSTALLED. ALL COSTS ASSOCIATED WITH THIS WORK, INCLUDING RELATED INCIDENTALS, WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.
15. THE CONTRACTOR SHALL NOT PERFORM FINAL GRADING OR SEEDING UNTIL ALL UTILITY INSTALLATIONS ARE COMPLETE.
16. AT ALL BUILDING EXITS ENSURE MINIMUM OF 5' LANDING DEPTH (IN DIRECTION OF TRAVEL) AT 2% MAXIMUM SLOPE. NO SIDEWALK IS TO EXCEED 5% SLOPE UNLESS IT IS AN ADA COMPLIANT RAMP.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES (CONSTRUCTION STAKES, CONTROL POINTS, REFERENCE POINTS, BENCH MARKS, PROPERTY AND OFFSET CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS) UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. THE CONTRACTOR SHALL PAY FOR RE-STAKING ANY SURVEY STAKES THAT ARE DESTROYED.

| CALLOUT LEGEND |                   |
|----------------|-------------------|
| HP             | = HIGH POINT      |
| LP             | = LOW POINT       |
| TC             | = TOP OF CURB     |
| GT             | = GUTTER          |
| TP             | = TOP OF PAVEMENT |
| FG             | = FINISHED GRADE  |
| TW             | = TOP OF WALL     |
| BW             | = BOTTOM OF WALL  |

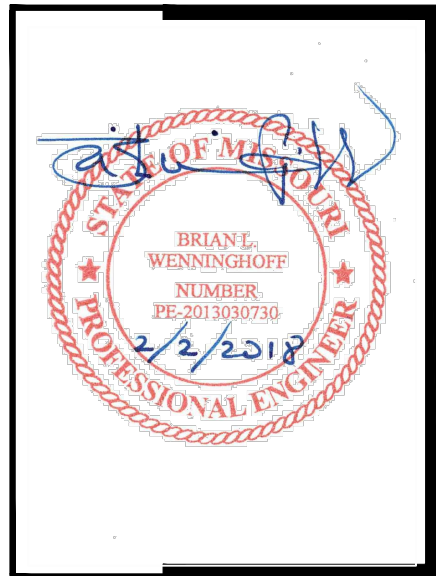
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**GRADING PLAN**

**C4.0**

0 20' 40'  
SCALE: 1" = 20'



**UTILITY NOTES:**

- ALL ROUTING AND INSTALLATION OF PROPOSED UTILITIES (TELEPHONE, GAS, WATER, CABLE, ELECTRICAL, ETC.) SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE APPROPRIATE UTILITY PROVIDER. ALL UTILITY ROUTING SHALL BE APPROVED BY THE OWNER AND THE APPROPRIATE UTILITY PROVIDER PRIOR TO INSTALLATION. ANY PROPOSED UTILITY ROUTING DESIGNATED ON THESE DOCUMENTS ARE FOR GENERAL GUIDELINES ONLY UNLESS OTHERWISE SPECIFIED. BARTLETT & WEST, INC. ASSUMES NO LIABILITY FOR IMPROPER ROUTING OR CONNECTIONS TO EXISTING UTILITIES.
- ALL INSTALLATION AND MATERIALS TO BE IN COMPLIANCE WITH CITY OF LEE'S SUMMIT, MISSOURI CODES AND SPECIFICATIONS. CONTRACTOR SHALL VERIFY ALL CODES AND REGULATIONS.
- ALL ROUTING OF UNDERGROUND ELECTRIC LINE TO BE VERIFIED WITH APPROPRIATE PROVIDER PRIOR TO INSTALLATION. ANY AND ALL PAVEMENT, TURF, ETC. REMOVED FOR INSTALLATION SHALL BE REPLACED AS PREVIOUSLY EXISTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL METHODS NEEDED DURING THE INSTALLATION OR CONSTRUCTION OF ANY UTILITIES OR RELATED ITEMS. AT NO TIME SHALL A DRIVE LANE BE CLOSED TO THRU TRAFFIC. CONTRACTOR SHALL MAINTAIN AT LEAST 15 FEET OF MINIMUM DRIVE WIDTH TO ACCOMMODATE TRAFFIC FLOW.
- CONTACT AFFECTED OWNER(S) A MINIMUM OF 24 HOURS PRIOR TO HALTING OF UTILITY SERVICES. UNDER NO CIRCUMSTANCE SHALL ANY UTILITY SERVICE BE DISCONTINUED FOR MORE THAN (1) 12-HOUR PERIOD.
- REFER TO ELECTRICAL/MECHANICAL ENGINEER'S PLANS FOR ALL ROUTING AND CONNECTIONS TO BUILDINGS AND ALL DESIGN AND SPECIFICATIONS OF SITE LIGHTING.
- THE CONTRACTOR SHALL DISPOSE OF ANY ROCK EXCAVATED FROM TRENCHES AND STRUCTURES OFFSITE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. TRENCH WIDTH USED IN COMPUTING ROCK EXCAVATION SHALL BE THE OUTSIDE DIAMETER OF PIPE PLUS 12-INCHES.
- THE PRICE BID FOR SANITARY SERVICE LINE, IN PLACE, SHALL INCLUDE TRENCHING, LAYING PIPE AND FITTINGS, BEDDING MATERIALS, BACKFILL, MARKING AND COMPACTION.
- CONNECT WATER LINES WITH APPROPRIATE TEE JOINTS & VALVE BOXES PER CITY OF LEE'S SUMMIT STANDARDS. CONTRACTOR SHALL OBTAIN ALL CITY STANDARDS AND SPECIFICATIONS FOR USE ON THIS PROJECT. CONTACT THE CITY OF LEE'S SUMMIT WATER DEPARTMENT REPRESENTATIVE PRIOR TO ANY WATER LINE INSTALLATION.
- WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER MAINS AND AT LEAST 5 FEET HORIZONTALLY FROM STORM SEWER. THE DISTANCE SHALL BE MEASURED EDGE OF PIPE TO EDGE OF PIPE. CONTRACTOR SHALL BE REQUIRED TO VERIFY AND FOLLOW ALL CURRENT STATE DEPARTMENT OF HEALTH AND ENVIRONMENT JURISDICTION REGULATIONS.
- WATER MAINS SHALL MAINTAIN 24-INCHES OF VERTICAL CLEARANCE BETWEEN THE OUTSIDE OF THE WATER MAIN TO THE OUTSIDE OF THE SANITARY MAIN. CONTRACTOR SHALL BE REQUIRED TO VERIFY AND FOLLOW ALL CURRENT STATE DEPARTMENT OF HEALTH AND ENVIRONMENT JURISDICTION REGULATIONS.
- ALL WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF 42-INCHES.
- CONNECT SANITARY LINES PER CITY OF LEE'S SUMMIT STANDARDS. CONTRACTOR SHALL OBTAIN ALL CITY STANDARDS AND SPECIFICATIONS FOR USE ON THIS PROJECT. ALL SANITARY SEWER MAINS AND SERVICE LINES SHALL MAINTAIN A MINIMUM COVER OF 30-INCHES.
- CONTRACTOR SHALL COORDINATE ROUTING OF EXISTING AND PROPOSED ELECTRICAL, GAS, CABLE AND TELEPHONE LINES WITH THE APPROPRIATE SERVICE PROVIDER, OWNER, SUB-CONTRACTOR AND ELECTRICAL/MECHANICAL ENGINEERS PLANS TO ENSURE THESE SERVICES ARE NOT INTERRUPTED AT SURROUNDING BUILDINGS.

**LIST OF UTILITIES**

KCP&L  
1300 SE HAMBLIN RD.  
LEE'S SUMMIT, MO 64081  
HEATH LENAHAN 816-251-2647

AT&T  
215 N. SPRING ST  
INDEPENDENCE, MO 64050  
JOHN CORNICK 816-325-5615

CITY OF LEE'S SUMMIT  
STREET/STORM WATER DEPARTMENT  
220 SE GREEN ST.  
LEE'S SUMMIT, MO. 64063  
PUBLIC WORKS OPERATIONS  
816-969-1870

MISSOURI GAS ENERGY  
3025 SE CLOVER DR.  
LEE'S SUMMIT, MO. 64055  
JON HARREL 816-969-2298

CITY OF LEE'S SUMMIT  
WATER UTILITIES DEPARTMENT  
616 N.E. DOUGLAS  
LEE'S SUMMIT, MO. 64063  
816-969-1940

EMERGENCY PHONE NUMBERS:  
LEE'S SUMMIT POLICE 969-1700  
LEE'S SUMMIT FIRE DEPT. 969-1300  
LEE'S SUMMIT PUBLIC WORKS  
INSPECTOR 969-1817

**STORM DRAINAGE PIPE**

PIPE A1: BEGINNING FL ELEV = 977.5  
INSTALL 79 LF OF 6" HDPE @ 1.85% SLOPE.  
CONNECT ROOF DRAIN WITH 6"x6" TEE AND CLEANOUT.  
ENDING FL ELEV = 976.04

PIPE A2: BEGINNING FL ELEV = 976.04  
INSTALL 44 LF OF 8" HDPE @ 2.29% SLOPE.  
CONNECT ROOF DRAIN WITH 6"x8" TEE AND CLEANOUT.  
ENDING FL ELEV = 975.03

PIPE A3: BEGINNING FL ELEV = 978.00  
INSTALL 27 LF OF 6" HDPE @ 11% SLOPE.  
CONNECT WITH 6"x8" TEE AND CLEANOUT.  
ENDING FL ELEV = 975.03

PIPE A4: BEGINNING FL ELEV = 985.03  
INSTALL 56 LF OF 10" HDPE @ 1.85% SLOPE.  
CONNECT TO A6 WITH 90° BEND, FL ELEV = 974.00  
CONNECT ROOF DRAIN WITH 6"x10" TEE AND CLEANOUT

PIPE A5: BEGINNING FL ELEV = 977.25  
INSTALL 27 LF OF 6" HDPE @ 11% SLOPE.  
CONNECT WITH 6"x10" TEE AND CLEANOUT.  
ENDING FL ELEV = 974.31

PIPE A6: BEGINNING FL ELEV = 974.00  
INSTALL 216 LF OF 12" HDPE @ 1.84% SLOPE.  
CONNECT ROOF DRAIN WITH 6"x12" TEE AND CLEANOUT.  
OUTFALL FL ELEV = 970.00

PIPE B1: BEGINNING FL ELEV = 977.5  
INSTALL 70 LF OF 6" HDPE @ 3.0% SLOPE.  
CONNECT ROOF DRAIN WITH 6"x6" TEE AND CLEANOUT.  
ENDING FL ELEV = 975.40

PIPE B2: BEGINNING FL ELEV = 975.40  
INSTALL 105 LF OF 8" HDPE @ 3.0% SLOPE.  
CONNECT ROOF DRAIN WITH 6"x8" TEE AND CLEANOUT.  
CONNECT TO A6 WITH 6"x12" TEE AND CLEANOUT. FL ELEV = 972.21

**STORM DRAINAGE STRUCTURES**

AREA INLET 1: 3'x3' AREA INLET  
SURFACE ELEV = 980.25  
FL OUT (S) = 978.00

AREA INLET 2: 3'x3' AREA INLET  
SURFACE ELEV = 980.25  
FL OUT (S) = 977.25

OUTFALL: 12" HDPE END SECTION  
ELEV = 970.00

0 20' 40'  
SCALE: 1" = 20'

