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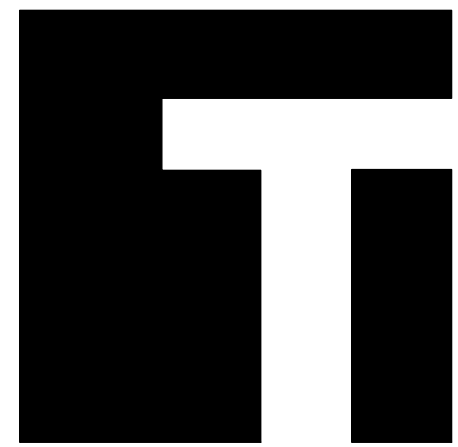
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THIS PROJECT TEAM MEMBER IS NOT CONTRACTUALLY THE RESPONSIBILITY OF TEVIS ARCHITECTS

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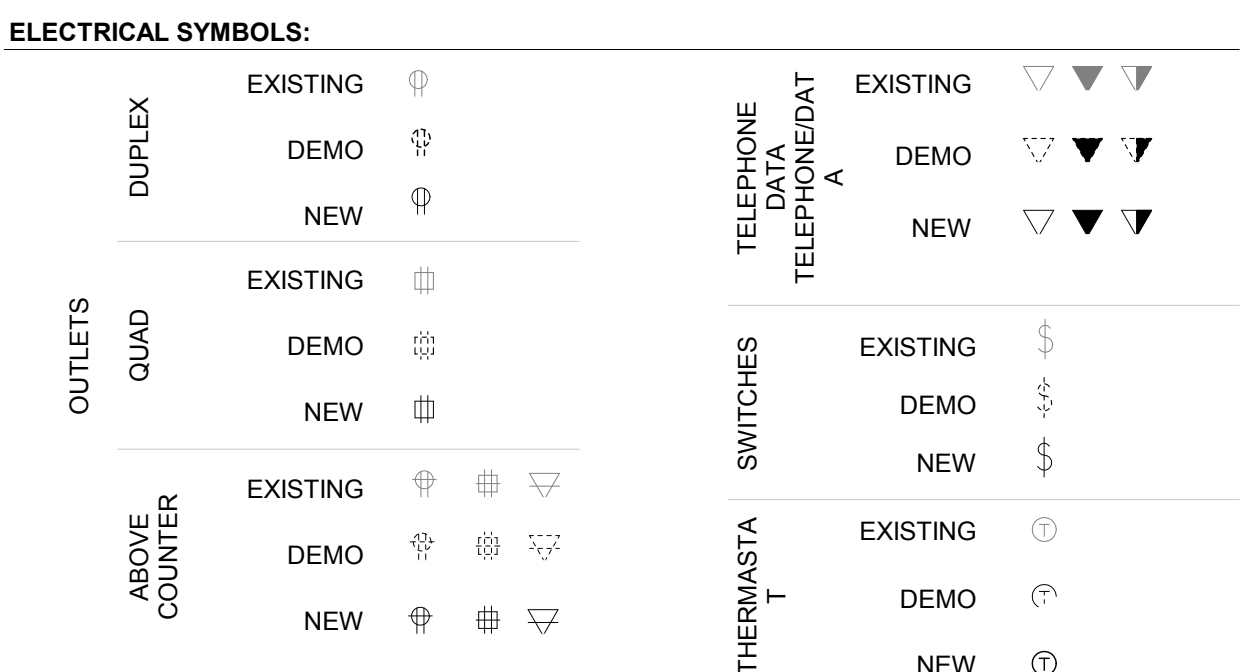
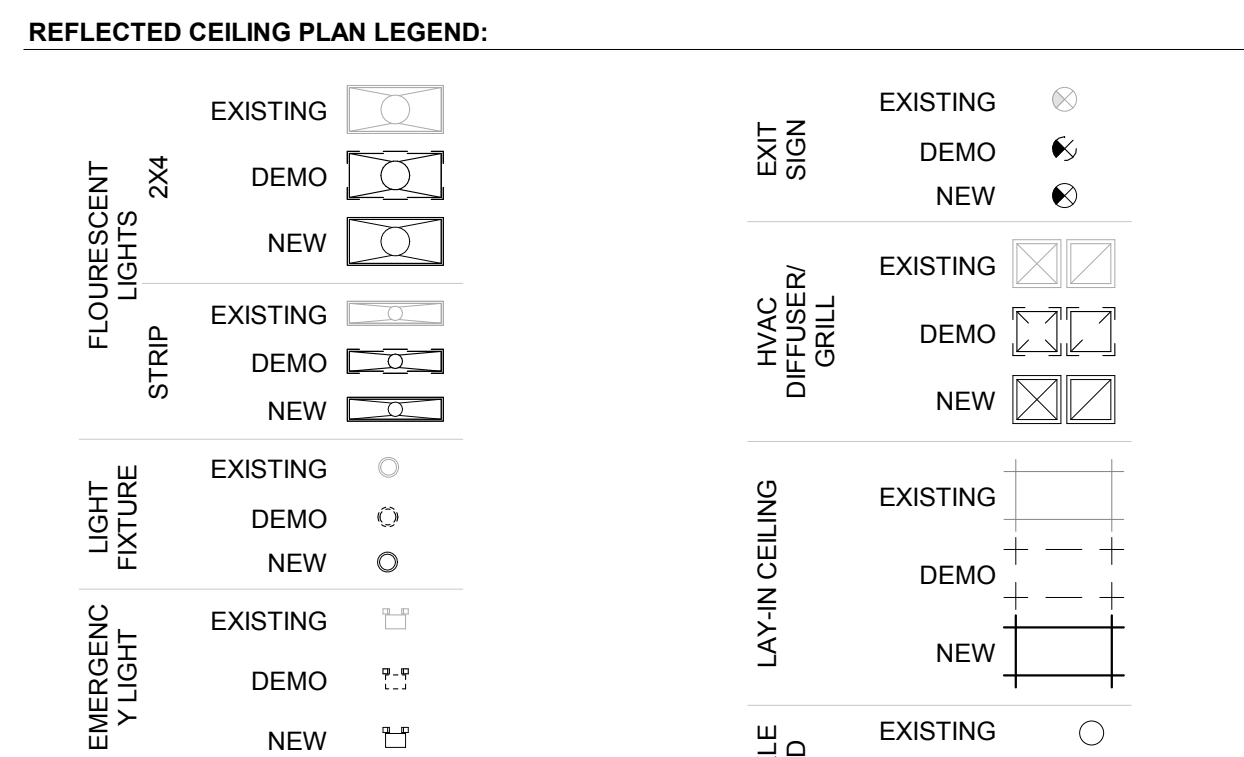
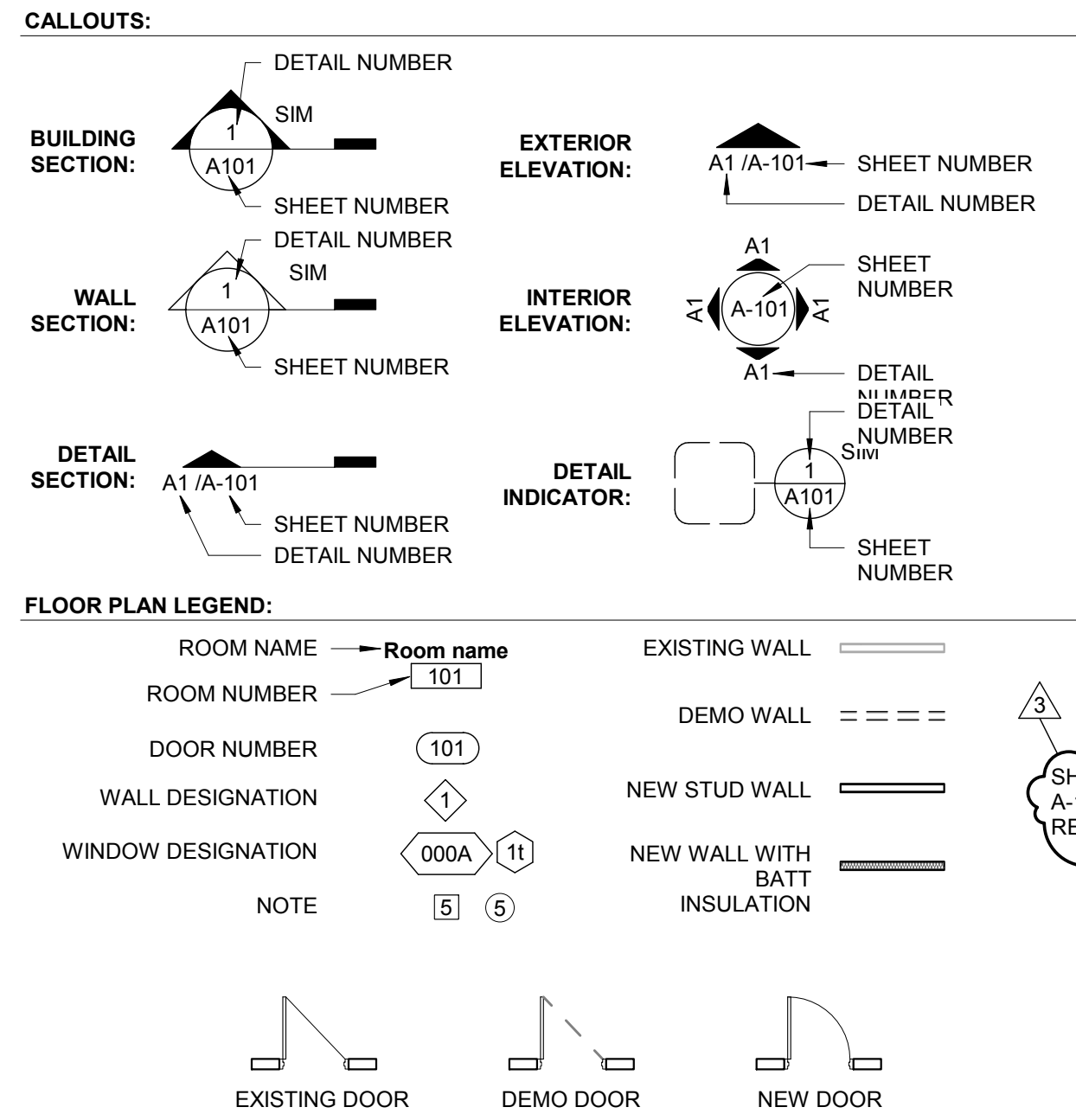
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1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH FEDERAL AND STATE LAWS, CURRENT LOCAL ORDINANCES AND BUILDING CODES, AND THE AMERICANS WITH DISABILITIES ACT (ADA). REFER TO CODE SUMMARY FOR SPECIFIC APPLICABLE LAWS, ORDINANCES, AND CODES. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS AND PAY ALL FEES AS NECESSARY BY THE CONSTRUCTION COVERED IN THE PROJECT.
3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNERS REPRESENTATIVE AND THE ARCHITECT.
4. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON PLANS AND SPECIFIED IN THE SPECIFICATIONS.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT/ENGINEER ANY MATERIALS TO BE REUSED AND WILL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING THE FUNCTION AND AESTHETIC INTEGRITY OF THE MATERIALS.
7. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL SECTIONS OF THE SPECIFICATIONS BEFORE BEGINNING THE WORK..
8. THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ARCHITECT.
9. DRAWINGS CONTAINED IN THE SET SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS UNLESS APPROVAL FROM THE DESIGN DISCIPLINE WHO DEVELOPED DRAWING FILES HAS BEEN RECEIVED.
10. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND VISITORS.
11. DO NOT SCALE DRAWINGS; FOLLOW WRITTEN DIMENSION AND NOTES. CONTACT ARCHITECT FOR CLARIFICATIONS IF REQUIRED.
12. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITIONS OR DIMENSIONS ARE REPRESENTATIVE OR THE SAME FOR SIMILAR CONDITIONS THROUGHOUT.
13. THE RELATION OF SPECIFICATIONS AND DRAWINGS SHALL BE EQUAL. AUTHORITY AND PRIORITY SHOULD THEY DISAGREE IN THEMSELVES. OR WITH EACH OTHER, BIDS SHALL BE BASED ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. THE APPROPRIATE WORK, IN THE EVENT OF THE ABOVE MENTIONED DISAGREEMENTS, SHALL BE DETERMINED BY THE ARCHITECT.
14. FAILURE TO REPORT A CONFLICT IN THE CONTRACT DOCUMENTS SHALL BE DEEMED EVIDENCE THAT THE CONTRACTOR HAS ELECTED TO PROCEED IN THE MORE EXPENSIVE MANNER.
15. CONTRACTOR TO COORDINATE SCHEDULE OF PROPOSED WORK WITH OWNER PRIOR TO ANY WORK BEING STARTED ON THE PREMISES.

- ON COMPLETION OF THE PROJECT, CONTRACTOR SHALL CLEAN ALL SURFACES AND LEAVE THE WORK IN CLEAN CONDITION. THE CONTRACTOR AT ALL TIMES SHALL KEEP PREMISES FREE FROM WASTE MATERIALS AND RUBBISH CAUSED BY THE WORK.
17. WHENEVER CONTRACT DOCUMENTS REASONABLY INFER MATERIALS OR INSTALLATION AS NECESSARY TO PRODUCE THE INTENDED RESULTS, BUT DO NOT FULLY DETAIL OR SPECIFY SUCH MATERIALS, THE CONTRACTOR SHALL PROVIDE THE MATERIALS AND LABOR REQUIRED FOR INSTALLATION.
18. THE SPECIFICATIONS HAVE BEEN PARTIALLY "STREAMLINED" AND SOME WORDS AND PHRASES HAVE BEEN INTENTIONALLY OMITTED. MISSING PORTIONS SHALL BE SUPPLIED BY INFERENCE AS WITH NOTES ON DRAWINGS.
19. WORDS LIKE "INSTALL," "PROVIDE," "LOCATE," "FURNISH," AND "SUPPLY" SHALL BE CONSTRUED TO INCLUDE COMPLETE FURNISHINGS AND INSTALLING OR CONSTRUCTION BY THE CONTRACTOR.
20. ALL MANUFACTURER AND PRODUCT REFERENCES ARE BASIS-OF-DESIGN ONLY. ITEMS CAPABLE OF EQUAL PERFORMANCE, BUT PROVIDED BY AN ALTERNATE MANUFACTURER, WILL BE ACCEPTABLE.
21. CONSTRUCTION SITE TO COMPLY WITH NFPA #1 AND #241.
22. ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO BE REPORTED TO PROJECT FIELD SUPERINTENDENT IMMEDIATELY.
23. ALL MEANS OF EGRESS TO REMAIN IDENTIFIABLE AND OPEN DURING CONSTRUCTION.
24. ALL EXISTING CONDITIONS, DIMENSIONS, AND MATERIALS OF CONSTRUCTION ARE TO BE VERIFIED IN THE FIELD PRIOR TO ANY DEMOLITION WORK OR ANY NEW CONSTRUCTION.
25. ALL CONDITIONS, DIMENSIONS, ROOMS/ SPACES, AND MATERIALS OF CONSTRUCTION INDICATED ON THESE SHEETS/DRAWINGS ARE "EXISTING", UNLESS NOTED OTHERWISE.
26. ALL EXISTING CONDITIONS AND EXISTING CONSTRUCTION TO REMAIN, UNLESS NOTED OTHERWISE.
27. VERIFY ALL EXISTING STRUCTURAL/LOAD-BEARING CONDITIONS PRIOR TO ANY DEMOLITION WORK OR ANY NEW CONSTRUCTION. CONTACT CLIENT AND ARCHITECT IF ANY DISCREPANCIES EXIST.
28. AREAS OF PROJECT NOT PART OF THIS REMODEL TO BE PROTECTED FROM DUST AND DAMAGE DURING REMODEL.
29. FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION. WRITTEN AUTHORIZATION FROM LOCAL FIRE DISTRICT WILL BE REQUIRED IF AND BEFORE EITHER SYSTEM IS TO BE SHUT DOWN.
30. CONTRACTOR'S STAGING AREA WILL BE IDENTIFIED AND APPROVED BY OWNER PRIOR TO THE START OF CONSTRUCTION.

- | | |
|----------|---|
| ACoust. | : ACOUSTICAL |
| A.F.F. | : ABOVE FINISHED FLOOR |
| ALT. | : ALTERNATE |
| ALUM. | : ALUMINUM |
| ARCH. | : ARCHITECTURAL |
| BLDG. | : BUILDING |
| BLKG. | : BLOCKING |
| B.O. | : BOTTOM OF OPENING |
| BRG. | : BEARING |
| CL | : CENTER LINE |
| CJ | : CONTROL JOINT |
| CMU | : CONCRETE MASONRY UNIT |
| CONC. | : CONCRETE |
| CONT. | : CONTINUOUS |
| CP | : CONTRACTOR PROVIDED, CONTRACTOR INSTALLED |
| CR. RK. | : CRUSHED ROCK |
| DIA. | : DIAMETER |
| DR | : DOOR |
| DWG | : DRAWING |
| DS | : DOWNSPOUT |
| DTL | : DETAIL |
| EIFS | : EXTERIOR INSULATION FINISH SYSTEM |
| EJ | : EXPANSION JOINT |
| ELECT. | : ELECTRICAL |
| ELE | : ELEVATION |
| ELEV. | : ELEVATOR |
| EPS | : EXTRUDED POLYSTYRENE |
| EQ | : EQUAL |
| ERC | : EPOXY RESIN COATING |
| EXG | : EXISTING |
| EXT | : EXTERIOR |
| FBO | : FURNISHED BY OTHERS |
| F.E.C. | : FIRE EXTINGUISHER CABINET |
| FLR. | : FLOOR |
| FNdn. | : FOUNDATION |
| FRP | : FIBERGLASS REINFORCED PLASTIC |
| FRTW | : FIRE-RESISTANT TREATED WOOD |
| FTG. | : FOOTING |
| GA | : GAUGE |
| GB | : GRAB BAR |
| G.S. | : GALVANIZED STEEL |
| GL | : GRID LINE |
| GYP. | : GYPSUM |
| GYP. BD. | : GYPSUM BOARD |
| H.M. | : HOLLOW METAL |
| HORIZ | : HORIZONTAL |
| HT | : HEIGHT |
| IBC. | : INTERNATIONAL BUILDING CODE |
| INSUL | : INSULATION |
| INT | : INTERIOR |
| JST. | : JOIST |
| JT. | : JOINT |
| LINO. | : LINOLEUM |
| MANF. | : MANUFACTURER |
| MAS. | : MASONRY |
| MAX. | : MAXIMUM |
| MECH | : MECHANICAL |
| MEDS. | : MEDICINE |
| MEPS. | : MOLDED EXPANDED POLYSTYRENE |
| MISC. | : MISCELLANEOUS |
| MIN | : MINIMUM |
| MR | : MOISTURE RESISTANT |
| MTL | : METAL |
| NIC | : NOT IN CONTRACT |
| N.T.S. | : NOT TO SCALE |
| O.C. | : ON CENTER |
| OCC. | : OCCUPANCY |
| OPCI | : OWNER PROVIDED, CONTRACTOR INSTALLED |
| OPOI | : OWNER PROVIDED, OWNER INSTALLED |
| OPP | : OPPOSITE |
| PL | : PROPOSED |
| PLAM | : PLASTIC LAMINATE |
| PRE-FIN. | : PREFINISHED |
| RCP | : REFLECTED CEILING PLAN |
| RE. | : REFER TO / REFERENCE |
| REQ'D. | : REQUIRED |
| SQ. | : SQUARE FOOT |
| SIM | : SIMILAR |
| STL | : STEEL |
| STRUCT. | : STRUCTURAL |
| SUSP. | : SUSPENDED |
| TB | : TACKBOARD |
| T.O. | : TOP OF |
| T.P. | : TOILET PAPER |
| T.S. | : TUBE STEEL |
| Typ | : TYPICAL |
| UNC | : UNLESS NOTED OTHERWISE |
| VCT | : VINYL COMPOSITION TILE |
| WWF | : WIRE WELDED FABRIC |



GENERAL INFORMATION	
G-001	COVER SHEET
G-002	GENERAL INFORMATION
G-003	CODE REVIEW
G-004	PARTITION TYPES
G-300	ACCESSIBILITY STANDARDS
G-301	ACCESSIBILITY STANDARDS
G-302	ACCESSIBILITY STANDARDS

CIVIL	
C0.0	COVER SHEET
C1.0	SITE LAYOUT PLAN
C2.0	GRADING PLAN
C3.0	EROSION CONTROL
C3.1	EROSION CONTROL DETAILS
C3.2	EROSION CONTROL DETAILS
C4.0	STORM DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	CURB AND PAVEMENT DETAILS
C6.1	STORM DRAINAGE DETAILS
C6.2	SITE DETAILS

ARCHITECTURAL SITE	
AS101	SITE PLAN DETAILS

ARCHITECTURAL	
A-101	FIRST FLOOR PLAN
A-101A	FIRST FLOOR PLAN PATIO
A-102	SLAB PLAN
A-103	MEZZANINE
A-104	FIRST FLOOR REFLECTED CEILING PLAN
A-110	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-210	INTERIOR ELEVATIONS
A-211	INTERIOR ELEVATIONS
A-212	INTERIOR ELEVATIONS
A-213	INTERIOR ELEVATIONS
A-214	INTERIOR ELEVATIONS
A-215	INTERIOR ELEVATIONS
A-220	AXONS
A-223	AXONS

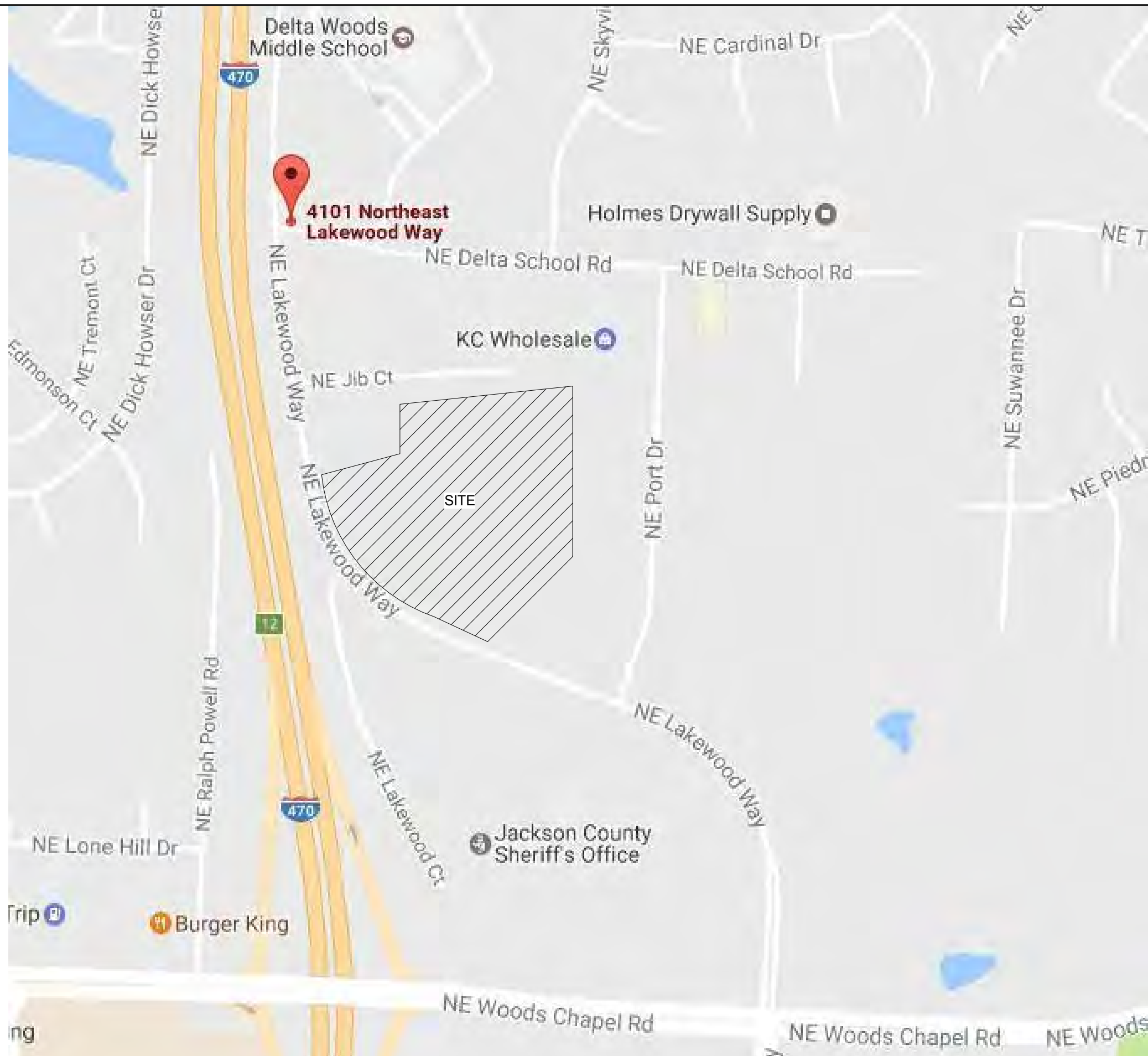
A-301	WALL SECTIONS
A-302	WALL SECTIONS
A-303	WALL SECTIONS
A-310	WALL SECTION DETAILS
A-401	ENLARGED PLANS
A-402	ENLARGED PLANS
A-403	ENLARGED PLANS
A-601	DOOR SCHEDULE
A-602	WINDOW SCHEDULE
A-701	FINISH SCHEDULE

STRUCTURAL	
S001	STRUCTURAL GENERAL NOTES
S030	TYPICAL DETAILS - CONCRETE
S100	FOUNDATION PLAN
S500	SECTIONS
S501	SECTIONS
S502	SECTIONS

MECHANICAL	
M1.0	HVAC GENERAL
M1.1	MECHANICAL PLAN
M1.2	MECHANICAL PLAN
M1.3	MECHANICAL ROOF PLAN
M2.1	MECHANICAL SCHEDULE
M2.2	MECHANICAL SCHEDULE
M3.1	MECHANICAL DETAILS
M3.2	MECHANICAL DETAILS

PLUMBING	
P1.0	SANITARY PLAN
P1.1	SANITARY PLAN
P1.2	DOMESTIC WATER PLAN
P1.3	NATURAL GAS PLAN
P1.4	PLUMBING ROOF PLAN
P2.0	PLUMBING SCHEDULE
P3.1	PLUMBING DETAILS
P3.2	PLUMBING DETAILS
P4.1	PLUMBING RISER
P4.2	PLUMBING RISER
P4.3	PLUMBING RISER

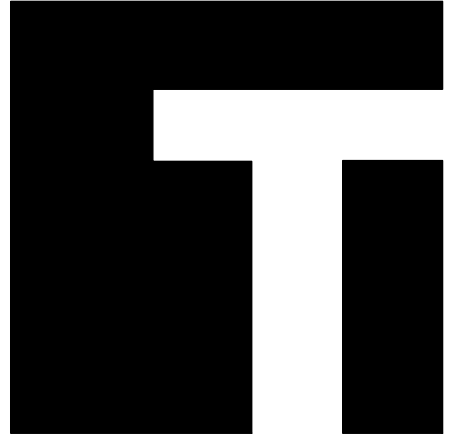
ELECTRICAL	
E1.0	ELECTRICAL SITE PLAN
E1.1	PHOTOMETRIC PLAN
E2.1	LIGHTING PLAN
E2.2	POWER PLAN
E2.3	ROOF PLAN
E3.1	ELECTRICAL SCHEDULE
E3.2	ELECTRICAL SCHEDULE
E4.1	ELECTRICAL DETAILS
E4.2	ELECTRICAL DETAILS
E5.0	ELECTRICAL RISER DIAGRAM

VICINITY MAP A13
N.T.S.

ABBREVIATIONS **A9**
N.T.S.

SYMBOLS A4
N.T.S.

SHEET LIST A1



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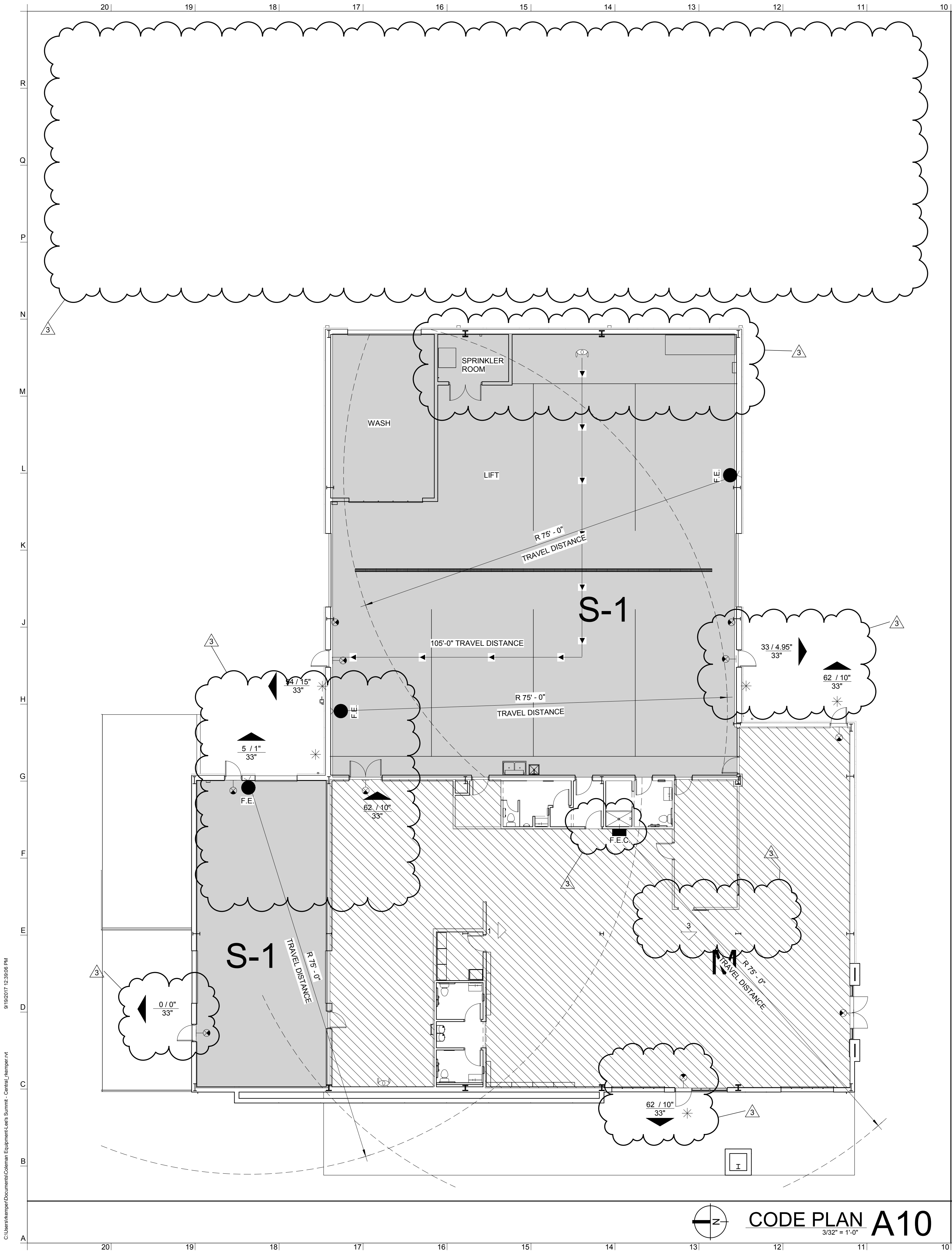
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GENERAL INFORMATION

G-002

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PROJECT DESCRIPTION

NEW CONSTRUCTION OF A +V15,500 SF PRE-ENGINEERED METAL BUILDING TO BE USED AS A KUBOTA DEALERSHIP AND EQUIPMENT MAINTENANCE BUILDING.

APPLICABLE CODES

2012 - INTERNATIONAL BUILDING CODE
2012 - INTERNATIONAL FIRE CODE
2012 - INTERNATIONAL MECHANICAL CODE
2012 - INTERNATIONAL PLUMBING CODE
2012 - INTERNATIONAL ELECTRICAL CODE
2012 - INTERNATIONAL ENERGY CONSERVATION CODE
2005 - NATIONAL ELECTRICAL CODE
2000 - NFPA 101 LIFE SAFETY CODE
2010 - AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

*AND ALL OTHER NATIONAL AND LOCAL CODES APPLICABLE TO THIS PROJECT

OCCUPANCY USE AND CLASSIFICATION

SECTION 309 - MERCANTILE GROUP M
SECTION 311 - STORAGE S-1

SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

SHOP S-1 SHALL COMPLY WITH IBC 406.8.1 THROUGH 406.8.6.

GENERAL BUILDING HEIGHTS AND AREAS

GROUP M ALLOWABLE: 12,500 SF / 2 STORIES / 55 FT
ACTUAL: 5,520 SF / 1 STORIES / 34'-0" FT
GROUP S-1 ALLOWABLE: 17,500 SF / 2 STORIES / 55 FT
ACTUAL: 7,947 SF / 1 STORIES / 34'-0" FT

THE BID ALTERNATE MEZZANINE IS 2,189 SF. IT IS LESS THAN 1/2 OF THE MERCANTILE AREA WHERE IT IS LOCATED. (MERCANTILE: 5,520 SF X 1/2 = 2,760 SF) PER EXCEPTION #2
MIXED USE AND OCCUPANCY (508)
NONSEPARATED OCCUPANCIES (508.3)
OCCUPANCY GROUPS: M, S-1
USE MOST STRINGENT

SECTION 507.3 - UNLIMITED AREA
1 STORY/ SPRINKLED/ 60 FT YARD

TYPE OF CONSTRUCTION

SECTION 602
TYPE IIB

TABLE 601

STRUCTURAL FIRE RATINGS	
STRUCTURAL FRAME	
(INCL. COLUMNS, GIRDERS, AND TRUSSES)	0 HR
BEARING WALLS	0 HR
EXTERIOR INTERIOR	0 HR
NONBEARING WALLS AND PARTITIONS	0 HR
EXTERIOR INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
(INCL. SUPPORTING BEAMS AND JOISTS)	
ROOF CONSTRUCTION	0 HR
(INCL. SUPPORTING BEAMS AND JOISTS)	

FIRE AND SMOKE PROTECTION FEATURES

(704) EXTERIOR WALLS	NOT APPLICABLE
(705) FIRE WALLS	NOT APPLICABLE
(706) FIRE BARRIERS	NOT APPLICABLE
(707) SHAFT ENCLOSURES	NOT APPLICABLE
(708) FIRE PARTITIONS	NOT APPLICABLE
(709) SMOKE BARRIERS	NOT APPLICABLE
(710) SMOKE PARTITIONS	NOT APPLICABLE
(711) HORIZONTAL ASSEMBLIES	NOT APPLICABLE
(712) VERTICAL OPENINGS	NOT APPLICABLE
(713) SHAFT ENCLOSURES	NOT APPLICABLE
(714) PENETRATIONS	NOT APPLICABLE
(715) FIRE RESISTANT JOINTS	NOT APPLICABLE
(716) OPENING PROTECTIVE MATERIAL	NOT APPLICABLE
(717) DUCTS AND AIR TRANSFER OPENINGS	NOT APPLICABLE
(718) CONCEALED SPACES	NOT APPLICABLE
(719) FIRE-RESISTANCE REQUIREMENTS FOR PLASTER	NOT APPLICABLE
(720) THERMAL AND SOUNDINSULATING MATERIAL	NOT APPLICABLE
(721) PREScriptive FIRE RESISTANCE	NOT APPLICABLE
(722) CALCULATED FIRE RESISTANCE	NOT APPLICABLE

INTERIOR FINISHES

TABLE 803.9

GROUP M SPRINKLERED	
EXIT ENCLOSURES/PASSAGEWAYS	B
CORRIDORS	C
ROOMS AND ENCLOSED SPACES	C
GROUP S SPRINKLERED	
EXIT ENCLOSURES/PASSAGEWAYS	C
CORRIDORS	C
ROOMS AND ENCLOSED SPACES	C

FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEM (904)	REQUIRED/PROVIDED
ALTERNATE AUTOMATIC FIRE-EXTINGUISHER SYSTEMS	NOT REQUIRED
STANDPIPE SYSTEM (905)	NOT REQUIRED
PORTABLE FIRE EXTINGUISHERS (906)	REQUIRED/PROVIDED
MAX TRAVEL DIST. 75 FT.	
FIRE ALARM AND DETECTION SYSTEMS (907)	NOT REQUIRED
EMERGENCY ALARM SYSTEMS (908)	NOT REQUIRED
SMOKE COMPARTMENT SYSTEMS (909)	NOT REQUIRED
SMOKE AND HEAT VENTS (910)	NOT REQUIRED
FIRE COMMAND CENTER (911)	NOT REQUIRED
FIRE DEPARTMENT CONNECTIONS (912)	REQUIRED
FIRE PUMPS (913)	NOT REQUIRED
EMERGENCY RESPONDER SAFETY FEATURES (914)	REQUIRED
EMERGENCY RESPONDER RADIO COVERAGE (915)	REQUIRED

CHAPTER 10 - MEANS OF EGRESS

OCCUPANT LOAD - SECTION 10.04				
PATTERN	FUNCTION OF SPACE	AREA (SF)	FACTOR	OCC. LOAD
	MERCANTILE AREA	5,520	30 GROSS	184
	MEZZ./MERCANTILE	265	300 GROSS	1
	STORAGE AREA	1,472	300 GROSS	5
	SHOP AREA	6,475	100 GROSS	65
TOTAL OCCUPANT LOAD OF BUILDING				255

SECTION 1006
EMERGENCY ILLUMINATION
ILLUMINATION EMERGENCY POWER
REQUIRED/PROVIDED
REQUIRED/PROVIDED

SECTION 1011
EXIT SIGNS
REQUIRED/PROVIDED

SECTION 1015
EXIT AND EXIT ACCESS DOORWAYS

OCC. GROUP M:
NUMBER OF EXITS REQUIRED:
NUMBER OF EXITS PROVIDED:

OCC. GROUP S-1
NUMBER OF EXITS REQUIRED:
NUMBER OF EXITS PROVIDED:

SECTION 1016-SPRINKLER
EXIT ACCESS TRAVEL DISTANCE
OCC. GROUP M:
OCC. GROUP S:

CHAPTER 29 - PLUMBING

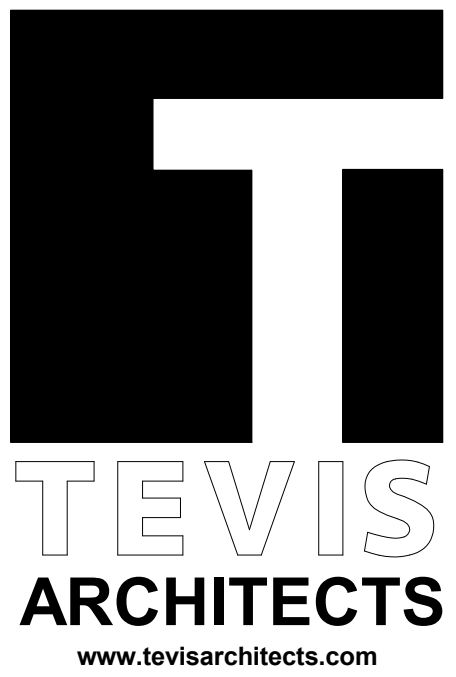
WATER CLOSET REQUIREMENTS (TABLE 2902.1)					
CLASSIFICATION	FACTOR	OCC. LOAD	REQUIRED MALE	REQUIRED FEMALE	PROVIDED MALE / FEMALE
MERCANTILE	1:500	214	1	1	1 / 1
STORAGE: S-1	1:100	68	1	1	1+Urinal / 1
		TOTAL	2	2	2+Urinal / 2
LAVATORY FIXTURE REQUIREMENTS (TABLE 2902.1)					
CLASSIFICATION	FACTOR	OCC. LOAD	REQUIRED MALE	REQUIRED FEMALE	PROVIDED MALE / FEMALE
MERCANTILE	1:750	214	1	1	1 / 1
STORAGE: S-1	1:100	68	1	1	1 / 1
		TOTAL	2	2	2 / 2
DRINKING FOUNTAIN FIXTURE REQUIREMENTS (TABLE 2902.1)					
CLASSIFICATION	FACTOR	OCC. LOAD	REQUIRED	PROVIDED	
MERCANTILE	1:1000	214	1	1	
STORAGE: S-1	1:1000	68	1	1	
		TOTAL	2	2	
OTHER FIXTURE REQUIREMENTS (TABLE 2902.1)					
SERVICE SINK					
CLASSIFICATION	FACTOR	OCC. LOAD	REQUIRED	PROVIDED	
MERCANTILE	1 TOTAL	214	1	1	
STORAGE: S-1	1 TOTAL	68	1	1	
		TOTAL	2	2	

CODE LEGEND:

FIRE EXTINGUISHER	F.E.
FIRE EXTINGUISHER CABINET	F.E.C.
EGRESS DOOR	OCC. LOAD REQUIRED WIDTH ACTUAL WIDTH
EXIT TO GRADE	*
ILLUMINATED EXIT SIGN	☼
EGRESS ROUTE	→

CODE PLAN A10

CODE INFO A1



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COLEMAN EQUIPMENT

4101 NE LAKEWOOD WAY
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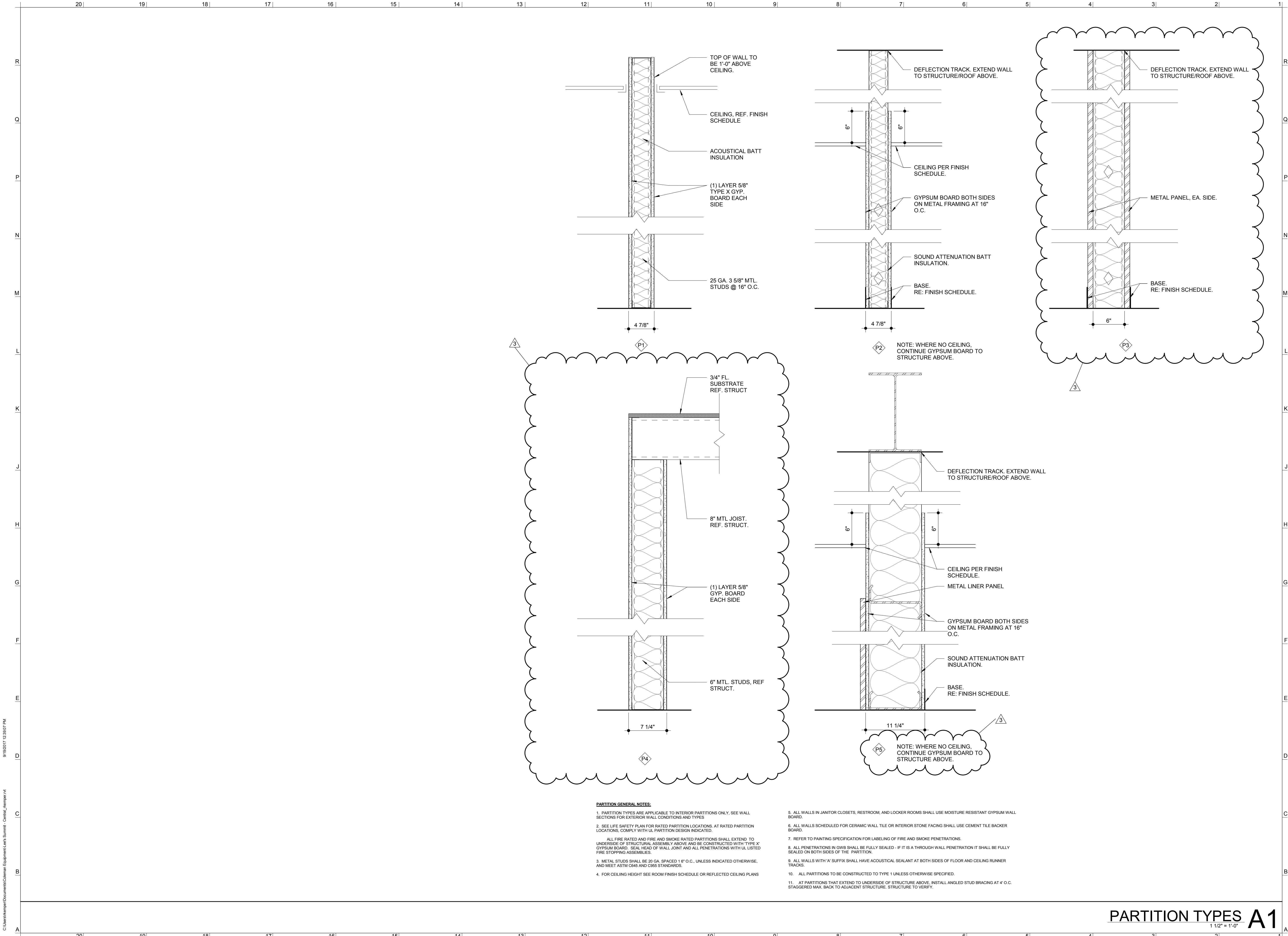
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DRAWN BY:	MH/JO
CHECKED BY:	LS

NO.	ISSUE/REVISION	DATE
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3	VE / PERMIT SET	08/28/2017

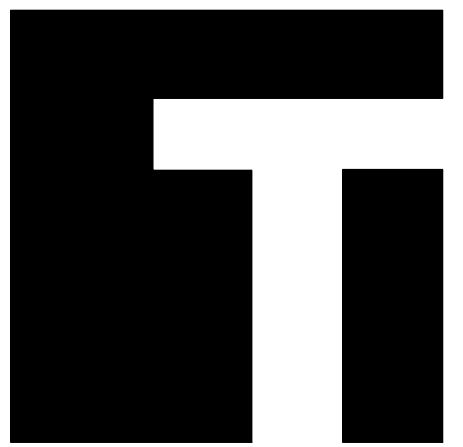
CODE REVIEW

G-003

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PARTITION TYPES A1



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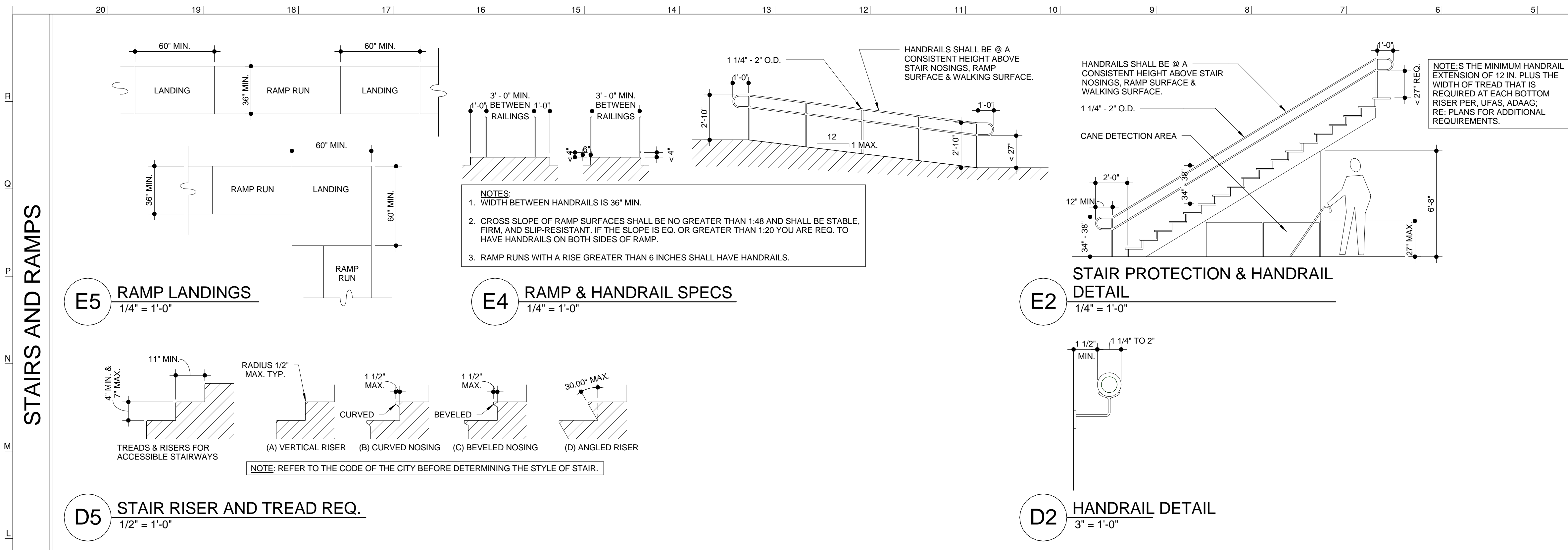
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DRAWN BY:	MH
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3	VE / PERMIT SET	08/28/2017

