

UNPLATTED  
WYSE, RYAN  
DOC. #2016E0103591

MINOR PLAT  
PARK WEST, LOT 1  
INSTRUMENT NO. 12E0050792  
BK. 1141 PG. 49

N12°17'42"W  
9,570.52'

MO-DNR MONUMENT  
JA-74  
N: 298235.597  
E: 856321.461

**DEVELOPER:**  
Hunt Midwest Real Estate Development, Inc.  
8300 NE Underground Drive  
Kansas City, MO 64161  
816-455-2500

UNPLATTED  
HUNT MIDWEST REAL ESTATE  
DEVELOPMENT, INC.  
BK.5319-PG.31

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

EAGLE CREEK—FIFTEENTH PLAT, LOTS 661 THRU 707, INCLUSIVE, AND TRACTS O, P AND Q

**EASEMENT DEDICATION:**

An easement is hereby granted to City of Lee's Summit, Missouri, to locate, construct and maintain or to authorize the location, construction and maintenance of poles, wires, anchors, conduits, and/or structures for water, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plot as "Utility Easement" (U.E.), or within any street or thoroughfare dedicated to public use on this plot. The grantor, on behalf of himself, his heirs, his assigns and successors in interest, hereby waives, to the fullest extent allowed by law including, without limitation, Section 527.188 RSMo. (2006) any right to request restoration of rights previously transferred and vacation of the easements herein granted.

**STREET DEDICATION:**

The roads and streets shown on this plat and not heretofore dedicated to public use as thoroughfares, are hereby so dedicated.

**BUILDING LINES:**

Building lines or setback lines are hereby established as shown on the accompanying plat and no buildings or portion thereof shall be constructed between this line and the street right-of-way line.

**FLOODPLAIN:**

According to "Flood Insurance Rate Map" Community Panel No. 29095C0418G, revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies partially within "Zone AE" (Base Flood Elevations determined) and partially within "Zone X" (Areas determined to be outside the 0.2% annual chance floodplain).

OIL AND GAS WELLS:

There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri", Edward Alton May, Jr., P.E. 1995.

RESTRICTED ACCESS:

Access to S.W. Ladderback Drive is restricted (collector street).

**COMMON AREA:** Tracts O, P and Q (12.91 Acres)

TRACT O, P and Q are hereby reserved as Common Area and shall be maintained and owned by the Eagle Creek Homes Association.

Individual lot owner(s) shall not change or obstruct the drainage flow lines or paths on the lots as shown on the Master Drainage Plan, unless specific application is made and approved by the City Engineer.

IN WITNESS WHEREOF:

HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC., a Missouri corporation licensed to do business in the State of Missouri, has caused these presents to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC.  
a Missouri Corporation

-----  
Brenner Holland, Vice President/General Manager

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

Be it remembered that on this \_\_\_\_ day of \_\_\_\_\_, 2017, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Brenner Holland to me personally known, who being by me duly sworn, did say that he is Vice President and General Manager of Hunt Midwest Real Estate Development, Inc., a Missouri corporation and that said instrument was signed in behalf of said corporation and that said Brenner Holland, acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF:

I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

My Commission Expires: \_\_\_\_\_

-----  
Notary Public

**PROPERTY DESCRIPTION:**

A tract of land in the Northwest Quarter of Section 23, Township 47 North, Range 32 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Beginning at the Northwest corner of said Northwest Quarter; thence South 87°35'47" East, along the North line of said Northwest Quarter, 1,301.52 feet; thence South 02°24'13" West, 105.00 feet; thence South 42°35'47" East, 35.36 feet; thence South 02°24'13" West, 50.00 feet; thence South 47°24'13" West, 35.36 feet; thence South 02°24'13" West, 134.41 feet; thence Southerly, along a curve to the left, being tangent with the last described course with a radius of 800.00 feet, a central angle of 01°54'39", and an arc distance of 26.68 feet to the Northeast corner of said EAGLE CREEK—FOURTEENTH PLAT; thence North 89°30'27" West, along the North line of said EAGLE CREEK—FOURTEENTH PLAT, 75.00 feet; thence South 71°15'03" West, continuing along said North line, 107.13 feet; thence South 51°50'15" West, continuing along said North line, 234.72 feet; thence South 46°51'05" West, continuing along said North line, 149.10 feet; thence South 44°22'31" West, continuing along said North line, 282.93 feet; thence South 40°22'50" West, continuing along said North line, 643.07 feet; thence South 52°02'51" West, continuing along said North line, 40.24 feet; thence North 87°23'50" West, continuing along said North line, 233.69 feet to a point on the West line of said Northwest Quarter; thence North 02°36'10" East, along said West line, 1,408.84 feet to the Point of Beginning. Containing 1,180,138 square feet or 27.09 acres, more or less.