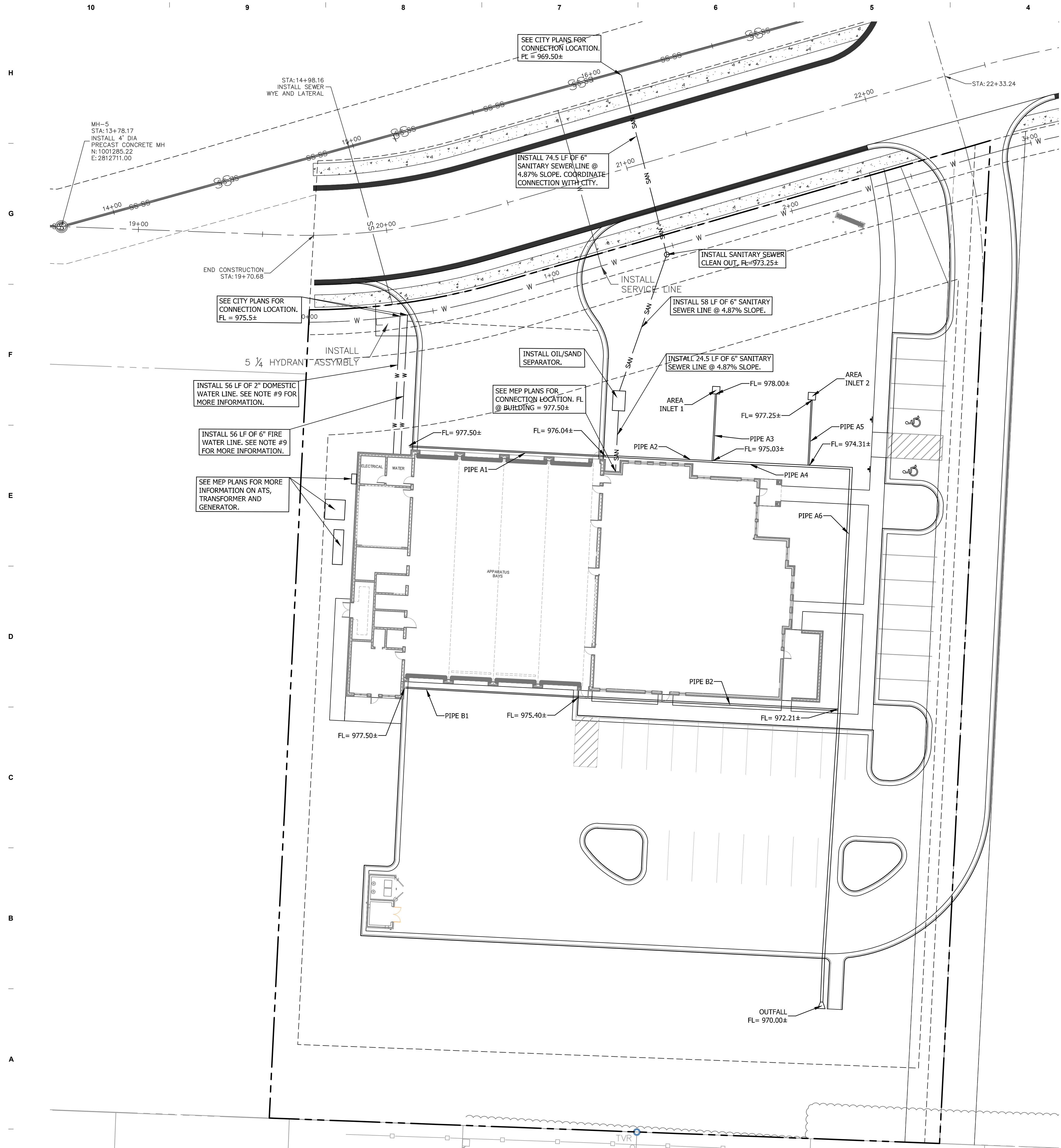
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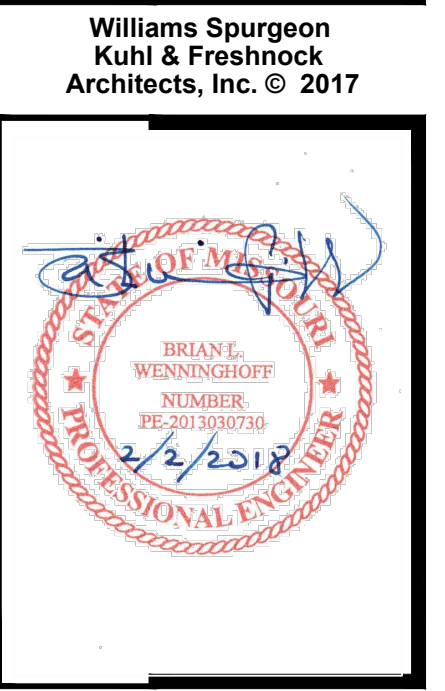
**UTILITY PLAN**

C5.0

110 Armour Road North Kansas City, Missouri 64116 Tel. 816.300.4101 Fax 816.300.4102



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| JOB NUMBER | — 00000 —      |
| ISSUE DATE | — 11/02/2017 — |
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**EROSION CONTROL NOTES:**

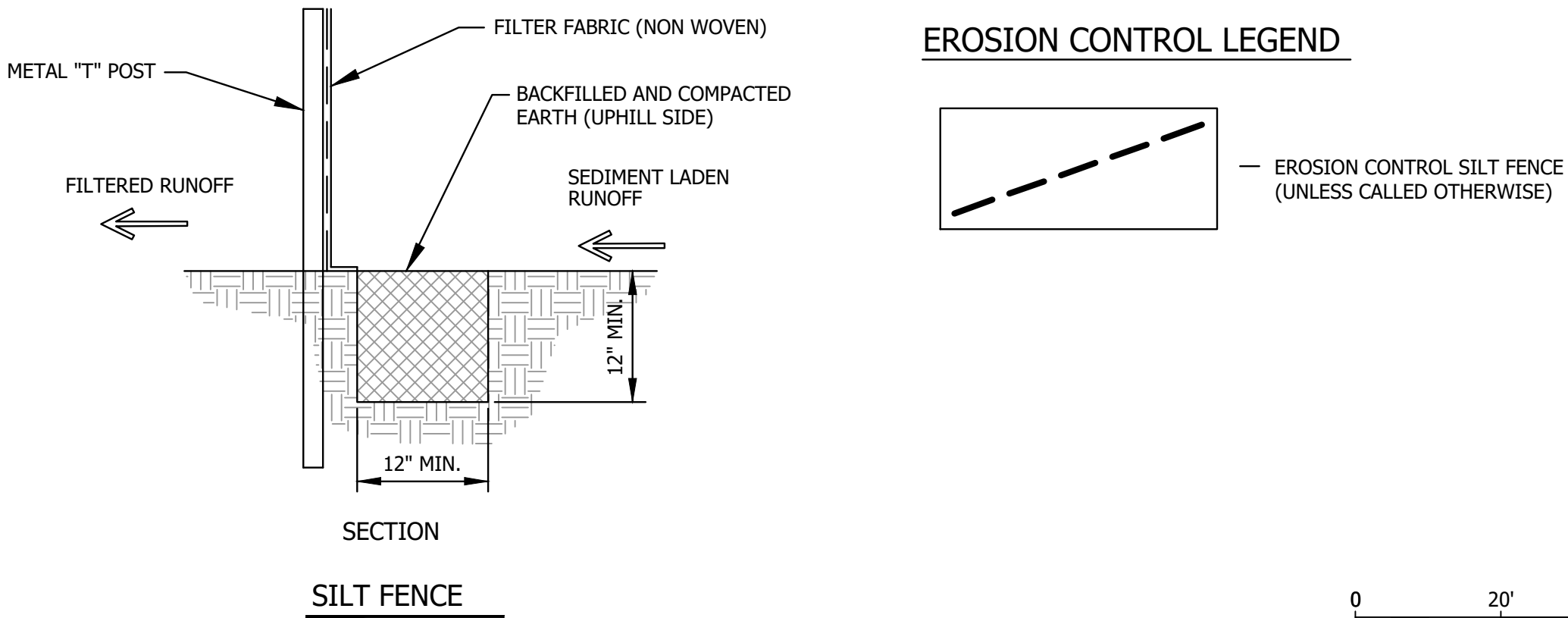
1. THE CONTRACTOR SHALL KEEP A WRITTEN LOG OF WHEN CONSTRUCTION ACTIVITIES BEGIN, EROSION AND SEDIMENT CONTROLS ARE INSTALLED, INSPECTED AND REPAIRED. COPIES OF LOG SHALL BE FURNISHED TO THE ENGINEER.
2. THE CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE PROJECT. THIS PLAN MAY BE UPDATED AS CONSTRUCTION PROGRESSES WITH APPROVAL OF ENGINEER.
3. THE CONTRACTOR SHALL COMPLY WITH THE SOIL EROSION CODE FOR THE CITY OF LEE'S SUMMIT, MISSOURI.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INSTALLED AS PART OF THIS PLAN SHALL NOT BE REMOVED FOLLOWING CONSTRUCTION UNTIL SLOPES ARE STABILIZED TO A NON-EROSIVE STATE WITH ESTABLISHED GRASS OR AS DIRECTED BY THE ENGINEER.
5. IMMEDIATELY AFTER MOBILIZATION AND PRIOR TO STARTING ANY SOIL DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ANY PERIMETER EROSION AND SEDIMENT CONTROL MEASURES, GRAVEL CONSTRUCTION ENTRANCE(S) AND ANY TEMPORARY SEDIMENT BASIN(S). IT IS RECOGNIZED THAT SOME SITE CLEARING AND PREPARATION MAY BY REQUIRED TO PROPERLY INSTALL SUCH MEASURES.
6. THE RECOMMENDED SEQUENCE OF CONSTRUCTION ACTIVITIES AND OF THE INSTALLATION AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES IS AS FOLLOWS: ANY PERIMETER CONTROL MEASURES (SILT FENCE) INCLUDING AREAS DRAINING TO A DRAINAGE WAY SUCH AS A STREAM, GRAVEL CONSTRUCTION ENTRANCE(S), CONSTRUCTION OF SANITARY SEWERS, STORM SEWERS, STRAW OR HAY BALE INLET PROTECTION AND BALE DITCH CHECKS, STREETS, FINAL GRADING, SEEDING, FERTILIZING AND MULCHING ON ALL SLOPES AND DISTURBED AREAS, INDIVIDUAL SITE CONTROL MEASURES, REMOVAL OF TEMPORARY PRACTICES, REMOVAL OF PERIMETER CONTROLS AND SITE CLEANUP.
7. PERIMETER SILT FENCE, BALE DITCH CHECKS AND CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS OR THE CITY REQUIREMENTS. INSTALL SILT FENCE OR BALES WHERE REPRESENTED ON PLAN AS DITCH CHECKS AND SLOPE CONTROL, AROUND INLETS, ALONG ROADWAYS, AREAS DRAINING TO DRAINAGE WAYS SUCH AS A STREAM AND OTHER LOCATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. MEASURES WILL BE KEPT IN PLACE UNTIL GRASS IS ESTABLISHED TO 70% COVERAGE.
8. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE GENERAL CONTRACTOR NOT LESS THAN WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO SEDIMENT REMOVAL, SILT FENCE AND HAY BALE BARRIER REPAIR AND/OR REPLACEMENT.
9. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS AND PAVED STREETS. THIS MAY INCLUDE PERIODIC TOP DRESSING WITH ADDITIONAL CRUSHED STONE AS CONDITIONS WARRANT. REPAIR OF ENTRANCES, CLEANING ON A DAILY BASIS OF RIGHT-OF-WAYS AND PAVED STREETS THAT HAVE BEEN SOILED BY CONSTRUCTION ACTIVITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL NOTIFY EACH SUB-CONTRACTOR OR ENTITY (INCLUDING UTILITY CREWS AND CITY EMPLOYEES OR THEIR AGENTS) THAT WILL BE PERFORMING WORK AT THE SITE OF THE EROSION CONTROL PLAN AND WHAT ACTIONS OR PRECAUTIONS SHALL BE TAKEN TO MINIMIZE THE POTENTIAL FOR SOIL EROSION.
11. DURING ALL SOIL DISTURBING ACTIVITIES, THE GENERAL CONTRACTOR WILL TAKE APPROPRIATE STEPS USING ACCEPTED CONSTRUCTION METHODS TO MINIMIZE THE TIME OF EXPOSURE OF UNPROTECTED SOIL AND OTHER CONSTRUCTION MATERIALS TO RAINFALL.
12. NO GROUND SHALL BE LEFT OPEN FOR MORE THAN 7 DAYS OF NON-ACTIVITY WITHOUT BEING MULCHED AND/OR SEEDED.
13. SOIL STOCKPILED FOR MORE THAN 7 DAYS SHALL HAVE SILT FENCE OR BALES PLACED ON THE DOWNHILL SLOPES TO TRAP SEDIMENT.
14. WHENEVER SOIL, ROCK, VEGETATION OR OTHER MATERIALS ARE EXPORTED FOR PLACEMENT IN AREAS OFF OF THE CONSTRUCTION SITE COVERED IN THIS PLAN, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT EPA STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO THE REMOVAL OF ANY MATERIALS FROM THE SITE THE GENERAL CONTRACTOR WILL FURNISH THE ENGINEER WITH WRITTEN AGREEMENT, SIGNED BY EACH LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THEY ACCEPT THE MATERIAL AND THAT RECEIVING SITE IS PROPERLY PERMITTED, WHEN REQUIRED.

**STORM WATER MANAGEMENT - Sediment Control**

1. THIS PLAN OUTLINES STORM WATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL PRACTICES TO BE FOLLOWED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE TO PREVENT SOIL OR SEDIMENT LOSS FROM THE CONSTRUCTION SITE AND CANNOT LEAVE THE SITE UNTIL ALL PERMANENT EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT PRACTICES ARE IN PLACE, INSPECTED AND HAVE BEEN FOUND TO BE SATISFACTORY, AND UNTIL ALL TEMPORARY PRACTICES HAVE BEEN PROPERLY REMOVED.
2. THIS PROJECT HAS BEEN DESIGNED TO PROVIDE POSITIVE POST-CONSTRUCTION CONTROL OF EXCESS STORM WATER GENERATED ON THE SITE THROUGH THE USE OF CURBS, GUTTERS, PIPING, STORM WATER BASINS. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL AND MAINTAIN STORM WATER MANAGEMENT STRUCTURES IN A MANNER TO MAXIMIZE STORM WATER CONTROL.
3. THIS PROJECT IS DESIGNED TO MINIMIZE OFF-SITE EFFECT OF SOIL EROSION AND RESULTING SEDIMENT LOSS THROUGH THE USE OF PROPER CONSTRUCTION TECHNIQUES, INCLUDING INSTALLING BOTH TEMPORARY AND PERMANENT MANAGEMENT PRACTICES. ALL SOIL DISTURBING ACTIVITIES PERFORMED BY THE CONTRACTOR SHALL BE ACCOMPLISHED IN SUCH A MANNER AS TO PREVENT THE LOSS OF SEDIMENT IN STORM WATER AND TRACKING OF SOIL FROM VEHICLE TRAFFIC FROM THE CONSTRUCTION SITE.
4. PROPOSED DETENTION BASINS TO ACT ALSO AS SEDIMENT CONTROL BASINS. REFER TO SHEET C5.2 FOR POND SIZING. NO OUTLET STRUCTURE IS PROPOSED DUE TO HIGH PECULATION RATES OF SANDY SOILS. BASIN IS DESIGNED TO CONTAIN 100 YEAR RAINFALL EVENT WITH A MINIMUM OF 2.00 FEET OF FREEBOARD.

