

OVERALL SITE DATA

| | |
|------------------------------|-----------------------------|
| EXISTING ZONING | PI |
| PROPOSED ZONING | P-MIX |
| SITE AREA | 7.43 ACRES(323,609.14 S.F.) |
| TOTAL BUILDIG FOOTPRINT AREA | 53,809.85 S.F. |
| TOTAL BUILDING AREA | 135,469.56 S.F. |
| TOTAL PAVEMENT AREA | 122,703.36 S.F. |
| TOTAL OPEN AREA | 147,095.93 S.F. |
| FAR | .443 |
| IMPERVIOUS COVERAGE | 38% |

LOT 1 SITE DATA

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|---------------------|--------------------|
| LOT 1 AREA | 1.88 ACRES (S.F.) |
| TOTAL BUILDING AREA | 76,599.56 S.F. |

LOT 2 SITE DATA

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|-----------------------|--------------------|
| LOT 2 AREA | 2.36 ACRES (S.F.) |
| TOTAL BUILDING AREA | 45,870 S.F. |
| TOTAL NUMBER OF ROOMS | 86 |

LOT 3 SITE DATA

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| LOT 3 AREA | 0.83 ACRES (S.F.) |
| TOTAL BUILDING AREA | 5,000 S.F. |

LOT 4 SITE DATA

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| LOT 4 AREA | 1.13 ACRES (S.F.) |
| TOTAL BUILDING AREA | 3,000 S.F. |

LOT 5 SITE DATA

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|---------------------|--------------------|
| LOT 5 AREA | 0.67 ACRES (S.F.) |
| TOTAL BUILDING AREA | 5,000 S.F. |

PARKING DATA

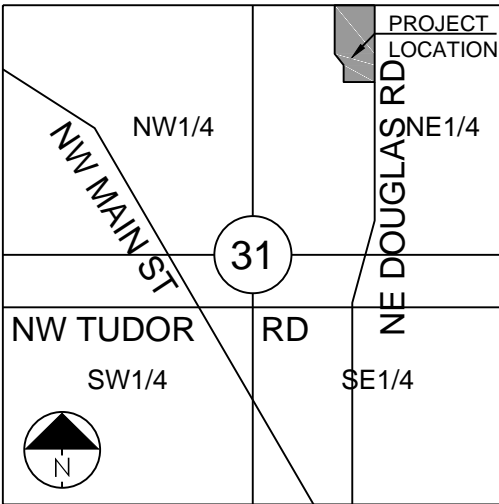
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|-------|---|------------------|
| | PARKING REQUIRED | PARKING PROPOSED |
| LOT 1 | 8 SPACES (PER FACILITY & 1 PER EMPLOYEE MAX SHIFT) | 8 SPACES |
| LOT 2 | 86 SPACES (1 PER ROOM) | 86 SPACES |
| LOT 3 | 25 SPACES (5 PER 1,000 S.F.) | 30 SPACES |
| LOT 4 | 42 SPACES (14 PER 1,000 S.F.) | 42 SPACES |
| LOT 5 | 25 SPACES (5 PER 1,000 S.F.) | 26 SPACES |

TOTAL PROPOSED SPACES
LOT 1 2018
LOTS 2-5 AS MARKET DEMANDS

192 SPACES

LEGAL DESCRIPTION

ALL OF LOT 2, MINOR PLAT ADDITION LOTS 1 & 2, A REPLAT OF LOT 1, LEE'S SUMMIT NORTH INDUSTRIAL PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY MISSOURI IN SECTION 31, TOWNSHIP 48, AND RANGE 31.



SECTION 31-48-31

LOCATION MAP
SCALE 1" = 2000'

NOTES:

- BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
- TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
- AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "U/E" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
- THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
- ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS.
- ALL PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
- ALL DRIVES AND PARKING TO BE ASPHALT UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
- ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
- BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
- ALL LIGHTS SHALL BE ARRANGED, LOCATED AND/OR SCREENED SO THAT LIGHT IS DIRECTED AWAY FROM AND NO LIGHT SOURCE IS VISIBLE FROM A PUBLIC STREET OR RESIDENTIAL USE.
- All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.
- IFC 903.3.7- Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
- IFC 507.5.1- Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- IFC 503.2.3- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- IFC 506.1-Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL
- 1037, and shall contain keys to gain necessary access as required by the fire code official.506.1.1 Locks.An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
- Please note that parking lot design must meet the UDO Article 12 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.

FLOOD NOTE:

According to the Flood Insurance Rate Map of FEMA panel 409 of 625 for map number 20095C0409G dated January 20, 2017 and panel 417 of 625 for map number 29095C0417G dated January 20, 2017, the project lies outside of any identified FEMA floodplain.

OWNER/DEVELOPER:

UNIVERSITY OF MASSACHUSETTS
FOND INC.
1 BEACON STREET 32ND FLOOR
BOSTON, MA 02108

DEVELOPER:

