

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND LOCATED AT 501 NE COLBERN ROAD , IN DISTRICT CP-2, PROPOSED ADAMS TOYOTA, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, NO. 5209, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #2014-011 submitted by Adams Family Investments, LLLP requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 501 NE Colbern Road was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the subject property was zoned District CP-2 by the passage of the Unified Development Ordinance, Ordinance No. 5209, on September 6, 2001, which reclassified zoning districts citywide, effective November 1, 2001; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on March 25, 2014, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on May 1, 2014, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

A subdivision of land in the southwest quarter of Section 29, Township 48 North, Range 31 West, in the City of Lee's Summit, Jackson County, Missouri and containing 240,538 square feet or 5,5331 acres more or less.

SECTION 2. That the following conditions of approval apply:

1. The proposed aluminum composite material shall be approved as a conditional material and shall conform to the percentages, as shown on the preliminary development plan dated April 17, 2014

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped April 17, 2014 appended hereto and made a part hereof.

SECTION 4. In granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

SECTION 5. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 1st day of May, 2014.


Mayor Randall L. Rhoads

ATTEST:


City Clerk Denise R. Chisum

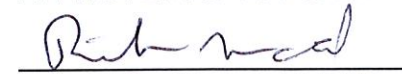
APPROVED by the Mayor of said city this 5th day of May, 2014.


Mayor Randall L. Rhoads

ATTEST:


City Clerk Denise R. Chisum

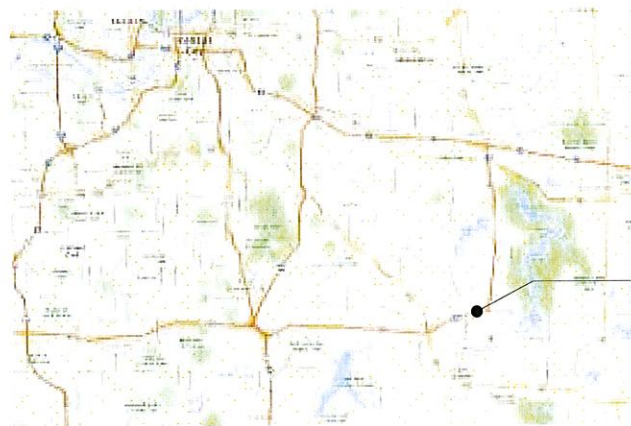
APPROVED AS TO FORM:


Acting City Attorney Rich Wood

ADAMS TOYOTA EXTERIOR AND INTERIOR RENOVATION

Preliminary Development Plan: PL2014011
February 28, 2014
Revised April 17, 2014

DRAWING LIST
COVER SHEET AND VICINITY PLAN
EXISTING SITE PLAN
NEW SITE PLAN
FLOOR PLAN
EAST ELEVATIONS
NORTH ELEVATIONS
WEST ELEVATIONS
SOUTH ELEVATIONS
PERSPECTIVES
PERSPECTIVES
SHOWROOM PLAN AND REFLECTED CEILING PLAN
WEST SHOWROOM ELEVATIONS
SOUTH SHOWROOM ELEVATIONS
SHOWROOM PERSPECTIVES
SHOWROOM FINISHES