PARTITION TYPES

G-004

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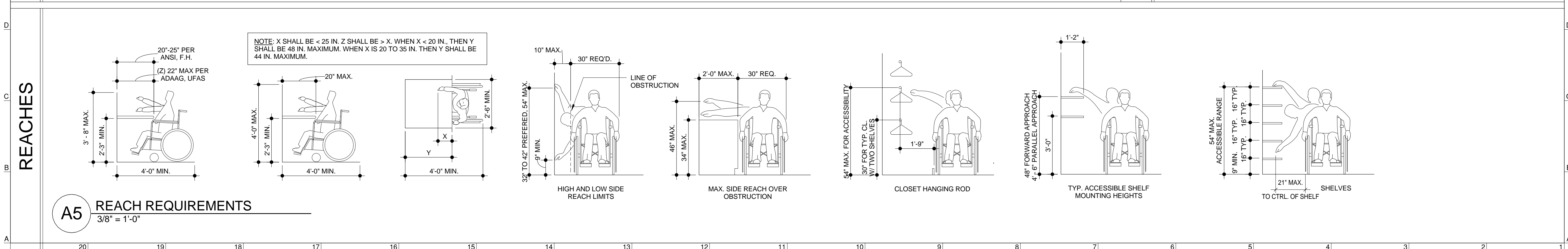
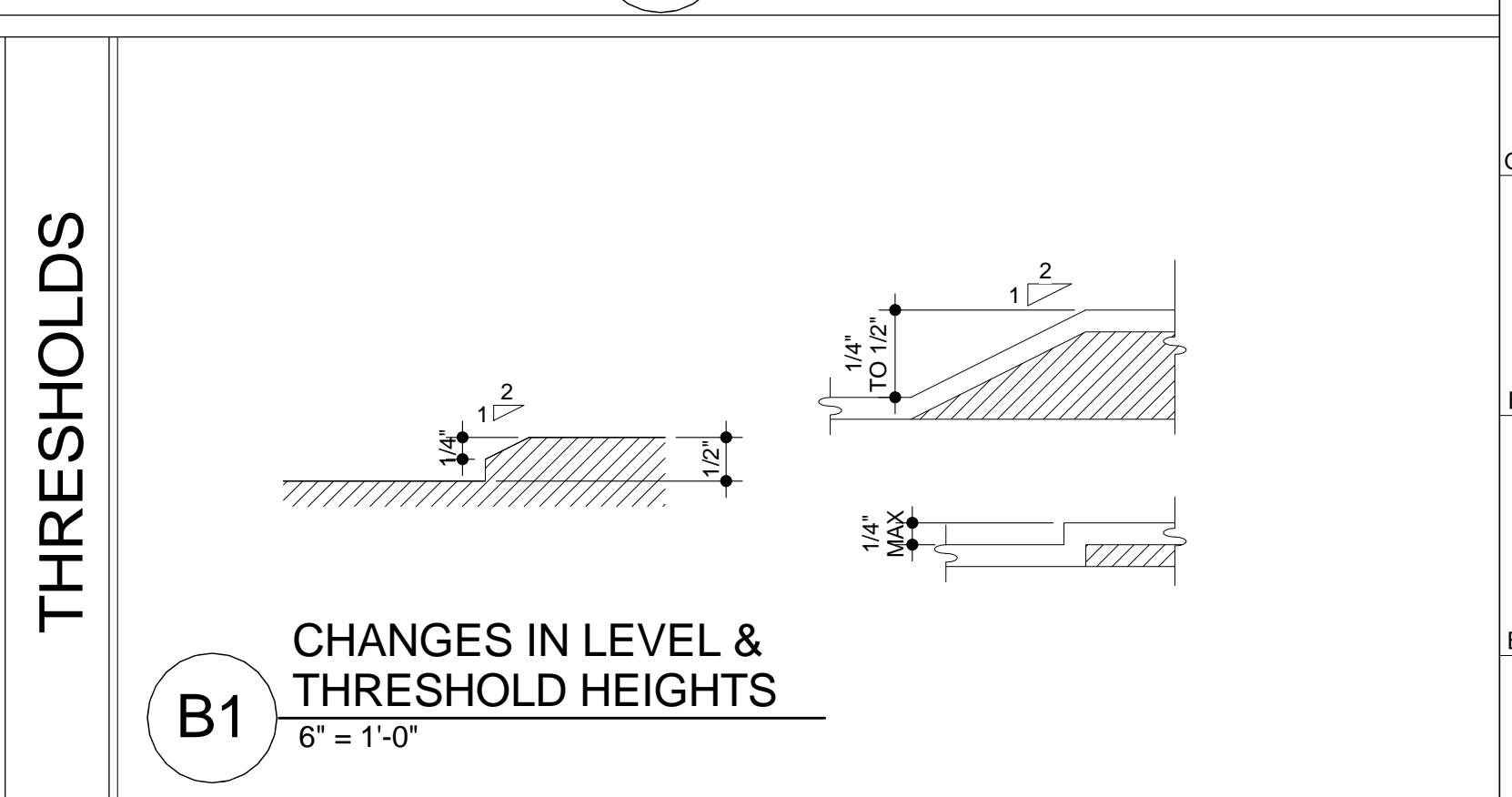
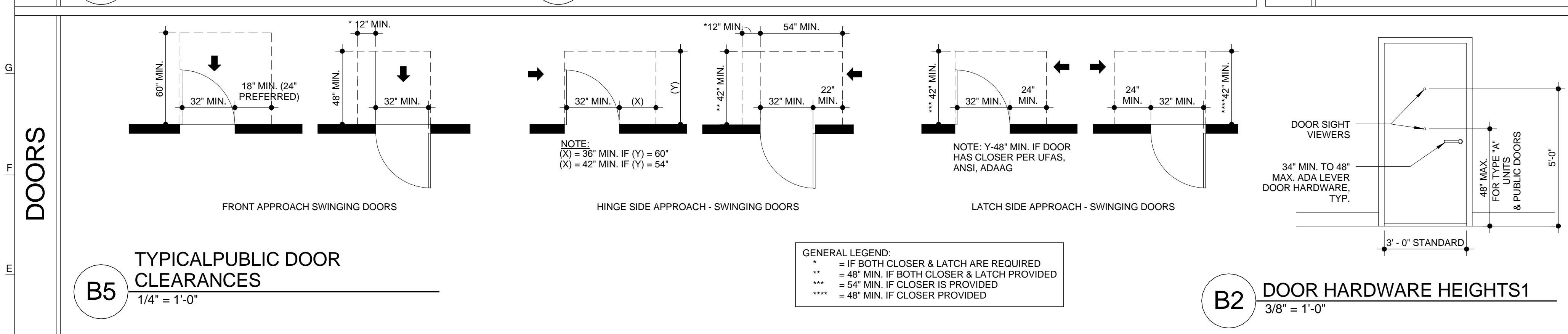
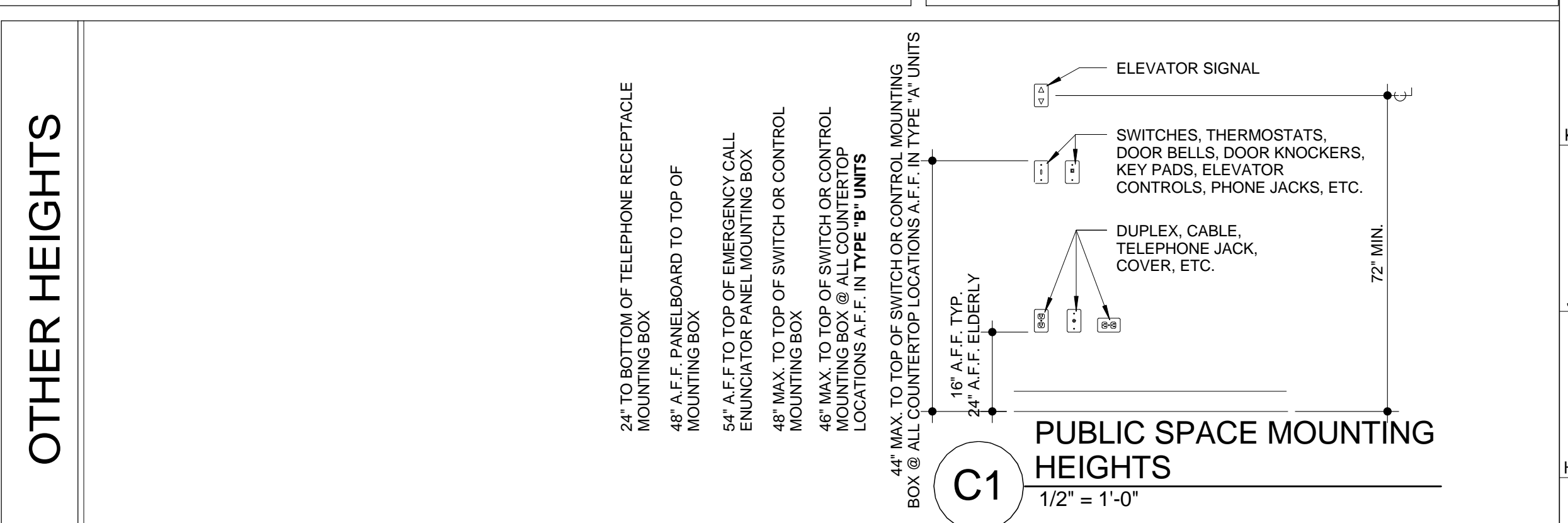
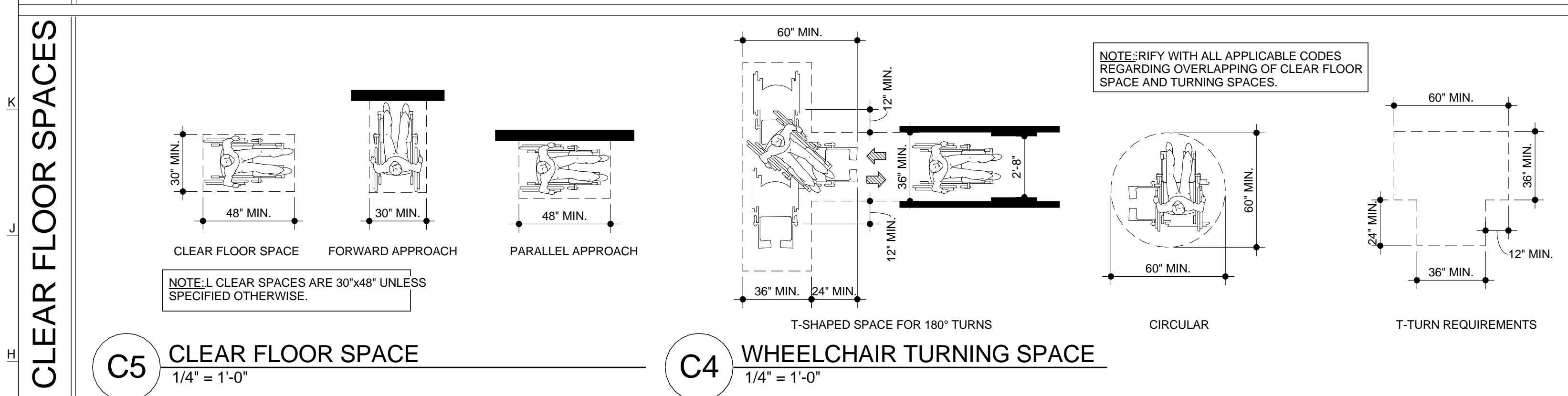
ADDITIONAL REQUIREMENTS

CHART OF ADDITIONAL REQUIREMENTS

CARPET	MAX. PILE HEIGHT SHALL BE 1/2 IN. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. IF CARPET TILE IS USED ON AN ACCESSIBLE GROUND OF FLOOR SURFACE, IT SHALL HAVE A MAXIMUM COMBINED THICKNESS OF PILE, CUSHION, AND BACKING HEIGHT OF 1/2 IN.		
RAMPS	SLOPE	MAX. RISE	MAX. HORIZONTAL PROJECTION
	1:12 TO <1:16	30 IN.	30 FT.
	1:16 TO <1:20	30 IN.	40 FT.
	1:12 TO 1:20 - REQUIRES A HANDRAIL		
SIGNAGE	CHARACTER PROPORTION AND COLOR CONTRAST LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND AND BE NON-GLARE. CHARACTERS SHALL BE UPPER CASE. CHARACTER HEIGHT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER, SHALL BE 5/8 IN. MINIMUM, AND 2 IN. MAXIMUM, BASED ON THE UPPER CASE LETTER "I". RAISED OR INDENTED CHARACTERS OR SYMBOLS LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN. INDENTED CHARACTERS OR SYMBOLS SHALL HAVE A STROKE WIDTH OF AT LEAST 1/4 IN. SYMBOLS OR PICTOGRAPHS ON SIGNS SHALL BE RAISED OR INDENTED 1/32 IN. MIN. MOUNTING LOCATION AND HEIGHT INTERIOR SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT A HEIGHT OF BETWEEN 54 IN. AND 66 IN. ABOVE THE FINISHED FLOOR PER UFAS AND BETWEEN 48 IN. AND 60 IN. PER ANSI. REFER TO ICC/ANSI A117.1-1998, 703.2.8 FOR MORE REQUIREMENTS ON MOUNTING LOCATION.		

CHILDREN'S REACH RANGES FROM A WHEELCHAIR

	AGES 3-4	AGES 5-8	AGES 9-12
FORWARD OR SIDE REACH	36 IN.	40 IN.	44 IN.
HIGH (MAXIMUM)	36 IN.	40 IN.	44 IN.
LOW (MINIMUM)	20 IN.	18 IN.	16 IN.



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COLEMAN EQUIPMENT

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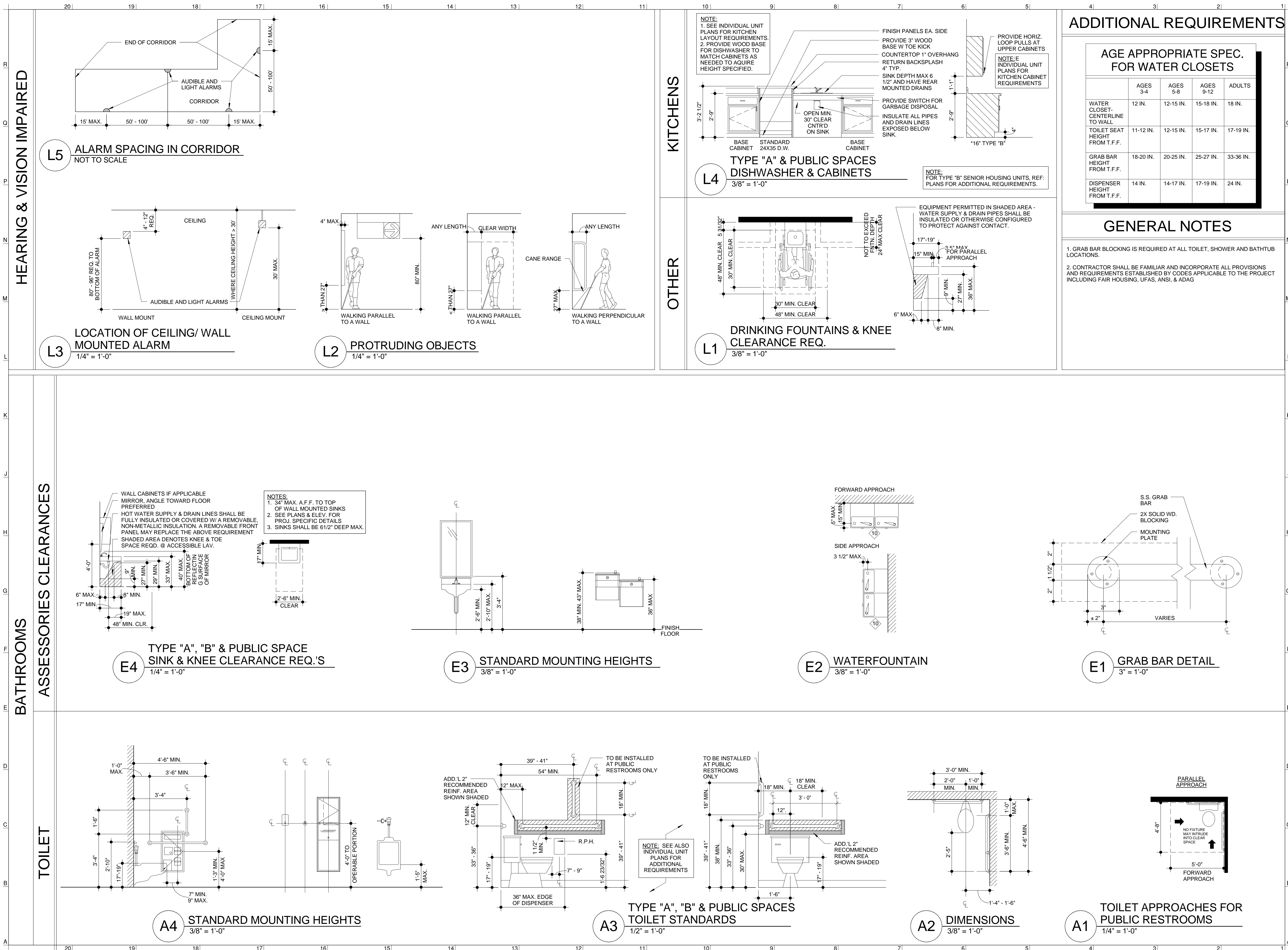
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ACCESSIBILITY STANDARDS

G-005



ADDITIONAL REQUIREMENTS

AGE APPROPRIATE SPEC. FOR WATER CLOSETS				
	AGES 3-4	AGES 5-8	AGES 9-12	ADULTS
WATER CLOSET - CENTERLINE TO WALL	12 IN.	12-15 IN.	15-18 IN.	18 IN.
TOILET SEAT HEIGHT FROM T.F.F.	11-12 IN.	12-15 IN.	15-17 IN.	17-19 IN.
GRAB BAR HEIGHT FROM T.F.F.	18-20 IN.	20-25 IN.	25-27 IN.	33-36 IN.
DISPENSER HEIGHT FROM T.F.F.	14 IN.	14-17 IN.	17-19 IN.	24 IN.

GENERAL NOTES

- GRAB BAR BLOCKING IS REQUIRED AT ALL TOILET, SHOWER AND BATHTUB LOCATIONS.
- CONTRACTOR SHALL BE FAMILIAR AND INCORPORATE ALL PROVISIONS AND REQUIREMENTS ESTABLISHED BY CODES APPLICABLE TO THE PROJECT INCLUDING FAIR HOUSING, UFAS, ANSI, & ADAG

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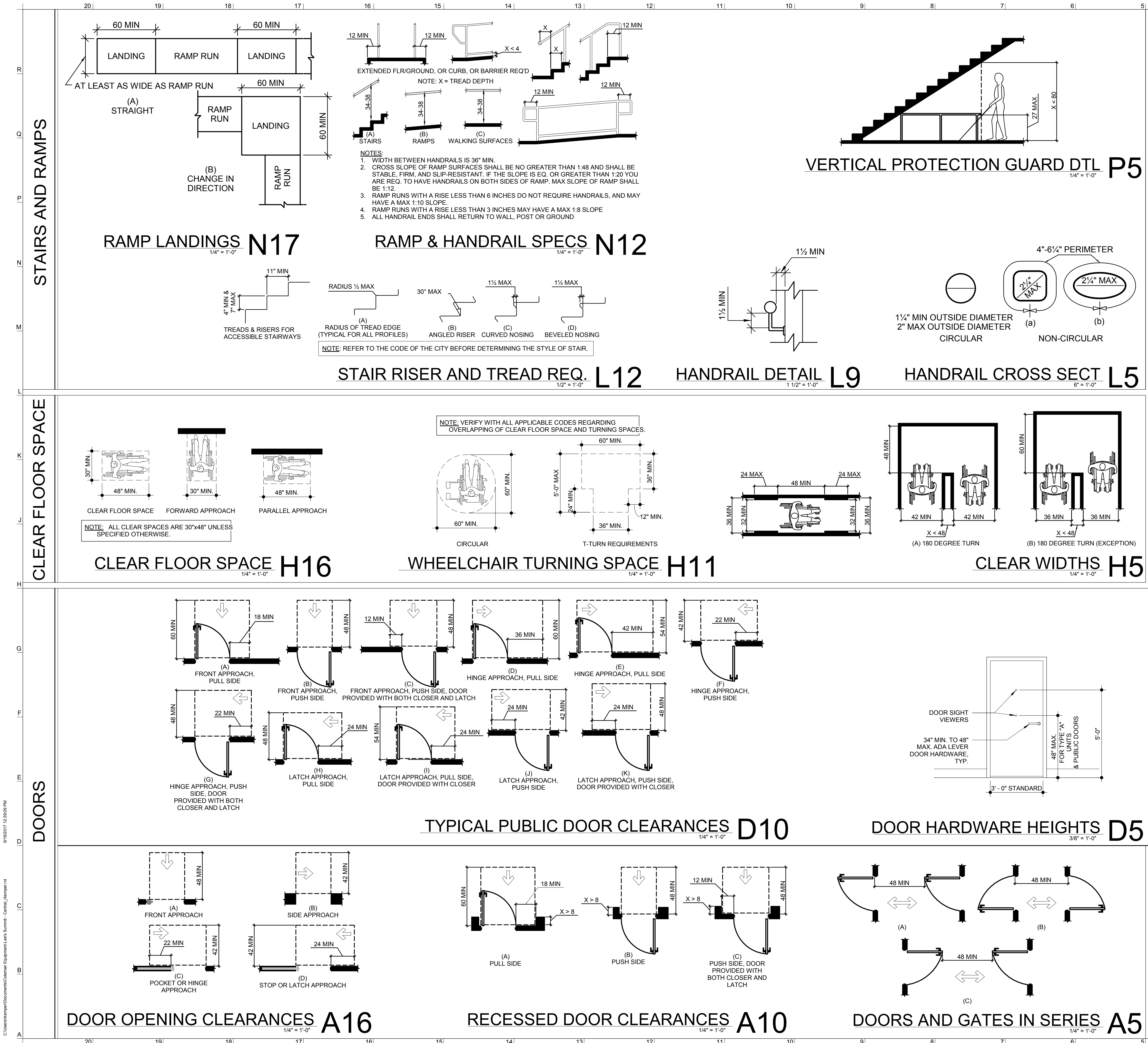
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1	BID SET	06/21/2017

ACCESSIBILITY STANDARDS

G-006



GENERAL NOTES

- ALL DRAWINGS, ELEMENTS, AND/OR CONDITIONS MAY NOT APPLY TO THIS PROJECT.
- DRAWINGS ARE FOR EASE OF REFERENCE TO STANDARDS AND GUIDELINES APPLICABLE TO COMMON ITEMS, AND DO NOT REPRESENT ALL ACCESSIBILITY REQUIREMENTS.
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ADDITIONAL REQUIREMENTS

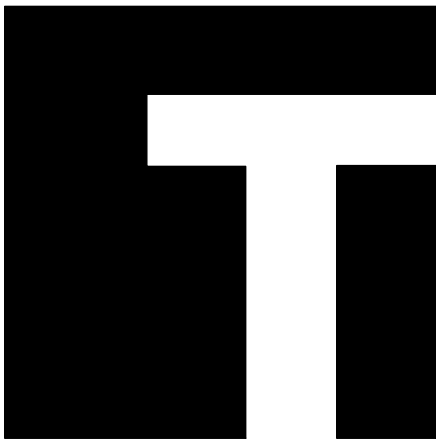
CARPET MAX. PILE HEIGHT SHALL BE 1/2 IN. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. IF CARPET TILE IS USED ON AN ACCESSIBLE GROUND OF FLOOR SURFACE, IT SHALL HAVE A MAXIMUM COMBINED THICKNESS OF PILE, CUSHION, AND BACKING HEIGHT OF 1/2 IN.

RAMPS	SLOPE	MAX. RISE	MAX. HORIZONTAL PROJECTION
	1:12 TO <1:16	30 IN.	30 FT.
	1:16 TO <1:20	30 IN.	40 FT.
	1:12 TO 1:20 - REQUIRES A HANDRAIL		

SIGNAGE **CHARACTER PROPORTION AND COLOR CONTRAST** LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND AND BE NON-GLARE. CHARACTERS SHALL BE UPPER CASE. CHARACTER HEIGHT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER, SHALL BE 5/8 IN. MINIMUM, AND 2 IN. MAXIMUM, BASED ON THE UPPERCASE LETTER "L".

RAISED OR INDENTED CHARACTERS OR SYMBOLS LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN. INDENTED CHARACTERS OR SYMBOLS SHALL HAVE A STROKE WIDTH OF AT LEAST 1/16 IN. SYMBOLS OR PICTOGRAPHS ON SIGNS SHALL BE RAISED OR INDENTED 1/32 IN. MIN.

MOUNTING LOCATION AND HEIGHT INTERIOR SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT A HEIGHT OF BETWEEN 54 IN. AND 66 IN. ABOVE THE FINISHED FLOOR PER UFAS AND BETWEEN 48 IN. AND 60 IN. PER ANSI. REFER TO ICC/ANSI A117.1-1998, 703.2.8 FOR MORE REQUIREMENTS ON MOUNTING LOCATION.



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LEE'S SUMMIT, MO 64064

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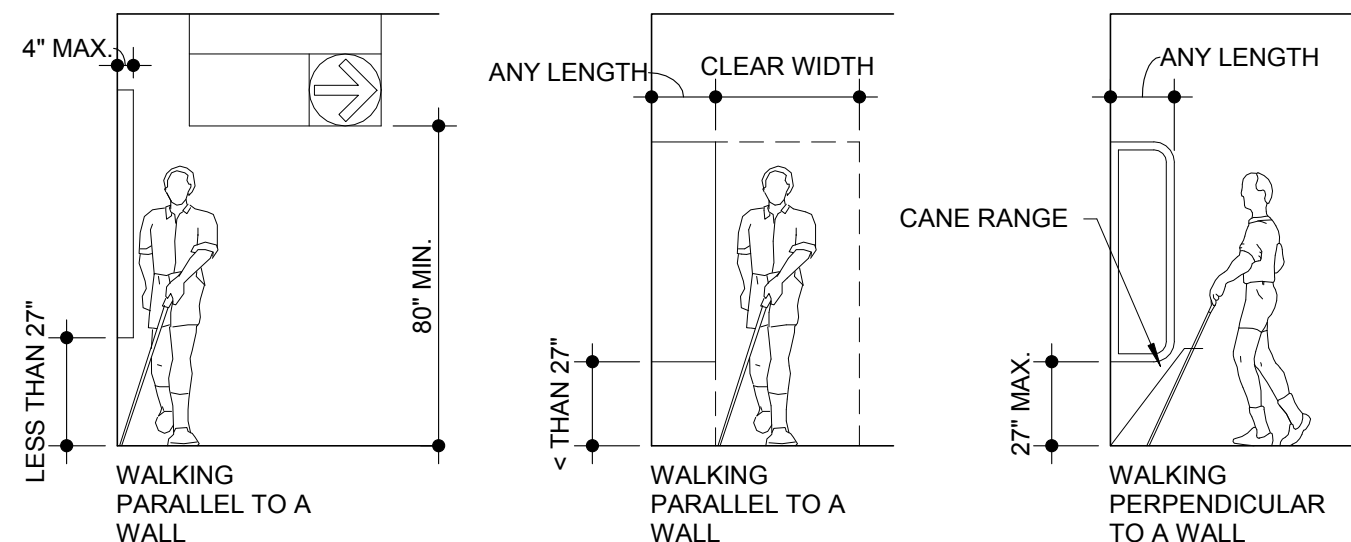
CHECKED BY:

NO.	ISSUE/REVISION	DATE
3	VE / PERMIT SET	08/28/2017

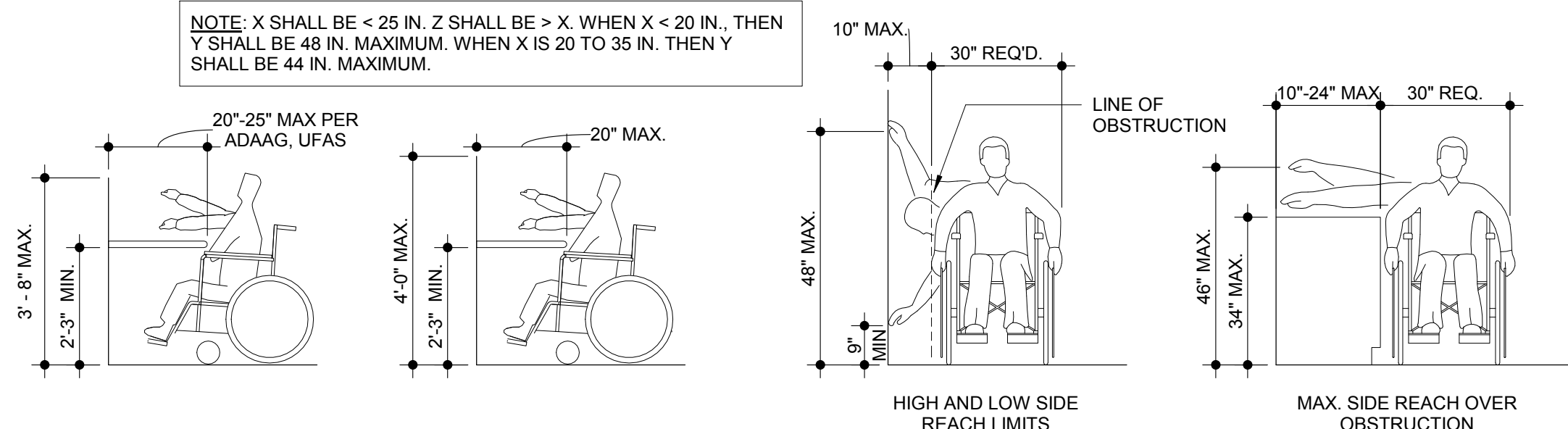
ACCESSIBILITY STANDARDS

G-300

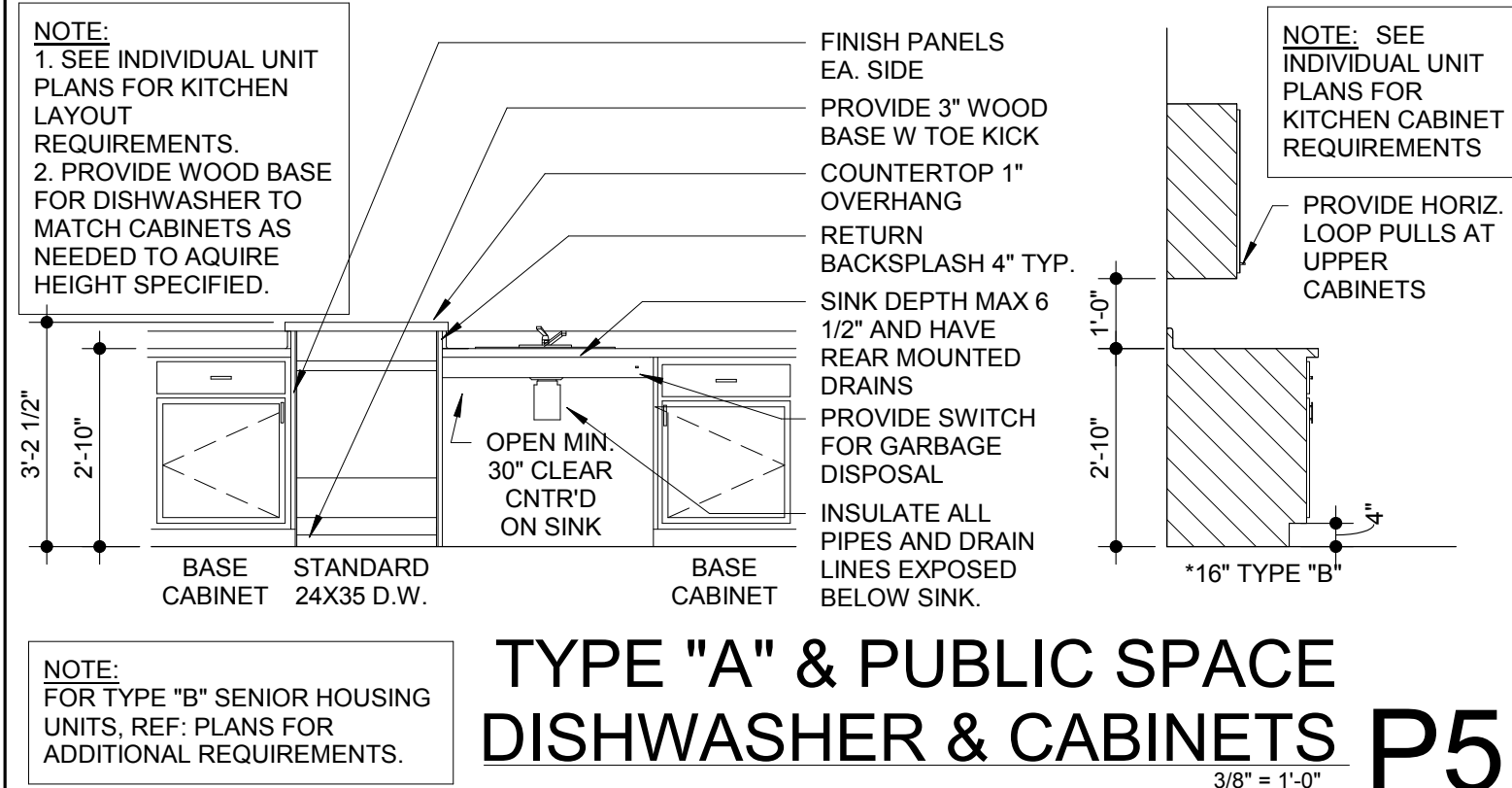
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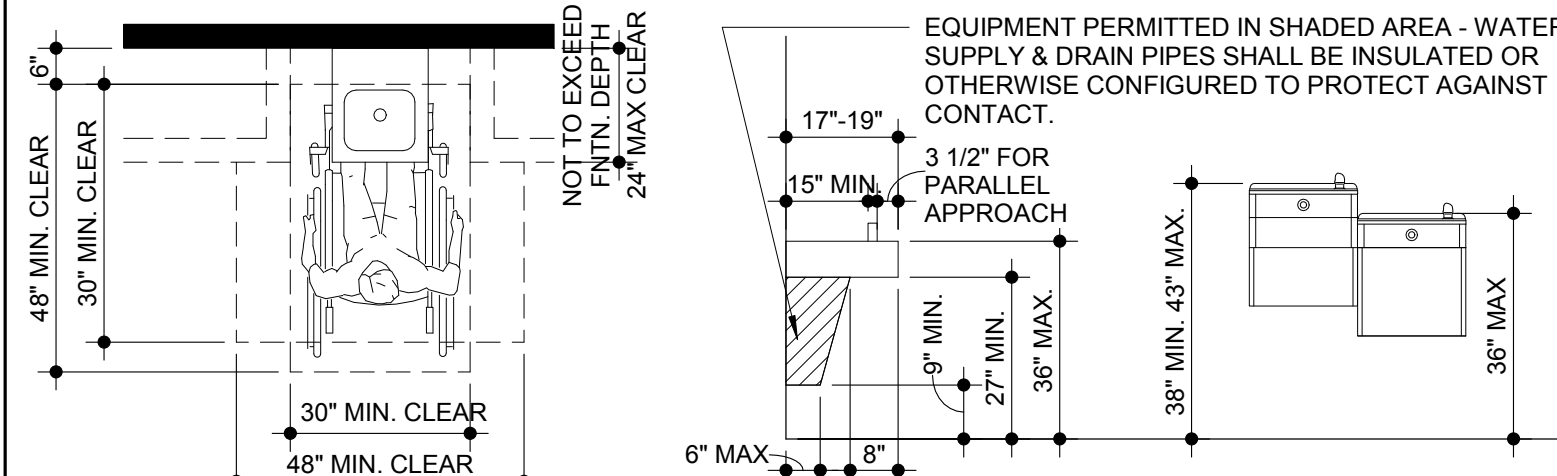
LOCATION OF CEILING/ WALL
MOUNTED ALARM 1/4" = 1'-0" L16



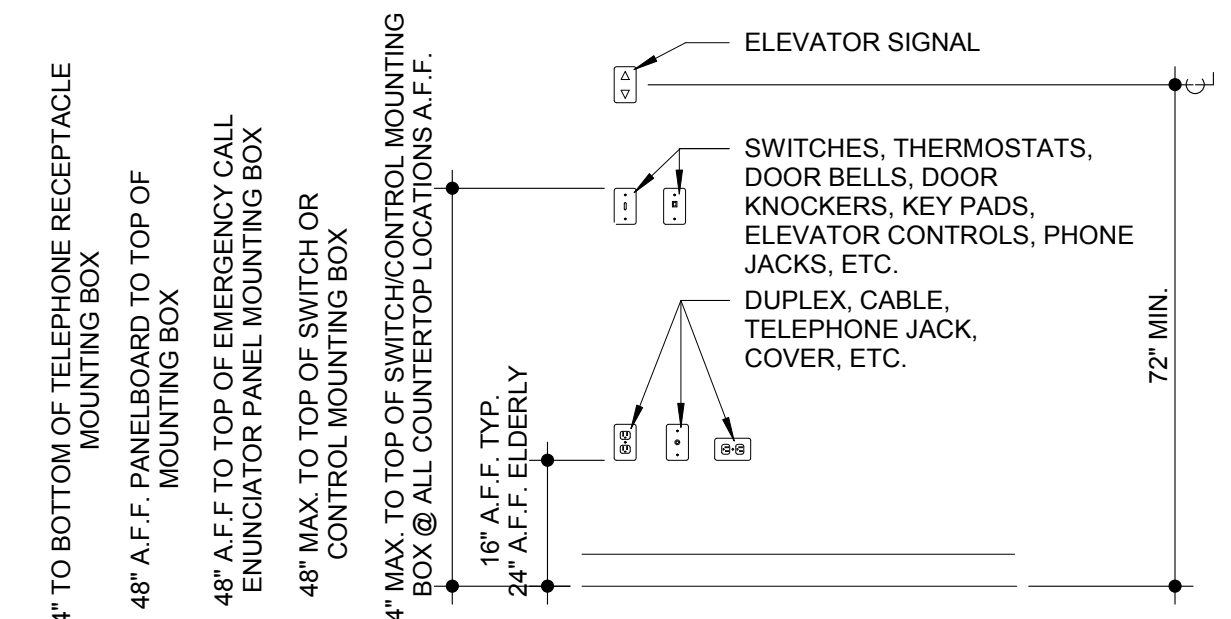
PROTRUDING OBJECTS 1/4" = 1'-0" L11



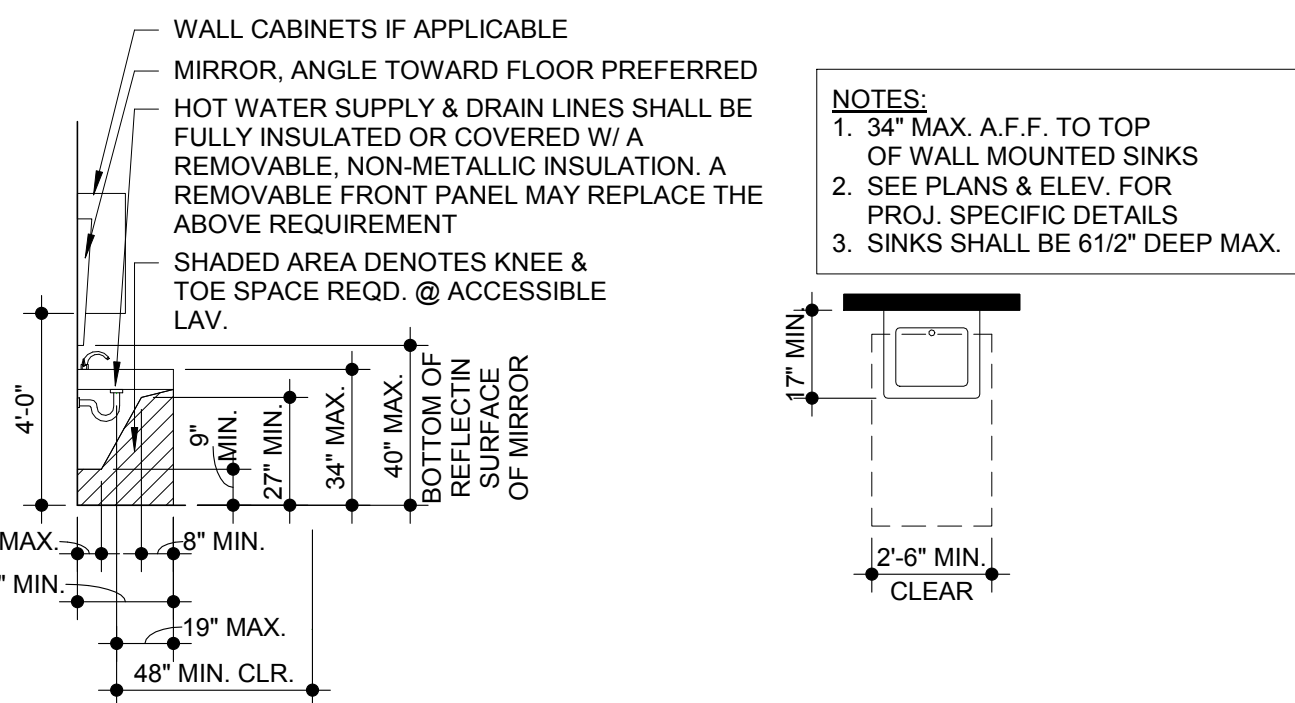
TYPE "A" & PUBLIC SPACE DISHWASHER & CABINETS



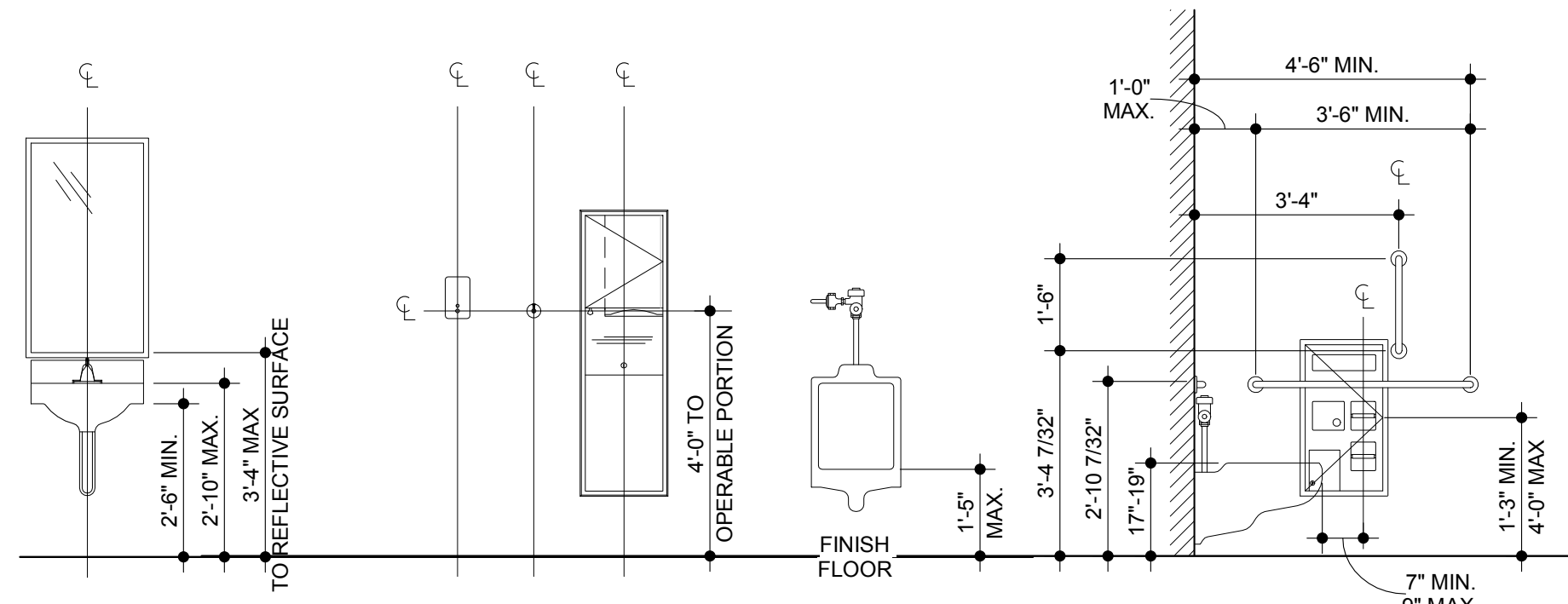
WATER FOUNTAIN KNEE CLEARANCE 3/8" = 1'-0" L5



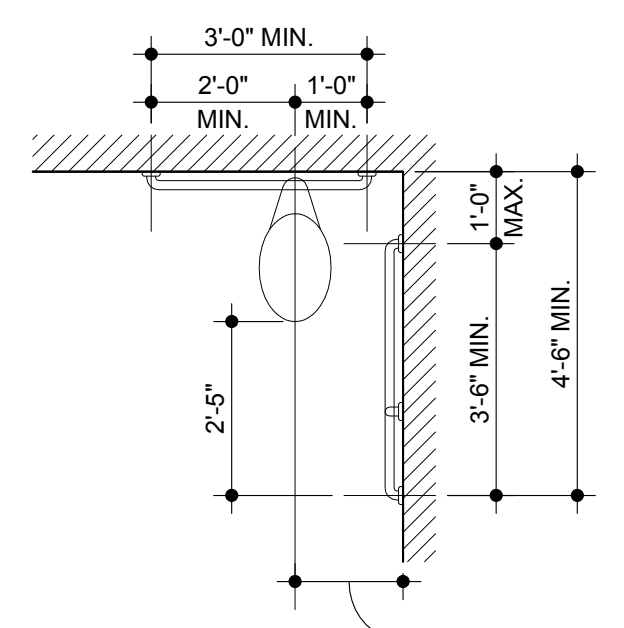
PUBLIC SPACE MOUNTING HEIGHTS 1/2" = 1'-0" H5



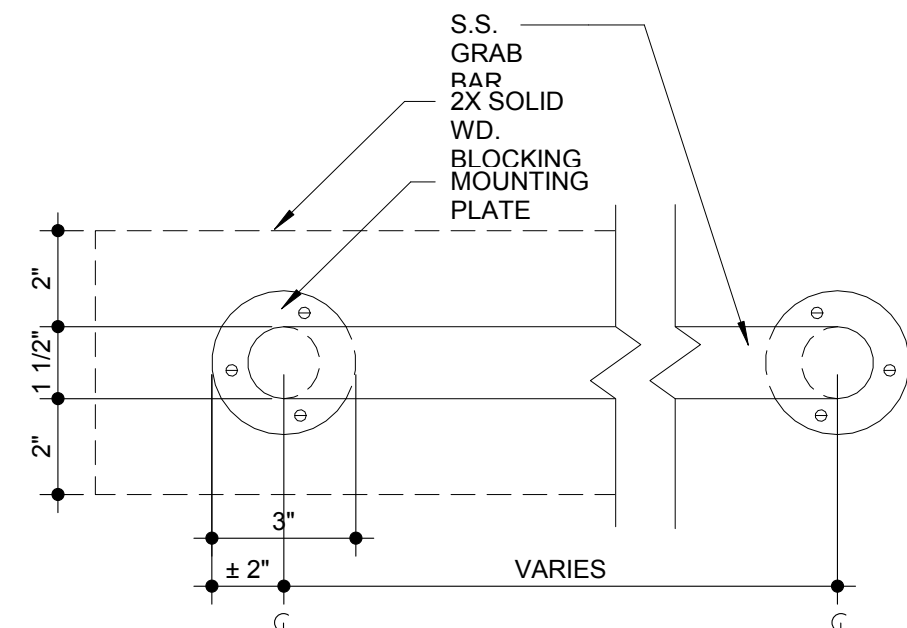
SINK & KNEE CLEARANCE REQ'S TYPE "A", "B" & PUBLIC SPACE



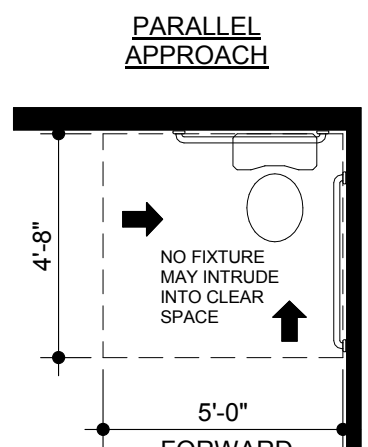
STANDARD MOUNTING HEIGHTS D8



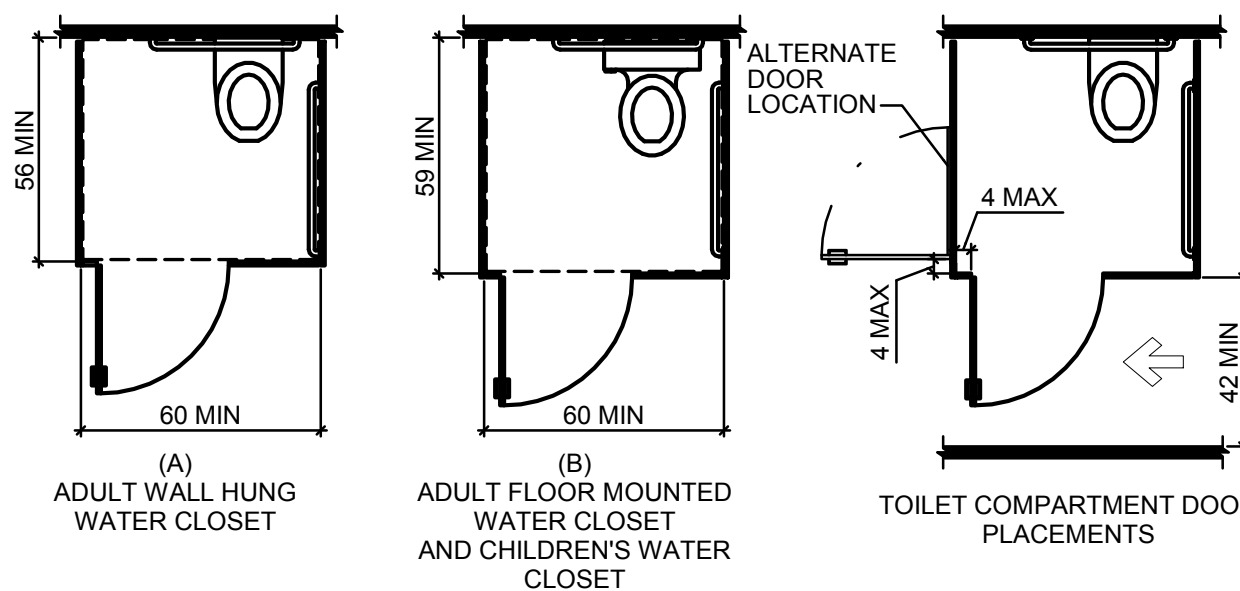
DIMENSIONS $\frac{3}{8}" = 1'-0"$ D5



GRAB BAR DETAIL D1



TOILET APPROACHES FOR PUBLIC RESTROOMS 1/4" = 1'-0" A15



TOE CLEARANCES

AMBULATORY TOILET COMPARTMENT REQ'S

TOILET COMPARTMENT REQUIREMENTS 1/4" = 1'-0" A1

1. ALL DRAWINGS, ELEMENTS, AND/OR CONDITIONS MAY NOT APPLY TO THIS PROJECT.
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3. CONTRACTOR IS RESPONSIBLE FOR ACCESSIBILITY REQUIREMENT COMPLIANCE.
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5. CONTRACTOR SHALL BE FAMILIAR WITH AND INCORPORATE ALL PROVISIONS AND REQUIREMENTS ESTABLISHED BY CODES APPLICABLE TO THE PROJECT, INCLUDING FAIR HOUSING, UFAS, ANSL, & ADA.