OAK VIEW CAPITAL PARTNERS, LLC
201 HAWKS RIDGE TRAIL
COLLEYVILLE, TX 76034
p 214-460-8442

OAKVIEW STORAGE
CONCEPT PLAN

NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

SCHLAGEL & ASSOCIATES, P.A.
Engineers•Planners•Surveyors•Landscape Architects
14920 West 107th Street • Lenexa, Kansas 66215
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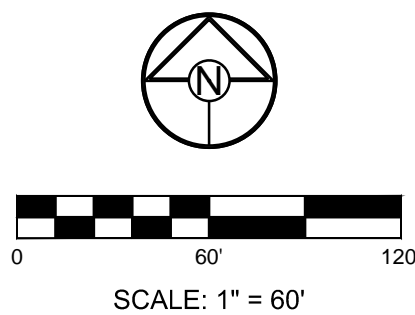
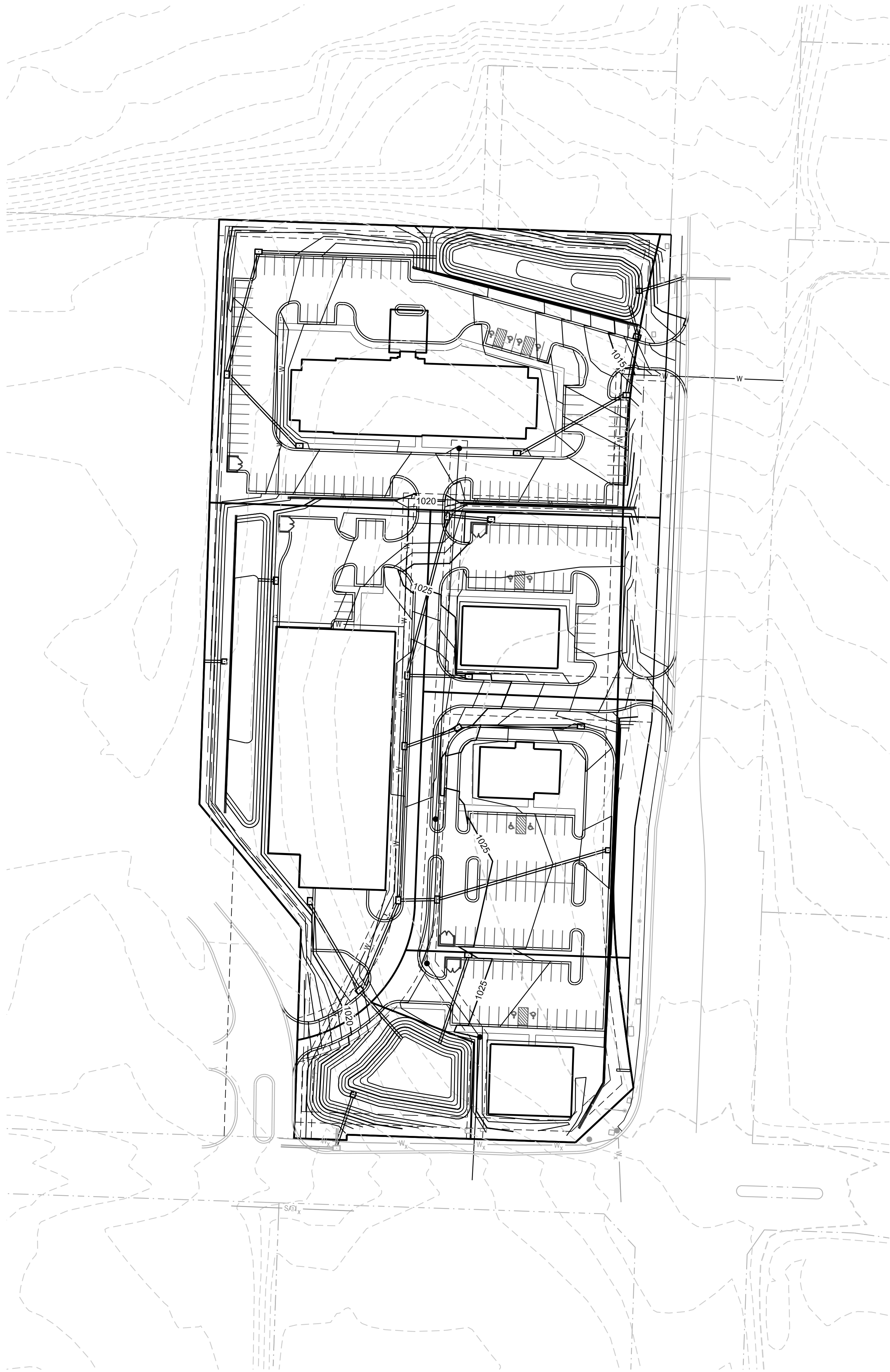
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| CHECKED BY: | ### |
| DATE PREPARED: | 9-22-17 |
| PROJ. NUMBER: | 17-135 |

SITE PLAN

SHEET

C1.0
OF



OAKVIEW STORAGE
CONCEPT PLAN
NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