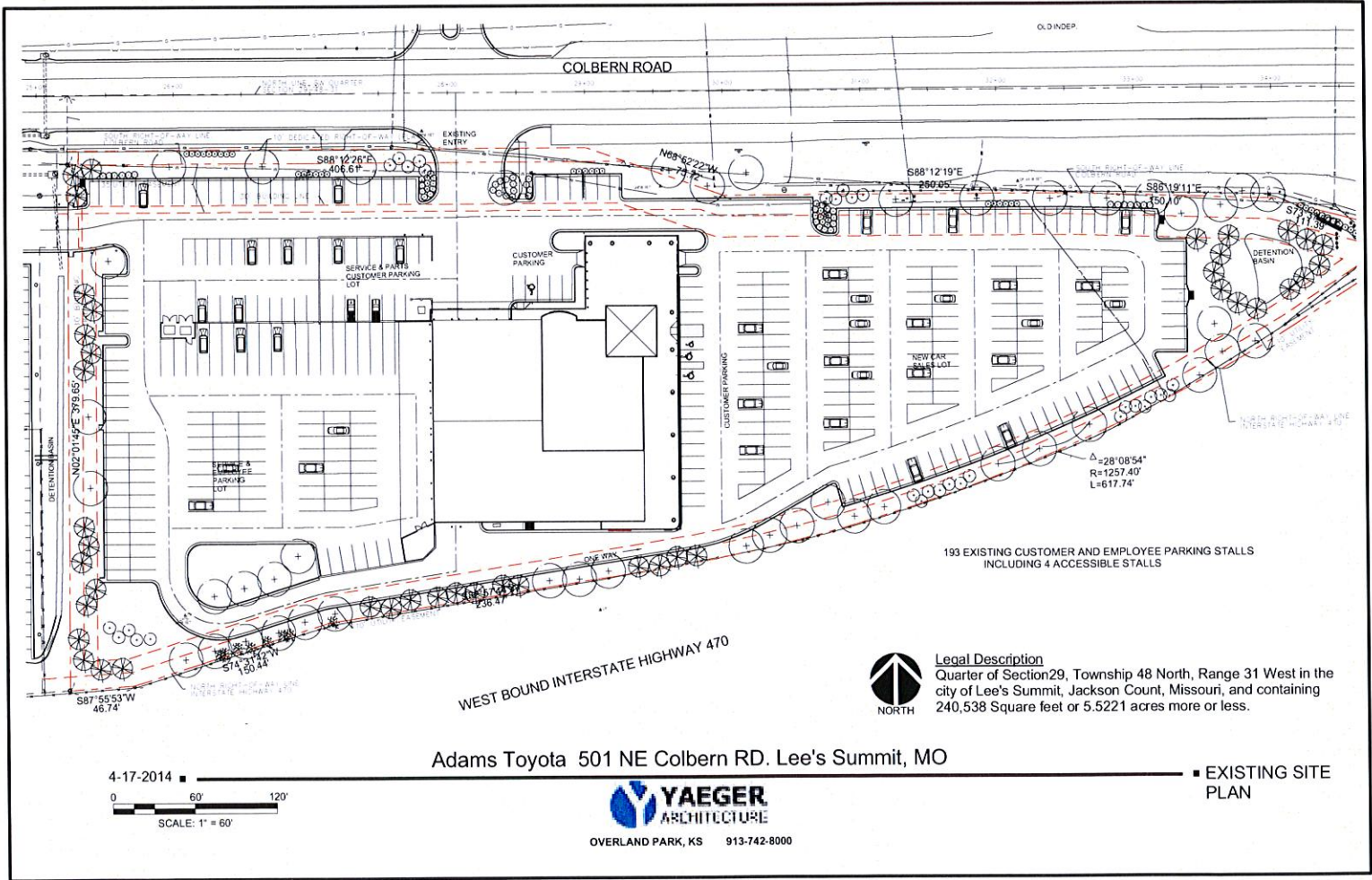
Adams Toyota
501 NE Colbern Road
Lee's Summit, MO

4-17-2014 ■

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■ COVERSHEET

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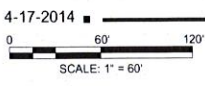