CHILDREN'S REACH RANGES FROM A WHEELCHAIR

FORWARD OR SIDE REACH	AGES 3-4	AGES 5-8	AGES 9-12
HIGH (MAXIMUM)	36 IN.	40 IN.	44 IN.
LOW (MINIMUM)	20 IN.	18 IN.	16 IN.

AGE APPROPRIATE SPEC. FOR WATER CLOSETS

	AGES 3-4	AGES 5-8	AGES 9-12	ADULTS
WATER CLOSET-CENTERLINE TO WALL	12 IN.	12-15 IN.	15-18 IN.	16-18 IN.
TOILET SEAT HEIGHT FROM T.F.F.	11-12 IN.	12-15 IN.	15-17 IN.	17-19 IN.
GRAB BAR HEIGHT FROM T.F.F.	18-20 IN.	20-25 IN.	25-27 IN.	33-36 IN.
DISPENSER HEIGHT FROM T.F.F.	14 IN.	14-17 IN.	17-19 IN.	15-48 IN.

COLEMAN EQUIPMENT

4101 NE LAKEWOOD WAY
LEE'S SUMMIT, MO 64064

PN:	217001	
DRAWN BY:	Author	
CHECKED BY:	Checker	

[illegible]

ACCESSIBILITY STANDARDS

G-301

TOILET



Diagram illustrating the required length of parking space for a car and a van. The diagram shows two parking spaces, each 60" MIN wide. The car parking space is 96" MIN long, and the van parking space is 132" MIN long. The area to be marked is indicated by a hatched rectangle.

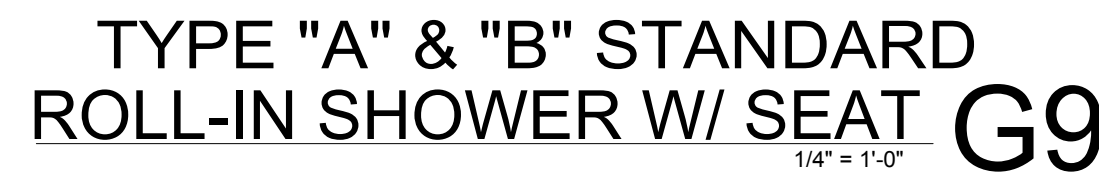
(a) CAR

(b) VAN

EXCEPTION: VAN SPACES MAY BE 96" MIN WIDE WITH 96" WIDE AISLE

CURB RAMP & LANDING PLAN $\frac{1}{4}" = 1'-0"$ **L9**

PARKING SPACE REQ'S $\frac{1}{8}" = 1'-0"$ L5



TYPE "A" & "B" STANDARD
ROLL-IN SHOWER W/O SEAT **G5**
1/4" = 1'-0"



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CHECKED BY:	

ACCESSIBILITY STANDARDS

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SITE DEVELOPMENT PLANS
FOR
COLEMAN EQUIPMENT
IN THE CITY OF LEE'S SUMMIT
JACKSON COUNTY, MISSOURI

GENERAL NOTES:

- The Engineer and/or it's representatives can not or will not provide a warranty, expressed or implied, for the designs presented in these plans unless the Engineer has been retained to provide continuous construction observation of the proposed improvements.
- All construction shall conform to the [City Technical Specifications and Design Criteria, State Road and Bridge Specifications, American Public Works Association \(APWA\) \(Kansas City Chapter\) Specifications and/or the Project Specifications as applicable](#). Contractor shall notify the Engineer of any discrepancies between the standard specifications and the Project Specification and Contract Documents.
- Contractor is responsible for verifying quantities prior to bidding, as well as becoming familiar with and satisfying himself as to the general, local and site conditions that may effect cost, progress, and performance of work.
- Contractor shall promptly give engineer written notice of all conflicts, errors, ambiguities or discrepancies that the contractor discovers in the bidding documents and confirm that the written resolution thereof by the engineer is acceptable to contractor.
- Contractor is responsible for the jobsite safety of the project and the safety of the public and shall adhere to all federal, state and local safety regulations.
- Contractor is responsible for coordinating construction activities with other contractors concurrently working onsite. Contractor shall coordinate all subcontractor activities, and shall be the sole contact for the owner.
- Contractor shall secure all required permits insurance requirements and bonding prior to construction. Insurance certificates shall name Owner and Engineer as additional insured.
- Water for use on site must be purchased from the local water utility having jurisdiction, and shall be purchased per their requirements.
- All traffic control required in conjunction with the proposed construction shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD) and shall be a subsidiary obligation of the contract.

EARTHWORK:

- It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
- Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
- The existing site topography depicted on the plans by contouring has been established by aerial photography and field verified by g.p.s. observation near DATE OF SURVEY .The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
- Proposed contours are to approximate finished grade.
- Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a movable condition and positive drainage maintained throughout.
- Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
- Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
- All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
- Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a standard proctor test (AASHTO T99/ASTM 698).
- Subgrade for pavements shall be proof-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and retested until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
- Subgrade for building pad shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the site specific Geotechnical Report.
- Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
- The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
- All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - Turf Areas – 2.5% Minimum, 4H:1V Maximum
 - Paved Areas – 1.2% Minimum, 5% Maximum
- A.D.A. parking stalls shall not be sloped greater then 2% in any direction and constructed per A.D.A. requirements.
- All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
- All disturbed areas in the right-of-way shall be sodded.
- Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
- Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.

UTILITIES:

- Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary and storm sewer lines. If minimum separations can not be obtained, concrete encasement of the sanitary or storm sewer line shall be required 10 feet in each direction of the conflict.
- Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- Trench spoils shall be neatly placed onsite adjacent to the trench, and compacted to prevent saturation and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Materials may be wasted onsite at the direction of the Owner or his appointed representative.

LEGEND:

- A/E

-

ACCESS EASEMENT
- BC

-

BACK OF CURB
- B/B

-

BACK TO BACK
- BM

-

BENCHMARK
- BL or B.L.

-

BUILDING LINE
- CO

-

CLEANOUT
- TJB

-

TELEPHONE JUNCTION BOX
- C&G

-

CURB AND GUTTER
- D/E

-

DRAINAGE EASEMENT
- E/E

-

ELECTRICAL EASEMENT
- EL

-

ELEVATION
- FL

-

FLOW LINE
- G/E

-

GAS LINE EASEMENT
- HDPE

-

HIGH-DENSITY POLYETHYLENE
- L/E

-

LANDSCAPE EASEMENT
- MSFE

-

MINIMUM SERVICEABLE FLOOR ELEVATION
- PVC

-

POLYVINYL CHLORIDE
- P/L

-

PROPERTY LINE
- PUB/E

-

PUBLIC EASEMENT
- RCP

-

REINFORCED CONCRETE PIPE
- ROW or R/W

-

RIGHT-OF-WAY
- S/E

-

SANITARY SEWER EASEMENT
- SL

-

SERVICE LINE
- S/W

-

SIDEWALK
- TE

-

TOP ELEVATION
- U/E


-


UTILITY EASEMENT
- WSE


-

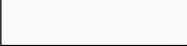
WATER SURFACE ELEVATION
- W/E


-

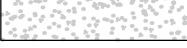
WATERLINE EASEMENT
- 


ASPHALT PAVEMENT - EXISTING
- 


ASPHALT PAVEMENT - PROPOSED
- 


CONCRETE PAVEMENT - EXISTING
- 


ASPHALT PAVEMENT - EXISTING
- 

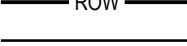
CONCRETE SIDEWALK - EXISTING
- 


CONCRETE SIDEWALK - PROPOSED
- 


CURB & GUTTER
- 


CURB & GUTTER - EXISTING
- 

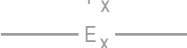
TREELINE
- 


EXISTING LOT AND R/W LINES
- 


EXISTING PLAT LINES
- 


PROPERTY LINES
- 


RIGHT-OF-WAY
- 


SANITARY SEWER MAIN
- 


SANITARY SEWER MAIN - EXIST.
- 


STORM SEWER
- 


STORM SEWER - EXISTING
- 


CABLE TV - EXISTING
- 


FIBER OPTIC CABLE - EXISTING
- 


TELEPHONE LINE - EXIST.
- 


ELECTRIC LINE - EXISTING
- 


OVERHEAD POWER LINE - EXIST.
- 


UNDERGROUND ELECTRIC - EX.
- 


GAS LINE - EXISTING
- 


WATERLINE - EXISTING
- 


LIGHT - EXISTING
- 


EXISTING MANHOLE
- 


CLEANOUT
- 


EXISTING SANITARY MANHOLE
- 

PROPOSED SANITARY MANHOLE
- 

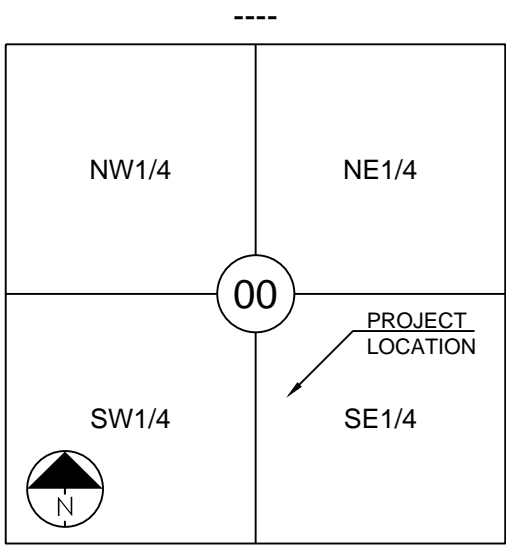
EXISTING AREA INLET
- 

EXISTING CURB INLET
- 

EXISTING GRATE INLET
- 

EXISTING JUNCTION BOX
- 

EXISTING STORM MANHOLE




SECTION 00-00-00

LOCATION MAP
SCALE 1" = 2000'

GRADING/EARTHWORK NOTES:

- REFER TO GEOTECHNICAL REPORT FOR ALL COMPACTION REQUIREMENTS AND ASPHALT AND CONCRETE RECOMMENDED THICKNESS AND SUBGRADE TREATMENTS.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LENEXA TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM AERIAL PHOTOGRAMMETRY AND FIELD, SPOT CHECKED BY SCHLAGEL AND ASSOCIATES, P.A., CONTRACTOR TO FIELD VERIFY ELEVATIONS. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF MATERIAL.

SCHLAGEL & ASSOCIATES, P.A.
Engineers•Planners•Surveyors•Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELANDASSOCIATES.COM



PREPARED AND SUBMITTED BY:

SCHLAGEL & ASSOCIATES, P.A.

OWNER/DEVELOPER:

COLEMAN EQUIPMENT
-
24000 W 43RD STREET
BONNER SPRINGS, KANSAS 66012
p (913) 422-3040
f -
-

COLEMAN EQUIPMENT
SITE DEVELOPMENT PLANS
4101 NE LAKEWOOD WAY LEE'S SUMMIT,
MISSOURI

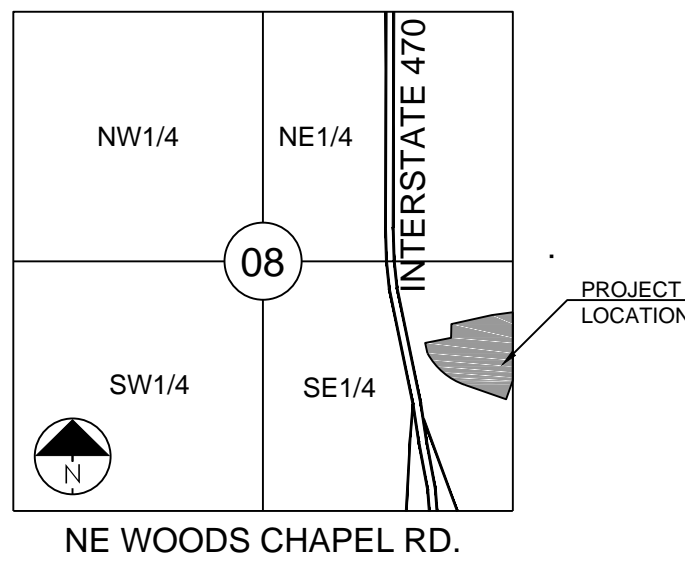
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3	3/1/2019	3/1/2019
4	4/1/2019	4/1/2019
5	5/1/2019	5/1/2019
6	6/1/2019	6/1/2019
7	7/1/2019	7/1/2019
8	8/1/2019	8/1/2019

DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 6-21-17 BID SET	PROJ. NUMBER: 17-019
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COVER SHEET

SHEET

C0.0
OF

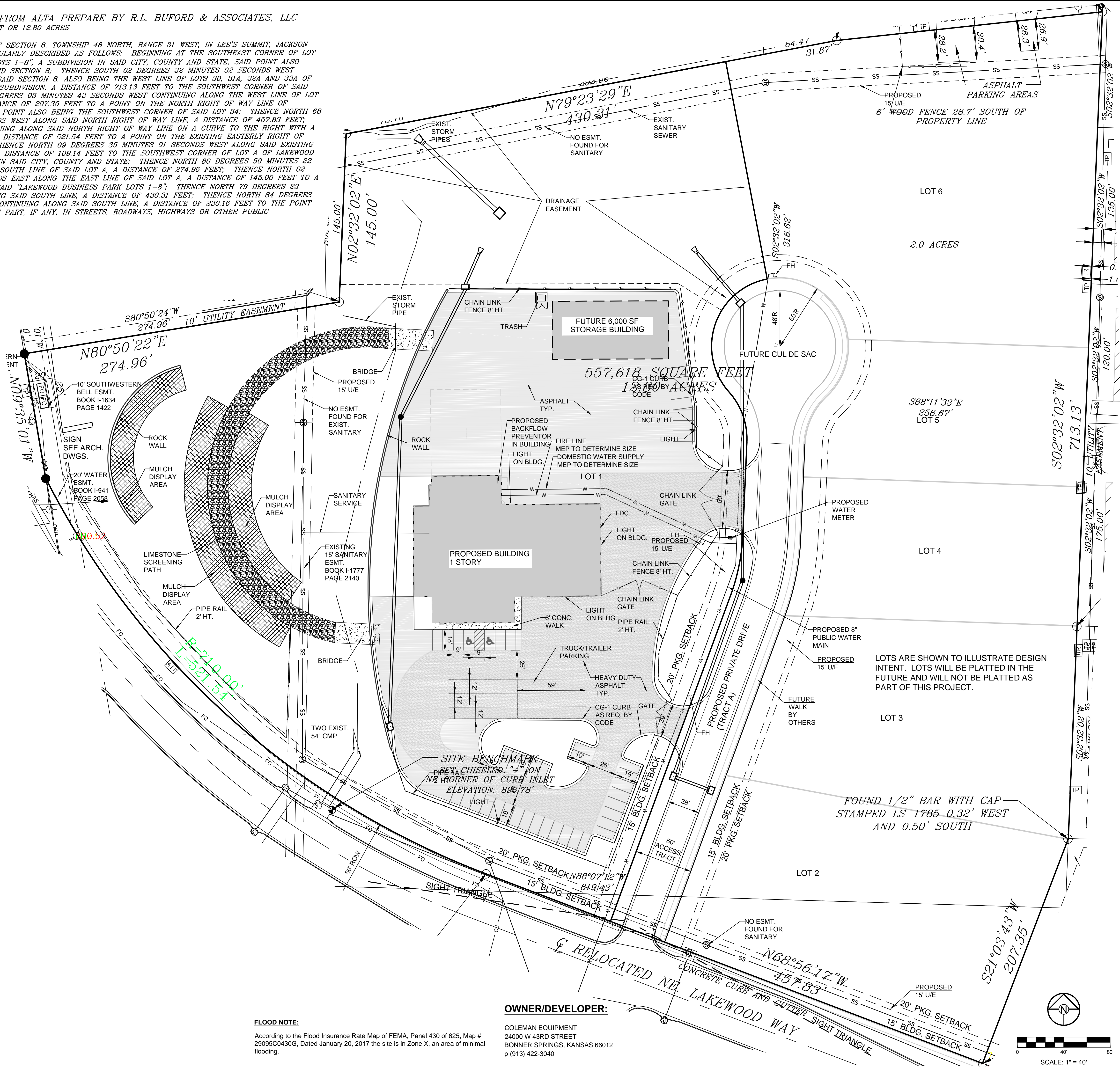


SECTION 09-48N-31W

LOCATION MAP
SCALE 1" = 2000'

PROPERTY DESCRIPTION FROM ALTA PREPARE BY R.L. BUFORD & ASSOCIATES, LLC
CONTAINING 557,618 SQUARE FEET OR 12.80 ACRES

PART OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 48 NORTH, RANGE 31 WEST, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, "LAKEWOOD BUSINESS PARK LOTS 1-8", A SUBDIVISION IN SAID CITY, COUNTY AND STATE, SAID POINT ALSO BEING ON THE EAST LINE OF SAID SECTION 8; THENCE SOUTH 02 DEGREES 32 MINUTES 02 SECONDS WEST ALONG THE SAID EAST LINE OF SAID SECTION 8, ALSO BEING THE WEST LINE OF LOTS 30, 31A, 32A AND 33A OF SAID LAKEWOOD BUSINESS PARK SUBDIVISION, A DISTANCE OF 713.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 33A; THENCE SOUTH 21 DEGREES 03 MINUTES 43 SECONDS WEST CONTINUING ALONG THE WEST LINE OF LOT 34 OF SAID SUBDIVISION, A DISTANCE OF 207.35 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF RELOCATED LAKEWOOD WAY, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 34; THENCE NORTH 68 DEGREES 56 MINUTES 17 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 457.83 FEET; THENCE NORTHWESTERLY CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE ON A CURVE TO THE RIGHT WITH A RADIUS OF 710.00 FEET, AN ARC DISTANCE OF 521.54 FEET TO A POINT ON THE EXISTING EASTERLY RIGHT OF WAY LINE OF I-470 HIGHWAY; THENCE NORTH 09 DEGREES 35 MINUTES 01 SECONDS WEST ALONG SAID EXISTING EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 109.14 FEET TO THE SOUTHWEST CORNER OF LOT A OF LAKEWOOD BUSINESS PARK, A SUBDIVISION IN SAID CITY, COUNTY AND STATE; THENCE NORTH 80 DEGREES 50 MINUTES 22 SECONDS EAST ALONG THE SAID SOUTH LINE OF SAID LOT A, A DISTANCE OF 274.96 FEET; THENCE NORTH 02 DEGREES 32 MINUTES 02 SECONDS EAST ALONG THE EAST LINE OF SAID LOT A, A DISTANCE OF 145.00 FEET TO A POINT ON THE SOUTH LINE OF SAID "LAKEWOOD BUSINESS PARK LOTS 1-8"; THENCE NORTH 79 DEGREES 23 MINUTES 29 SECONDS EAST ALONG SAID SOUTH LINE, A DISTANCE OF 430.31 FEET; THENCE NORTH 84 DEGREES 00 MINUTES 15 SECONDS EAST CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 230.16 FEET TO THE POINT OF BEGINNING, SUBJECT TO THAT PART, IF ANY, IN STREETS, ROADWAYS, HIGHWAYS OR OTHER PUBLIC RIGHT-OF-WAYS.



FLOOD NOTE:
According to the Flood Insurance Rate Map of FEMA, Panel 430 of 625, Map # 29095C0430G, Dated January 20, 2017 the site is in Zone X, an area of minimal flooding.

OWNER/DEVELOPER:
COLEMAN EQUIPMENT
24000 W 43RD STREET
BONNER SPRINGS, KANSAS 66012
p (913) 422-3040

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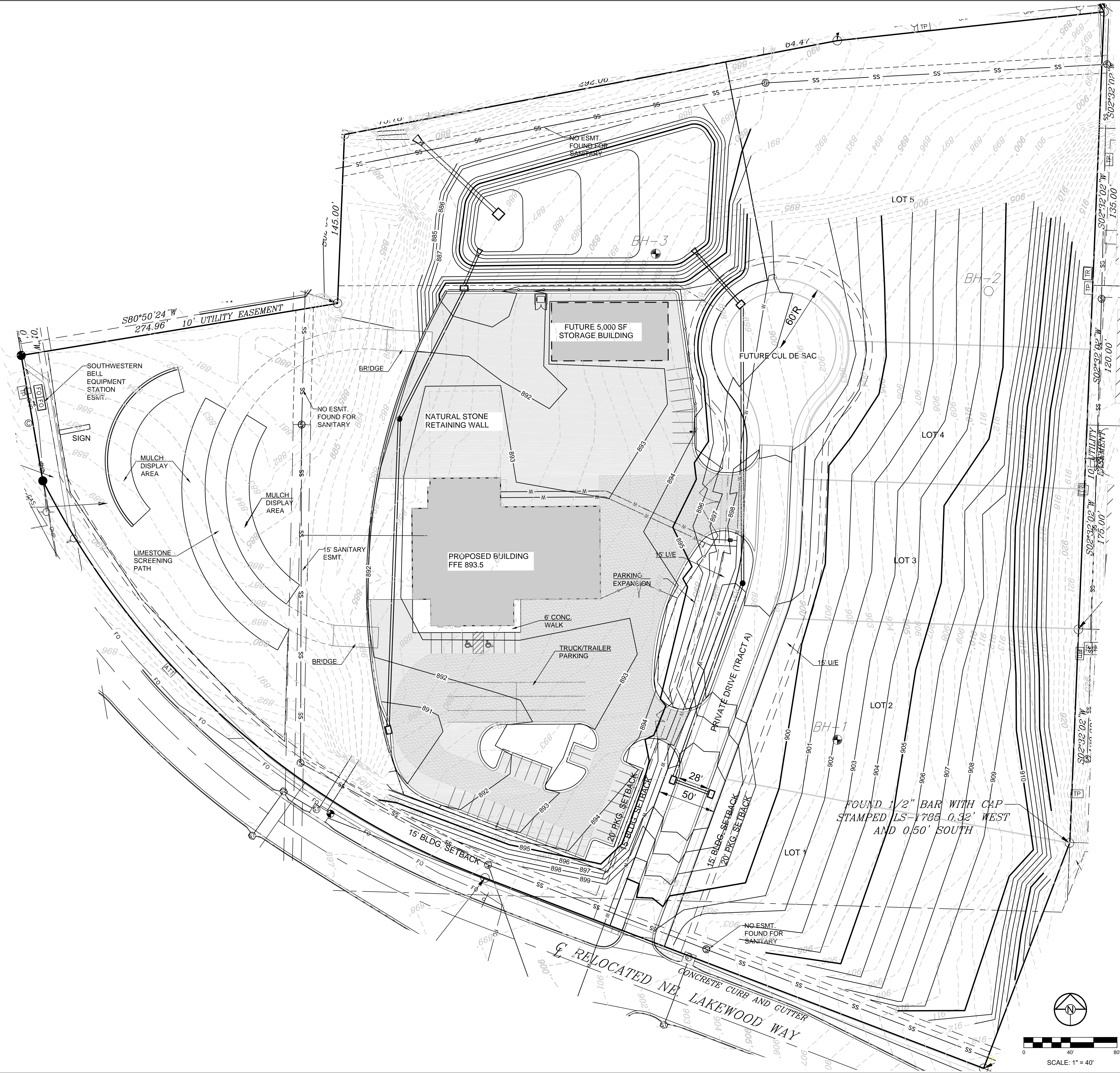
**COLEMAN EQUIPMENT
SITE DEVELOPMENT PLANS**
4101 NE LAKEWOOD WAY LEE'S SUMMIT,
MISSOURI

REVISION DATE	DESCRIPTION
17-019	PROJ. NUMBER:
17-019	DATE PREPARED:
17-019	CHECKED BY:
17-019	DRAWN BY:

**SITE LAYOUT
PLAN**
SHEET
C1.0
OF

GRADING NOTES:

1. NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
2. RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
3. PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
4. ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
6. EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY R.L. BUFORD & ASSOCIATES LLC - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
7. ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
8. ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
9. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.



COLEMAN EQUIPMENT

SITE DEVELOPMENT PLANS

4101 NE LAKEWOOD WAY LEE'S SUMMIT,
MISSOURI

REVISION DATE

DESCRIPTION

1	17-019	PROJ. NUMBER:
2	17-019	PROJ. NUMBER:
3	17-019	PROJ. NUMBER:
4	17-019	PROJ. NUMBER:
5	17-019	PROJ. NUMBER:
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7	17-019	PROJ. NUMBER:
8	17-019	PROJ. NUMBER:
9	17-019	PROJ. NUMBER:
10	17-019	PROJ. NUMBER:

GRADING PLAN

SHEET

C2.0

OF

SCHLAGEL & ASSOCIATES, P.A.

Engineers • Planners • Surveyors • Landscape Architects

14920 West 107th Street • Lenexa, Kansas 66215

(913) 492-5188 • Fax: (913) 492-8400

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TEMPORARY STORAGE AREA FOR EXCESS MATERIAL

TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA

CONCRETE WASHOUT AREA

SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS

ROCK DITCH CHECK

AREA INLET SEDIMENT TRAP

SILT SOCK / ROCK SOCK / SOCK WATTLE

1

BMP PLAN REF. NO.

SF1

SILT FENCE (PRIOR TO LAND DISTURBANCE)

SF2

SILT FENCE (DURING CONSTRUCTION)

X

CONSTRUCTION FENCE

LIMITS OF DISTURBANCE

965

EXISTING CONTOURS

965

PROPOSED CONTOURS

EXISTING TREE LINE

GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

EROSION AND SEDIMENT CONTROL STAGING CHART				
PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	EXISTING SITE ACCESS TO BE UTILIZED FOR ENTRANCE. PLACE WHERE INDICATED ON THE PLAN. MAINTAIN, REPAIR, OR REPLACE AS NECESSARY. REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	2	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	3	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	4	CONCRETE WASHOUT AREA	D	ESTABLISH PRIOR TO ANY CONCRETE WORK
	5	ROCK DITCH CHECK	E	PLACE WHERE INDICATED IN EXISTING DRAINAGE DITCH
B - MASS GRADING	6	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	7	FOAM SILT DIKE OR ROCK DITCH CHECK	E	PLACE WHERE INDICATED AS SOON AS SWALE IS ESTABLISHED, REPAIR OR REPLACE AS NECESSARY
C - STORM SEWER/ SANITARY SEWER/ WATER MAIN/UTILITY CONSTRUCTION	8	CURB AND YARD AREA INLET PROTECTION (SILT FENCE)	E	EXCAVATE A SEDIMENT TRAP AND PLACE SILT FENCE WITH WIRE BACKING AND GRAVEL AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES SILT FENCE TO BE REMOVED ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
D - AFTER PAVING OPERATIONS	9	CURB INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
	10	YARD AREA INLET PROTECTION		MAINTAIN A SEDIMENT TRAP AND SILT FENCE WITH WIRE BACKING AND GRAVEL AROUND ALL STORM SEWER YARD AREA INLET STORM STRUCTURES ONCE ALL WORK IS COMPLETE AND SEDIMENT TRAP IS REMOVED, SEED/SOD THE AREA AND PLACE GRAVEL FILTER BAGS IN FRONT OF INLET OPENING
	11	SILT FENCE (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED. REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	12	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT				ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

SITE SPECIFIC NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES ON THE SITE.
- THE DRAINAGE FEATURE THROUGH THE MIDDLE OF THE SITE IS A PROTECTED AREA. NO CONSTRUCTION EQUIPMENT OR ACTIVITY IS ALLOWED IN THESE AREAS UNLESS A SPECIFIC PERMIT/PERMISSION FROM THE GOVERNING AUTHORITY HAS BEEN OBTAINED. A SWPPP HAS BEEN PREPARED FOR THIS PROJECT AND IS INCORPORATED INTO THIS EROSION CONTROL PLAN BY REFERENCE. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE SWPPP IMPLEMENTATION AND REPORTING REQUIREMENTS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
- SOIL STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED AFTER PERIODS OF INACTIVITY IN CONSTRUCTION OF GREATER THAN 7 DAYS. INITIAL STABILIZATION MUST BE COMPLETED WITHIN 21 DAYS.
- ALL SILT FENCE AND EROSION CONTROL MEASURES THAT ARE PLACED PRIOR TO LAND DISTURBANCE WILL BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL CONTRACTORS ON SITE.
- AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE ESTABLISHED IMMEDIATELY AFTER THE CONSTRUCTION IN THAT AREA IS COMPLETE.
- ALL PUBLIC STREETS SHALL BE KEPT CLEAN PER THE SWPPP AND CITY REQUIREMENTS.

DISTURBED AREA = 12.00 AC.

GENERAL NOTES:

- Survey data and legal description from Owner provided ALTA survey dated March 19, 2015 and prepared by Aylett Survey & Engineering Company. Used with permission from the Owner.
- Topographic data is City GIS data.

COLEMAN EQUIPMENT

SITE DEVELOPMENT PLANS

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REVISION DATE

DESCRIPTION

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DRAWN BY:

SCH

CHECKED BY:

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DATE PREPARED:

6/21/17 BID SET

PROJ. NUMBER:

17-019

EROSION CONTROL

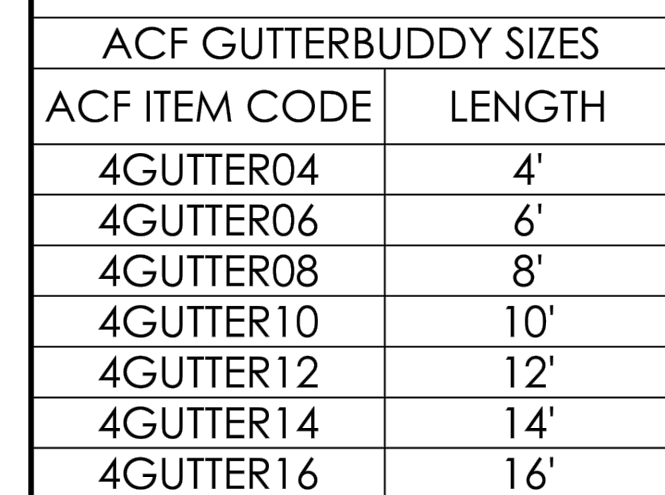
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OF



AMERICAN PUBLIC WORKS ASSOCIATION	
APWA	KANSAS CITY METROPOLITAN CHAPTER
TEMPORARY CONSTRUCTION ENTRANCE	STANDARD DRAWING NUMBER ESC-01 ADOPTED:



DATE 9/7/16



1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. REMOVE THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE Adequate STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. AVOID DAMAGING OR UNDERMINING THE FENCE DURING CLEANOUT. SEDIMENT ACCUMULATION SHOULD EXCEED 1/2 THE HEIGHT OF THE FENCE.
4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY AND COMPLETELY STABILIZED.

AMERICAN PUBLIC WORKS ASSOCIATION
APWA
 KANSAS CITY
 METROPOLITAN CHAPTER
 STANDARD DRAWING
 NUMBER ESC-10
 ADOPTED:
 SEDIMENT FENCE

UNLESS THEY ARE TO BE PERMANENT, CHECK DAMS MUST BE REMOVED WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED WHEN THEY ARE NO LONGER NEEDED. IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN A PERMANENT LINING CAN BE INSTALLED. IN THE CASE OF GRASS-LINED DITCHES, CHECK DAMS SHOULD BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMS SHOULD BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE REMOVED. THE USE OF FILTER CLOTH UNDERNEATH THE STONE WILL MAKE REMOVAL OF THE STONE EASIER.

AMERICAN PUBLIC WORKS ASSOCIATION	
APWA	KANSAS CITY METROPOLITAN CHAPTER
ROCK CHECK DAM	STANDARD DRAWING NUMBER ESC-15 ADOPTED:



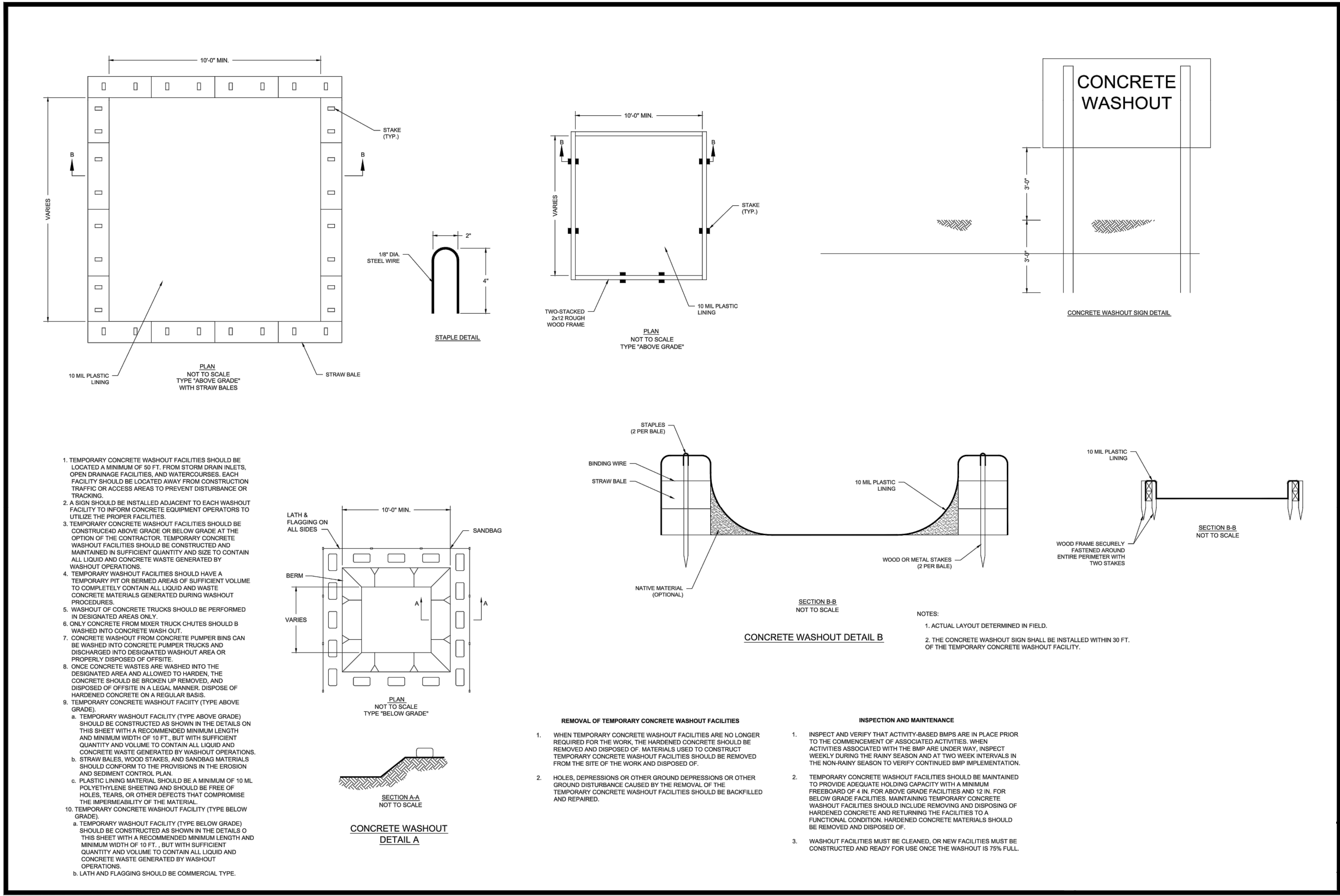
COLEMAN EQUIPMENT
SITE DEVELOPMENT PLANS
4101 NE LAKEWOOD WAY LEE'S SUMMIT,
MISSOURI

REVISION DATE	DESCRIPTION
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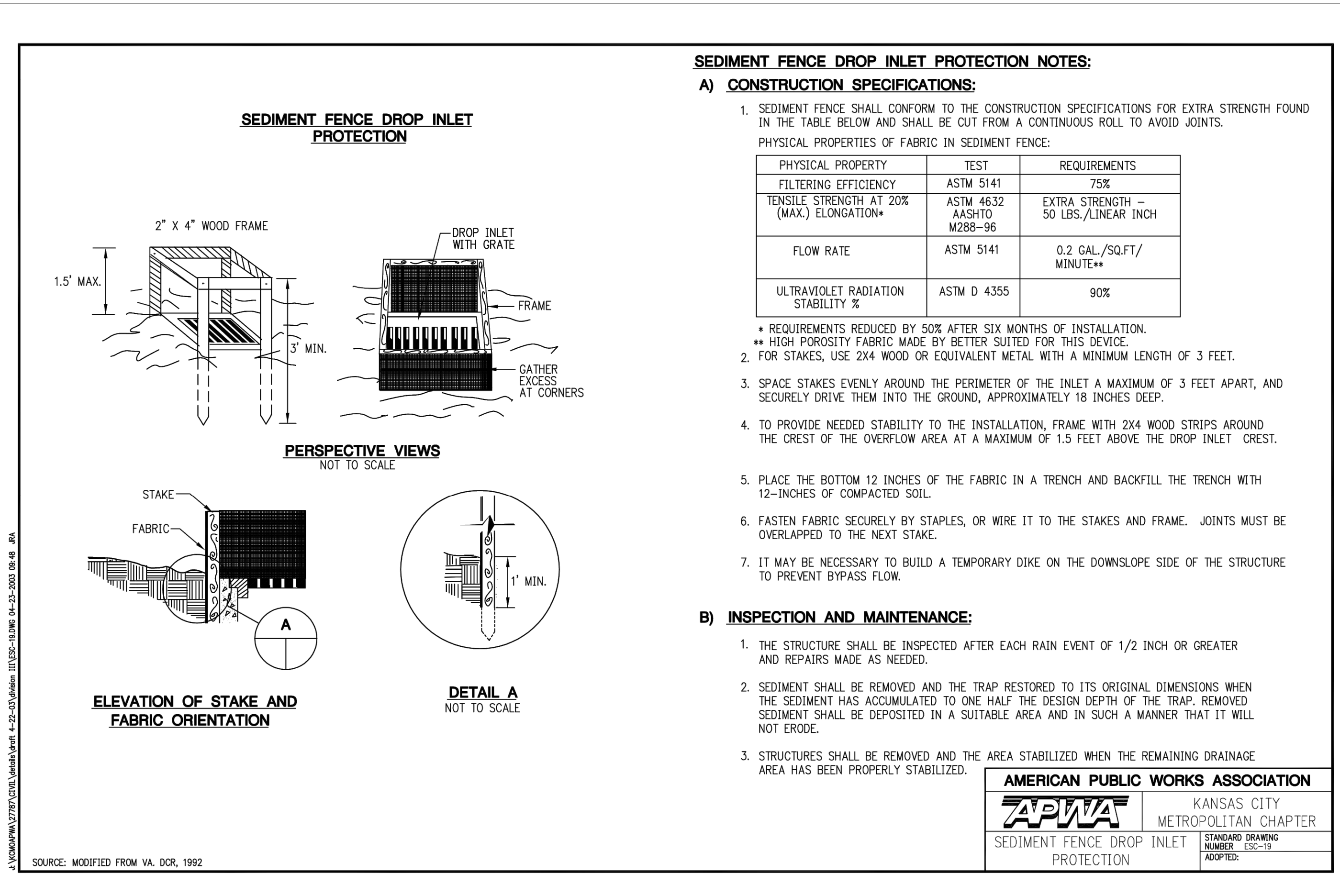
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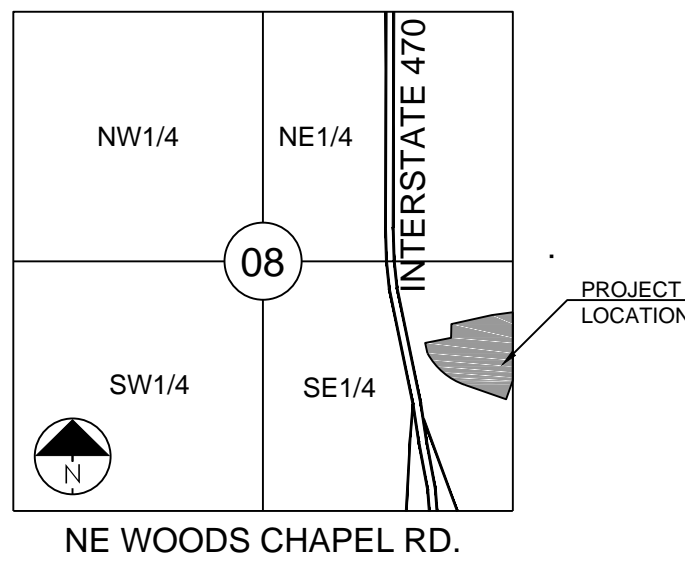
OF

4. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.
5. ALL SLOPES STEEPER THAN 6:1 SHALL BE IMMEDIATELY SEEDED AND MULCHED WITH EROSION CONTROL BLANKETS INSTALLED.
6. STOCKPILES OF TOPSOIL TO BE LOCATED IN AREAS WHERE EROSION WILL NOT LEAVE SITE OR ENTER STORM SEWER.



D-505 EROSION & SEDIMENT CONTROL S



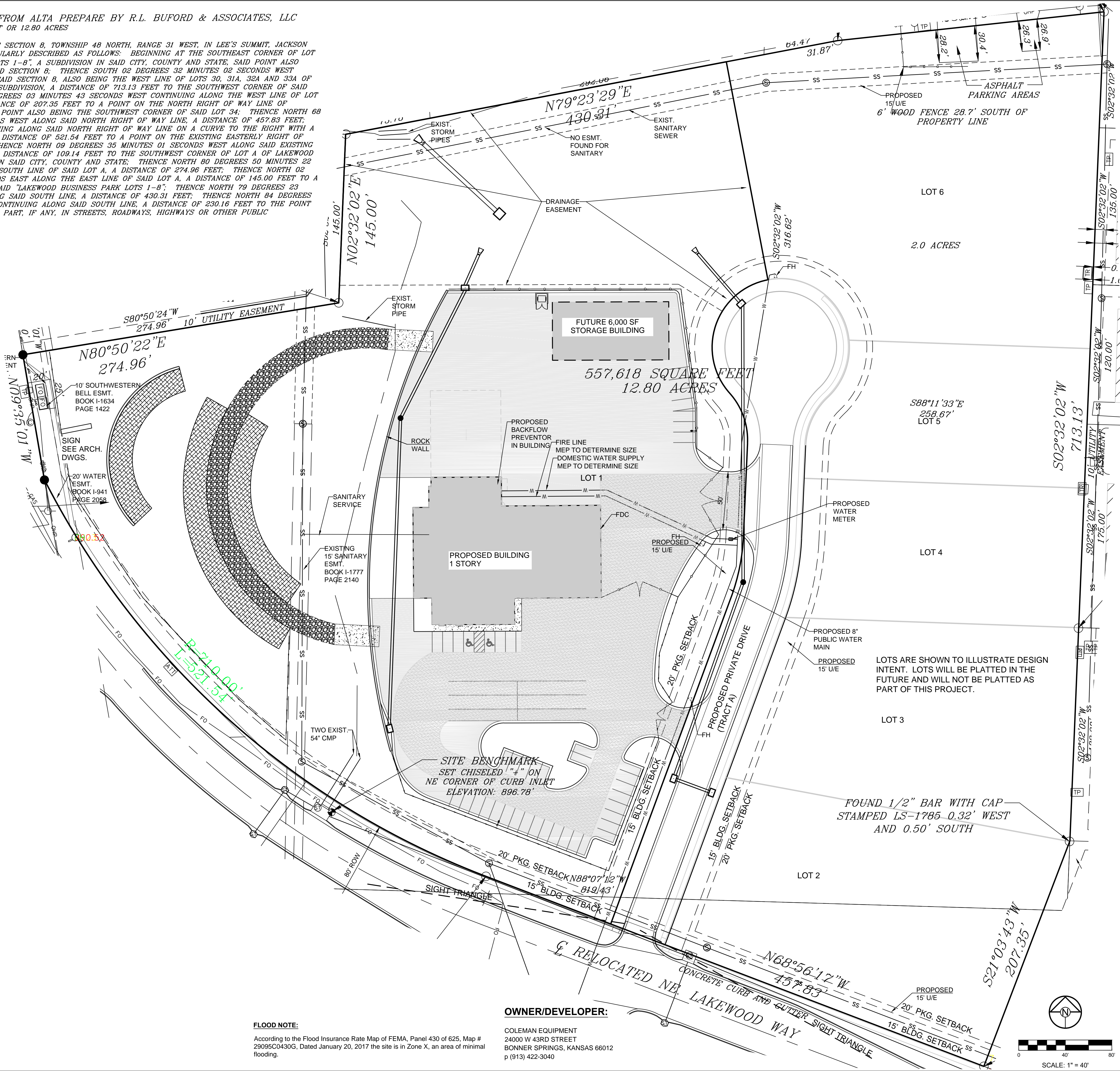


SECTION 09-48N-31W

LOCATION MAP
SCALE 1" = 2000'

PROPERTY DESCRIPTION FROM ALTA PREPARE BY R.L. BUFORD & ASSOCIATES, LLC
CONTAINING 557,618 SQUARE FEET OR 12.80 ACRES

PART OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 48 NORTH, RANGE 31 WEST, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, "LAKEWOOD BUSINESS PARK LOTS 1-8", A SUBDIVISION IN SAID CITY, COUNTY AND STATE, SAID POINT ALSO BEING ON THE EAST LINE OF SAID SECTION 8; THENCE SOUTH 02 DEGREES 32 MINUTES 02 SECONDS WEST ALONG THE SAID EAST LINE OF SAID SECTION 8, ALSO BEING THE WEST LINE OF LOTS 30, 31A, 32A AND 33A OF SAID LAKEWOOD BUSINESS PARK SUBDIVISION, A DISTANCE OF 713.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 33A; THENCE SOUTH 21 DEGREES 03 MINUTES 43 SECONDS WEST CONTINUING ALONG THE WEST LINE OF LOT 34 OF SAID SUBDIVISION, A DISTANCE OF 207.35 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF RELOCATED LAKEWOOD WAY, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 34; THENCE NORTH 68 DEGREES 56 MINUTES 17 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 457.83 FEET; THENCE NORTHWESTERLY CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE ON A CURVE TO THE RIGHT WITH A RADIUS OF 710.00 FEET, AN ARC DISTANCE OF 521.54 FEET TO A POINT ON THE EXISTING EASTERLY RIGHT OF WAY LINE OF I-470 HIGHWAY; THENCE NORTH 09 DEGREES 35 MINUTES 01 SECONDS WEST ALONG SAID EXISTING EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 109.14 FEET TO THE SOUTHWEST CORNER OF LOT A OF LAKEWOOD BUSINESS PARK, A SUBDIVISION IN SAID CITY, COUNTY AND STATE; THENCE NORTH 80 DEGREES 50 MINUTES 22 SECONDS EAST ALONG THE SAID SOUTH LINE OF SAID LOT A, A DISTANCE OF 274.96 FEET; THENCE NORTH 02 DEGREES 32 MINUTES 02 SECONDS EAST ALONG THE EAST LINE OF SAID LOT A, A DISTANCE OF 145.00 FEET TO A POINT ON THE SOUTH LINE OF SAID "LAKEWOOD BUSINESS PARK LOTS 1-8"; THENCE NORTH 79 DEGREES 23 MINUTES 29 SECONDS EAST ALONG SAID SOUTH LINE, A DISTANCE OF 430.31 FEET; THENCE NORTH 84 DEGREES 00 MINUTES 15 SECONDS EAST CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 230.16 FEET TO THE POINT OF BEGINNING, SUBJECT TO THAT PART, IF ANY, IN STREETS, ROADWAYS, HIGHWAYS OR OTHER PUBLIC RIGHT-OF-WAYS.