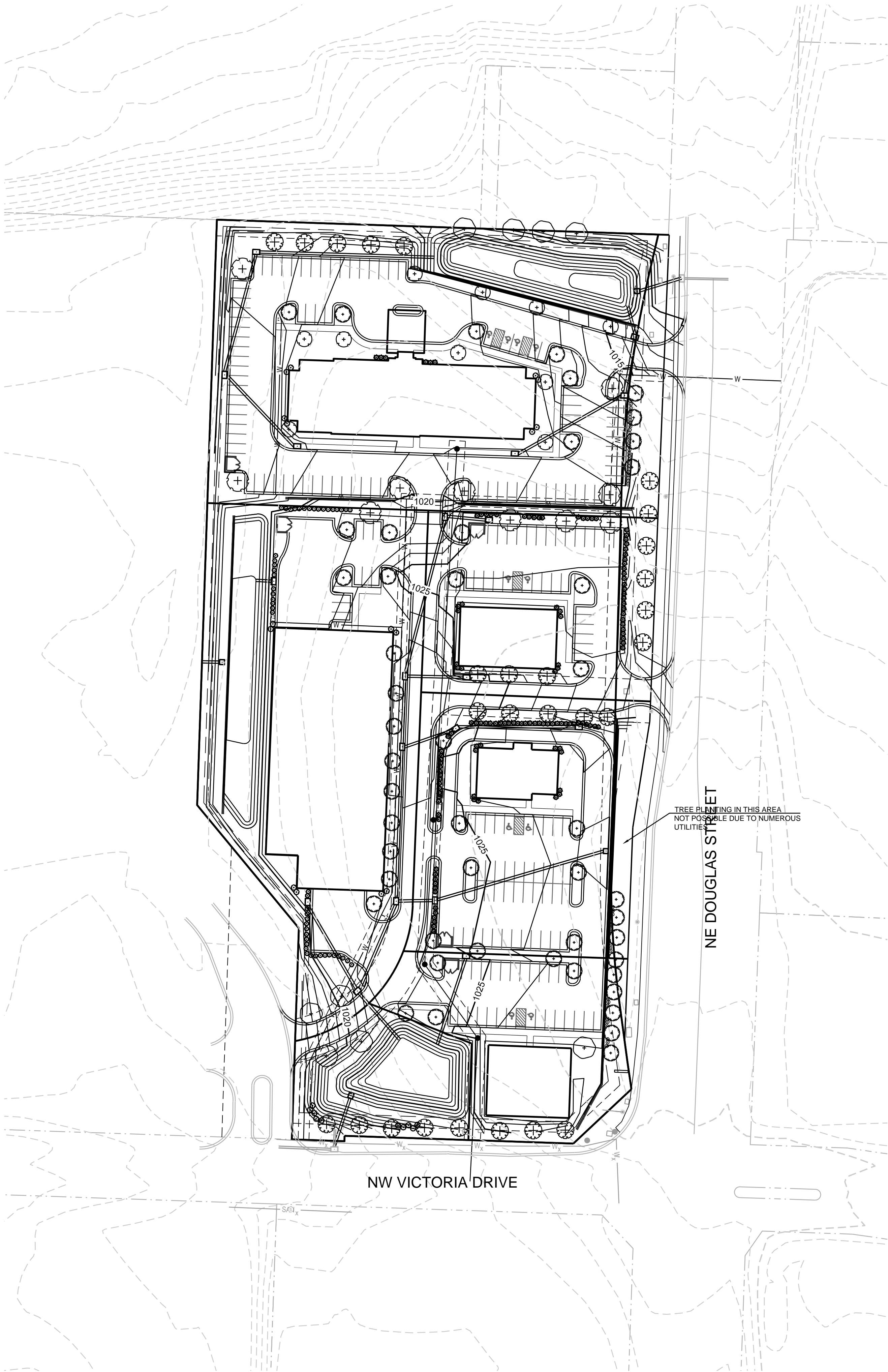
GRADING PLAN

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LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

| | |
|---|-------------------------------|
| DOUGLAS STREET TREES REQUIRED(1 PER 30')(795/30') | 27 TREES |
| DOUGLAS STREET TREES PROVIDED | 19 NEW TREES |
| VICTORIA DRIVE TREES REQUIRED(1 PER 30')(260/30') | 9 TREES |
| VICTORIA DRIVE TREES PROVIDED | 9 NEW TREES |
| LAKEWOOD WAY SHRUBS REQUIRED(1 PER 20')(795/20') | 40 SHRUBS |
| LAKEWOOD WAY SHRUBS PROVIDED | 45 SHRUBS(PARKING LOT SCREEN) |
| PRIVATE DRIVE SHRUBS REQUIRED(1 PER 20')(260/20') | 13 SHRUBS |
| PRIVATE DRIVE SHRUBS PROVIDED | 13 SHRUBS |

SITE LANDSCAPE REQUIRED

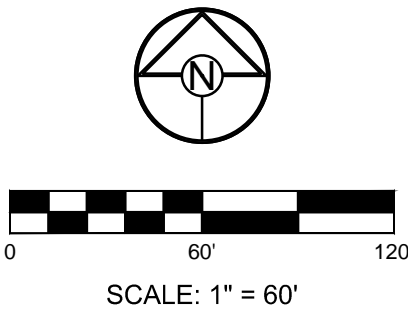
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|--|---------------------------------------|
| TREES REQUIRED (1 PER 5,000 S.F OF OPEN SPACE)(147,096/5000) | 30 TREES |
| TREES PROVIDED | 30 TREES |
| | 22 EXISTING TREES ALONG NORTH BNDY |
| | 32 NEW TREES |
| SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA)(305,355/5000X2) | 123 SHRUBS |
| SHRUBS PROVIDED | 123 SHRUBS(58 FOR PARKING LOT SCREEN) |

PARKING LOT LANDSCAPE

| | |
|--|---------------|
| LANDSCAPE AREA REQUIRED(5% OF PARKING AREA)(122,703X.05) | 6,135.15 S.F. |
| LANDSCAPE AREA PROVIDED | 7,097.67 S.F. |
| TREES REQUIRED(1 PER ISLAND) | 25 TREES |
| TREES PROVIDED | 25 TREES |
| SCREENING(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET) | 58 SHRUBS |

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT. PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUNDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE(4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB)FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOO THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.



