

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN ON LAND GENERALLY LOCATED AT THE NORTHEAST CORNER OF SW VIEW HIGH DR. AND SW 3RD ST. FOR VILLAGE AT VIEW HIGH APARTMENTS, ALL IN ACCORDANCE WITH THE PROVISIONS OF UNIFIED DEVELOPMENT ORDINANCE, NO. 5209, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2016-146 submitted by Archview Properties, LLC, requesting approval of a preliminary development plan in District PMIX (Planned Mixed Use) for Village at View High Apartments on land generally located at the northeast corner of SW View High Dr. and SW 3rd St., was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the subject property was zoned District PMIX, by the passage of Ordinance No. 8002, which rezoned this property from R-1 to PMIX, effective October 20, 2016; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on September 27, 2016, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on October 20, 2016, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

All that part of the Southwest Quarter of Section 3, Township 47 North, Range 32 West, in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

Commencing at the Northwest corner of the Southwest Quarter of said Section 3; thence S 87°05'51" E, along the North line of the Southwest Quarter of said Section 3, a distance of 30.00 feet to a point on the Easterly right-of-way line of NW High View Drive, as now established, said point also being the point of beginning; thence continuing S 87°05'51" E, along the North line of the Southwest Quarter of said Section 3, a distance of 996.15 feet; thence S 21°45'29" W, a distance of 414.33 feet; thence S 22°19'08" E, a distance of 240.27 feet; thence S 03°32'46" W, a distance of 638.11 feet; thence N 86°27'14" W, a distance of 401.33 feet; thence Northwesterly on a curve to the right, said curve being tangent to the last described course and having a radius of 15.00 feet, an arc distance of 23.56 feet; thence N 3°32'32" E, a distance of 183.63 feet; thence Northwesterly on a curve

to the left, said curve being tangent to the last described course and having a radius of 280.00 feet, an arc distance of 439.92 feet; thence N 86°28'37" W, a distance of 272.07 feet to a point on the Easterly right-of-way line of said NW View High Drive; thence N 3°19'41" E, along the Easterly right-of-way line of said NW View High Drive, a distance of 758.21 feet to the point of beginning, containing 21.3401 acres, more or less.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the high impact buffer requirement along the northern property line, adjacent to the portion zoned R-1, to allow the existing mature tree stand to serve as the buffer. A tree preservation plan for the northern boundary, preserving the existing mature tree stand, shall be provided at the final development plan stage. Additional landscaping, as needed, shall be provided along this boundary to fill in any gaps.
2. Development shall be in accordance with the preliminary development plan dated September 16, 2016.
3. Development standards, including density, lot area, setbacks, building separation, and impervious coverage shall be as shown on the plan.
4. The developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum the required public improvements listed in the TIA dated September 22, 2016, sanitary sewer improvements, and waterline improvements. No building permit shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Recorder's Office. All public improvements shall be substantially complete prior to issuance of any building permit within the proposed preliminary plat except where the timing of improvements are specifically noted in the description of condition.
5. The development shall be subject to the recommendations of the Transportation Impact Analysis report dated September 22, 2016.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped September 16, 2016, appended hereto and made a part hereof.

SECTION 4. In granting modifications listed herein, the Governing Body concludes that the development will provide sustainable value to the City, incorporates sound planning principles and design elements that are compatible with surrounding properties and consistent through the proposed project, effectively utilize the land upon which the development is proposed, and further the goals, spirit and intent of the Unified Development Ordinance.

SECTION 5. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void,

unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 6. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Unified Development Ordinance, enacted by Ordinance No. 5209 and amended from time to time.

SECTION 7. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 3rd day of November, 2016.



Mayor Randall L. Rhoads

ATTEST:



City Clerk Denise R. Chisum

APPROVED by the Mayor of said city this 7th day of November, 2016.



Mayor Randall L. Rhoads

ATTEST:



City Clerk Denise R. Chisum

APPROVED AS TO FORM:



City Attorney Brian W. Head

~~Planning & Codes Admin~~

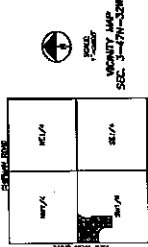
INDEX	OVERALL SITE PLAN
C1	SITE PLAN
C2	SITE DIMENSION PLAN
C2.1-C2.5	GRADING PLAN
C3	RETAINING WALL ELEVATION PLAN
C3.1	UTILITY PLAN
C4	DRAINAGE MAP
C5	STANDARD DETAILS
C5	

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LEE'S SUMMIT, MISSOURI

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SHEET C1 of 12



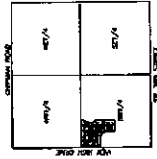
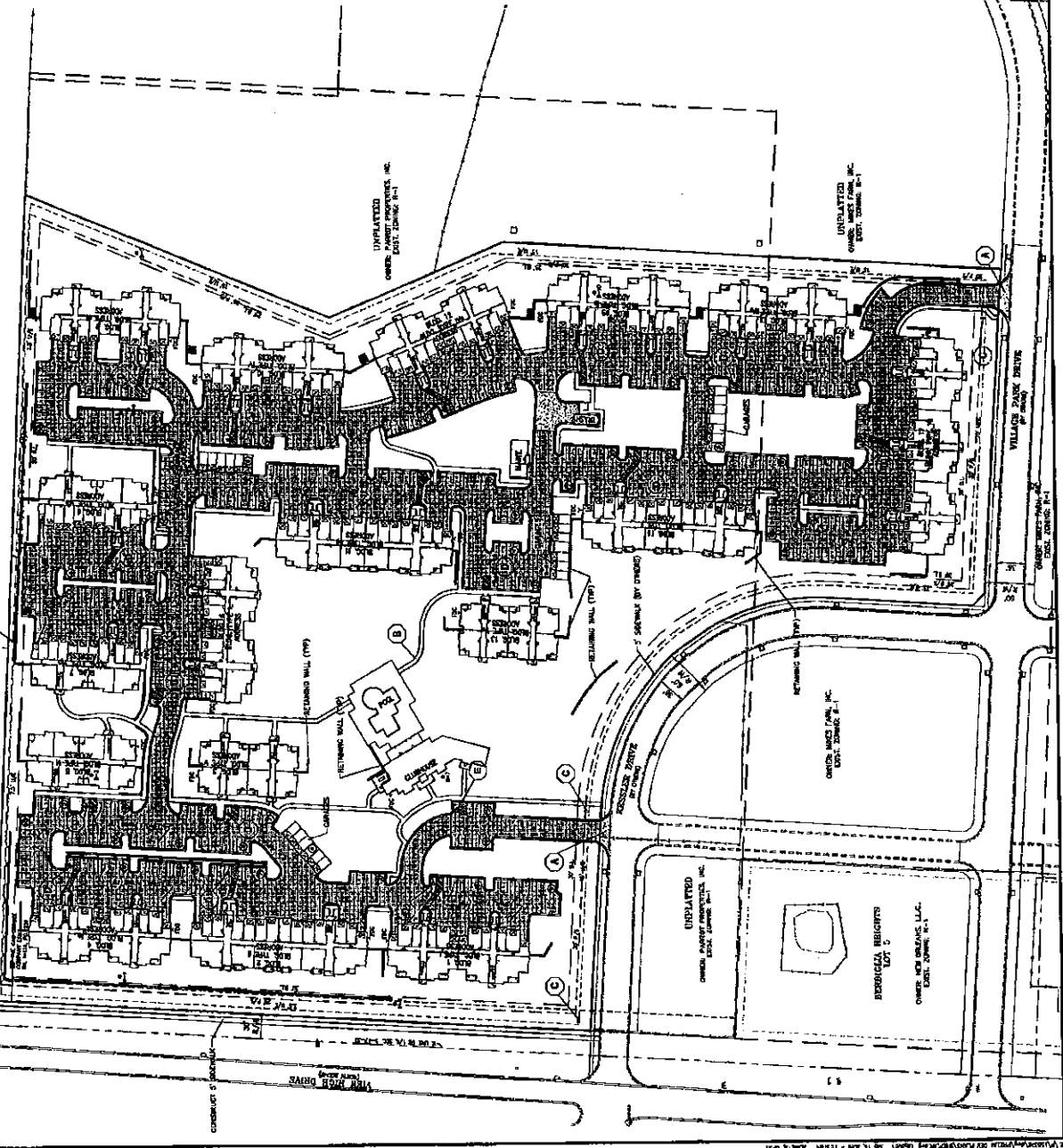
FLOOR 1401.

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WORLDWIDE AIRLINE
877 BUREAU LINE

LOT AREA	ZONING	21.34 ACRES
PROPOSED	NUMBER OF UNITS	312 UNITS
DENSITY (UNITS/ACRE)	TOTAL BUILDING SQ. FOOTAGE	15,077 DU/AC
FLOOR AREA RATIO (FAR)		906,068 SQ. FT.
		0.55
		53.0%

[illegible][illegible]

2016-146



FLOOD NOTE:
 THE PROJECT IS LOCATED IN AN AREA THAT IS NOT FLOOD PRONE. THE PROJECT IS NOT IN A FLOOD HAZARD AREA. THE PROJECT IS NOT IN A FLOOD HAZARD AREA. THE PROJECT IS NOT IN A FLOOD HAZARD AREA.



- KEY NOTES:**
- (A) EXISTING CONCRETE DRIVEWAY
 - (B) EXISTING DRIVEWAY (TYP)
 - (C) EXISTING DRIVEWAY (TYP)
 - (D) EXISTING DRIVEWAY (TYP)
 - (E) EXISTING DRIVEWAY (TYP)

LEGEND:
 ALL BUILDING FOOT
 1/4" = 10'0" HORIZONTAL
 1/8" = 10'0" VERTICAL

NOTE: OWNER SHALL COMPLY WITH ALL APPLICABLE CITY ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL LAWS.