193 EXISTING CUSTOMER AND EMPLOYEE PARKING STALLS INCLUDING 4 ACCESSIBLE STALLS

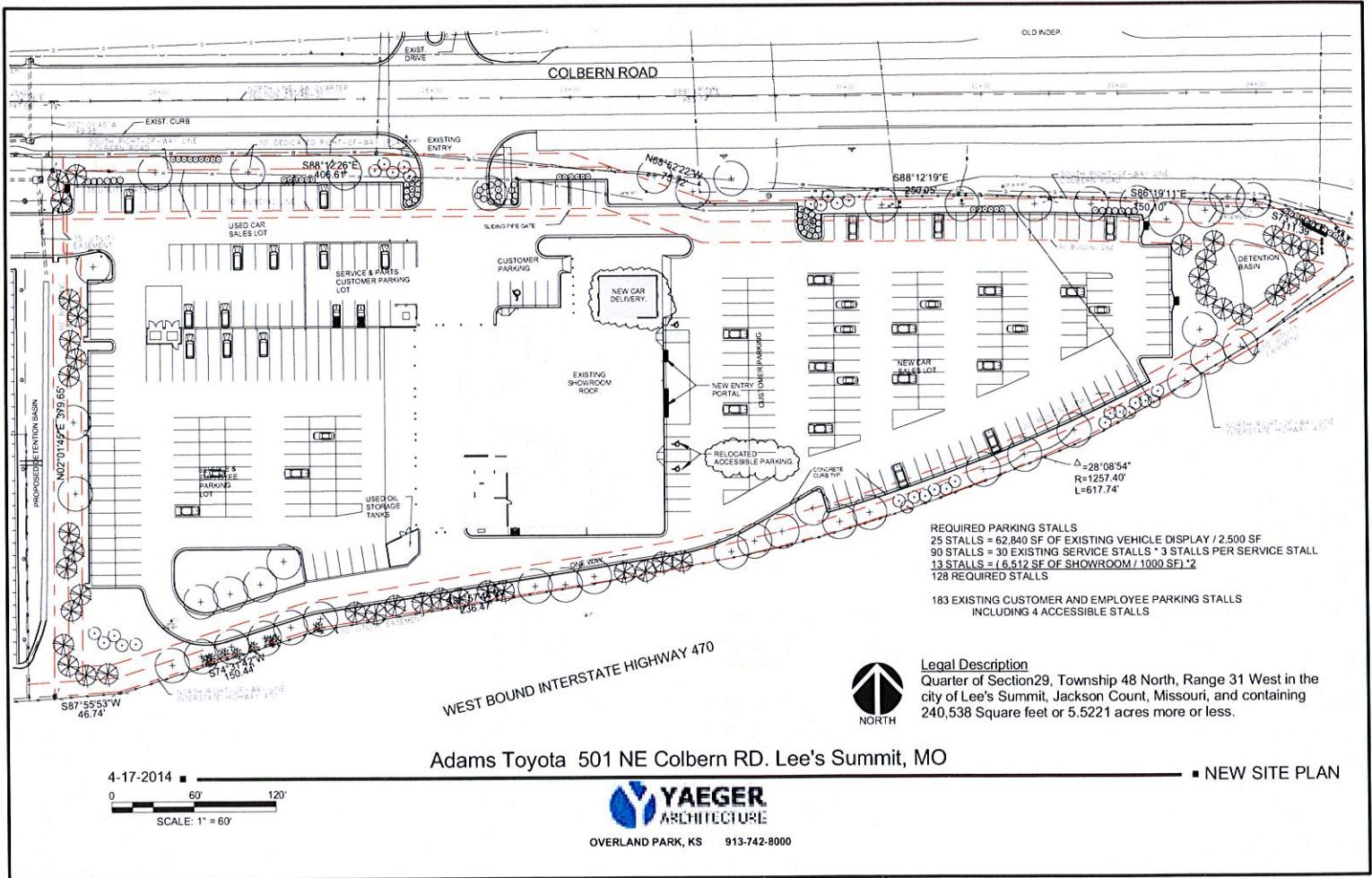


Legal Description
 Quarter of Section 29, Township 48 North, Range 31 West in the city of Lee's Summit, Jackson County, Missouri, and containing 240,538 Square feet or 5.5221 acres more or less.

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EXISTING SITE PLAN



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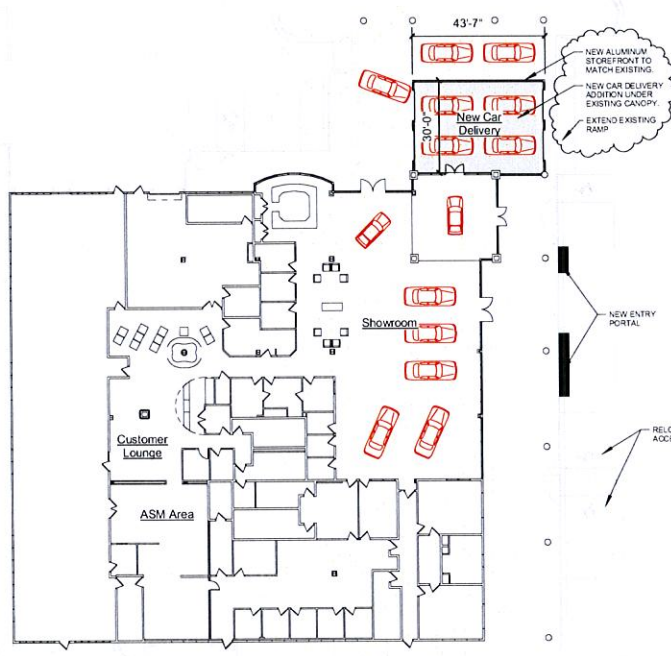
NEW SITE PLAN

Legal Description
 Quarter of Section 29, Township 48 North, Range 31 West in the city of Lee's Summit, Jackson County, Missouri, and containing 240,538 Square feet or 5.5221 acres more or less.

REQUIRED PARKING STALLS
 25 STALLS = 62,840 SF OF EXISTING VEHICLE DISPLAY / 2,500 SF
 90 STALLS = 30 EXISTING SERVICE STALLS * 3 STALLS PER SERVICE STALL
 13 STALLS = (6,512 SF OF SHOWROOM / 1000 SF) * 2
 128 REQUIRED STALLS
 183 EXISTING CUSTOMER AND EMPLOYEE PARKING STALLS
 INCLUDING 4 ACCESSIBLE STALLS

4-17-2014
 0 60' 120'
 SCALE: 1" = 60'

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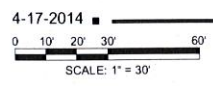


EXISTING 1ST FLOOR AREA = 22,860 SF
 EXISTING BASEMENT AREA = 22,545 SF
 NEW CAR DELIVERY ADDITION = 1,272 SF
Total SF = 46,677 SF