FLOOD NOTE:
According to the Flood Insurance Rate Map of FEMA, Panel 430 of 625, Map # 29095C0430G, Dated January 20, 2017 the site is in Zone X, an area of minimal flooding.

OWNER/DEVELOPER:
COLEMAN EQUIPMENT
24000 W 43RD STREET
BONNER SPRINGS, KANSAS 66012
p (913) 422-3040

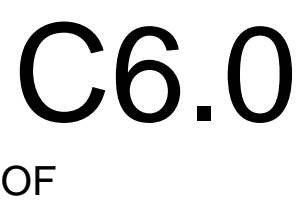
SCHLAGEL & ASSOCIATES, P.A.
Engineers • Planners • Surveyors • Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELANDASSOCIATES.COM

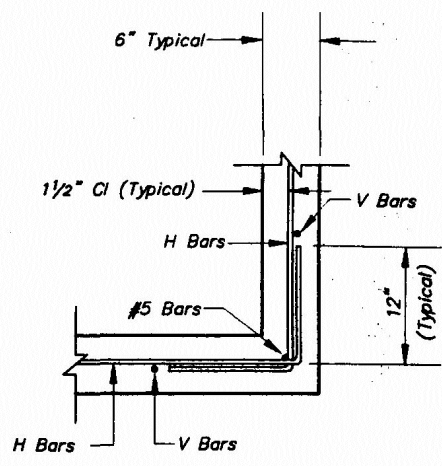
**COLEMAN EQUIPMENT
SITE DEVELOPMENT PLANS**
4101 NE LAKEWOOD WAY LEE'S SUMMIT,
MISSOURI

REVISION DATE	DESCRIPTION
17-019	17-019

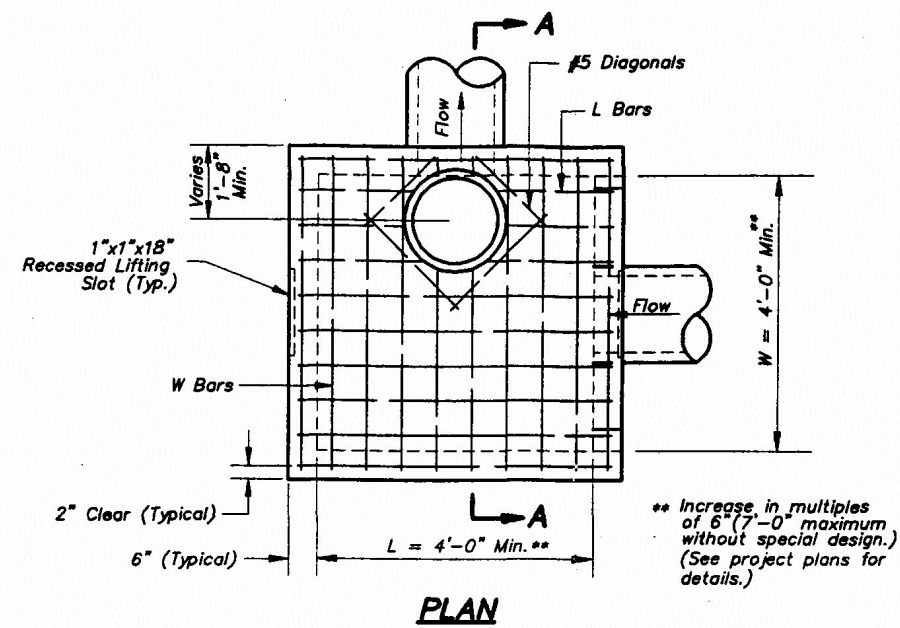
UTILITY PLAN

SHEET
C5.0
OF

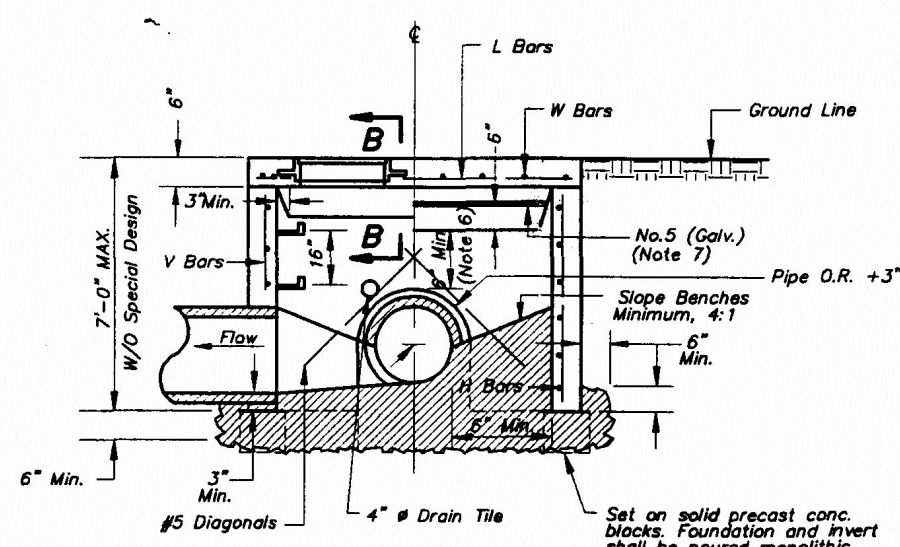




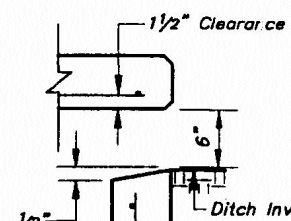
CORNER DETAIL



PLAN



SECTION A-A



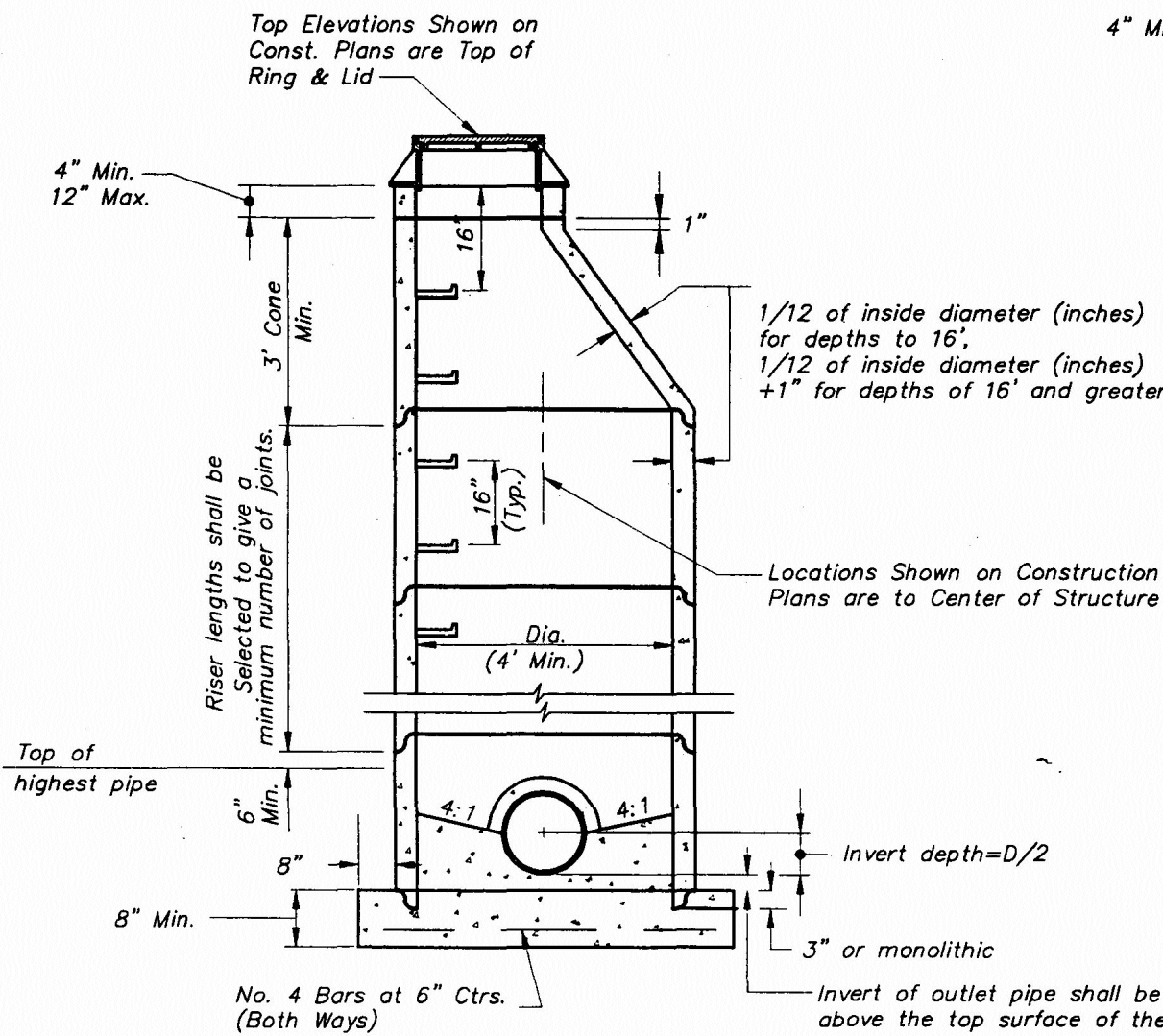
SECTION B-B

REINFORCING	BAR SIZE	SPACING
H	4	12
V	4	12
L	5	6
W	5	6

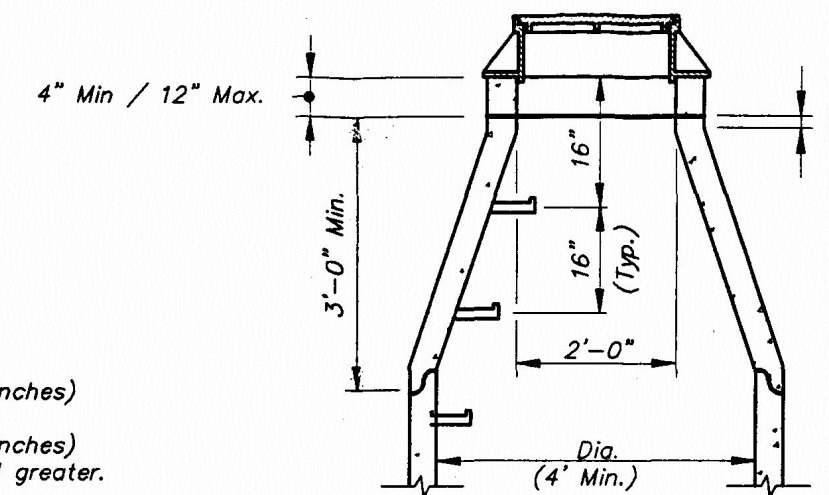
GENERAL NOTES:

1. Locate ring and cover over outlet.
2. All work and materials shall conform to APWA Sect. 2600.
3. Use 3/4" chamfer strip on all exposed concrete corner.
4. Steps required at 18" O.C. when depth from top of casting to invert exceeds 4'.
5. Boxou's will not be allowed to project through the corner of the structure.
6. The minimum reinforcing shall be 1 H-bar over a cast-in place pipe and 2 H-bars over a precast boxou's.
7. Limit spacing height to 6" with No. 5 galvanized bars extending to corner rebars.
8. Ring & Cover to be Neenah R-1537, Clay & Bailey #2008, Dealer #2016, or approved equal. (Casting may vary by municipality, refer to plans & contract documents.)
9. Show full inlet orientation on plans plus number and size of openings.
10. O.R. = outside pipe radius.
11. 4" # field tile or precast hole shall be located at entering pipe and in the front face sump points. These tiles or openings shall be coated with 1/4" galvanized wire mesh on the outside of the inlet and clear the invert and base concrete.

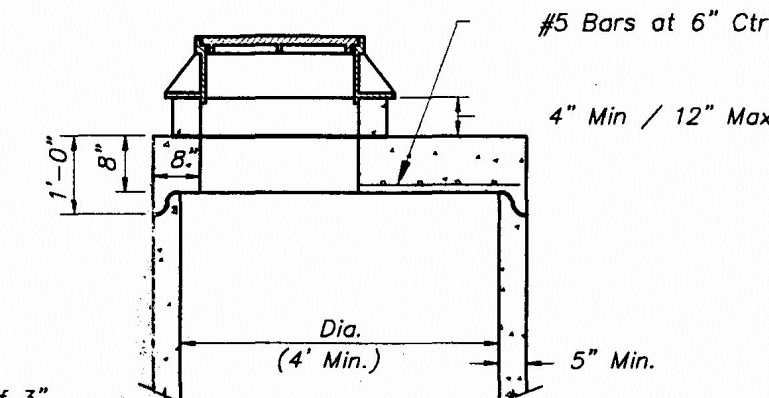
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
METROPOLITAN CHAPTER
FIELD INLET DETAILS
STANDARD DRAWING NUMBER FH - 1
ADOPTED: APRIL 17, 1996



STANDARD PRECAST MANHOLE (ECCENTRIC CONE)



STANDARD PRECAST MANHOLE (CONCENTRIC CONE)
(See Eccentric Cone For Other Details)

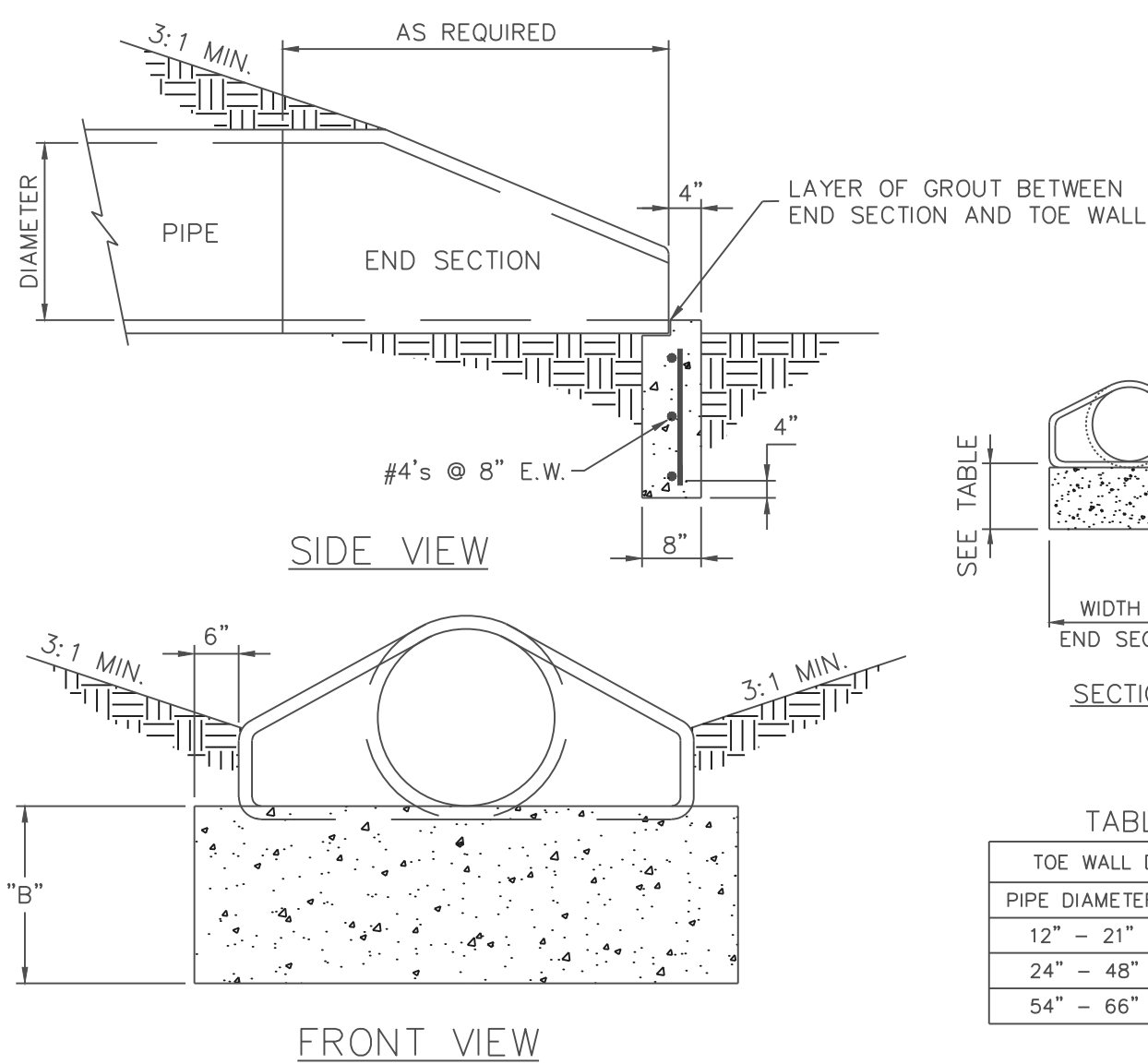


STANDARD PRECAST MANHOLE (SHALLOW TYPE)
(See Eccentric Cone For Other Details)

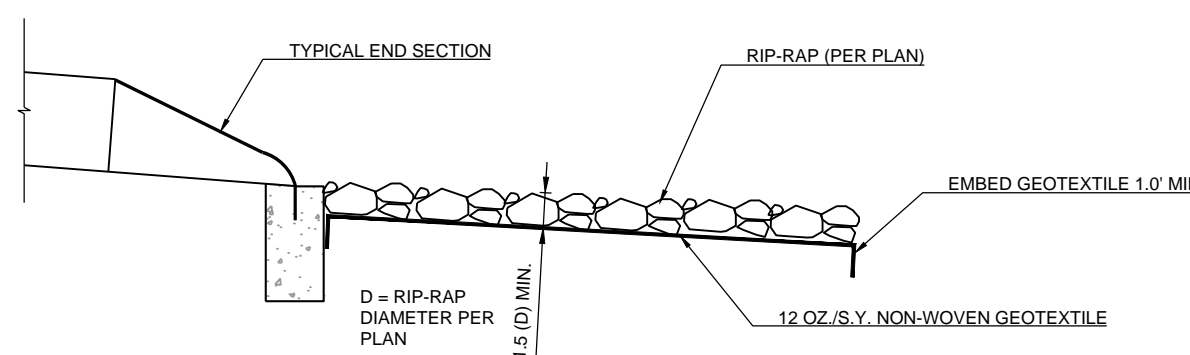
GENERAL NOTES:

1. All manholes are to be precast concrete and of Eccentric Cone type unless otherwise specified.
2. Manhole top adjustments shall be accomplished by the use of concrete adjustment rings.
3. Top of manhole casting shall be set flush and on same slope as finished surface or as directed by the Engineer.
4. Reinforcement in all sections shall equal or exceed A.S.T.M. C-478 specifications.
5. The engineer shall designate modifications for manholes with special designs.
6. The inside diameter of the manhole shall be 4'-0" for pipe diameters from 12" thru 24", 5'-0" for pipe diameters from 27" thru 36", and 6'-0" for pipe diameters 42" thru 48".
7. Clearance Tolerance of Pipe Openings: The Maximum Allowable Pipe Opening on a Horizontal Axis Shall be the Outside Diameter of the Pipe Plus 12". The Maximum Allowable Pipe Opening on Vertical Axis Shall be the Outside Diameter Plus 8". The Minimum Clearance Between the Outside Surface of an Installed pipe and the Concrete of the Manhole Shall be 2".
8. Installation of Pipe Openings: All required pipe openings shall be placed in manhole units. Field alterations of openings will be permitted provided walls are scored with a masonry saw to a depth sufficient to sever reinforcing steel. A chipping hammer may then be used to remove the concrete. Minimum distance between any two adjacent pipes shall be 4".
9. No direct payment for shaping floor or connecting pipes as shown on plans.
10. Ring & Cover to be Neenah R-1736, Clay & Bailey #2008, Dealer #316, or approved equal. (Casting may vary by municipality, refer to plans & contract documents.)
11. Sanitary Sewers shall be coated and conform to Section 2600.

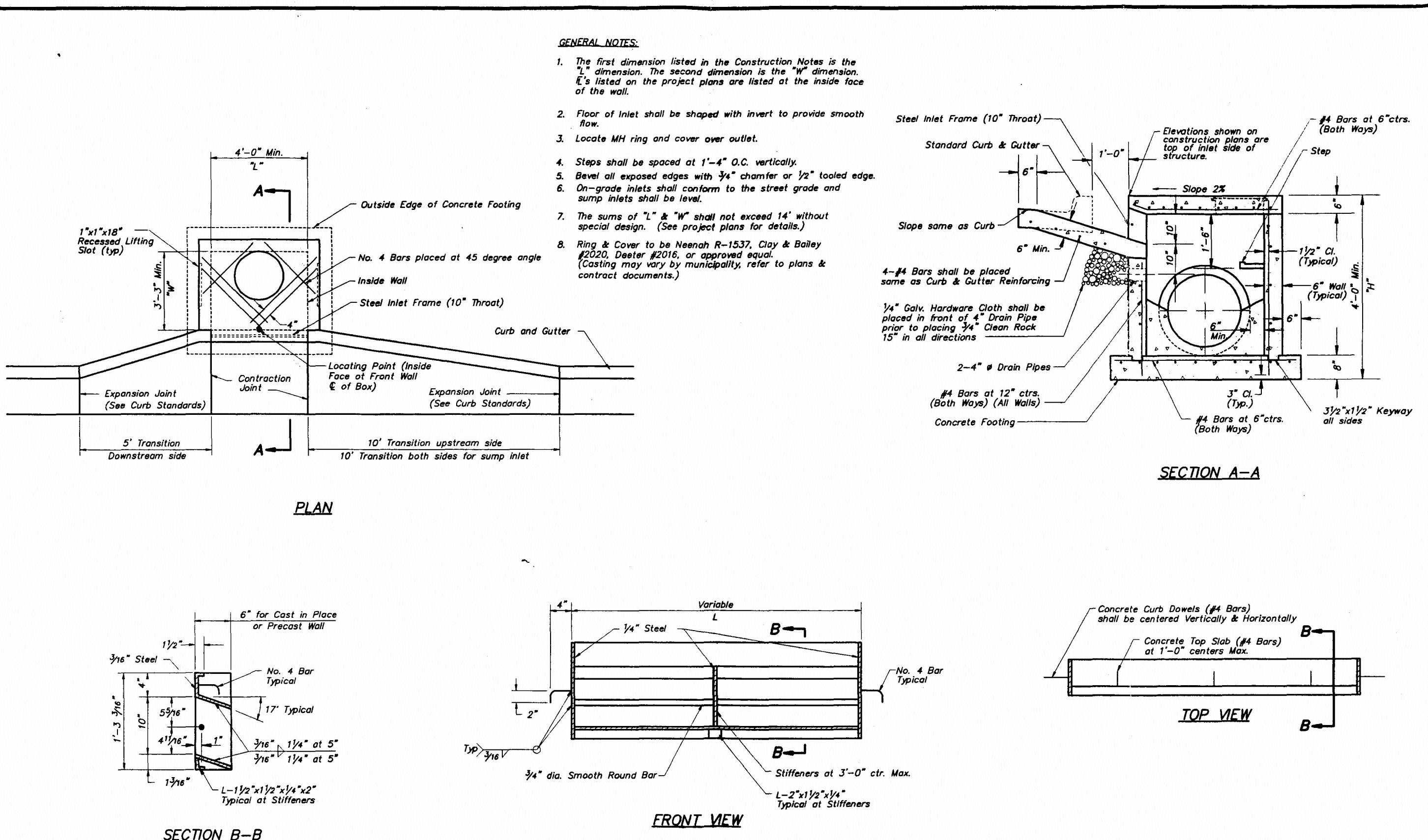
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
METROPOLITAN CHAPTER
MANHOLE DETAILS
STANDARD DRAWING NUMBER MH - 1
ADOPTED: APRIL 17, 1996



END SECTION AND TOEWALL DETAIL



RIP RAP DETAIL



AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
METROPOLITAN CHAPTER
CURB INLET - TYPE 2 DETAILS
STANDARD DRAWING NUMBER CL - 2
ADOPTED: APRIL 17, 1996

REVISION DATE	DESCRIPTION
17-019	PROJ. NUMBER
6-21-17 BID SET	DATE PREPARED
###	CHECKED BY
###	DRAWN BY

STORM DRAINAGE DETAILS

SHEET

C6.1
OF



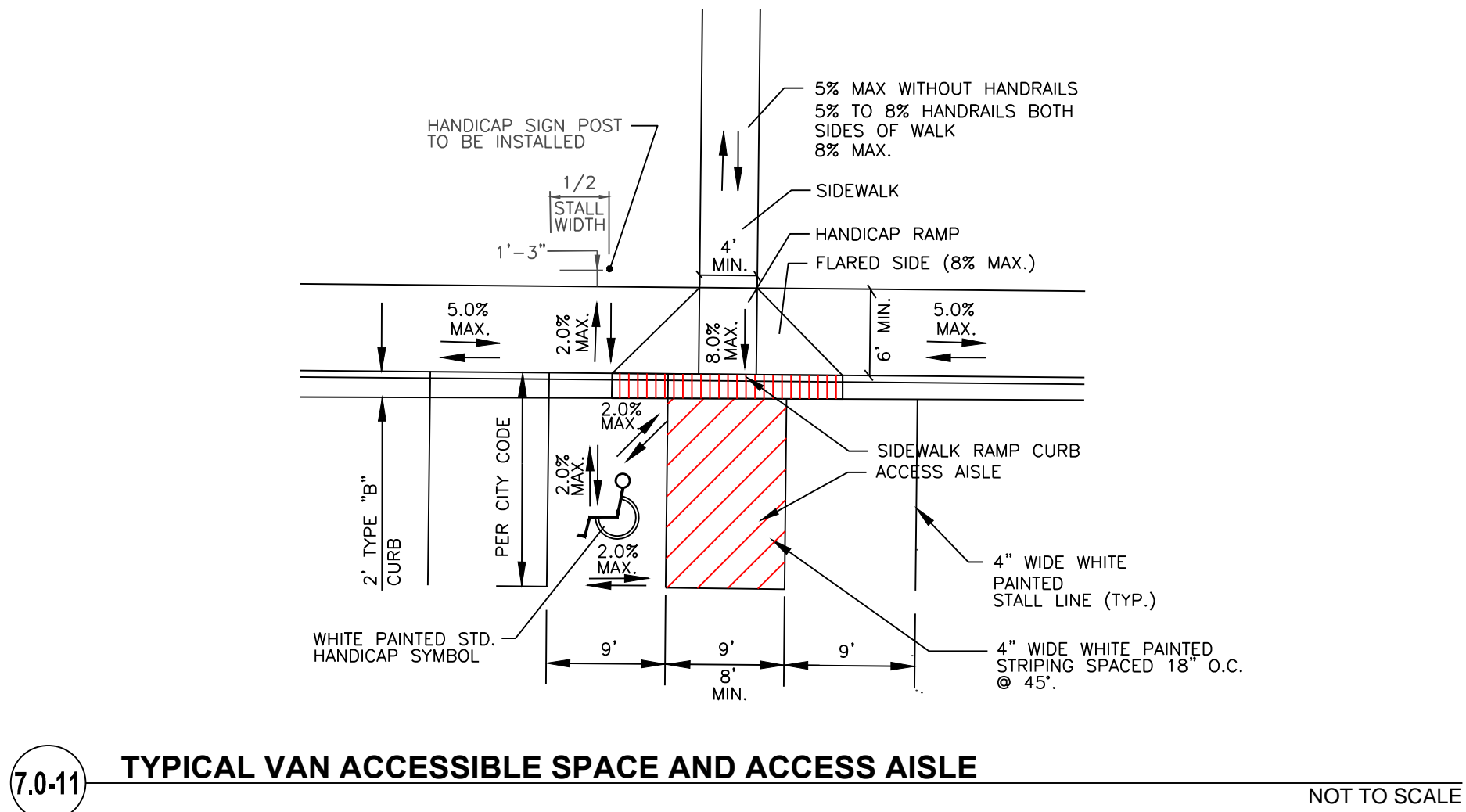
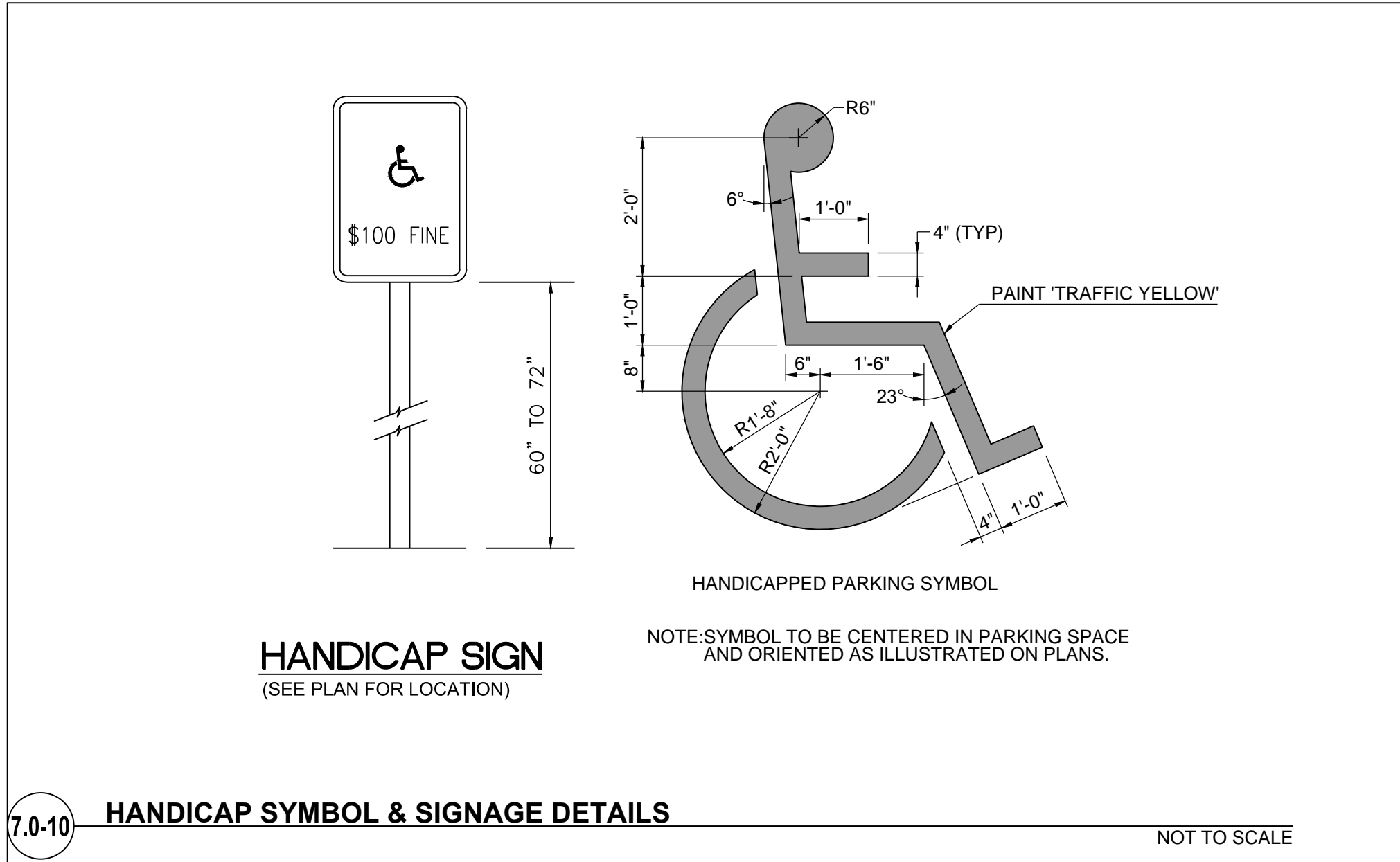
NOT TO SCALE



THE RETAINING WALL ON THE SITE WILL EITHER BE BIG BLOCK WALL OR A LEDGSTONE WALL. FINAL SELECTION TO OCCUR AT FINAL PLAN.

7.0-8 WALL DETAIL

NOT TO SCALE



NOT TO SCALE



MULCH DISPLAY AREAS

NOT TO SCALE



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MISSOURI

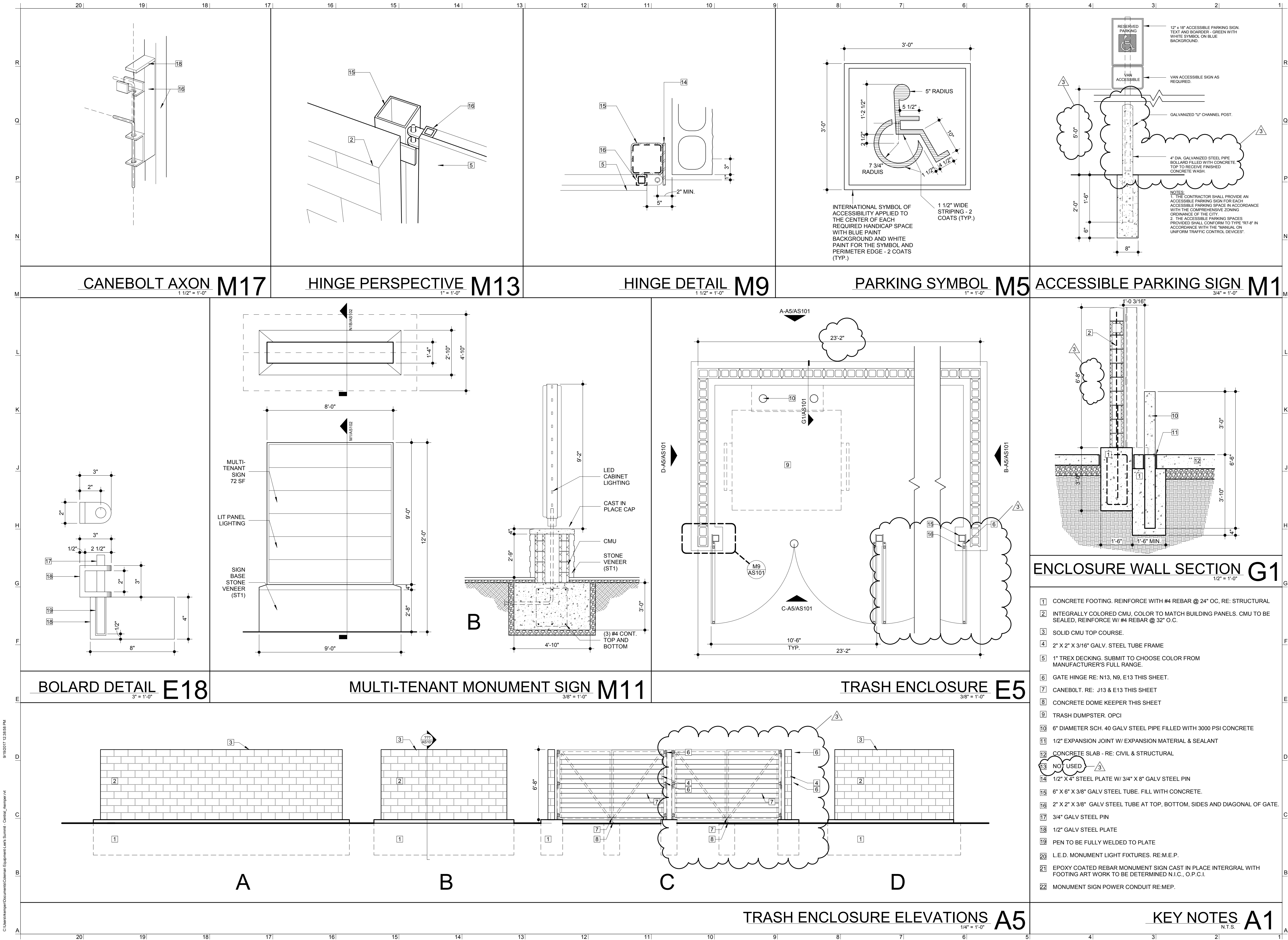
REVISION DATE	DESCRIPTION
1	SCH
2	
3	
4	SCH
5	
6	DATE PREPARED:
7	6-21-17 BID SET
8	PROJ. NUMBER:
9	17-019

SITE DETAILS

SHEET

C6.2

PLAN REVIEW/BID SET



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LEE'S SUMMIT, MO 64064

PN: 217001

DRAWN BY: MH

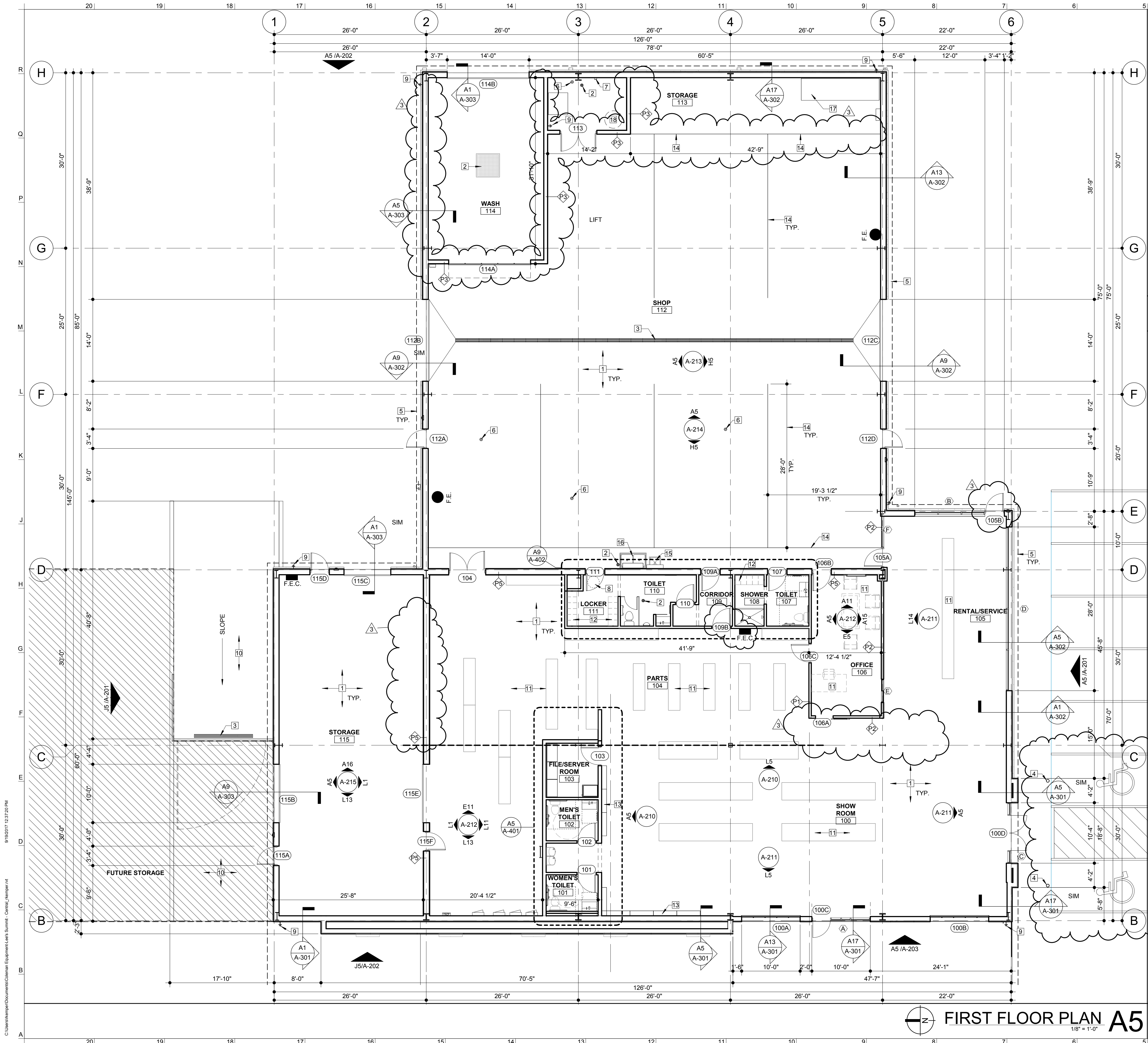
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SITE PLAN DETAILS

AS101

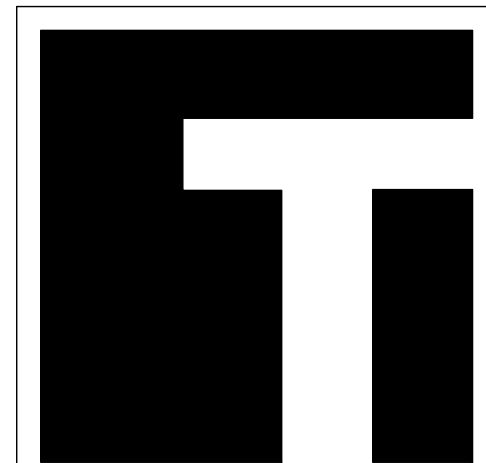
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1. ALL INTERIOR DIMENSIONS TAKEN FROM FINISH FACE TO FINISH FACE U.N.O.
2. PROVIDE 2X FRTW BLOCKING IN WALL AND CEILING FRAMING FOR ATTACHMENT OF ALL TOILET ACCESSORIES, CABINETS, AND COUNTERTOP SUPPORTS, ELECTRICAL, TELEPHONE, SECURITY PANELS, AND WALL MOUNTED FIRE EXTINGUISHERS, SHELVING AND ALL OTHER EQUIPMENT REQUIRING SECURE ATTACHMENT TO THE WALL. IN ADDITION, PROVIDE BLOCKING FOR ALL OWNER FURNISHED ITEMS.
3. VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
4. SEAL ALL PENETRATIONS THROUGH FIRE-RATED SEPARATION WALLS AND CEILINGS WITH FIRE-RATED SEALANT.
5. CONTRACTOR MUST EXAMINE THE CONDITIONS UNDER WHICH THE WORK WILL BE INSTALLED AND REPORT TO THE ARCHITECT IN WRITING ANY CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY EXECUTION OF THAT WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED. COMMENCING WITH WORK SHALL CONSTITUTE ACCEPTANCE OF THE SUBSTRATE AND/OR CONDITIONS.
6. PATCH, LEVEL, AND PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION.
7. CONTRACTOR TO PROVIDE DUST PROOF BARRIERS, AS APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM AREAS WITH NO WORK. TEMPORARY PARTITIONS/BARRIERS TO BE CONSTRUCTED TO CEILING/STRUCTURE ABOVE TO MAINTAIN EXITING, SECURITY, MECHANICAL, FIRE- AND LIFE-SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
8. EXTEND ALL DEMISING WALLS TO STRUCTURE ABOVE.