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SEP 15 2016

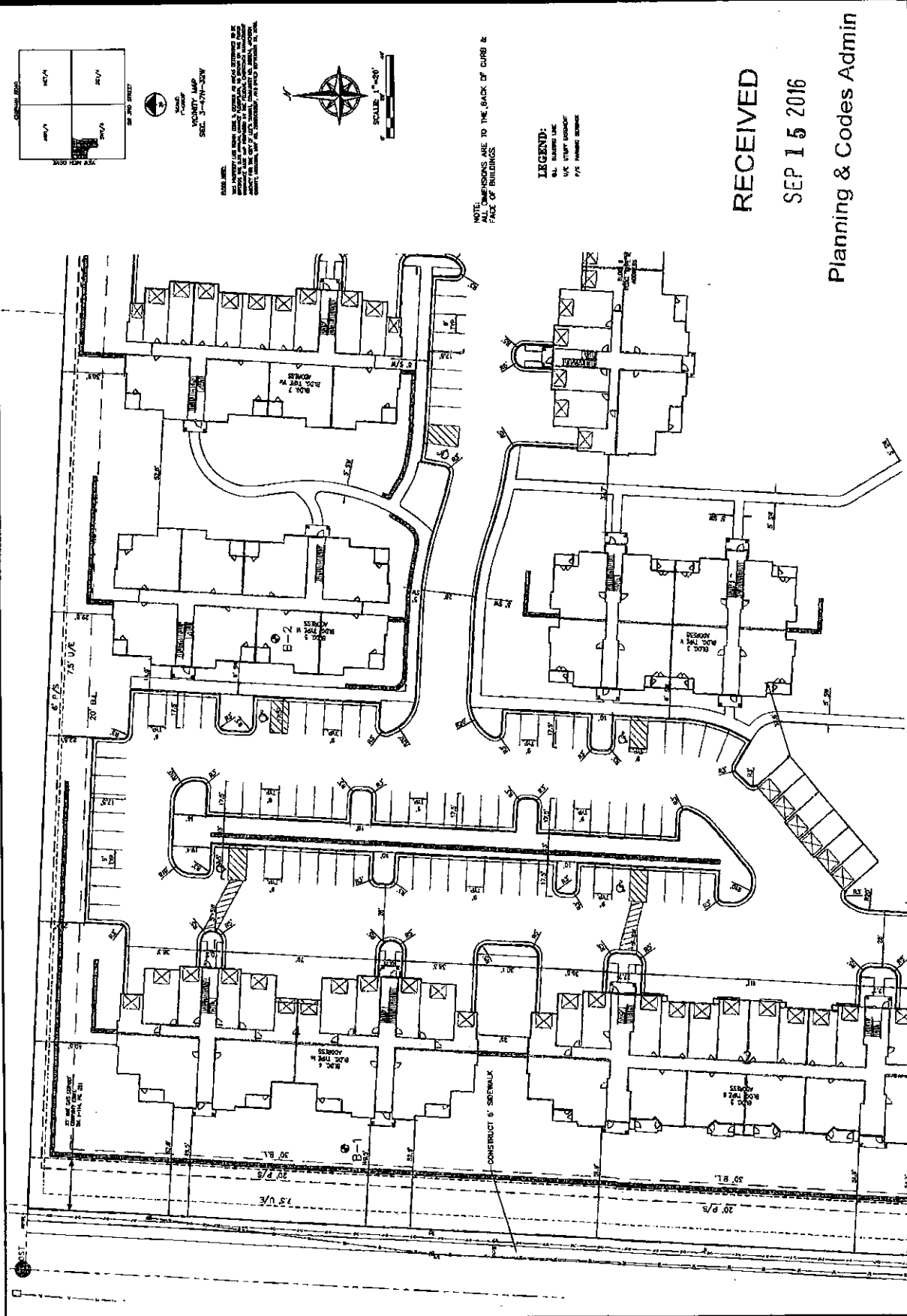
Planning & Codes Admin

-2016-146

SITE PLAN
 APARTMENTS - VILLAGE AT VIEW HIGH
 LEE'S SUMMIT, MISSOURI

PE
 PROFESSIONAL ENGINEER
 LICENSE NO. 10000
 EXPIRATION DATE 12/31/2016
 PROJECT NO. 10000
 SHEET NO. 10000

SHEET
C2
 OF 12

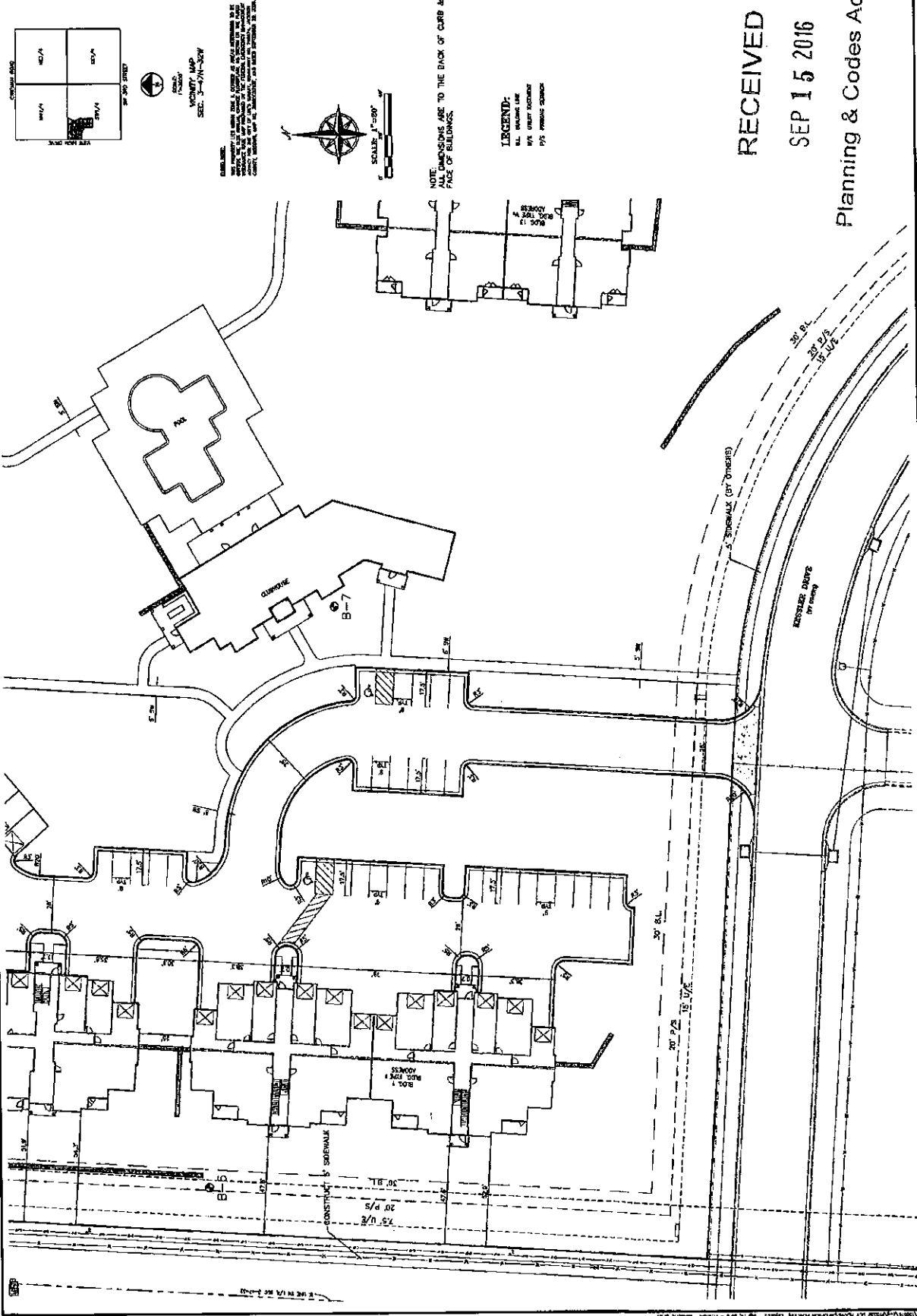


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-2016-146

DIMENSION PLAN
 APARTMENTS - VILLAGE AT VIEW HIGH
 LEE'S SUMMIT, MISSOURI

NO.	DATE	DESCRIPTION
1	11-11-15	REVISIONS
2	11-11-15	REVISIONS
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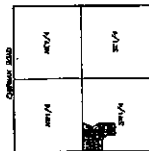


NOTE:
 ALL DIMENSIONS ARE TO THE BACK OF CURB &
 FACE OF BUILDINGS.

LEGEND:
 ALL BUILDING FOOTPRINTS
 ALL PARKING SPACES
 ALL DRIVEWAYS

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-2016-146



VICINITY MAP
EC. 3-67N-32W

STUDY UNIT:



NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB & FACE OF BUILDING.

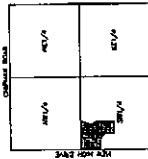
LEGEND:

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2010-11-16



PROJECT NAME
PROJECT ADDRESS
PROJECT CITY, STATE, ZIP
PROJECT PHONE
PROJECT FAX
PROJECT E-MAIL

DATE: 08/15/16

SCALE: 1"=50'



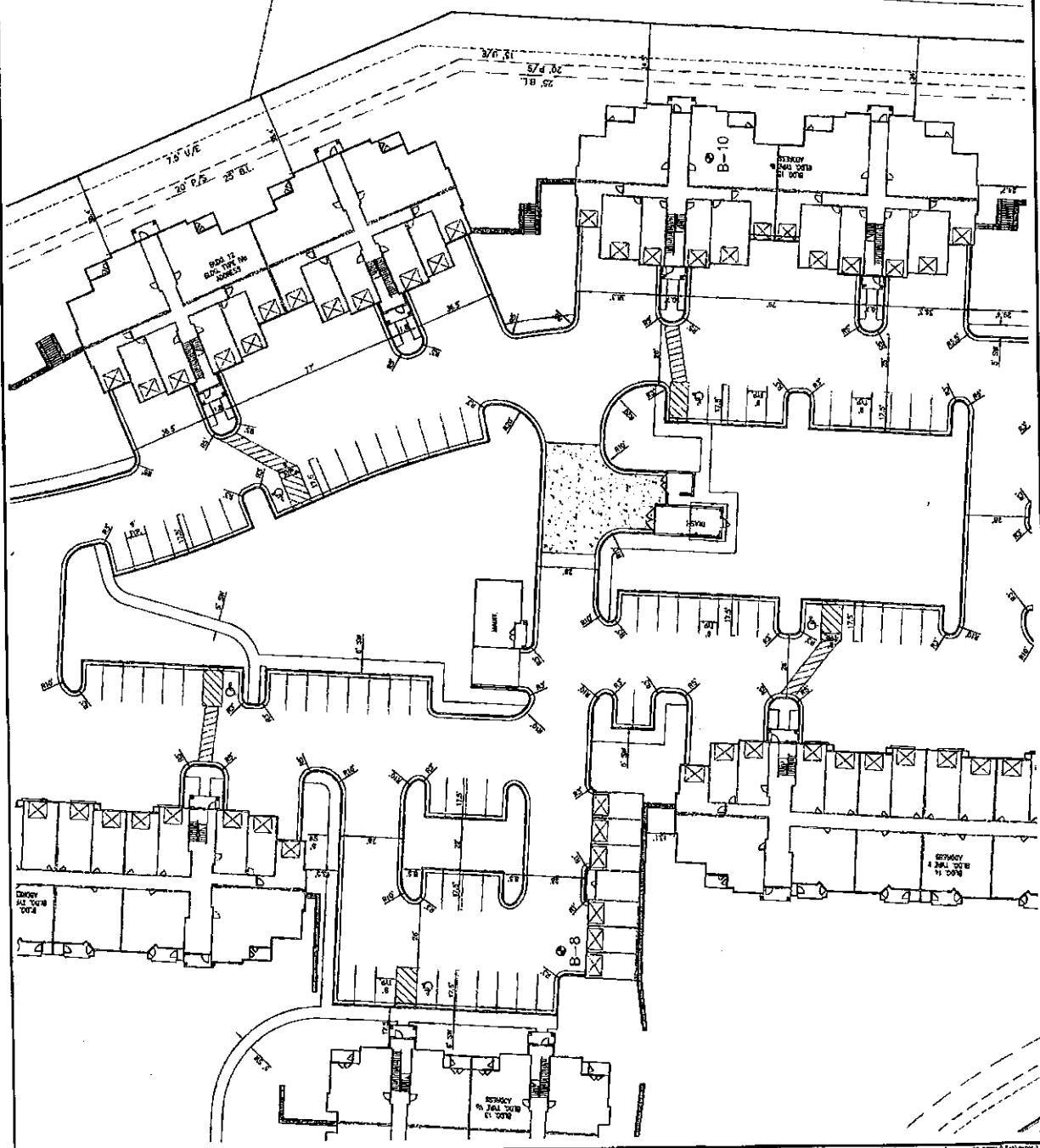
NOTES:
ALL DIMENSIONS ARE TO THE BACK OF CURB &
FACE OF BUILDING.

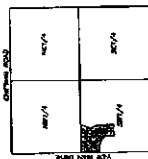
LEGEND:
WALL, STAIRS, ETC.
WALL, STAIRS, ETC.
WALL, STAIRS, ETC.

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SHEET
2.4
OF 12

-2016-146





SECTION 34-11-01
SECTION 34-11-02

NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB & FACE OF BUILDINGS.