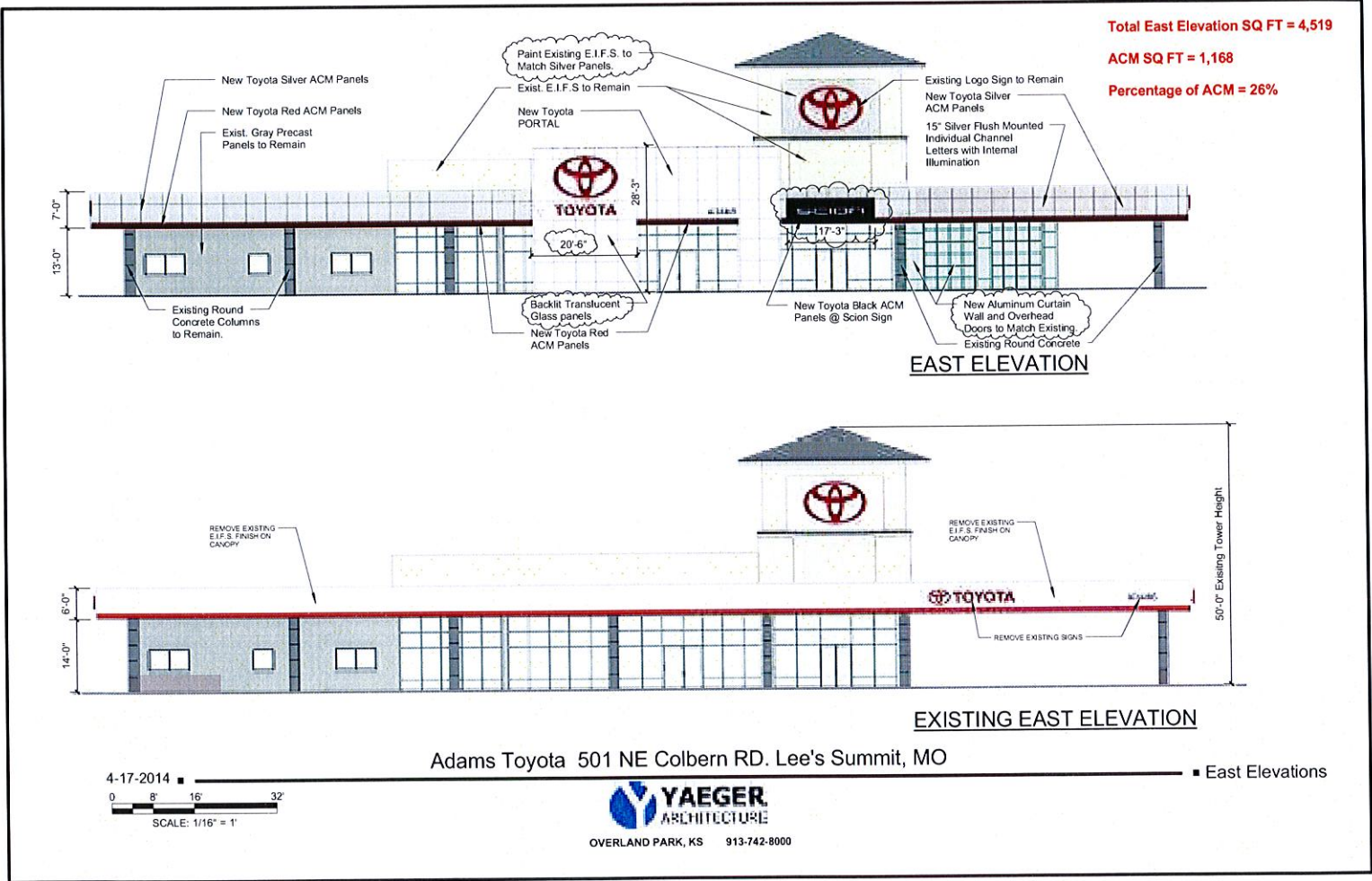
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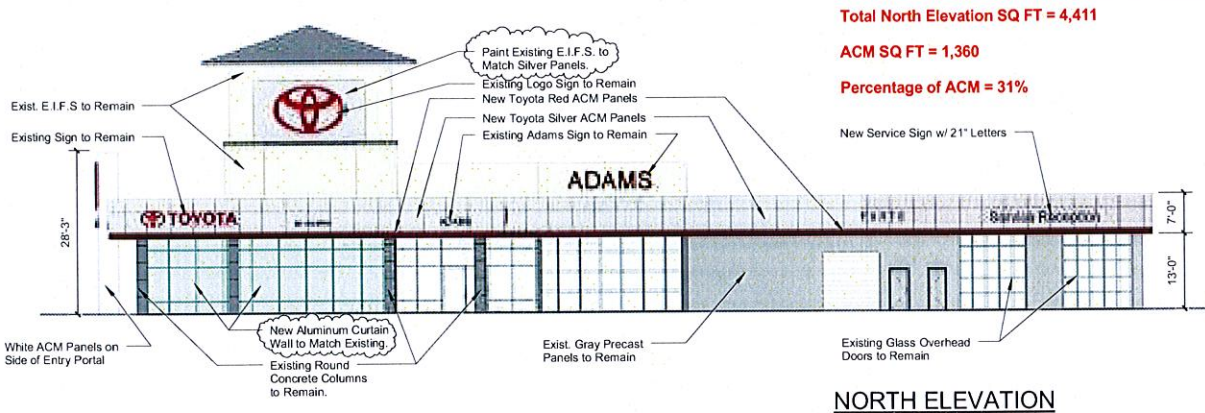


■ Floor Plan



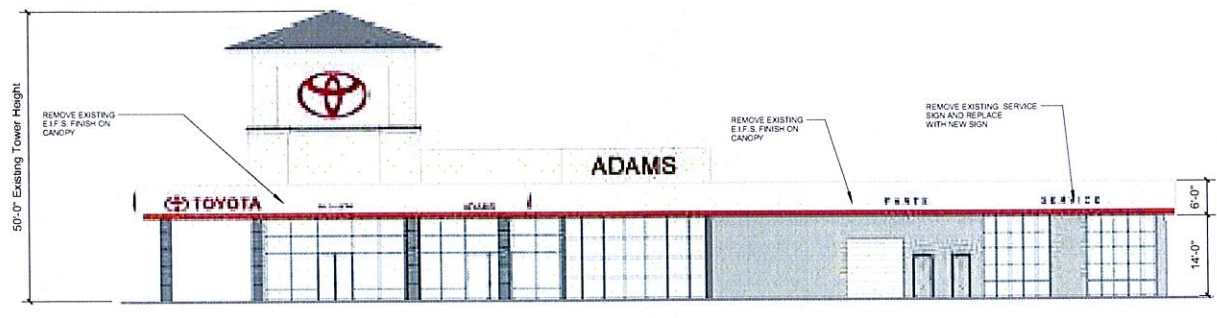
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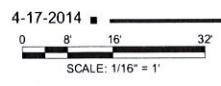
Total North Elevation SQ FT = 4,411
ACM SQ FT = 1,360
Percentage of ACM = 31%