**SURVEYORS NOTES:**

1. Property information referencing this survey was taken from the Commitment for Title Insurance Report, issued by Kansas City Title, File No. KCT-203763, Effective December 14, 2016 at 8:00 a.m.
2. Bearings used herein are based on the Missouri State Plane Coordinate System, NAD 1983, West Zone using Missouri Department of Natural Resources Monument "JA-74" with a grid factor of 0.9998959. All Coordinates shown are in meters.



Jason S. Roudebush, MO. PLS 2002014092  
February 15, 2017  
jroudebush@olssonassociates.com

<b>Date of Survey:</b>	
<b>01-17-17</b>	
<b>Revisions:</b>	
<b>02-15-17</b>	
<b>Surveyed By:</b>	<b>??</b>
<b>Reviewed By:</b>	<b>JAMB</b>
<b>Drafted By:</b>	<b>NW</b>
<b>Project No.: 016-3432</b>	

**OLSSON<sup>®</sup>**  
**ASSOCIATES**

**Sheet No.:**  
**1 of 3**

Location: F:\2016\3001-3500\016-3432\Lutjen\Plans\Plat\016-3432 EAGLE CREEK - 15TH PLAT.dwg

FINAL PLAT OF  
**EAGLE CREEK-FIFTEENTH PLAT**  
(Lots 661 thru 707 Inclusive, and Tracts O, P and Q)  
NW1/4, SEC. 23 - Twp. 47 N. - Rge. 32 W.  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

POINT OF BEGINNING  
NW. COR., NW. 1/4,  
SEC. 23, T47N, R32W  
FOUND 3.25" ALUMINUM CAP

TRACT Q  
458,858 sq. ft.  
10.53 Acres

96,711 sq. ft.  
2.22 Acres  
TRACT O

**RESTRICTED ACCESS:**  
Access to S.W. Ladderback Drive is restricted (collector street).

Individual lot owner(s) shall not change or obstruct the drainage flow lines or paths on the lots as shown on the Master Drainage Plan, unless specific application is made and approved by the City Engineer.

This is to certify that the within plat of **EAGLE CREEK-FIFTEENTH PLAT, LOTS 661 THRU 707, INCLUSIVE, AND TRACTS O, P AND Q**, was submitted to and duly approved by the Mayor and City Council of the City of Lee's Summit, Missouri this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by Ordinance No. \_\_\_\_\_.

<b>APPROVED:</b>	George M. Binger III, P.E. City Engineer	Date _____
<b>APPROVED:</b>	Robert G. McKay, AICP Director of Planning & Special Projects	Date _____
<b>APPROVED:</b>	Randall L. Rhoads Mayor	Date _____
<b>APPROVED:</b>	Fred DeMora Planning Commission Secretary	Date _____
<b>APPROVED:</b>	Denise R. Chisum, MMC City Clerk	Date _____
<b>APPROVED:</b>	Vincent E. Brice Jackson County GIS	Date _____

This plat and survey of **EAGLE CREEK—FIFTEENTH PLAT, LOTS 661 THRU 707, INCLUSIVE, AND TRACTS O, P AND Q**, were executed by Olsson Associates, 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of EAGLE CREEK—FIFTEENTH PLAT, LOTS 661 THRU 707, INCLUSIVE, AND TRACTS Q, P AND Q, subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



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February 15, 2017  
jroudebush@olssonassociates.com