**CONSTRUCTION SPECIFICATIONS**

1. WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH SHOULD BE A MINIMUM OF 6" DEEP AND 6" WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH WOOD, SUPPORT POST OR TO WOVEN WIRE WHICH IS IN TURN ATTACHED TO THE WOOD FENCE POSTS.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE UNIFORMLY DISTRIBUTED ON THE SOURCE AREA PRIOR TO TOPSOILING.
8. THE EROSION CONTROL SHOWN SHALL BE SILT FENCE. ADDITIONAL EROSION CONTROL PROVIDED BY CONTRACTOR MAY BE STRAW BALE DIKE.



**EROSION CONTROL DETAILS**

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**PRYOR ROAD**  
**LEE'S SUMMIT, MO 64081**

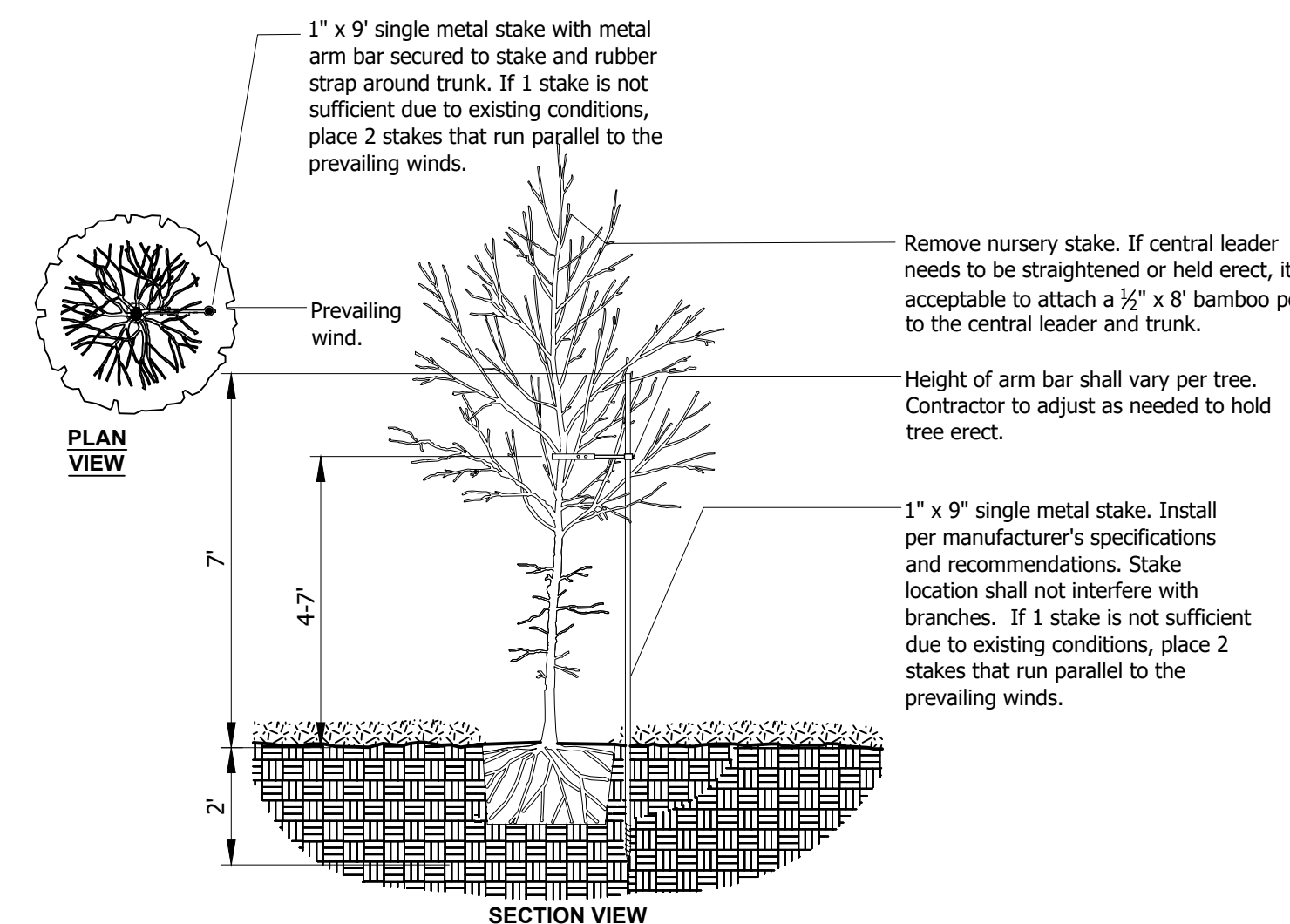
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**EROSION CONTROL PLAN**  
**C6.0**

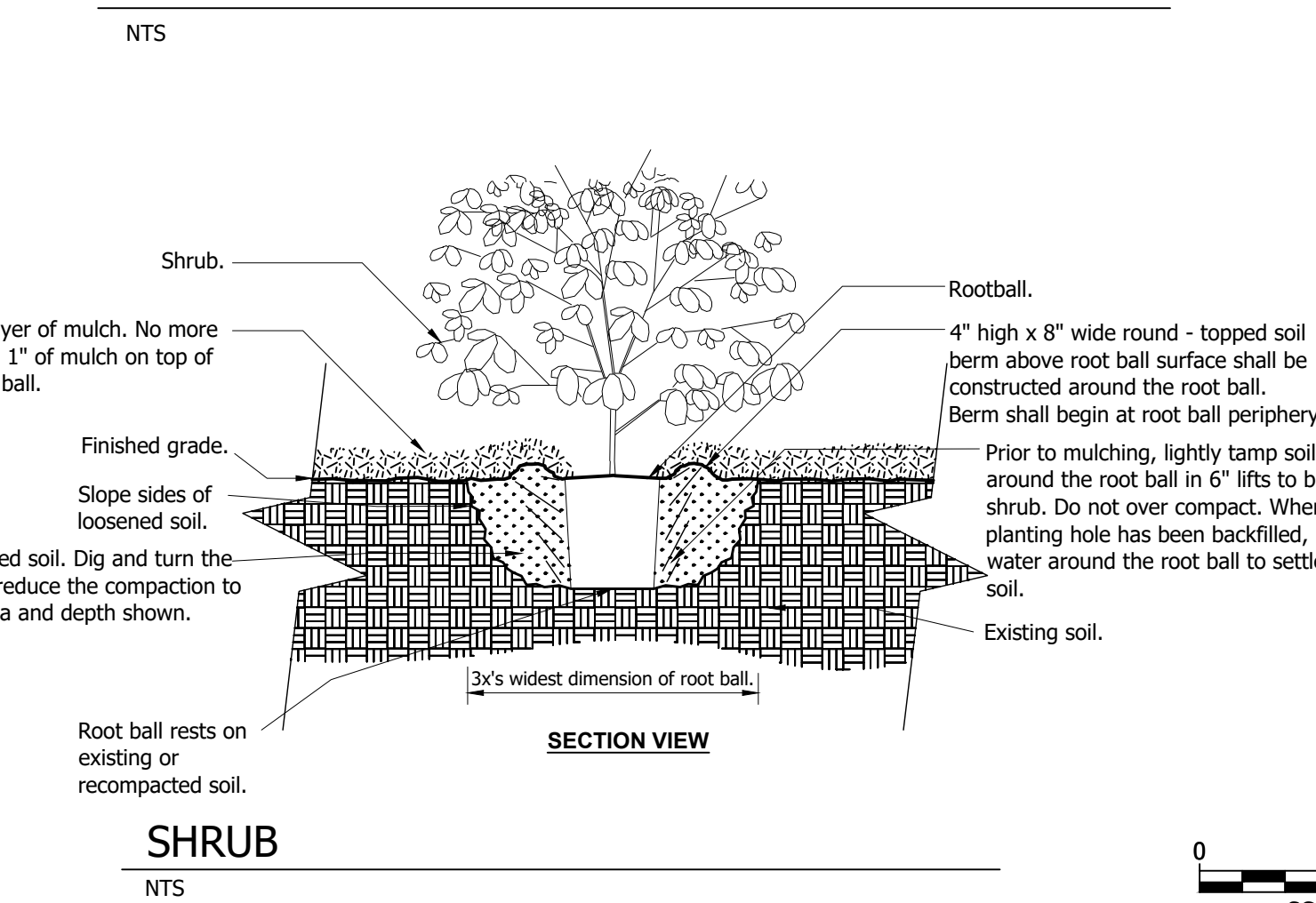
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LANDSCAPE NOTES:

- GENERAL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-1990) PLUS UPDATES.
- EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG INDICATING BOTANICAL NAME AND COMMON NAME FOR DELIVERY TO SITE.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITH OUT THE APPROVAL OF THE OWNER. ALL PLANTING LOCATIONS FOR TREES AND SHRUBS SHALL BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE OWNER, PRIOR TO INSTALLATION.
- ALL DISCREPANCIES AND/OR FIELD CHANGES SHALL BE REPORTED TO THE OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PLANTING.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL SHRUB AND TREE PLANTING AREAS SHALL BE EXCAVATED AND BACK-FILLED WITH PLANT MIX. PROVIDE FERTILIZER WITH NOT LESS THAN 5% TOTAL NITROGEN, 10% AVAILABLE PHOSPHORIC ACID AND 5% SOLUBLE POTASH. DISCARD SUBSOIL REMOVED FROM PLANTING AREA EXCAVATION; DO NOT MIX WITH PLANT MIX OR USE AS BACK-FILL. SEE DETAILS FOR COMPLETE PLANTING PREPARATION. PREPARE PLANTING AREAS AND INSTALL PLANTS COMPLETELY, PRIOR TO SEEDING.
- PLANT MIX SHALL CONSIST OF TOPSOIL COMPLETELY FREE OF DEBRIS, ROCK IN EXCESS OF 1" IN DIAMETER, STICKS AND CLAY. MIX ONE PART COMPOSTED STABLE MANURE AND THREE PARTS TOPSOIL WITH FERTILIZER AS SPECIFIED ABOVE.
- ALL SHRUBS SHALL BE INSTALLED IN PROPOSED PLANTING BEDS AND COVERED WITH SHREDDED BARK MULCH OR ACCEPTABLE MATERIAL APPROVED BY THE OWNER.
- ALL PLANTED SURFACES SHALL RECEIVE EMULSION TYPE, FILM FORMING, ANTI-DESSICANT AGENT DESIGNED TO PERMIT TRANSPIRATION, BUT RETARD EXCESSIVE LOSS OF MOISTURE FROM PLANTS. ANTI-DESSICANT TO BE DELIVERED IN MANUFACTURER'S FULLY IDENTIFIED CONTAINERS AND MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY PRIOR TO APPLICATION OF MULCH.
- ALL DISTURBED AREAS NOT DESIGNATED AS PAVEMENT OR PLANTING BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE BLEND OR APPROVED EQUAL AT THE DIRECTION OF THE OWNER. ALL TURF AREAS SHALL CONSIST OF A MINIMUM 8" THICKNESS TOPSOIL FREE OF CLAY, DEBRIS, STICKS OR ROCKS IN EXCESS OF 1" IN DIAMETER. ALL TOPSOIL AREAS SHALL BE FINE GRADED AND RAKED, REMOVING RIDGES AND FILLING DEPRESSIONS AS REQUIRED TO MEET FINISHED GRADES AND CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PRIOR TO SODDING, MOISTEN PREPARED TOPSOIL IF GROUND IS DRY. AFTER ONE MONTH FOLLOWING SODDING, APPLY FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE FOR NEWLY ESTABLISHED LAWN. AFTER TWO MONTHS FOLLOWING SODDING, APPLY GYPSUM AT THE RATE OF 100 LBS. PER 1000 SQ. FEET. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL PLANTED OR TURF AREAS THROUGHOUT THE WARRANTY PERIOD AND SHALL PERFORM OPERATIONS SUCH AS ROLLING, REGRADING, RESODDING, AND/OR REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH TURF SURFACE, FREE OF ERODED OR BARE AREAS.
- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AREAS AND QUANTITIES OF SOD NEEDED FOR OPTIMUM COVERAGE.
- ALL EDGING IS A NATURAL EARTH EDGE AS SHOWN, CONSTRUCTED WITH A SHARPSHOOTER OR OTHER SUITABLE IMPLEMENT. LINES AND CURVES SHALL BE CONTINUOUS AND SMOOTH, MEETING THE DESIGN INTENT SHOWN ON THE DRAWINGS.
- REMOVE ANY EXCESS SOIL AND DEBRIS FROM AREA AND DISPOSE OF IN AN APPROVED MANNER.
- SPACING SHOWN FOR PLANTS IS FOR INFORMATION ONLY AND SHALL BE ADJUSTED AS REQUIRED TO PROVIDE UNIFORM SPACING WITHIN PLANTING BEDS.