GENERAL PLAN NOTES M1

- 1 REINFORCED CONCRETE FLOOR. RE: STRUCTURAL
- 2 FLOOR DRAINS. RE: PLUMBING
- 3 TRENCH DRAIN. RE: PLUMBING
- 4 PARKING SIGN. RE: M1/AS101
- 5 UNDERGRADE DRAINAGE PIPE FOR ROOF DRAINAGE. DAYLIGHT OUT FACE OF RETAINING WALL TO THE WEST.
- 6 PLUMBING CLEANOUTS. RE: PLUMBING
- 7 SHUT OFF AND RP2 VALVE. RE: PLUMBING
- 8 WATER HEATER
- 9 HOSE BIBB RE: PLUMBING
- 10 CONCRETE DECK AND RAMP. RE: STRUCTURAL
- 11 FURNITURE IS SHOWN FOR REFERENCE ONLY. OPOI
- 12 PRE-FINISHED METAL LOCKERS. BY OWNER.
- 13 STIHL WALL DISPLAY.
- 14 4" WIDE PAINTED STRIPES
- 15 FLOOR MOP SINK. RE: PLUMBING
- 16 MECHANICS HAND WASHING SINK. RE: PLUMBING
- 17 OIL TOTES STORAGE. OPOI
- 18 AIR COMPRESSOR



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4101 NE LAKEWOOD WAY
LEE'S SUMMIT, MO 64064

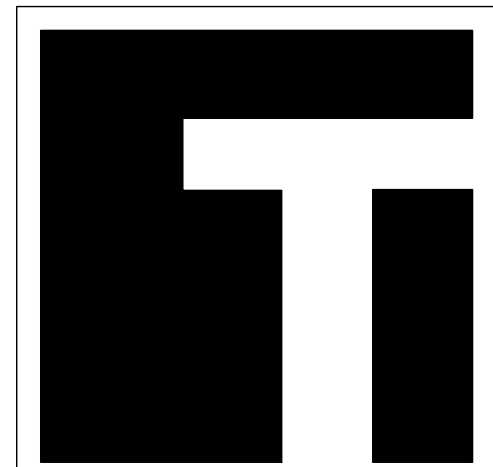
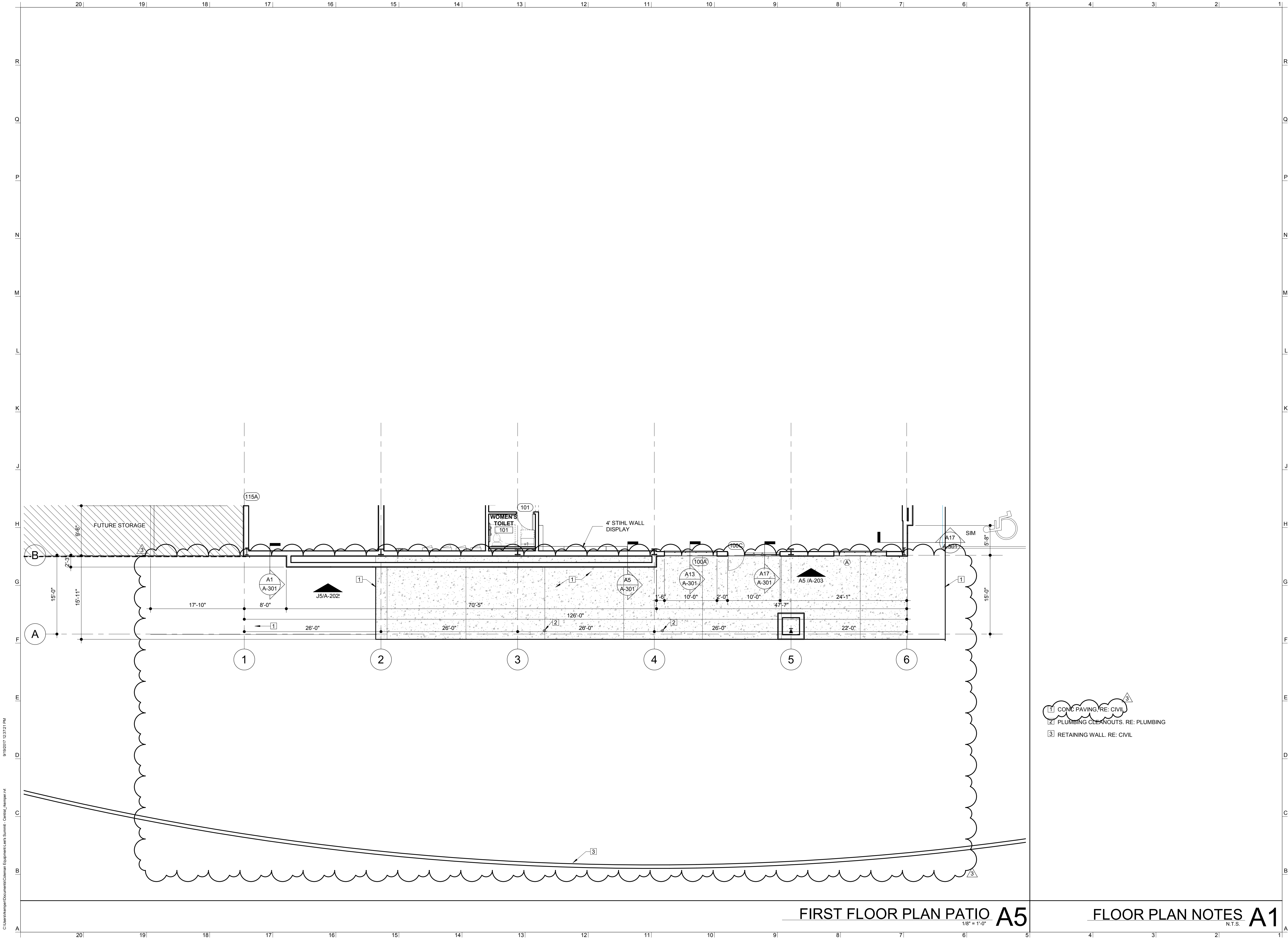
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FIRST FLOOR PLAN

A-101

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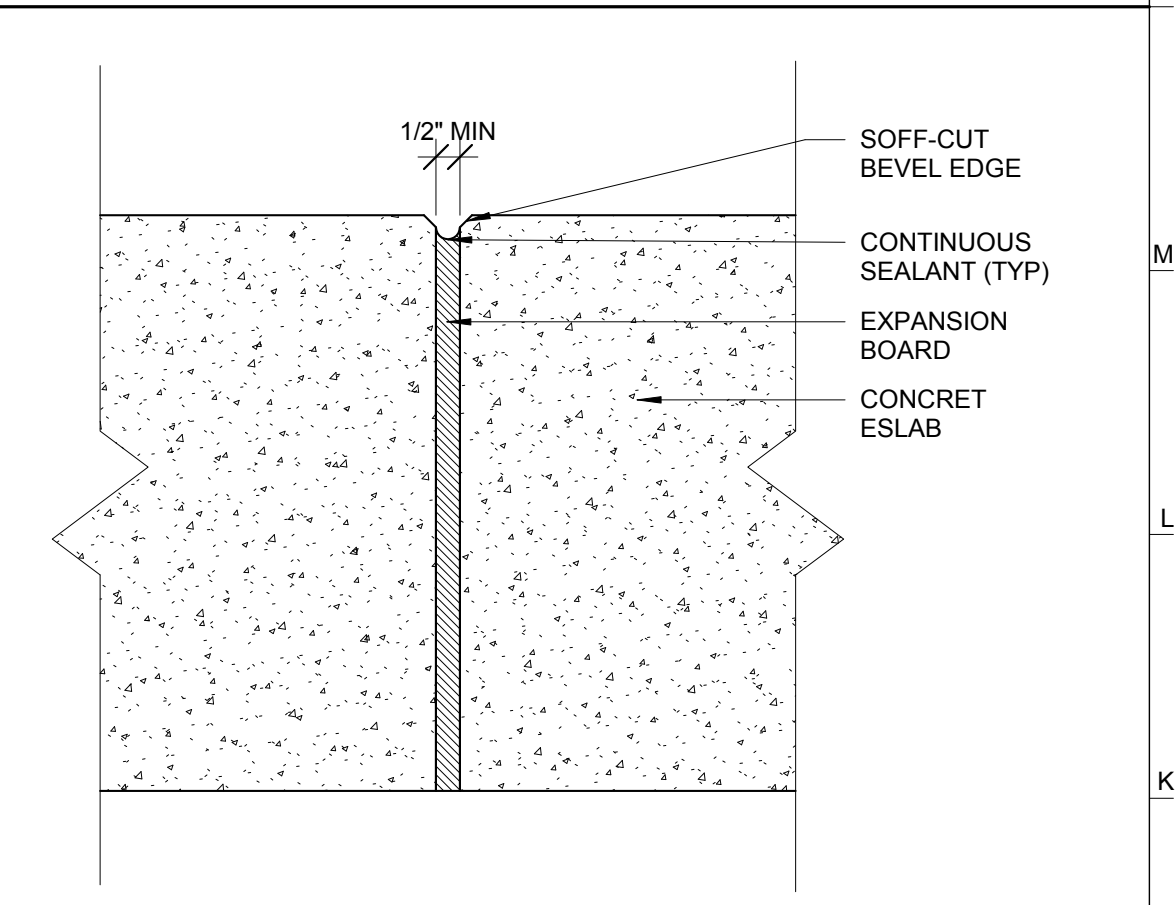
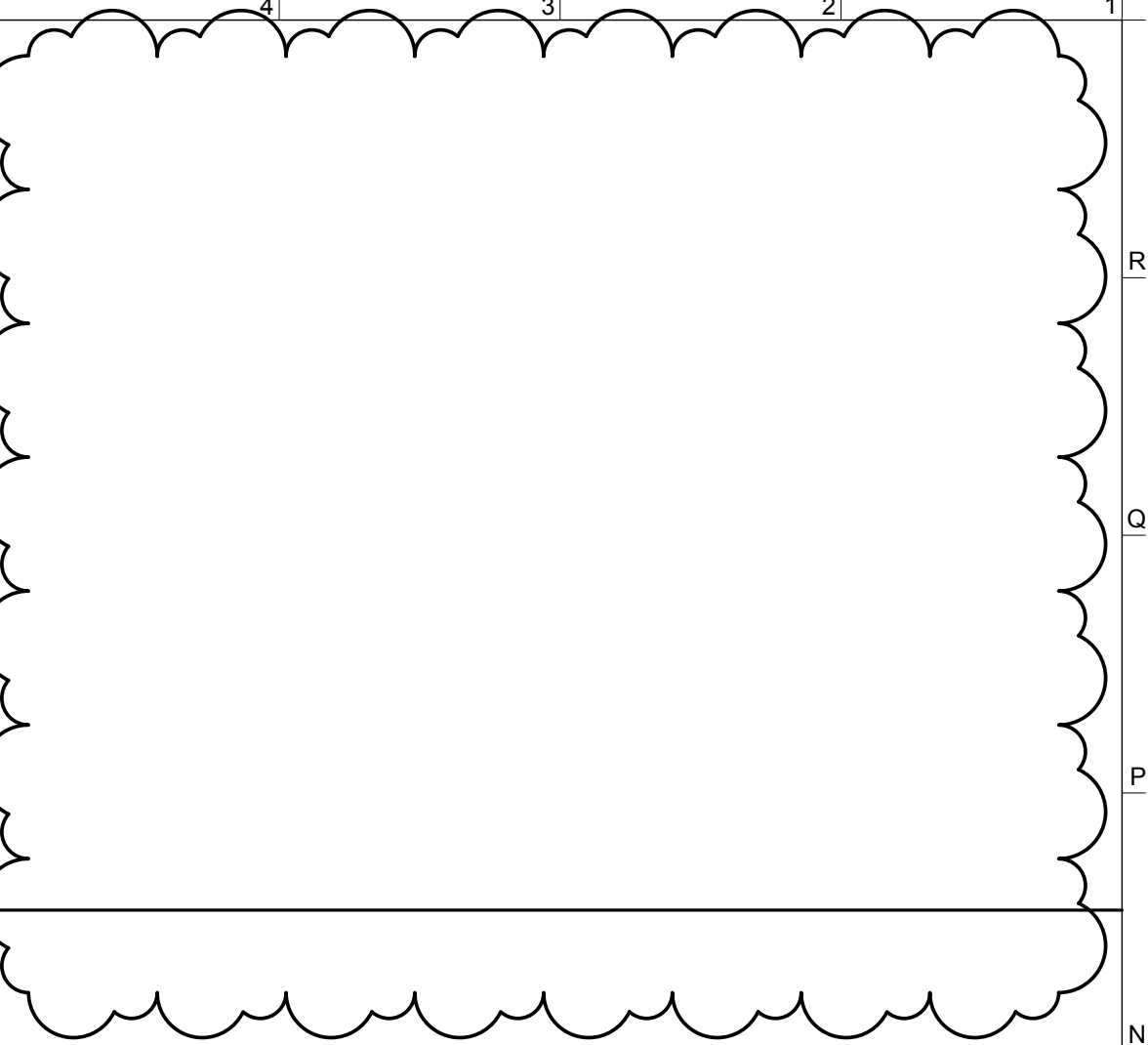
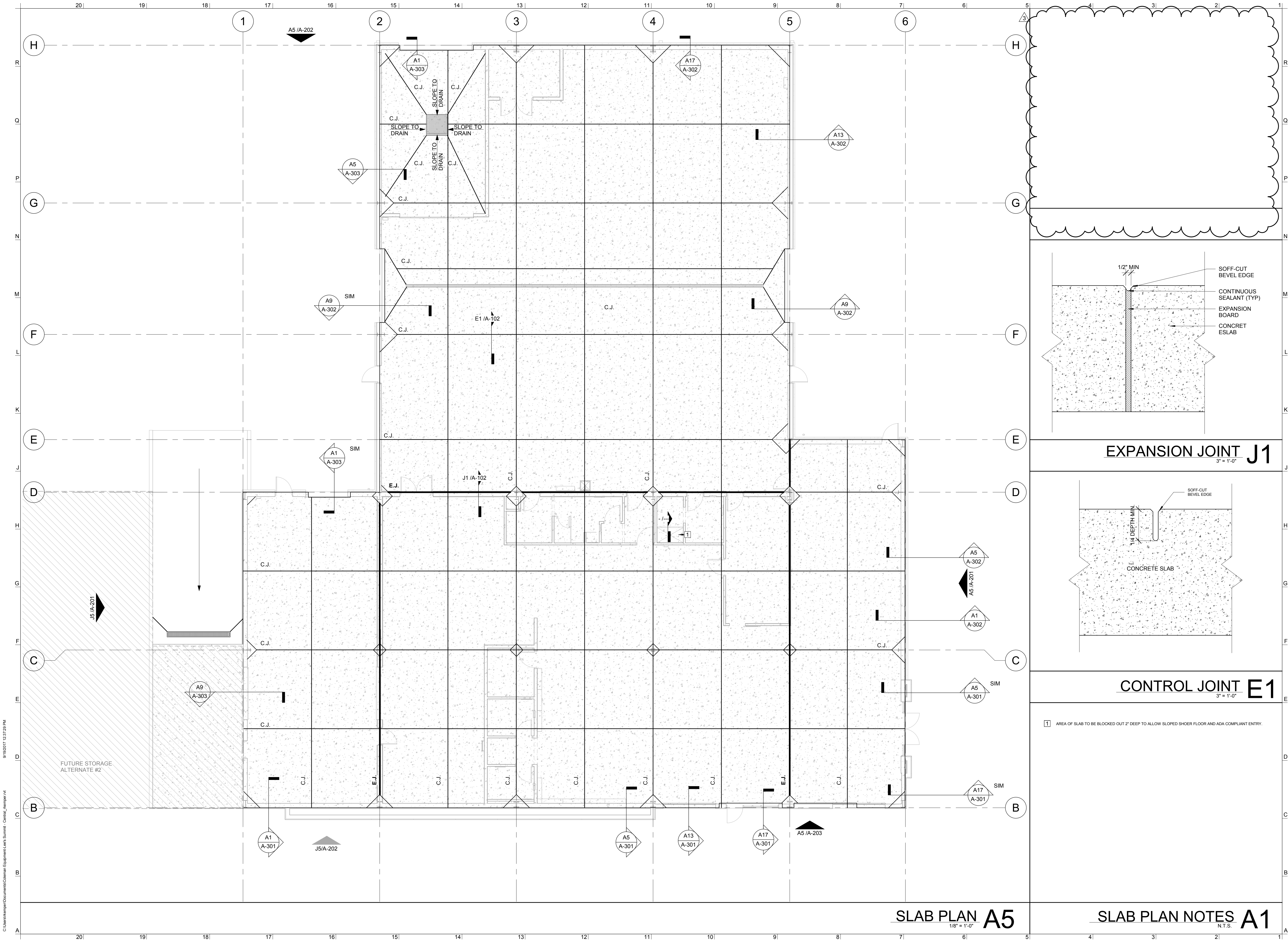
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3		08/28/2017

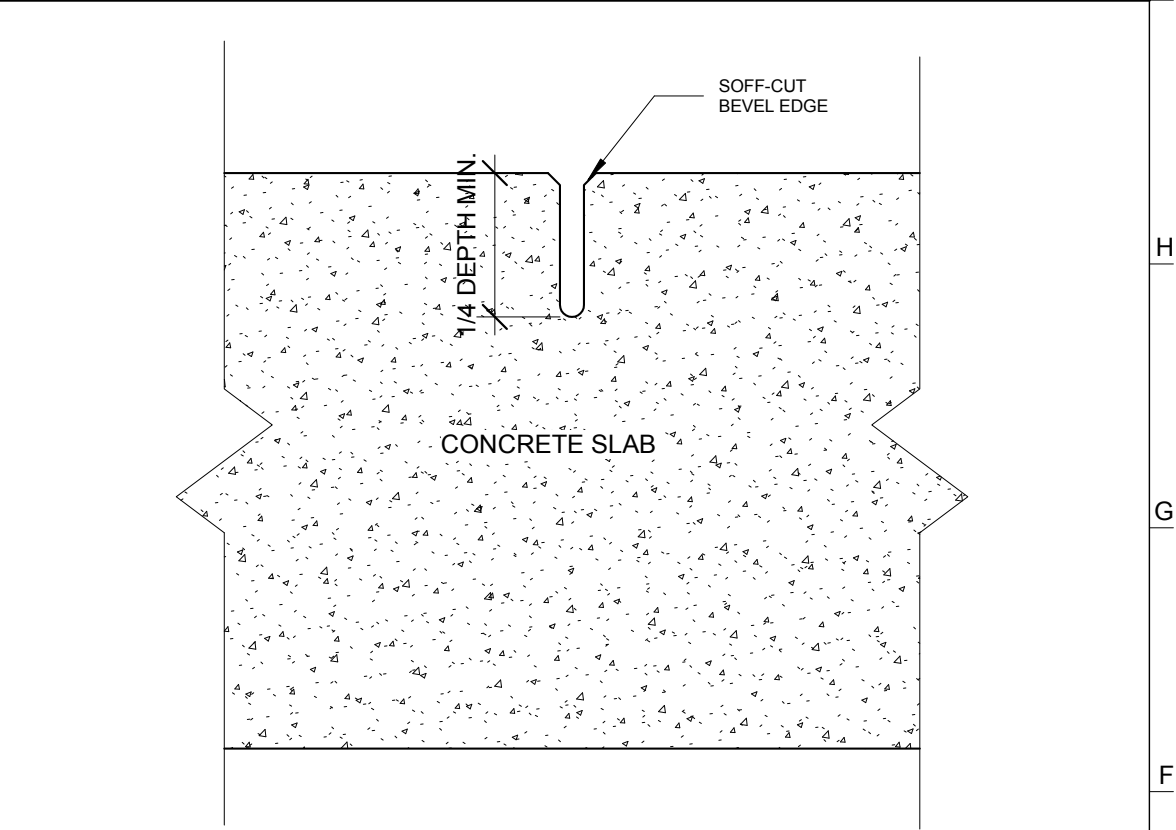
FIRST FLOOR PLAN PATIO

A-101A

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EXPANSION JOINT J1
3" = 1'-0"



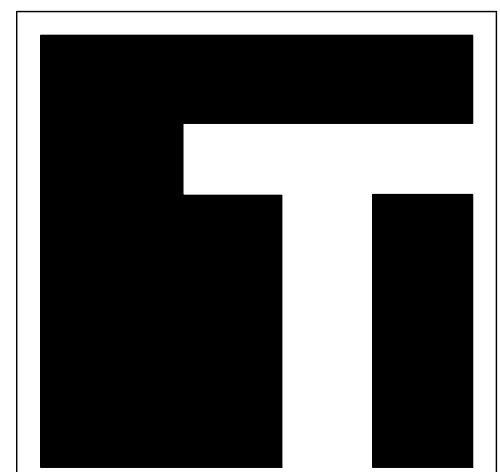
CONTROL JOINT E1
3" = 1'-0"

1 AREA OF SLAB TO BE BLOCKED OUT 2" DEEP TO ALLOW SLOPED SHOER FLOOR AND ADA COMPLIANT ENTRY.

SLAB PLAN

A-102

N.T.S.



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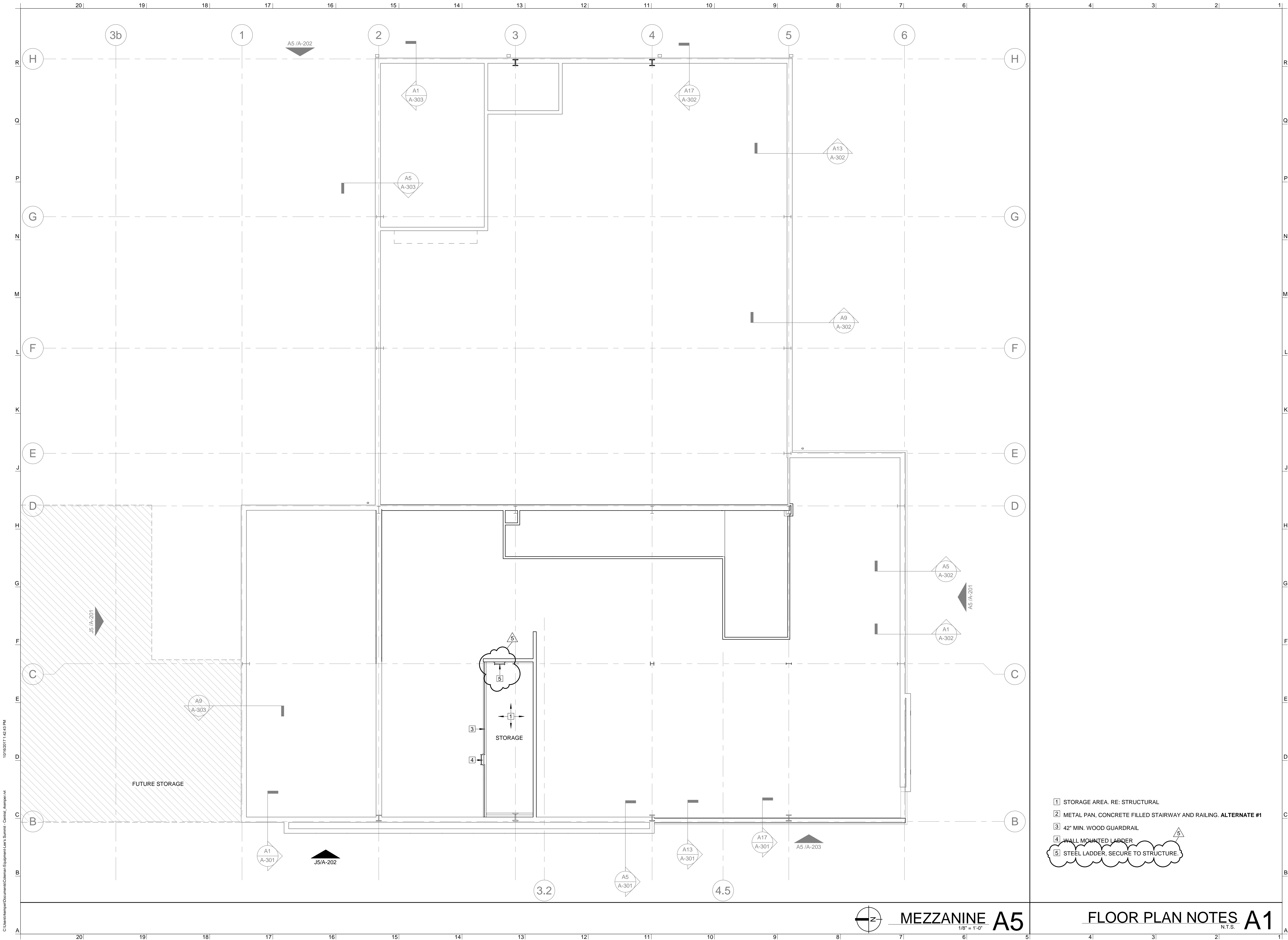
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SLAB PLAN

A-102

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- 1 STORAGE AREA. RE: STRUCTURAL
2 METAL PAN, CONCRETE FILLED STAIRWAY AND RAILING. ALTERNATE #1
3 42" MIN. WOOD GUARDRAIL
4 WALL MOUNTED LADDER
5 STEEL LADDER, SECURE TO STRUCTURE.

FLOOR PLAN NOTES A1



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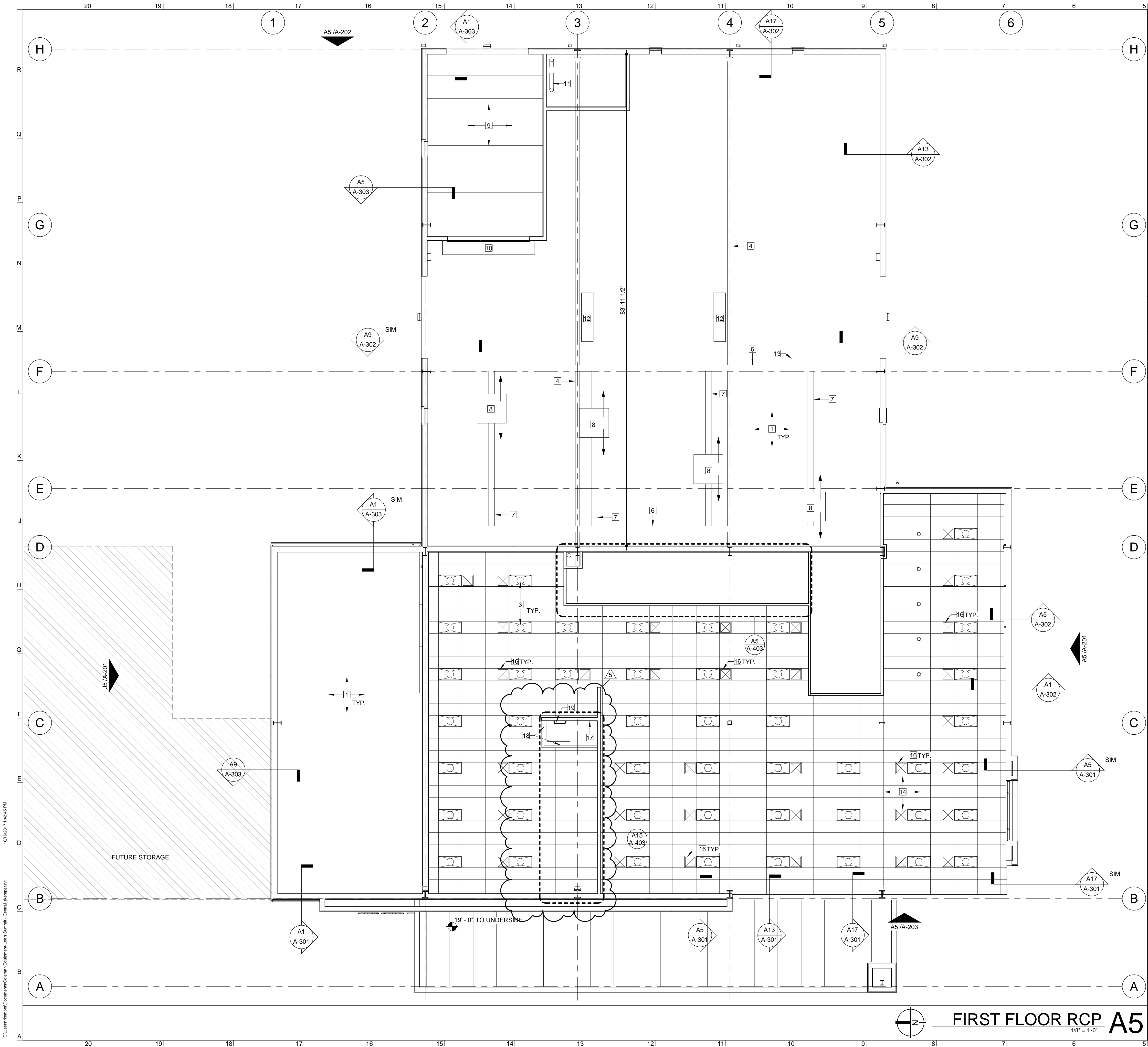
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CHECKED BY:	Checker

NO.	ISSUE/REVISION	DATE
3	VE / PERMIT SET	08/28/2017
5	CITY COMMENTS	10/16/2017

MEZZANINE

A-103

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1. CENTER ALL SPRINKLER HEADS IN CEILING TILE.
2. LOCATE ALL LIGHTING FIXTURES AS INDICATED ON REFLECTED CEILING PLAN. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. THE REFLECTED CEILING PLAN TAKE PRECEDENCE FOR LOCATION OF LIGHTING FIXTURES AND CEILING LAYOUT ONLY.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL OTHER CEILING ELEMENTS.

GENERAL NOTES M1

- 1 PEMB VINYL SCRIM.
- 2 OVERSIZED CEILING FAN. RE: MEP.
- 3 2x4 LED LIGHTS. RE: ELECTRICAL.
- 4 PEMB PRIMARY BEAMS. RE: PEMB DRAWINGS.
- 5 OVERHEAD DOOR AND TRACKS.
- 6 OVERHEAD CRANE RAILS.
- 7 OVERHEAD CRANE BEAM.
- 8 1-TON CRANES.
- 9 METAL PANEL CEILING
- 10 HIGH SPEED CLEAR POLY OVERHEAD COILING DOOR.
- 11 POWER WASHING MACHINE FLUE. RE: MEP
- 12 OVERHEAD USED OIL BURING FURNACES. RE: MECHANICAL.
- 13 OVERHEAD INFARED TUBE HEATERS. RE: MECHANICAL.
- 14 2x4 LAY-IN-CEILING AND GRID (RE: FINISH SCHEDULE)
- 15 NOT USED.
- 16 SUPPLY. RE: MECHANICAL.
- 17 EXTEND STUDS TO STRUCTURE. EXTEND GYP 6" ABOVE ACOUSTIC CEILING AND EXTEND GYP TO STRUCTURE AT LADDER.
- 18 CONT. BULKHEAD AT LADDER. 5/8" GYP ON 3 5/8" MTL STUDS FROM 20'-0" TO STRUCTURE ABOVE
- 19 STEEL LADDER & INSUL. HATCH TO ROOF.



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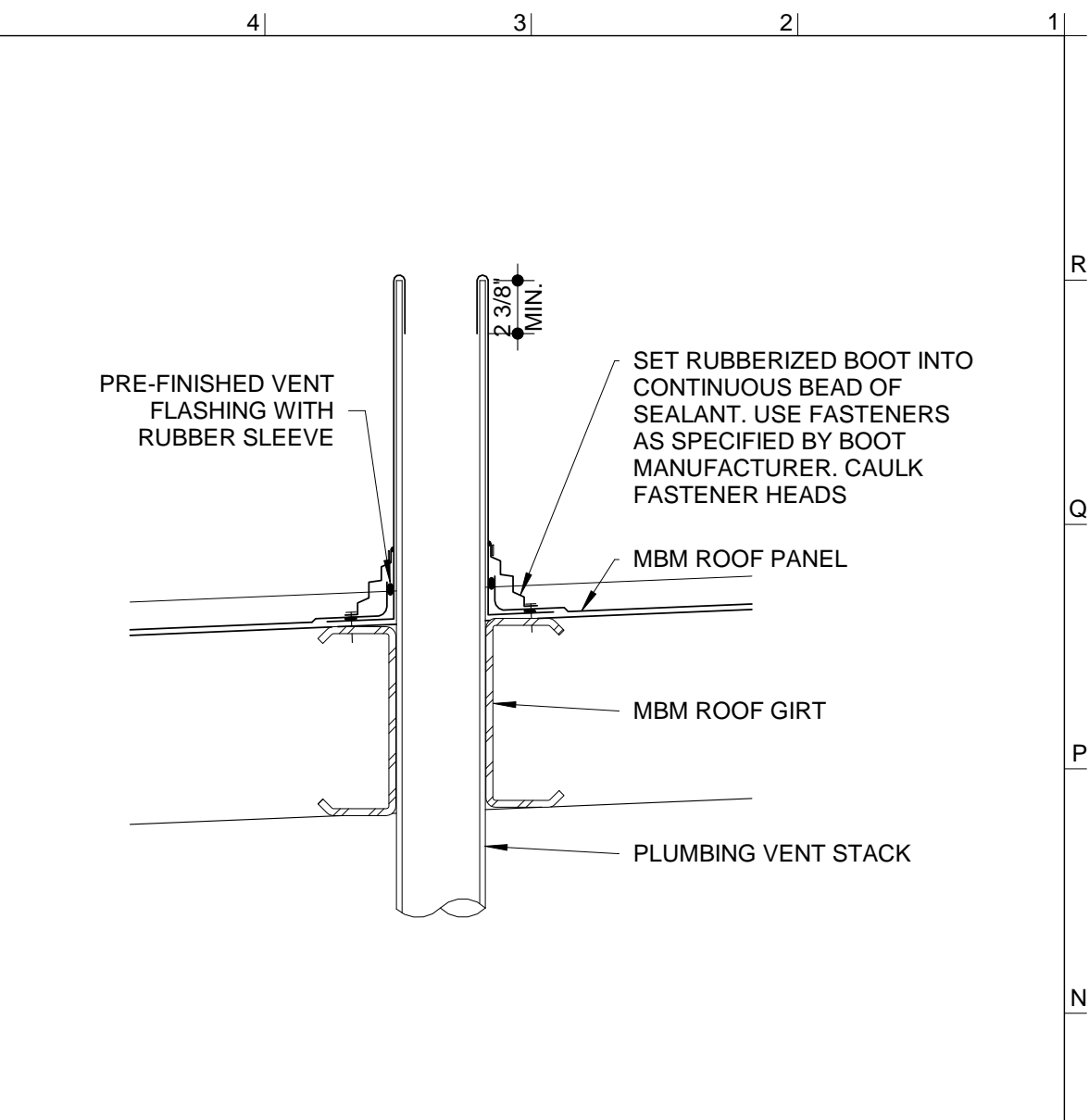
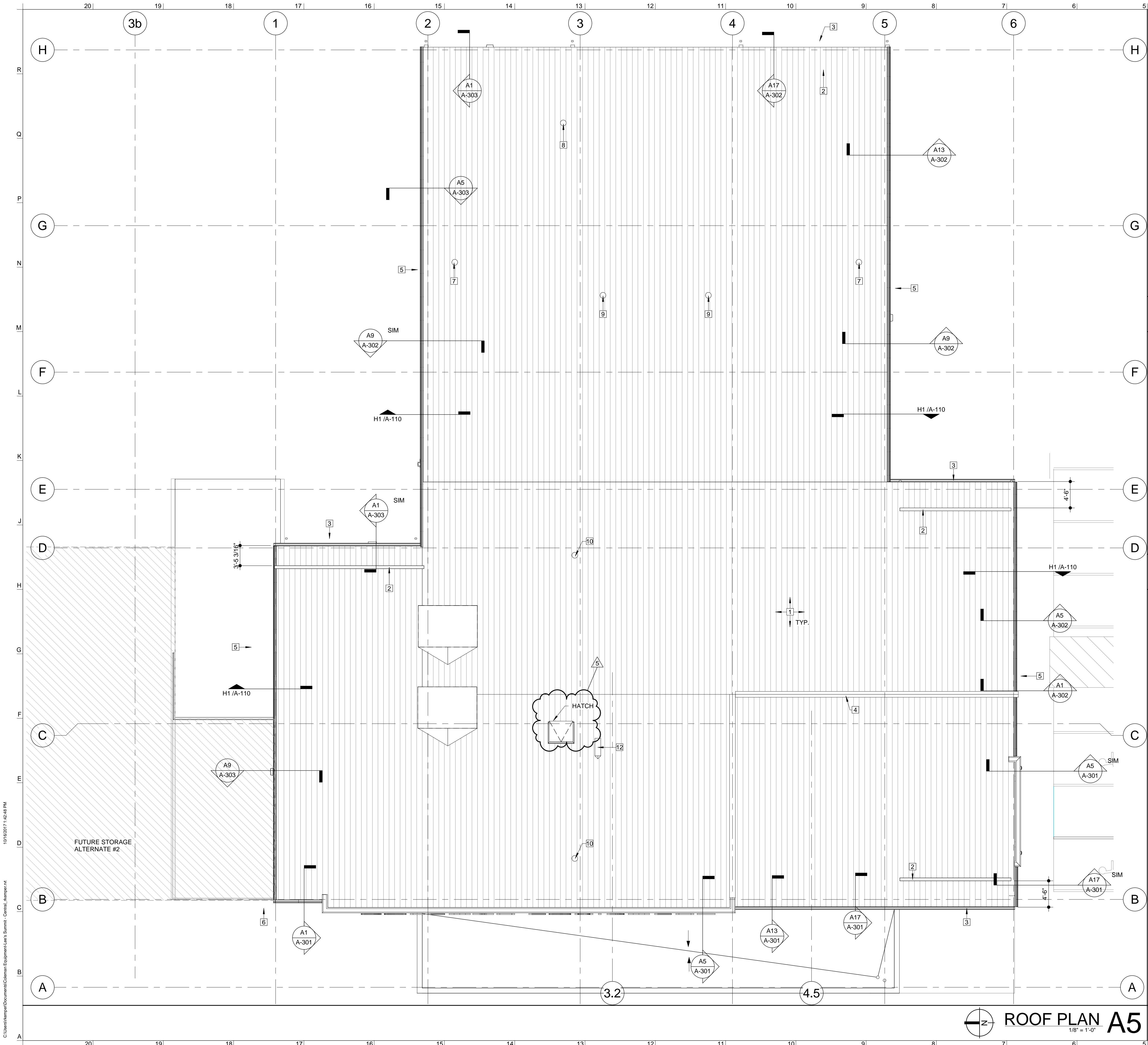
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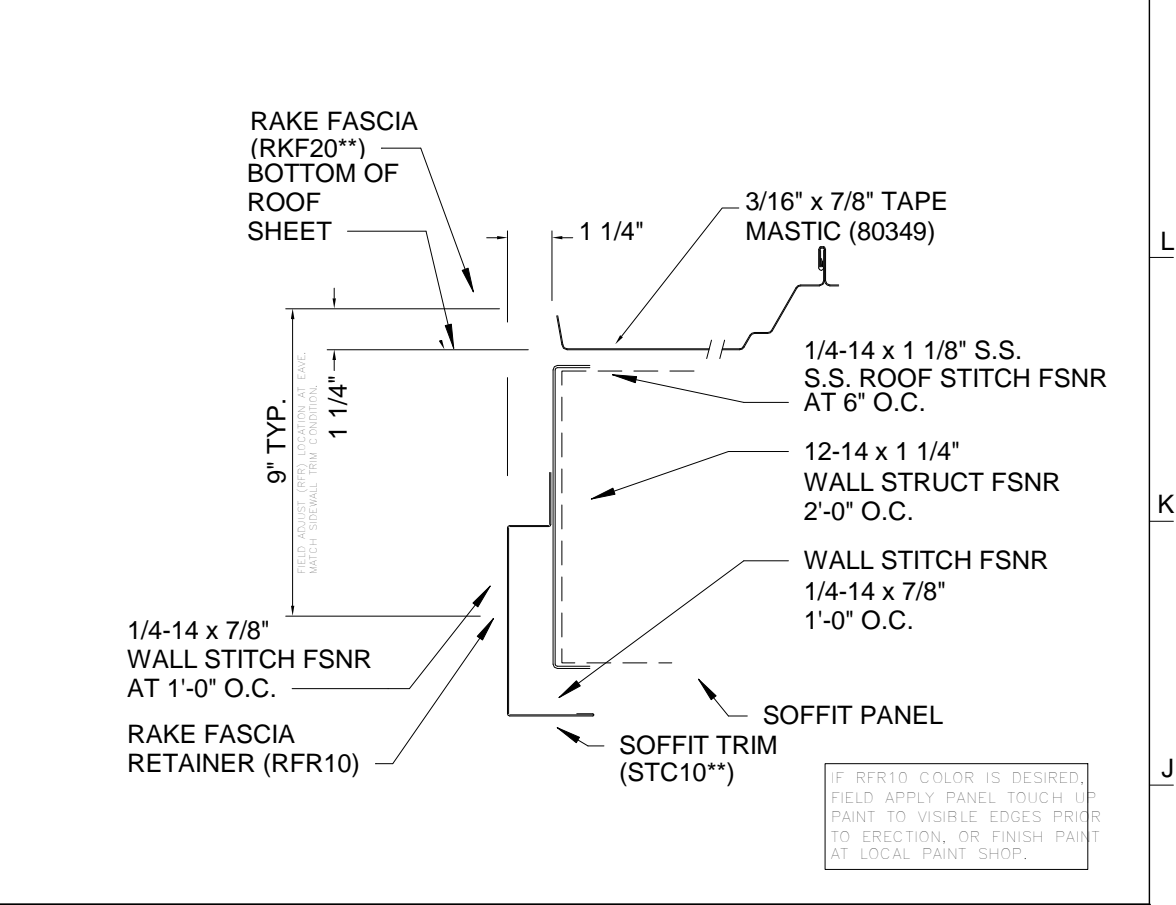
FIRST FLOOR REFLECTED CEILING PLAN

A-104

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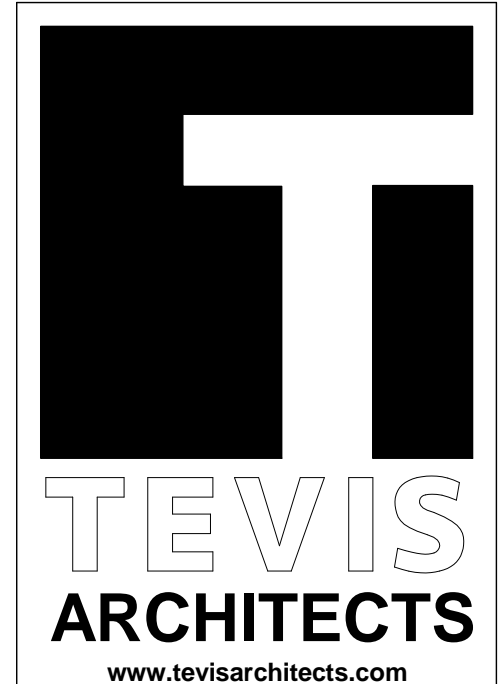


PLUMBING VENT DETAIL M1
1 1/2" = 1'-0"



PEMB RAKE TRIM DETAIL H1
6" = 1'-0"

- 1 PEMB ROOF PANEL
2 PRE-FINISHED SEAM MOUNTED SNOW GUARD
3 PEMB GUTTER
4 PEMB RIDGE CAP
5 PEMB RAKE TRIM
6 PEMB EAVE TRIM
7 RADIANT TUBE HEATER VENTS. RE: MEP
8 POWER WASHER VENT
9 USED OIL HEATER VENTS. RE: MECHANICAL
10 PLUMBING VENTS. RE: PLUMBING
11 CONDENSOR. RE: MECHANICAL
12 SPLIT SYSTEM RE: MECHANICAL
- ROOF PLAN A5
1/8" = 1'-0"
- ROOF PLAN NOTES A1
N.T.S.



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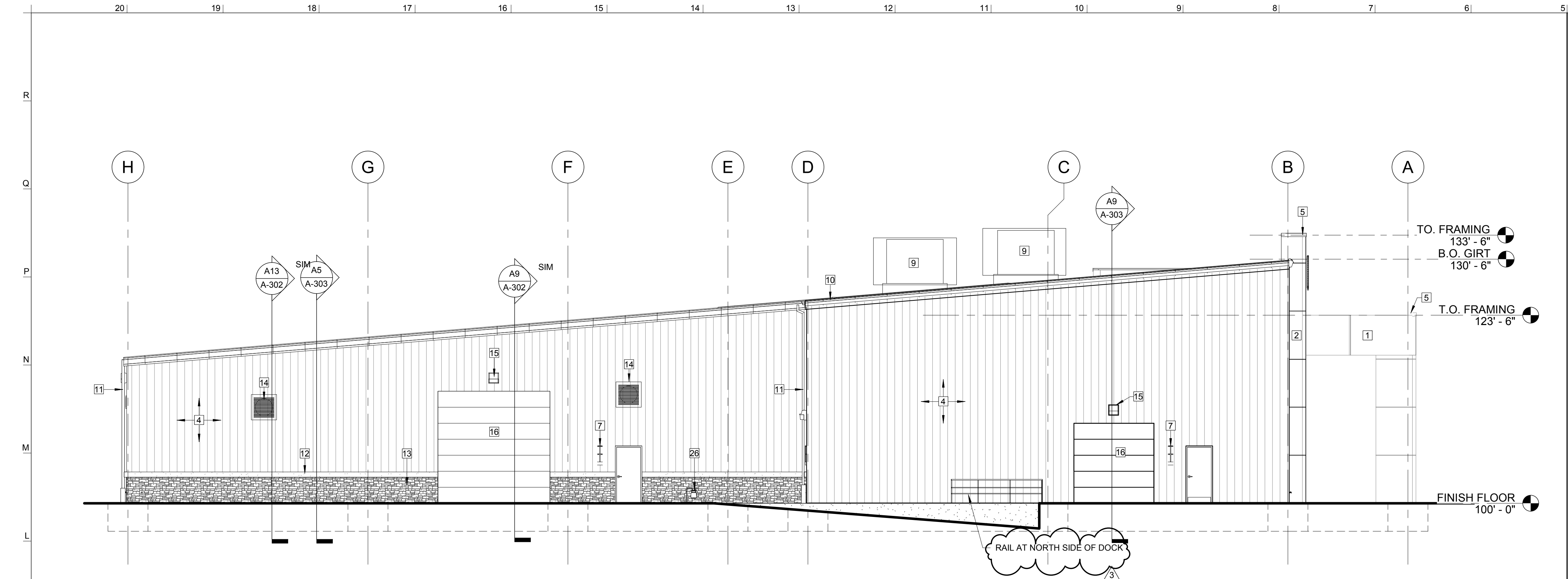
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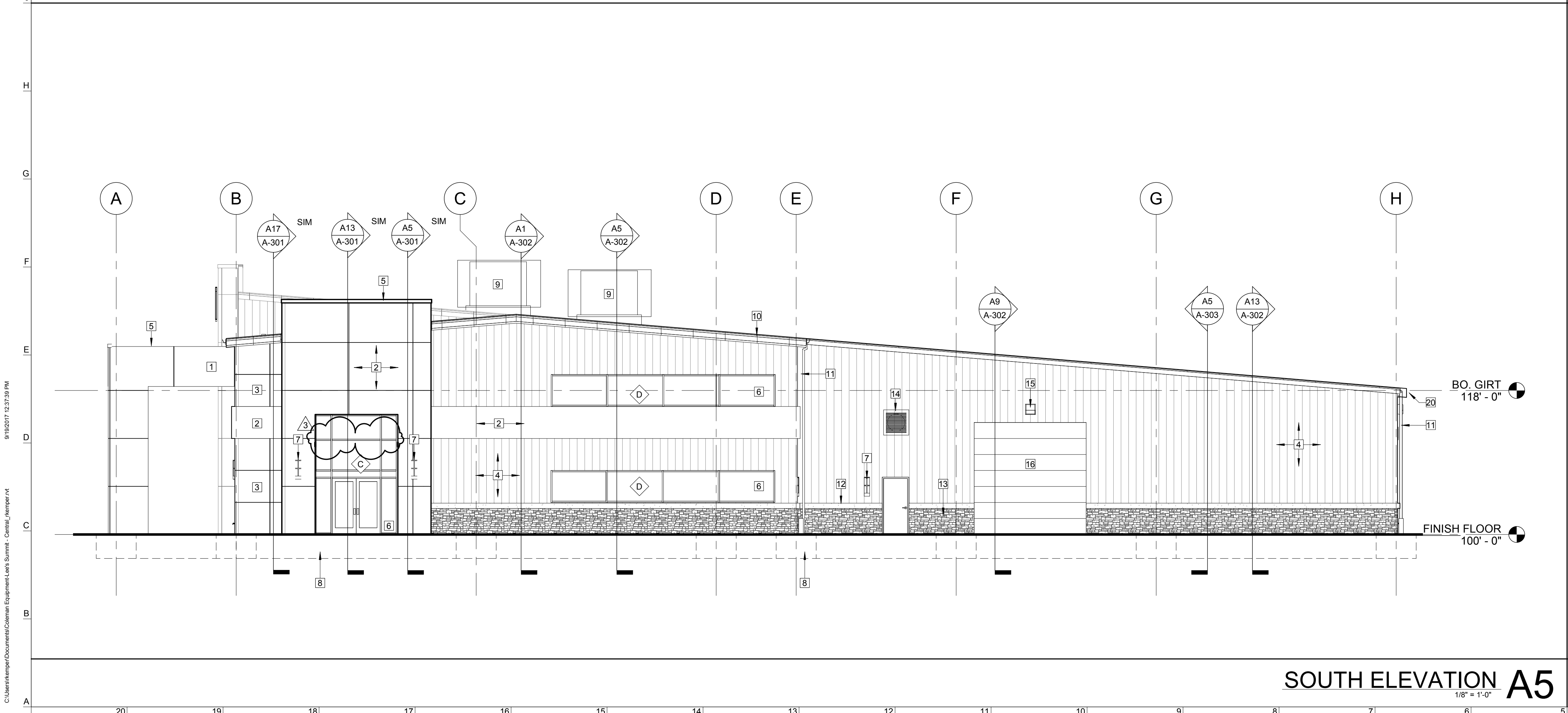
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ROOF PLAN
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NORTH ELEVATION J5
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE J1
N.T.S.



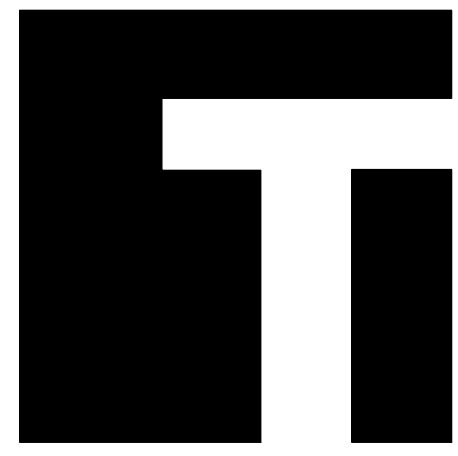
SOUTH ELEVATION A5
1/8" = 1'-0"

ELEVATION NOTES A1
N.T.S.