LEGEND:
 - - - - - PROPERTY LINE
 - - - - - CURB
 - - - - - SIDEWALK
 - - - - - DRIVE

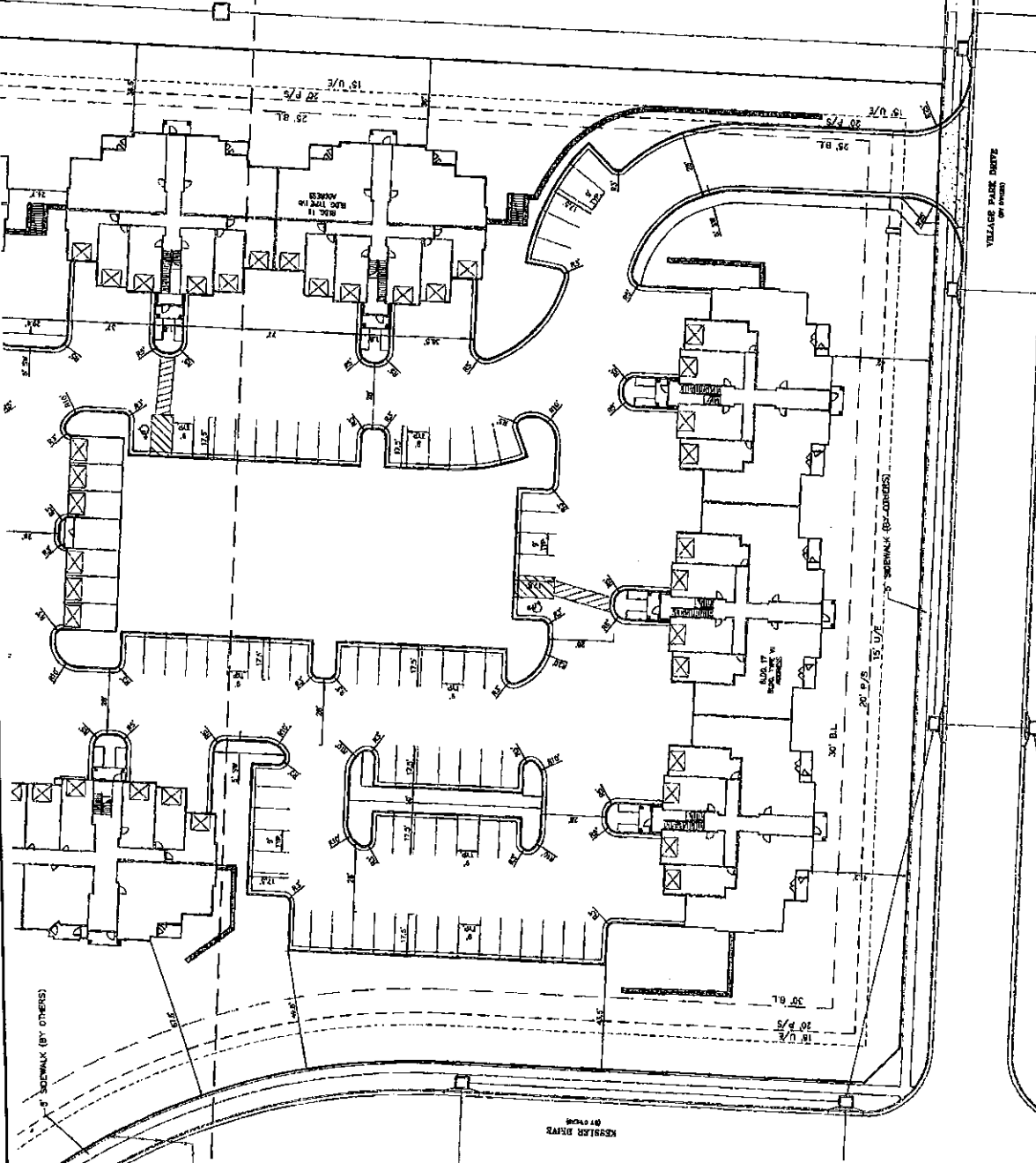
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VILLAGE PARK DRIVE

C2.5
 of 12

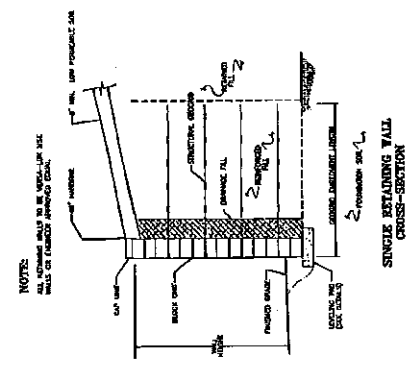
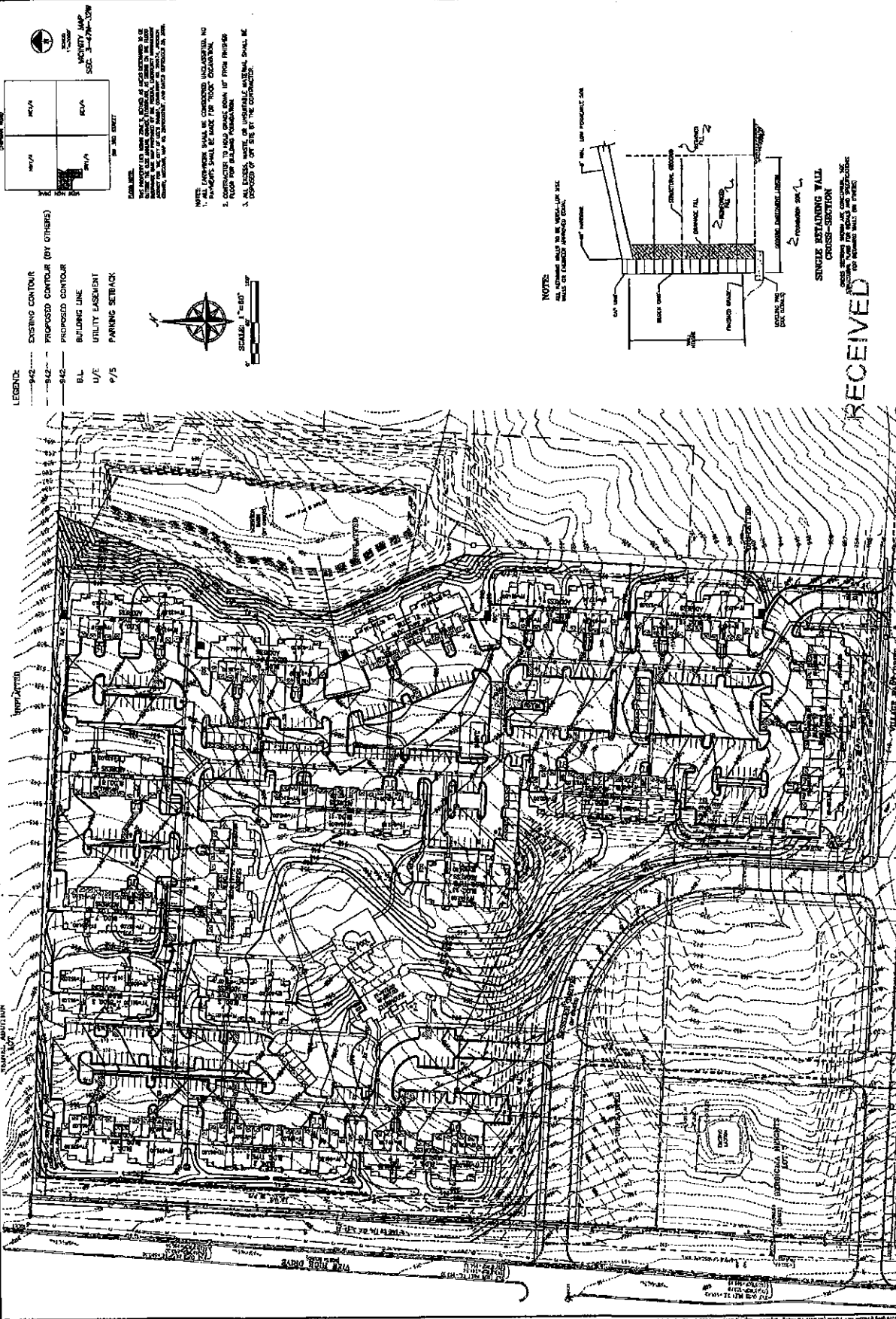
-2016-146



PE
 ENGINEERING
 1010 N. WINDYBROOK
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 WILMINGTON, MISSOURI 64098
 (417) 833-1111
 www.pe-engineering.com

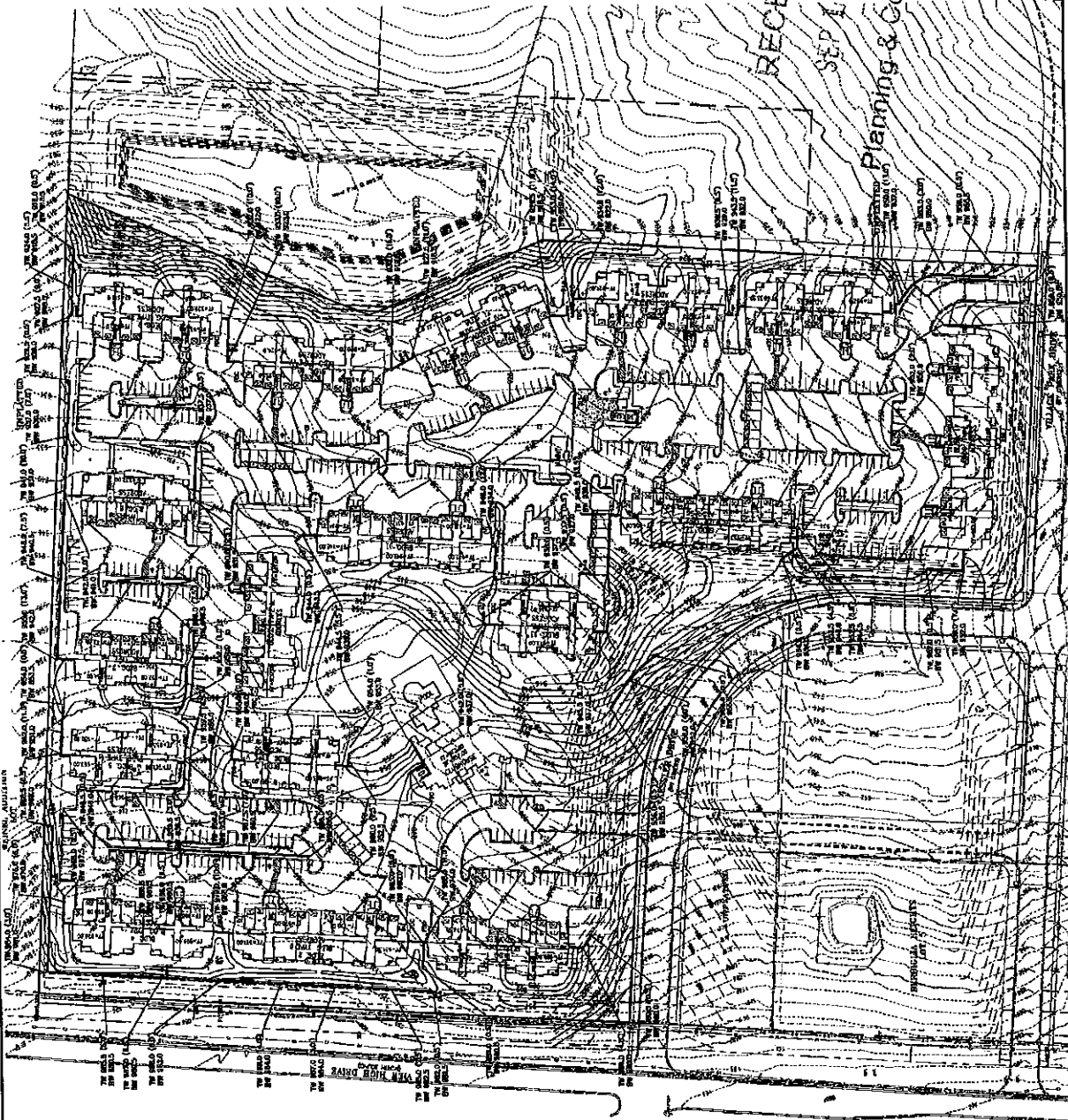
DIMENSION PLAN
 APARTMENTS - VILLAGE AT VIEW HIGH
 LEE'S SUMMIT, MISSOURI

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 -2016-146
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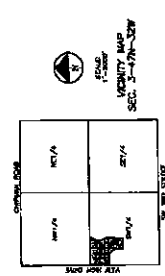
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RETAINING WALL ELEVATION PLAN APARTMENTS - VILLAGE AT VEW HIGH LEE'S SUMMIT, MISSOURI

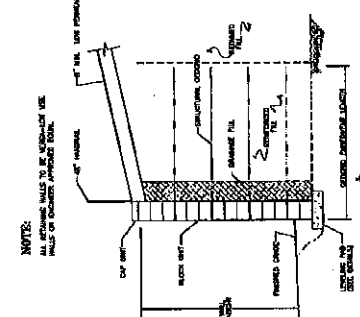
PE
 ENGINEERING
 1120 N. BROADWAY
 SUITE 100
 ST. LOUIS, MO 63102
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 www.pe-engineering.com

