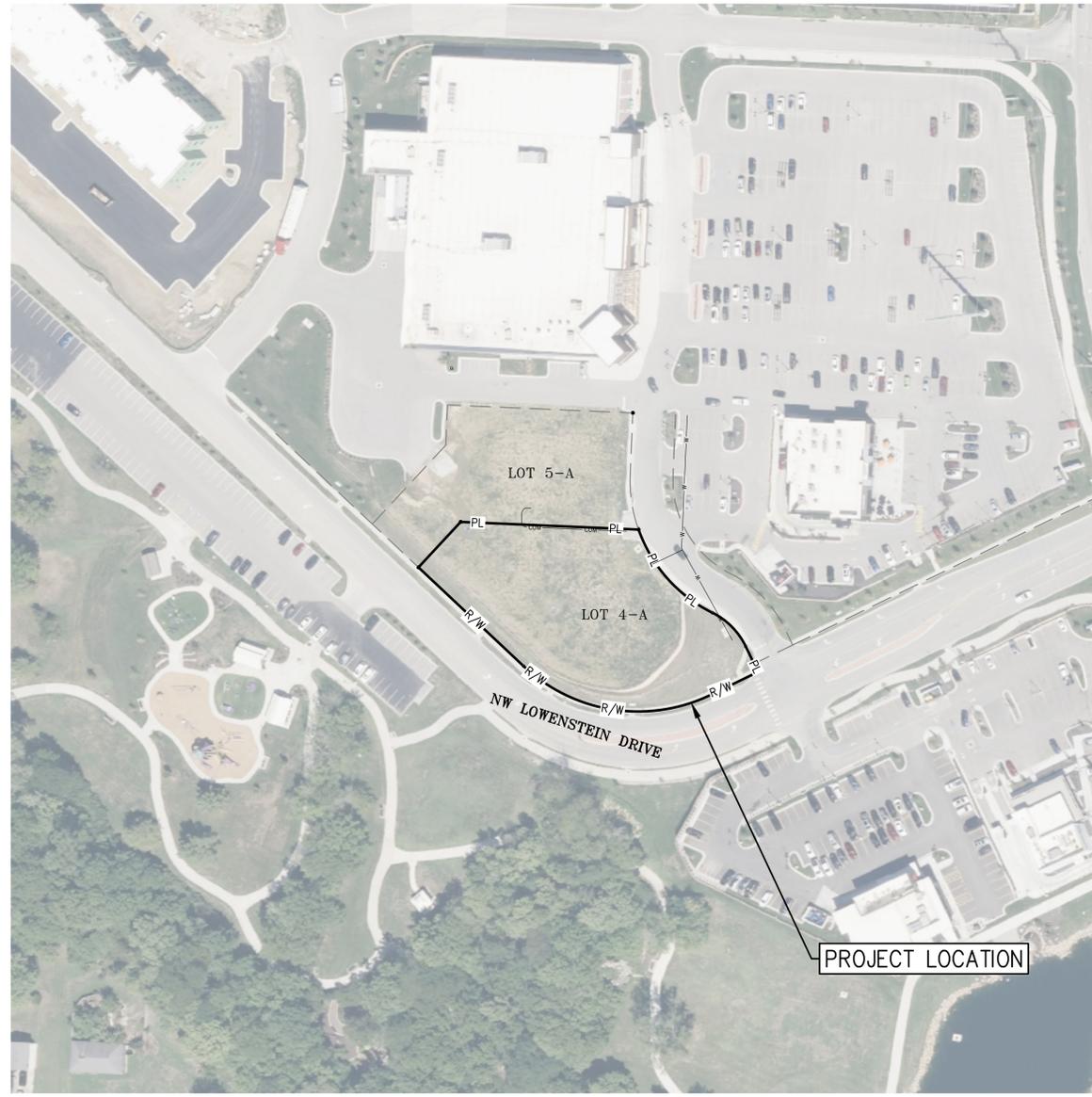


SITE DEVELOPMENT PLANS FOR HYPER ENERGY BAR 2060 NW LOWENSTEIN DRIVE IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

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FIRE ACCESS ROAD NOTE:

ALL FIRE ACCESS LANES SHALL BE HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING 75,000-POUNDS.

PRE-CONSTRUCTION MEETING NOTE:

THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

OIL-GAS WELLS:

ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES STATE OIL & GAS COUNCIL WELLS, LOCATED AT www.dnr.mo.gov/geology/geosrv/oilandgas.htm, THERE ARE NO OIL OR GAS WELLS ON THE PROPERTY SHOWN HEREON.

UTILITY COMPANIES:

- MISSOURI GAS ENERGY (816) 969-2218
- LUCAS WALLS (LUCAS.WALLS@SUG.COM) 3025 SOUTHEAST CLOVER DRIVE LEE'S SUMMIT, MO 64082
- EVERGY (816) 347-4339
- PHILLIP INGRAM (PHILLIP.INGRAM@KCPL.COM)
- RON DEJARNETTE (RON.DEJARNETTE@KCPL.COM) (816) 347-4316
- 1300 HAMBLEN ROAD LEE'S SUMMIT, MO 64081
- STORM SEWER (PUBLIC WORKS DEPARTMENT) (816) 969-1800
- 220 SE GREEN STREET LEE'S SUMMIT, MO 64063
- SANITARY SEWER & WATER (WATER UTILITIES DEPT.) (816)-969-1900
- 1200 SE HAMBLEN ROAD, LEE'S SUMMIT, MO 64081
- AT&T (913) 383-4929
- MR. CLAYTON ANSPAUGH (CA4089@ATT.COM) (913) 383-4849-FAX
- 9444 NALL AVENUE OVERLAND PARK, KANSAS 66207

PREPARED & SUBMITTED BY:

PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
CONTACT: DANIEL FINN, P.E.
913-393-1155 OFFICE
EMAIL: DFINN@PHELPSENGINEERING.COM

DEVELOPER:

HYPER ENERGY BAR
11275 AURORA AVENUE,
URBANDALE, IA 50322
CONTACT: CHRIS WHALEN
PHONE: 563-505-3069
EMAIL: CWHALEN@HOARI.COM

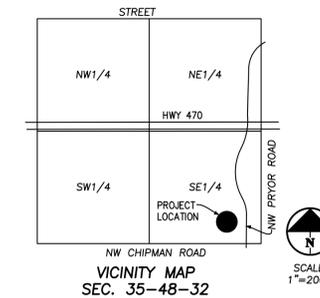
LEGAL DESCRIPTION:

LOT 4-A, STREETS OF WEST PRYOR, LOTS 4-A AND 5-A, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

GROSS AREA = 0.9139± ACRES

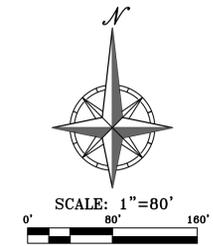
FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JOHNSON COUNTY, KANSAS, MAP NO. 29095C0416G, AND DATED JANUARY 20, 2017.



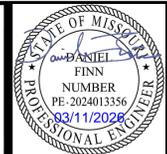
LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
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Fax (913) 393-1165
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

COVER SHEET
HYPER ENERGY BAR
2060 NW LOWENSTEIN DRIVE,
LEE'S SUMMIT, MO 64081

PROJECT NO.	DATE	BY	APP.	REVISIONS
250040	02-02-2026	DAE	AEB	1. 03-11-2026
				REVISED PER CITY COMMENTS

SHEET
C000

V:\phelps-engineering\projects\250040\Drawings\permit\plans\020226.dwg Layout:1 Mar 13, 2026 11:25am Daniel Finn

SITE PLAN NOTES:

- 1. All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
A) City ordinances & O.S.H.A. Regulations.
B) The City Technical Specifications and Municipal Code, latest edition.
2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
4. The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
5. The demolition and removal(or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
10. SAFETY NOTICE TO CONTRACTOR: In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
11. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

- 1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- 1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60F AND RISING. TWO COATS SHALL BE APPLIED.

SITE GRADING NOTES:

- 1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
2. If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
3. CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
4. TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.
5. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
6. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
7. PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
8. EARTHWORK:
A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
C) FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
9. All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
10. TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
11. CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
12. PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
13. UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
14. LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P. requirements.

UTILITY NOTES:

- 1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
2. The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
3. The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
4. It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City and Johnson County Unified Wastewater District.
8. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
9. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
10. The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
11. All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
12. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
13. Water lines shall be as follows (unless otherwise shown on plans):
A. Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
1. Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
2. Fittings: Wrought copper (95_5 Tin Antimony solder joint), ASME B 16.22.
B. Pipe sizes 3-inches Through 48-inches that are installed below grade and outside building shall comply with one of the following:
1. Gray Cast Iron Water Pipe: ANSI A21.6, thickness class 52.
a. Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
b. Elastomeric gaskets and lubricant: ASTM F477.
c. Cement Mortar Lining, AWWA C104
2. Ductile Iron Water Pipe: AWWA C151, thickness class 50.
a. Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
b. Elastomeric gaskets and lubricant: ASTM F477.
c. Cement Mortar Lining, AWWA C104
3. Polyvinyl Chloride (PVC) Water Pipe: Pipe, AWWA C900, rated DR 18 (Class 150), continually marked as required.
a. Elastomeric gaskets and lubricant: ASTM F477 for smaller pipes.
b. Pipe joints: Integrally molded bell ends, ASTM D3139.
c. Trace wire: Magnetic detectable conductor, (#12 Copper) brightly colored plastic covering imprinted with "Water Service" in large letters
14. Minimum trench width shall be 2 feet.
15. Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to waterone's specifications for commercial services.
16. All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
17. Sanitary conflicts will be resolved prior to permit issuance.
18. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing (or encased in concrete this same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 24" clearance. Meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
19. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
20. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
21. Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
22. When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
23. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.



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GENERAL NOTES
HYPER ENERGY BAR
2060 NW LOWENSTEIN DRIVE,
LEES SUMMIT, MO 64081

Table with columns: PROJECT NO., DATE, CHECKED, DATE, APPROVED, DATE, AUTHORIZATION, LAND SURVEYING, LAND ENGINEERING, E-SF, CREATOR, DATE OF AUTHORIZATION, LAND SURVEYING, LAND ENGINEERING, E-SF, E-SF.

SHEET
C001

DESCRIPTION:

LOT 4-A, STREETS OF WEST PRYOR, LOTS 4-A AND 5-A, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

AREA = 39,808± SQ.FT. / 0.9139± ACRES

TITLE NOTE:

TITLE INFORMATION SHOWN HEREON WAS TAKEN FROM FIRST AMERICAN TITLE COMPANY COMMITMENT FOR TITLE INSURANCE NO. NCS-1283934-KCTY DATED OCTOBER 30, 2025 AT 8:00 A.M.

SCHEDULE B, PART II - EXCEPTIONS:

- 9. A RIGHT-OF-WAY TO CITY OF LEE'S SUMMIT, MISSOURI IN THE DOCUMENT RECORDED OCTOBER 13, 1989 AS DOCUMENT NO. 1989094969 IN BOOK 1962, PAGE 1140 OF OFFICIAL RECORDS. (DOES NOT AFFECT THIS PROPERTY)
10. EASEMENTS, RESTRICTIONS AND SETBACK LINES AS PER PLAT, RECORDED AS/IN PLAT BOOK 183, PAGE 28. (SHOWN, AFFECTS THIS PROPERTY)
11. TERMS AND PROVISIONS AS SET FORTH IN FINAL JUDGMENT AND ORDER FORMING THE WEST PRYOR TRANSPORTATION DEVELOPMENT DISTRICT, RECORDED FEBRUARY 21, 2019 UNDER CASE NO. 1916-CV00964. (MAP INDICATED AS EXHIBIT A-2 NOT INCLUDED IN DOCUMENT, NO PLOTTABLE ELEMENT)
12. SUBJECT TO THE RIGHTS OF THE PUBLIC IN AND TO THE PORTION OF LOWENSTEIN ROAD OVER PORTION PROPERTY. (NO DOCUMENT PROVIDED)
13. THE RIGHTS, IF ANY, OF A CITY, PUBLIC UTILITY OR SPECIAL DISTRICT TO PRESERVE A PUBLIC EASEMENT IN NW LOWENSTEIN DRIVE AS THE SAME WAS VACATED BY THE DOCUMENT RECORDED APRIL 11, 2019 AS DOCUMENT NO. 2019022512. (DOES NOT AFFECT THIS PROPERTY)
14. TERMS AND PROVISIONS AS SET FORTH IN DECLARATION OF RESTRICTIONS, RECORDED SEPTEMBER 11, 2017 AS DOCUMENT NO. 2017E0083933. (DOES NOT AFFECT SUBJECT PROPERTY)
15. TERMS AND PROVISIONS AS SET FORTH IN DECLARATION OF RESTRICTIVE COVENANTS AND RIGHT OF FIRST REFUSAL, RECORDED MARCH 29, 2019 AS DOCUMENT NO. 2019E0022014. (AFFECTS THIS PROPERTY)
16. TERMS AND PROVISIONS AS SET FORTH IN DECLARATION OF RESTRICTIVE COVENANTS AND RIGHT OF FIRST REFUSAL, RECORDED MARCH 29, 2019 AS DOCUMENT NO. 2019E0032998. (SUBJECT PROPERTY WITHIN "OUTLOT PARCELS" PER EXHIBIT "C")
17. TERMS AND PROVISIONS AS SET FORTH IN DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS, RECORDED MAY 3, 2019 AS DOCUMENT NO. 2019E0032460. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
18. TERMS AND PROVISIONS OF ORDINANCE NO. 8905 FOR AND/OR CREATING ACCEPTING FINAL PLAT ENTITLED "STREETS OF WEST PRYOR LOTS 1 THRU 14, TRACTS A, B, C, & D" AS TO A SUBDIVISION TO THE CITY OF LEE'S SUMMIT, MISSOURI RECORDED IN DOCUMENT NO. 2019E0032537. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
19. TERMS AND PROVISIONS AS SET FORTH IN MEMORANDUM OF TAX INCREMENT FINANCING CONTRACT, BY AND BETWEEN CITY OF LEE'S SUMMIT, MISSOURI AND STREETS OF WEST PRYOR, LLC, RECORDED MAY 6, 2019 AS DOCUMENT NO. 2019E0032995. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
20. TERMS AND PROVISIONS AS SET FORTH IN MEMORANDUM OF STREETS OF WEST PRYOR COOPERATIVE AGREEMENT, BY AND BETWEEN CITY OF LEE'S SUMMIT, MISSOURI, STREETS OF WEST PRYOR COOPERATIVE DISTRICT AND STREETS OF WEST PRYOR, LLC, RECORDED MAY 6, 2019 AS DOCUMENT NO. 2019E0032996. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
21. TERMS AND PROVISIONS AS SET FORTH IN MEMORANDUM OF STREETS OF WEST PRYOR COOPERATIVE AGREEMENT, BY AND BETWEEN CITY OF LEE'S SUMMIT, MISSOURI, STREETS OF WEST PRYOR COOPERATIVE DISTRICT AND STREETS OF WEST PRYOR, LLC, RECORDED MAY 6, 2019 AS DOCUMENT NO. 2019E0032997. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
22. TERMS AND PROVISIONS OF ORDINANCE NO. 8813 FOR AND/OR CREATING VACATING CERTAIN EASEMENTS IN THE STREETS OF WEST PRYOR DEVELOPMENT, GENERALLY LOCATED AT THE NORTHWEST CORNER OF NW PRYOR ROAD AND NW CHIPMAN ROAD, IN THE CITY OF LEE'S SUMMIT, MISSOURI RECORDED IN DOCUMENT NO. 2020E0016907. (SHOWN, AFFECTS THIS PROPERTY)
23. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "TRANSFER AGREEMENT" RECORDED JUNE 15, 2023 AS DOCUMENT NO. 2023E0020414 OF OFFICIAL RECORDS. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
24. AN EASEMENT TO EVERGY MISSOURI WEST, INC., A MISSOURI CORPORATION RECORDED MARCH 06, 2024 IN DOCUMENT NO. 2024E0014094. (DOES NOT AFFECT THIS PROPERTY)
25. TERMS AND CONDITIONS OF THE UNRECORDED BUILDING LEASE BETWEEN SWP, LLC, AS LANDLORD, AND JEWELL ORTHODONTICS, LLC AS TENANT, DATED MARCH 17, 2023. (NOT A SURVEY MATTER)
26. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED MAY 01, 2019, BY AND BETWEEN CITY OF LEE'S SUMMIT AS LESSOR AND STREETS OF WEST PRYOR, LLC AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE AGREEMENT RECORDED MAY 07, 2019 AS DOCUMENT NO. 2019E0033314 OF OFFICIAL RECORDS.
27. ASSIGNMENT AND ASSUMPTION AGREEMENT DATED JUNE 15, 2023, BY AND BETWEEN STREETS OF WEST PRYOR, LLC, A LIMITED LIABILITY COMPANY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MISSOURI (ASSIGNEE), RECORDED JUNE 15, 2023, AS DOCUMENT NO. 2023E0042193 OF OFFICIAL RECORDS.
28. SECOND OMBUS AMENDMENT OF DOCUMENTS RECORDED MARCH 25, 2025 IN DOCUMENT NO. 2025E0019744. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)

SURVEY NOTES:

- 1. THERE IS A TOTAL OF 18 MARKED PARKING SPACES, SPACES LOCATED ON SUBJECT PROPERTY. PARKING SPACES ARE MARKED WITH PAINTED STRIPES AS SHOWN HEREON.
2. THERE IS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
3. THERE IS NO VISIBLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES, THERE IS NO VISIBLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. ALL PLOTTABLE OFFSITE, APPURTENANT EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6 ARE SHOWN HEREON.
5. THERE ARE NO VISIBLE ENCROACHMENTS ONTO THE SUBJECT PROPERTY BY STREETS, ALLEYS, BUILDINGS, STRUCTURES OR OTHER MAJOR IMPROVEMENTS, AS SHOWN ON THIS SURVEY.
6. THE PROPERTY DEPICTED HEREON IS THE SAME PROPERTY AS LEGALLY DESCRIBED IN THE REFERENCED TITLE COMMITMENT. THE PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE, AND THERE WAS NO EVIDENCE OF GAPS, GORES OR OVERLAPS OBSERVED.
7. CONTOURS SHOWN HEREON ARE AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON THE NAVD83 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 280174, JOHNSON COUNTY, KANSAS, MAP NO. 290950D4166, AND DATED JANUARY 20, 2017.

UTILITY NOTE:

UTILITIES SHOWN HEREON WERE TAKEN FROM FIELD LOCATES BY THE UTILITY COMPANIES OR THEIR RESPECTIVE REPRESENTATIVES AND MAPPING PROVIDED BY THE UTILITY COMPANIES AND ARE NOT THE RESULT OF AN ACTUAL DIG. LOCATIONS SHOWN ARE APPROXIMATE AND FIELD DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN HEREON. ONE CALL TICKET NO. 253532620.

BEFORE DIGGING, CONTACT THE KANSAS ONE CALL SYSTEM AT 1 800 DIG-SAFE OR 811 FOR UTILITY LOCATES.

ZONING:

AT THE TIME OF THIS SURVEY, NO ZONING REPORT WAS FURNISHED.

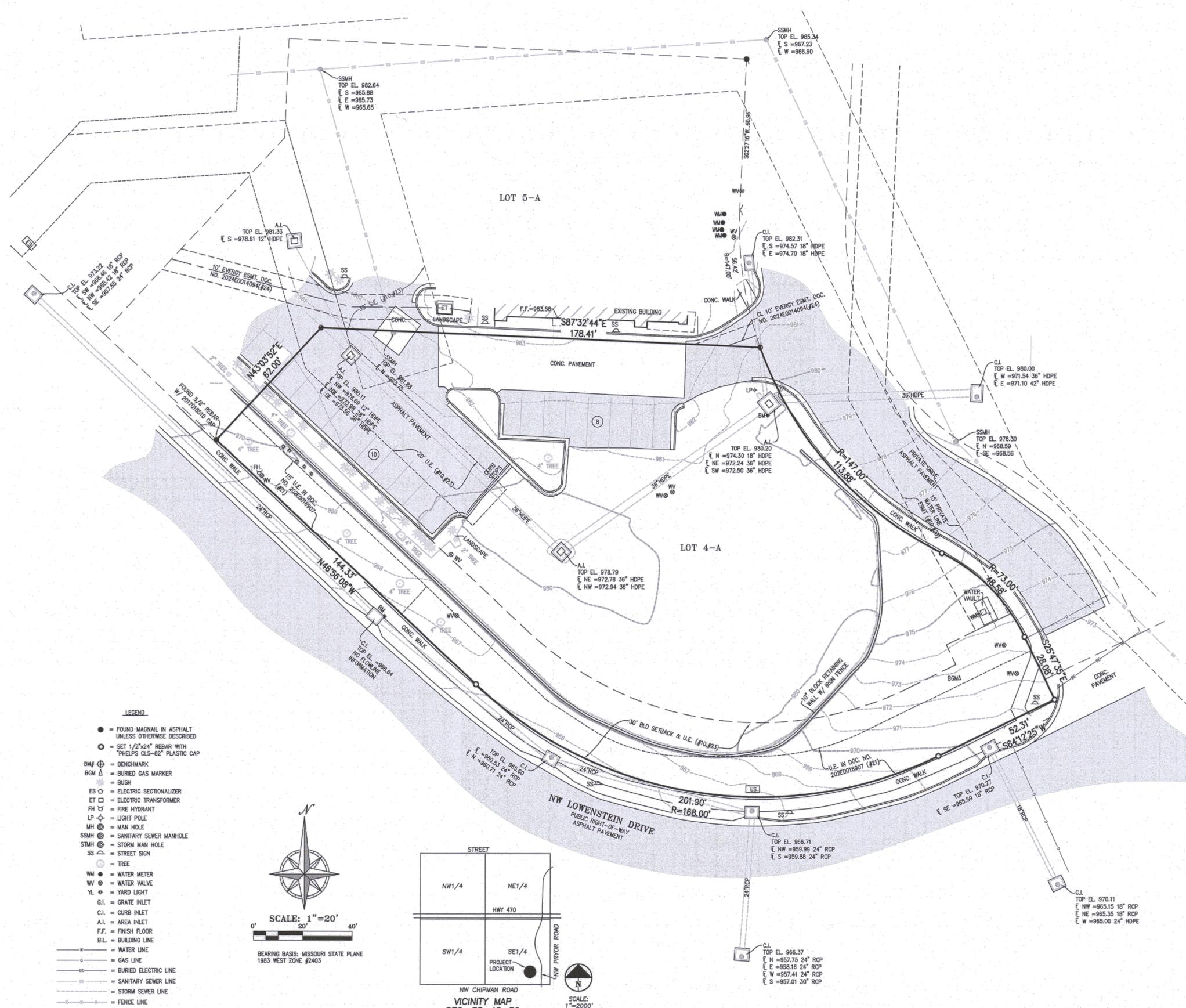
CERTIFICATION:

TO: HEB MO, LLC, AN IOWA LIMITED LIABILITY COMPANY; SWP V, LLC, A MISSOURI LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(A), 13 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 12, 2025.