MP1	MANUFACTURER : KINGSPAN TYPE: SMOOTH PANEL COLOR : CASE ORANGE
MP2	MANUFACTURER : KINGSPAN FINISH : SMOOTH INSULATED PANEL COLOR : VALSPAR VOLCANIC ASH
MP3	MANUFACTURER : KINGSPAN FINISH : SMOOTH INSULATED PANEL COLOR : VALSPAR STORM
MP4	MANUFACTURER : KINGSPAN FINISH: MICRO RIB INSULATED PANEL COLOR/FINISH : VALSPAR GRAY SHIMMER
ST1	MANUFACTURER : CULTURED STONE PRODUCT: STONE VENEER WAINSCOT COLOR/FINISH : LIMESTONE BUCKS COUNTY
MECH VENT	COLOR : MATCH ADJACENT METAL PANEL
METAL FASCIA	COLOR : MATCH ADJACENT METAL PANEL
METAL GUTTER	COLOR : MATCH MP4 VALSPAR GRAY SHIMMER OR SIMILAR
METAL COPING	COLOR : MATCH ADJACENT METAL PANEL
RTU SCREEN	MANUFACTURER : ENVISOR TYPE: VERTICAL COLOR/FINISH : SHADOW GRAY

BASIS-OF-DESIGN

- 1 INSULATED PREFINISHED METAL PANEL. MP1
- 2 INSULATED PREFINISHED METAL PANEL. MP2
- 3 INSULATED PREFINISHED METAL PANEL. MP3
- 4 INSULATED PREFINISHED METAL PANEL. MP4
- 5 PRE-FINISHED METAL COPING.
- 6 PRE-FINISHED ALUMINUM STOREFRONT.
- 7 LIGHT SCONCES. RE: ELECTRICAL.
- 8 BUILDING FOOTING. RE: STRUCTURAL.
- 9 ROOF TOP MECHANICAL UNITS AND ENVISOR SCREEN. RE: MECHANICAL.
- 10 PEMB GABLE TRIM.
- 11 PRE-FINISHED DOWNSPOUT.
- 12 PRECAST STONE TRIM.
- 13 FAUX STONE WAINSCOTT. ST1.
- 14 PRE-FINISHED METAL RAINPROOF LOUVER. RE: MECHANICAL.
- 15 GENERAL EXTERIOR BUILDING LIGHT. RE: ELECTRICAL.
- 16 INSULATED, PREFINISHED OVERHEAD DOOR.
- 17 NOT USED
- 18 PRE-FINISHED SEAM MOUNTED SNOW GUARD
- 19 PEMB ROOF PANEL
- 20 PRE-FINISHED METAL GUTTER.
- 21 DOCK BUMPERS.
- 22 OVERFLOW LAMBS TONGUE.
- 23 CAST, PREFINISH, METAL LETTERS ON STAND OFFS.
- 24 LED WALL WASHING LIGHTS. RE: ELECTRICAL.
- 25 ALUMINUM GUARD RAIL WITH GATE.
- 26 GAS METER. RE: CIVIL & PLUMBING
- 27 NOT USED
- 28 NOT USED
- 29 GLASS OVERHEAD DOOR. RE: DOOR SCHEDULE.



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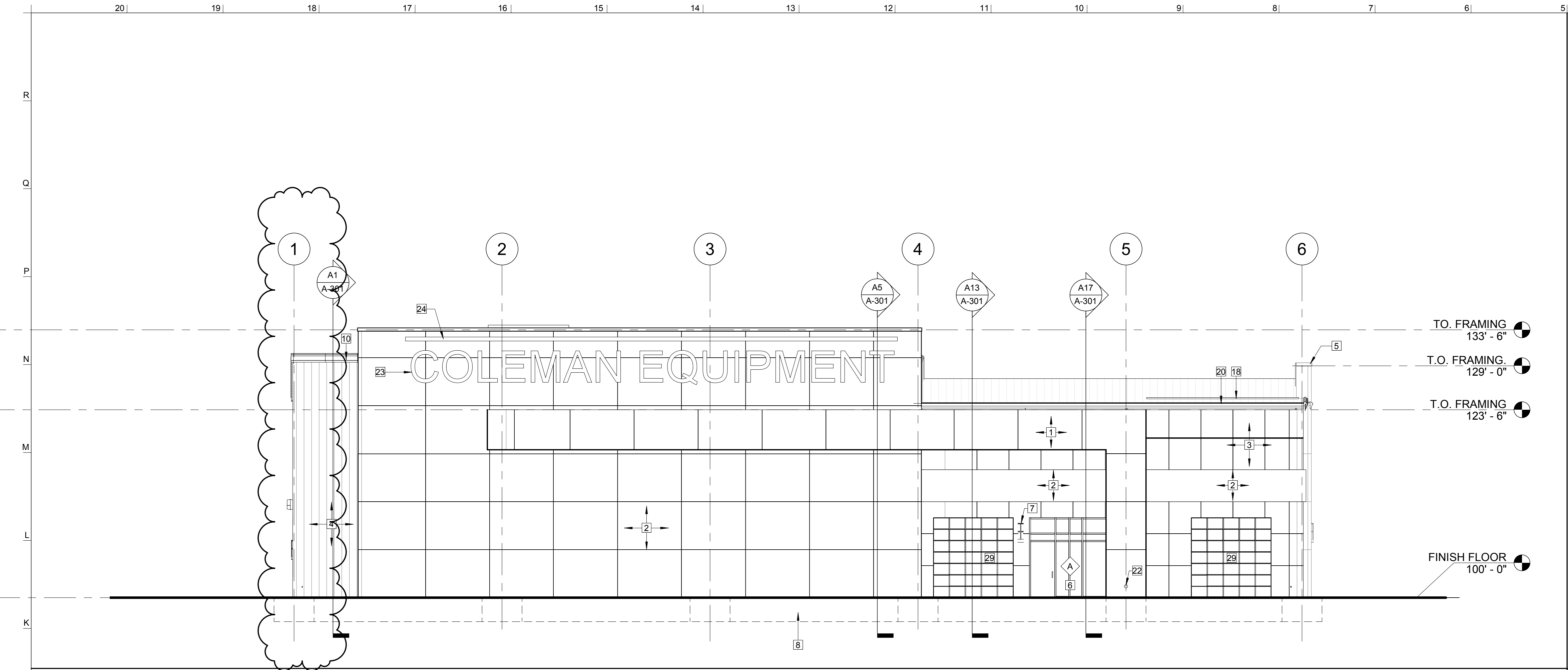
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EXTERIOR ELEVATIONS

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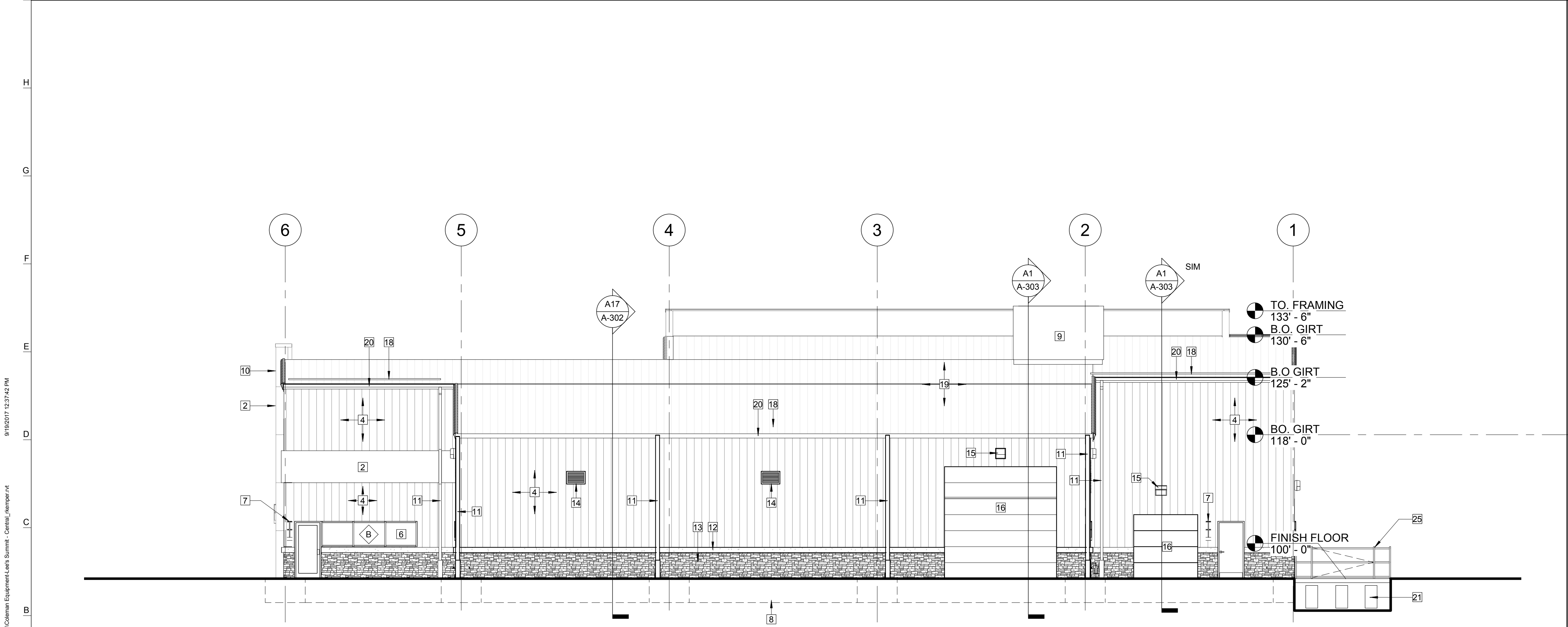


WEST ELEVATION J5
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE J1
N.T.S.

MP1	MANUFACTURER : KINGSPAN TYPE : SMOOTH PANEL COLOR : CASE ORANGE
MP2	MANUFACTURER : KINGSPAN FINISH : SMOOTH INSULATED PANEL COLOR : VALSPAR VOLCANIC ASH
MP3	MANUFACTURER : KINGSPAN FINISH : SMOOTH INSULATED PANEL COLOR : VALSPAR STORM
MP4	MANUFACTURER : KINGSPAN FINISH : MICRO RIB INSULATED PANEL COLOR/FINISH : VALSPAR GRAY SHIMMER
ST1	MANUFACTURER : CULTURED STONE PRODUCT: STONE VENEER WAINSCOT COLOR/FINISH : LIMESTONE BUCKS COUNTY
MECH VENT	COLOR : MATCH ADJACENT METAL PANEL
METAL FASCIA	COLOR : MATCH ADJACENT METAL PANEL
METAL GUTTER	COLOR : MATCH MP4 VALSPAR GRAY SHIMMER OR SIMILAR
METAL COPING	COLOR : MATCH ADJACENT METAL PANEL
RTU SCREEN	MANUFACTURER : ENVISOR TYPE : VERTICAL COLOR/FINISH : SHADOW GRAY

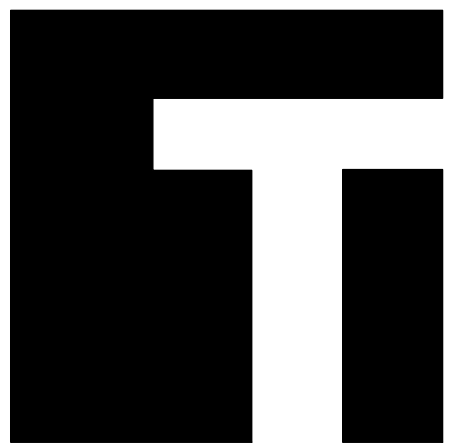
BASIS-OF-DESIGN



EAST ELEVATION A5
1/8" = 1'-0"

ELEVATION NOTES A1
N.T.S.

- 1 INSULATED PREFINISHED METAL PANEL. MP1
- 2 INSULATED PREFINISHED METAL PANEL. MP2
- 3 INSULATED PREFINISHED METAL PANEL. MP3
- 4 INSULATED PREFINISHED METAL PANEL. MP4
- 5 PRE-FINISHED METAL COPING.
- 6 PRE-FINISHED ALUMINUM STOREFRONT.
- 7 LIGHT SCONCES. RE: ELECTRICAL.
- 8 BUILDING FOOTING. RE: STRUCTURAL.
- 9 ROOF TOP MECHANICAL UNITS AND ENVISOR SCREEN. RE: MECHANICAL.
- 10 PEMB GABLE TRIM.
- 11 PRE-FINISHED DOWNSPOUT.
- 12 PRECAST STONE TRIM.
- 13 FAUX STONE WAINSCOTT. ST1.
- 14 PRE-FINISHED METAL RAINPROOF LOUVER. RE: MECHANICAL.
- 15 GENERAL EXTERIOR BUILDING LIGHT. RE: ELECTRICAL.
- 16 INSULATED, PREFINISHED OVERHEAD DOOR.
- 17 NOT USED
- 18 PRE-FINISHED SEAM MOUNTED SNOW GUARD
- 19 PEMB ROOF PANEL
- 20 PRE-FINISHED METAL GUTTER.
- 21 DOCK BUMPERS.
- 22 OVERFLOW LAMBS TONGUE.
- 23 CAST, PREFINISH, METAL LETTERS ON STAND OFFS.
- 24 LED WALL WASHING LIGHTS. RE: ELECTRICAL.
- 25 ALUMINUM GUARD RAIL WITH GATE.
- 26 GAS METER. RE: CIVIL & PLUMBING
- 27 NOT USED
- 28 NOT USED
- 29 GLASS OVERHEAD DOOR. RE: DOOR SCHEDULE.



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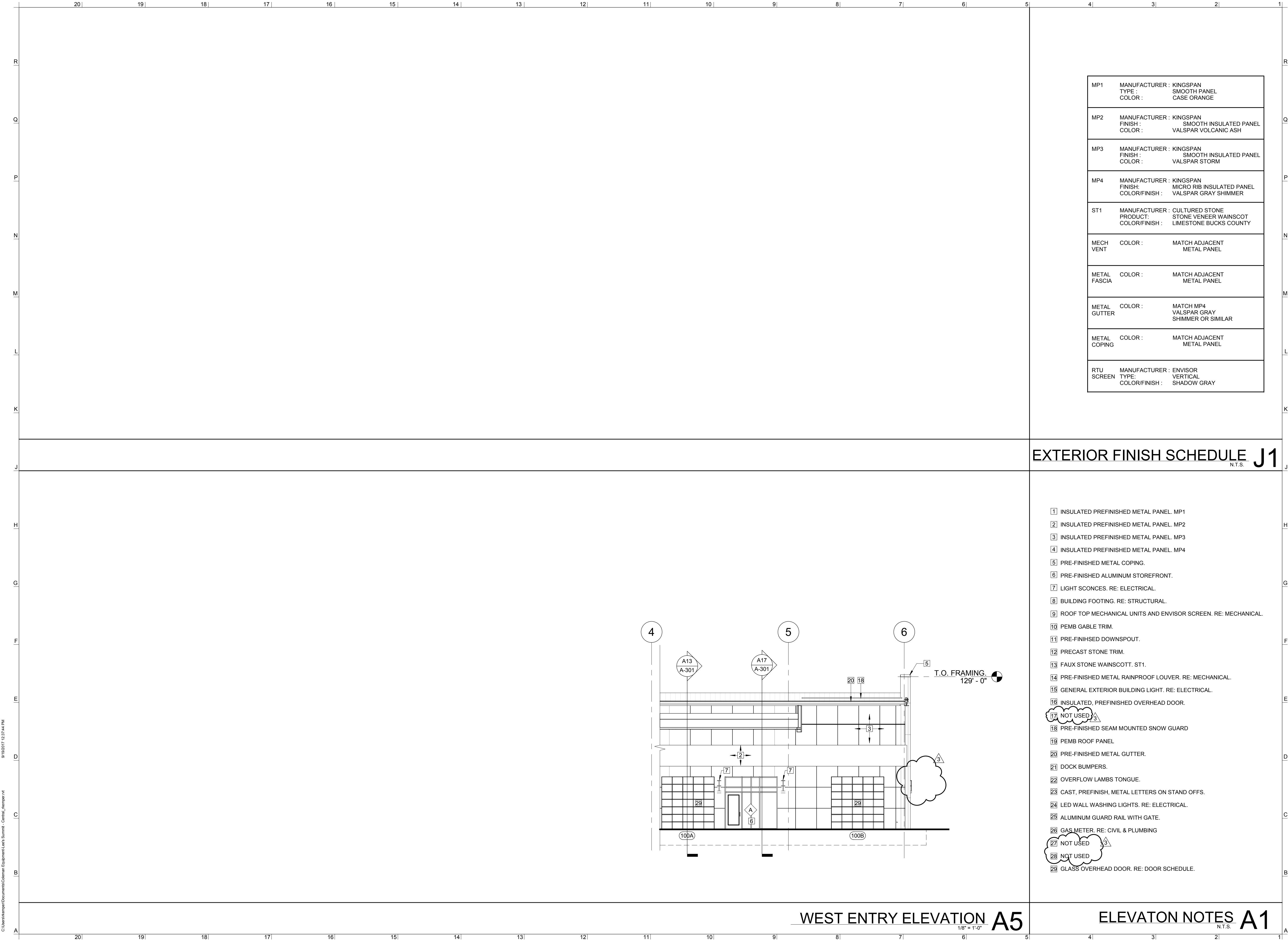
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EXTERIOR ELEVATIONS

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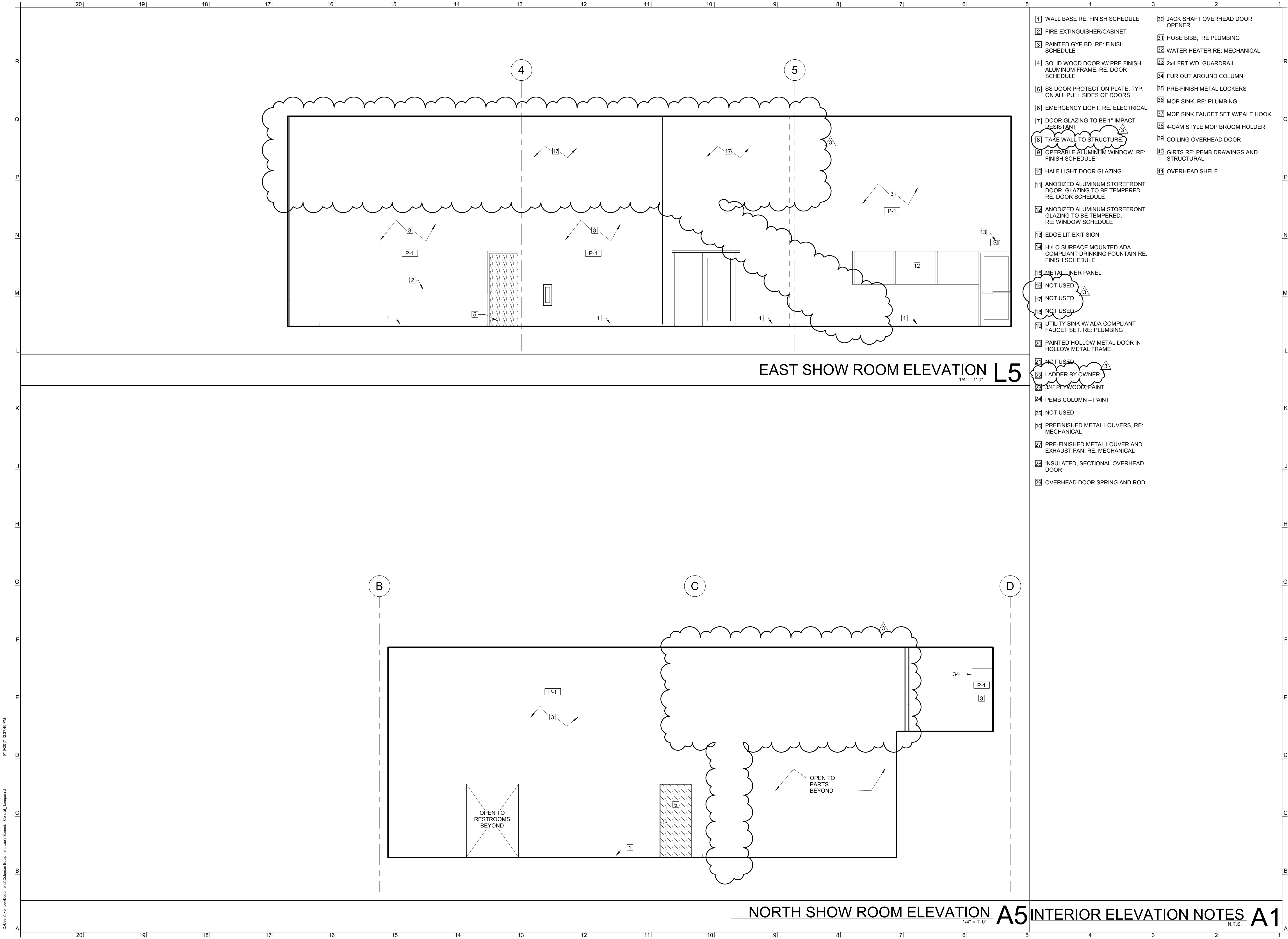
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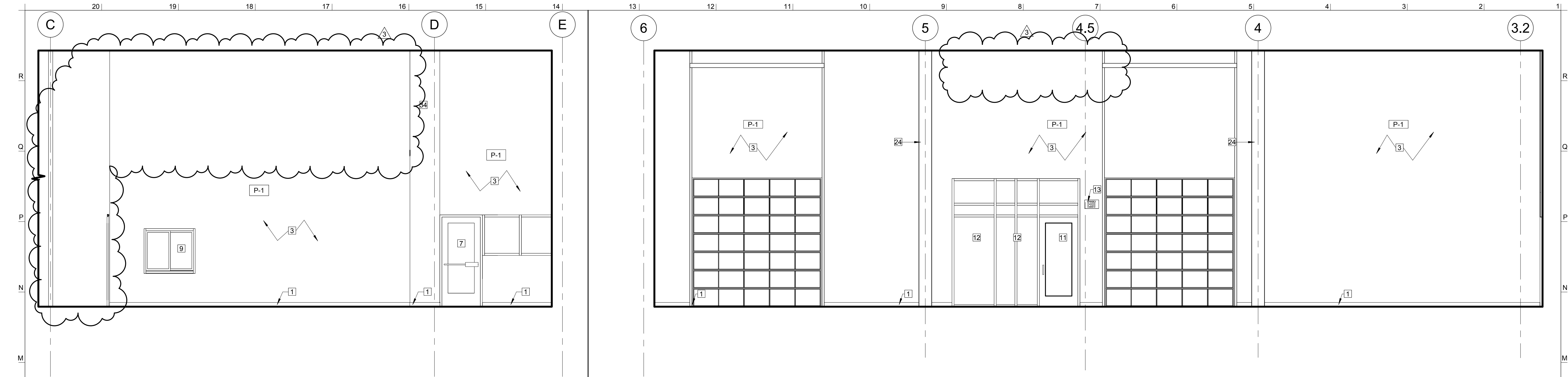
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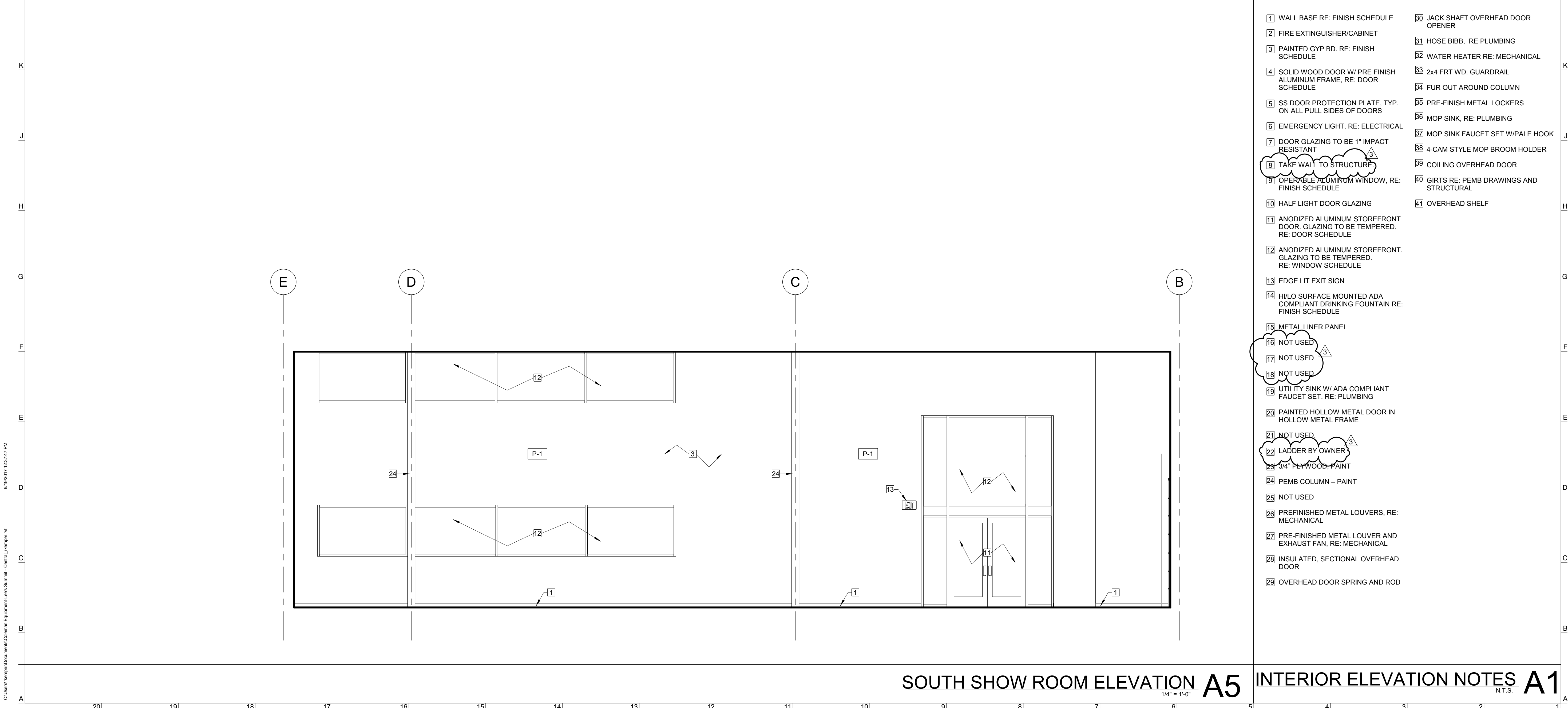
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NORTH RENTAL / SERVICE ELEVATION L14
1/4" = 1'-0"

WEST SHOW ROOM ELEVATION L5
1/4" = 1'-0"



SOUTH SHOW ROOM ELEVATION A5
1/4" = 1'-0"

INTERIOR ELEVATION NOTES A1
N.T.S.

- 1 WALL BASE RE: FINISH SCHEDULE
- 2 FIRE EXTINGUISHER/CABINET
- 3 PAINTED GYP BD. RE: FINISH SCHEDULE
- 4 SOLID WOOD DOOR W/ PRE FINISH ALUMINUM FRAME, RE: DOOR SCHEDULE
- 5 SS DOOR PROTECTION PLATE, TYP. ON ALL PULL SIDES OF DOORS
- 6 EMERGENCY LIGHT, RE: ELECTRICAL
- 7 DOOR GLAZING TO BE 1" IMPACT RESISTANT
- 8 TAKE WALL TO STRUCTURE
- 9 OPERABLE ALUMINUM WINDOW, RE: FINISH SCHEDULE
- 10 HALF LIGHT DOOR GLAZING
- 11 ANODIZED ALUMINUM STOREFRONT DOOR, GLAZING TO BE TEMPERED, RE: DOOR SCHEDULE
- 12 ANODIZED ALUMINUM STOREFRONT, GLAZING TO BE TEMPERED, RE: WINDOW SCHEDULE
- 13 EDGE LIT EXIT SIGN
- 14 HI/LO SURFACE MOUNTED ADA COMPLIANT DRINKING FOUNTAIN RE: FINISH SCHEDULE
- 15 METAL LINER PANEL
- 16 NOT USED
- 17 NOT USED
- 18 NOT USED
- 19 UTILITY SINK W/ ADA COMPLIANT FAUCET SET, RE: PLUMBING
- 20 PAINTED HOLLOW METAL DOOR IN HOLLOW METAL FRAME
- 21 NOT USED
- 22 LADDER BY OWNER
- 23 3/4" PLYWOOD, PAINT
- 24 PEMB COLUMN - PAINT
- 25 NOT USED
- 26 PREFINISHED METAL LOUVERS, RE: MECHANICAL
- 27 PRE-FINISHED METAL LOUVER AND EXHAUST FAN, RE: MECHANICAL
- 28 INSULATED, SECTIONAL OVERHEAD DOOR
- 29 OVERHEAD DOOR SPRING AND ROD
- 30 JACK SHAFT OVERHEAD DOOR OPENER
- 31 HOSE BIBB, RE PLUMBING
- 32 WATER HEATER RE: MECHANICAL
- 33 2x4 FRT WD. GUARDRAIL
- 34 FUR OUT AROUND COLUMN
- 35 PRE-FINISH METAL LOCKERS
- 36 MOP SINK, RE: PLUMBING
- 37 MOP SINK FAUCET SET W/PALE HOOK
- 38 4-CAM STYLE MOP BROOM HOLDER
- 39 COILING OVERHEAD DOOR
- 40 GIRTS RE: PEMB DRAWINGS AND STRUCTURAL
- 41 OVERHEAD SHELF

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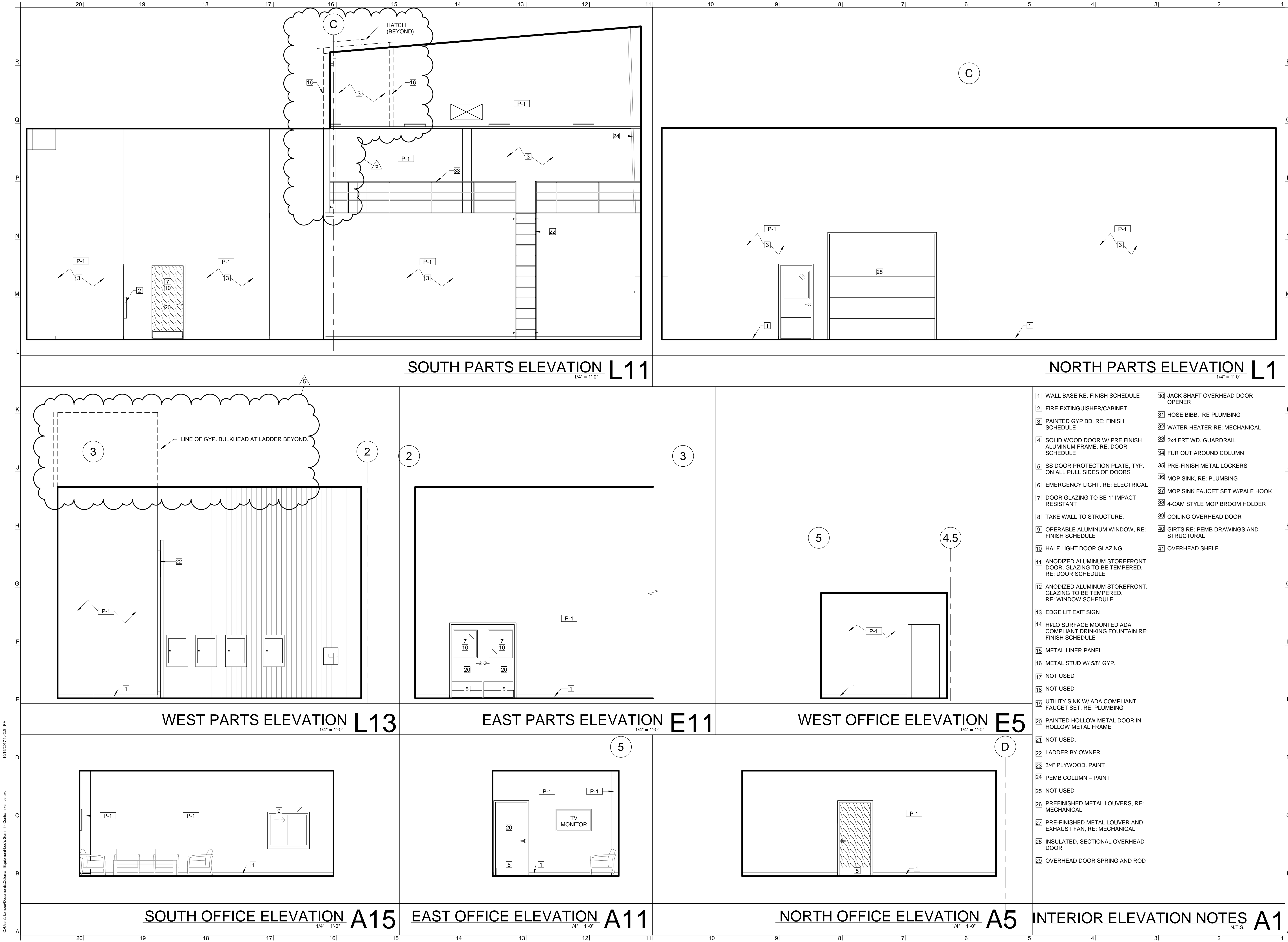
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INTERIOR ELEVATIONS

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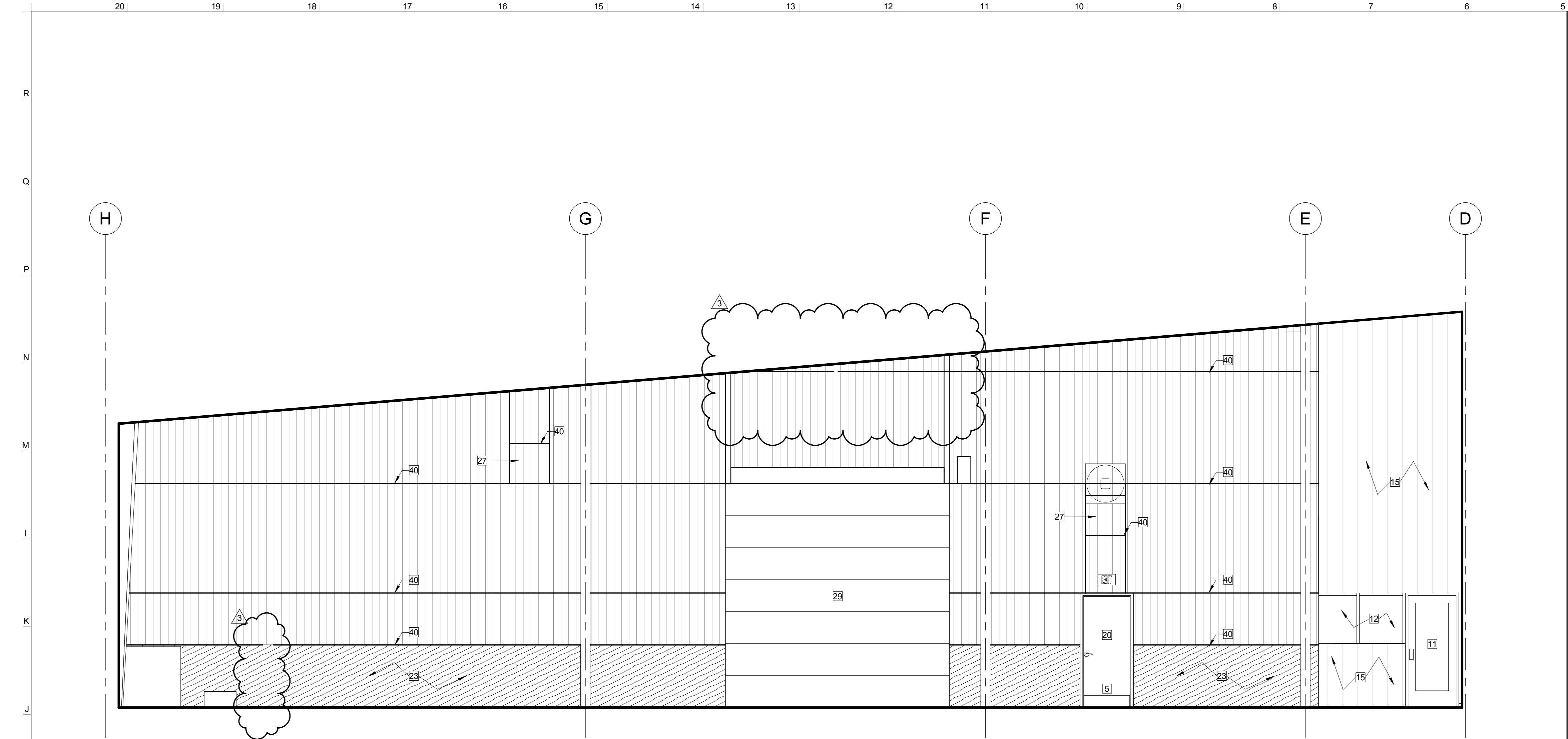
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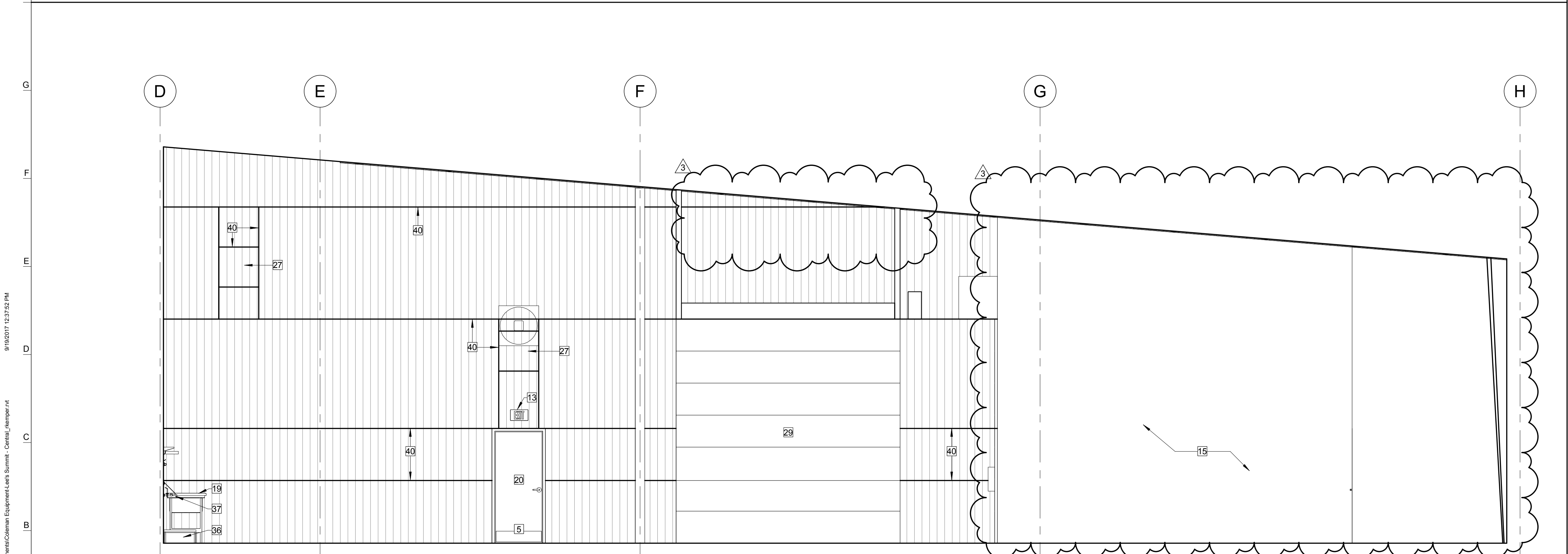
INTERIOR ELEVATIONS

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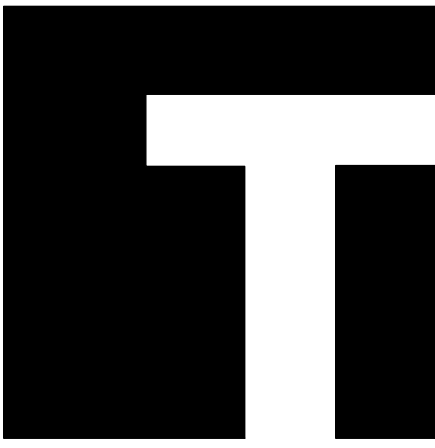
SOUTH SHOP ELEVATION **H5**
1/4" = 1'-0"



NORTH SHOP ELEVATION **A5**
1/4" = 1'-0"

- 1 WALL BASE RE: FINISH SCHEDULE
- 2 FIRE EXTINGUISHER/CABINET
- 3 PAINTED GYP BD. RE: FINISH SCHEDULE
- 4 SOLID WOOD DOOR W/ PRE FINISH ALUMINUM FRAME, RE: DOOR SCHEDULE
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- 20 PAINTED HOLLOW METAL DOOR IN HOLLOW METAL FRAME
- 21 NOT USED.
- 22 LADDER BY OWNER
- 23 3/4" PLYWOOD, PAINT
- 24 PEMB COLUMN - PAINT
- 25 NOT USED
- 26 PREFINISHED METAL LOUVERS, RE: MECHANICAL
- 27 PRE-FINISHED METAL LOUVER AND EXHAUST FAN, RE: MECHANICAL
- 28 INSULATED, SECTIONAL OVERHEAD DOOR
- 29 OVERHEAD DOOR SPRING AND ROD
- 30 JACK SHAFT OVERHEAD DOOR OPENER
- 31 HOSE BIBB, RE PLUMBING
- 32 WATER HEATER RE: MECHANICAL
- 33 2x4 FRT WD. GUARDRAIL
- 34 FUR OUT AROUND COLUMN
- 35 PRE-FINISH METAL LOCKERS
- 36 MOP SINK, RE: PLUMBING
- 37 MOP SINK FAUCET SET W/PALE HOOK
- 38 4-CAM STYLE MOP BROOM HOLDER
- 39 COILING OVERHEAD DOOR
- 40 GIRTS RE: PEMB DRAWINGS AND STRUCTURAL
- 41 OVERHEAD SHELF

INTERIOR ELEVATION NOTES **A1**
N.T.S.