SHEET
C3.1
 OF 12

NO.	DATE	DESCRIPTION
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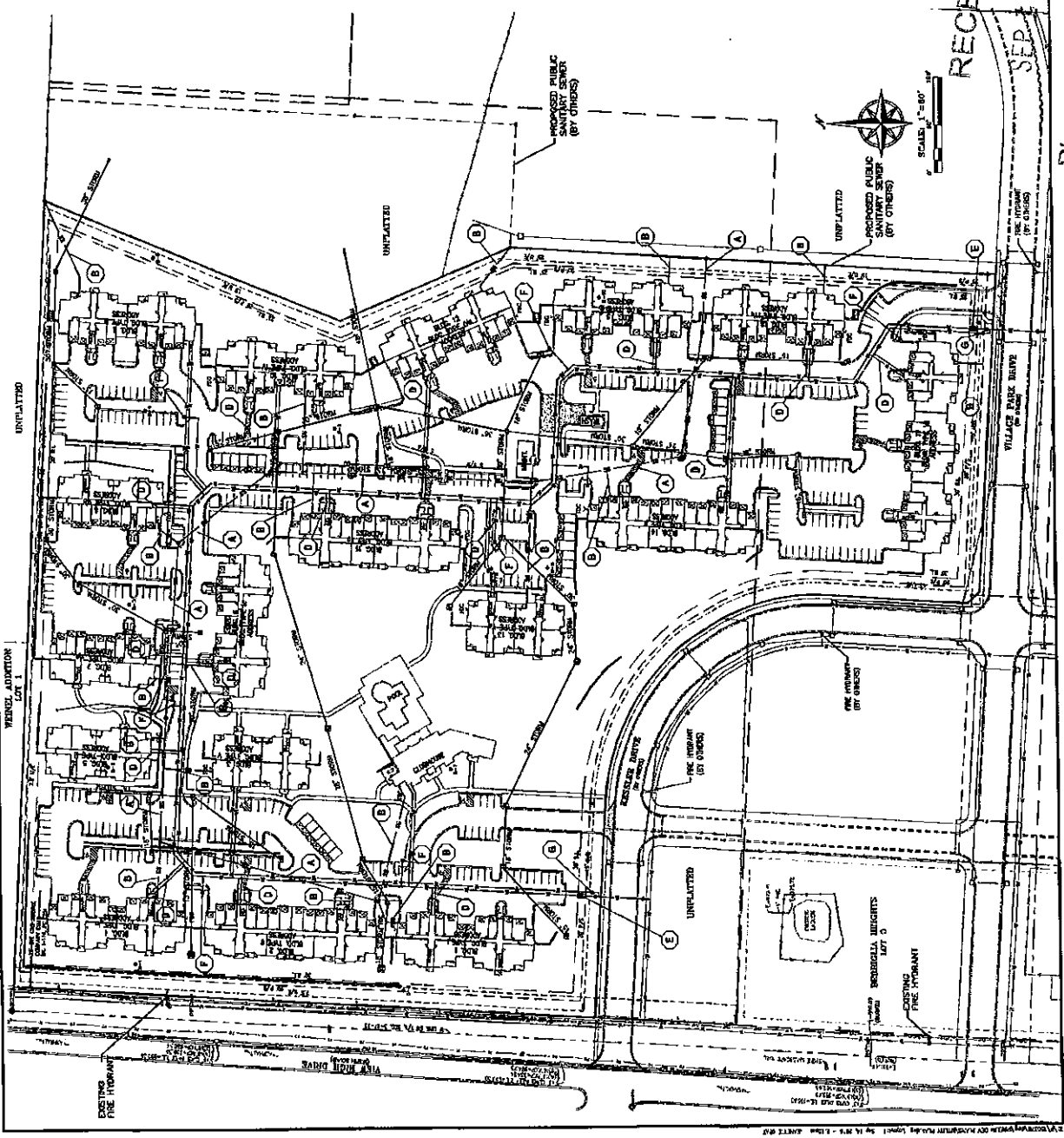


NOTE:
 THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE FLOOD MAP. THE PROPOSED RETAINING WALL IS DESIGNED TO PROTECT THE ADJACENT PROPERTY FROM FLOODING. THE WALL IS NOT DESIGNED TO PROTECT THE PROPERTY FROM FLOODING.



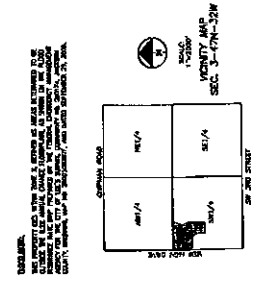
SINGLE RETAINING WALL CROSS-SECTION
 THE WALL IS DESIGNED TO RESIST THE LATERAL FORCE OF THE SOIL BEHIND IT. THE WALL IS NOT DESIGNED TO RESIST THE LATERAL FORCE OF THE SOIL IN FRONT OF IT.

- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR (BY OTHERS)
 - PROPOSED CONTOUR
 - RETAINING WALL
 - BUILDING LINE
 - UTILITY EASEMENT
 - PARKING SETBACK
 - TOP OF WALL
 - BOTTOM OF WALL
 - HEIGHT OF WALL



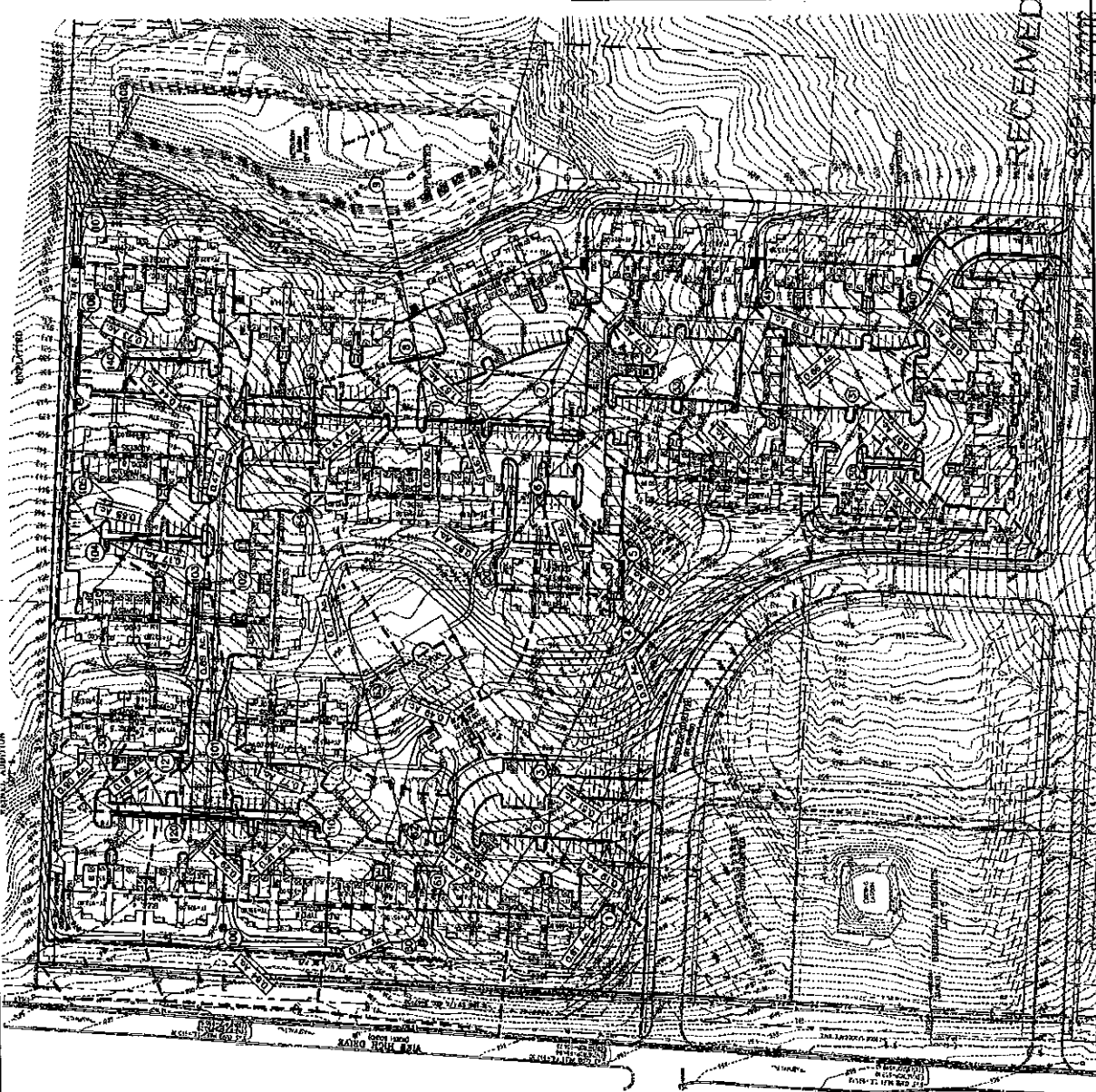
1. UNITED STATES DEPARTMENT OF JUSTICE
2. WASHINGTON, D. C. 20535
3. MEMORANDUM FOR THE RECORD
4. SUBJECT: [REDACTED]
5. DATE: [REDACTED]
6. TO: [REDACTED]
7. FROM: [REDACTED]
8. RE: [REDACTED]
9. [REDACTED]
10. [REDACTED]
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100. [REDACTED]

- [illegible]



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SEP 5 2016

Planning & Codes Admin 2016-146



PROJECT: VILLAGE AT NEW HIGH
 APARTMENTS - VILLAGE AT NEW HIGH
 LEES SUMMIT, MISSOURI

DESIGNED BY: [Firm Name]
 DRAWN BY: [Firm Name]
 CHECKED BY: [Firm Name]
 DATE: [Date]

- LEGEND:**
- 942 --- EXISTING CONTOUR
 - 942 --- FUTURE EXISTING CONTOUR
 - 942 --- PROPOSED CONTOUR
 - 942 --- DRAINAGE BOUNDARY
 - BL BUILDING LINE
 - U/E UTILITY EASEMENT
 - P/S PARKING SCRUBBACK

DRAINAGE CALCULATIONS

NO.	AREA (SQ. FT.)	PERCENT IMPERVIOUS	COEFFICIENT OF DISCHARGE	TIME OF TRAVEL (MIN.)	PEAK FLOW (CFS)	PEAK FLOW (MGD)
1	10,000	100	0.5	10	1.0	0.014
2	20,000	100	0.5	10	2.0	0.028
3	30,000	100	0.5	10	3.0	0.042
4	40,000	100	0.5	10	4.0	0.056
5	50,000	100	0.5	10	5.0	0.070
6	60,000	100	0.5	10	6.0	0.084
7	70,000	100	0.5	10	7.0	0.098
8	80,000	100	0.5	10	8.0	0.112
9	90,000	100	0.5	10	9.0	0.126
10	100,000	100	0.5	10	10.0	0.140

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SHEET C5 OF 12

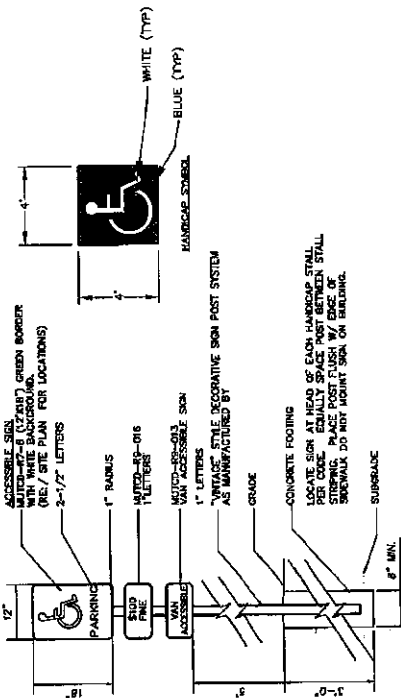
NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR CONSTRUCTION	10-1-16	MM	MM
2				
3				
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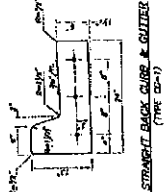
-2016-146

GENERAL NOTES

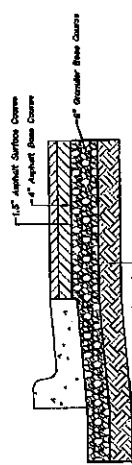
1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
2. A. PRIVATE DRIVE, TEMPORARY PARKING AREA, AND OTHER PRIVATE AREAS STRIPING REQUIREMENTS.
PAINT SHALL BE A NON-BLEEDING, QUICK-DRYING, ALKYLE PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-SEALING SURFACE AND SHALL MEET ITS TYP-BSE AND MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
B. ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT-OF-WAY:
THERMOPLASTIC OR PRE-FORMED THERMOPLASTIC ON ASPHALT SURFACES
3. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER RECOMMENDED RATE WITHOUT THE ADDITION OF THINER. WITH A MINIMUM OF ONE COAT PER FOOT OF WIDTH. APPLY PAINT TO THE SURFACE OF THE ROADWAY TO PRODUCE UNIFORM STRAIGHT EDGES. AT SIDEWALK CORNERS, AND CROSSWALKS USE A STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN, AND STRAIGHT STRIPE.
5. THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:
A. HANDICAP SYMBOLS SEE DETAIL THIS SHEET.
B. PARKING STALL STRIPES WHITE.