TREE STAKING - SINGLE METAL STAKE



| PLANT SCHEDULE |                                                                          |        |        |              |     | LANDSCAPE ZONES |                 |
|----------------|--------------------------------------------------------------------------|--------|--------|--------------|-----|-----------------|-----------------|
| TREES          | BOTANICAL NAME / COMMON NAME                                             | CONT   | CAL    | SIZE         | QTY | LANDSCAPE STRIP | OPEN YARD AREAS |
| ACE TRU        | Acer truncatum / Shantung Maple                                          | B & B  | 3\"Cal |              | 8   | 6               | 2               |
| ACE AR6        | Acer x freemanii 'Armstrong' / Armstrong Freeman Maple                   | B & B  | 3\"Cal |              | 4   |                 | 4               |
| CER OKL        | Cercis canadensis 'Oklahoma' / Oklahoma Redbud                           | B & B  | 3\"Cal |              | 6   | 4               | 2               |
| JUN ME2        | Juniperus scopulorum 'Medora' / Medora Juniper                           | Ht.    |        | Min. 8' Tall | 13  |                 | 13              |
| JUN BUR        | Juniperus virginiana 'Burkii' / Burk Red Cedar                           | Ht.    |        | Min. 8' Tall | 1   |                 | 1               |
| TAX DIS        | Taxodium distichum / Bald Cypress                                        | B & B  | 3\"Cal |              | 2   |                 | 2               |
| SHRUBS         | BOTANICAL NAME / COMMON NAME                                             | SIZE   | FIELD2 | FIELD3       | QTY | LANDSCAPE STRIP | OPEN YARD AREAS |
| BER AT3        | Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanes Barberry | 2 gal  |        |              | 34  |                 | 34              |
| CAL KAR        | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass          | 2 gal  |        |              | 57  | 10              | 47              |
| DEU NIK        | Deutzia gracilis 'Nikko' / Slender Deutzia                               | 2 gal  |        |              | 35  |                 | 35              |
| LIR VAR        | Liriope muscari 'Variegata' / Variegated Lily Turf                       | 4\"pot |        |              | 9   | 9               |                 |
| PEN BUN        | Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass    | 2 gal  |        |              | 20  |                 | 20              |

IRRIGATION NOTE: ALL PARKING LOT ISLANDS AND BUILDING FOUNDATION PLANTING BEDS TO BE DRIP IRRIGATED, ALL OTHER PLANTED OR GREEN SPACE AREAS TO BE IRRIGATED WITH HEAD-TO-HEAD COVERAGE WITHIN THE PROPERTY BOUNDARY, LAYOUT TO BE PROVIDED BY THE PROFESSIONAL LANDSCAPE CONTRACTOR AND APPROVED BY THE OWNER

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LANDSCAPE  
PLAN  
C7.0

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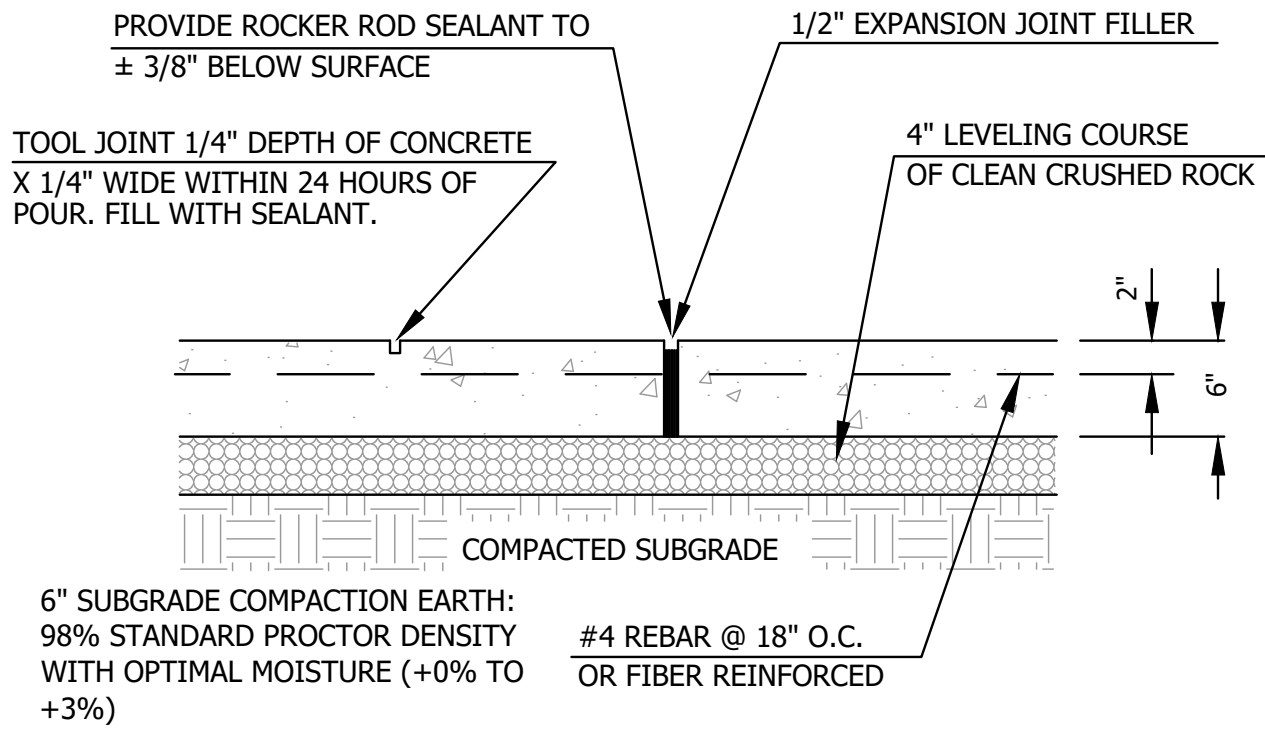


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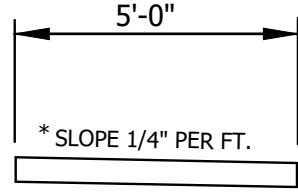
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SITE DETAILS  
  
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6" REINFORCED CONCRETE

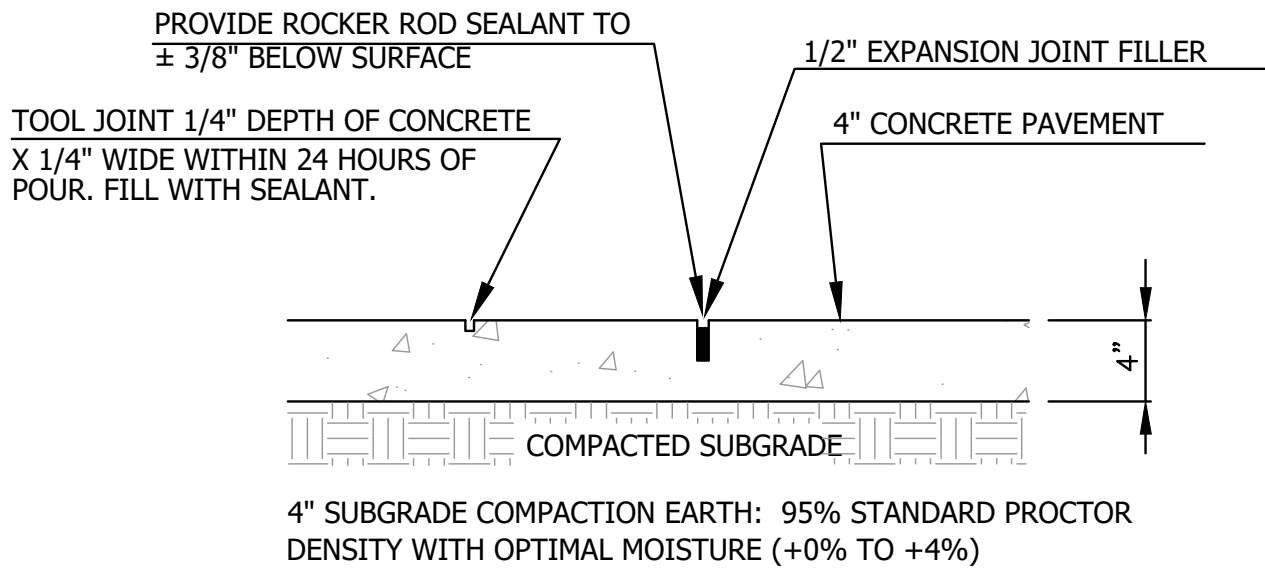
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\* SLOPE DOWNWARD FROM THE CURB WITH THE SAME MIN. & MAX. SLOPE LIMITS AT LOCATIONS SHOWN ON PLANS OR WHERE SO DIRECTED BY THE ENGINEER

CONCRETE SIDEWALK SECTION

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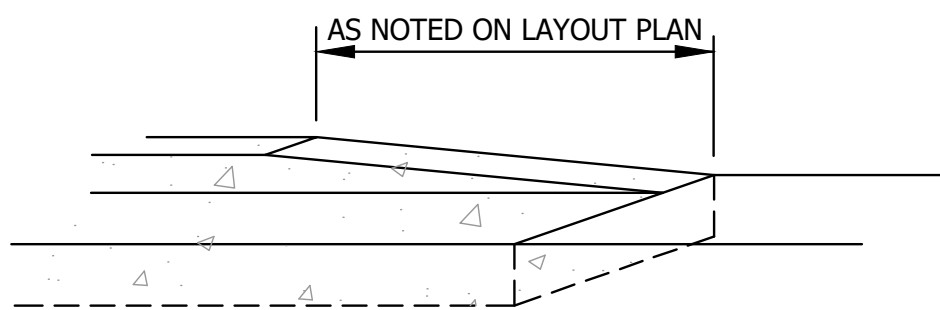


NOTE: PLACE EXPANSION JOINT BETWEEN ALL NEW SIDEWALKS AND EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER OR BUILDING FACE.

ALL JOINTS SHALL HAVE 4" (2" EACH SIDE JOINT) "WINDOW PANE" STRIP SMOOTH FINISH WITH BROOM FINISH ON REMAINING CONCRETE, EXCEPT WHERE NOTED OTHERWISE.