BY: DAVID WAYNE JONES, JR., MO. LS-2021004164

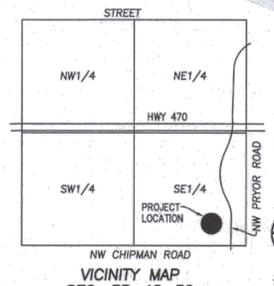


LEGEND:

- FOUND MAGNOLIA IN ASPHALT UNLESS OTHERWISE DESCRIBED
○ SET 1/2"x24" REBAR WITH "PHELPS GLS-82" PLASTIC CAP
BM# ⊕ BENCHMARK
BGM Δ BURIED GAS MARKER
* BUSH
ES ○ ELECTRIC SECTIONALIZER
ET □ ELECTRIC TRANSFORMER
FH ⊕ FIRE HYDRANT
LP ⊕ LIGHT POLE
MH ⊕ MAN HOLE
SMH ⊕ SANITARY SEWER MANHOLE
STMH ⊕ STORM MAN HOLE
SS ⊕ STREET SIGN
○ TREE
WM ● WATER METER
WV ⊕ WATER VALVE
YL * YARD LIGHT
G.I. GRATE INLET
C.I. CURB INLET
A.I. AREA INLET
F.F. FINISH FLOOR
B.L. BUILDING LINE
- - - WATER LINE
- - - GAS LINE
- - - BURIED ELECTRIC LINE
- - - SANITARY SEWER LINE
- - - STORM SEWER LINE
- - - FENCE LINE



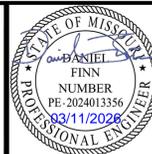
SCALE: 1"=20'
BEARING BASIS: MISSOURI STATE PLANE 1983 WEST ZONE #2403



PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
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www.phelpsengineering.com

ALTA/NSPS LAND TITLE SURVEY
LOT 4-A STREET OF WEST PRYOR
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
ADDRESS: 2060 NW LOWENSTEIN DRIVE

Table with columns for Project No., Date, Drawn, and other project details.



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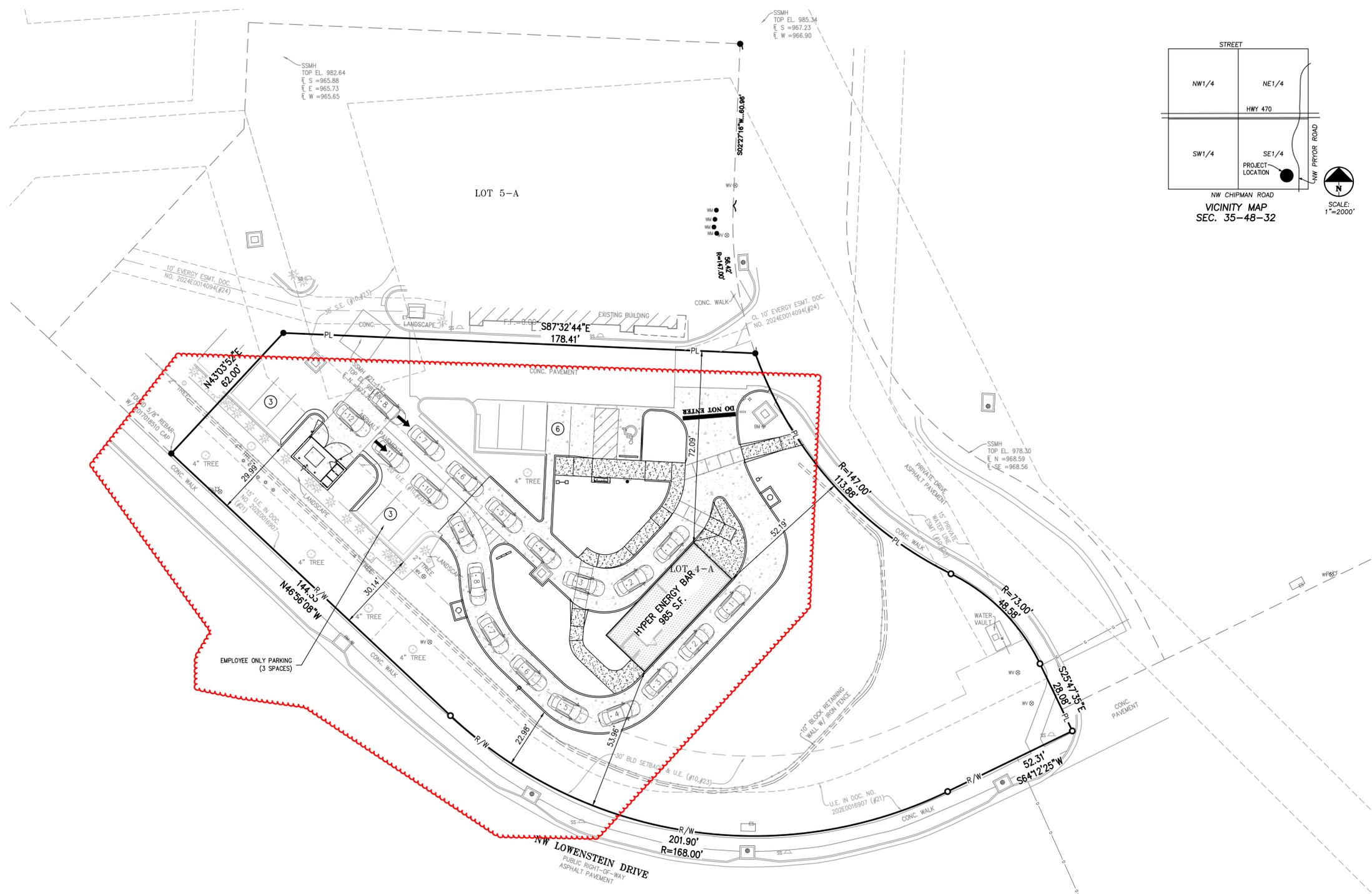
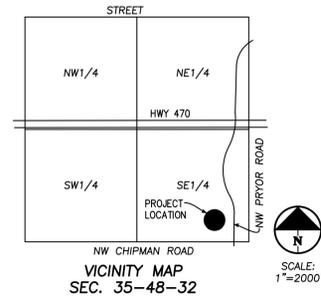


OVERALL SITE PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

Project No.	Date	By	App.
250040	03-11-2026	AEB	DAF

No.	Date	Revisions
1.	03-11-2026	REVISED PER CITY COMMENTS

SHEET
C100



COMMERCIAL SITE & BUILDING SUMMARY TABLE

SITE DATA	SITE AREA	FAR
LOT 4-A	0.9139 AC.	0.02412
BUILDING DATA	BUILDING AREA	MAX HT.
BUILDING #1	985 S.F.	18'
ZONING DATA	EXISTING	PROPOSED
	PMIX	PMIX

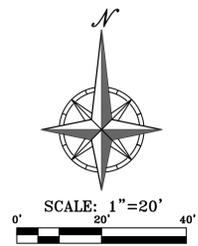
PARKING SUMMARY TABLE

PARKING REQUIREMENTS (CODE SECTION 8.530)	
REQUIRED - LOT 1	
RESTAURANT - DRIVE-THROUGH ONLY (2 PER BUSINESS + 1 PER EMPLOYEE ON MAX SHIFT)	6
TOTAL	6
PROVIDED - LOT 1	
STANDARD SPACES	11
ACCESSIBLE SPACES	1
TOTAL	12

OPEN SPACE SUMMARY TABLE

LOT 4-A	OPEN SPACE CALCULATIONS	
	EXISTING	PROPOSED
OPEN SPACE	0.68 AC. - 75%	0.53 AC. - 58%
IMPERVIOUS	0.23 AC. - 25%	0.38 AC. - 42%

- LEGEND**
- PL — PROPERTY LINE
 - LL — LOT LINE
 - R/W — RIGHT-OF-WAY
 - 2' CURB & GUTTER
 - 6" CURB
 - B/L — BUILDING SETBACK LINE
 - P/S — PARKING SETBACK LINE
 - L/S — LANDSCAPE SETBACK LINE
 - STANDARD DUTY ASPHALT PAVEMENT
 - PROPOSED BUILDING
 - CONCRETE PAVEMENT
 - CONCRETE SIDEWALK



LEGAL DESCRIPTION:
 LOT 4-A, STREETS OF WEST PRYOR, LOTS 4-1 AND 5-A, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
GROSS AREA = ±39,808 S.F. / ±0.9139 ACRES

UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



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SITE PLAN - ENLARGED
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

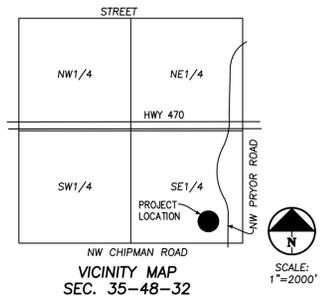
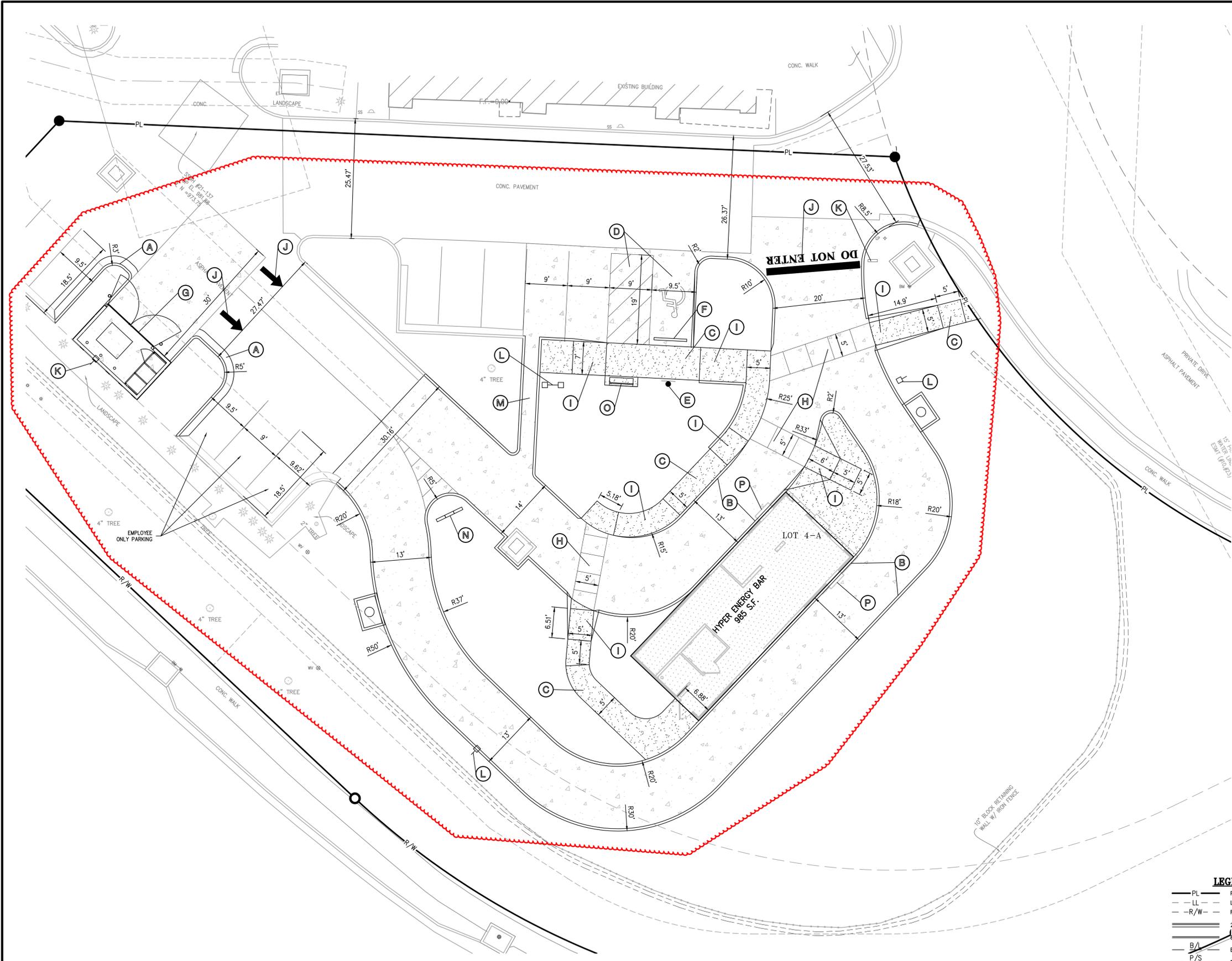
Project No.	By	App.
250040	AEB	DAF

No.	Date	Revisions
1.	03-11-2026	REVISED PER CITY COMMENTS

Project No.	Checked/DAF	Approved/DAF
250040	APPROVED/DAF	APPROVED/DAF

Professional Engineer	Professional Engineer
PHILIP S. ANSEL No. 2024013356 Date 03/11/2026	PHILIP S. ANSEL No. 2024013356 Date 03/11/2026

SHEET
C101

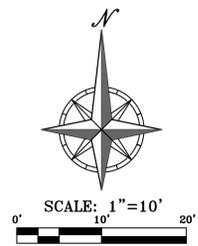


SITE KEY NOTES:

- (A) CONSTRUCT PRIVATE TYPE CG-1 CONCRETE CURB & GUTTER, TYP. SEE DETAIL GEN-4 ON SHEET C504.
- (B) CONSTRUCT PRIVATE MONOLITHICALLY POURED CONCRETE CURB (TYPICAL).
- (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK, TYP. SEE "CONCRETE SIDEWALK" DETAIL ON SHEET C500.
- (D) INSTALL ACCESSIBLE PAVEMENT MARKINGS PER ADA SPECIFICATIONS. SEE "ACCESSIBLE PARKING SPACE" DETAIL ON SHEET C501.
- (E) INSTALL VAN ACCESSIBLE PARKING SIGN. SEE "ACCESSIBLE PARKING SIGN (MISSOURI)" DETAIL ON SHEET C501.
- (F) INSTALL CONCRETE WHEEL STOP (TYPICAL). SEE "PRECAST CONCRETE WHEELSTOP" DETAIL ON SHEET C501.
- (G) INSTALL TRASH ENCLOSURE (RE: ARCH PLANS).
- (H) INSTALL SCORED CONCRETED CROSSWALK. SEE "CROSSWALK DETAIL" ON SHEET C501.
- (I) CONSTRUCT PRIVATE SIDEWALK CURB RAMP (OMIT DETECTABLE WARNING). SEE "ACCESSIBLE SIDEWALK CURB RAMP" DETAILS ON SHEETS C500 AND C501.
- (J) INSTALL WHITE PAINTED DIRECTIONAL PAVEMENT MARKINGS.
- (K) INSTALL DO NOT ENTER SIGN.
- (L) INSTALL PARKING LOT LIGHTS. (REFER TO SITE LIGHTING PLAN FOR CONCRETE BASE DETAIL).
- (M) CONSTRUCT CONCRETE FLUME. SEE "CONCRETE FLUME" DETAIL ON SHEET C501.
- (N) INSTALL MENU BOARD AND DIRECTIONAL SIGNAGE (NO SPEAKER).
- (O) INSTALL BENCH (SPECIFICATION OF BENCH TO BE SELECTED BY OWNER).
- (P) PROPOSED PICKUP WINDOW (REFER TO ARCH PLANS).

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- 6" CURB
- B/L — BUILDING SETBACK LINE
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- PROPOSED BUILDING
- CONCRETE PAVEMENT
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NOTE: CONTRACTOR TO SUPPLY A SITE SPECIFIC JOINTING PATTERN PLAN FOR THE CONCRETE PAVEMENT.

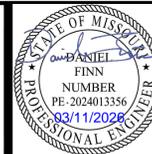
LEGAL DESCRIPTION:
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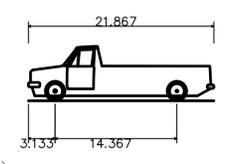
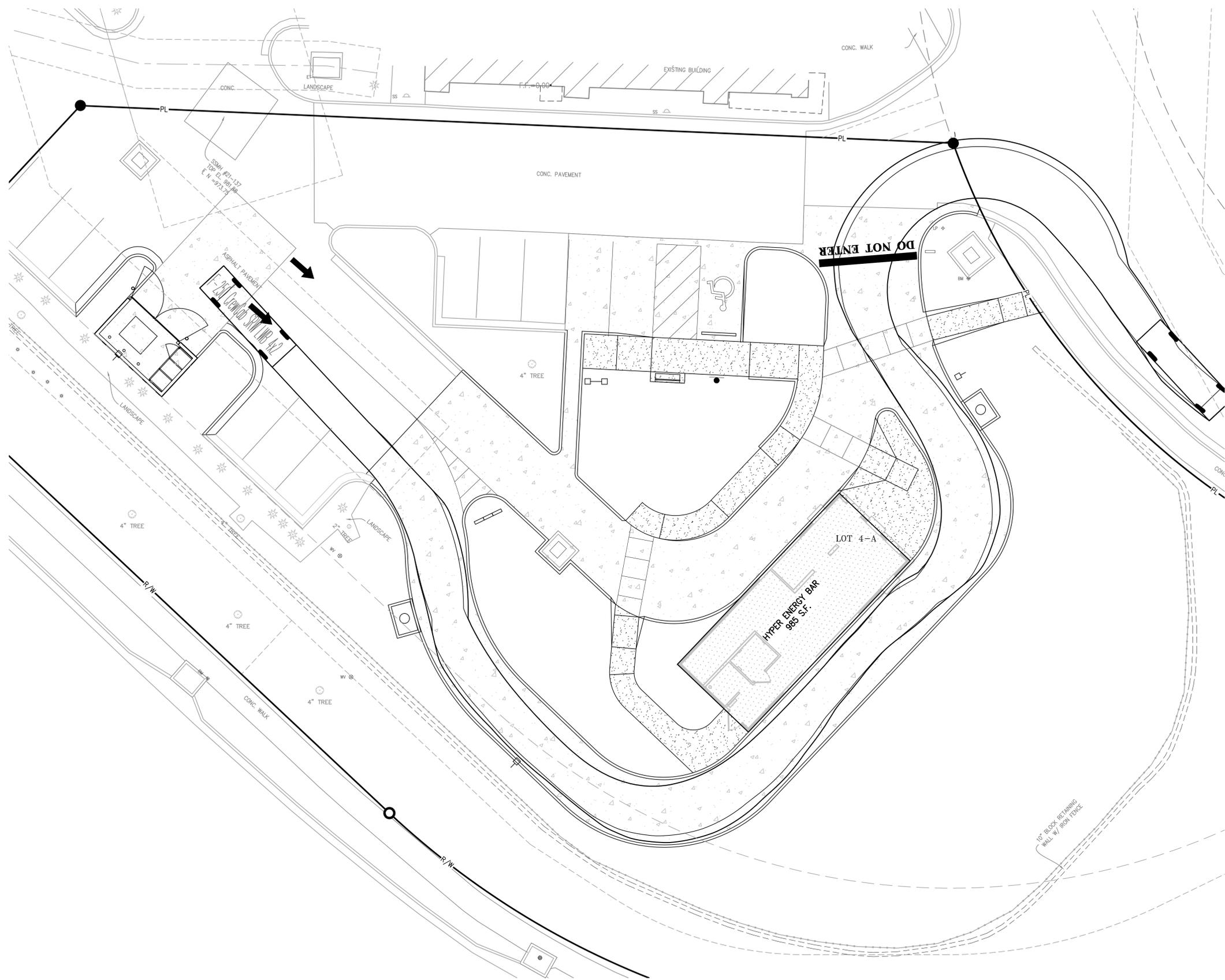
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TRUCK TURN PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081