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01-17-17	
<b>Revisions:</b>	
02-15-17	
<b>Surveyed By:</b>	??
<b>Reviewed By:</b>	JAMB
<b>Drafted By:</b>	NW
<b>Project No.: 016-3432</b>	

**OLSSON<sup>®</sup>**  
ASSOCIATES

**Sheet No.:**  
**2 of 3**

Location: F:\2016\3001-3500\016-3432\Luten\Plans\Plat\016-3432 EAGLE CREEK - 15TH PLAT.dwg

N02°36'10"E 1242.00' N02°36'10"E 1,408.84'  
W. LINE, NW. 1/4, SEC. 23, T47N, R32W

MATCH LINE - SHEET 2  
MATCH LINE - SHEET 3



SCALE  
0' 50' 100'  
1"=50' HORIZ.

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<u>Setback</u>		<u>SURVEY MARKERS</u>
E. STORM DRAINAGE EASEMENT	◆ NO DNR SURVEY MONUMENT	
E. SANITARY SEWER EASEMENT	◆ FOUND SECTION CORNER	
E. UTILITY EASEMENT	(MONUMENTATION AS NOTED)	
E. WATER EASEMENT	○ FOUND PROPERTY CORNER	
E. SURFACE DRAINAGE EASEMENT	(MONUMENTATION AS NOTED)	
<u>SETBACKS</u>	■ SET 5/8" IRON REBAR WITH	
L. BUILDING SETBACK	ALUMINUM CAP TO BE SET UPON	
	COMPLETION OF CONSTRUCTION.	
	● SET 1/2" IRON BAR WITH PLASTIC	
	CAP TO BE SET UPON COMPLETION	
	OF CONSTRUCTION. (1/2") BARS	
	WITH CAPS WILL ALSO BE SET	
	ON ALL LOT AND TRACT CORNERS)	
<u>MISC.</u>		
R. RADIUS		
R. ARC DISTANCE		
R. DELTA / CENTRAL ANGLE		
R. INITIAL TANGENT BEARING		
R. CENTERLINE		
R. RIGHT OF WAY		
R. BEST MANAGEMENT PRACTICE		

### PLAN LEGEND

**SURVEY MARKERS**

- MO DNR SURVEY MONUMENT FOUND SECTION CORNER (MONUMENTATION AS NOTED)
- FOUND PROPERTY CORNER (MONUMENTATION AS NOTED)
- SET 5/8" IRON REBAR WITH ALUMINUM CAP TO BE SET UPON COMPLETION OF CONSTRUCTION.
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(Lots 661 thru 707 Inclusive, and Tracts O, P and Q)  
NW1/4, SEC. 23 - Twp. 47 N. - Rge. 32 W.  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PLAN LEGEND

EASEMENTS

D.E. STORM DRAINAGE EASEMENT  
S.E. SANITARY SEWER EASEMENT  
U.E. UTILITY EASEMENT  
W.E. WATER EASEMENT  
S.D.E. SURFACE DRAINAGE EASEMENT

SETBACKS

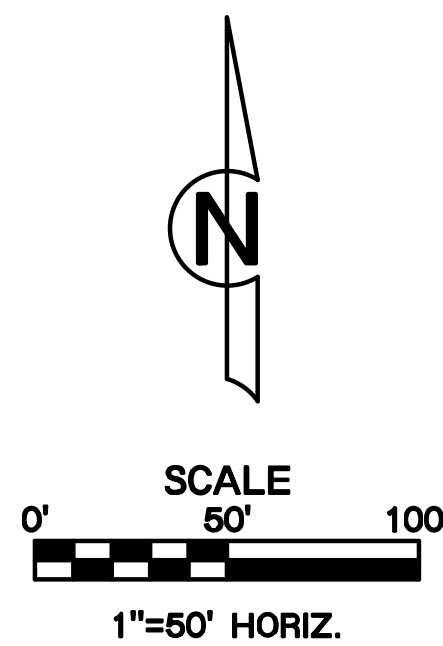
B.L. BUILDING SETBACK

MISC.