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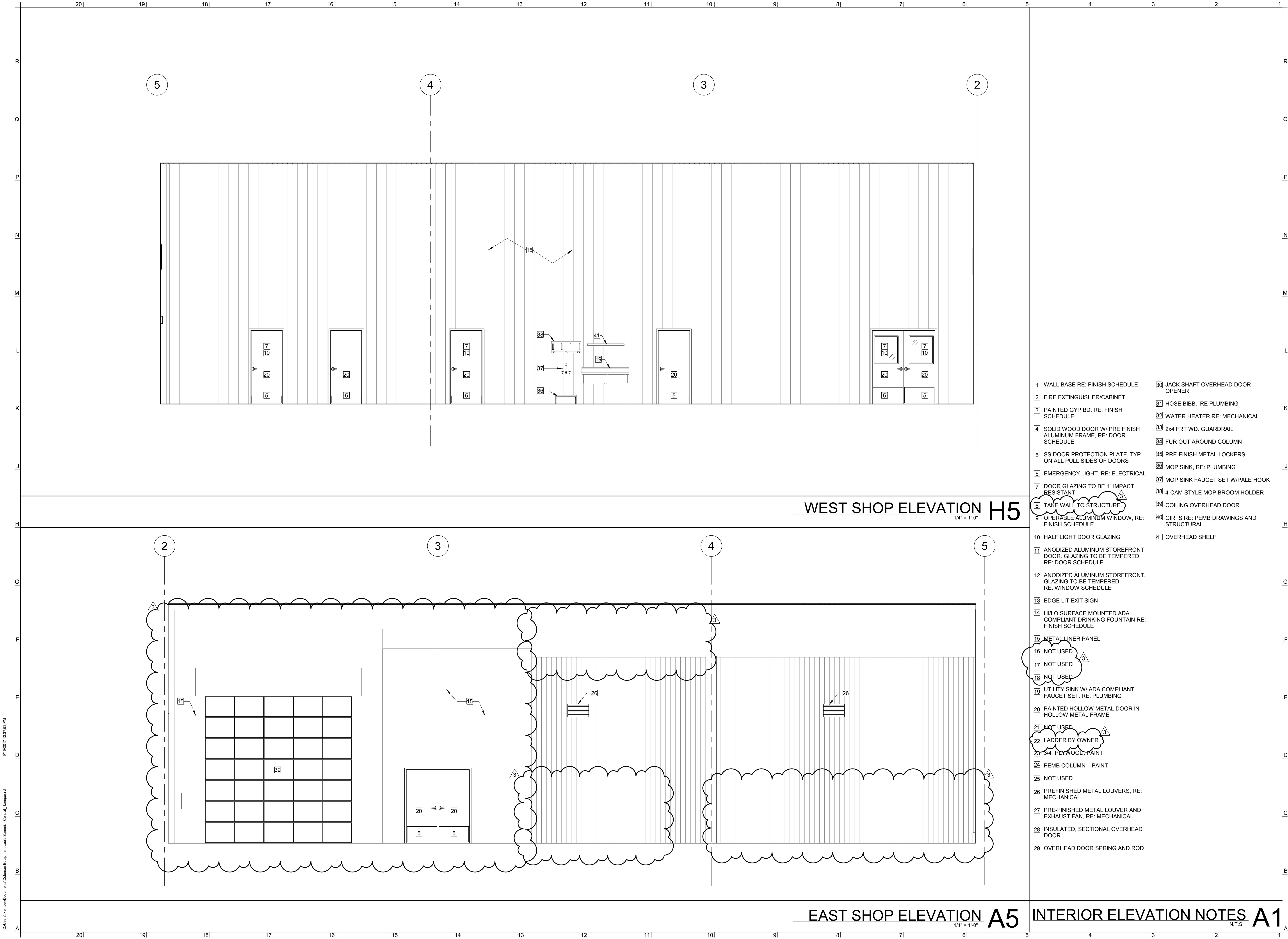
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INTERIOR ELEVATIONS

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- 1

WALL BASE RE: FINISH SCHEDULE
- 2

FIRE EXTINGUISHER/CABINET
- 3

PAINTED GYP BD. RE: FINISH SCHEDULE
- 4

SOLID WOOD DOOR W/ PRE-FINISH ALUMINUM FRAME, RE: DOOR SCHEDULE
- 5

SS DOOR PROTECTION PLATE, TYP. ON ALL PULL SIDES OF DOORS
- 6

EMERGENCY LIGHT. RE: ELECTRICAL
- 7

DOOR GLAZING TO BE 1" IMPACT RESISTANT
- 8

TAKE WALL TO STRUCTURE
- 9

OPERABLE ALUMINUM WINDOW, RE: FINISH SCHEDULE
- 10

HALF LIGHT DOOR GLAZING
- 11

ANODIZED ALUMINUM STOREFRONT DOOR. GLAZING TO BE TEMPERED. RE: DOOR SCHEDULE
- 12

ANODIZED ALUMINUM STOREFRONT. GLAZING TO BE TEMPERED. RE: WINDOW SCHEDULE
- 13

EDGE LIT EXIT SIGN
- 14

HI/LO SURFACE MOUNTED ADA COMPLIANT DRINKING FOUNTAIN RE: FINISH SCHEDULE
- 15

METAL LINER PANEL
- 16

NOT USED
- 17

NOT USED
- 18

NOT USED
- 19

UTILITY SINK W/ ADA COMPLIANT FAUCET SET. RE: PLUMBING
- 20

PAINTED HOLLOW METAL DOOR IN HOLLOW METAL FRAME
- 21

NOT USED
- 22

LADDER BY OWNER
- 23

3/4" PLYWOOD, PAINT
- 24

PEMB COLUMN - PAINT
- 25

NOT USED
- 26

PREFINISHED METAL LOUVERS, RE: MECHANICAL
- 27

PRE-FINISHED METAL LOUVER AND EXHAUST FAN, RE: MECHANICAL
- 28

INSULATED, SECTIONAL OVERHEAD DOOR
- 29

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- 33

2x4 FRT WD. GUARDRAIL
- 34

FUR OUT AROUND COLUMN
- 35

PRE-FINISH METAL LOCKERS
- 36

MOP SINK, RE: PLUMBING
- 37

MOP SINK FAUCET SET W/PALE HOOK
- 38

4-CAM STYLE MOP BROOM HOLDER
- 39

COILING OVERHEAD DOOR
- 40

GIRTS RE: PEMB DRAWINGS AND STRUCTURAL
- 41

OVERHEAD SHELF

WEST SHOP ELEVATION **H5**
1/4" = 1'-0"

EAST SHOP ELEVATION **A5**
1/4" = 1'-0"

INTERIOR ELEVATION NOTES **A1**
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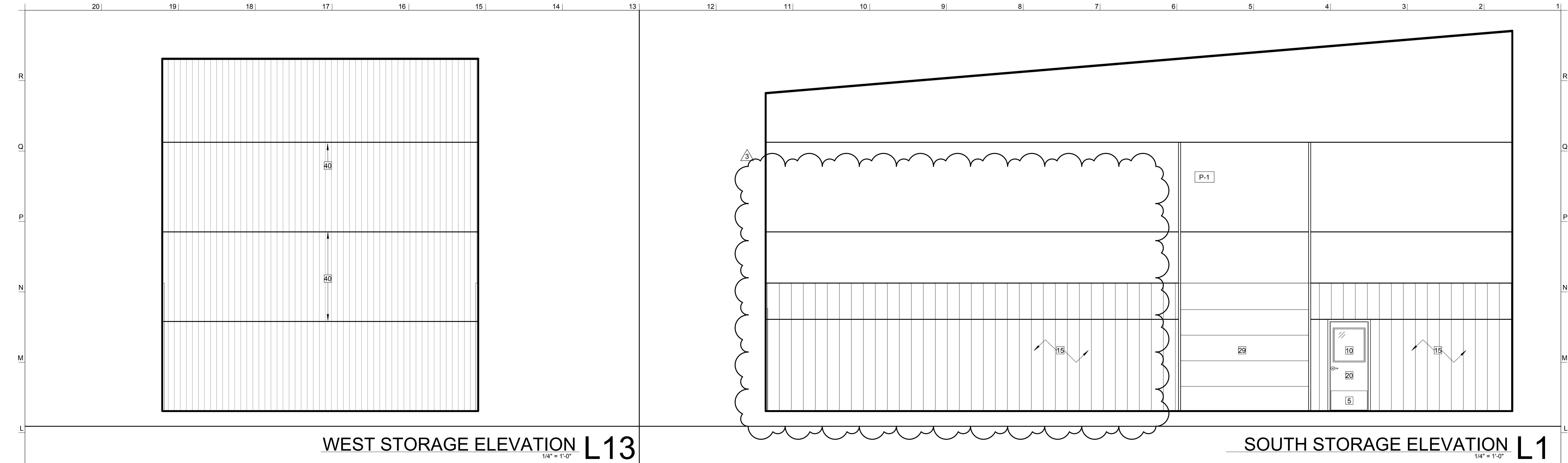
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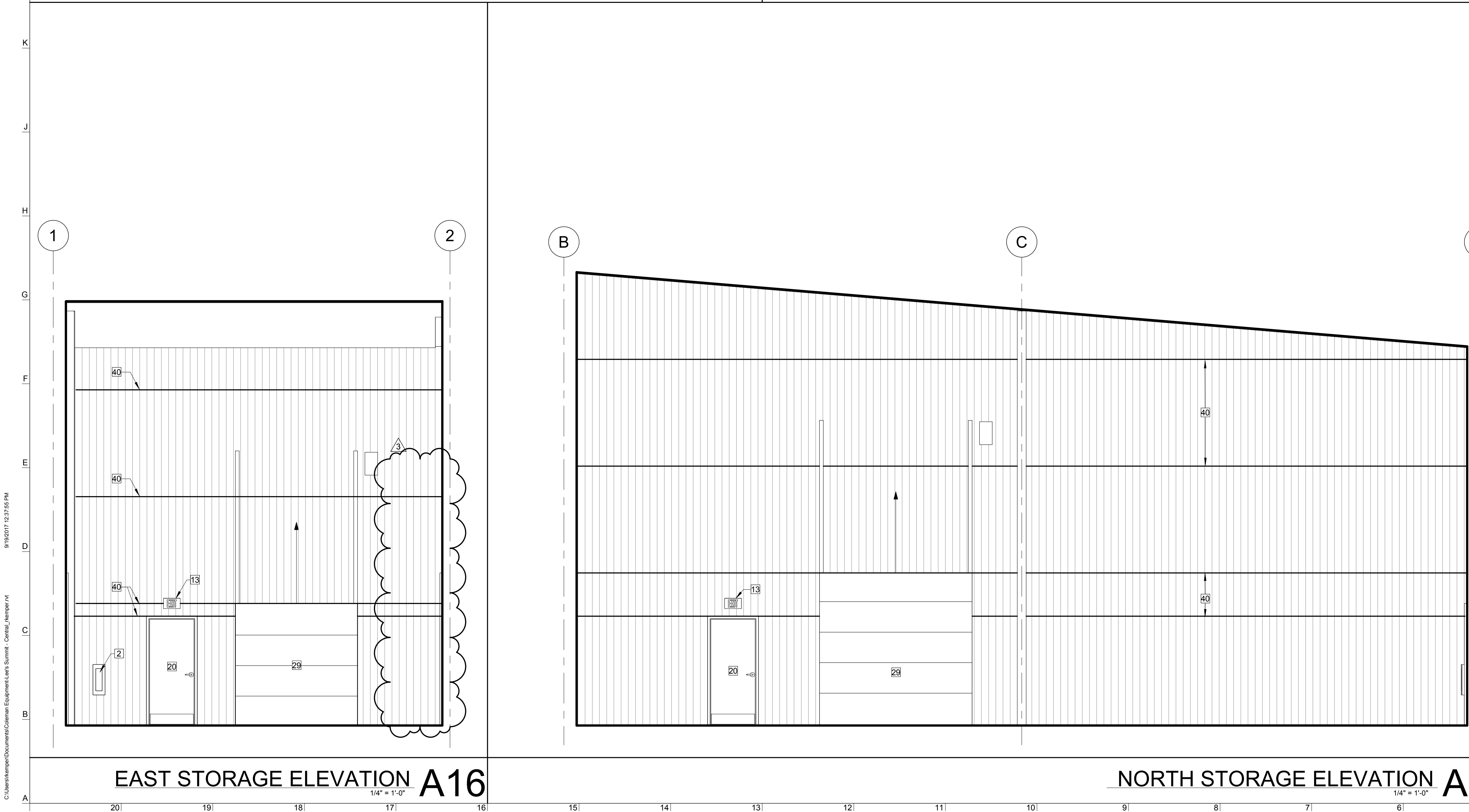
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WEST STORAGE ELEVATION L13
1/4" = 1'-0"

SOUTH STORAGE ELEVATION L1
1/4" = 1'-0"



EAST STORAGE ELEVATION A16
1/4" = 1'-0"

NORTH STORAGE ELEVATION A5
1/4" = 1'-0"

- 1 WALL BASE RE: FINISH SCHEDULE
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- 3 PAINTED GYP BD. RE: FINISH SCHEDULE
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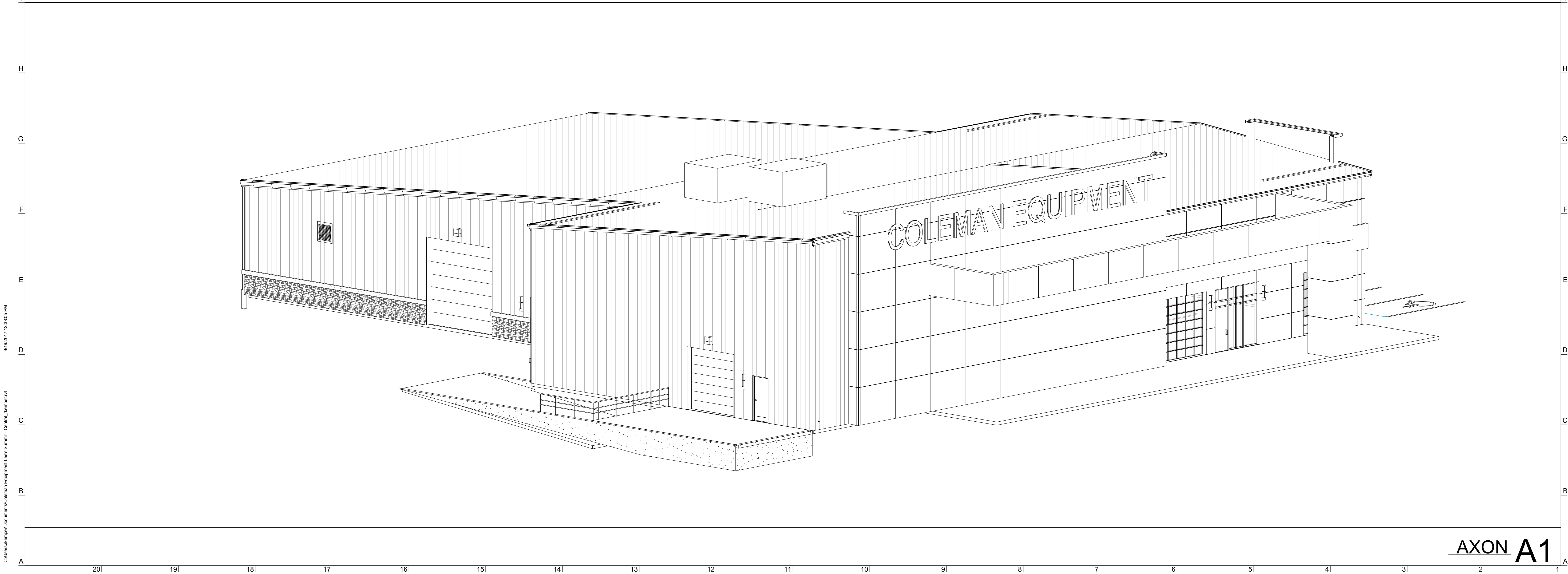
INTERIOR ELEVATIONS

A-215

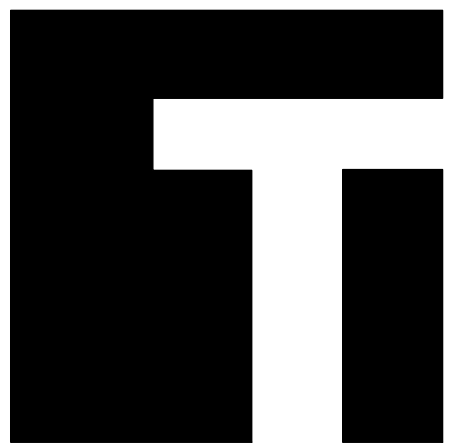
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AXON J1



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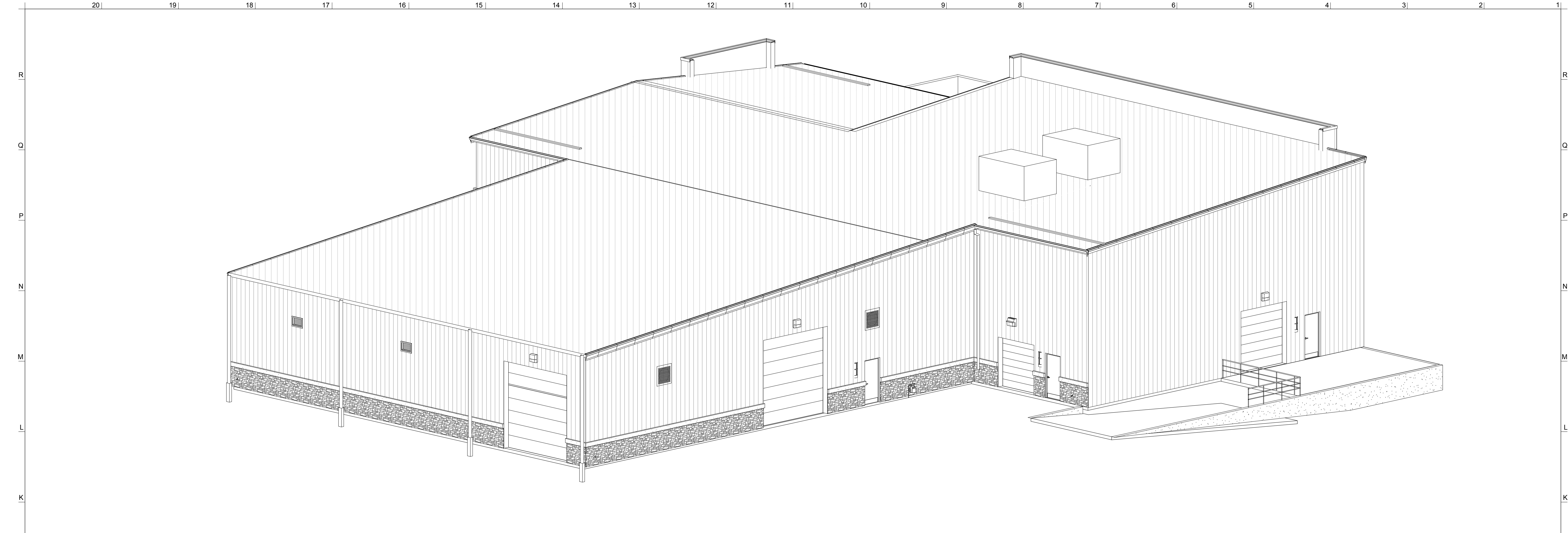
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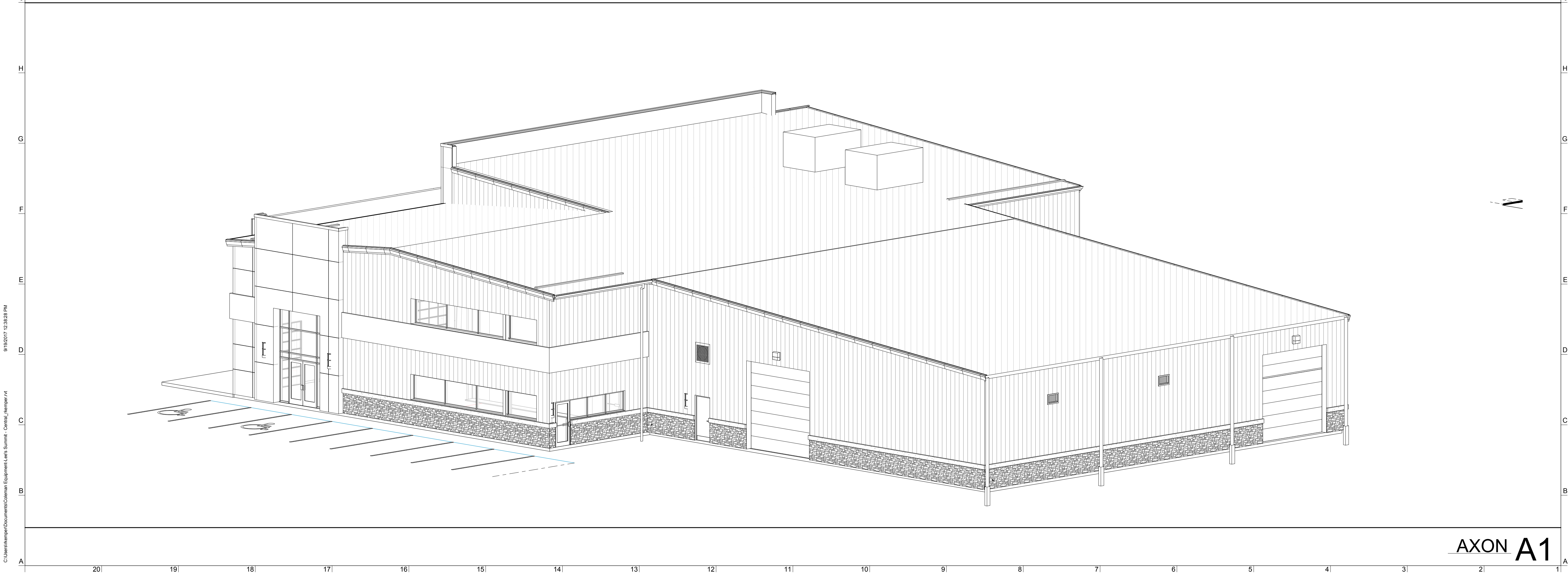
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A-220

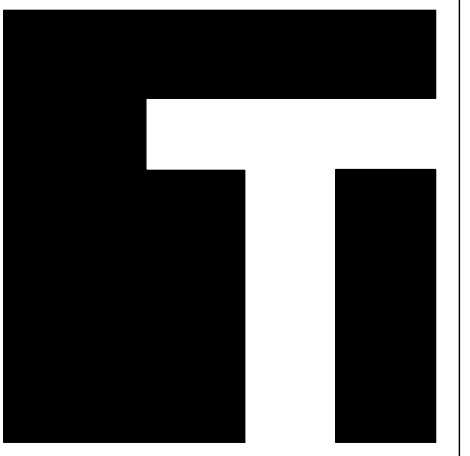
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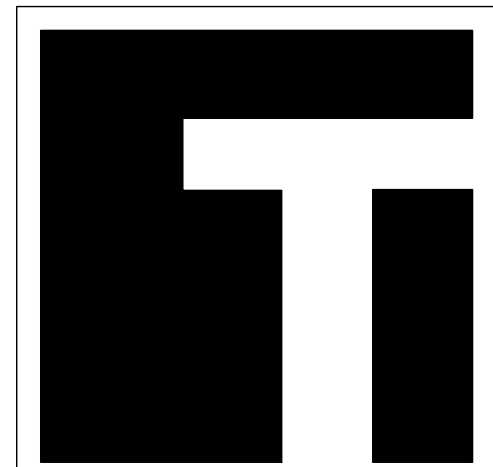
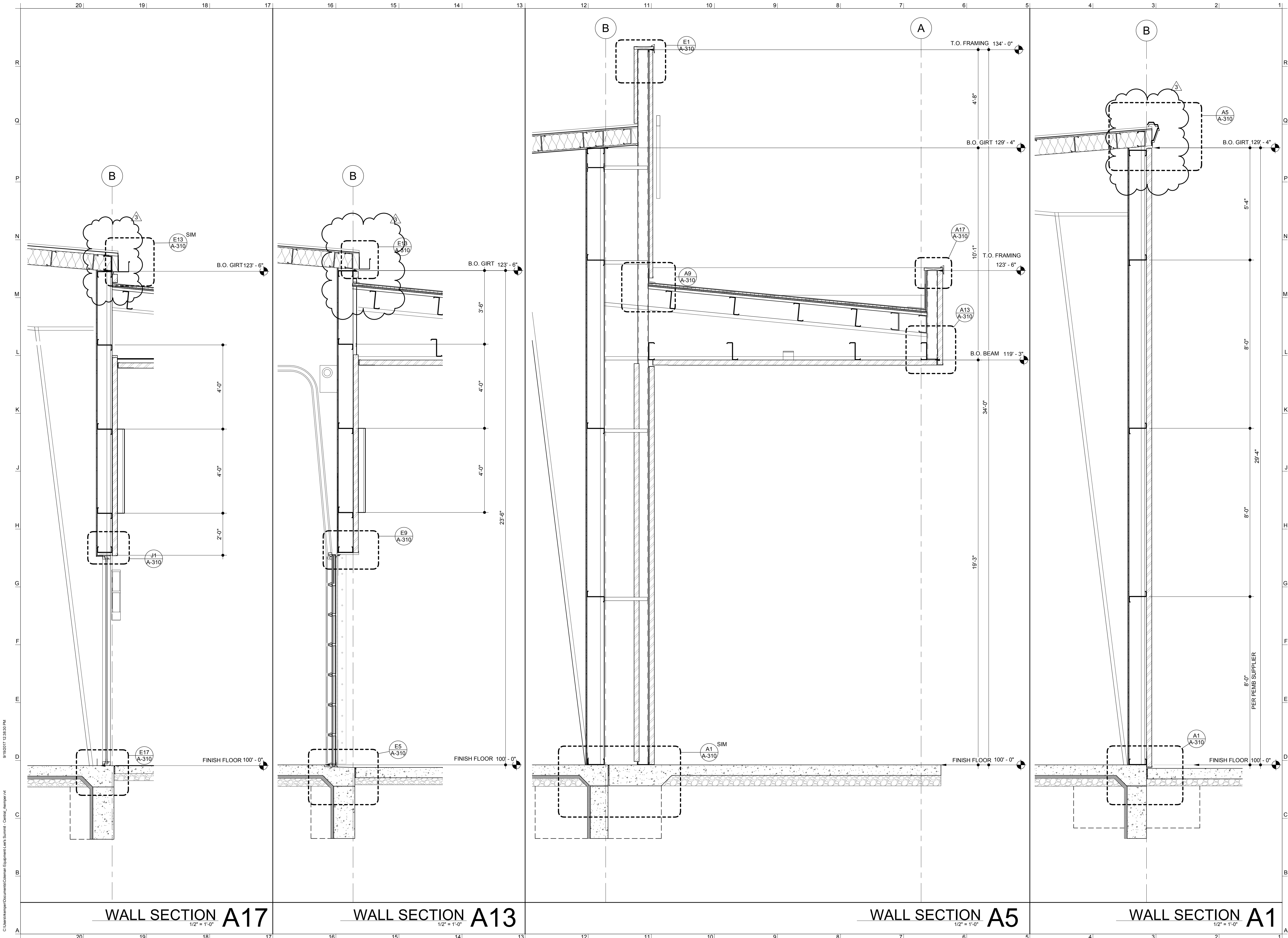
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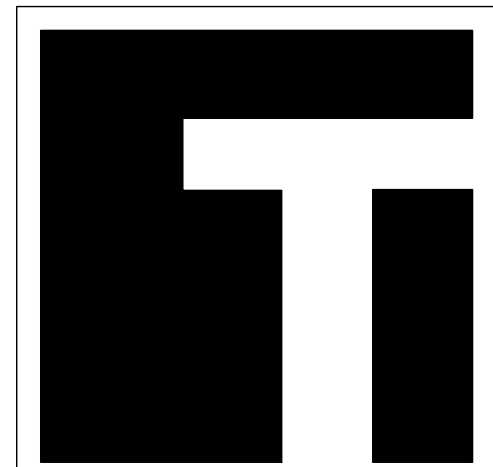
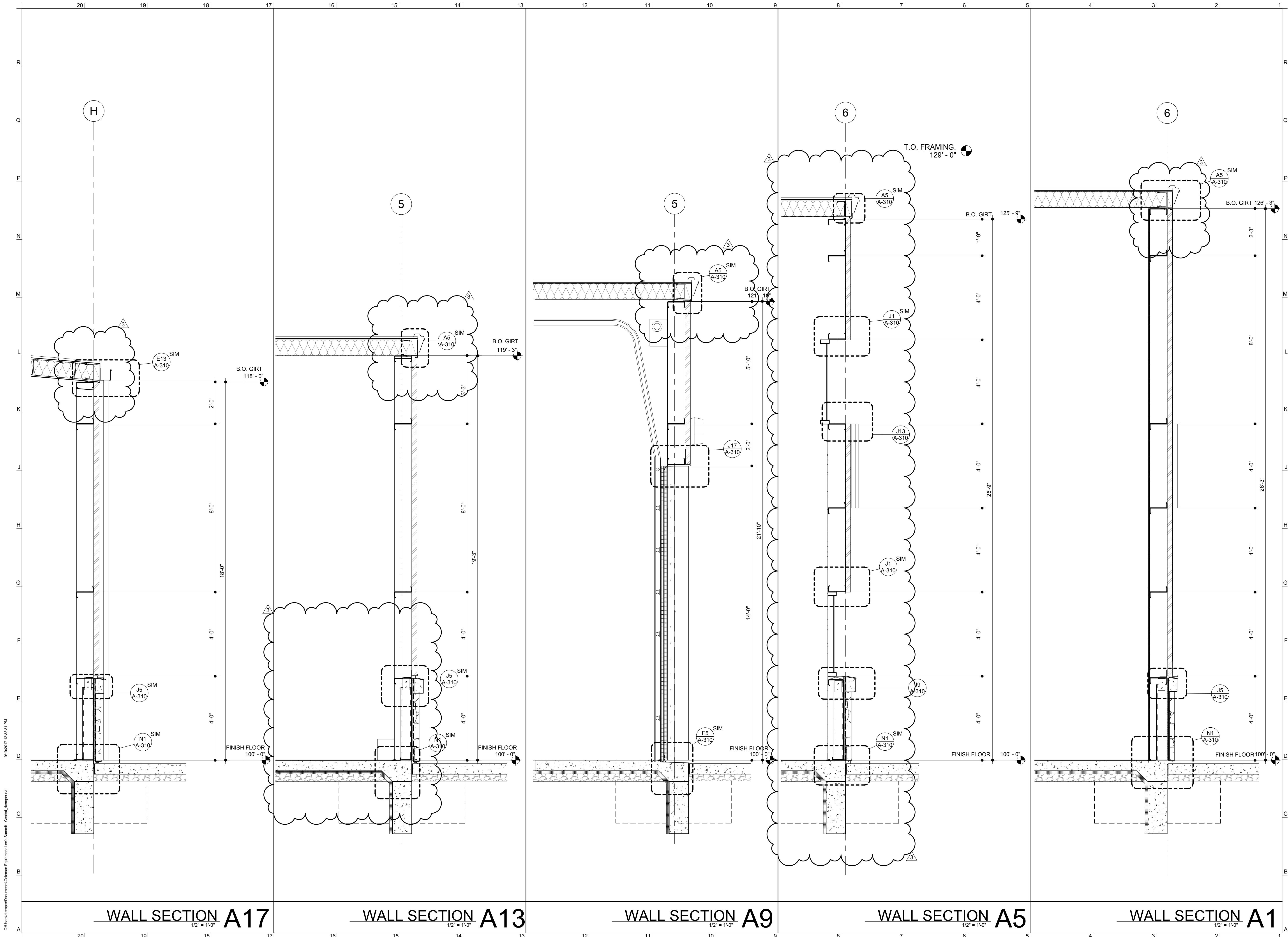
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WALL SECTIONS

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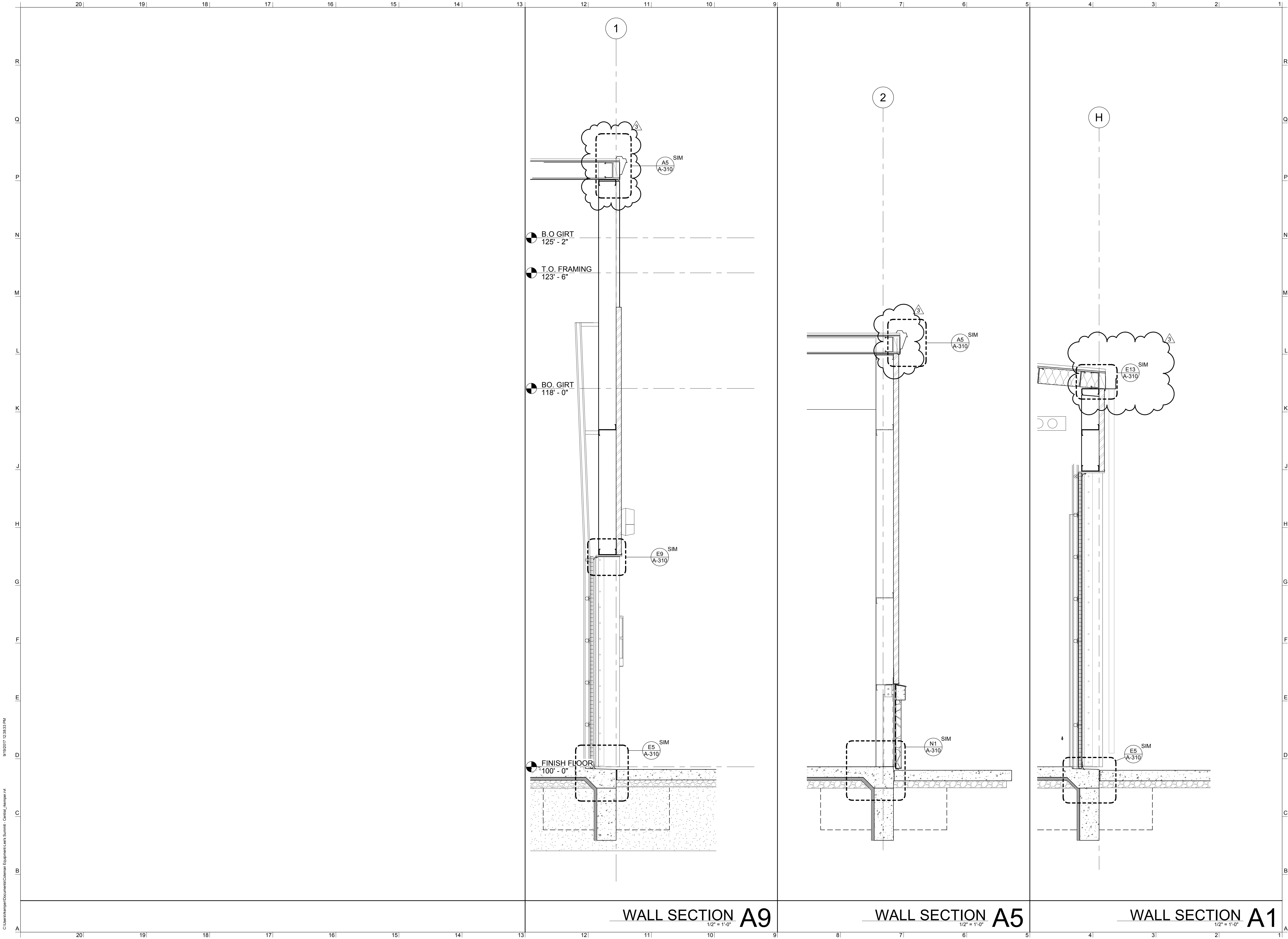
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WALL SECTIONS

A-302



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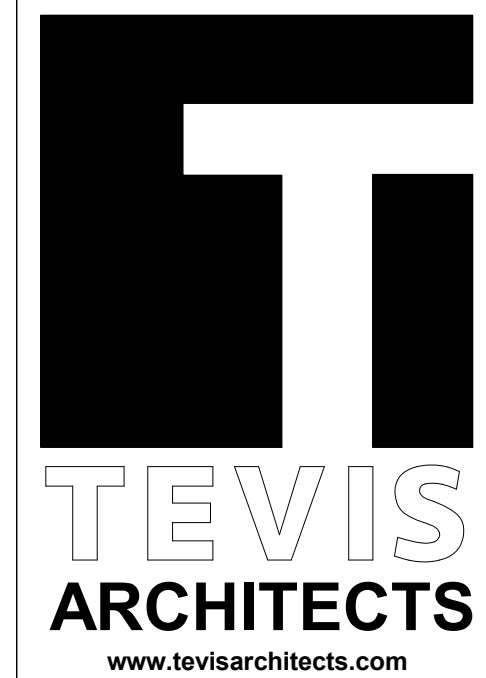
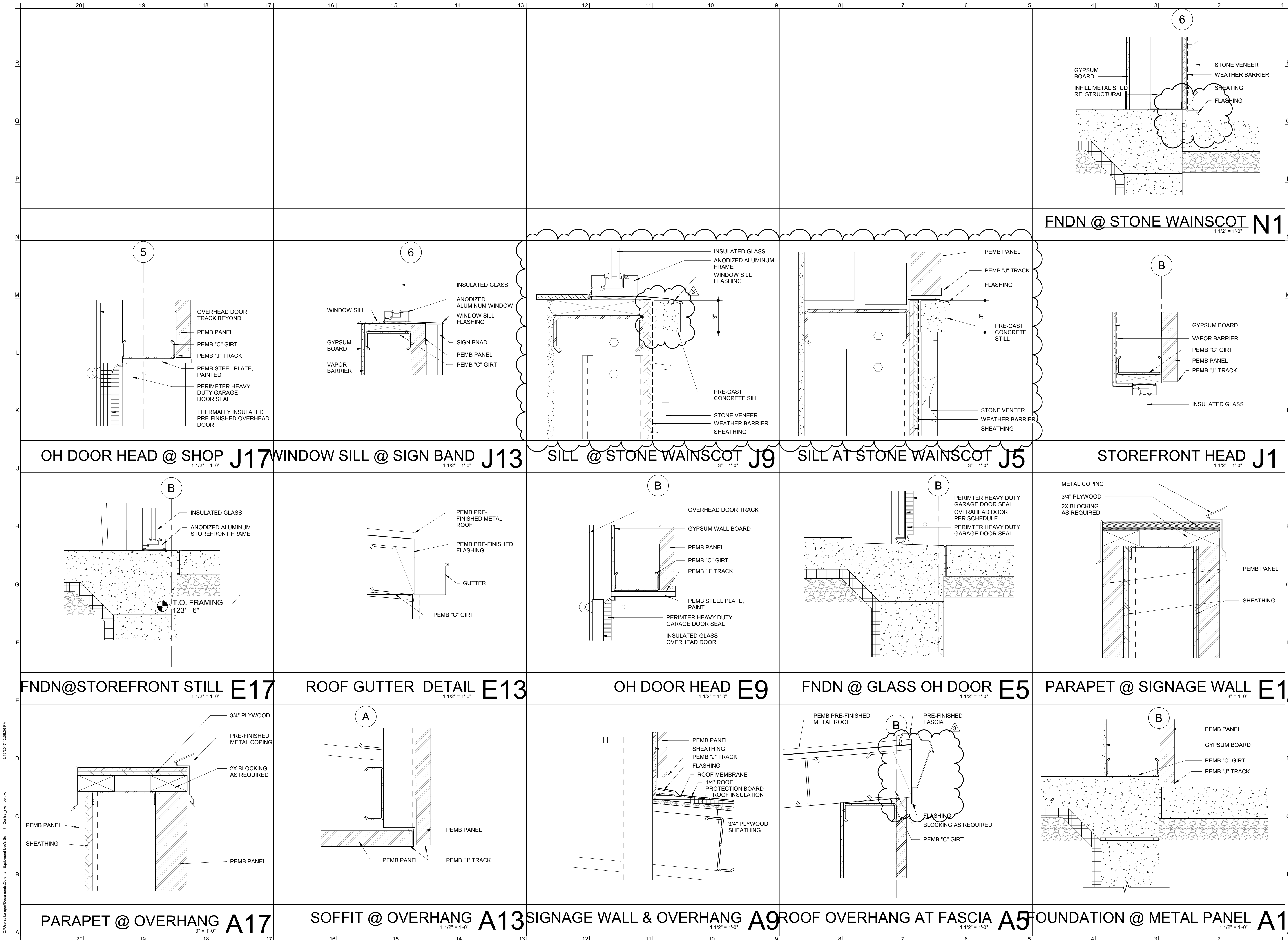
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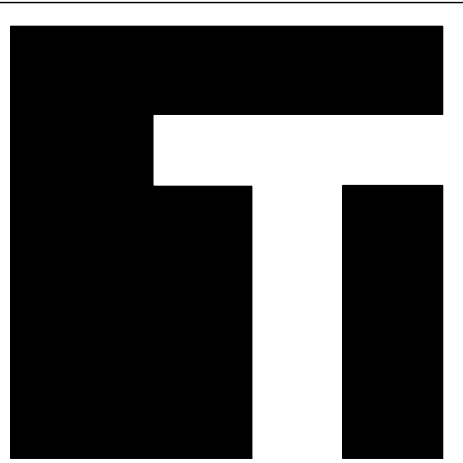
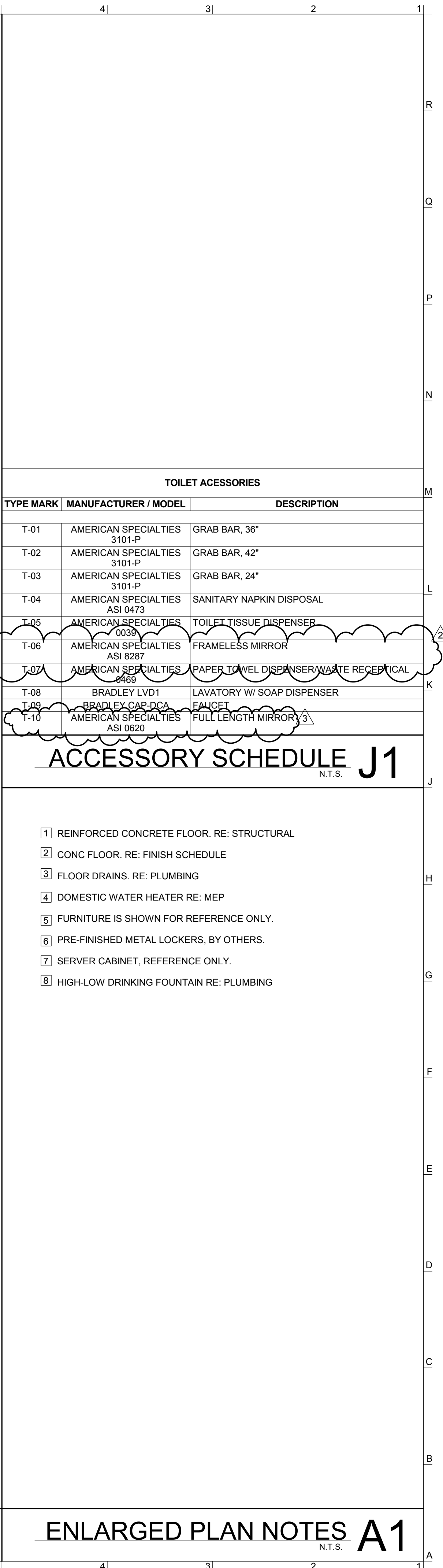
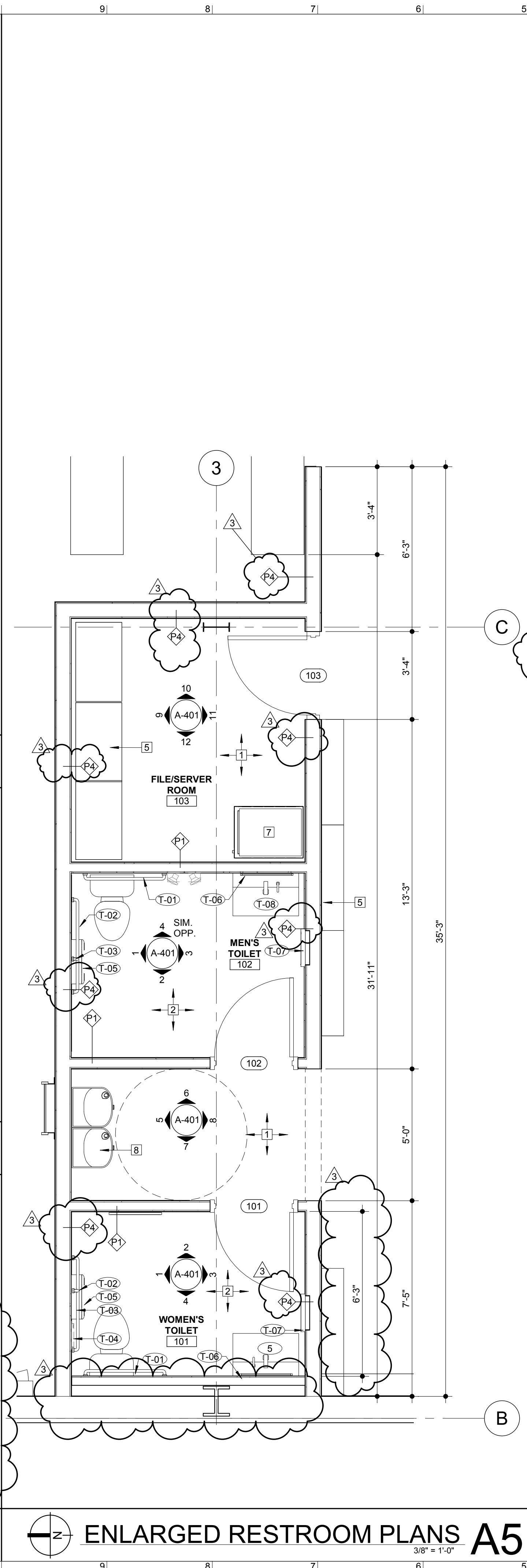
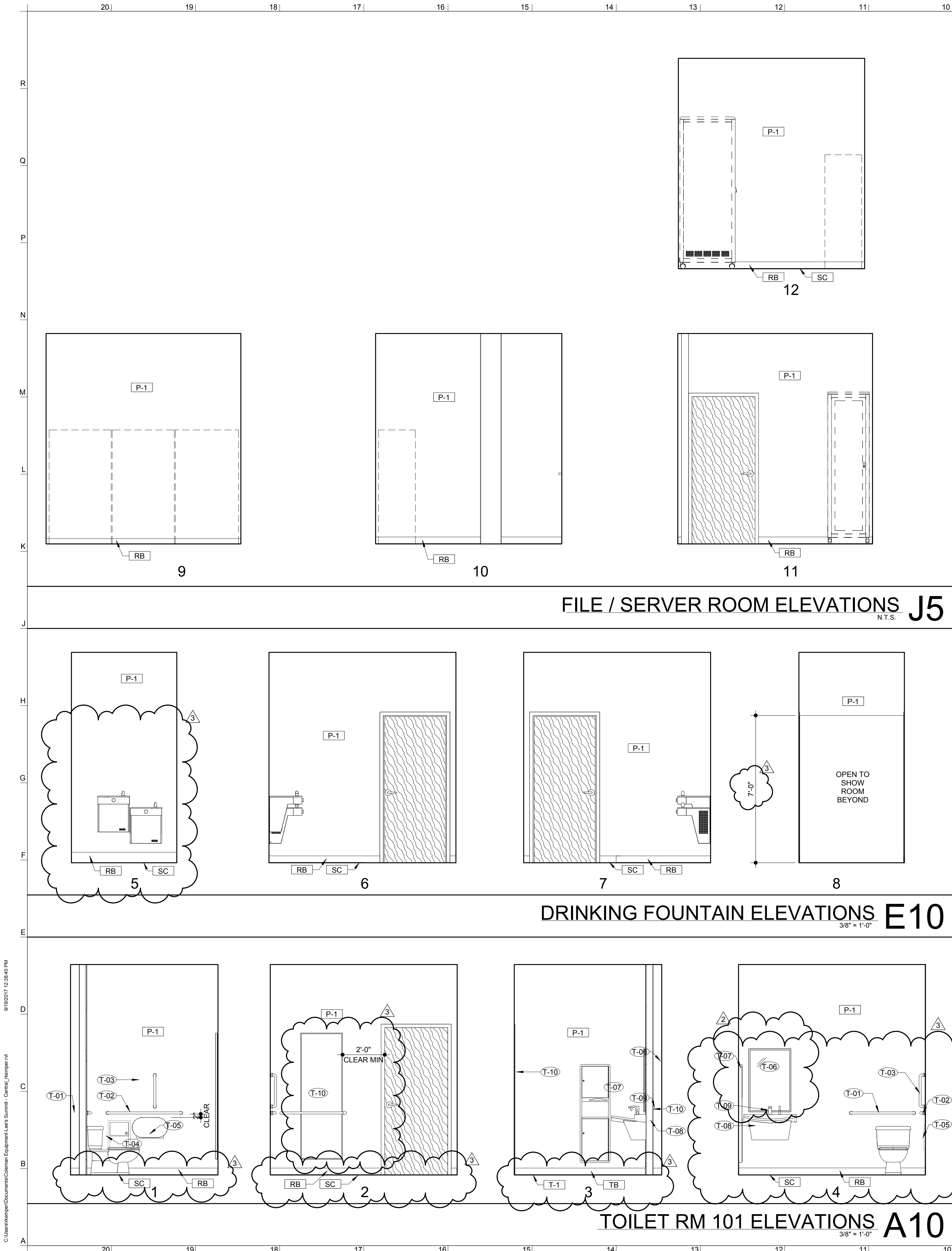
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WALL SECTION DETAILS
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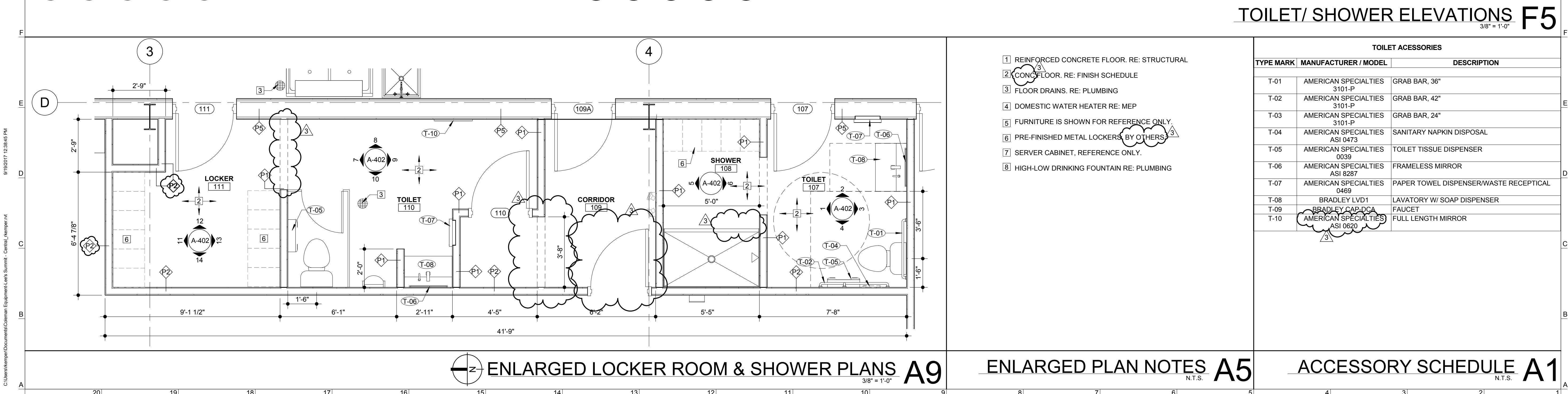
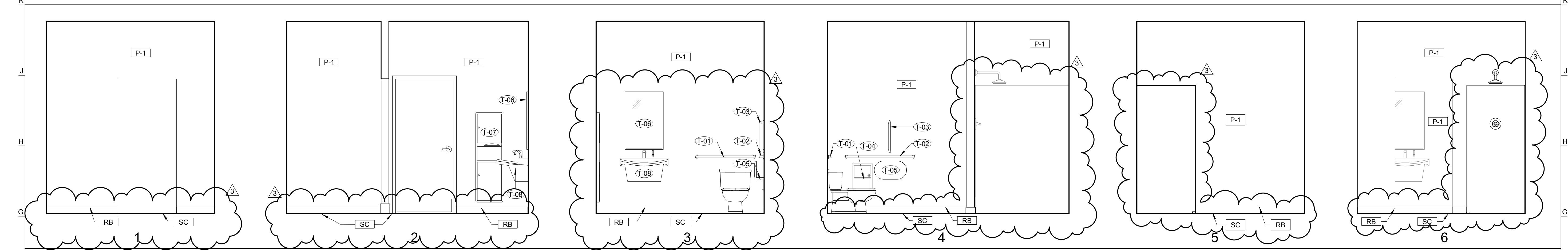
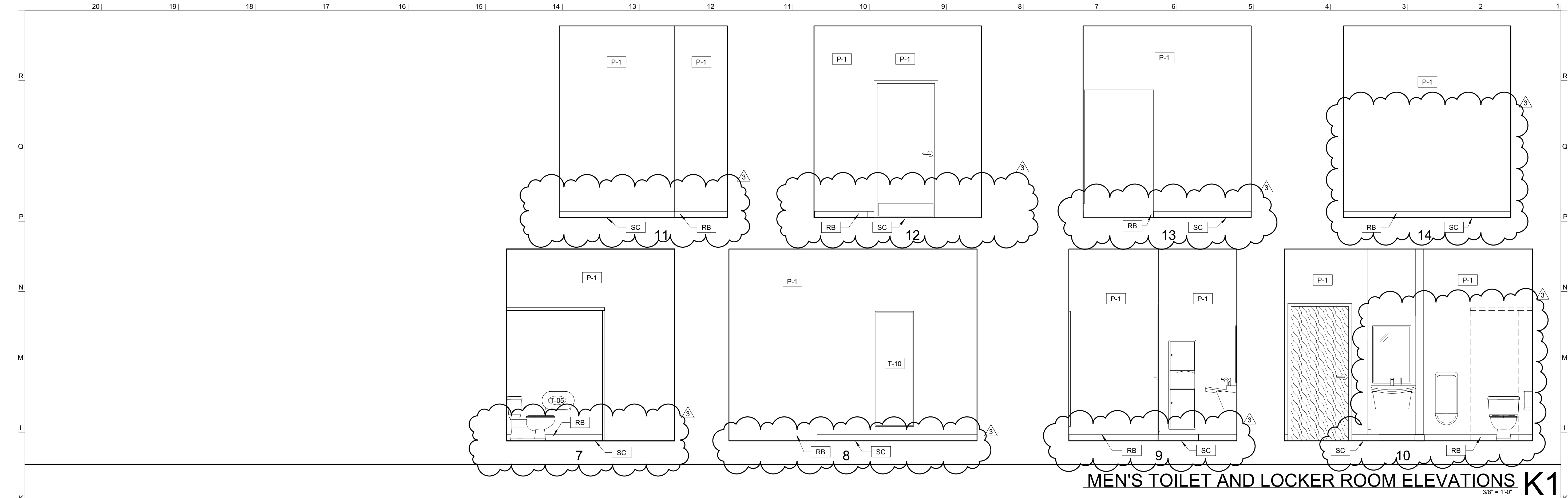
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ENLARGED PLANS