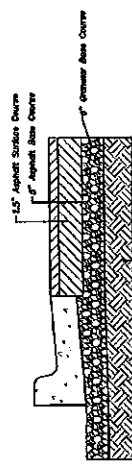
HANDICAPPED SIGNAGE & PAVEMENT MARKING DETAIL



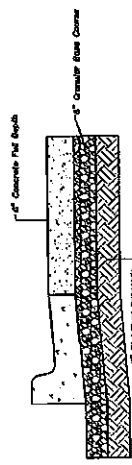
STRAIGHT BACK CURB & GUTTER
(TYPE CD-1)



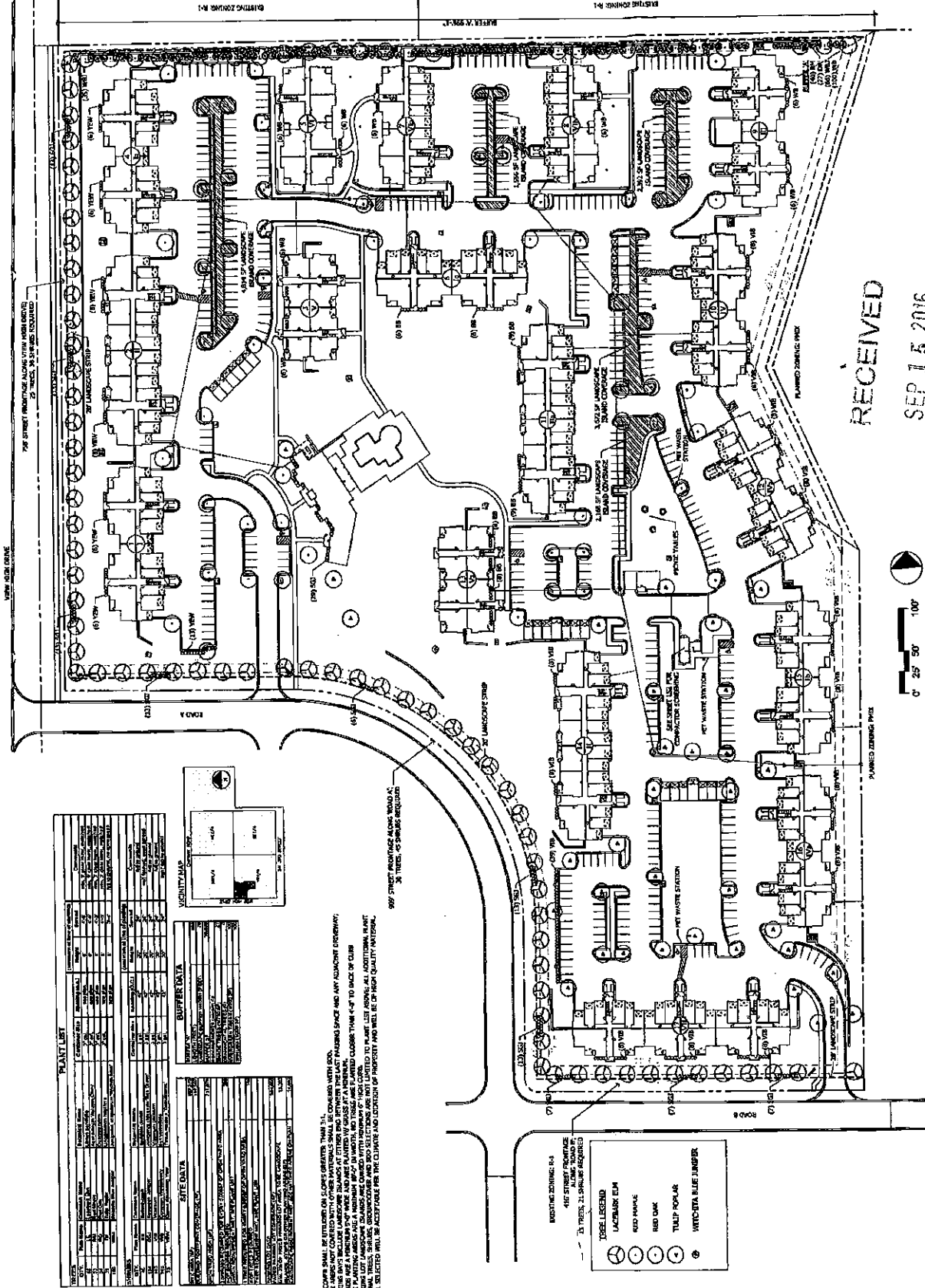
ASPHALT PAVING - PARKING AREAS



ASPHALT PAVING - DRIVE AREAS



CONCRETE PAVING



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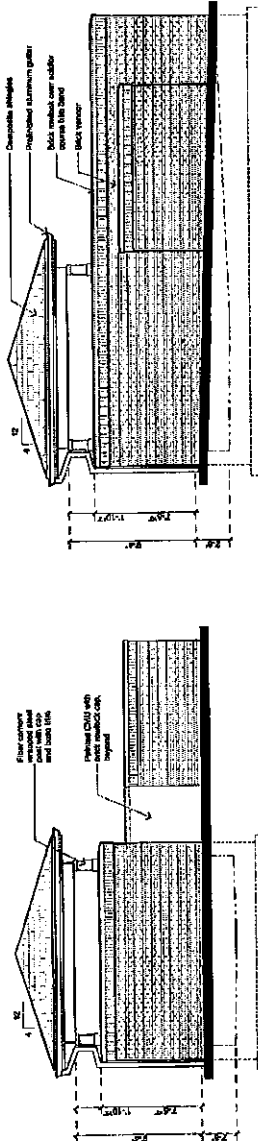
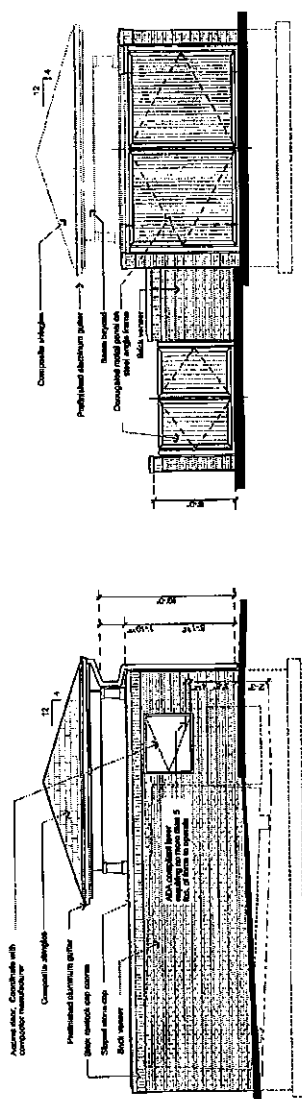
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Scale: 1" = 50'-0"

0' 25' 50' 100'

North



Trash Enclosure Elevations

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D-Series Size 1 LED Area Luminaire

Specifications:

Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)
D1-100	100	60	1.5	1.5	1.5	15
D1-150	150	60	1.5	1.5	1.5	20
D1-200	200	60	1.5	1.5	1.5	25
D1-300	300	60	1.5	1.5	1.5	35
D1-400	400	60	1.5	1.5	1.5	45
D1-600	600	60	1.5	1.5	1.5	70
D1-800	800	60	1.5	1.5	1.5	90
D1-1000	1000	60	1.5	1.5	1.5	110

Notes:

- 1. All dimensions are nominal.
- 2. Weight is approximate.
- 3. Mounting hardware is not included.
- 4. See separate drawings for mounting details.

D-Series Size 1 LED Wall Luminaire

Specifications:

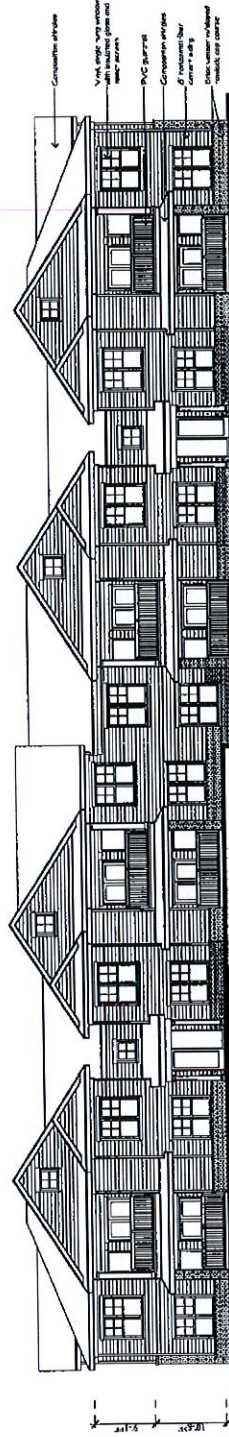
Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)
D1-100	100	60	1.5	1.5	1.5	15
D1-150	150	60	1.5	1.5	1.5	20
D1-200	200	60	1.5	1.5	1.5	25
D1-300	300	60	1.5	1.5	1.5	35
D1-400	400	60	1.5	1.5	1.5	45
D1-600	600	60	1.5	1.5	1.5	70
D1-800	800	60	1.5	1.5	1.5	90
D1-1000	1000	60	1.5	1.5	1.5	110

Notes:

- 1. All dimensions are nominal.
- 2. Weight is approximate.
- 3. Mounting hardware is not included.
- 4. See separate drawings for mounting details.