NORTH ELEVATION



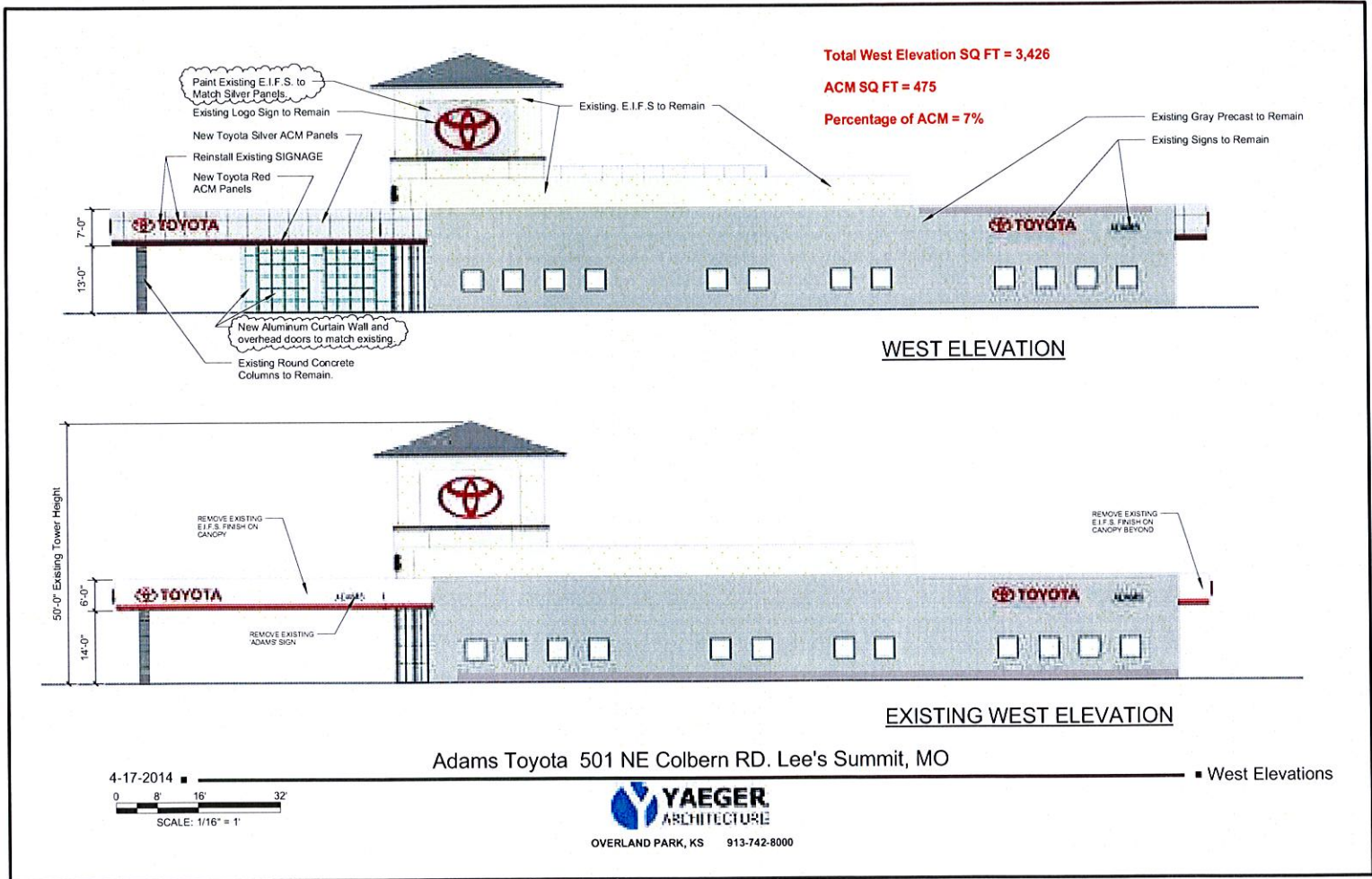
EXISTING NORTH ELEVATION

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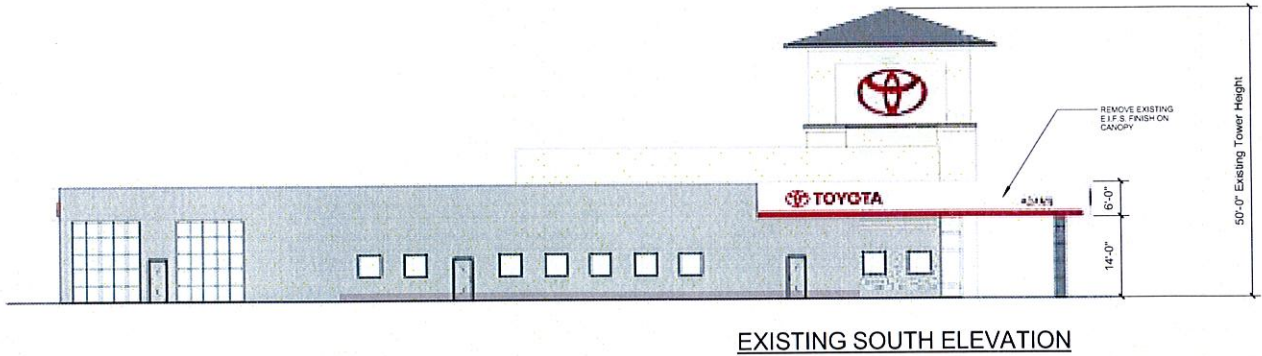
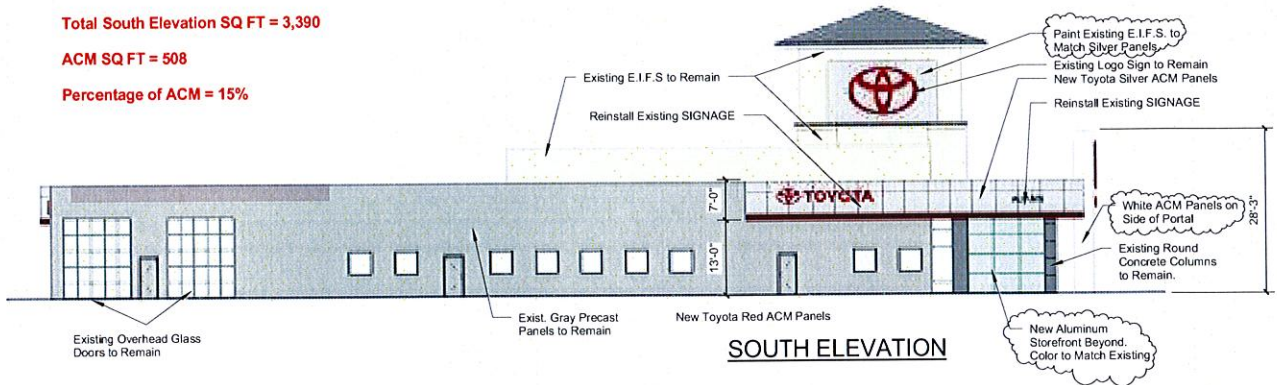
■ North Elevations



Total South Elevation SQ FT = 3,390

ACM SQ FT = 508

Percentage of ACM = 15%



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4-17-2014
0 8' 16' 32'
SCALE: 1/16" = 1'