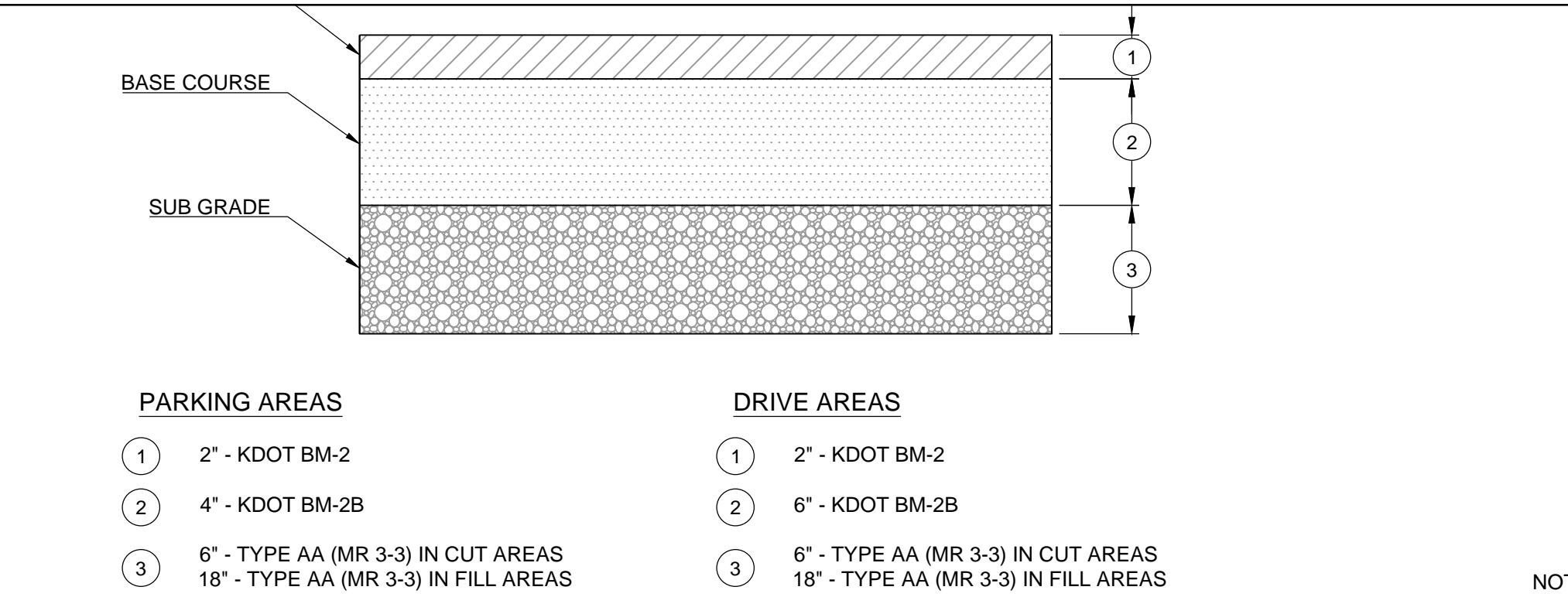
OAKVIEW STORAGE
CONCEPT PLAN
NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI

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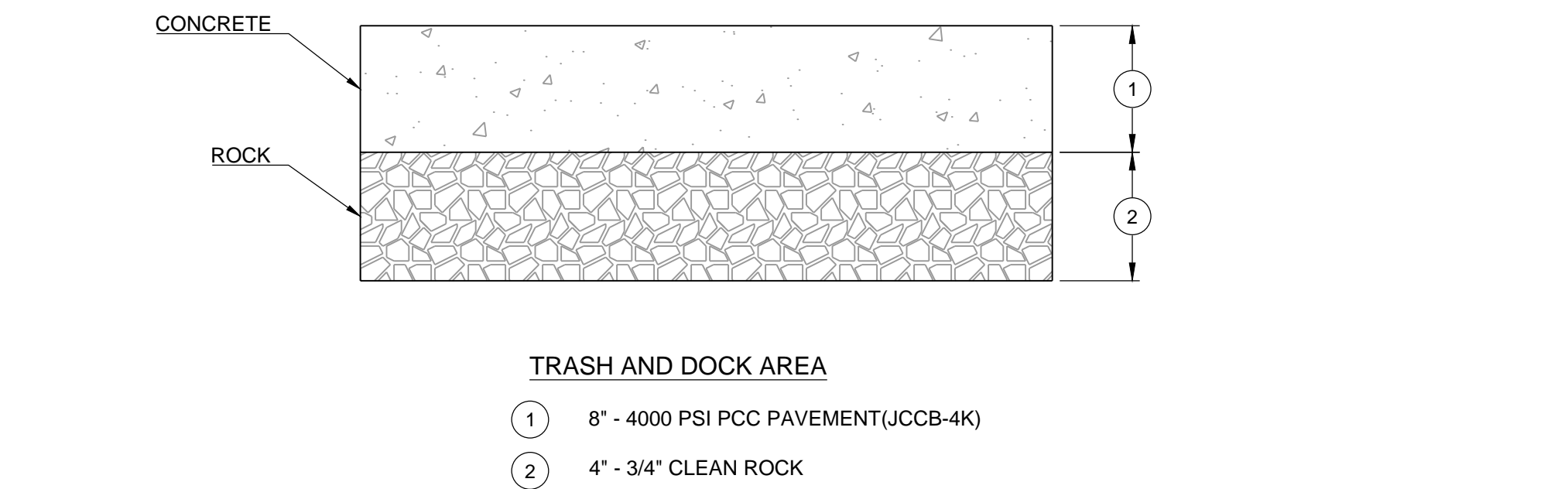
LANDSCAPE
PLAN

SHEET

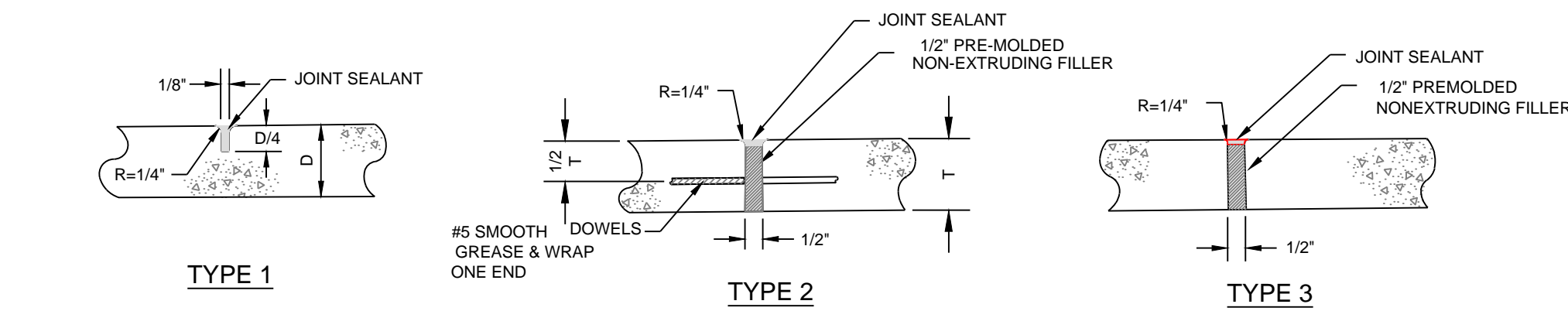
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7.0-1 TYPICAL - ASPHALT PAVEMENT SECTION NOT TO SCALE