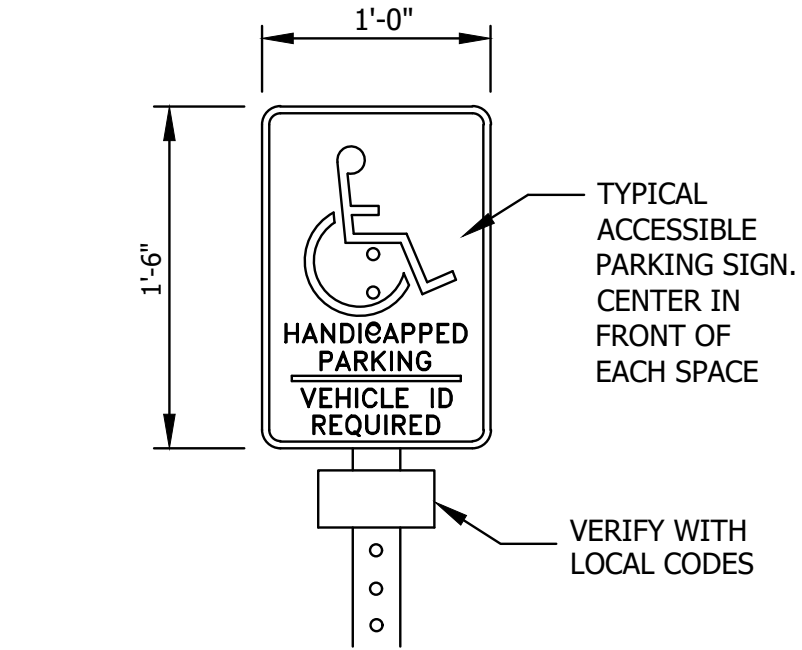
4" CONCRETE SIDEWALK

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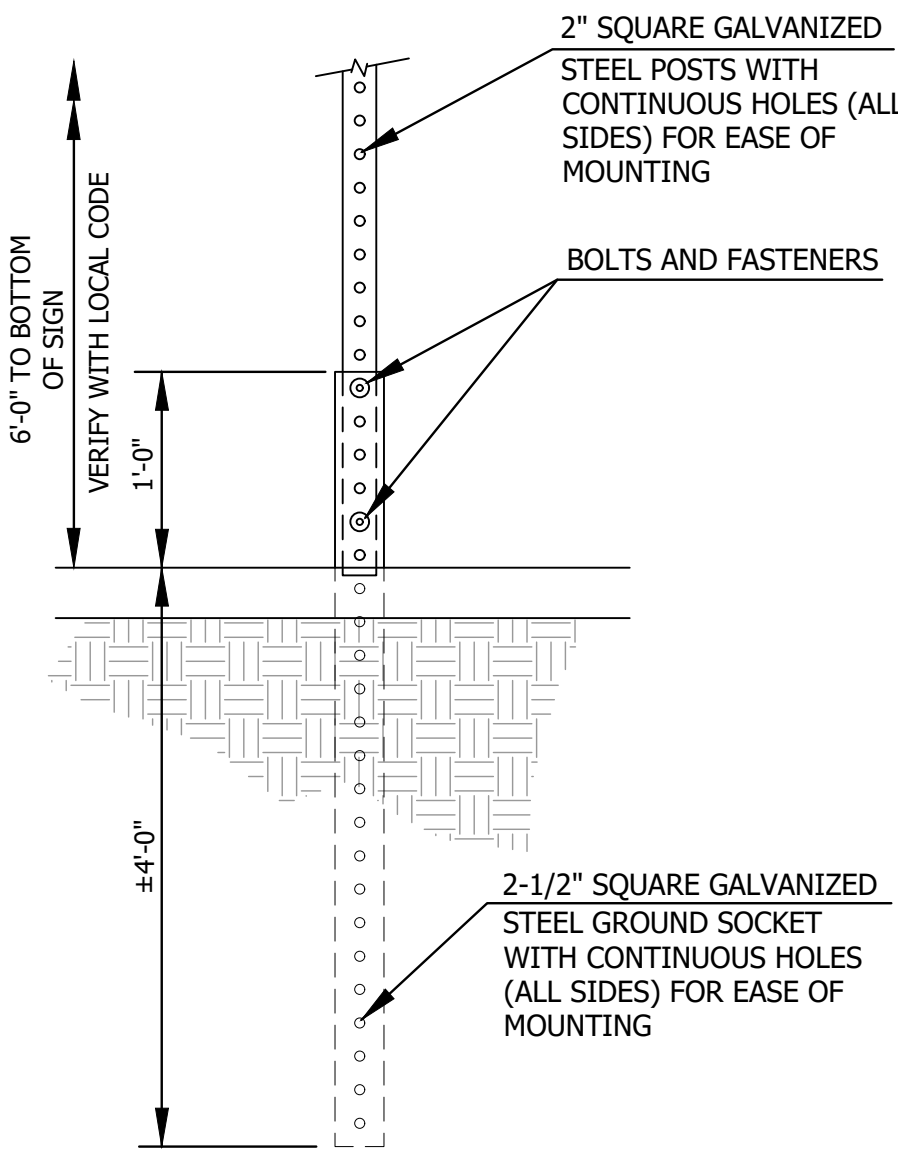
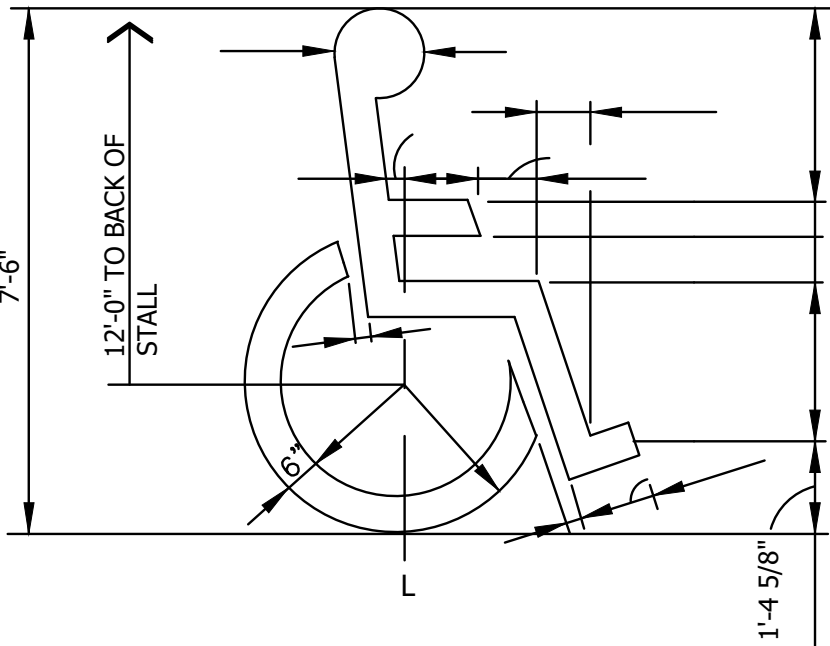
CURB TRANSITION

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ACCESSIBLE SIGN DETAIL

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SIGN POST SLEEVE SUPPORT

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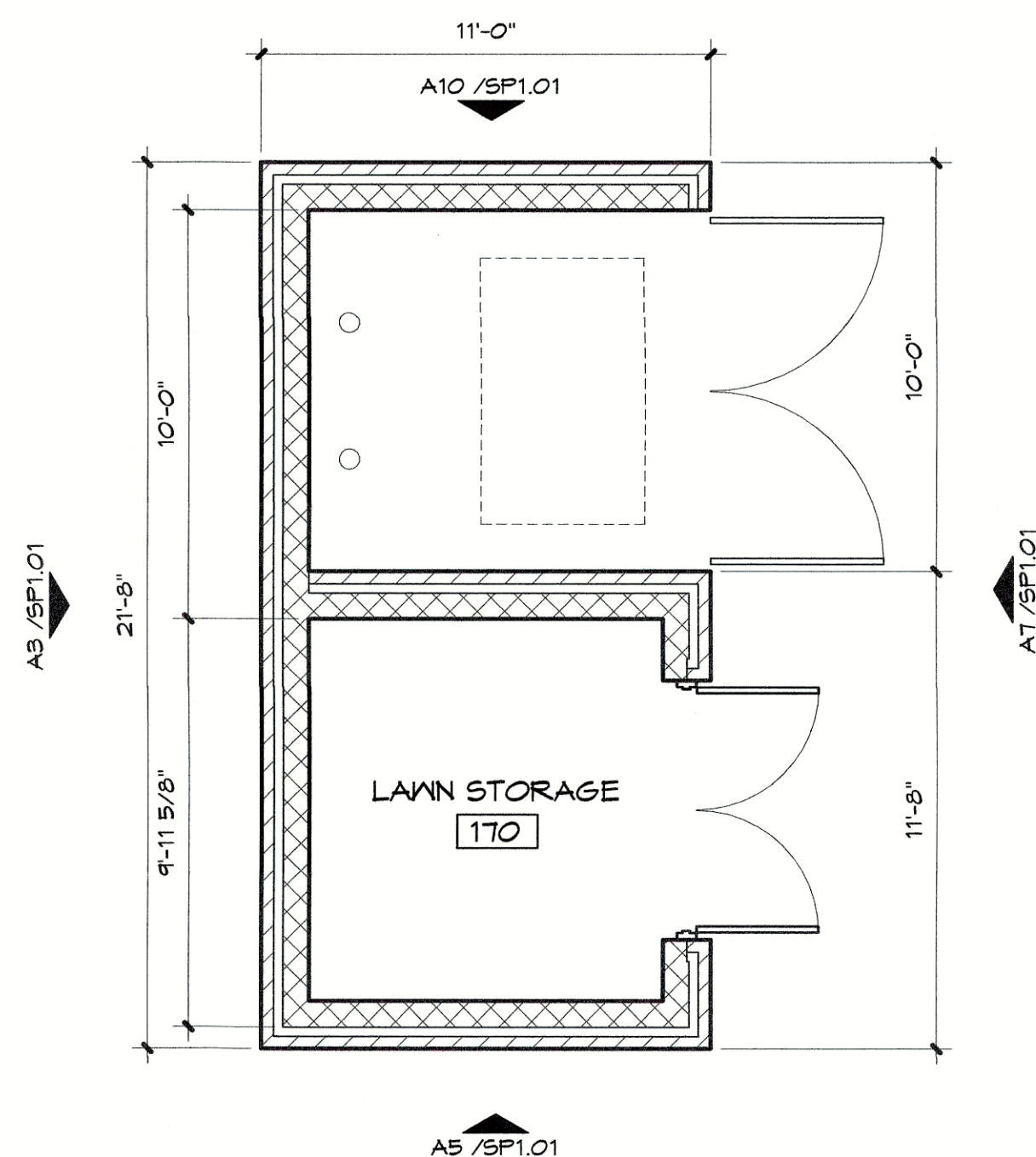
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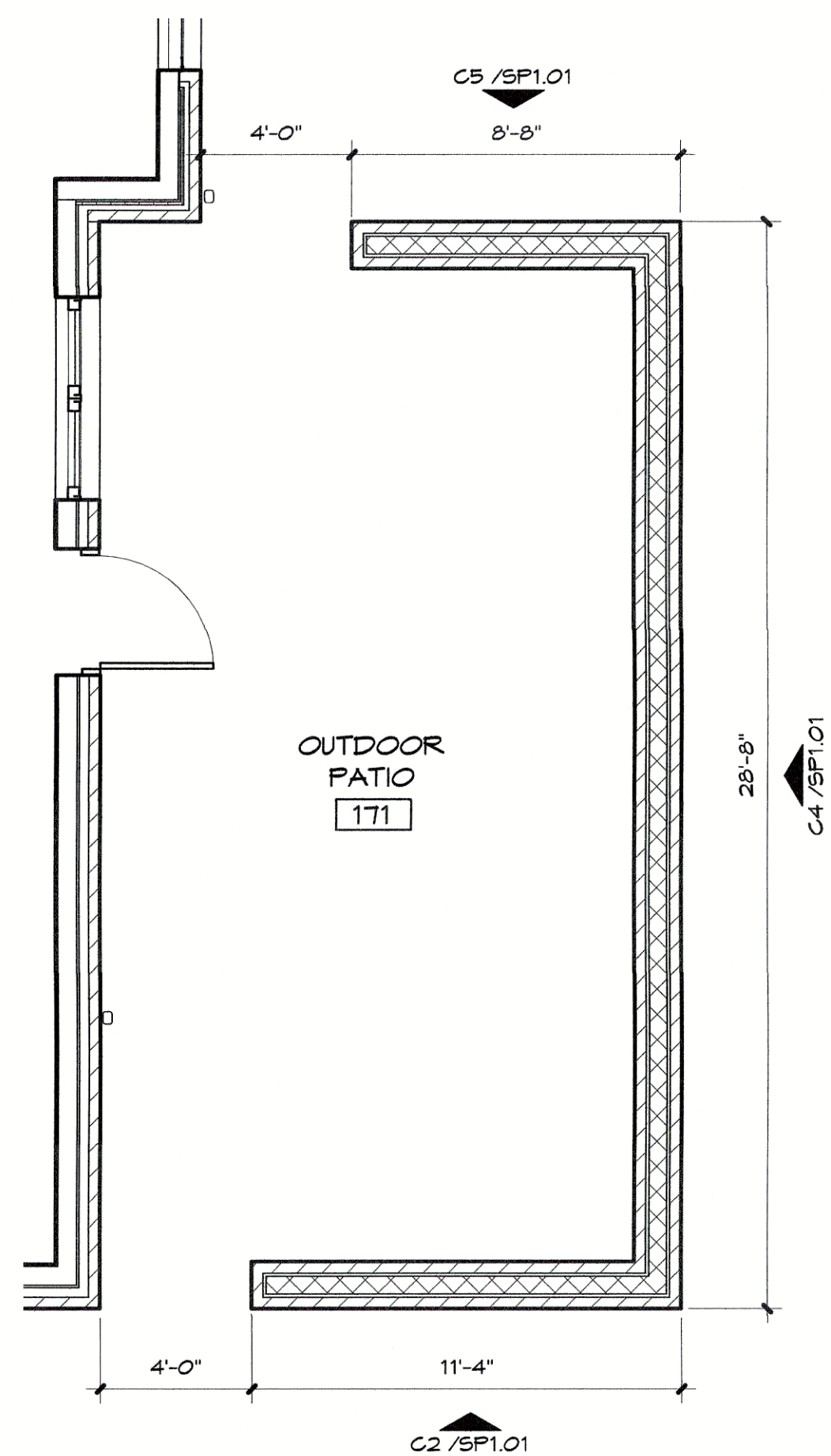
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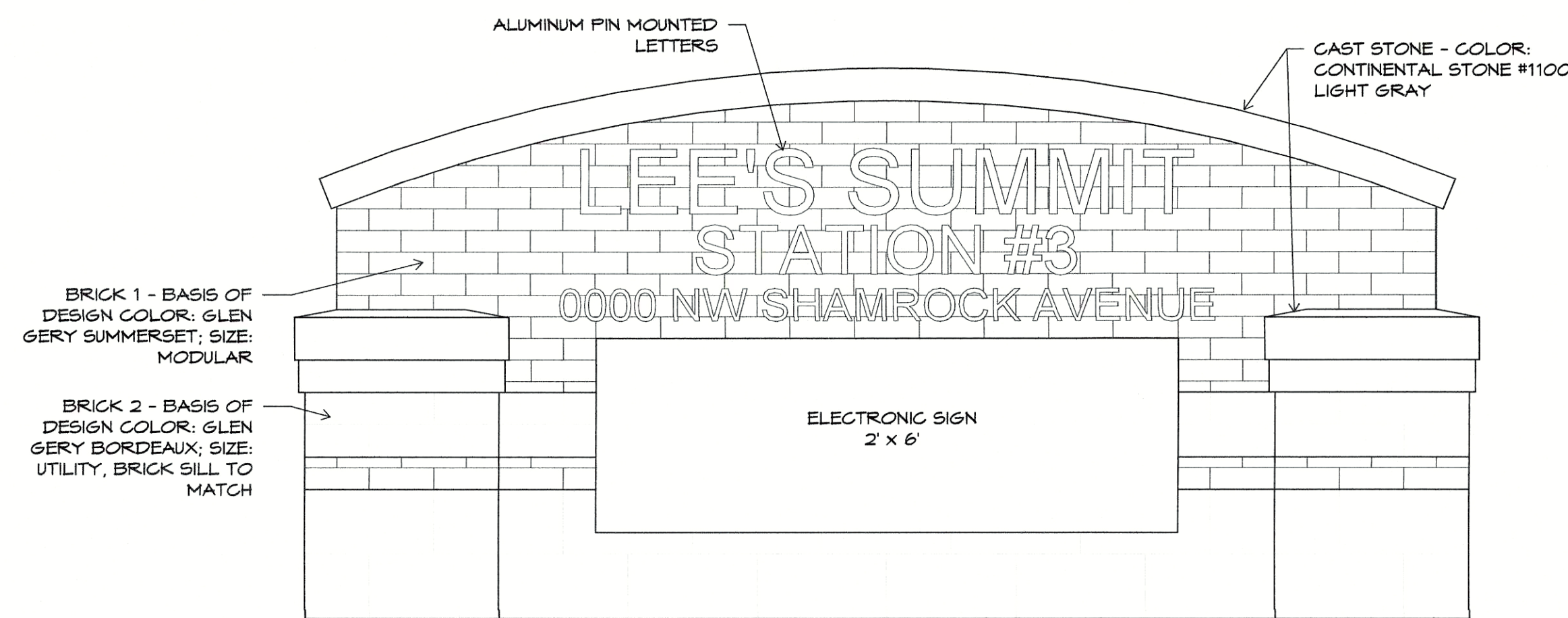
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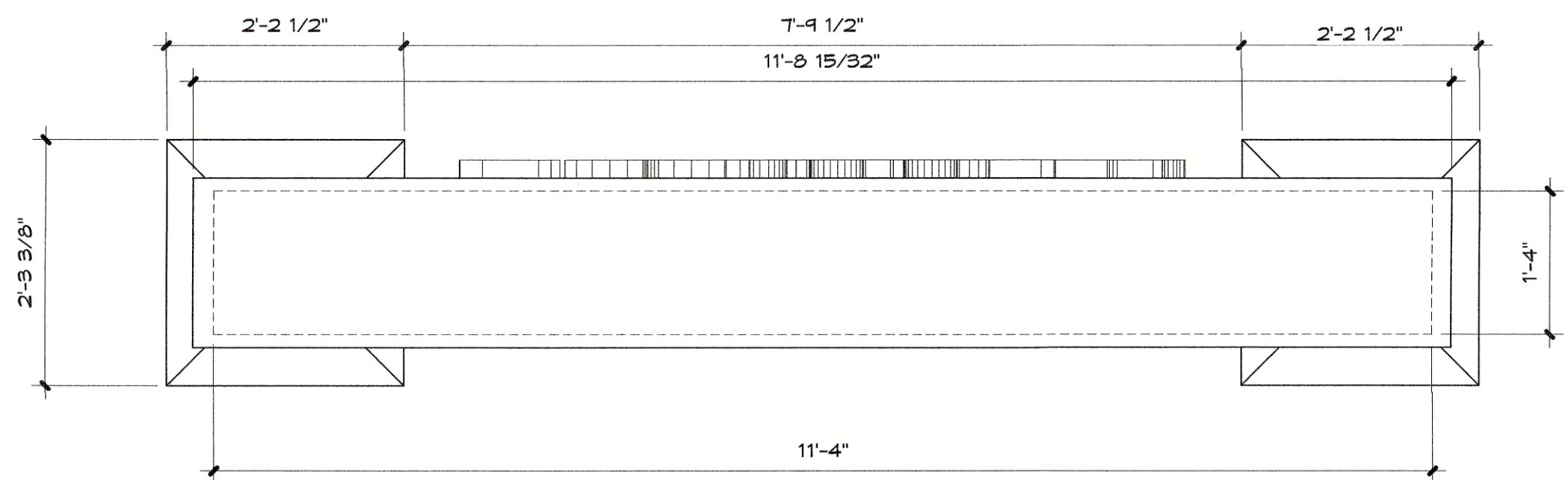
TRASH ENCLOSURE  
D9 PLAN  
1/4" = 1'-0"