F-250 CrewCab SRW LWB 4x2
 Overall Length 21.867ft
 Overall Width 6.658ft
 Overall Body Height 6.392ft
 Min. Body Ground Clearance 0.583ft
 Track Width 6.658ft
 Lock-to-lock time 5.00s
 Curb to Curb Turning Radius 29.250ft

LEGEND

— PL —	PROPERTY LINE
- - LL - -	LOT LINE
- - R/W - -	RIGHT-OF-WAY
====	2' CURB & GUTTER
=====	6" CURB
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[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
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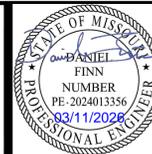
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PROJECT NO.	DATE	BY	APP.
250040	03-11-2026	AEB	DAF
DATE: 02-02-2026	DRAWN: AEB	CHECKED: DAF	APPROVED: DAF
CORPORATE AUTHORIZATION	LAND SURVEYING - LS-82	ENGINEERING - E-361	CERTIFICATE OF AUTHORIZATION
LAND SURVEYING: 200700128	ENGINEERING: 200700028		

SHEET
C102

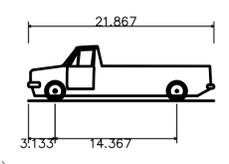
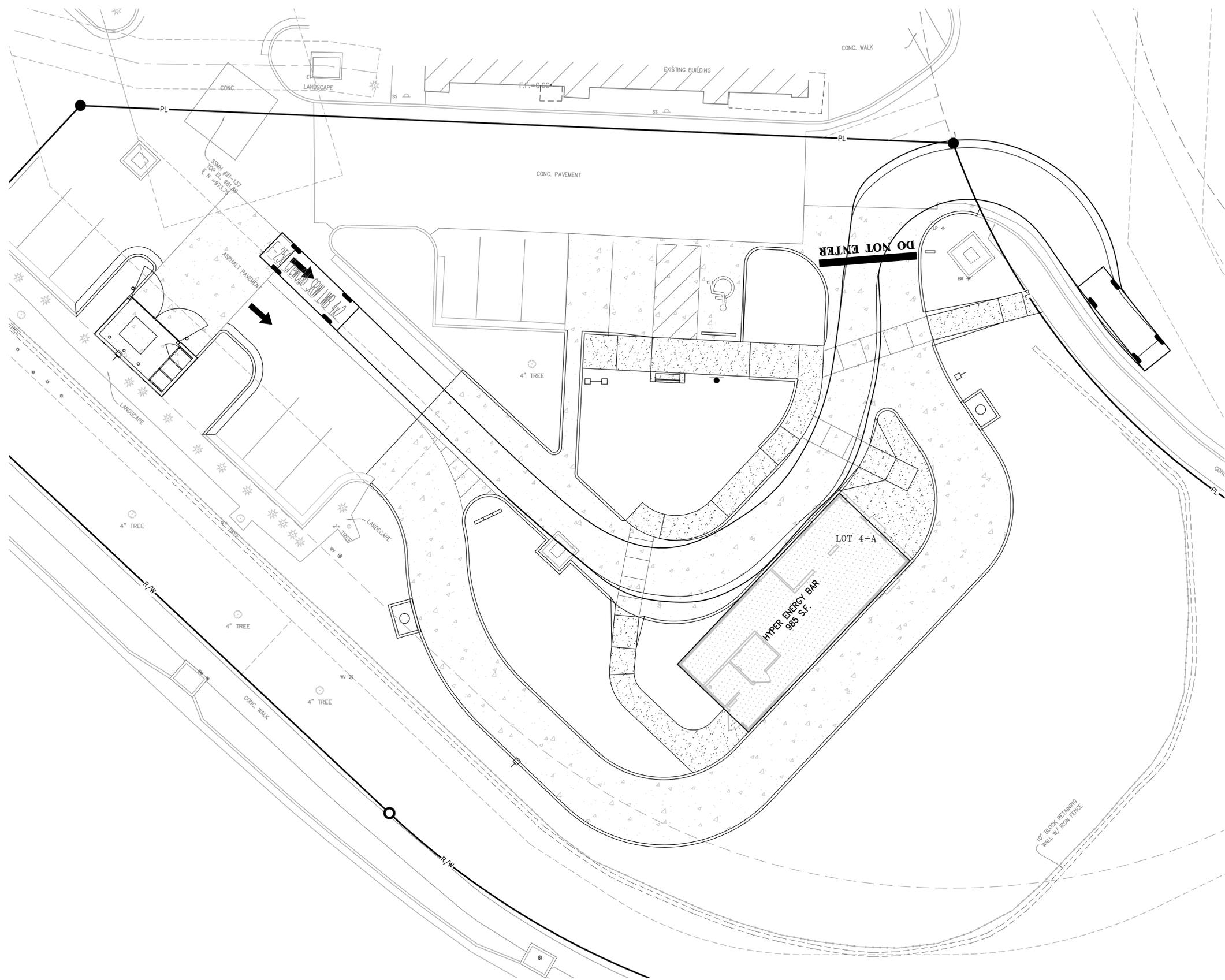
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TRUCK TURN PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081



F-250 CrewCab SRW LWB 4x2
 Overall Length 21.867ft
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 Track Width 6.658ft
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 Curb to Curb Turning Radius 29.250ft

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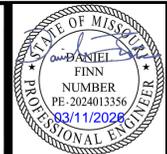
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CORPORATE AUTHORIZATION	LAND SURVEYING - LS-82	ENGINEERING - E-361	CERTIFICATE OF AUTHORIZATION
LAND SURVEYING: 200700128	ENGINEERING: 200700038		

SHEET
C103

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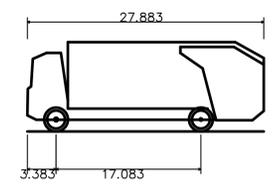
TRASH TRUCK TURN PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

PROJECT NO.	DATE	BY	APP.
250040	03-11-2026	AEB	DAF

No.	Date	Revisions
1.	03-11-2026	REVISED PER CITY COMMENTS

PROJECT NO.	DATE	BY	APP.
250040	02-02-2026	DRAWN: AEB	APPROVED: DAF
		CHECKED: DAF	APPROVED: DAF
		CITY DATE OF AUTHORIZATION	
		LAND SURVEYING - LS-82	
		ENGINEERING - E-361	
		CITY DATE OF AUTHORIZATION	
		LAND SURVEYING-200701028	
		ENGINEERING-200300036	

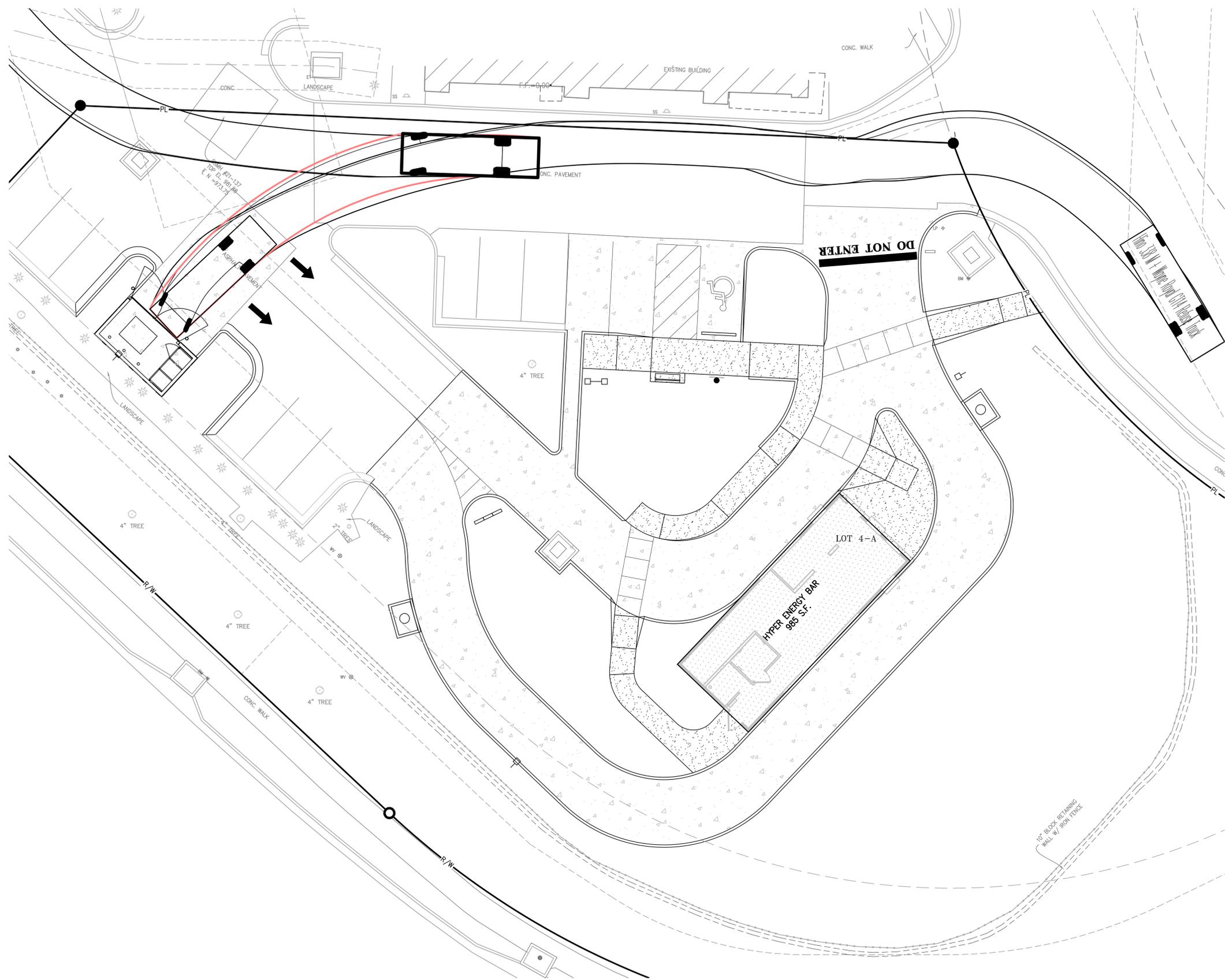
SHEET
C104



Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 27.883ft
 Overall Width 8.042ft
 Overall Body Height 10.488ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft

LEGEND

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- - LL - -	LOT LINE
- - R/W - -	RIGHT-OF-WAY
=====	2' CURB & GUTTER
=====	6" CURB
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[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Pattern]	PROPOSED BUILDING
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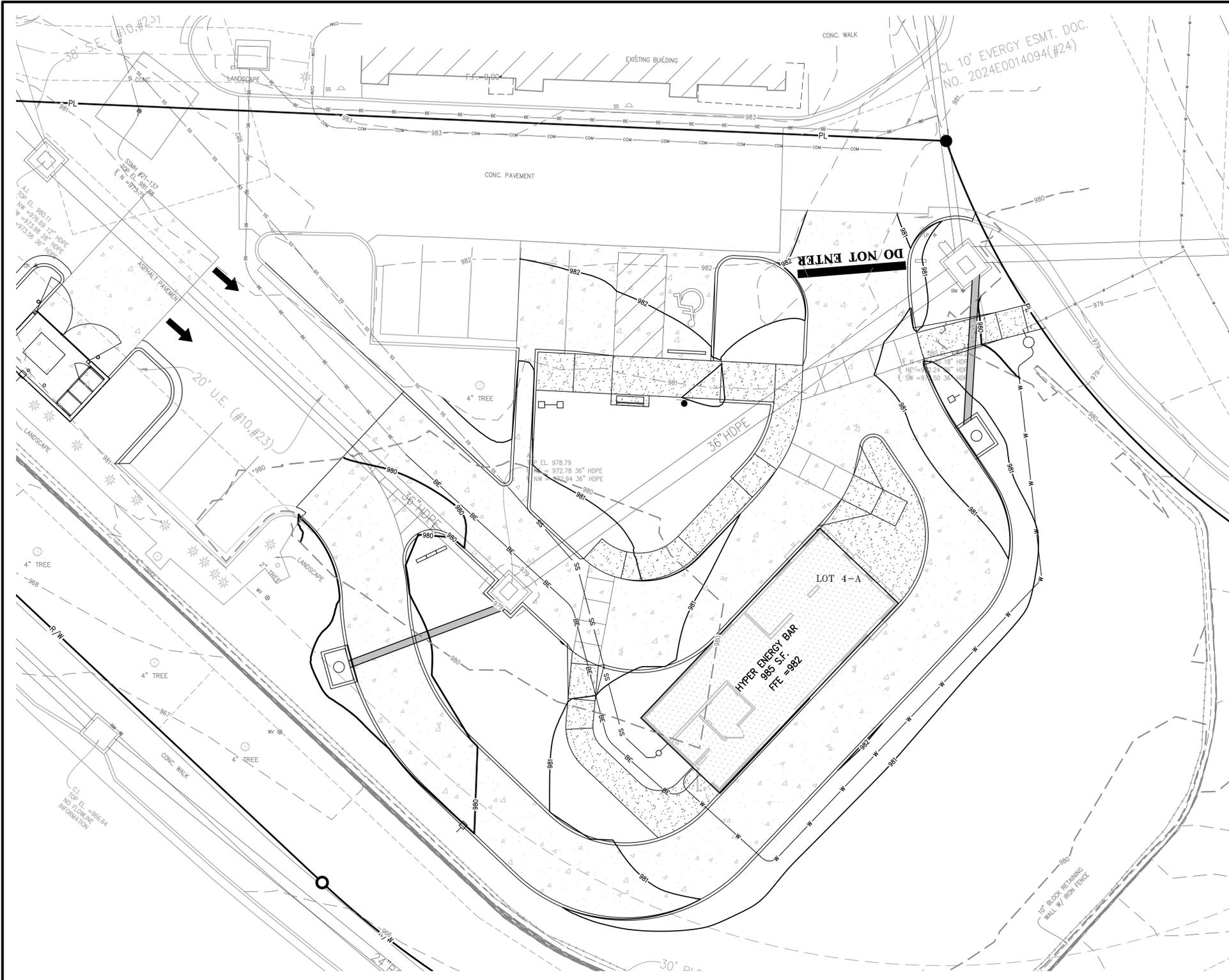


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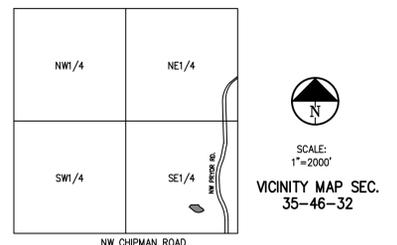
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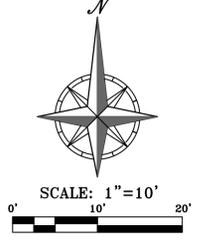
Earthwork Summary	
Hyper Energy Bar	
3/4/2026	
Raw Excavation	26 Cu. Yds.
In Place Compaction (+15%)	-391 Cu. Yds.
Pavement Adjustment	277 Cu. Yds. (assume 12" of additional excavation)
Building Adjustment	73 Cu. Yds. (assume 24" of additional excavation)
On Site Net	-15 Cu. Yds.

FLOOD NOTE:
 THE PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0416G, AND DATED JANUARY 20, 2017.

* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.



- LEGEND**
- PL — PROPERTY LINE
 - - - LL - LOT LINE
 - - - R/W - RIGHT-OF-WAY
 - 920 --- EXISTING CONTOURS
 - 918 --- EXISTING CONTOURS
 - 920 --- PROPOSED CONTOURS
 - 918 --- PROPOSED CONTOURS
 - — — EXISTING STORM SEWER
 - — — PROPOSED STORM PIPE
 - — — PROPOSED WET CURB & GUTTER
 - — — PROPOSED DRY CURB & GUTTER
 - — — PROPOSED RETAINING WALL
 - 1088.00
5/8" PROPOSED SPOT ELEVATION
 - LG LIP OF GUTTER
 - TC TOP OF CURB
 - SW SIDEWALK
 - ME MATCH EXISTING
 - HP HIGH POINT
 - LP LOW POINT
 - P TOP OF PAVEMENT
 - TE TOP OF STRUCTURE
 - GR GROUND ELEVATION
 - BS BOTTOM OF STEPS
 - TS TOP OF STEPS
 - BW GRADE AT BOTTOM OF WALL
 - TW GRADE AT TOP OF WALL



Know what's below.
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UTILITY NOTES:
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 1270 N. Winchester
 Olathe, Kansas 66061
 (913) 993-1155
 Fax (913) 993-1165
 www.phelpsenr.com



GRADING PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEE'S SUMMIT, MO 64081

Project No.	Date	By	App.
250040	03-11-2026	AEB	DAF

No.	Date	Revisions
1.		REVISED PER CITY COMMENTS

Checked/Date	Approved/Date
DAF / 03-11-2026	DAF / 03-11-2026

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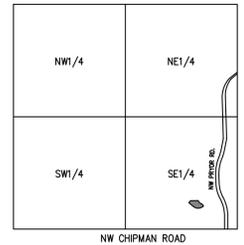
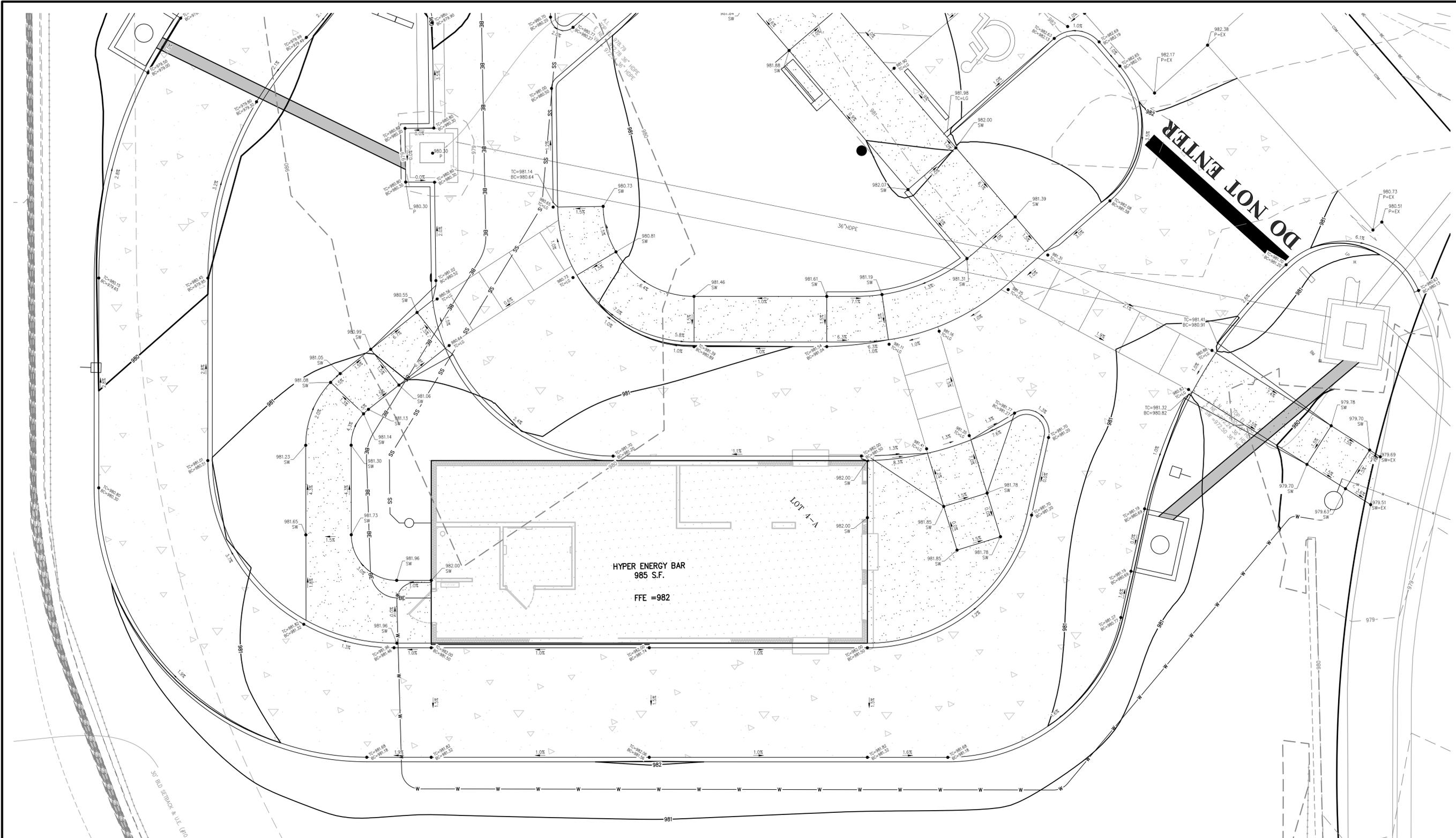


GRADING PLAN - ENLARGED
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

No.	Date	Revisions	By	App.
1.	03-11-2026	REVISED PER CITY COMMENTS	AEB	DAF

PROJECT NO. 250040
 DATE: 02-02-2026 DRAWN: AEB
 CHECKED: DAF APPROVED: DAF
 CADD: DAF
 LICENSE NO. 2024013356
 LICENSE EXPIRES: 03-11-2026
 STATE OF MISSOURI
 PROFESSIONAL ENGINEER