7.0-2 TYPICAL - CONCRETE PAVEMENT SECTION NOT TO SCALE



- NOTES:**
- TYPE 1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.
 - TYPE 1 JOINTS SHALL BE SPACE TO EQUAL THE WIDTH OF THE SIDEWALK.
 - TYPE 2 JOINTS SHALL BE PLACED @ ALL P.C.'s, P.T.'s AND TRANSITIONS, AND WHERE NEW WALK TIES INTO EXISTING WALK.
 - SMOOTH BARS SHALL BE 24" LONG.
 - TYPE 3 JOINTS SHALL BE PLACED WHERE NEW CONCRETE ABUTS EXISTING CONCRETE AND IN AREAS WHERE DOWEL BARS ARE NOT REQUIRED BY THE ENGINEER.

7.0-3 TYPICAL - CONCRETE PAVEMENT JOINT DETAILS NOT TO SCALE

Cimarron LED



Applications

- Spaulding's most popular area site lighting fixture newly designed with the most advanced LED lighting technology to deliver energy efficiency, safety and security to meet today's outdoor site lighting needs.

Features

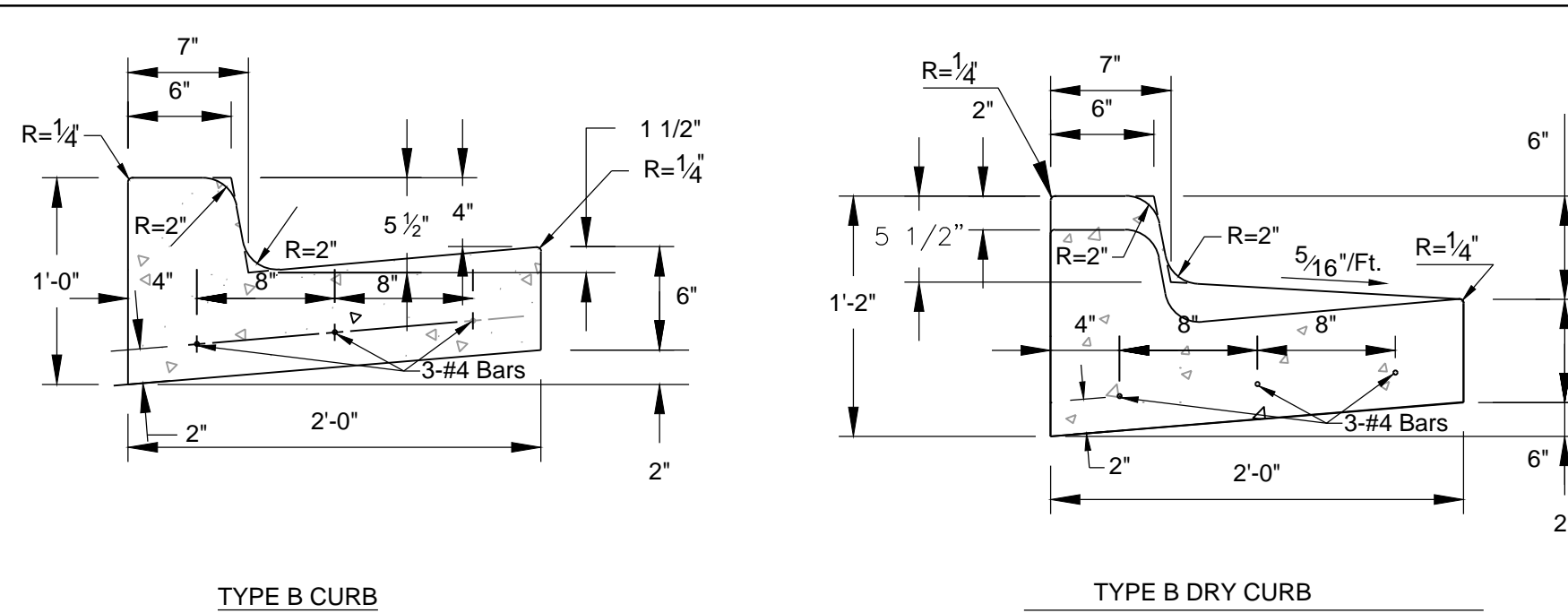
- Cimarron LED incorporates a unique vertically-finned die-cast housing that optimizes heat transfer to keep the fixture cool and maximize component life.
- Multiple LED configurations with over 26,000 lumens
- DesignLights Consortium (DLC) listed
- Design flexibility is optimized with 32 high brightness LED light engine configurations in IES type II, III, IV and V distributions enables mounting heights from 15ft to over 35ft.
- Maintenance free housing designed to IP65 and 60,000 hours life.
- Energy control option uses less than 50% of the energy of an equivalent HID at full brightness
- Internal self-monitoring sensor detects above-tolerance temperatures and automatically reduces heat load to preserve LED life.
- Mounting versatility with choice of traditional straight, architectural upswepit die-cast aluminum or mast arm fitter designs
- Optional vandal resistant guard provides additional protection when necessary
- 20KA surge protection with an end of life LED indicator