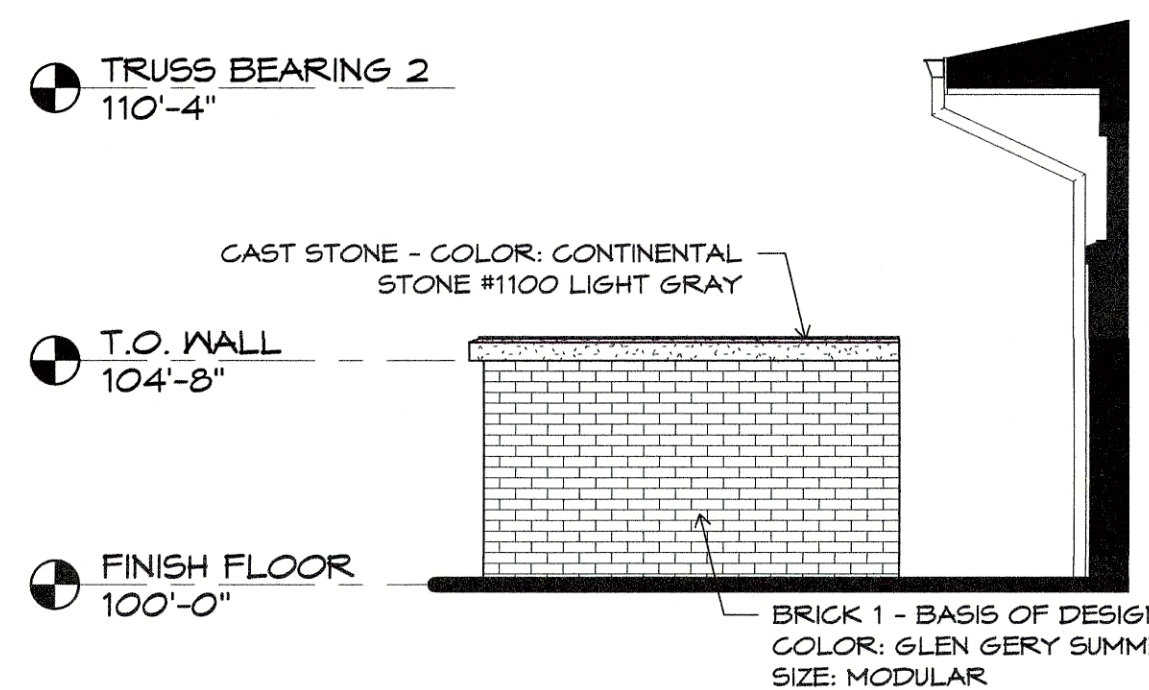
SCREEN WALL  
D6 PLAN  
1/4" = 1'-0"



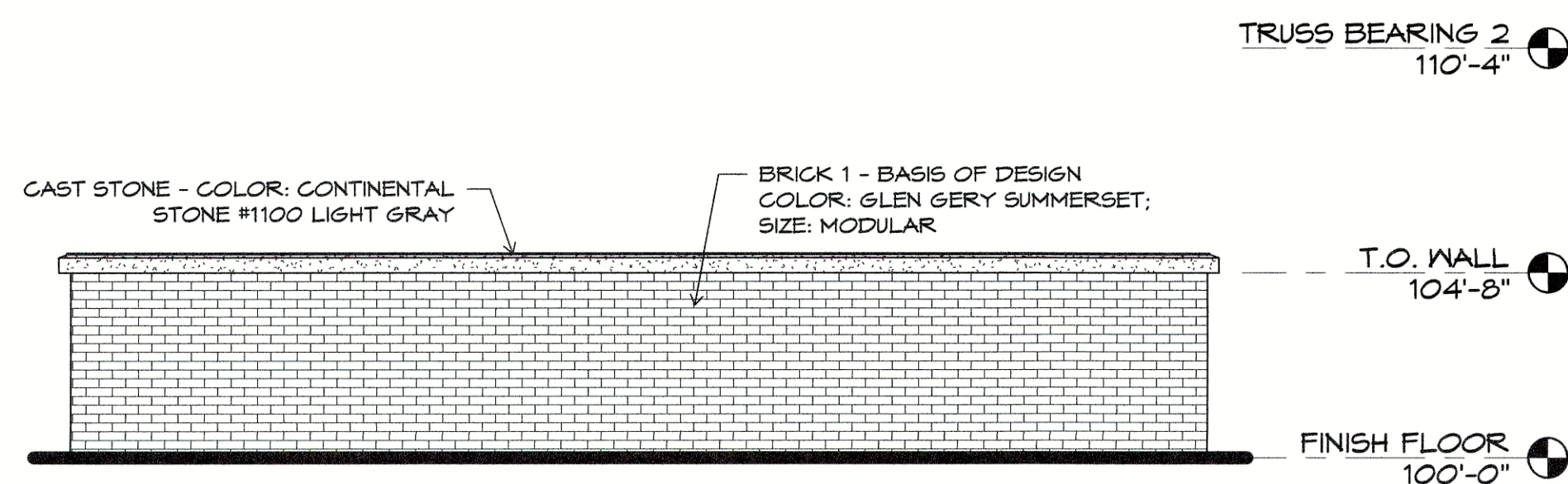
MONUMENT SIGN  
F4 ELEVATION  
3/4" = 1'-0"



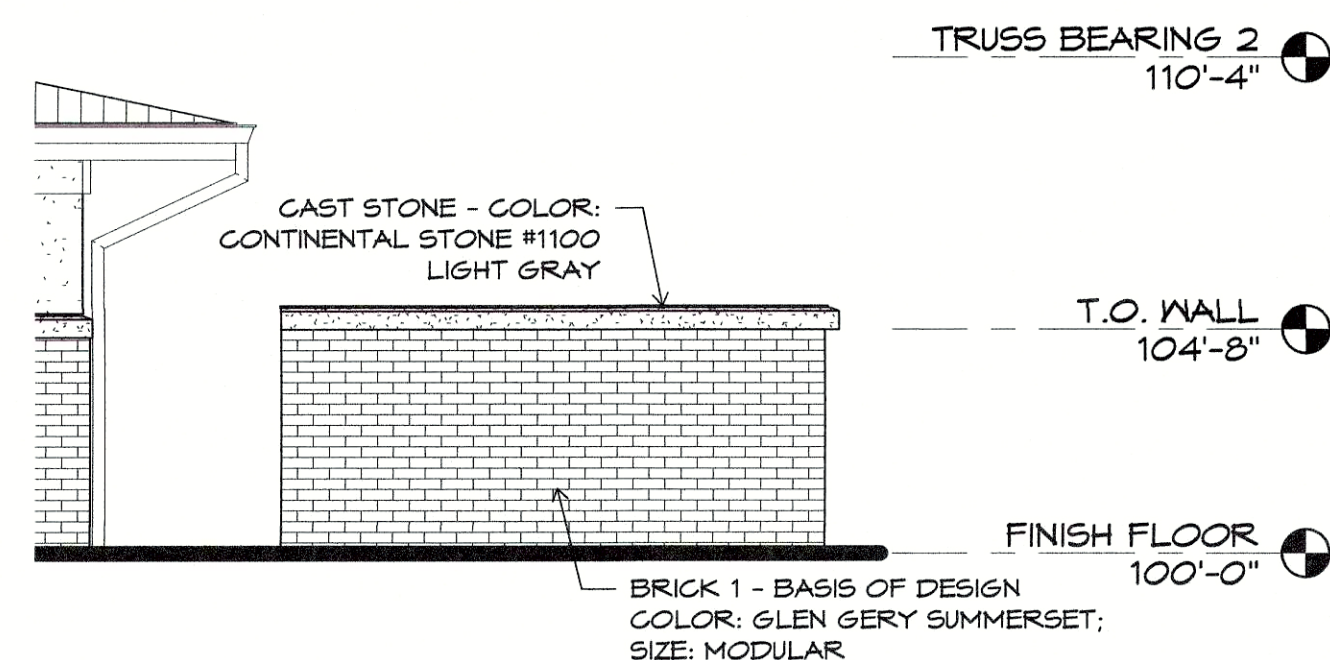
MONUMENT SIGN  
D4 PLAN  
3/4" = 1'-0"



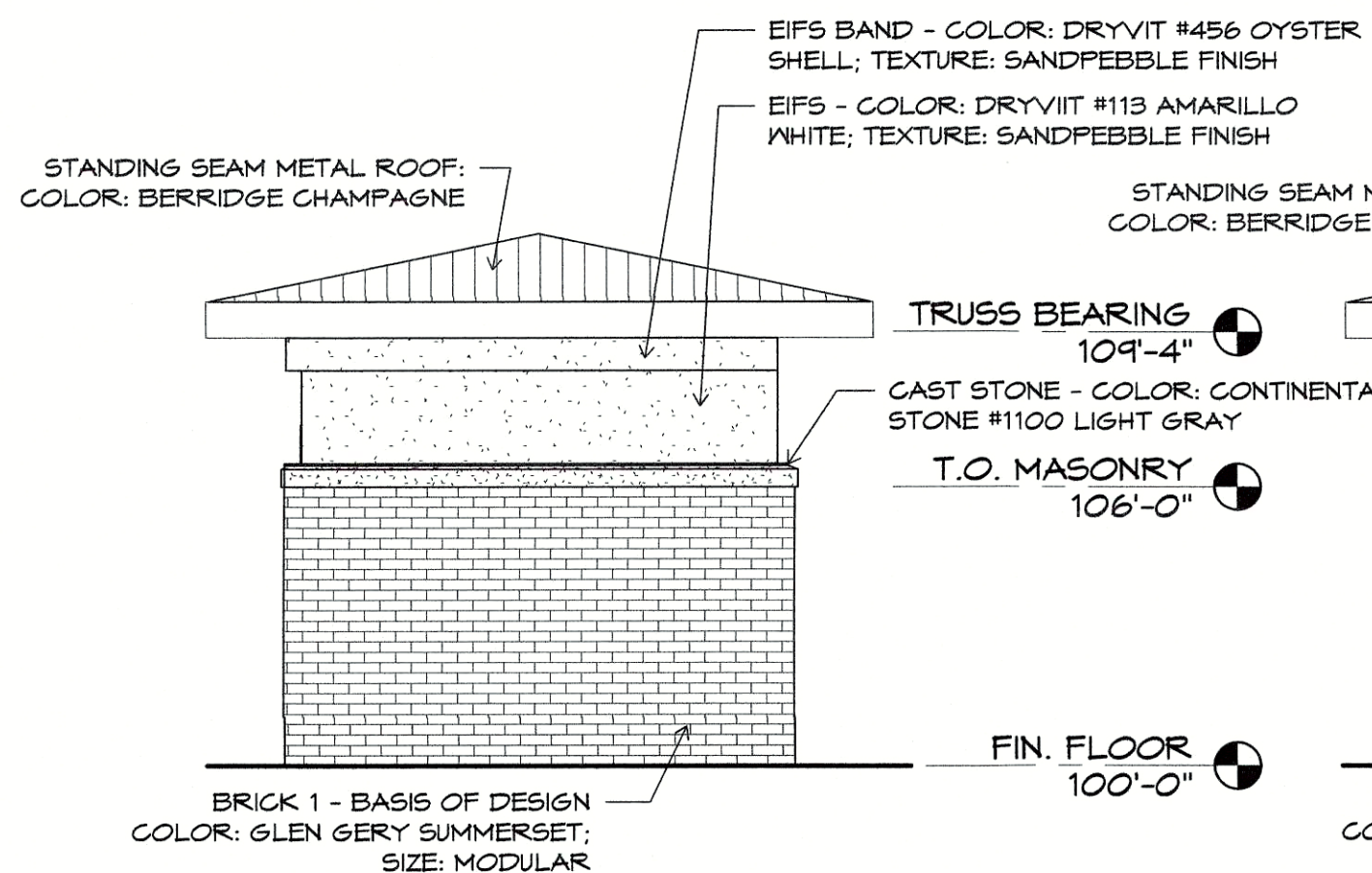
NORTH ELEVATION  
C5  
1/4" = 1'-0"