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■ SOUTH
ELEVATIONS

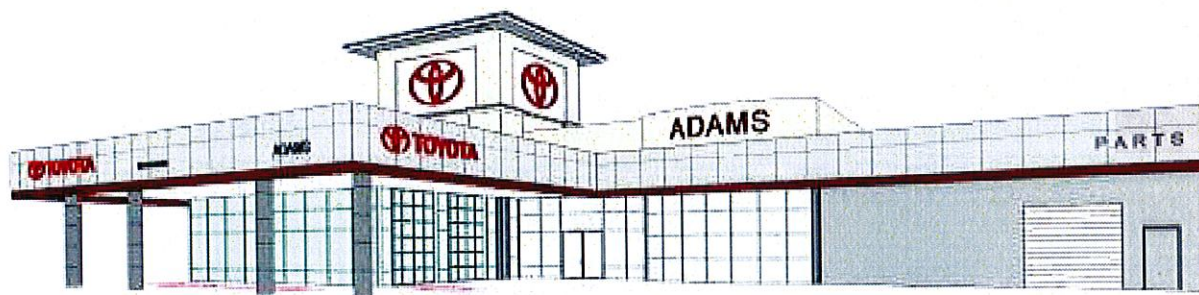


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■ Perspectives

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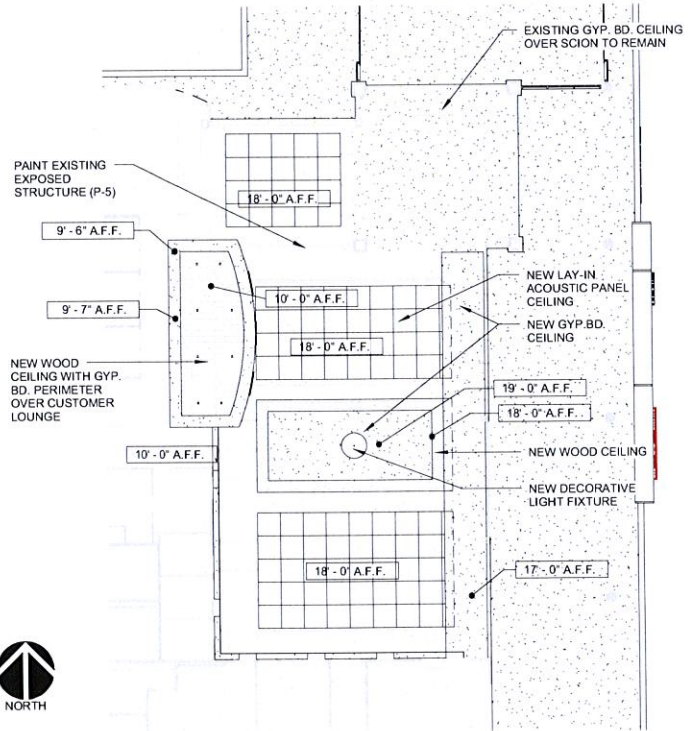
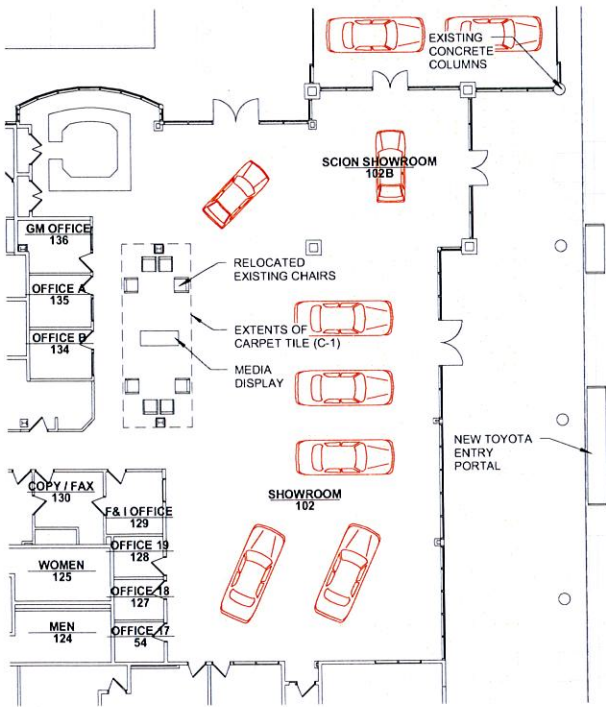