Certifications

- DesignLights Consortium (DLC) qualified
- UL1598A
- CSA
- Wet listed
- IDA

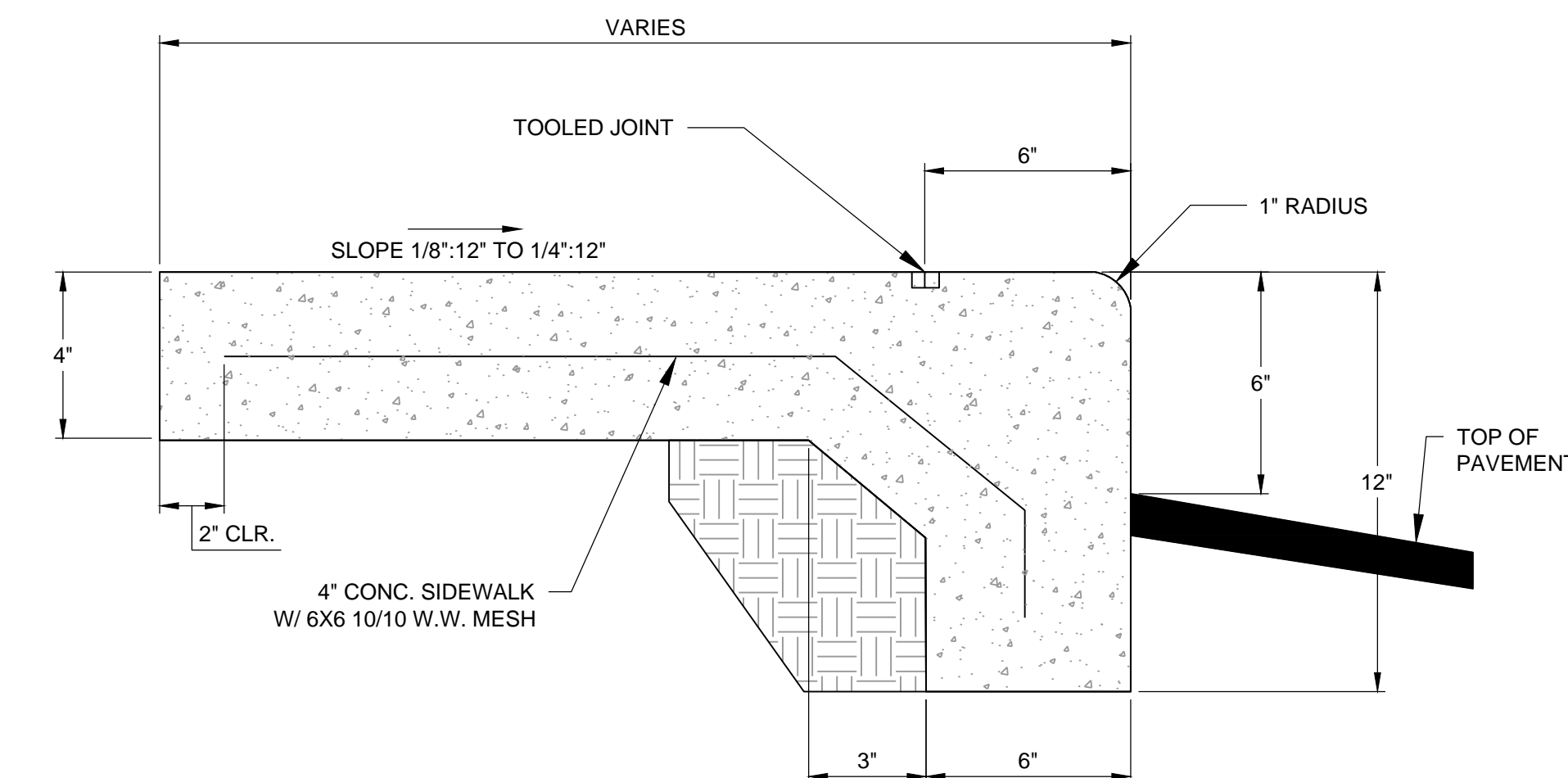
FIXTURES MOUNTED AT 25'
FIXTURE TO MATCH LOT 1 FIXTURES

2 TYPICAL PARKING LOT LIGHT NOT TO SCALE

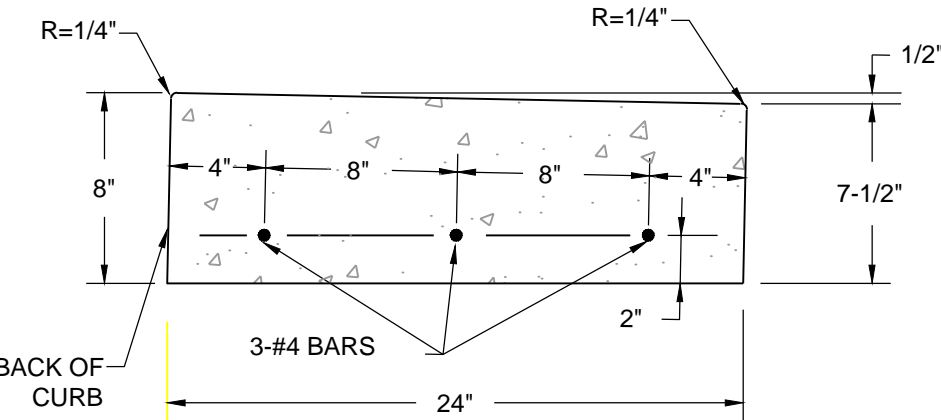


- NOTES:**
- Standard Specifications for State Road and Bridge Construction, Kansas Department of Transportation, latest edition, are incorporated except as otherwise noted.
 - 1/2" pre-molded expansion joints shall be placed at points of curvature, curb returns, curb inlets, and at 250' centers. Contraction joints shall be 2" deep, and placed at 15' intervals equally spaced between expansion joints. KCMMB-4K concrete will be used throughout unless noted otherwise.
 - Steel reinforcement may be omitted from curb & gutter placed on a minimum of 4" of asphaltic concrete.