LIGHTING FIXTURE SCHEDULE

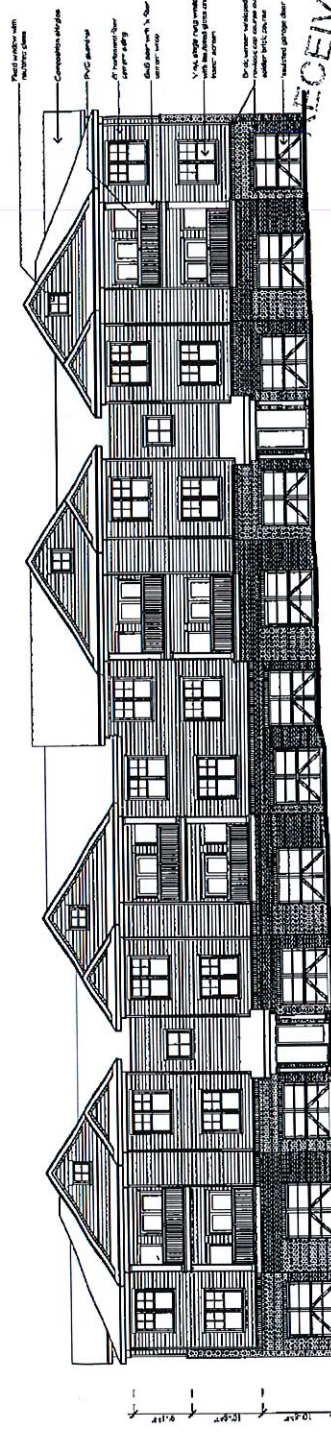
TYPE	DESCRIPTION	MANUFACTURER/MODEL	LAMP	NOTES
1	RECESSED DOWN LIGHT, 4" DIA.	OSRAM, 4" DIA. 100W	OSRAM, 4" DIA. 100W	100W, 4" DIA.
2	RECESSED DOWN LIGHT, 6" DIA.	OSRAM, 6" DIA. 150W	OSRAM, 6" DIA. 150W	150W, 6" DIA.
3	RECESSED DOWN LIGHT, 8" DIA.	OSRAM, 8" DIA. 200W	OSRAM, 8" DIA. 200W	200W, 8" DIA.
4	RECESSED DOWN LIGHT, 10" DIA.	OSRAM, 10" DIA. 250W	OSRAM, 10" DIA. 250W	250W, 10" DIA.
5	RECESSED DOWN LIGHT, 12" DIA.	OSRAM, 12" DIA. 300W	OSRAM, 12" DIA. 300W	300W, 12" DIA.
6	RECESSED DOWN LIGHT, 14" DIA.	OSRAM, 14" DIA. 350W	OSRAM, 14" DIA. 350W	350W, 14" DIA.
7	RECESSED DOWN LIGHT, 16" DIA.	OSRAM, 16" DIA. 400W	OSRAM, 16" DIA. 400W	400W, 16" DIA.
8	RECESSED DOWN LIGHT, 18" DIA.	OSRAM, 18" DIA. 450W	OSRAM, 18" DIA. 450W	450W, 18" DIA.
9	RECESSED DOWN LIGHT, 20" DIA.	OSRAM, 20" DIA. 500W	OSRAM, 20" DIA. 500W	500W, 20" DIA.
10	RECESSED DOWN LIGHT, 22" DIA.	OSRAM, 22" DIA. 550W	OSRAM, 22" DIA. 550W	550W, 22" DIA.
11	RECESSED DOWN LIGHT, 24" DIA.	OSRAM, 24" DIA. 600W	OSRAM, 24" DIA. 600W	600W, 24" DIA.
12	RECESSED DOWN LIGHT, 26" DIA.	OSRAM, 26" DIA. 650W	OSRAM, 26" DIA. 650W	650W, 26" DIA.
13	RECESSED DOWN LIGHT, 28" DIA.	OSRAM, 28" DIA. 700W	OSRAM, 28" DIA. 700W	700W, 28" DIA.
14	RECESSED DOWN LIGHT, 30" DIA.	OSRAM, 30" DIA. 750W	OSRAM, 30" DIA. 750W	750W, 30" DIA.
15	RECESSED DOWN LIGHT, 32" DIA.	OSRAM, 32" DIA. 800W	OSRAM, 32" DIA. 800W	800W, 32" DIA.
16	RECESSED DOWN LIGHT, 34" DIA.	OSRAM, 34" DIA. 850W	OSRAM, 34" DIA. 850W	850W, 34" DIA.
17	RECESSED DOWN LIGHT, 36" DIA.	OSRAM, 36" DIA. 900W	OSRAM, 36" DIA. 900W	900W, 36" DIA.
18	RECESSED DOWN LIGHT, 38" DIA.	OSRAM, 38" DIA. 950W	OSRAM, 38" DIA. 950W	950W, 38" DIA.
19	RECESSED DOWN LIGHT, 40" DIA.	OSRAM, 40" DIA. 1000W	OSRAM, 40" DIA. 1000W	1000W, 40" DIA.
20	RECESSED DOWN LIGHT, 42" DIA.	OSRAM, 42" DIA. 1050W	OSRAM, 42" DIA. 1050W	1050W, 42" DIA.
21	RECESSED DOWN LIGHT, 44" DIA.	OSRAM, 44" DIA. 1100W	OSRAM, 44" DIA. 1100W	1100W, 44" DIA.
22	RECESSED DOWN LIGHT, 46" DIA.	OSRAM, 46" DIA. 1150W	OSRAM, 46" DIA. 1150W	1150W, 46" DIA.
23	RECESSED DOWN LIGHT, 48" DIA.	OSRAM, 48" DIA. 1200W	OSRAM, 48" DIA. 1200W	1200W, 48" DIA.
24	RECESSED DOWN LIGHT, 50" DIA.	OSRAM, 50" DIA. 1250W	OSRAM, 50" DIA. 1250W	1250W, 50" DIA.
25	RECESSED DOWN LIGHT, 52" DIA.	OSRAM, 52" DIA. 1300W	OSRAM, 52" DIA. 1300W	1300W, 52" DIA.
26	RECESSED DOWN LIGHT, 54" DIA.	OSRAM, 54" DIA. 1350W	OSRAM, 54" DIA. 1350W	1350W, 54" DIA.
27	RECESSED DOWN LIGHT, 56" DIA.	OSRAM, 56" DIA. 1400W	OSRAM, 56" DIA. 1400W	1400W, 56" DIA.
28	RECESSED DOWN LIGHT, 58" DIA.	OSRAM, 58" DIA. 1450W	OSRAM, 58" DIA. 1450W	1450W, 58" DIA.
29	RECESSED DOWN LIGHT, 60" DIA.	OSRAM, 60" DIA. 1500W	OSRAM, 60" DIA. 1500W	1500W, 60" DIA.
30	RECESSED DOWN LIGHT, 62" DIA.	OSRAM, 62" DIA. 1550W	OSRAM, 62" DIA. 1550W	1550W, 62" DIA.
31	RECESSED DOWN LIGHT, 64" DIA.	OSRAM, 64" DIA. 1600W	OSRAM, 64" DIA. 1600W	1600W, 64" DIA.
32	RECESSED DOWN LIGHT, 66" DIA.	OSRAM, 66" DIA. 1650W	OSRAM, 66" DIA. 1650W	1650W, 66" DIA.
33	RECESSED DOWN LIGHT, 68" DIA.	OSRAM, 68" DIA. 1700W	OSRAM, 68" DIA. 1700W	1700W, 68" DIA.
34	RECESSED DOWN LIGHT, 70" DIA.	OSRAM, 70" DIA. 1750W	OSRAM, 70" DIA. 1750W	1750W, 70" DIA.
35	RECESSED DOWN LIGHT, 72" DIA.	OSRAM, 72" DIA. 1800W	OSRAM, 72" DIA. 1800W	1800W, 72" DIA.
36	RECESSED DOWN LIGHT, 74" DIA.	OSRAM, 74" DIA. 1850W	OSRAM, 74" DIA. 1850W	1850W, 74" DIA.
37	RECESSED DOWN LIGHT, 76" DIA.	OSRAM, 76" DIA. 1900W	OSRAM, 76" DIA. 1900W	1900W, 76" DIA.
38	RECESSED DOWN LIGHT, 78" DIA.	OSRAM, 78" DIA. 1950W	OSRAM, 78" DIA. 1950W	1950W, 78" DIA.
39	RECESSED DOWN LIGHT, 80" DIA.	OSRAM, 80" DIA. 2000W	OSRAM, 80" DIA. 2000W	2000W, 80" DIA.
40	RECESSED DOWN LIGHT, 82" DIA.	OSRAM, 82" DIA. 2050W	OSRAM, 82" DIA. 2050W	2050W, 82" DIA.
41	RECESSED DOWN LIGHT, 84" DIA.	OSRAM, 84" DIA. 2100W	OSRAM, 84" DIA. 2100W	2100W, 84" DIA.
42	RECESSED DOWN LIGHT, 86" DIA.	OSRAM, 86" DIA. 2150W	OSRAM, 86" DIA. 2150W	2150W, 86" DIA.
43	RECESSED DOWN LIGHT, 88" DIA.	OSRAM, 88" DIA. 2200W	OSRAM, 88" DIA. 2200W	2200W, 88" DIA.
44	RECESSED DOWN LIGHT, 90" DIA.	OSRAM, 90" DIA. 2250W	OSRAM, 90" DIA. 2250W	2250W, 90" DIA.
45	RECESSED DOWN LIGHT, 92" DIA.	OSRAM, 92" DIA. 2300W	OSRAM, 92" DIA. 2300W	2300W, 92" DIA.
46	RECESSED DOWN LIGHT, 94" DIA.	OSRAM, 94" DIA. 2350W	OSRAM, 94" DIA. 2350W	2350W, 94" DIA.
47	RECESSED DOWN LIGHT, 96" DIA.	OSRAM, 96" DIA. 2400W	OSRAM, 96" DIA. 2400W	2400W, 96" DIA.
48	RECESSED DOWN LIGHT, 98" DIA.	OSRAM, 98" DIA. 2450W	OSRAM, 98" DIA. 2450W	2450W, 98" DIA.
49	RECESSED DOWN LIGHT, 100" DIA.	OSRAM, 100" DIA. 2500W	OSRAM, 100" DIA. 2500W	2500W, 100" DIA.
50	RECESSED DOWN LIGHT, 102" DIA.	OSRAM, 102" DIA. 2550W	OSRAM, 102" DIA. 2550W	2550W, 102" DIA.
51	RECESSED DOWN LIGHT, 104" DIA.	OSRAM, 104" DIA. 2600W	OSRAM, 104" DIA. 2600W	2600W, 104" DIA.
52	RECESSED DOWN LIGHT, 106" DIA.	OSRAM, 106" DIA. 2650W	OSRAM, 106" DIA. 2650W	2650W, 106" DIA.
53	RECESSED DOWN LIGHT, 108" DIA.	OSRAM, 108" DIA. 2700W	OSRAM, 108" DIA. 2700W	2700W, 108" DIA.
54	RECESSED DOWN LIGHT, 110" DIA.	OSRAM, 110" DIA. 2750W	OSRAM, 110" DIA. 2750W	2750W, 110" DIA.
55	RECESSED DOWN LIGHT, 112" DIA.	OSRAM, 112" DIA. 2800W	OSRAM, 112" DIA. 2800W	2800W, 112" DIA.
56	RECESSED DOWN LIGHT, 114" DIA.	OSRAM, 114" DIA. 2850W	OSRAM, 114" DIA. 2850W	2850W, 114" DIA.
57	RECESSED DOWN LIGHT, 116" DIA.	OSRAM, 116" DIA. 2900W	OSRAM, 116" DIA. 2900W	2900W, 116" DIA.
58	RECESSED DOWN LIGHT, 118" DIA.	OSRAM, 118" DIA. 2950W	OSRAM, 118" DIA. 2950W	2950W, 118" DIA.
59	RECESSED DOWN LIGHT, 120" DIA.	OSRAM, 120" DIA. 3000W	OSRAM, 120" DIA. 3000W	3000W, 120" DIA.
60	RECESSED DOWN LIGHT, 122" DIA.	OSRAM, 122" DIA. 3050W	OSRAM, 122" DIA. 3050W	3050W, 122" DIA.
61	RECESSED DOWN LIGHT, 124" DIA.	OSRAM, 124" DIA. 3100W	OSRAM, 124" DIA. 3100W	3100W, 124" DIA.
62	RECESSED DOWN LIGHT, 126" DIA.	OSRAM, 126" DIA. 3150W	OSRAM, 126" DIA. 3150W	3150W, 126" DIA.
63	RECESSED DOWN LIGHT, 128" DIA.	OSRAM, 128" DIA. 3200W	OSRAM, 128" DIA. 3200W	3200W, 128" DIA.
64	RECESSED DOWN LIGHT, 130" DIA.	OSRAM, 130" DIA. 3250W	OSRAM, 130" DIA. 3250W	3250W, 130" DIA.
65	RECESSED DOWN LIGHT, 132" DIA.	OSRAM, 132" DIA. 3300W	OSRAM, 132" DIA. 3300W	3300W, 132" DIA.
66	RECESSED DOWN LIGHT, 134" DIA.	OSRAM, 134" DIA. 3350W	OSRAM, 134" DIA. 3350W	3350W, 134" DIA.
67	RECESSED DOWN LIGHT, 136" DIA.	OSRAM, 136" DIA. 3400W	OSRAM, 136" DIA. 3400W	3400W, 136" DIA.
68	RECESSED DOWN LIGHT, 138" DIA.	OSRAM, 138" DIA. 3450W	OSRAM, 138" DIA. 3450W	3450W, 138" DIA.
69	RECESSED DOWN LIGHT, 140" DIA.	OSRAM, 140" DIA. 3500W	OSRAM, 140" DIA. 3500W	3500W, 140" DIA.
70	RECESSED DOWN LIGHT, 142" DIA.	OSRAM, 142" DIA. 3550W	OSRAM, 142" DIA. 3550W	3550W, 142" DIA.
71	RECESSED DOWN LIGHT, 144" DIA.	OSRAM, 144" DIA. 3600W	OSRAM, 144" DIA. 3600W	3600W, 144" DIA.
72	RECESSED DOWN LIGHT, 146" DIA.	OSRAM, 146" DIA. 3650W	OSRAM, 146" DIA. 3650W	3650W, 146" DIA.
73	RECESSED DOWN LIGHT, 148" DIA.	OSRAM, 148" DIA. 3700W	OSRAM, 148" DIA. 3700W	3700W, 148" DIA.
74	RECESSED DOWN LIGHT, 150" DIA.	OSRAM, 150" DIA. 3750W	OSRAM, 150" DIA. 3750W	3750W, 150" DIA.
75	RECESSED DOWN LIGHT, 152" DIA.	OSRAM, 152" DIA. 3800W	OSRAM, 152" DIA. 3800W	3800W, 152" DIA.
76	RECESSED DOWN LIGHT, 154" DIA.	OSRAM, 154" DIA. 3850W	OSRAM, 154" DIA. 3850W	3850W, 154" DIA.
77	RECESSED DOWN LIGHT, 156" DIA.	OSRAM, 156" DIA. 3900W	OSRAM, 156" DIA. 3900W	3900W, 156" DIA.
78	RECESSED DOWN LIGHT, 158" DIA.	OSRAM, 158" DIA. 3950W	OSRAM, 158" DIA. 3950W	3950W, 158" DIA.
79	RECESSED DOWN LIGHT, 160" DIA.	OSRAM, 160" DIA. 4000W	OSRAM, 160" DIA. 4000W	4000W, 160" DIA.
80	RECESSED DOWN LIGHT, 162" DIA.	OSRAM, 162" DIA. 4050W	OSRAM, 162" DIA. 4050W	4050W, 162" DIA.
81	RECESSED DOWN LIGHT, 164" DIA.	OSRAM, 164" DIA. 4100W	OSRAM, 164" DIA. 4100W	4100W, 164" DIA.
82	RECESSED DOWN LIGHT, 166" DIA.	OSRAM, 166" DIA. 4150W	OSRAM, 166" DIA. 4150W	4150W, 166" DIA.
83	RECESSED DOWN LIGHT, 168" DIA.	OSRAM, 168" DIA. 4200W	OSRAM, 168" DIA. 4200W	4200W, 168" DIA.
84	RECESSED DOWN LIGHT, 170" DIA.	OSRAM, 170" DIA. 4250W	OSRAM, 170" DIA. 4250W	4250W, 170" DIA.
85	RECESSED DOWN LIGHT, 172" DIA.	OSRAM, 172" DIA. 4300W	OSRAM, 172" DIA. 4300W	4300W, 172" DIA.
86	RECESSED DOWN LIGHT, 174" DIA.	OSRAM, 174" DIA. 4350W	OSRAM, 174" DIA. 4350W	4350W, 174" DIA.
87	RECESSED DOWN LIGHT, 176" DIA.	OSRAM, 176" DIA. 4400W	OSRAM, 176" DIA. 4400W	4400W, 176" DIA.
88	RECESSED DOWN LIGHT, 178" DIA.	OSRAM, 178" DIA. 4450W	OSRAM, 178" DIA. 4450W	4450W, 178" DIA.
89	RECESSED DOWN LIGHT, 180" DIA.	OSRAM, 180" DIA. 4500W	OSRAM, 180" DIA. 4500W	4500W, 180" DIA.
90	RECESSED DOWN LIGHT, 182" DIA.	OSRAM, 182" DIA. 4550W	OSRAM, 182" DIA. 4550W	4550W, 182" DIA.
91	RECESSED DOWN LIGHT, 184" DIA.	OSRAM, 184" DIA. 4600W	OSRAM, 184" DIA. 4600W	4600W, 184" DIA.
92	RECESSED DOWN LIGHT, 186" DIA.	OSRAM, 186" DIA. 4650W	OSRAM, 186" DIA. 4650W	4650W, 186" DIA.
93	RECESSED DOWN LIGHT, 188" DIA.	OSRAM, 188" DIA. 4700W	OSRAM, 188" DIA. 4700W	4700W, 188" DIA.
94	RECESSED DOWN LIGHT, 190" DIA.	OSRAM, 190" DIA. 4750W	OSRAM, 190" DIA. 4750W	4750W, 190" DIA.
95	RECESSED DOWN LIGHT, 192" DIA.	OSRAM, 192" DIA. 4800W	OSRAM, 192" DIA. 4800W	4800W, 192" DIA.
96	RECESSED DOWN LIGHT, 194" DIA.	OSRAM, 194" DIA. 4850W	OSRAM, 194" DIA. 4850W	4850W, 194" DIA.
97	RECESSED DOWN LIGHT, 196" DIA.	OSRAM, 196" DIA. 4900W	OSRAM, 196" DIA. 4900W	4900W, 196" DIA.
98	RECESSED DOWN LIGHT, 198" DIA.	OSRAM, 198" DIA. 4950W	OSRAM, 198" DIA. 4950W	4950W, 198" DIA.
99	RECESSED DOWN LIGHT, 200" DIA.	OSRAM, 200" DIA. 5000W	OSRAM, 200" DIA. 5000W	5000W, 200" DIA.
100	RECESSED DOWN LIGHT, 202" DIA.	OSRAM, 202" DIA. 5050W	OSRAM, 202" DIA. 5050W	5050W, 202" DIA.
101	RECESSED DOWN LIGHT, 204" DIA.	OSRAM, 204" DIA. 5100W	OSRAM, 204" DIA. 5100W	5100W, 204" DIA.
102	RECESSED DOWN LIGHT, 206" DIA.	OSRAM, 206" DIA. 5150W	OSRAM, 206" DIA. 5150W	5150W, 206" DIA.
103	RECESSED DOWN LIGHT, 208" DIA.	OSRAM, 208" DIA. 5200W	OSRAM, 208" DIA. 5200W	5200W, 208" DIA.
104	RECESSED DOWN LIGHT, 210" DIA.	OSRAM, 210" DIA. 5250W	OSRAM, 210" DIA. 5250W	5250W, 210" DIA.
105	RECESSED DOWN LIGHT, 212" DIA.	OSRAM, 212" DIA. 5300W	OSRAM, 212" DIA. 5300W	5300W, 212" DIA.
106	RECESSED DOWN LIGHT, 214" DIA.	OSRAM, 214" DIA. 5350W	OSRAM, 214" DIA. 5350W	5350W, 214" DIA.
107	RECESSED DOWN LIGHT, 216" DIA.	OSRAM, 216" DIA. 5400W	OSRAM, 216" DIA. 5400W	5400W, 216" DIA.
108	RECESSED DOWN LIGHT, 218" DIA.	OSRAM, 218" DIA. 5450W	OSRAM, 218" DIA. 5450W	5450W, 218" DIA.
109	RECESSED DOWN LIGHT, 220" DIA.	OSRAM, 220" DIA. 5500W	OSRAM, 220" DIA. 5500W	5500W, 220" DIA.
110	RECESSED DOWN LIGHT, 222" DIA.	OSRAM, 222" DIA. 5550W	OSRAM, 222" DIA. 5550W	5550W, 222" DIA.
111	RECESSED DOWN LIGHT, 224" DIA.	OSRAM, 224" DIA. 5600W	OSRAM, 224" DIA. 5600W	5600W, 224" DIA.
112	RECESSED DOWN LIGHT, 226" DIA.	OSRAM, 226" DIA. 5650W	OSRAM, 226" DIA. 5650W	5650W, 226" DIA.
113	RECESSED DOWN LIGHT, 228" DIA.	OSRAM, 228" DIA. 5700W	OSRAM, 228" DIA. 5700W	5700W, 228" DIA.
114	RECESSED DOWN LIGHT, 230" DIA.	OSRAM, 230" DIA. 5750W	OSRAM, 230" DIA. 5750W	5750W, 230" DIA.
115	RECESSED DOWN LIGHT, 232" DIA.	OSRAM, 232" DIA. 5800W	OSRAM, 232" DIA. 5800W	580



NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.

Building Type I

Building #s 1, 4, 6 & 15, similar



Building Type I

Building #'s 1, 4, 6 & 15, similar

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Planning & Codes Admin

1642

Revisions:	Description:

Preliminary
Design Concepts

Apartments -
Village at
View High
Lee's Summit, Missouri

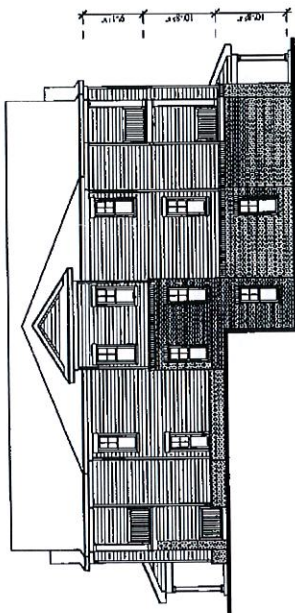
A Residential Development by:
Cityscape
Residential
We are the only firm in the region of
Missouri that has been awarded the
prestigious award of "Best of the
Midwest" by the National Association
of Home Builders (NAHB) for the
past five years. We are proud to be
a part of the Cityscape Residential
development.

Sheet Title:
Type I - Building
Elevations

Date:
8/20/2016

Sheet Number:

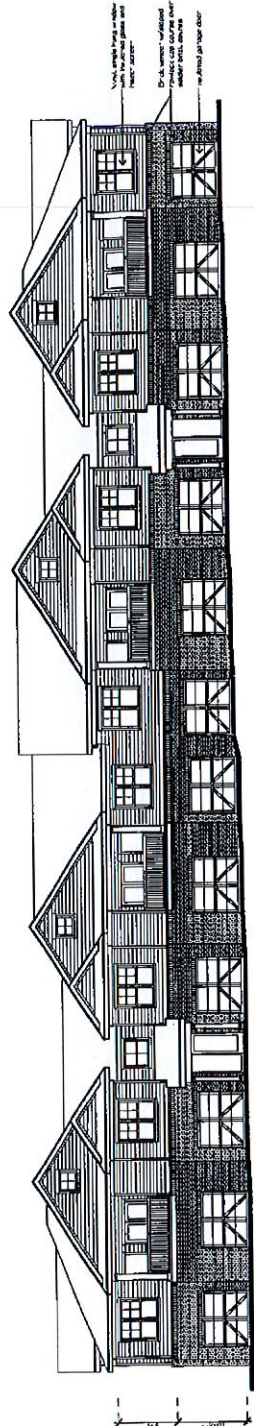
A2



Building Type I

Building #s 1, 4, 6 & 15, similar

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.



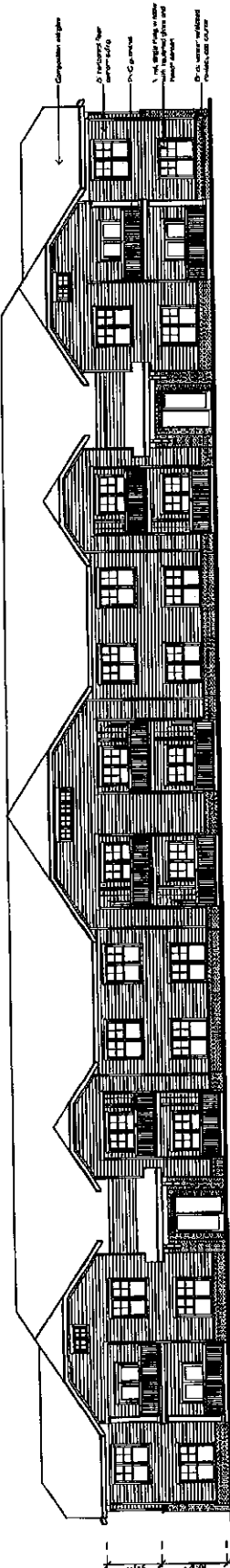
Building Type I

Building # 15

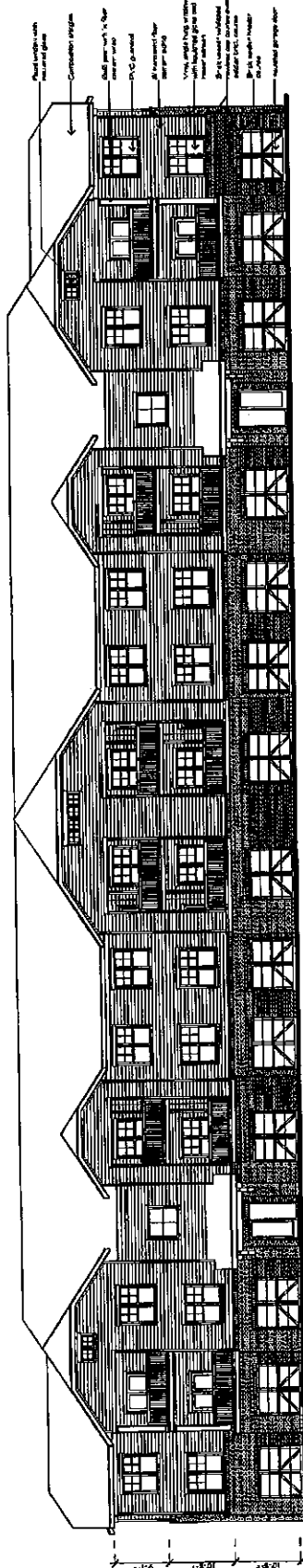
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SEP 15 2016

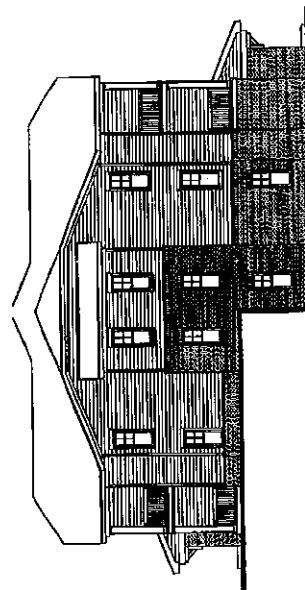
Planning & Codes Admin -2016-146



Building Type II
Building #s 2 & 14
Building # 11, similar



Building Type II
Building #'s 2 & 14
Building # 11, similar



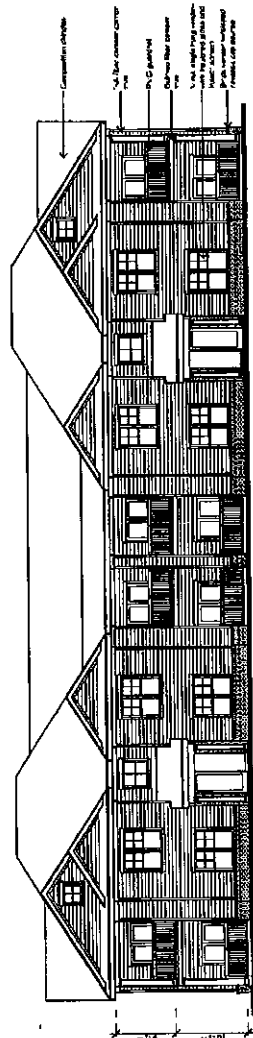
Building Type II
Building #'s 2, 11 & 14

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.