R RADIUS  
L ARC DISTANCE  
D DELTA / CENTRAL ANGLE  
I.T.B. INITIAL TANGENT BEARING  
C/L CENTERLINE  
R/W RIGHT OF WAY  
B.M.P. BEST MANAGEMENT PRACTICE

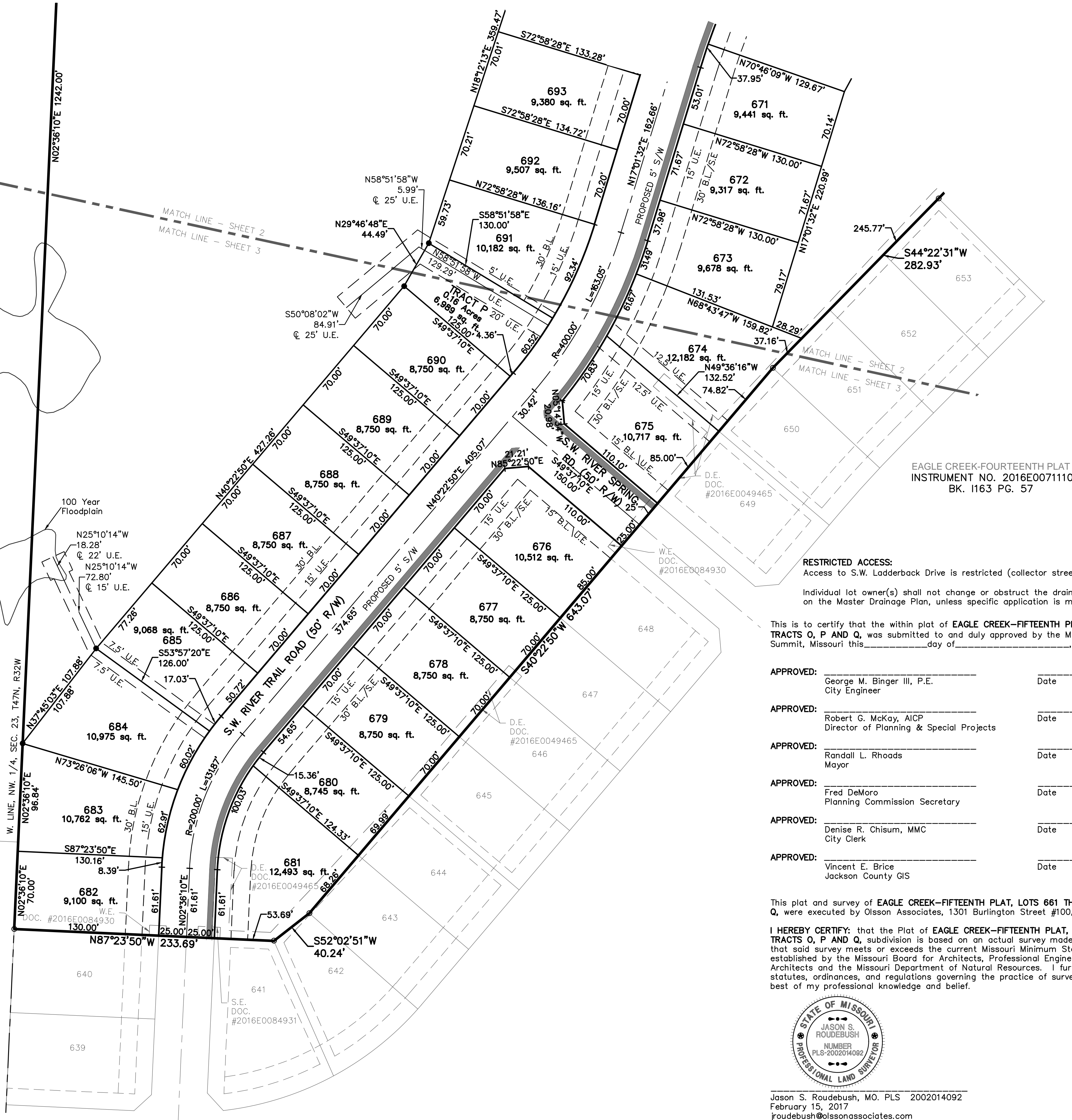
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PARK WEST, LOT 1  
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**OLSSON**  
ASSOCIATES

Sheet No.:  
3 of 3