7.0-5 TYPICAL CONCRETE CURB DETAILS NOT TO SCALE

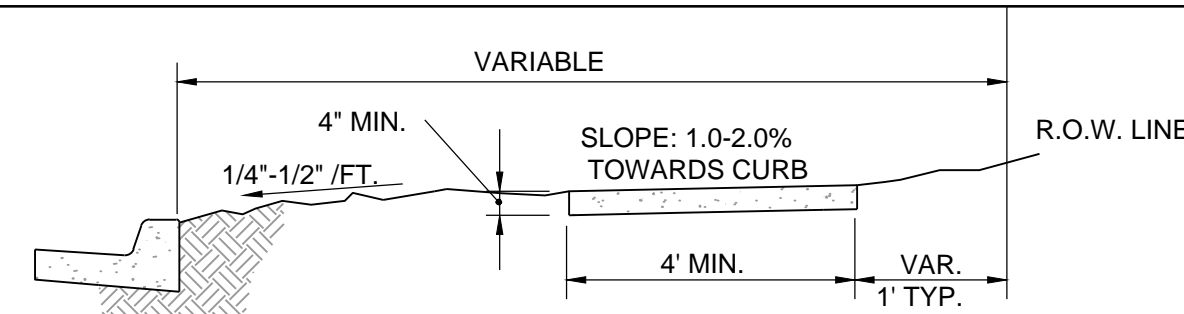


7.0-6 TYPICAL - INTERGRAL CONCRETE WALK/CURB DETAIL NOT TO SCALE



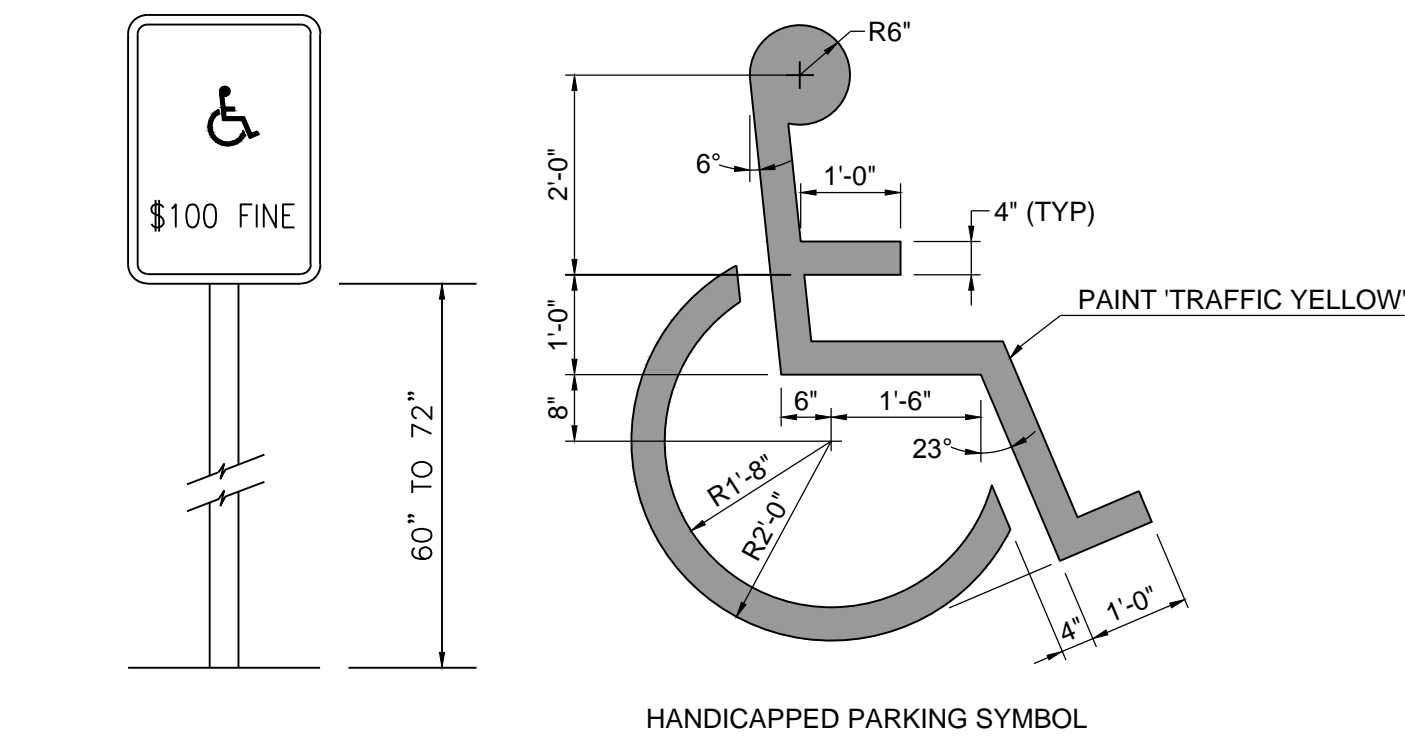
- NOTES:**
- Standard Specifications for State Road and Bridge Construction, Kansas Department of Transportation, latest edition, are incorporated except as otherwise noted.
 - KCMMB-4K Concrete
 - 1/2" pre-molded expansion joints shall be placed at points of curvature, curb returns, curb inlets, and at 250' centers. Contraction joints shall be 2" deep, and placed at 15' intervals equally spaced between expansion joints. KCMMB-4K concrete will be used throughout unless noted otherwise.
 - Steel reinforcement may be omitted from curb & gutter placed on a minimum of 4" of asphaltic concrete.