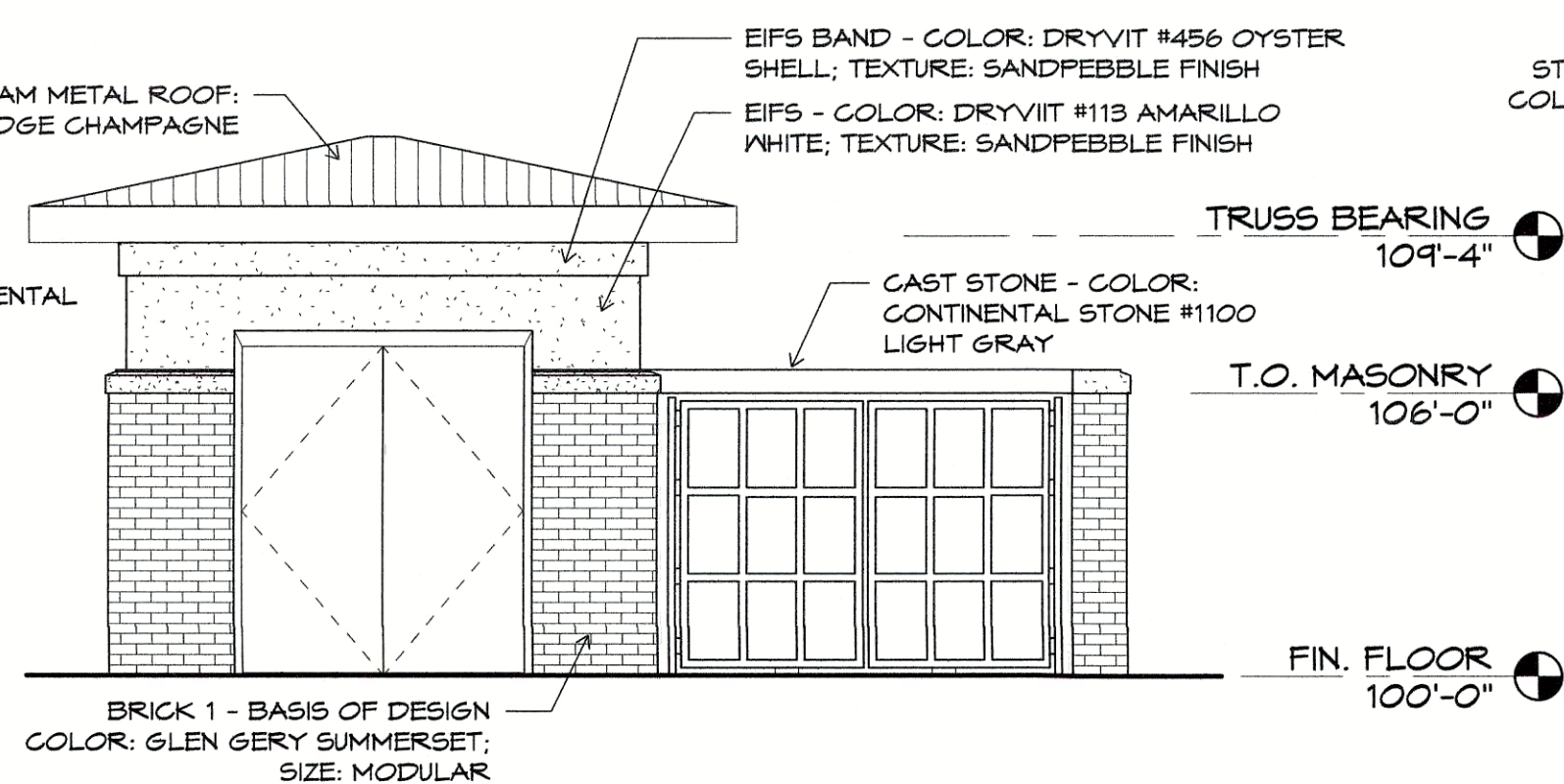
EAST ELEVATION  
C4  
1/4" = 1'-0"



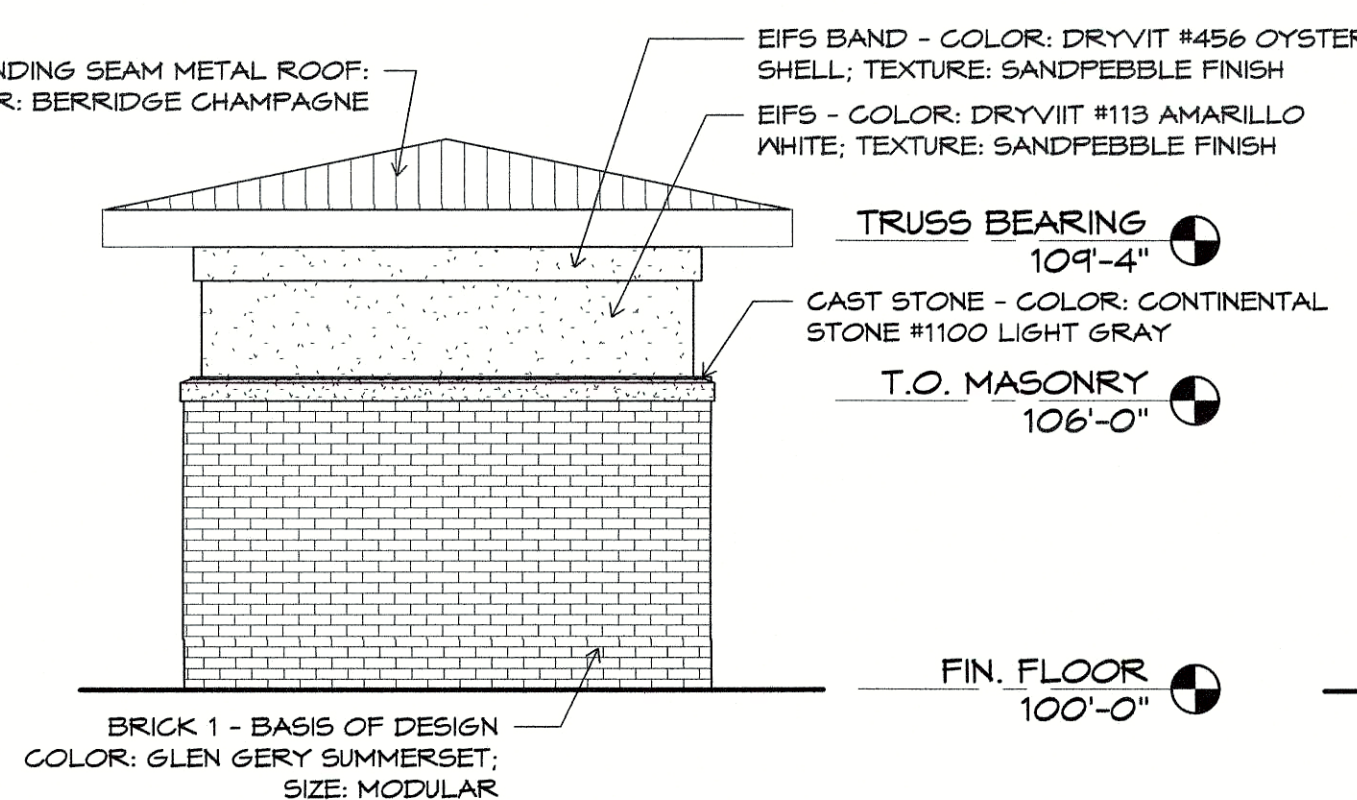
SOUTH ELEVATION  
C2  
1/4" = 1'-0"



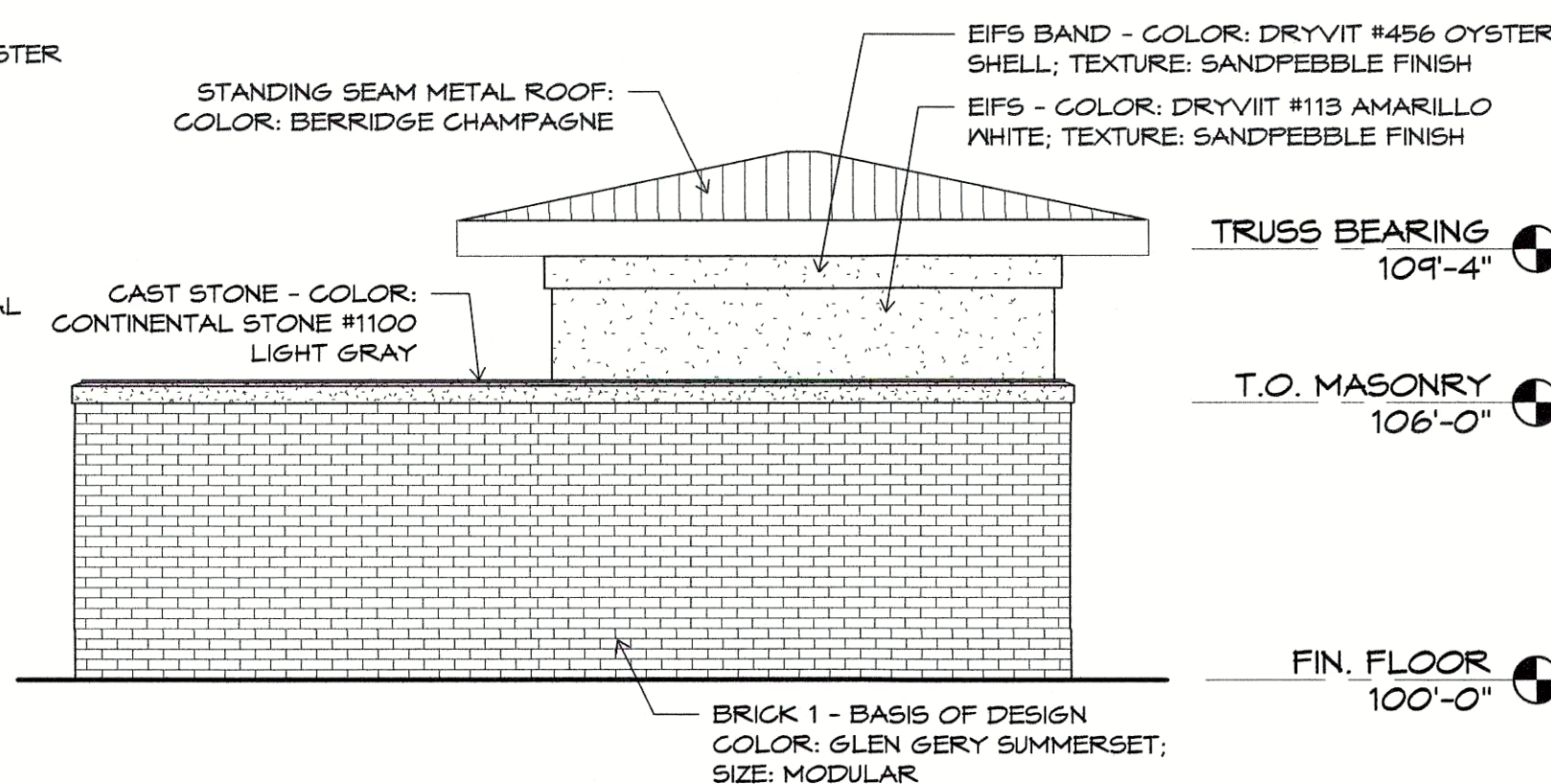
NORTH ELEVATION  
A10  
1/4" = 1'-0"



EAST ELEVATION  
A7  
1/4" = 1'-0"



SOUTH ELEVATION  
A5  
1/4" = 1'-0"



WEST ELEVATION  
A3  
1/4" = 1'-0"

JOB NUMBER  
00000  
ISSUE DATE  
02/02/2018  
REVISIONS

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STATE OF MISSOURI  
RICHARD A. KUHL  
NUMBER  
A-2009008321  
ARCHITECT  
Richard A. Kuhl - Architect  
MO # A-2009008321