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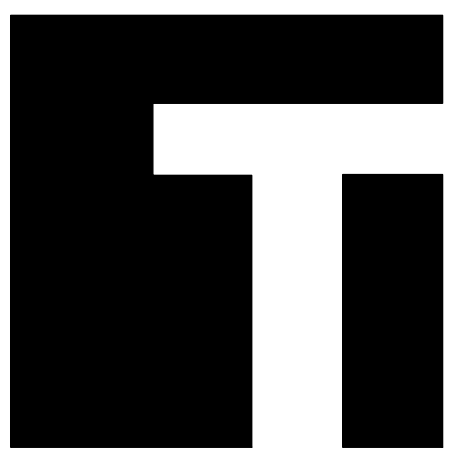
- 1 REINFORCED CONCRETE FLOOR. RE: STRUCTURAL
2 CONC FLOOR. RE: FINISH SCHEDULE
3 FLOOR DRAINS. RE: PLUMBING
4 DOMESTIC WATER HEATER RE: MEP
5 FURNITURE IS SHOWN FOR REFERENCE ONLY.
6 PRE-FINISHED METAL LOCKERS, BY OTHERS.
7 SERVER CABINET, REFERENCE ONLY.
8 HIGH-LOW DRINKING FOUNTAIN RE: PLUMBING

TOILET ACCESSORIES

TYPE MARK	MANUFACTURER / MODEL	DESCRIPTION
T-01	AMERICAN SPECIALTIES 3101-P	GRAB BAR, 36"
T-02	AMERICAN SPECIALTIES 3101-P	GRAB BAR, 42"
T-03	AMERICAN SPECIALTIES 3101-P	GRAB BAR, 24"
T-04	AMERICAN SPECIALTIES ASI 0473	SANITARY NAPKIN DISPOSAL
T-05	AMERICAN SPECIALTIES 0039	TOILET TISSUE DISPENSER
T-06	AMERICAN SPECIALTIES ASI 8287	FRAMELESS MIRROR
T-07	AMERICAN SPECIALTIES 0469	PAPER TOWEL DISPENSER/WASTE RECEPTAL
T-08	BRADLEY LVD1	LAVATORY W/ SOAP DISPENSER
T-09	BRADLEY CAP-00A	FAUCET
T-10	AMERICAN SPECIALTIES ASI 0520	FULL LENGTH MIRROR

ENLARGED PLAN NOTES A5

ACCESSORY SCHEDULE A1



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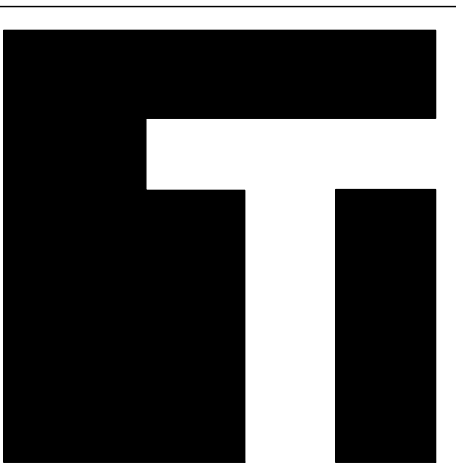
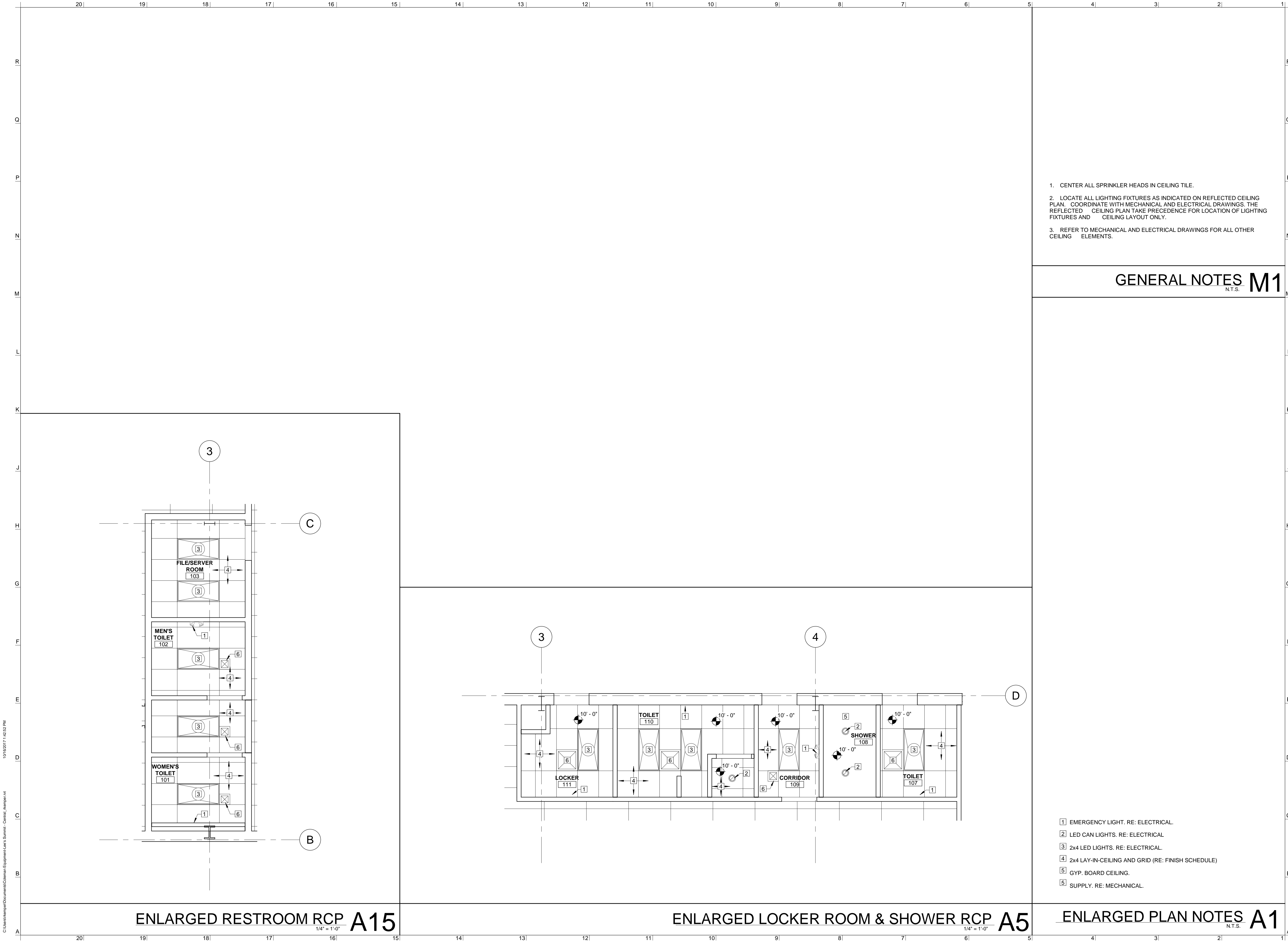
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ENLARGED PLANS

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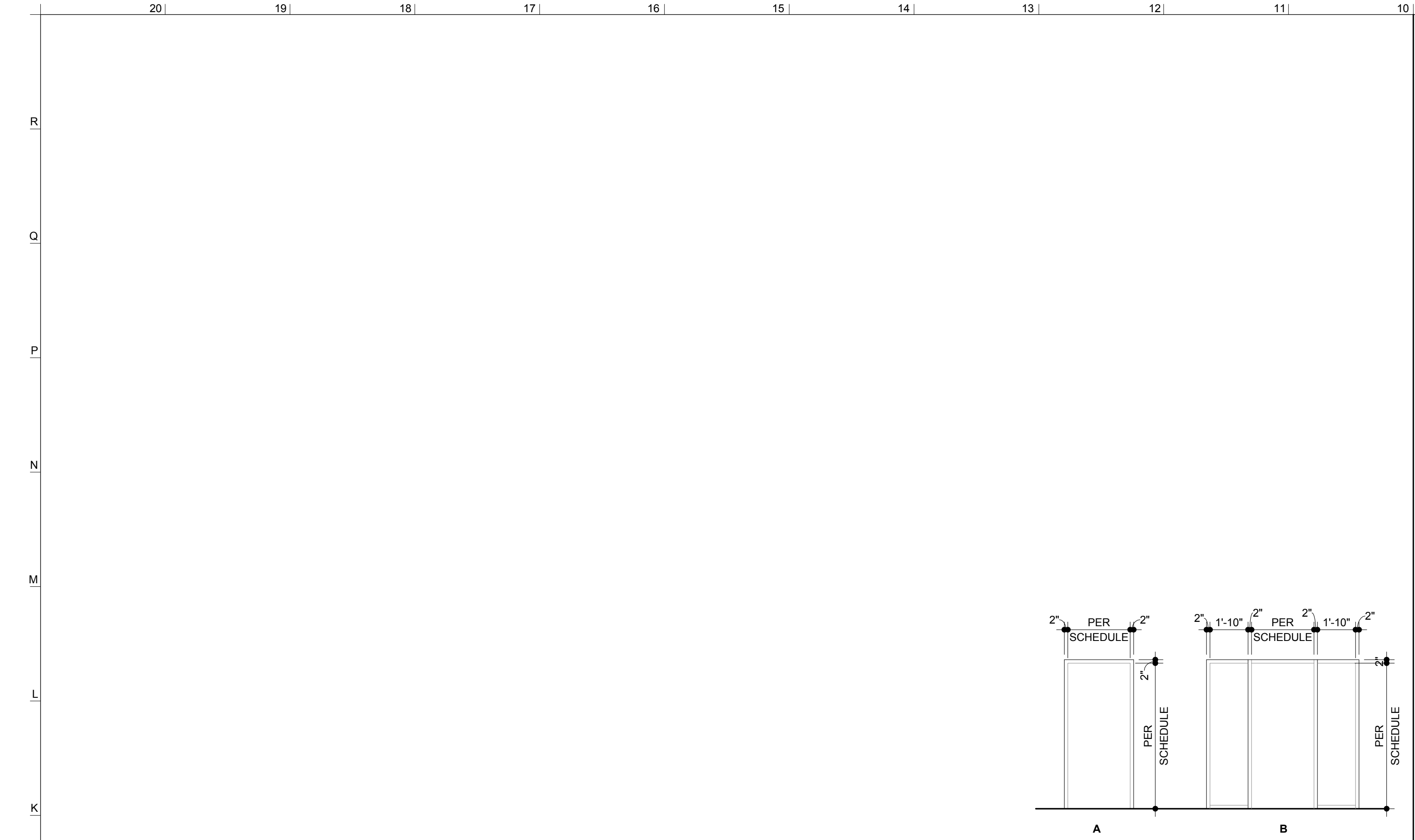


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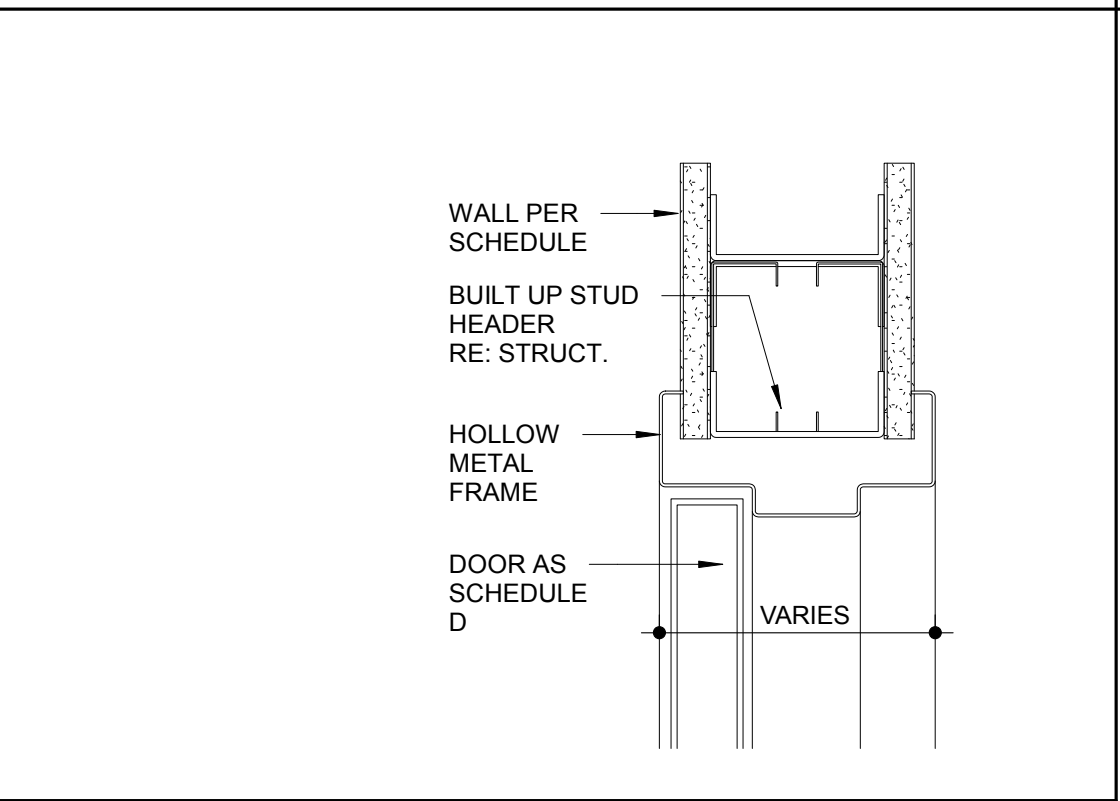
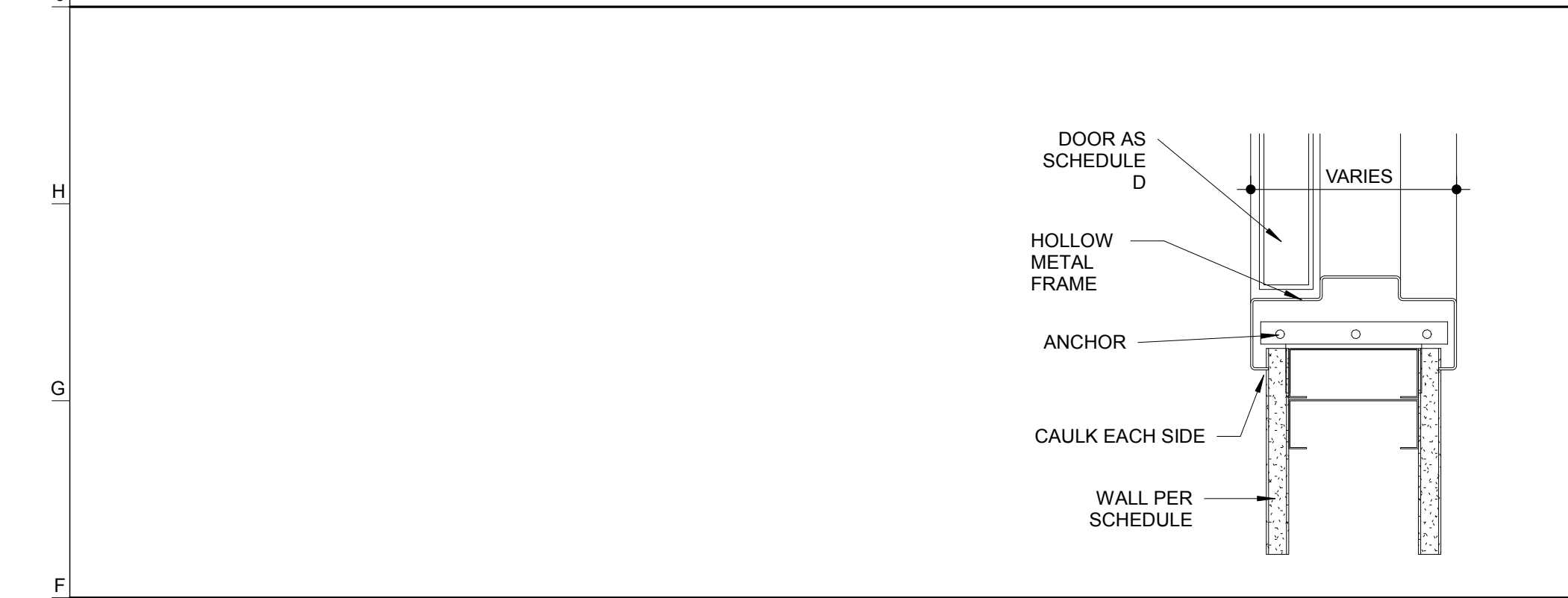
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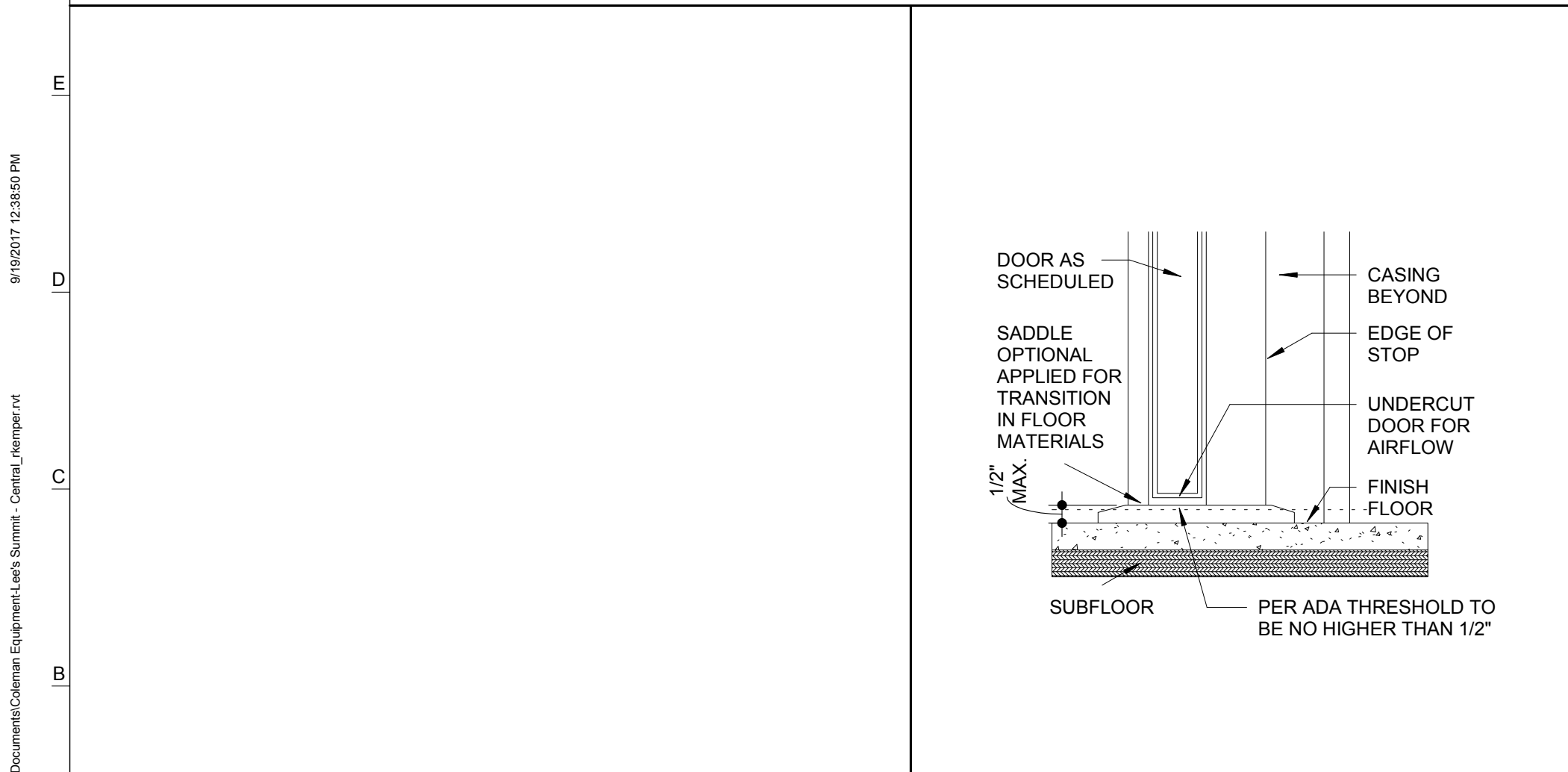
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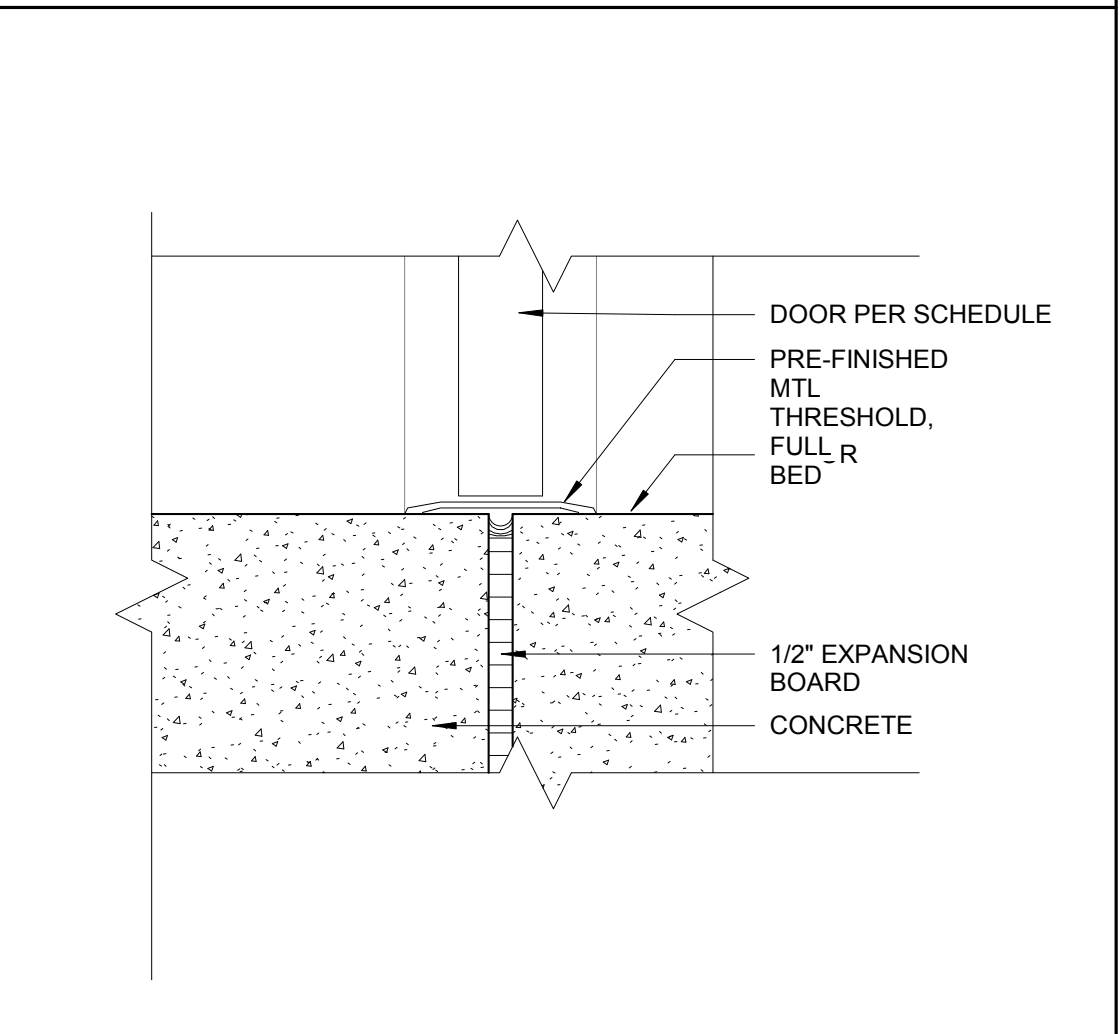
DOOR FRAMES J10



INT METAL FRAME JAMB F14

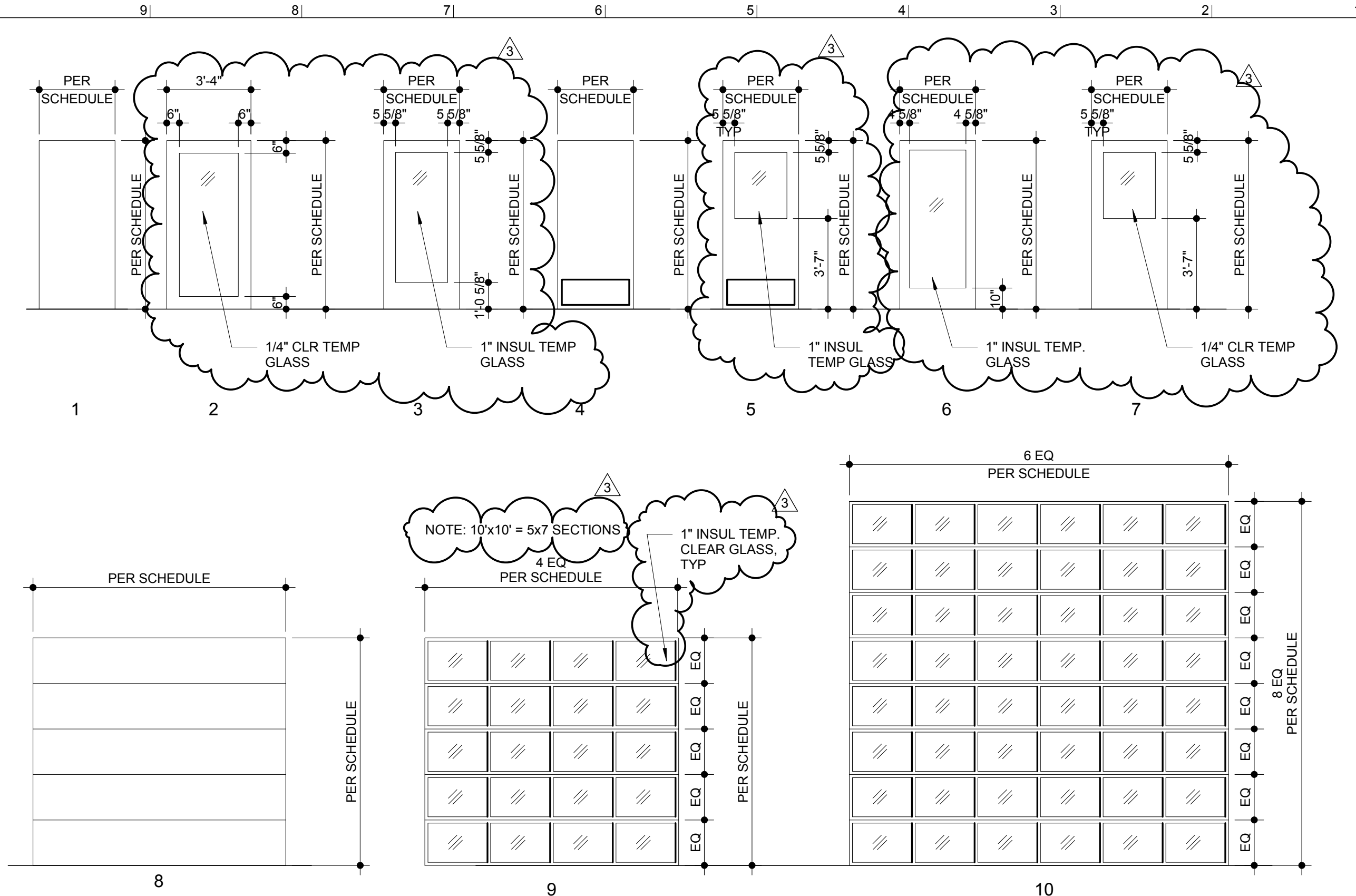


INT METAL FRAME HEAD F10



INTERIOR SILL DTL. A14

DOOR-EXT THRESHOLD A10

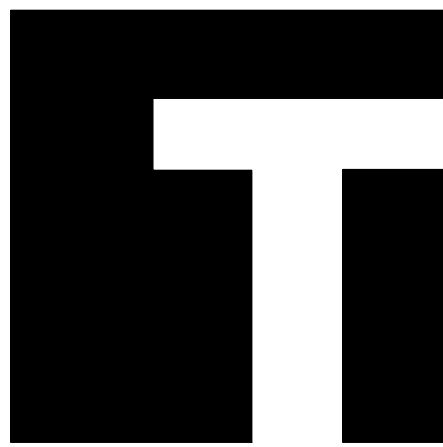


- NOTE:
1. INCLUDE ENTRY GUARD SYSTEM INFORMATION. COORDINATE KEYING
 2. VERIFY THE KEYING SCHEDULE WITH THE OWNER
 3. ALL GLAZING WITHIN 2'-0" OF DOOR AND 5'-0" FROM FINISHED FLOOR AND ALL OTHER HAZARDOUS LOCATIONS AS DEFINED BY I.B.C. SECTION 2406 TO BE TEMPERED/SAFETY GLASS AND DENOTED BY " PLEASE NOTE EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION PER I.B.C. SECTION 2406
 4. ALL DOOR HARDWARE TO BE LEVER TYPE HARDWARE U.N.O.
 5. ALL WINDOWS TO BE COMPLIANT WITH 2012 IBC SECTION 1013.8
 6. ALL WINDOWS TO BE COMPLIANT WITH 2012 IECC WITH A MINIMUM U FACTOR OF .35 AND AN SHGC FACTOR OF .4

DOOR TYPES J1

DOOR SCHEDULE														
DOOR NO.	ROOM NAME	DOOR						FRAME			DETAILS			NOTES
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB	THRESH.	
100A	SHOW ROOM	9	10'- 0"	10'- 0"	0'- 2"	ALUM.	PRE. FIN.	PER MANF.	ALUM.	PRE. FIN.	E9/A-310	SIM.	E5/A310	
100B	SHOW ROOM	9	10'- 0"	10'- 0"	0'- 2"	ALUM.	PRE. FIN.	PER MANF.	ALUM.	PRE. FIN.	E9/A-310	SIM.	E5/A310	
100C	SHOW ROOM	6	3'- 0"	7'- 0"	0'- 2"	ALUM.	PRE. FIN.	B	ALUM.	PRE. FIN.	J1/A-310	SIM.	E17/A-310	
100D	SHOW ROOM	6	PR 3'- 0"	7'- 0"	0'- 2"	ALUM.	PRE. FIN.	B	ALUM.	PRE. FIN.	J1/A-310	SIM.	E17/A-310	
101	WOMEN'S TOILET	4	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
102	MEN'S TOILET	4	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
103	FILE/SERVER ROOM	4	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
104	PARTS	5	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
105A	SHOP	3	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
105B	SHOW ROOM	6	3'- 0"	7'- 0"	0'- 2"	ALUM.	PRE. FIN.	A	ALUM.	PAINT	J1/A-310	SIM.	E17/A-310	
106A	OFFICE	2	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	PER MANF.	HM	PAINT	-	-	-	
106B	OFFICE	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
106C	PARTS	4	3'- 0"	7'- 0"	0'- 2"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
107	TOILET	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
108A	SHOP	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
108B	PARTS	4	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
110	TOILET	4	3'- 0"	7'- 0"	0'- 1 3/4"	WOOD	STAIN	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
111	LOCKER	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
112A	SHOP	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A10/A-601	
112B	SHOP	8	14'- 0"	14'- 0"	0'- 2"	STL	PRE. FIN.	PER MANF.	HM	PAINT	E9/A-310	SIM.	E5/A310	
112C	SHOP	8	14'- 0"	14'- 0"	0'- 2"	STL	PRE. FIN.	PER MANF.	HM	PAINT	E9/A-310	SIM.	E5/A310	
112D	SHOP	3	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A10/A-601	
113	SHOP	1	PR 3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	
114A	SHOP	8	14'- 0"	14'- 0"	0'- 2"	ALUM.	PRE. FIN.	PER MANF.	ALUM.	PAINT	E9/A-310	SIM.	-	
114B	WASH	8	14'- 0"	14'- 0"	0'- 2"	STL	PRE. FIN.	PER MANF.	HM	PAINT	E9/A-310	SIM.	E5/A310	
115A	STORAGE	3	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A10/A-601	
115B	STORAGE	8	10'- 0"	10'- 0"	0'- 2"	STL	PRE. FIN.	PER PEMBF.	HM	PAINT	E9/A-310	SIM.	E5/A310	
115C	STORAGE	8	8'- 0"	8'- 0"	0'- 2"	STL	PRE. FIN.	PER PEMBF.	HM	PAINT	E9/A-310	SIM.	E5/A310	
115D	STORAGE	1	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A10/A-601	
115E	PARTS	8	10'- 0"	10'- 0"	0'- 2"	STL	PRE. FIN.	PER PEMBF.	HM	PAINT	E9/A-310	SIM.	-	
115F	PARTS	3	3'- 0"	7'- 0"	0'- 1 3/4"	HM	PAINT	A	HM	PAINT	F10/A-601	F14/A-601	A14/A-601	

DOOR SCHEDULE A1



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DOOR SCHEDULE

A-601

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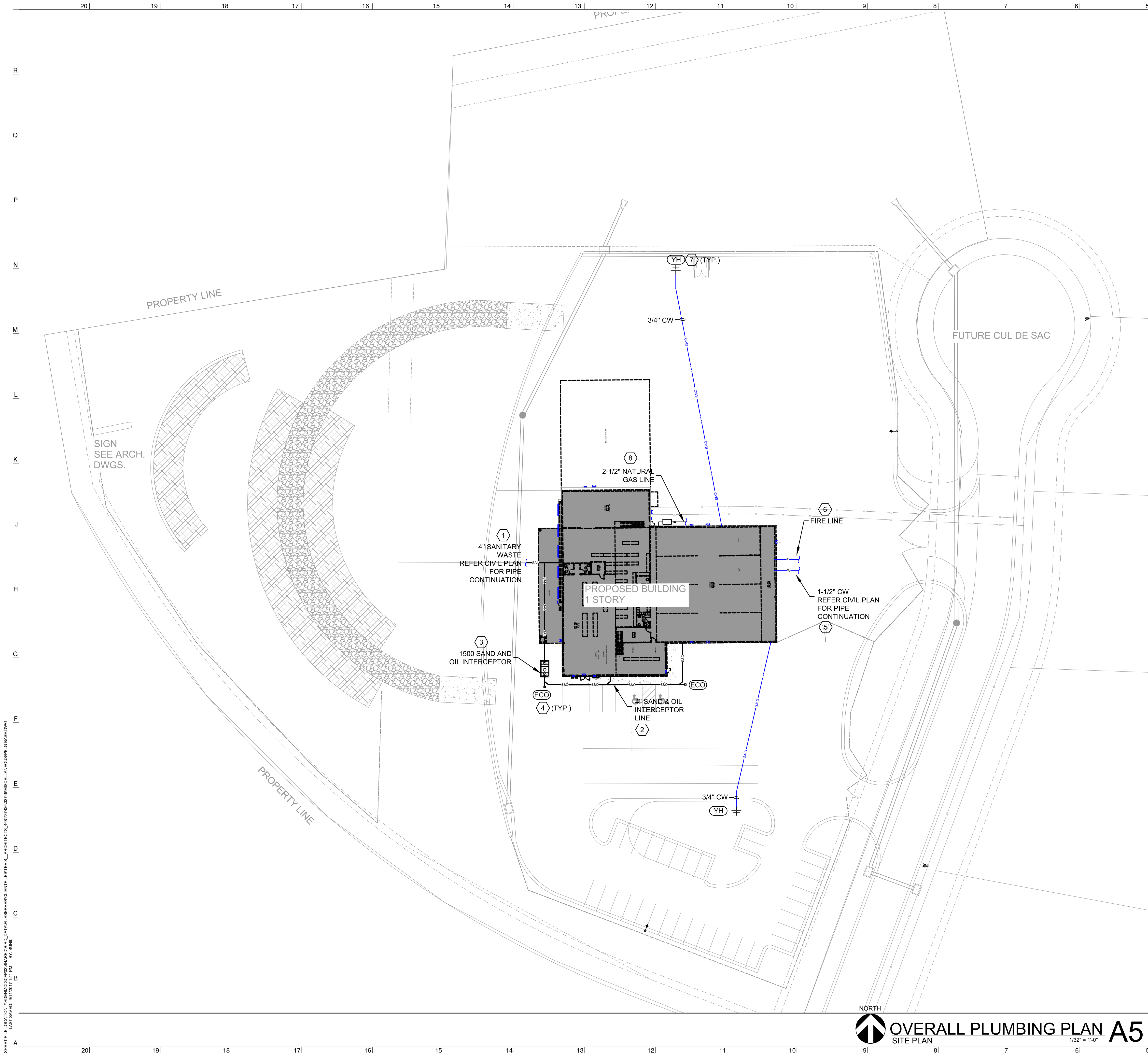
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FINISH SCHEDULE

A-701

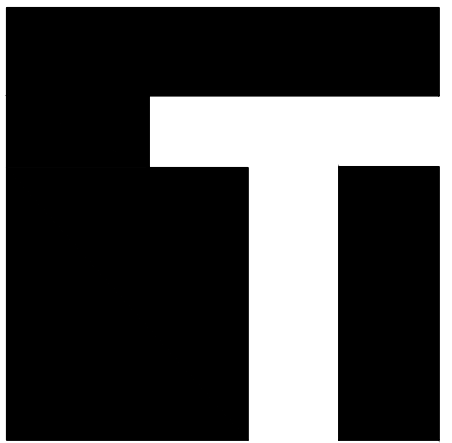
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REFER TO SHEET P4.3 FOR GENERAL NOTES
PERTAINING TO THIS SHEET.

GENERAL NOTES Q1

N.T.S.



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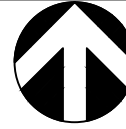
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OVERALL PLUMBING PLAN

P1.0

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OVERALL PLUMBING PLAN A5

SITE PLAN
1/32" = 1'-0"

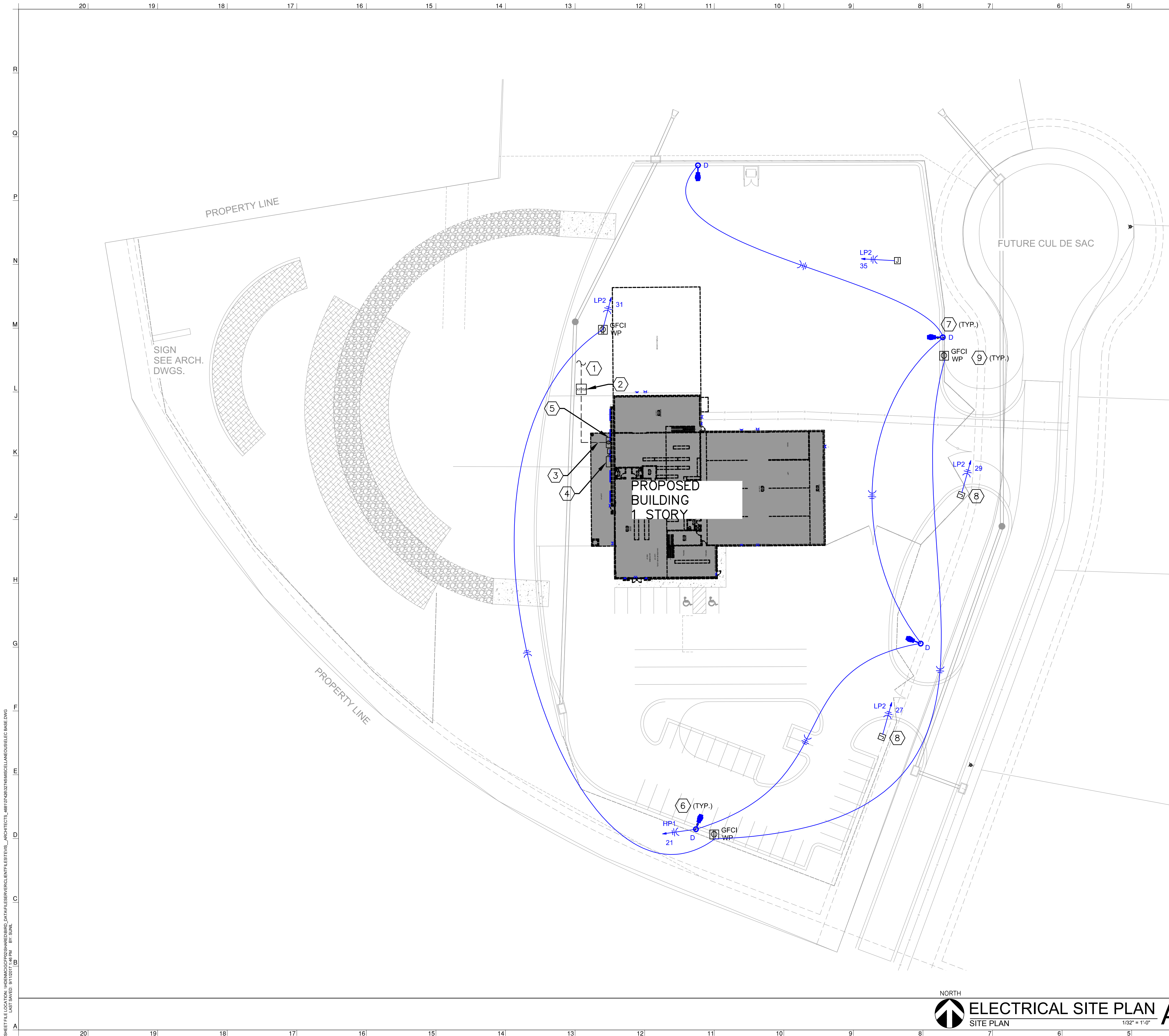
KEY NOTES A1

N.T.S.

- 1 PROVIDE 4" SANITARY LINE. REFER CIVIL PLAN FOR SANITARY LINE CONTINUATION.
- 2 PROVIDE 4" SANITARY AND OIL INTERCEPTOR LINE.
- 3 PROVIDE 1500 GALLON SAND AND OIL INTERCEPTOR AT LOCATION SHOWN ON THE PLAN.
- 4 PROVIDE EXTERIOR CLEANOUT AT LOCATION SHOWN ON THE PLAN.
- 5 PROVIDE 1-1/2" DOMESTIC COLD WATER LINE AT LOCATION SHOWN ON THE PLAN. REFER CIVIL PLAN FOR PIPE CONTINUATION.
- 6 PROPOSED LOCATION OF FIRE SPRINKLER LINE, TO BE SIZED BY OTHER.
- 7 INSTALL YARD HYDRANT AT LOCATION SHOWN ON THE PLAN. VERIFY EXACT LOCATION WITH OWNER / CIVIL PRIOR TO INSTALLATION.
- 8 PROVIDE 2-1/2" NATURAL GAS LINE AT LOCATION SHOWN ON THE PLAN.

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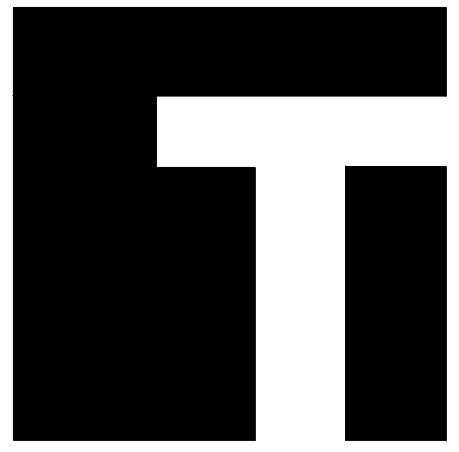


1. FURNISH AND INSTALL BRANCH CIRCUIT FOR POLE MOUNTED SITE LIGHT FIXTURES AND EXTERIOR SITE POWER. UNDERGROUND CONDUIT SHALL BE BURIED A MINIMUM OF 24" BELOW FINISHED GRADE. (TYPICAL OF ALL CIRCUITS).
2. ALL SITE LIGHTING CIRCUIT SHALL BE CONTROLLED VIA TIME SWITCH.
3. REFER TO SITE LIGHT PHOTOMETRIC DRAWING FOR INFORMATION REGARDING SPECIFIC FIXTURES AND DISTRIBUTION PATTERN USED. COORDINATE WITH OWNER / ARCHITECT TO ENSURE THAT POLE LOCATIONS SHOWN ARE THE INTENDED LOCATIONS.
4. ALL CIRCUIT WIRING INSIDE POLES SHALL BE #10AWG FOR PHASE AND GROUNDED CONDUCTORS.
5. VOLTAGE DROP BASED ON THE ACTUAL CIRCUITS LENGTH SHALL BE VERIFIED PRIOR TO INSTALLATION AND CONDUCTOR SIZE ADJUSTED ACCORDINGLY TO MAINTAIN VOLTAGE DROP LESS THAN 3% OF THE ENTIRE CIRCUIT.
6. CONTRACTOR SHALL COORDINATE EASEMENT ON CENTERLINE OF UNDERGROUND PRIMARY WITH UTILITY COMPANY AND CIVIL ENGINEER.
7. THE ELECTRICAL INFORMATION SHOWN ON THIS PLAN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED. THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE COMPANIES INVOLVED.

GENERAL NOTES L1

- 1 UNDERGROUND CONDUITS FOR PRIMARY ELECTRICAL SERVICE PROVIDED AND INSTALLED BY CONTRACTOR. SECONDARY CONDUCTORS PROVIDED AND INSTALLED BY UTILITY COMPANY. COORDINATE REQUIREMENTS PRIOR TO INSTALLATION.
- 2 COORDINATE LOCATION OF UTILITY TRANSFORMER WITH POWER COMPANY. INSTALL UTILITY TRANSFORMER ON 4" CONCRETE PAD. TRANSFORMER PAD SHALL BE INSTALLED BY CONTRACTOR. COORDINATE WITH LOCAL POWER COMPANY FOR ADDITIONAL REQUIREMENTS.
- 3 SECONDARY ELECTRICAL SERVICE SHALL BE INSTALLED BY CONTRACTOR. REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E5.0 FOR MORE INFORMATION.
- 4 CONDUITS AND CABLES FOR TELEPHONE, CABLE TELEVISION AND MISC. TELECOMMUNICATIONS SERVICES SHALL BE PROVIDED BY OWNER. LOCATION SHOWN FOR INFORMATION PURPOSE ONLY.
- 5 INSTALL ELECTRICAL SERVICE AND UTILITY METER AT LOCATION SHOWN ON THE PLAN. PROVIDE SERVICE ENTRANCE GROUNDING. REFER HDE-1 ON SHEET E4.1 FOR SERVICE ENTRANCE GROUNDING DETAIL. VERIFY ADDITIONAL REQUIREMENTS WITH LOCAL POWER COMPANY. REFER ELECTRICAL RISER DIAGRAM ON SHEET E5.0 FOR MORE INFORMATION.
- 6 INSTALL NEW POLE MOUNTED SITE LIGHTING AT LOCATION SHOWN ON THE PLAN. REFER HDE-2 ON SHEET E4.1 FOR SITE LIGHT POLE BASE DETAIL. LIGHTING FIXTURE SHALL BE AS SCHEDULED ON THE LIGHTING FIXTURE SCHEDULE.
- 7 ALL SITE LIGHTING SHALL BE PROVIDED WITH WITH TIME SWITCH TO TURN ON THE LIGHT AT DAWN AND TURN OFF AT DUSK. REFER HDE-3 ON SHEET E4.1 FOR EXTERIOR LIGHT CONTROL SCHEMATIC.
- 8 PROVIDE JUNCTION BOX FOR POWER TO MONUMENT SIGN. COORDINATE EXACT LOCATION OF MONUMENT SIGN WITH CIVIL AND EXACT ELECTRICAL REQUIREMENTS WITH SIGN MANUFACTURER.
- 9 INSTALL SITE RECEPTACLES AT LOCATION SHOWN ON THE PLAN. ALL OUTDOOR RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT INTERRUPTER (GFI) PROTECTION AND / OR WEATHER PROOF (WP) PROTECTION.
- 10 PROVIDE JUNCTION BOX AT LOCATION SHOWN ON THE PLAN. INSTALL JUNCTION BOX IN WEATHER PROOF BOX.

KEY NOTES A1



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ELECTRICAL SITE PLAN

E1.0

Note

- 1. Readings shown are based on a total LLF as shown at grade. This references the extrapolated performance projections in the 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11)
- 2. Please refer to the "luminaire locations" table for mounting heights.
- 3. Product information can be obtained at www.Holophane.com or through your local agency.
- 4. Please note this analysis does not comply with minimal IESNA levels for parking and pedestrian safety. Acuity Brands will not be liable for any safety issues that may arise from the installation of this design.

[illegible]

CSA Capable Luminaire

This item is an **CSA Capable luminaire**, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an **CSA Certified solution for iLight™ or iPoint™ Wireless control networks marked by a shaded background***

To learn more about **CSA**, visit www.acuitybrands.com/csla.

*See reference here for details

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