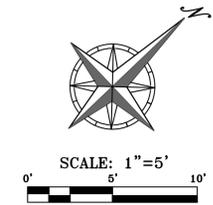
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SCALE: 1"=2000'
 VICINITY MAP SEC. 35-46-32

- LEGEND**
- PL — PROPERTY LINE
 - LL — LOT LINE
 - - - R/W — RIGHT-OF-WAY
 - 920 — EXISTING CONTOURS
 - 918 — EXISTING CONTOURS
 - 918 — PROPOSED CONTOURS
 - — EXISTING STORM SEWER
 - — PROPOSED STORM PIPE
 - — PROPOSED WET CURB & GUTTER
 - — PROPOSED DRY CURB & GUTTER
 - — PROPOSED RETAINING WALL

- PROPOSED SPOT ELEVATION
- LG — LIP OF GUTTER
 - TC — TOP OF CURB
 - SW — SIDEWALK
 - ME — MATCH EXISTING
 - HP — HIGH POINT
 - LP — LOW POINT
 - P — TOP OF PAVEMENT
 - TE — TOP OF STRUCTURE
 - GR — GROUND ELEVATION
 - BS — BOTTOM OF STEPS
 - TS — TOP OF STEPS
 - BW — GRADE AT BOTTOM OF WALL
 - TW — GRADE AT TOP OF WALL



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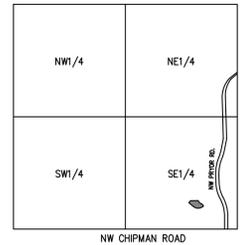


GRADING PLAN - ENLARGED
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

No.	Date	By	App.	Revisions:
1.	03-11-2026	AEB	DAF	REVISED PER CITY COMMENTS

PROJECT NO. 250040
 DATE: 02-02-2026
 DRAWN: AEB
 CHECKED: DAF
 APPROVED: DAF
 CADD: DATE OF AUTHORIZATION
 LAND SURVEYING - LS-82
 ENGINEERING - E-361
 CERTIFICATE OF AUTHORIZATION
 LAND SURVEYING: 200700128
 ENGINEERING: 200300328

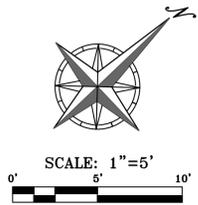
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SCALE:
 1"=2000'
 VICINITY MAP SEC.
 35-46-32

- LEGEND**
- PL — PROPERTY LINE
 - LL — LOT LINE
 - R/W — RIGHT-OF-WAY
 - 920 — EXISTING CONTOURS
 - 918 — EXISTING CONTOURS
 - 920 — PROPOSED CONTOURS
 - 918 — PROPOSED CONTOURS
 - — EXISTING STORM SEWER
 - — PROPOSED STORM PIPE
 - — PROPOSED WET CURB & GUTTER
 - — PROPOSED DRY CURB & GUTTER
 - — PROPOSED RETAINING WALL

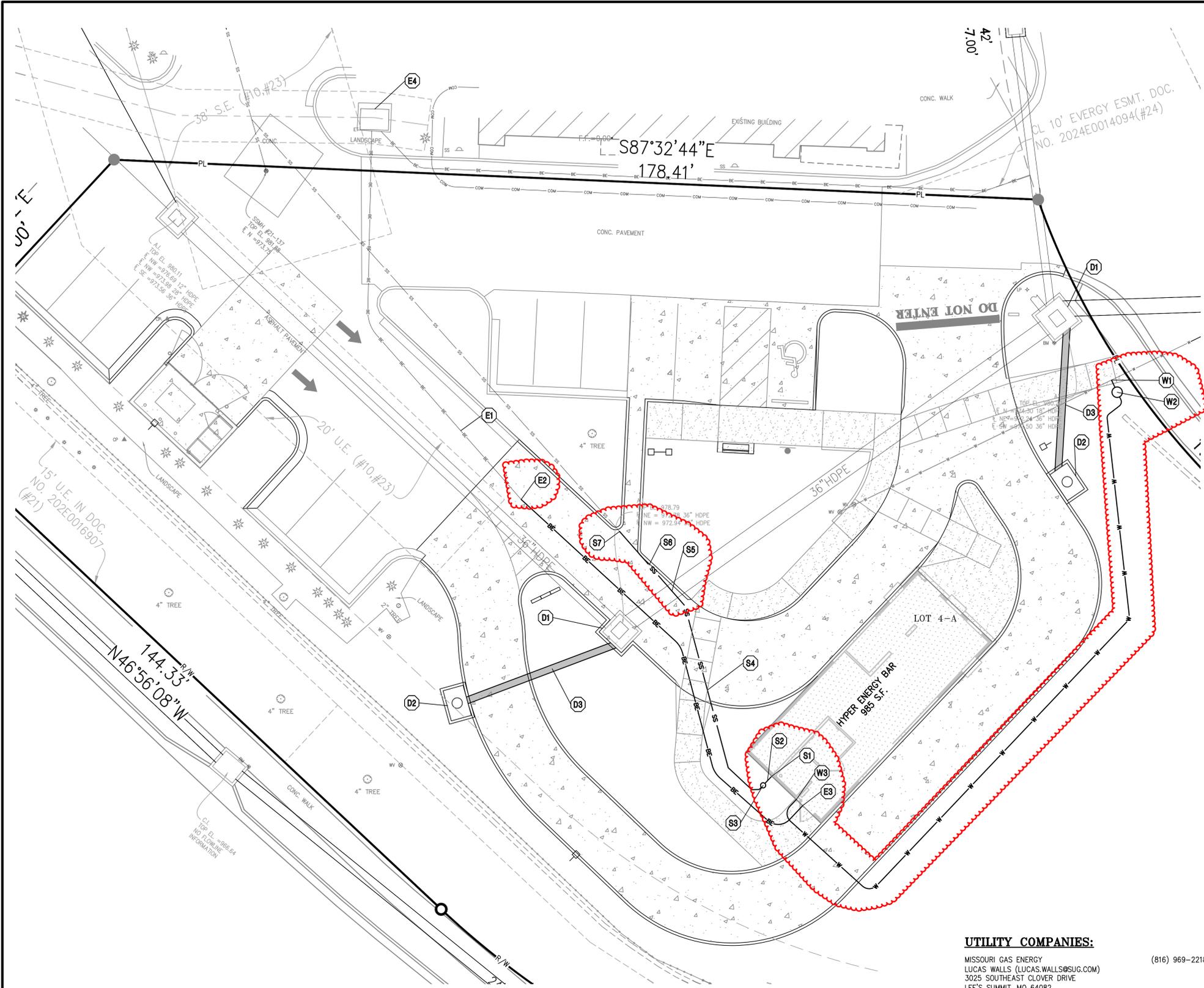
- PROPOSED SPOT ELEVATION**
- LG LIP OF GUTTER
 - TC TOP OF CURB
 - SW SIDEWALK
 - ME MATCH EXISTING
 - HP HIGH POINT
 - LP LOW POINT
 - P TOP OF PAVEMENT
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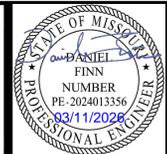
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- UTILITY KEY NOTES:**
- D1 EXISTING AREA INLET TO BE CONVERTED TO GRATE INLET. (REFER TO STORM SEWER PLAN & PROFILES).
 - D2 INSTALL PRIVATE STORM STRUCTURE (REFER TO STORM SEWER PLAN & PROFILES).
 - D3 INSTALL PRIVATE STORM SEWER (REFER TO STORM SEWER PLAN & PROFILES).
 - E1 TWO EXISTING 3" CONDUITS FOR ELECTRICAL SERVICE. DRAWN PER STREETS OF WEST PRIOR LOT 5 CONSTRUCTION DRAWINGS PROVIDED BY SELLER. (DESIGN DRAWINGS BY SM ENGINEERING DATED 03/03/2023).
 - E2 CONNECT TO EXISTING 3" CONDUIT AND INSTALL NEW SECONDARY ELECTRICAL CONDUIT TO BUILDING. FOLLOW ELECTRIC COMPANY WORKORDER AND SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE.
 - E3 ELECTRICAL ENTRY INTO BUILDING. FOLLOW ELECTRIC COMPANY REQUIREMENTS (RE: BUILDING ELECTRICAL PLAN).
 - E4 EXISTING TRANSFORMER TO REMAIN.
 - W1 CONTRACTOR TO LOCATE EXISTING 8" PVC (C900) WATER SERVICE STUB. DRAWN PER EXISTING CONDITIONS SHOWN ON THE WEST PRIOR LOT 5 CONSTRUCTION DRAWINGS PROVIDED BY SELLER. (DESIGN DRAWINGS BY SM ENGINEERING DATED 03/03/2023). INSTALL 8" 90° BEND WITH 8" TO 1" REDUCER & THRUST BLOCK. NEW DOMESTIC SERVICE LINE SHALL BE 1" TYPE "K" COPPER FROM THE CONNECTION TO THE EXISTING 8" PVC STUB TO THE POINT 10 FT PAST THE METER. 1" EXISTING 8" PVC WATER SERVICE STUB AND VALVES WEST OF CONNECTION POINT TO BE REMOVED.
 - W2 PROVIDE AND INSTALL 1" WATER METER PIT PER WATER PROVIDER REQUIREMENTS. ALL LABOR AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH WATER PROVIDER STANDARDS AND SPECIFICATIONS. WATER METER PIT SHALL BE LOCATED IN A GRASSY AREA WITH A MINIMUM OF 2 FEET OF CLEARANCE ON ALL SIDES. NEW DOMESTIC SERVICE LINE SHALL BE 1" TYPE "K" COPPER FROM THE CONNECTION TO THE EXISTING 8" PVC STUB TO THE POINT 10 FT PAST THE METER. CONTRACTOR SHALL TRANSITION FROM 1" TYPE "K" COPPER TO 2" HDPE C901 DR11 (BLUE) AT THE POINT 10 FT DOWNSTREAM OF THE WATER METER.
 - W3 2" HDPE C901 DR11 (BLUE) DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, REDUCERS, BENDS, TEES, ETC., WHICH MAY BE REQUIRED (REFER TO MEP PLANS).
 - S1 CONNECT TO INTERIOR SEWER PLUMBING (RE: PLUMBING PLANS). FG = 982.00 FL = 978.00
 - S2 INSTALL 2 LF. 4" PVC (SDR-26) @ 2.0%
 - S3 INSTALL CLEAN OUT IN NON-PAVED AREA FG=981.93 FL=977.96
 - S4 INSTALL 45 LF. 4" PVC (SDR-26) @ 2.7%
 - S5 UTILITY CROSSING FG=979.50 EX. 36" STORM FL=972.75 PROP. OF SANITARY FL=976.75 VERTICAL SEPARATION=1.0 FT
 - S6 INSTALL 15 LF. 4" PVC (SDR-26) @ 11.0%
 - S7 CONNECT TO EXISTING 4" PVC SDR-26 SANITARY SEWER SERVICE LINE. DRAWN PER STREETS OF WEST PRIOR LOT 5 CONSTRUCTION DRAWINGS PROVIDED BY SELLER. (DESIGN DRAWINGS BY SM ENGINEERING DATED 03/03/2023). E05 FL=975.10

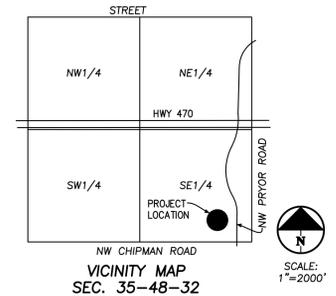


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UTILITY PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

PROJECT NO.	DATE	BY	APP.	REVISIONS
250040	03-11-2026	AEB	DAF	REVISED PER CITY COMMENTS
1.				



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- WATER NOTES:**
- THE METER PIT MUST BE LOCATED IN THE PUBLIC RIGHT-OF-WAY OR EASEMENT WITHIN ONE FOOT OF THE APPLICANT'S PROPERTY LINE.
 - THE METER PIT MUST BE IN A GRASSY AREA
 - THE METER PIT MUST HAVE A MINIMUM OF 2 FEET OF CLEARANCE ON ALL SIDES.
 - THE METER PIT MUST BE ON THE CUSTOMERS SIDE OF THE SIDEWALK.
 - THE METER PIT MUST NOT BE BEHIND A FENCE, RETAINING WALL OR OTHER STRUCTURE
 - THE METER PIT COVER SHALL BE FLUSH WITH THE GROUND AT FINAL GRADE.
 - TREELINE VAULT MUST BE AT LEAST 7 FEET AWAY FROM THE WATER MAIN.
 - ALL BACKFLOW ASSEMBLIES INSTALLED MUST BE UCS APPROVED.

- SANITARY SEWER NOTES:**
- ALL SERVICE LINES SHALL BE 6" PVC (SDR-26) W/ RUBBER-GASKETED JOINTS (UNLESS OTHERWISE NOTED).
 - ALL 6" SERVICE LINES TO BE INSTALLED AT 1.00% UNLESS OTHERWISE NOTED.
 - THREE (3) FEET OF COVER SHALL BE MAINTAINED AT ALL TIMES OVER THE TOP OF THE SANITARY SEWER MAIN & SERVICE STUBS
 - NO ROOF DRAINS, OR GUTTERS AND DOWNSPOUTS SHALL CONNECT TO SANITARY SEWER.
 - IN THE EVENT OF WORK IN OR ON THE PUBLIC SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
 - SANITARY SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT JCW SERVICE LINE DESIGN AND CONSTRUCTION STANDARDS.
 - NO FOUNDATION DRAINS ARE INCLUDED WITH THIS PROJECT.
 - RETAINING WALL DRAINS SHALL NOT CONNECT TO SANITARY SEWER.
 - THIS PROJECT DOES NOT INCLUDE STORMWATER BMPs.

- UTILITY COMPANIES:**
- MISSOURI GAS ENERGY (816) 969-2218
 LUCAS WALLS (LUCAS.WALLS@SUG.COM)
 3025 SOUTHEAST CLOVER DRIVE
 LEE'S SUMMIT, MO 64082
 - EVERGY (816) 347-4339
 PHILLIP INGRAM (PHILLIP.INGRAM@KCPL.COM)
 RON DEJARNETTE (RON.DEJARNETTE@KCPL.COM)
 1300 HAMBLEN ROAD
 LEE'S SUMMIT, MO 64081
 - STORM SEWER (PUBLIC WORKS DEPARTMENT) (816) 969-1800
 220 SE GREEN STREET
 LEE'S SUMMIT, MO 64063
 - SANITARY SEWER & WATER (WATER UTILITIES DEPT.) (816)-969-1900
 1200 SE HAMBLEN ROAD,
 LEE'S SUMMIT, MO 64081
 - AT&T (913) 383-4929
 MR. CLAYTON ANSPAUGH (CA4089@ATT.COM)
 9444 NALL AVENUE
 OVERLAND PARK, KANSAS 66207

- LEGEND**
- PL PROPERTY LINE
 - LL LOT LINE
 - R/W RIGHT-OF-WAY
 - COM EXISTING COMMUNICATIONS LINE
 - OHC EXISTING OVERHEAD COMMUNICATIONS LINE
 - G EXISTING GAS LINE
 - BE EXISTING BURIED ELECTRIC LINE
 - OHP EXISTING OVERHEAD POWER LINE
 - SS EXISTING SANITARY SEWER LINE
 - SSW EXISTING STORM SEWER LINE
 - W EXISTING WATER LINE
 - G PROPOSED GAS LINE
 - BE PROPOSED BURIED ELECTRIC LINE
 - SS PROPOSED SANITARY SEWER LINE
 - SSW PROPOSED STORM SEWER LINE
 - W PROPOSED WATER LINE
 - F PROPOSED FIRE LINE
 - STM PROPOSED SECONDARY STORM

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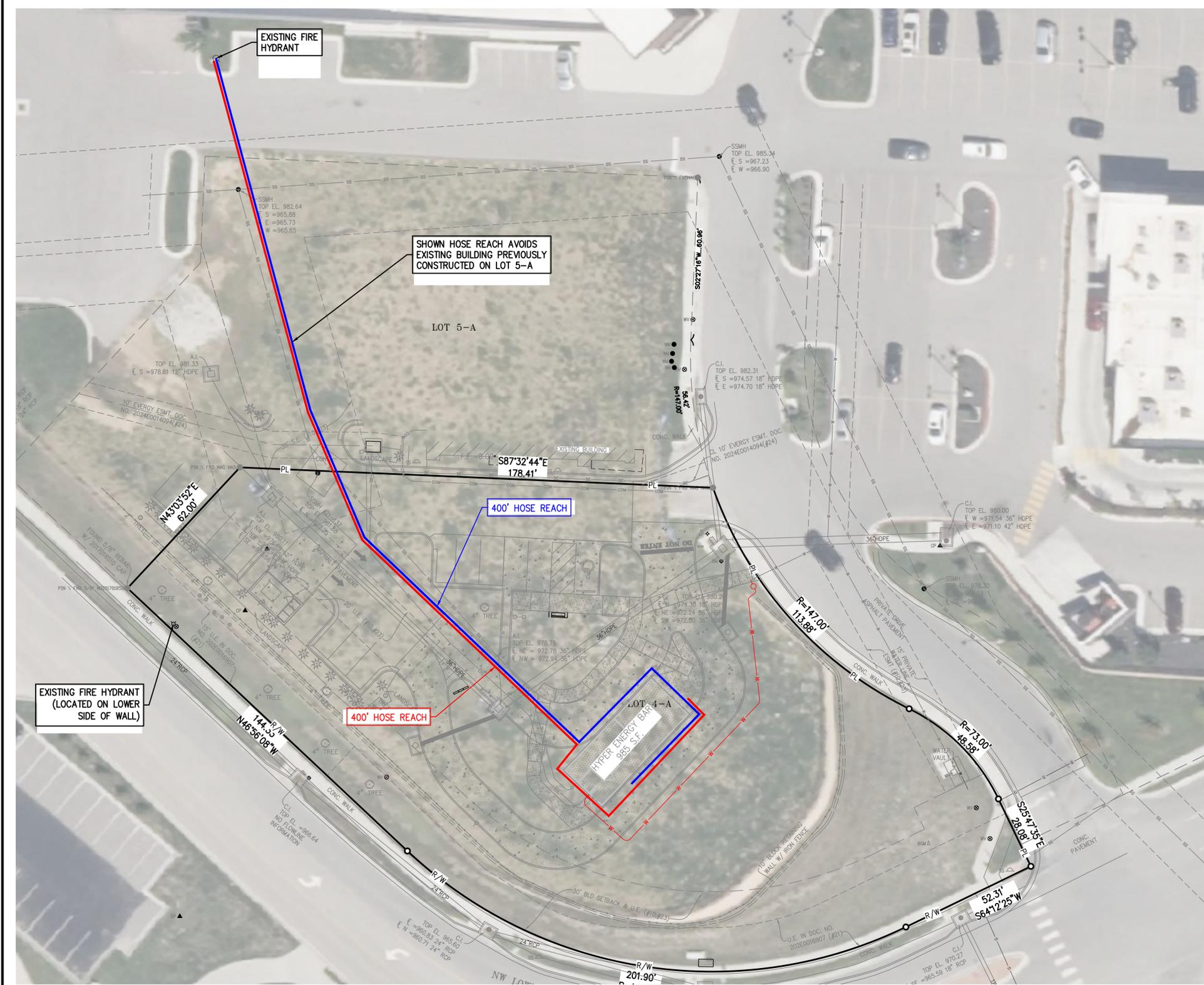


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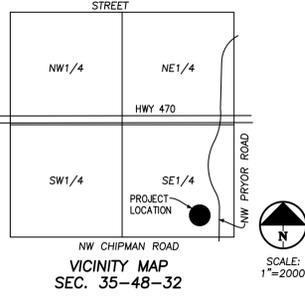
FIRE PROTECTION PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081



LEGEND

	FIRE HOSE REACH
	FIRE HOSE REACH
	FIRE HYDRANT

ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.