7.0-7 TYPICAL RIBBON CURB DETAIL NOT TO SCALE



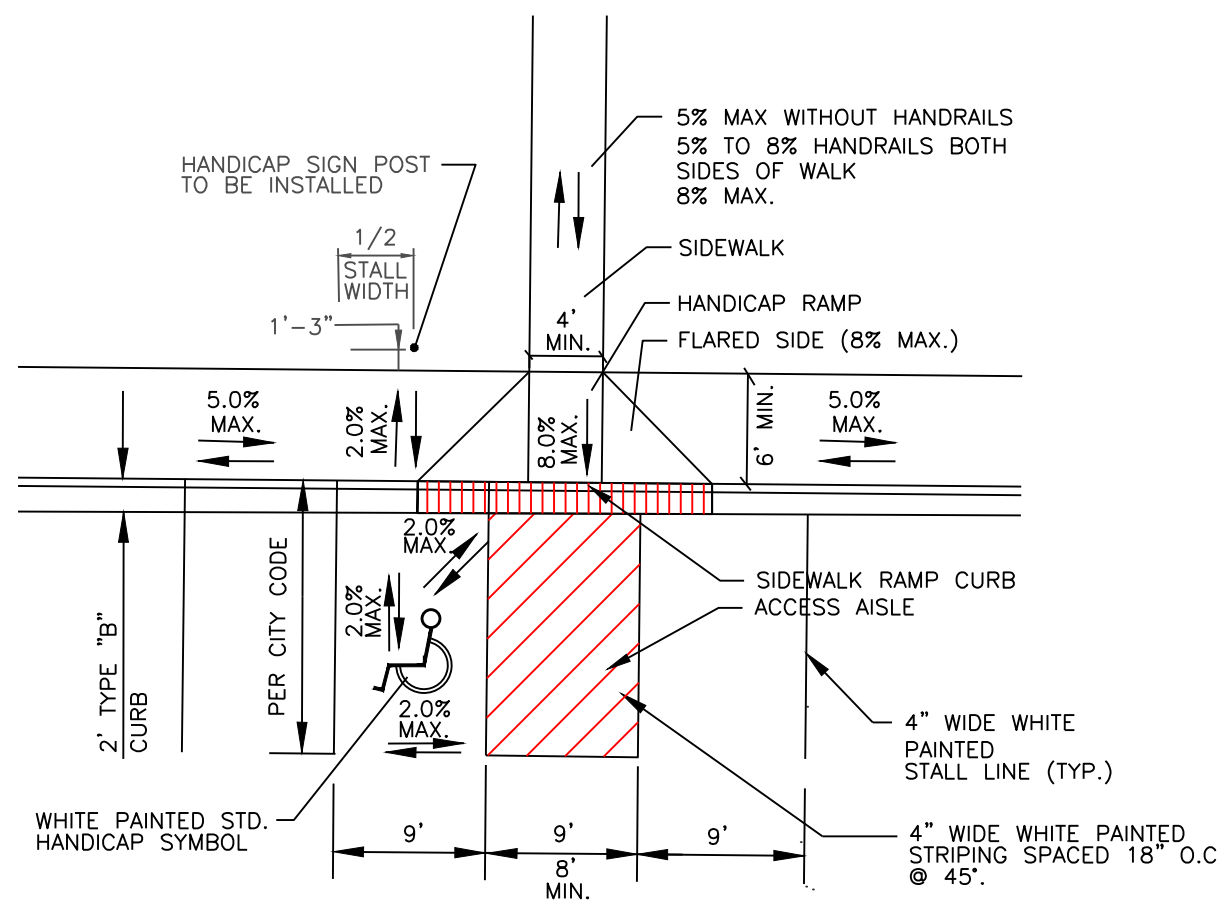
- NOTES:**
- JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE SIDEWALK AND TO THE DEPTHS INDICATED BELOW.
 - THE SIDEWALK SHALL BE MARKED OFF INTO SQUARE STONES BY CONTRACTION JOINTS. CONTRACTION JOINTS SHALL BE ONE-EIGHTH (1/8) INCH WIDE BY ONE (1) INCH DEEP AND MAY BE FORMED BY TOOLING OR BY USE OF A CONCRETE SAW.
 - EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. 3/4" JOINT FILLER WILL BE USED WHEN SPACING EXCEEDS 100'.
 - EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALK ABUTS OTHER STRUCTURES AND SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID SIDEWALK AND NOT MORE THAN 200 FEET APART ON STRAIGHT RUNS FOR MACHINE LAID SIDEWALKS.

7.0-9 TYPICAL CONCRETE SIDEWALK DETAIL NOT TO SCALE



NOTE: SYMBOL TO BE CENTERED IN PARKING SPACE AND ORIENTED AS ILLUSTRATED ON PLANS.

7.0-10 HANDICAP SYMBOL & SIGNAGE DETAILS NOT TO SCALE



7.0-11 TYPICAL VAN ACCESSIBLE SPACE AND ACCESS AISLE NOT TO SCALE

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Kansas State Certificates of Authority
#E-286 #LA-29 #LS-54



**OAKVIEW STORAGE
CONCEPT PLAN**

**NE DOUGLAS ROAD AND NW VICTORIA DRIVE
LEE'S SUMMIT, MISSOURI**

| REVISION DATE | DESCRIPTION |
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SITE DETAILS

SHEET

C3.0

PLAN REVIEW/BID SET