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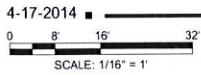
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■ Perspectives

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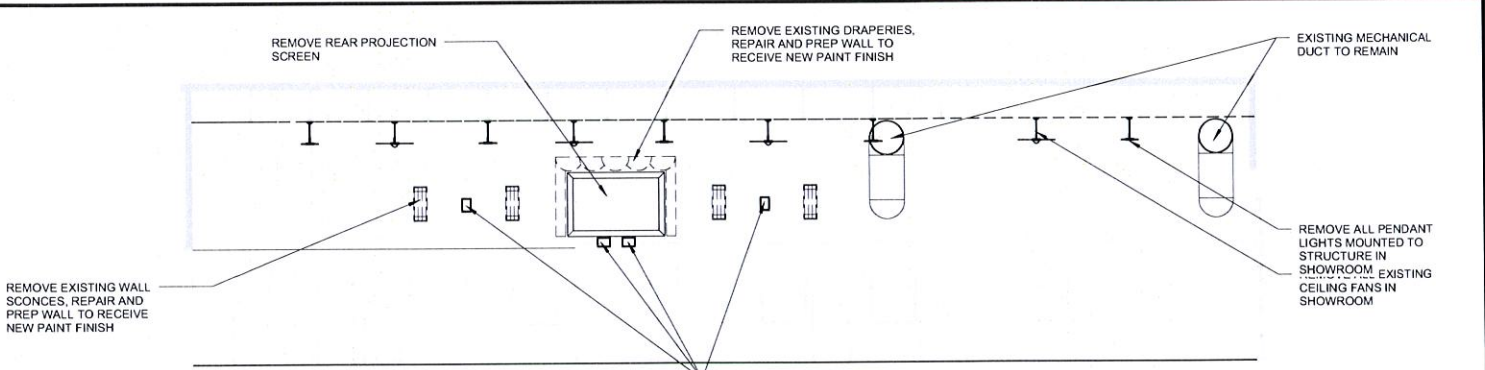


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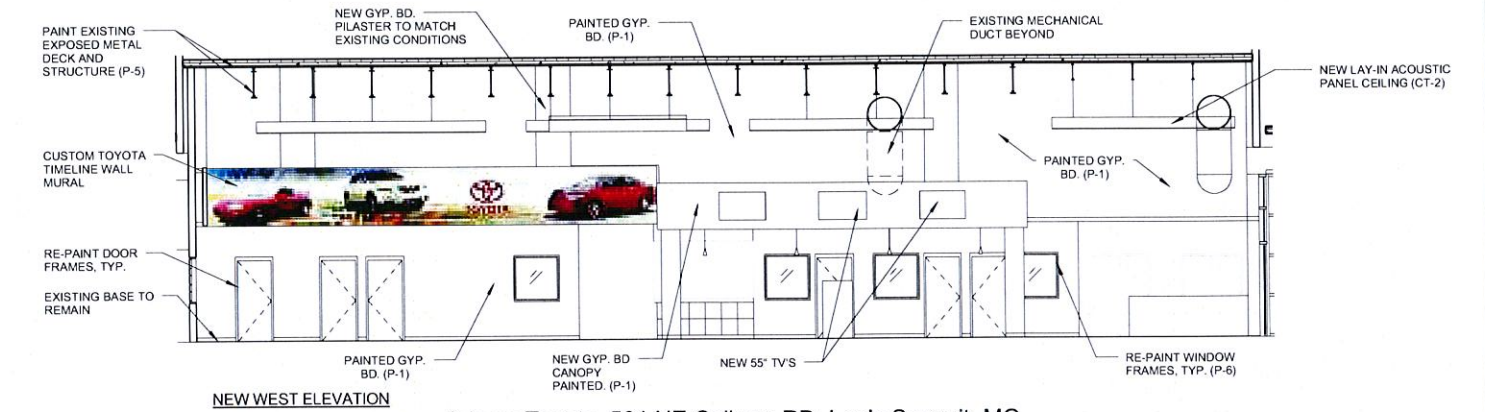