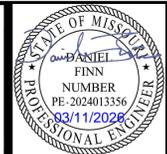
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250040	03-11-2026	AEB	DAF	REVISED PER CITY COMMENTS
DATE CHECKED	DATE APPROVED	DATE OF AUTHORIZATION	DATE OF AUTHORIZATION	
02-02-2026	03-11-2026	LS-82	E-381	
		LAND SURVEYING - LS-82	ENGINEERING - E-381	
		CERTIFICATE OF AUTHORIZATION	CERTIFICATE OF AUTHORIZATION	
		LAND SURVEYING-20070128	LAND SURVEYING-20070128	
		ENGINEERING-20070038	ENGINEERING-20070038	

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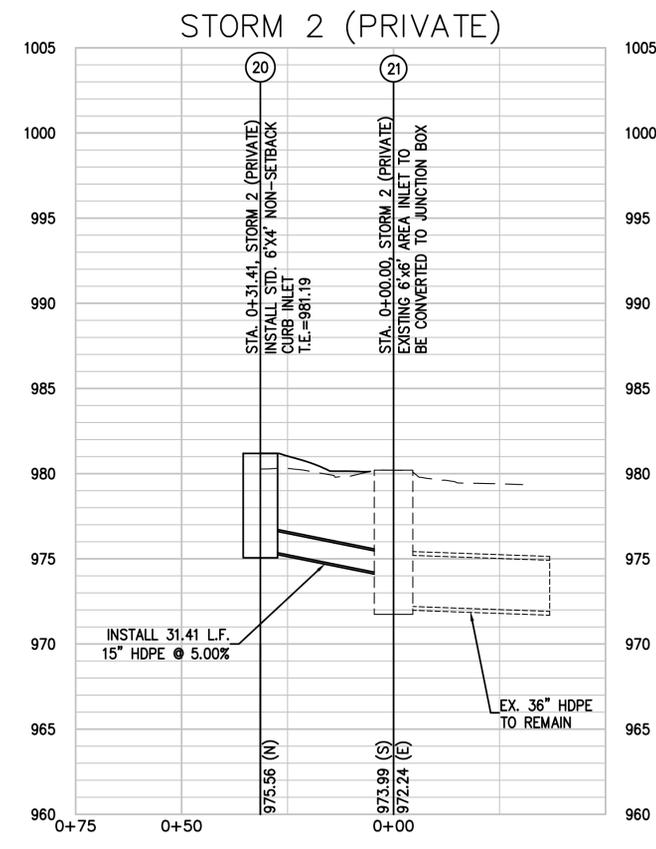
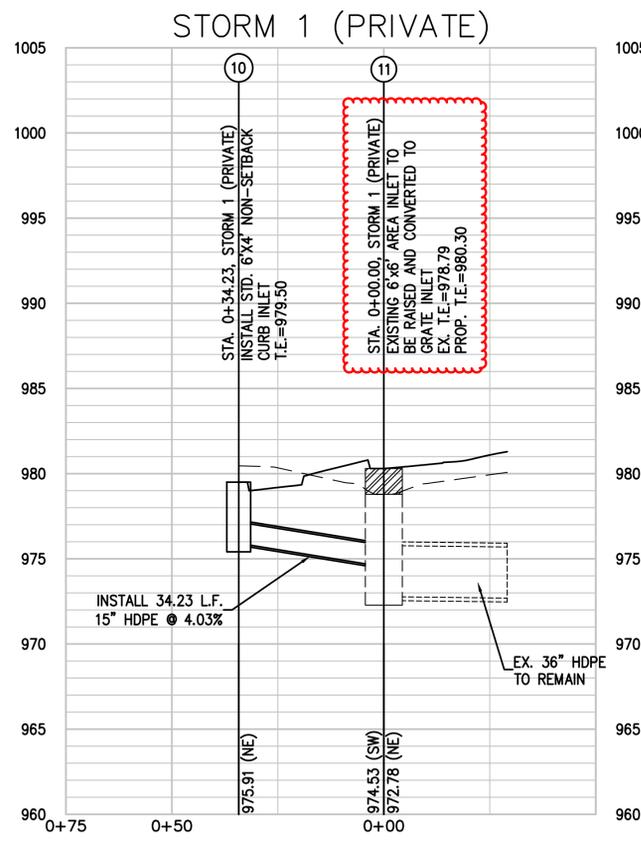
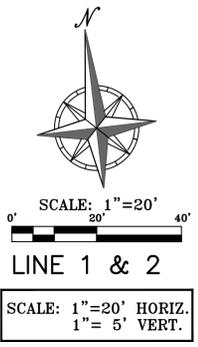
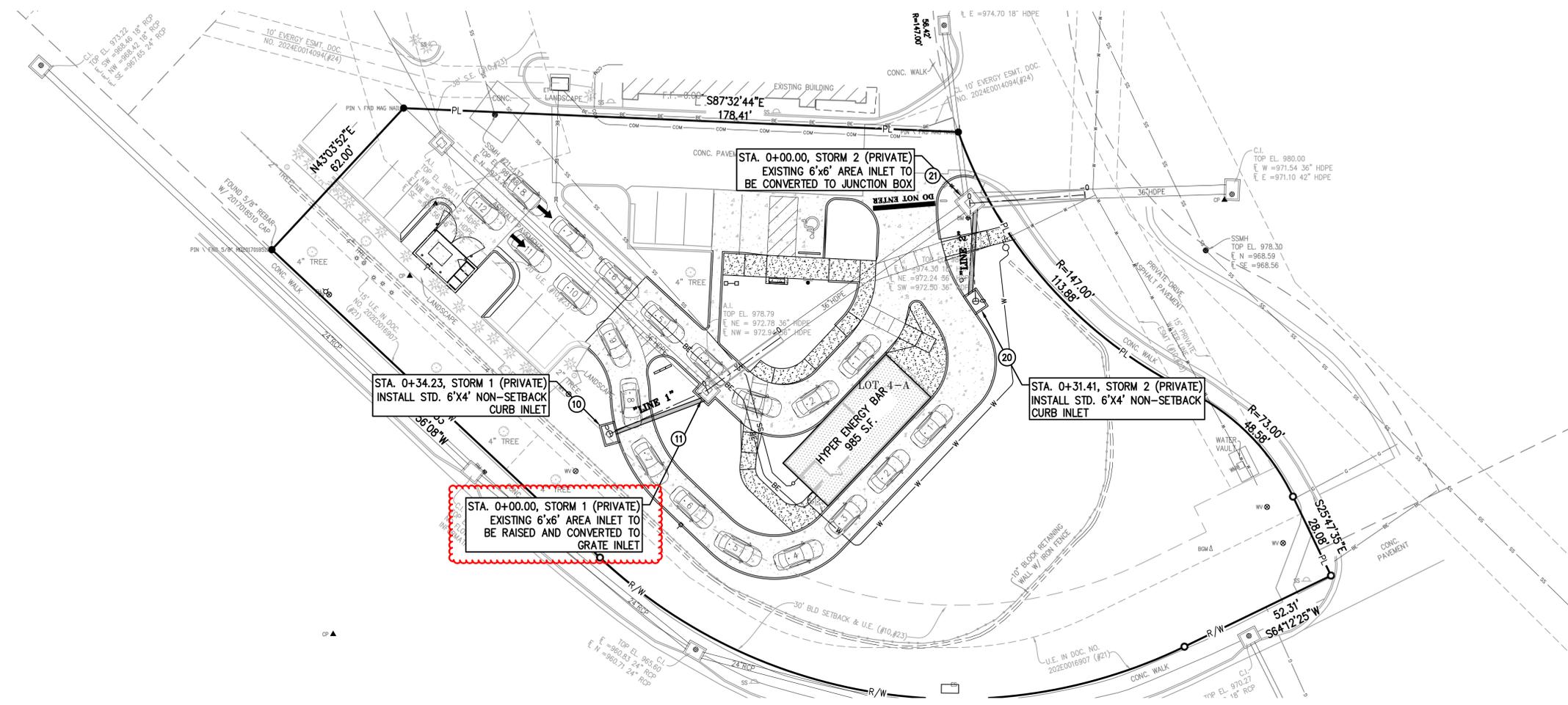
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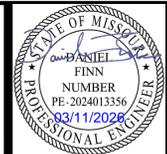


STORM SEWER PLAN & PROFILE
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081



No.	Date	By	App.	Revisions:
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 CERTIFICATE OF AUTHORIZATION
 LAND SURVEYING - 20070128
 ENGINEERING - 20030038



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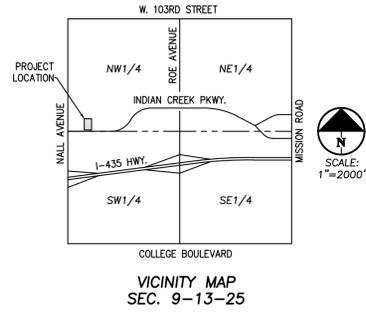
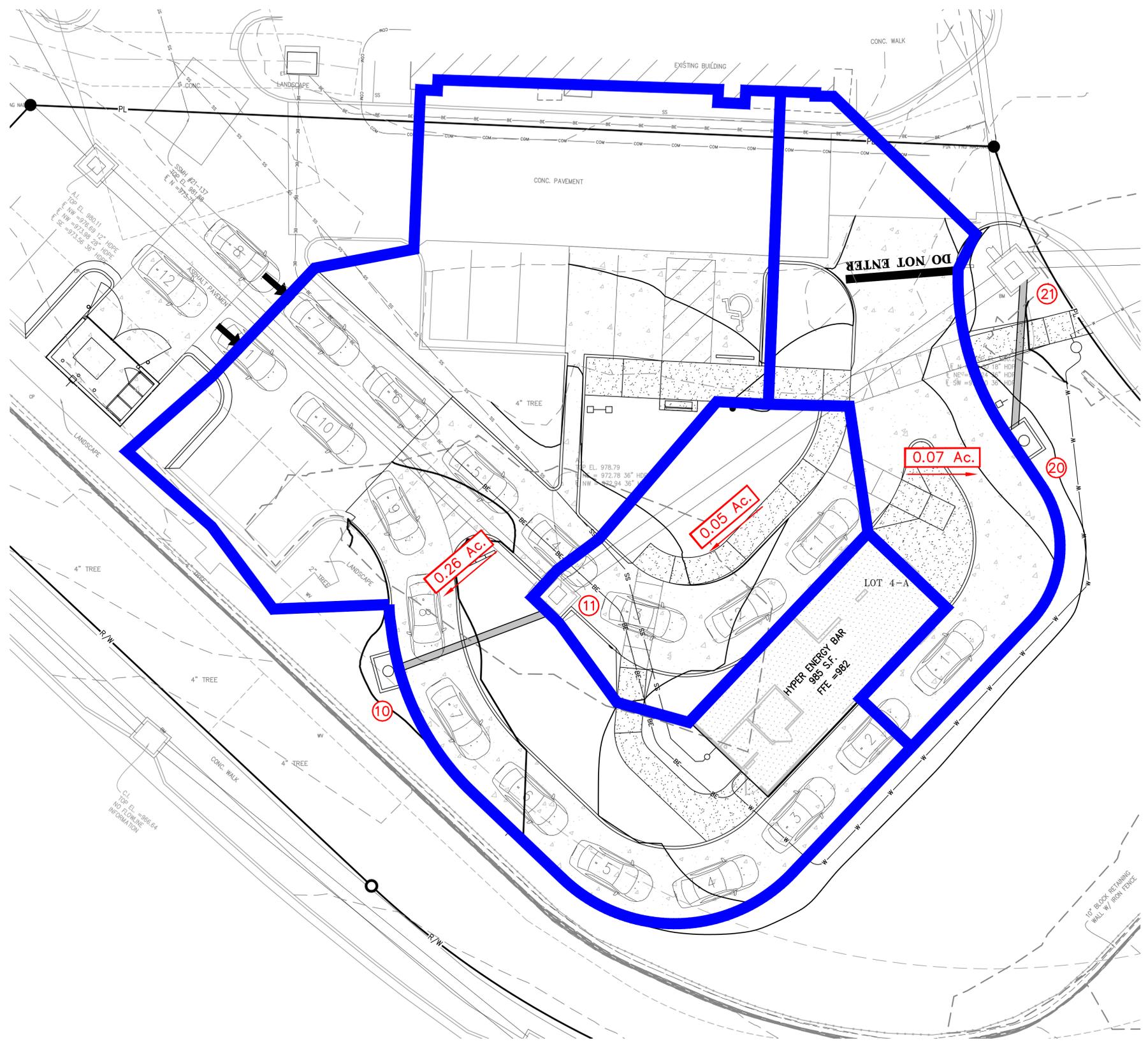
DRAINAGE MAP
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

Project No.	Date	Revisions	By	App.
250040	03-11-2026	1. REVISED PER CITY COMMENTS	AEB	DAF

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FLOOD NOTE:

THE PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0416G, AND DATED JANUARY 20, 2017.

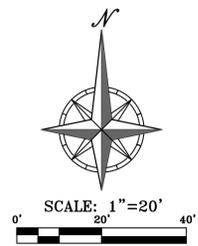


STORM DRAINAGE CALCULATIONS

DESIGN CRITERIA: $K_s = 1.1$; $K_{100} = 1.25$; $n = 0.013$ (RCP);

No.	Date	I. RUNOFF							III. PIPE DESIGN							REMARKS											
		STRUCTURE	UPSTREAM STRUCTURE NUMBER	DOWNSTREAM STRUCTURE NUMBER	DIAMETER (IN)	SLOPE (FT/FT)	VELOCITY FULL (FPS)	RUNOFF Q_{10} (CFS)	RUNOFF Q_{100} (CFS)	FULL FLOW Q_p (CFS)	INCREMENTAL	CUMULATIVE	SYSTEM TIME OF CONCENTRATION "T _c " AT STRUCTURE (MIN)	RAINFALL INTENSITY "I ₁₀ " (IN/HR)	ANTECEDENT PRECIPITATION FACTOR "K ₁₀ "		RUNOFF "Q ₁₀ / Q _{100" (CFS)}										
1	10	10	11	15	0.0403	10.6	2.0	2.7	13.0	0.81	0.26	0.21	0.26	0.21	5.00	8.53	1.10	2.0	10	11	15	0.0403	10.6	2.0	2.7	13.0	GOOD
2	20	20	21	15	0.0500	11.9	0.6	0.8	14.4	0.81	0.07	0.06	0.33	0.06	5.00	8.53	1.10	0.6	20	21	15	0.0500	11.9	0.6	0.8	14.4	GOOD

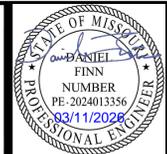
- LEGEND**
- XXX --- EXISTING CONTOURS
 - XXX --- PROPOSED CONTOURS
 - XXX --- DENOTES DRAINAGE AREA
 - XXX --- DENOTES FLOW DIRECTION
 - XXX --- DENOTES DRAINAGE AREA TO STRUCTURE
 - XXX --- DENOTES STRUCTURE NUMBER



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EROSION CONTROL PLAN
HYPER ENERGY BAR
2060 NW LOWENSTEIN DRIVE,
LEES SUMMIT, MO 64081

Project No.	App.	By	Date
250040	AEB	DAF	03-11-2026

No.	Date	Revisions:
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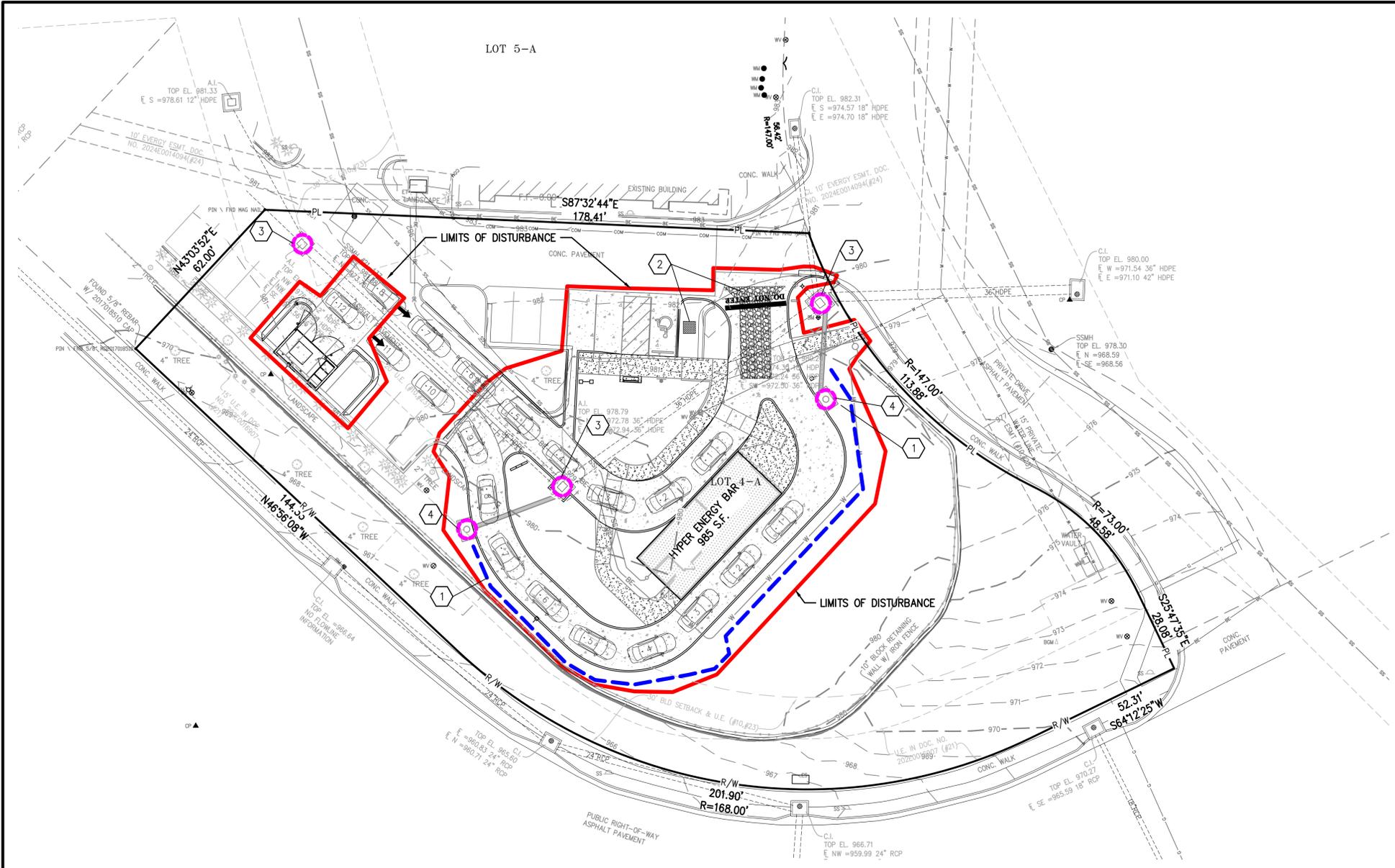
EROSION AND SEDIMENT CONTROL GENERAL NOTES:

- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any tree or stream preservation designated to remain with construction fencing.
 - Construct a stabilized entrance/parking/delivery area and install all perimeter sediment controls on the site.
 - Install and request the inspection of the preconstruction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, placement of physical barriers or other means acceptable to the contractor and the City Inspector.
- Erosion and sediment control devices protecting the public right-of-way shall be installed as soon as the right-of-way has been backfilled and graded.
- The contractor shall comply with all requirements of City Ordinances or State permit requirements, such as:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at least once a every 14 days and within 24 hours following each rainfall event of 1/4" or more within any 24-hour period.
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The log shall be available for review by the City, the State of Kansas, or other authorities having jurisdiction.
- The contractor shall maintain installed erosion and sediment control devices on a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, tree preservation areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel. Failure to do so is a violation of the provisions of City Ordinances and State permit requirements.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMP's in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinsewater from concrete mixing equipment, tools and/or ready-mix trucks, loads, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place and excess water evaporated or infiltrated into the ground.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials store outside must be in closed and sealed water-proof containers and located outside of drainageways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.

MAINTENANCE: ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

NOTE:
A Storm Water Pollution Prevention Plan (SWPPP) has been prepared for this project and is incorporated herein by reference into the project requirements. The Contractor shall keep a copy of the SWPPP, these Erosion Control Plans, the Notice of Intent (NOI) and inspection book on the job site at all times.



STAGING CHART

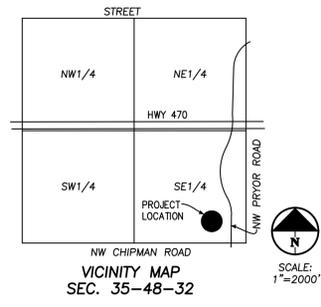
Project Stage	Order	BMP Description	Remove after Stage:	Notes:
Phase I A. Prior to Land Disturbance and During Construction.	①	Sediment Fence	C	Place downstream project site perimeter. (APWA ESC-10)
	②	Constr Entrance & Staging Area	C	Maintain during all construction. Include concrete washout. (APWA ESC-01)
	③	Inlet Protection at Existing Inlets	C	Install inlet protection. (APWA Details ESC-06 & ESC-07)
Phase II B. Mass Grading & Utility Installation	④	Inlet Protection at Proposed Inlets	C	Install inlet protection. (APWA Details ESC-06 & ESC-07)
Phase III C. Final Stabilization Prior to closure of Land Disturbance Permit		Final Stabilization	N/A	Final Stabilization of all disturbed areas.

Refer to Overall Grading Plan and Landscape Plan for final contours and final land cover.