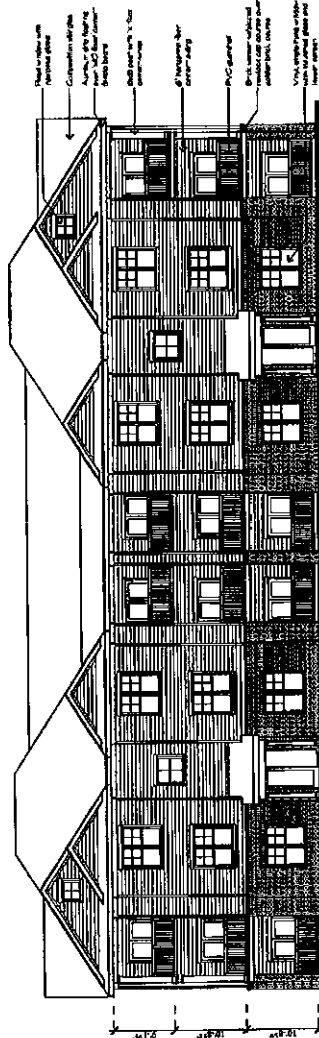
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SEP 15 2018

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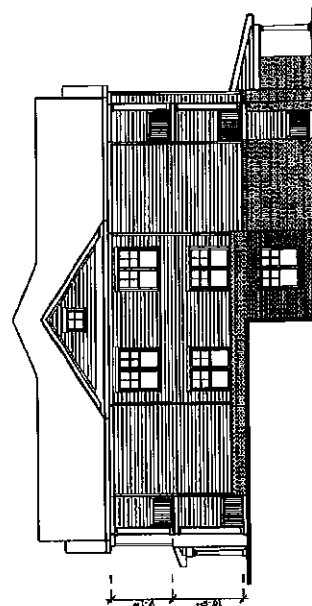
100



Building Type V
Building # 13
Building # 3, similar



Building Type V
Building # 13
Building # 3, similar



Building Type V
Building #s 3 & 13

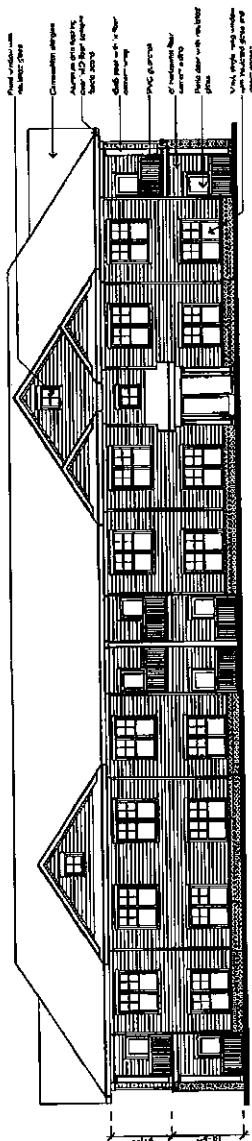
NOTE:
SEE SHEET A12 FOR MATERIAL AND
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RECEIVED

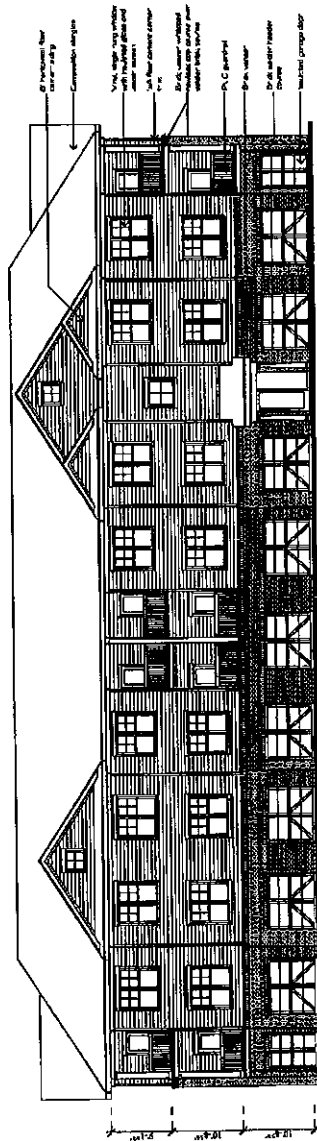
SEP 15 2016

Planning & Codes Admin

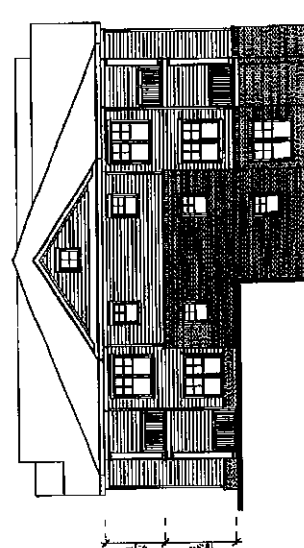
671
A
670
A



Building Type VI
Building #'s 5 & 7



Building Type VI
Building # 7



Building Type VI
Building #s 5, 7 & 8

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.

ANNEX

SEP 15 2016

Planning & Codes Admin

14616102

Revisions:

Date	Description

Preliminary
 Design Concepts

Apartment -
 Village at
 View High
 Lee's Summit, Missouri

A Residential Development by
Cityscape
 Residential

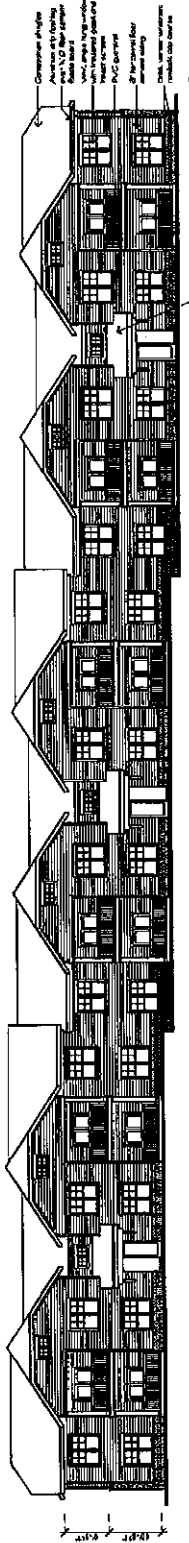
This drawing is an illustration of
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 and is not a contract. It is the
 property of SGN+A, Inc.

Sheet Title:
 Type VII - Building
 Elevations

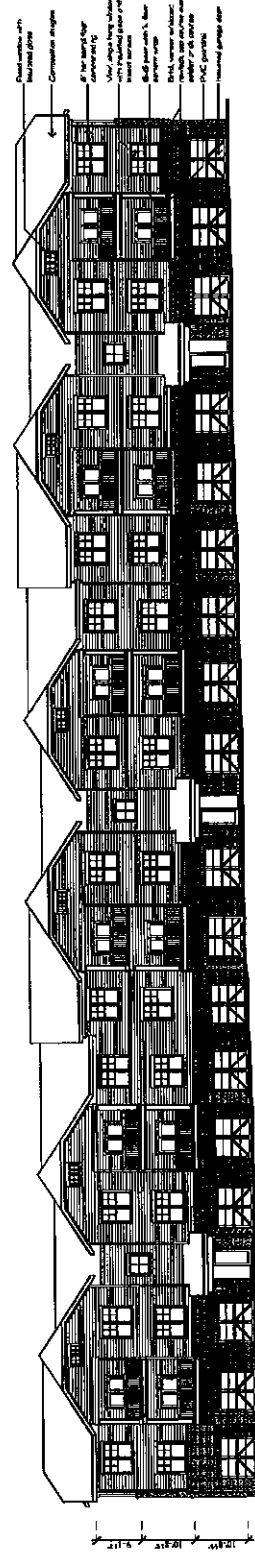
Date:
 8/20/2016

Sheet Number:

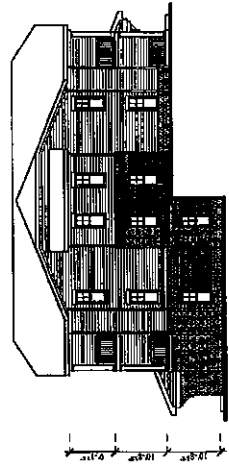
A8



Building Type VII
 Building # 17



Building Type VII
 Building # 17



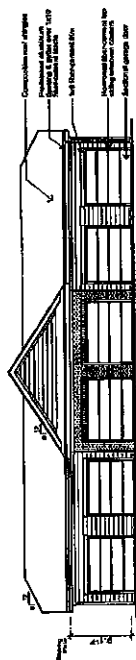
Building Type VII
 Building # 17

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE

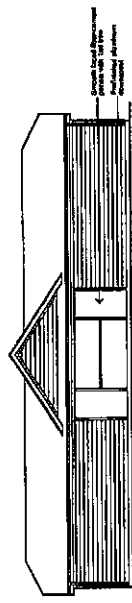
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6-Bay Garage - Front



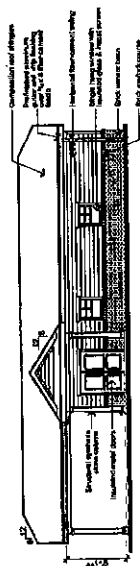
6-Bay Garage - Rear



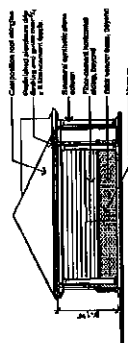
Garage w/Bike Storage - Front



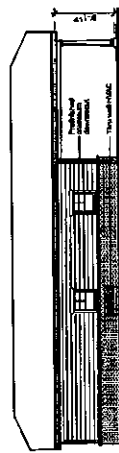
Garage w/Bike Storage - Rear



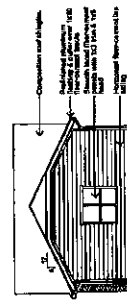
Maintenance Building - Front



Maintenance Building - Care Care Side



Maintenance Building - Rear



6-Bay Garage - Side

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE

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2016-11-05

Planning & Codes Admin.

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Revisions:

Date	Description

Preliminary
 Design Concepts

**Apartments -
 Village at
 View High**
 Lee's Summit, Missouri

A Residential Development by
Cityscape
 RESIDENTIAL

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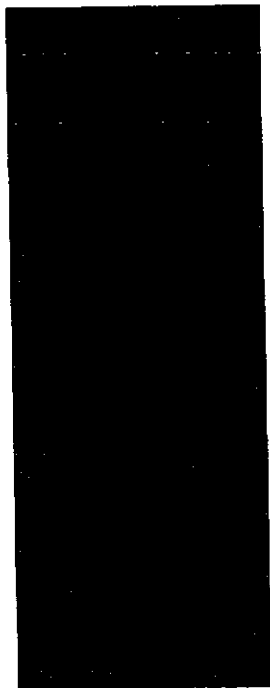
Sheet Title:
 Material Selections

Date:
 8/30/2016

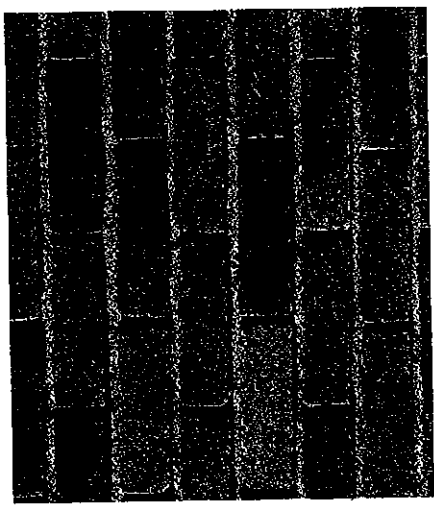
Sheet Number:
A12

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 -2016-146



Certainteed, Landmark, Burnt Sienna
 Roof Shingles



Coronado, Antique Red

Sherwin Williams, Alabaster
 SW 7008

Siding Color



Sherwin Williams, French Roast
 SW 6009

Trim Color

PL#2016-146 PRELIMINARY DEVELOPMENT PLAN
VILLAGE AT VIEW HIGH APARTMENTS
ARCHVIEW PROPERTIES, LLC, APPLICANT