LEE'S SUMMIT STATION #3

PRYOR ROAD

LEE'S SUMMIT, MO 64081

CLIENT NAME

Williams  
Spurgeon  
Kuhl &  
Freshnock  
Architects, Inc.  
Missouri Certificate of Authority  
#2003011262

SITE DETAILS

SP1.01

110 Armour Road North Kansas City, Missouri 64116 Tel. 816.300.4101 Fax 816.300.4102

10

9

8

7

6

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3

2

1

H

G

F

E

D

C

B

A

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00000  
ISSUE DATE  
02/02/2018  
REVISIONS

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Richard A. Kuhl - Architect  
MO # A-2009008321

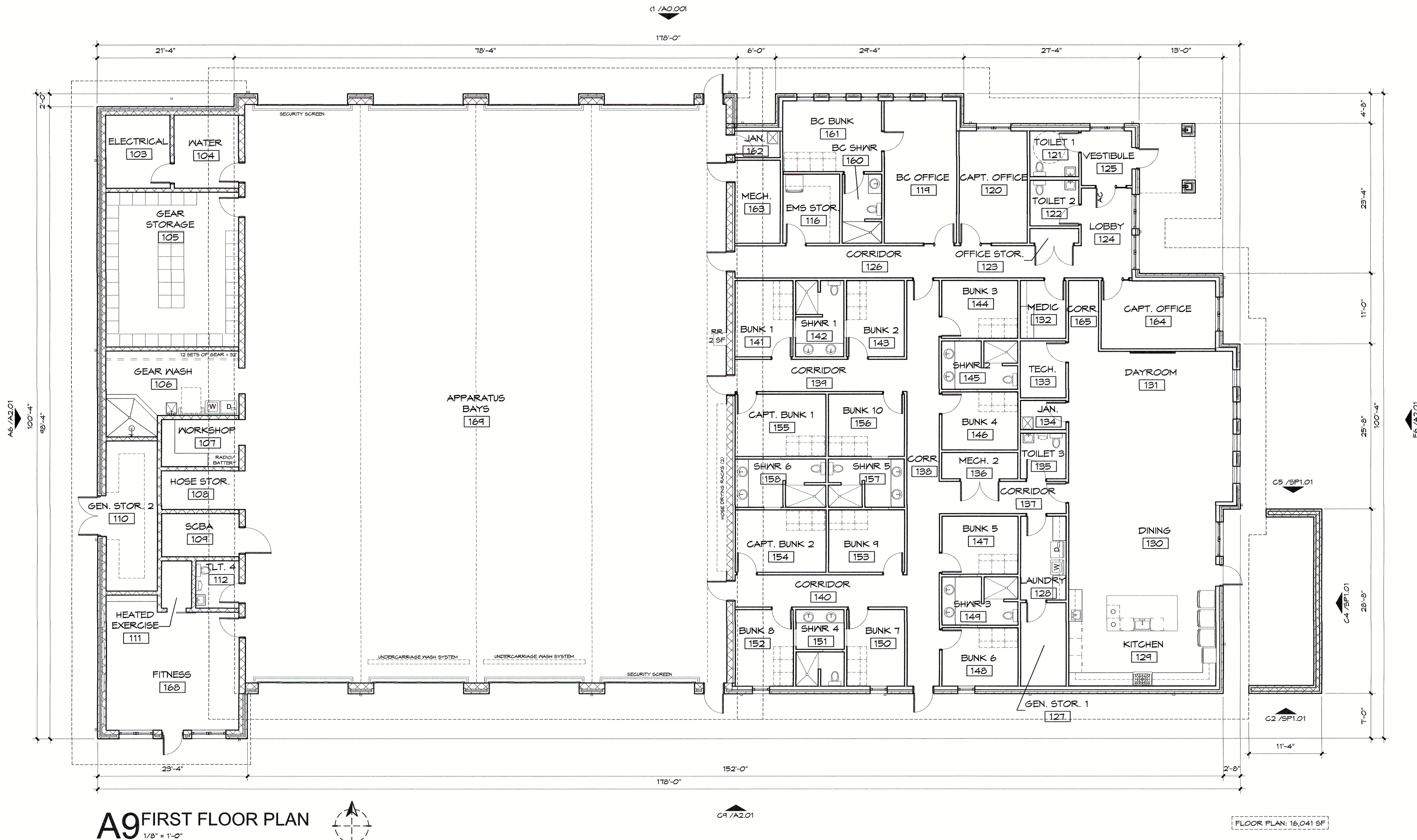
LEE'S SUMMIT STATION #3  
PRYOR ROAD  
LEE'S SUMMIT, MO 64081  
CLIENT NAME

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Spurgeon  
Kuhl &  
Freshnack  
Architects, Inc.  
Missouri Certificate of Authority  
#2003011262

FIRST FLOOR  
PLAN

A1.01

110 Armour Road North Kansas City, Missouri 64116 Tel. 816.300.4101 Fax 816.300.4102



A9 FIRST FLOOR PLAN  
1/8" = 1'-0"



C9 /A2.01

FLOOR PLAN: 16,041 SF

E6 /A2.01

C1 /A0.001

A6 /A2.01

2/2/2018 1:52:08 PM  
C:\Users\Dalyn\OneDrive\Documents\Projects\17018 - Lee's Summit  
Station 317018 - Lee's Summit  
Station 3 Central.DWG

10 9 8 7 6 5 4 3 2 1

H

G

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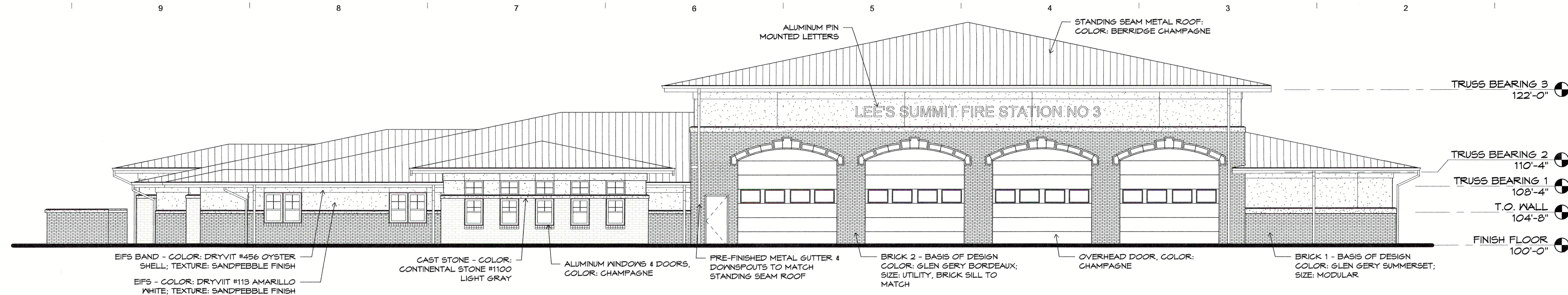
E

D

C

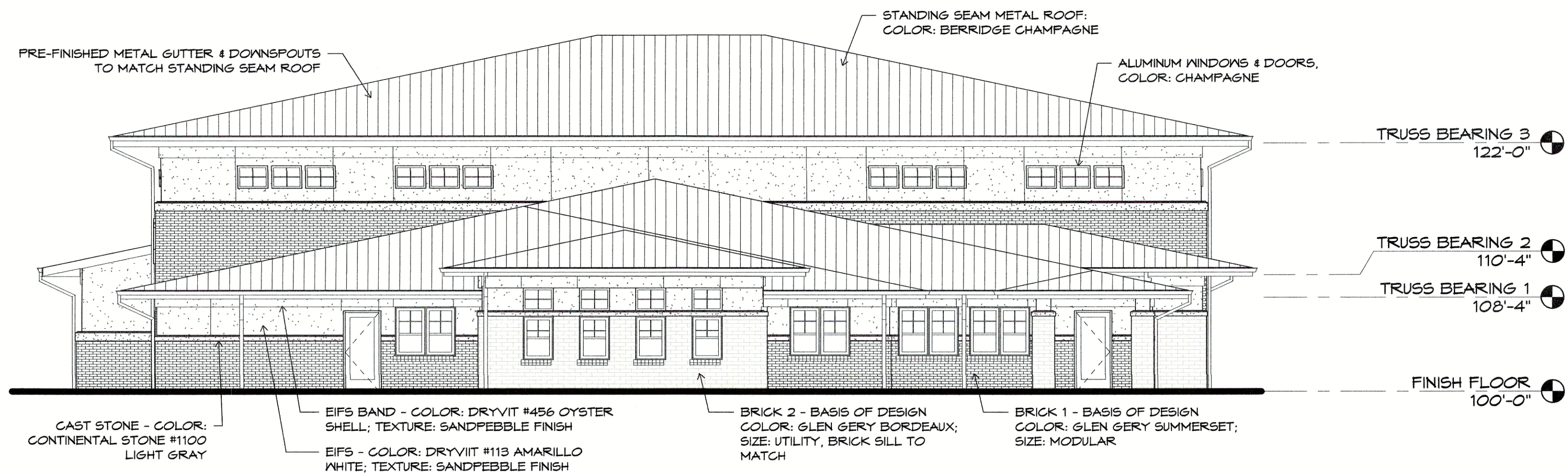
B

A

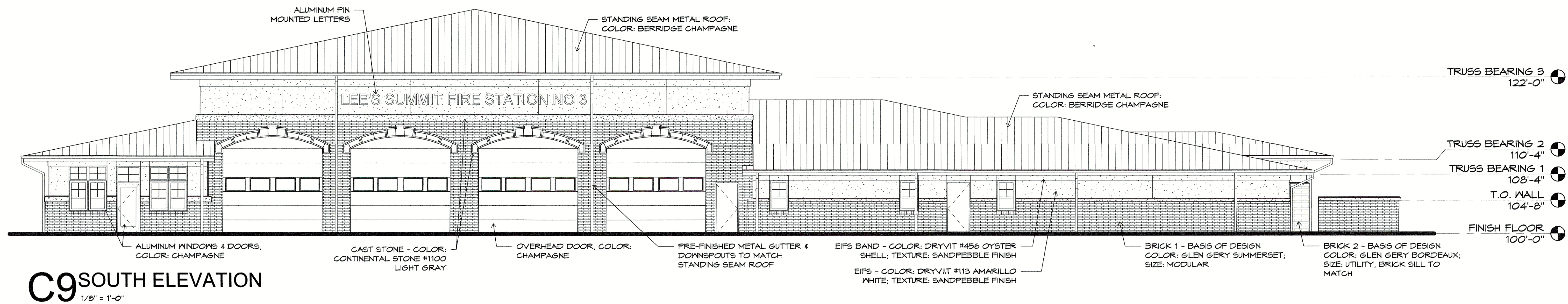


**G9** NORTH ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIALS TO MATCH LEE'S SUMMIT FIRE STATION #2 (SEE IMAGE BELOW).



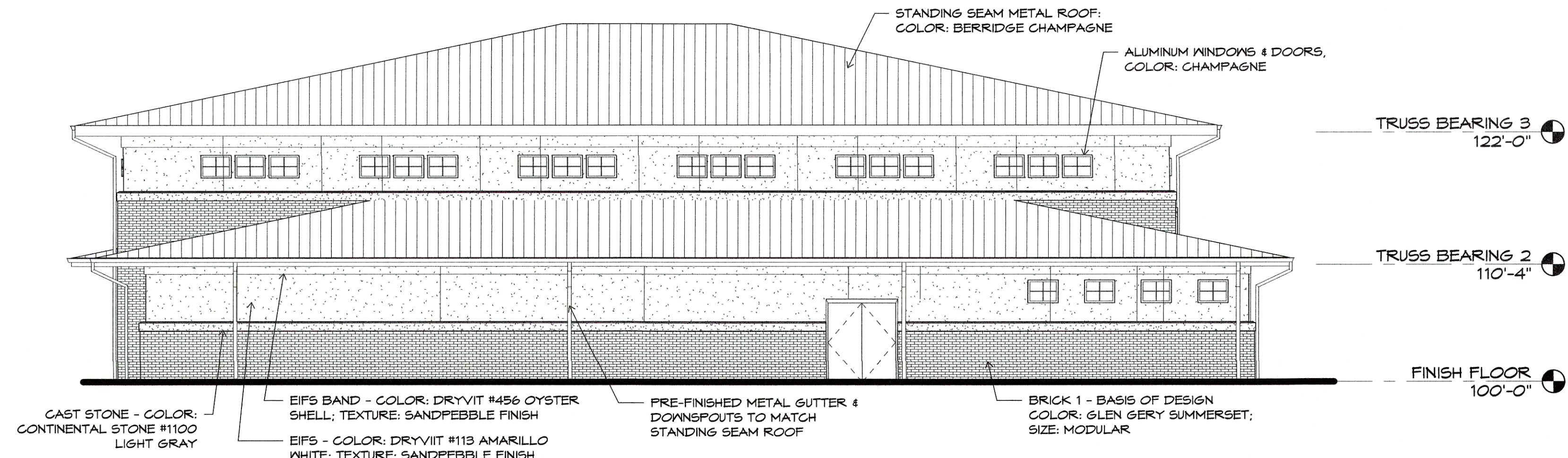
**E6** EAST ELEVATION  
1/8" = 1'-0"



**C9** SOUTH ELEVATION  
1/8" = 1'-0"



**A10** FRONT ELEVATION OF LEE'S SUMMIT FIRE STATION #2  
NOT TO SCALE



**A6** WEST ELEVATION  
1/8" = 1'-0"

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EXTERIOR  
ELEVATIONS

**A2.01**

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