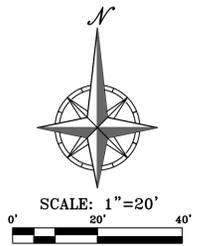
SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
ROUGH GRADE / SEDIMENT CONTROL																			
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
STORM FACILITIES																			
TEMPORARY CONSTRUCTION ROADS																			
FOUNDATION / BUILDING CONSTRUCTION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING/SEED/FINAL STABILIZATION																			

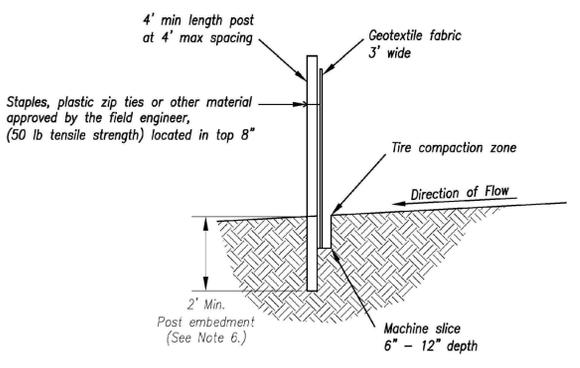
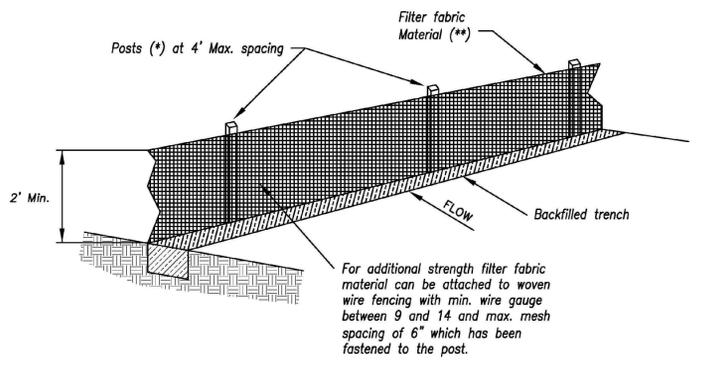


- LEGEND**
- CONSTRUCTION ENTRANCE
 - CONCRETE WASHOUT PIT
 - LIMITS OF DISTURBED AREAS
 - SILT FENCE
 - INLET PROTECTION



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



- (*) POSTS**
- MIN. LENGTH 4'
 - HARDWOOD 1 3/8" x 1 3/8"
 - NO.2 SOUTHERN PINE 2 5/8" x 2 5/8"
 - STEEL 1.33 LB/FT

()** - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS
 Not to Scale

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

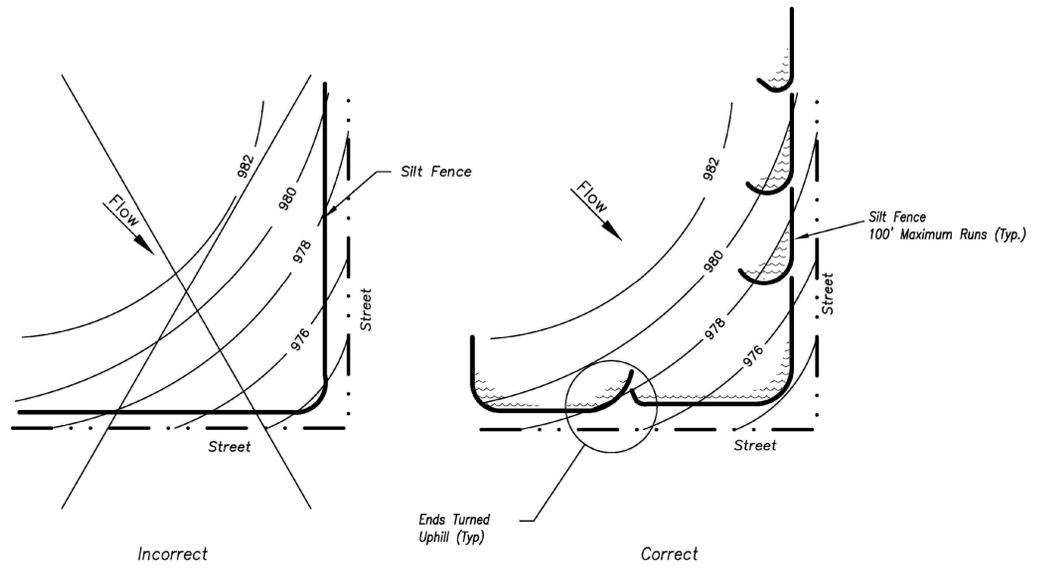
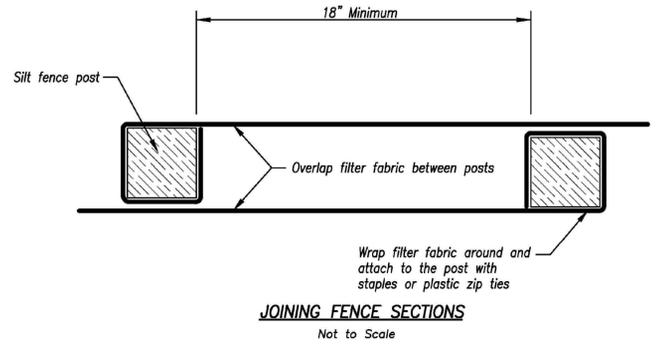
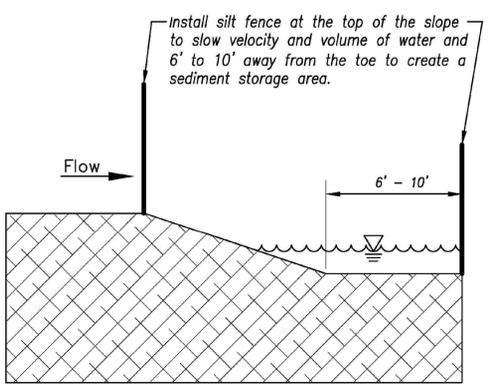


Figure A

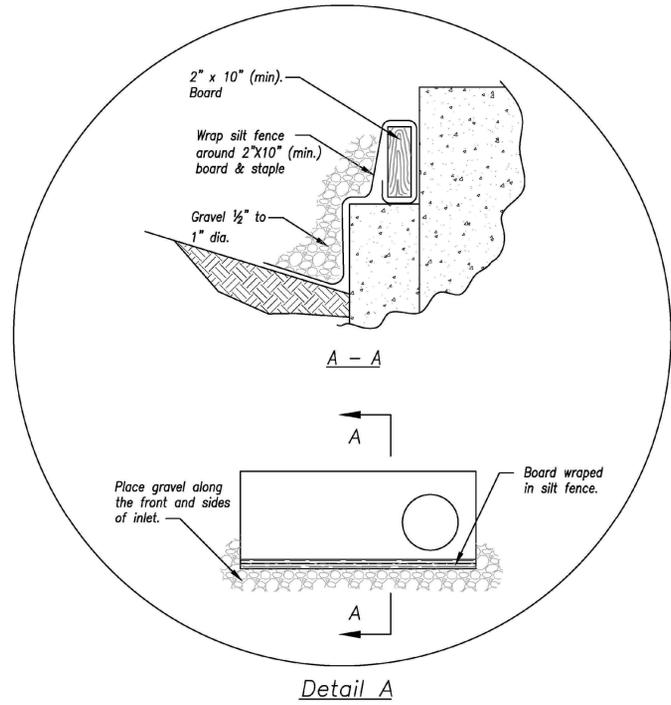
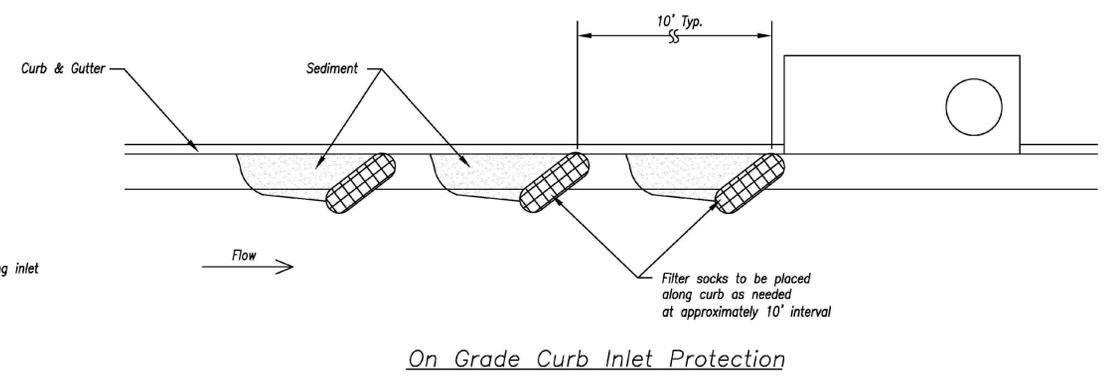
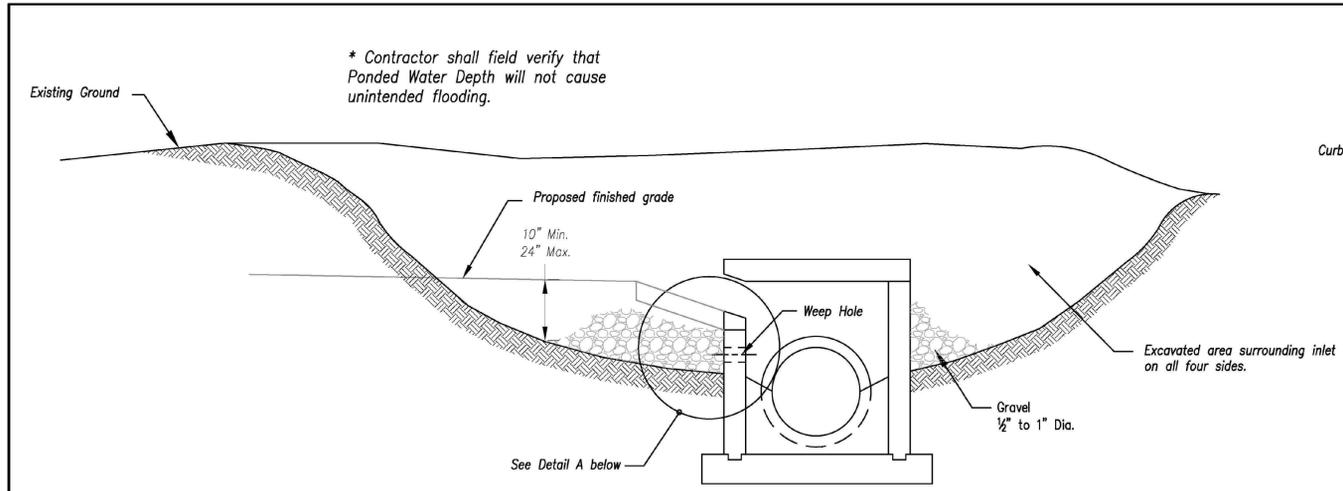
SILT FENCE LAYOUT
 Not to Scale



JOINING FENCE SECTIONS
 Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION	
 Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



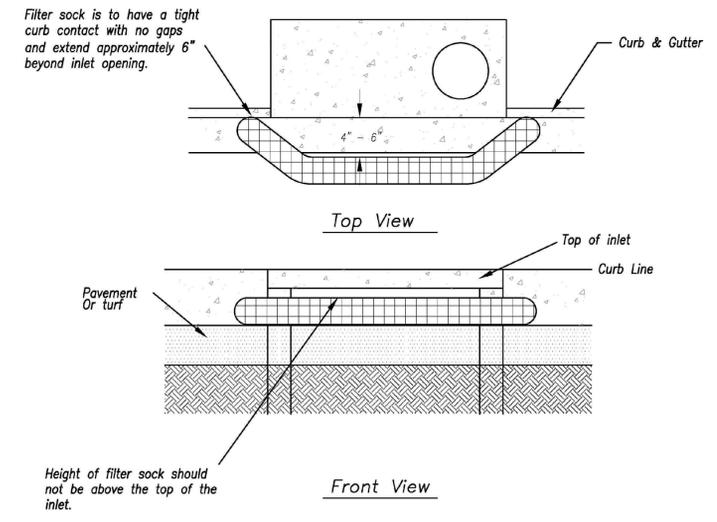
EARLY STAGE CURB INLET
 (Open Box and Prior to Pouring Curb and Inlet Throat)

Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

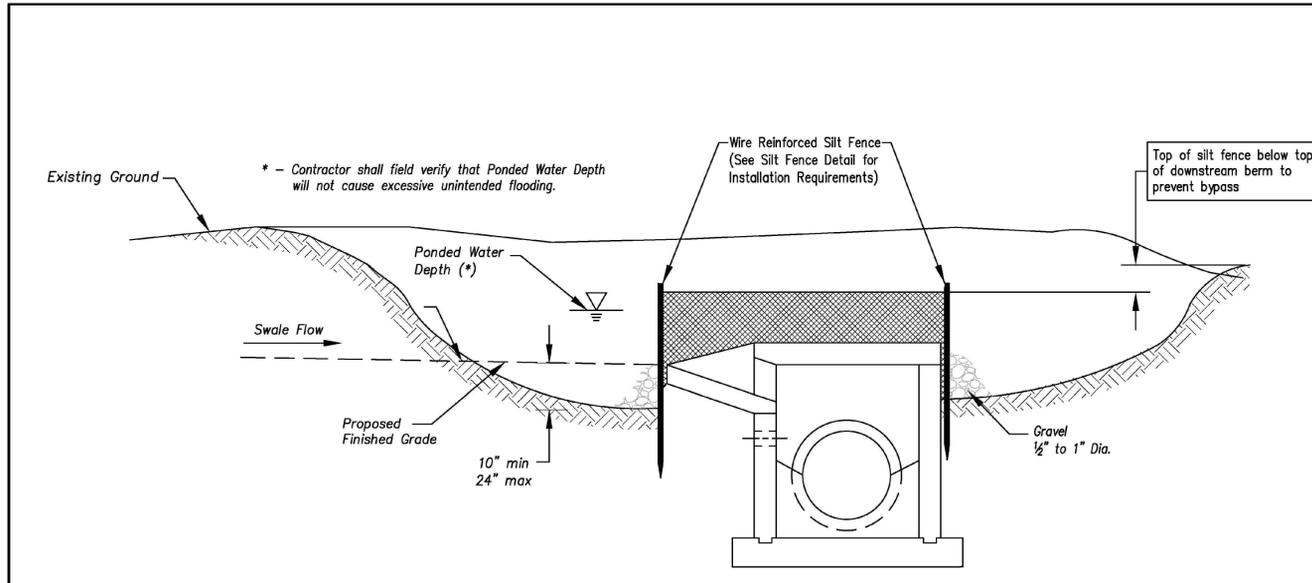


LATE STAGE CURB INLET
 (After Pouring Curb and Inlet Throat)

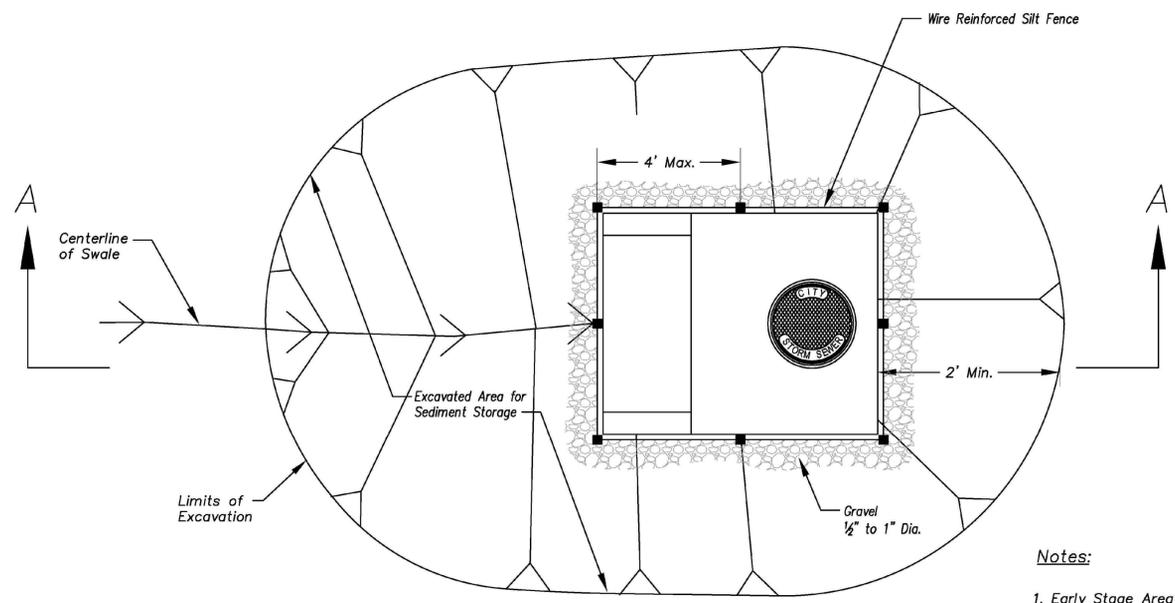
AMERICAN PUBLIC WORKS ASSOCIATION	
 Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

PROJECT NO.	DATE	BY	APP.	REVISIONS
250040	03-11-2026	ALB	DAF	REVISD PER CITY COMMENTS
1.				



Section A-A
 Not to Scale

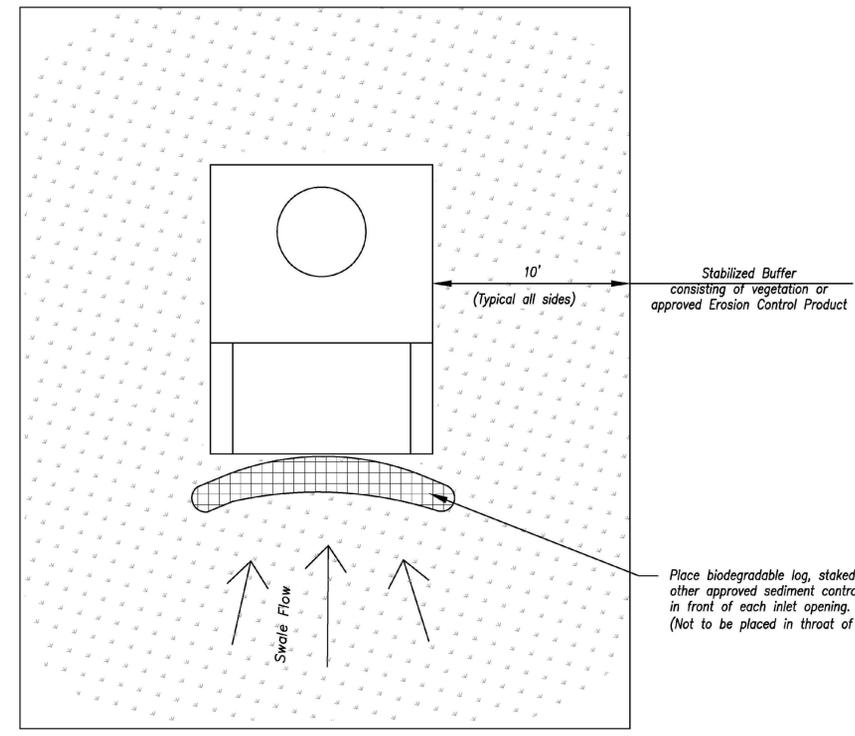


Plan
 Not to Scale

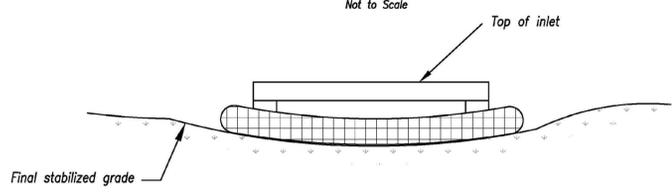
EARLY STAGE AREA INLET
 (All open boxes and inlets not at final grade)

Notes:

1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.



Plan
 Not to Scale



Front View

LATE STAGE AREA INLET
 (Area inlets at final grade and existing inlets)

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

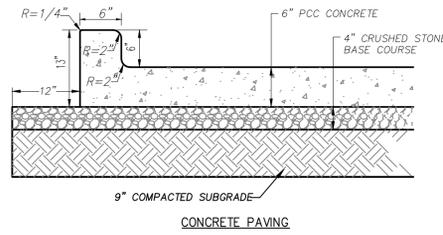
AMERICAN PUBLIC WORKS ASSOCIATION <small>Kansas City Metro Chapter</small>		KANSAS CITY METRO CHAPTER
AREA INLET AND JUNCTION BOX PROTECTION		STANDARD DRAWING NUMBER ESC-07 ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

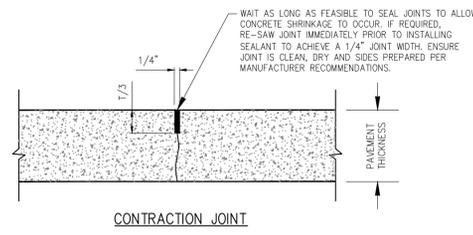
No.	Date	Revisions:	By	App.
1.	03-11-2026	REVISED PER CITY COMMENTS	AEB	DAF

GENERAL PAVING NOTES:

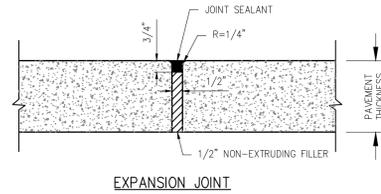
- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WET, OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 AT MOISTURE CONTENTS WITHIN ONE AND A HALF (1.5) OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND $\pm 1/2 - 3/4$ OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- PROOFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFICIENCIES. IF ANY SIGNIFICANT EVENT, SUCH AS PRECIPITATION, OCCURS AFTER PROOFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PLACING THE PAVEMENT.
- CRUSHED STONE BASE COURSE USED BENEATH CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
- ASPHALTIC SURFACE COURSE SHALL BE APWA TYPE 5-01.
- ASPHALTIC BASE COURSE SHALL BE APWA TYPE 2-01. SEE APWA SECTION 2200 FOR ALLOWED RAP/RAC CONTENT.
- FIELD DENSITY TEST FOR IN-PLACE MATERIALS SHALL BE PERFORMED BY EXAMINATION OF FIELD CORES IN ACCORDANCE WITH ONE OF FOLLOWING STANDARDS:
 - ASTM D 2950
 - ASTM D 2726
 - ASTM D 1188
 THE MINIMUM DENSITY SHALL BE 96% OF LABORATORY DENSITY.
- THE CONTRACTOR SHALL PROVIDE A TACK COAT (PER APWA SECTION 2200) BETWEEN LIFTS OF ASPHALT.
- ALL SITE CONCRETE (CURBS, PAVEMENTS, SIDEWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS REQUIRED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.
- FIBER REINFORCEMENT:
 - FIBER REINFORCEMENT SHALL BE USED IN ALL CONCRETE CURB AND CONCRETE FLATWORK (SIDEWALKS, PAVEMENTS, ETC).
 - ALL FIBERS SHALL BE ALKALI-RESISTANT, NATURAL CELLULOSE FIBERS AS MANUFACTURED BY SOLOMON ULTRAFIBER 500[®], OR POLY PROPYLENE FIBRILLATED FIBERS AS MANUFACTURED BY SIKAFIBERESH-300[®], OR AN APPROVED EQUAL IN ADVANCE BY THE ENGINEER. DELIVERY STORAGE AND HANDLING SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 - COMPLY WITH ASTM C-1116 AND ASTM C-1018, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER, FIBERS SHALL BE USED AT A RATE OF 2-2.5 LBS. PER CUBIC YARD OF CONCRETE.
 - FIBERS SHALL NOT BE USED AS A SUBSTITUTE FOR PRIMARY STRUCTURAL STEEL.
 - ADD REINFORCING FIBERS INTO CONCRETE MIXTURE DIRECTLY INTO CONCRETE MIXER AT THE BEGINNING OF BATCH CYCLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C94.
 - ALLOW A MINIMUM OF 5 MINUTES AT MIXING SPEED IN CONCRETE MIXER FOR FULL REINFORCING FIBER DISPERSION.