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■ SHOWROOM PLANS

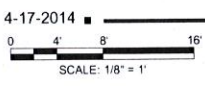


WEST DEMO ELEVATION

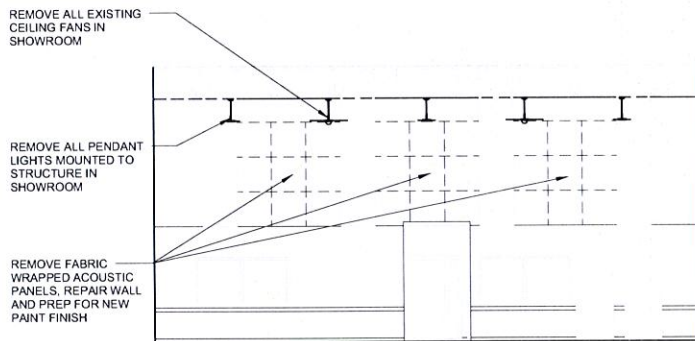


NEW WEST ELEVATION

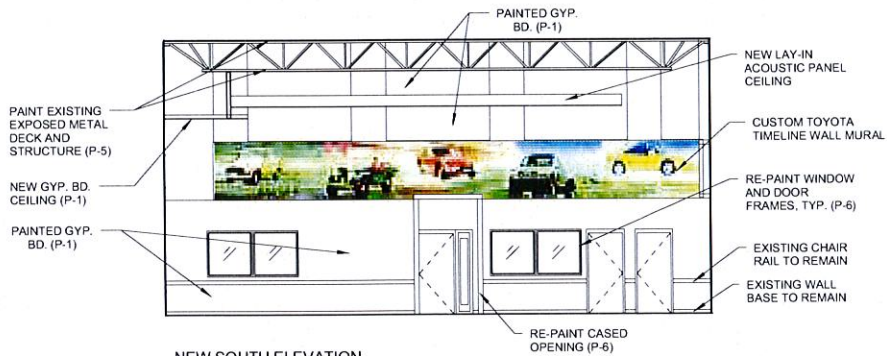
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WEST SHOWROOM ELEVATIONS



SOUTH DEMO ELEVATION



NEW SOUTH ELEVATION

4-17-2014

SCALE: 1/8" = 1'

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■ SOUTH SHOWROOM ELEVATIONS



4-17-2014 ■

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■ SHOWROOM
PERSPECTIVES



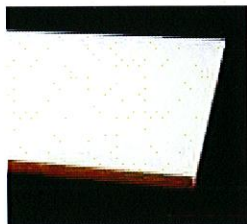
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INTERIOR FINISH LEGEND

CODE	MANUFACTURER	ITEM NUMBER	PRODUCT DESCRIPTION	COLOR	TYP. LOCATION(REFER TO FINISH SCHEDULE)
Ceiling					
CT-2	Armstrong	Optima 3160	48" x 48" x 1" flat lay-in with Prelude XL 15/16" Heavy Duty Grid	Optima White	Showroom high ceiling
WD-1	Armstrong	Woodworks Vector Unperforated	24" x 24" x 3/4" on standard 15/16" T-grid (matte black finish)	Light Cherry/Natural	Showroom customer lounge area
Flooring					
C-1	Interface	Mineral 810 13824	50cm x 50cm carpet tile, loose laid installed with TacTiles	Gypsum 4760	Showroom customer lounge area
Paint					
P-1	Sherwin Williams	Harmony Interior Paint	Eggshell (walls) and Flat (ceilings) interior paint	Origami White SW7636	Showroom walls and gyp. bd. ceilings
P-5	Sherwin Williams	Harmony Interior Paint	Flat (ceilings) interior paint	Pure White SW7005	Showroom exposed structure and metal deck
P-6	Sherwin Williams	Water Based Catalyzed Epoxy	Gloss (trim) interior paint	Origami White SW7636	Showroom door and window frames



PAINT P-1



CEILING CT-2



CEILING CT-2



CEILING WD-1



PAINT P-5

4-17-2014 ■

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■ SHOWROOM FINISHES



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#PL2014-011 - PRELIMINARY DEV PLAN
ADAM'S TOYOTA
ADAMS FAMILY INVESTMENT LLLP, APPL.