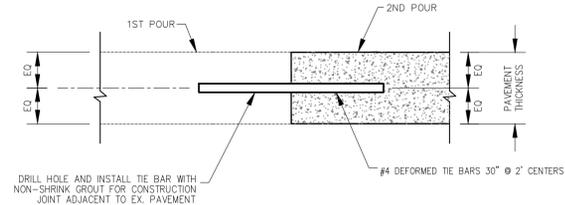
CONCRETE PAVING



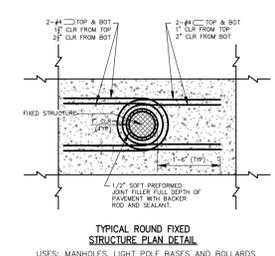
CONTRACTION JOINT



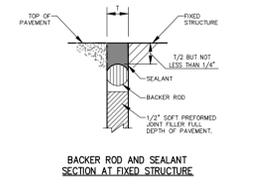
EXPANSION JOINT



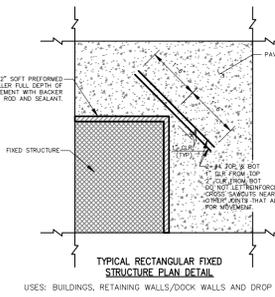
CONSTRUCTION JOINT



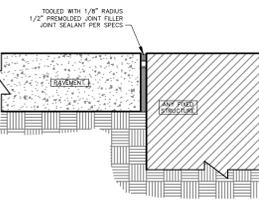
TYPICAL ROUND FIXED STRUCTURE PLAN DETAIL



BACKER ROD AND SEALANT SECTION AT FIXED STRUCTURE



TYPICAL RECTANGULAR FIXED STRUCTURE PLAN DETAIL



ISOLATION JOINT

NOTES:
ISOLATION JOINT TO BE USED FOR FIXED STRUCTURES SUCH AS BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS.
PAVEMENT IS NOT CONSIDERED A FIXED STRUCTURE.

PAVING SPECIFICATIONS

NOT TO SCALE PEI DETAIL: 001

CONCRETE PAVEMENT SECTIONS

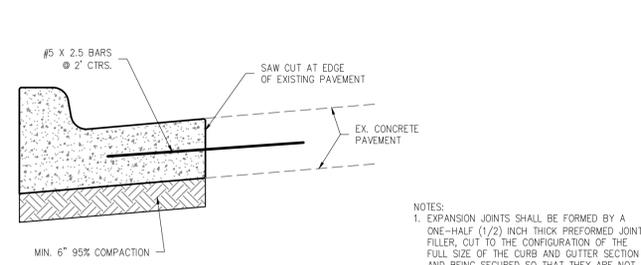
NOT TO SCALE PEI DETAIL: 003

CONCRETE PAVEMENT JOINTS

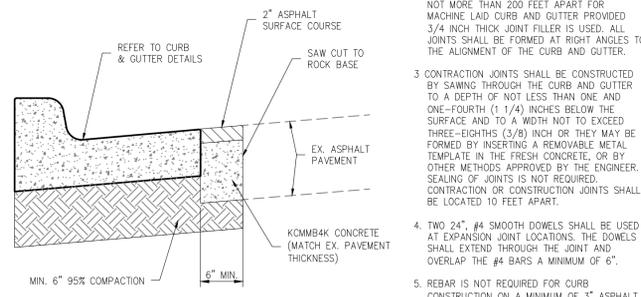
NOT TO SCALE PEI DETAIL: 004

CONCRETE ISOLATION JOINTS

NOT TO SCALE PEI DETAIL: 005

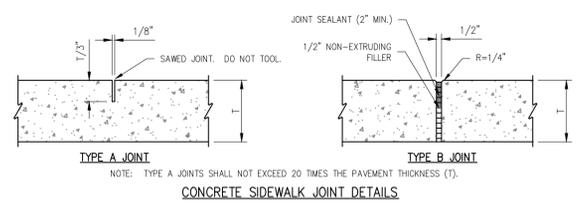


ADJACENT TO CONCRETE PAVEMENT

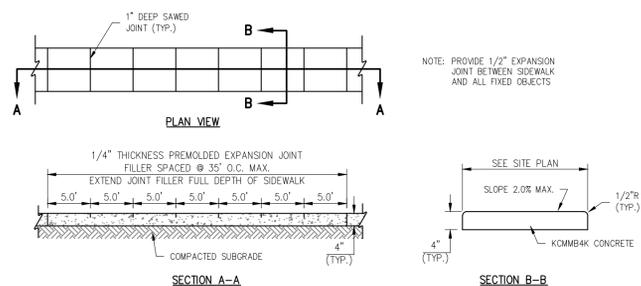


ADJACENT TO ASPHALT PAVEMENT

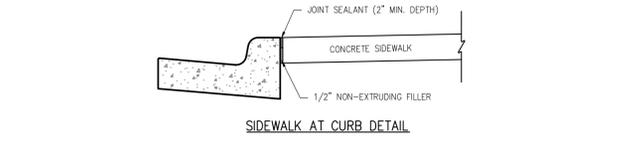
- NOTES:
- EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, CUT TO THE CONFIGURATION OF THE FULL SIZE OF THE CURB AND GUTTER SECTION AND BEING SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. THE EDGES OF THESE JOINTS SHALL BE ROUNDED WITH AN EDGING TOOL ONE-EIGHTH (1/8) INCH RADIUS.
 - EXPANSION JOINTS SHALL BE PLACED WHERE CURB AND GUTTER ABUTS OTHER STRUCTURES AND AT ALL POINTS OF TANGENTS TO CURBS. EXPANSION JOINTS SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID CURB AND GUTTER AND NOT MORE THAN 200 FEET APART FOR MACHINE LAID CURB AND GUTTER PROVIDED 3/4 INCH THICK JOINT FILLER IS USED. ALL JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE CURB AND GUTTER.
 - CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING THROUGH THE CURB AND GUTTER TO A DEPTH OF NOT LESS THAN ONE AND ONE-FOURTH (1 1/4) INCHES BELOW THE SURFACE AND TO A WIDTH NOT TO EXCEED THREE-EIGHTHS (3/8) INCH OR THEY MAY BE FORMED BY INSERTING A REMOVABLE METAL TEMPLATE IN THE FRESH CONCRETE, OR BY OTHER METHODS APPROVED BY THE ENGINEER. SEALING OF JOINTS IS NOT REQUIRED. CONTRACTION OR CONSTRUCTION JOINTS SHALL BE LOCATED 10 FEET APART.
 - TWO 24" #4 SMOOTH DOWELS SHALL BE USED AT EXPANSION JOINT LOCATIONS. THE DOWELS SHALL EXTEND THROUGH THE JOINT AND OVERLAP THE #4 BARS A MINIMUM OF 6".
 - REBAR IS NOT REQUIRED FOR CURB CONSTRUCTION ON A MINIMUM OF 3" ASPHALT.
 - KOMMB4K CONCRETE SHALL BE USED THROUGHOUT.



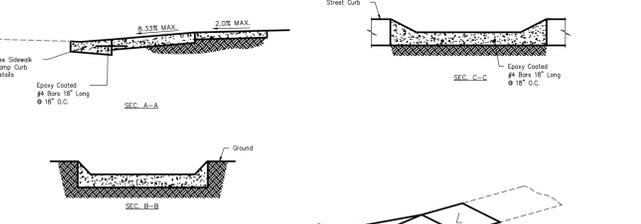
CONCRETE SIDEWALK JOINT DETAILS



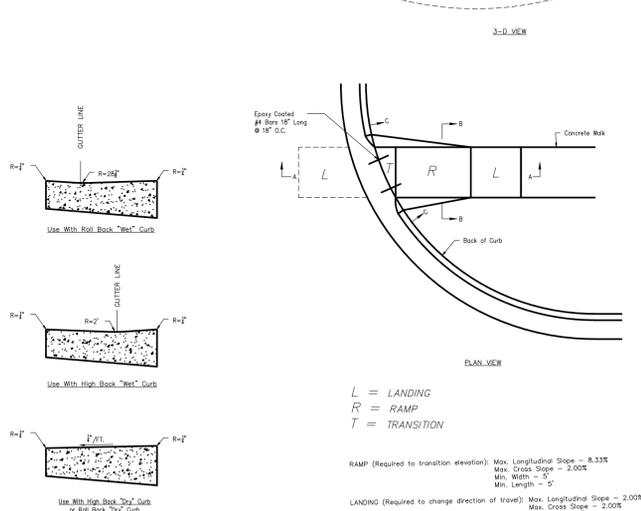
PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)



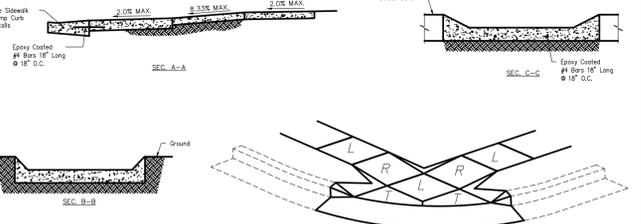
SIDEWALK AT CURB DETAIL



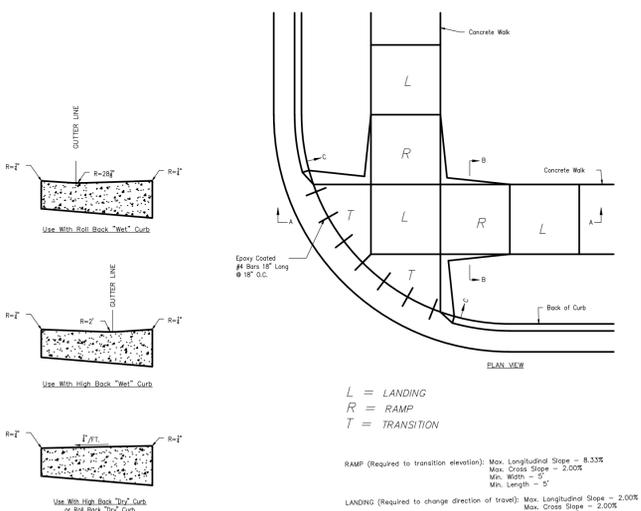
ACCESSIBLE SIDEWALK CURB RAMP TYPE I



ACCESSIBLE SIDEWALK CURB RAMP TYPE II



ACCESSIBLE SIDEWALK CURB RAMP TYPE III



ACCESSIBLE SIDEWALK CURB RAMP TYPE IV

CURB & GUTTER REPLACEMENT

NOT TO SCALE PEI DETAIL: 015

CONCRETE SIDEWALK

NOT TO SCALE PEI DETAIL: 016

ACCESSIBLE SIDEWALK CURB RAMP TYPE I

NOT TO SCALE PEI DETAIL: 019

ACCESSIBLE SIDEWALK CURB RAMP TYPE II

NOT TO SCALE PEI DETAIL: 020



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Fax: (913) 393-1166
www.pelphsengineering.com

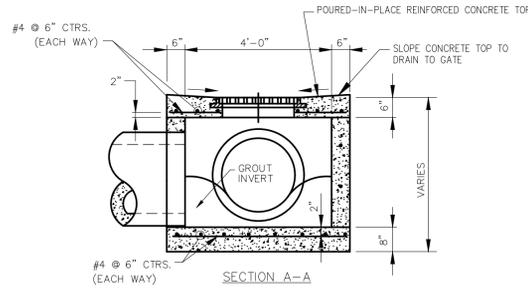
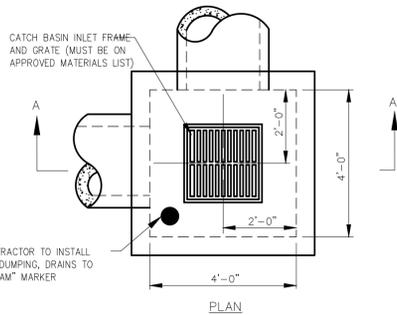


PRIVATE DETAILS
HYPER ENERGY BAR
2060 NW LOWENSTEIN DRIVE,
LEES SUMMIT, MO 64081

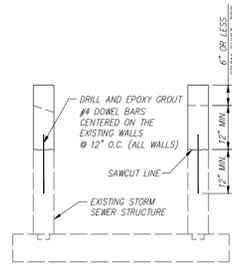
No.	Date	By	App.	Revisions	
				REVISED PER CITY COMMENTS	DATE
1.	03-11-2026				

PROJECT NO. 250040
DATE: 02-02-2026
DRAWN: AEB
CHECKED: DAF
APPROVED: DAF
CERTIFICATE OF AUTHORIZATION
LAND SURVEYING - LS-80
ENGINEERING - E-361
STATE OF MISSOURI
LAND SURVEYING - 00700128
ENGINEERING - 00300255

SHEET
C500

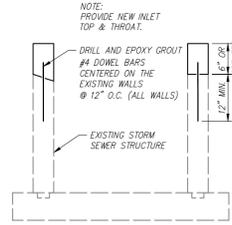


- General**
- All storm sewer structures shall be pre-cast or poured in place.
 - Do not scale these drawings for dimensions or clearances. Any questions regarding dimensions shall be brought to the attention of the Engineer prior to construction.
 - The first dimension listed in the construction notes is the "L" dimension. The second dimension is the "W" dimension. The concrete thickness and reinforcement shown is for boxes with ("L" x "W") and ("W" x "H") less than or equal to 20'. For boxes with either of these calculations greater than 20', a special design is required.
 - Concrete used in this work shall be KCMBAK.
 - Inlet floors shall be shaped with non-reinforced concrete inverts to provide smooth flow.
 - Bowl all exposed edges with 3/4" triangular mounding.
- Reinforcing Steel**
- Reinforcing steel shall be new billet, minimum Grade 40 as per ASTM A615, and shall be bent cold.
- Construction**
- The bottom slab shall be at least 24 hours old before placing sidewall concrete. All sidewall forms shall remain in place a minimum of 24 hours after sidewalls are poured before removal, and other removal shall be immediately treated with membrane curing compound.
 - Pipe connections to pre-cast structures shall have a minimum of 6" of concrete around the entire pipe within 2' of the structure.
- Notes**
- All dimensions relative to reinforcing steel are to centerline of bars. 2" clearance shall be provided throughout unless noted otherwise. Tolerance of +/- 3/8" shall be permitted.
 - All lap splices not shown shall be a minimum of 40 bar diameters in length.
 - All reinforcing steel shall be supported on fabricated steel bar supports @ 3'-0" maximum spacing.
 - All dowels shall be accurately placed and securely tied in place prior to placement of bottom slab concrete. Sticking of dowels into fresh or partially hardened concrete will not be acceptable.



- NOTE:**
- SAWCUT & REMOVE A MIN. OF 12" FROM THE EXISTING STRUCTURE.
 - FORM AND POUR NEW WALL ADJUSTMENT TO DESIRED ELEVATION.
 - PROVIDE NEW INLET TOP & THROAT.

ADJUSTMENT OF EXISTING STRUCTURE (LESS THAN 6")



- NOTE:**
- SAWCUT & REMOVE A MIN. OF 12" FROM THE EXISTING STRUCTURE.
 - FORM AND POUR NEW WALL ADJUSTMENT TO DESIRED ELEVATION.
 - PROVIDE NEW INLET TOP & THROAT.

ADJUSTMENT OF EXISTING STRUCTURE (6" OR GREATER)

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1370 N. Winchester
Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1165
www.philipsengineering.com

GRATE INLET
NOT TO SCALE

PEI DETAIL: 077

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Olathe, Kansas 66061
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STORM SEWER ADJUSTMENT
NOT TO SCALE

PEI DETAIL: 085



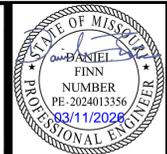
PHILIPS ENGINEERING, INC.
1370 N. Winchester
Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1165
www.philipsengineering.com



PRIVATE DETAILS
HYPER ENERGY BAR
2060 NW LOWENSTEIN DRIVE,
LEES SUMMIT, MO 64081

PROJECT NO.	DATE	BY	APP.	REVISIONS
250040	03-11-2026	AEB	DAF	REVISED PER CITY COMMENTS
DATE: 02-02-2026	DRAWN: AEB	CHECKED: DAF	APPROVED: DAF	
CORPORATE AUTHORIZATION				
LAND SURVEYING - LS-82				
ENGINEERING - E-361				
CERTIFICATE OF AUTHORIZATION				
LAND SURVEYING-200701028				
ENGINEERING-200300308				

SHEET
C503



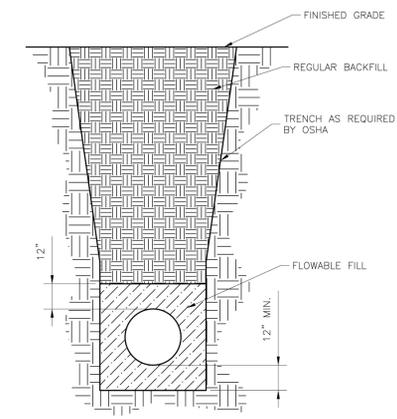
PHILIPS ENGINEERING, INC.
 1270 N. Winchester
 Olathe, Kansas 66060
 (913) 393-1155
 Fax (913) 393-1165
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PRIVATE DETAILS
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

PROJECT NO.	DATE	BY	APP.	REVISIONS
250040	03-11-2026	AEB	DAF	REVISED PER CITY COMMENTS
DATE: 02-02-2026	DRAWN: AEB	CHECKED: DAF	APPROVED: DAF	
CITY OF LEES SUMMIT, MO				
LEES SUMMIT, JACKSON COUNTY, MO				
STANDARD DETAILS				
CURB & GUTTER DETAIL				

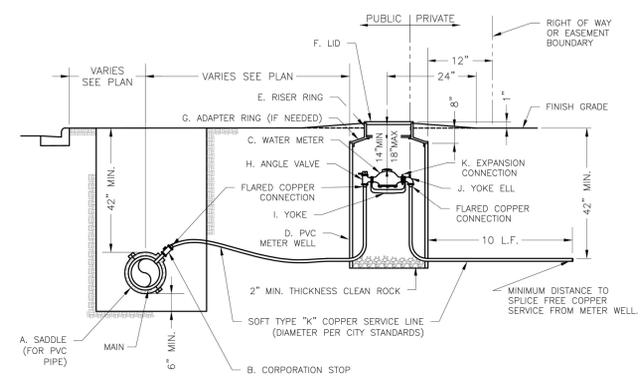
SHEET
C504



- NOTES:**
1. FLOWABLE FILL SHALL MEET THE REQUIREMENTS OF THE CITY OF LEES'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
 2. REGULAR BACKFILL ABOVE THE TRENCH CHECK SHALL BE FREE OF DEBRIS, ORGANIC MATTER, AND STONES > 6" IN ANY DIMENSION.
 3. TOP OF FLOWABLE BACKFILL SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE.
 4. LENGTH OF TRENCH CHECK SHALL BE A MINIMUM OF 12".

LS **LEE'S SUMMIT MISSOURI**
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64063
WATER TRENCH CHECK DETAIL **WAT-6**

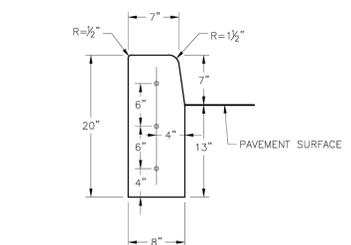
Date: 08/2023
 Drawn By: MJF
 Checked By: KLY



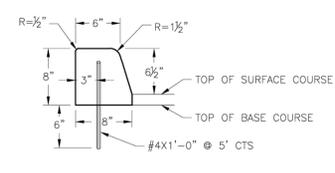
- NOTES:**
1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 3. CITY TO FURNISH ITEMS A-K.
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
 7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2".

LS **LEE'S SUMMIT MISSOURI**
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64063
SERVICE CONNECTION WITH METER WELL **WAT-11**

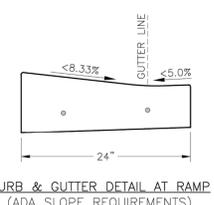
Date: 08/2023
 Drawn By: MJF
 Checked By: KLY



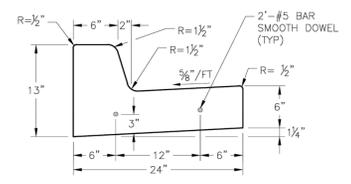
STRAIGHT CURB
 (TYPE C-1)



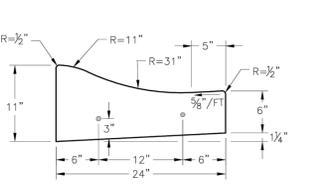
DOWELLED CURB
 (TYPE DC)



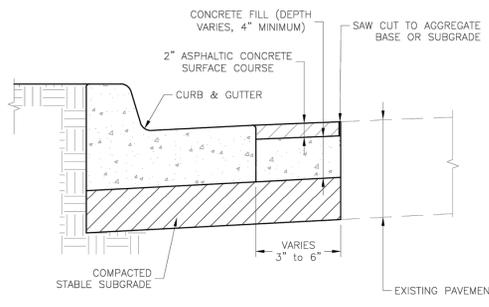
CURB & GUTTER DETAIL AT RAMP
 (ADA SLOPE REQUIREMENTS)



STRAIGHT BACK CURB & GUTTER
 (TYPE CG-1)



ROLL BACK CURB & GUTTER
 (TYPE CG-2)



CURB REPLACEMENT DETAIL

- GENERAL NOTES**
1. 3/4" ISOLATION JOINTS WITH 2 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
 8. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

LS **LEE'S SUMMIT MISSOURI**
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64063

STANDARD DETAILS
 CITY OF LEES SUMMIT, MO
 LEES SUMMIT, JACKSON COUNTY, MO
 CURB & GUTTER DETAIL

Date: 08/2023
 Drawn By: MJF
 Checked By: DL
 Proj. #

GEN-4

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 www.phelpsengineering.com

PLANNING
 ENGINEERING
 IMPLEMENTATION



TREE CONSERVATION PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

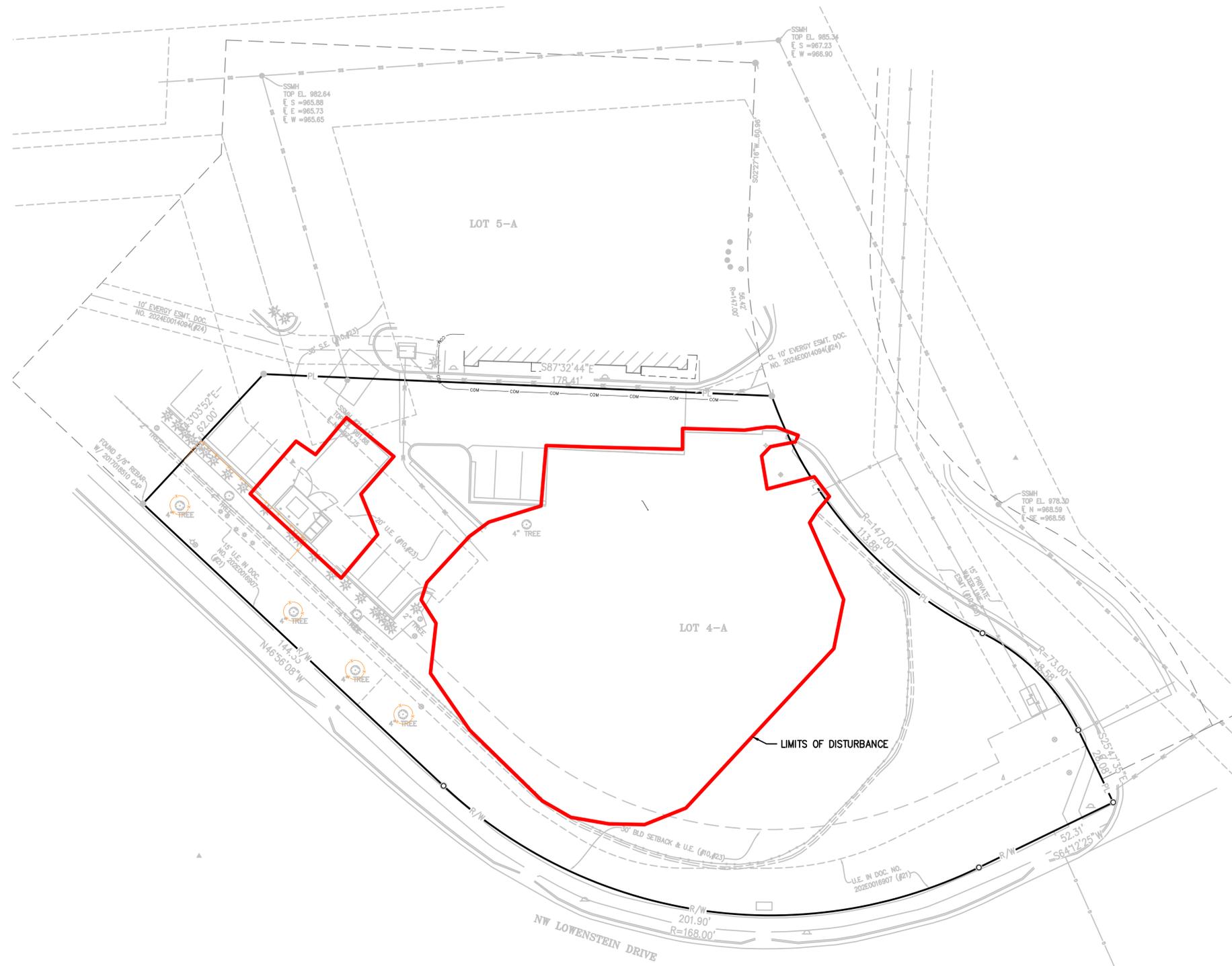
No.	Date	Revisions	By	App.
1.	03-11-2026	REVISED PER CITY COMMENTS	AEB	DAF

SHEET
L100

TREE PRESERVATION LEGEND	
SYMBOL	DESCRIPTION
	Existing Tree Massing (not applicable on site)
	Tree protection fencing

Tree Protection

- No significant trees or trees greater than 10" caliper exist on site.
- Tree protection zones shall be delineated on-site with tree protection fencing prior to any land disturbing activities.
- Tree protection fencing shall be composed of orange, contractor-grade material that is at least four (4) feet in height and supported by metal channel posts spaced at a maximum of ten (10) feet on center.
- Tree protection fence shall be securely fastened to the top, middle, and bottom of each post.
- Tree protection fence shall be inspected each workday and maintained in effective operating condition. Perform necessary maintenance to ensure the all delineated woodlands are delineated and protected throughout all construction phases.
- All tree protection fencing shall be properly removed from site after all phases of construction are completed.



UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
 UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



Know what's below.
 Call before you dig.



SCALE: 1"=20'
 0' 20' 40'



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 Fax (913) 393-1166
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LANDSCAPING AND BUFFER PLAN
 HYPER ENERGY BAR
 2060 NW LOWENSTEIN DRIVE,
 LEES SUMMIT, MO 64081

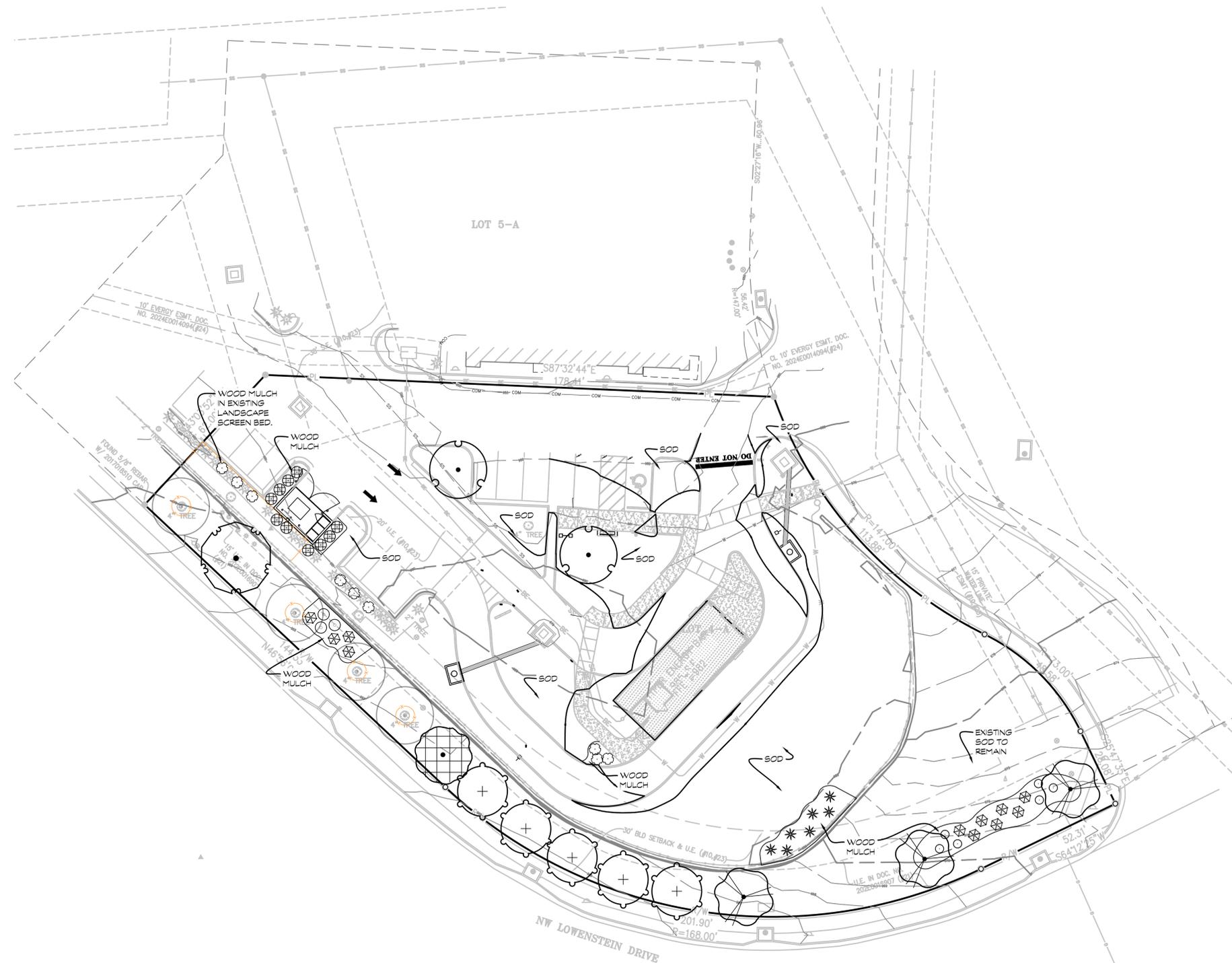
No.	Date	Revisions:	By	App.
1.	03-11-2026	REUSED PER CITY COMMENTS	AEB	DAF

SHEET
L110

Location	Ordinance Requirement	Total Dimension Length/Area	Unit	Minimum Setback	Required Landscape Element	Existing Landscape Element	Proposed Landscape Element	Notes
Street Frontage Trees (NW Lowenstein Rd-North Side Only)	1 tree for each 30' of street frontage, public or private	398	LF	20	14	4	10	
Street Frontage Shrubs (NW Lowenstein Rd-North Side Only)	1 shrub for each 20' of street frontage	398	LF	20	20	0	20	
Street Frontage Trees (Private Drive)	1 tree for each 30' of street frontage, public or private	191	LF	20	7	7	0	2x landscaping on east side of Private Drive
Street Frontage Shrubs (Private Drive)	1 shrub for each 20' of street frontage	191	LF	20	10	15	0	2x landscaping on east side of Private Drive
Open Yard Area	2 shrubs/5000 sq. ft. of lot area excluding building	234.34	sq. ft.	n/a	10	0	10	
North Facing	1 tree/5000 sq. ft. of lot area excluding building & parking	9148	sq. ft.	n/a	2	0	2	
Parking Lot Screening	12 shrubs per 40 LF of parking facing street R/W.	73.3	LF	n/a	22	11	11	10' height, masonry block wall facing MW Lowenstein Rd. to remain
Dumpster Enclosure								Refer to Sheet and Details
Buffer/Screen Between Land Uses								N/A. PMIX Lot on R/W

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
EVERGREEN TREES				
	PIN FLE	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine	6' Ht.	1
EXISTING TREES				
	EX.	Existing Tree / var.	---	4
OVERHEAD CANOPY TREES				
	GLE INE	Gleditsia triacanthos inermis 'Skycolor' / Skyline® Honey Locust	2" Cal.	3
	NYS GAN	Nyssa sylvatica 'NSUHH' / Green Gable™ Blackgum	2" Cal.	5
	ULM PAR	Ulmus parvifolia / Lacebark Elm	2.5" Cal.	1
	ZEL VIL	Zelkova serrata 'Village Green' / Village Green Japanese Zelkova	2.5" Cal.	2
SHRUBS				
	Abe kal	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	#3	7
	Bud pha	Buddlejia x 'Purple Haze' / Lo & Behold® Purple Haze Butterfly Bush	3 gal.	6
	Rhu gro	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	9
	Rhu var	Rhus copallinum latifolia 'Morton' / Prairie Flame™ Winged Sumac	3 gal.	11
	Vib gyg	Viburnum lentago 'UMN870517' / Homefree™ Nannyberry	3' Ht.	3
EVERGREEN SHRUBS				
	Jun for	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal.	10



UTILITY NOTES:
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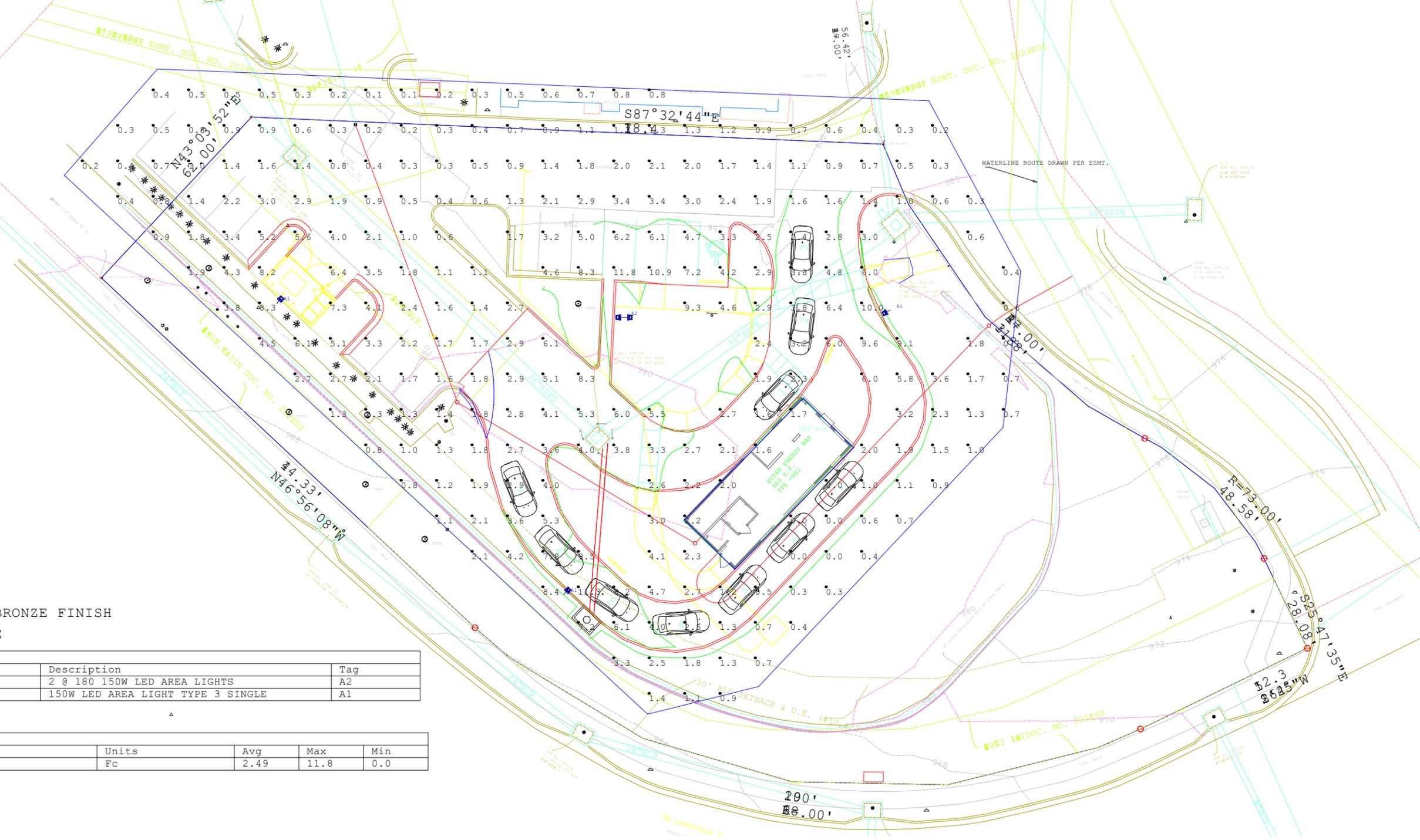
PROJECT NO. 250040 DATE 02-02-2026 DRAWN: MCM CHECKED: DAF APPROVED: DAF
 CERTIFICATE OF AUTHORIZATION LAND SURVEYING - LS-82 LANDSCAPE ARCHITECTURE - LA-191
 LICENSE NO. 200700128 LAND SURVEYING - 200700128 LANDSCAPE ARCHITECTURE - 200700128

HYPER ENERGY BAR
LEE'S SUMMIT, MO

POLE - 20' SQUARE STRAIGHT STEEL - DARK BRONZE FINISH
POLE BASE - 2' ROUND BASE- 2' ABOVE GRADE

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Tag
	1	A17-3T150 2	Back-Back	2 @ 180 150W LED AREA LIGHTS	A2
	3	A17-3T150	Single	150W LED AREA LIGHT TYPE 3 SINGLE	A1

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	
Ground Planar	Illuminance	Fc	2.49	11.8	0.0	



VICINITY MAP

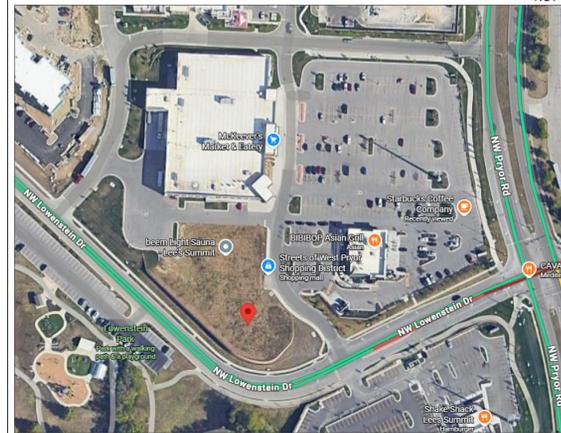
ADDRESS: HYPER ENERGY BAR
2060 NW LOWENSTEIN DR.
LEE'S SUMMIT, MO. 64081

NOT TO SCALE



SITE MAP

NOT TO SCALE



CONCEPTUAL RENDERS



DESIGN & CONSTRUCTION TEAM

ARCHITECT:	HEART OF AMERICA GROUP 515 E. LOCUST ST., SUITE 100 DES MOINES, IA 50309	PAUL COLVIG, AIA, NCARB DAN OLIVER, AIA, LEED AP BD+C Phone: 309-235-7693
CONTRACTOR:	HEART OF AMERICA GROUP 1501 RIVER DRIVE MOLINE, IL 61265	LAURA CONNER, CONSTRUCTION ADMIN. JOHN SCHULTZ, VP OF CONSTRUCTION Phone: 309-235-7693
STRUCTURAL:	IMEG 623 26TH AVE ROCK ISLAND, IL 61201	DAVE FERGUSON, STRUCTURAL ENGINEER ALI GHARAMTI, SR. PRINCIPAL Phone: 309-235-7693
CIVIL / LANDSCAPE:	ANDERSON BOGERT 4050 RIVER CENTER COURT NE CEDAR RAPIDS, IA 52402	KEVIN BOGERT, PE 319-377-4629 EXT 315
MECHANICAL:	HEART OF AMERICA GROUP 515 E. LOCUST ST., SUITE 100 DES MOINES, IA 50309	AUSTIN HENNESSEY, PE 515-231-5161
ELECTRICAL:	HEART OF AMERICA GROUP 515 E. LOCUST ST., SUITE 100 DES MOINES, IA 50309	AUSTIN HENNESSEY, PE 515-231-5161
PLUMBING:	HEART OF AMERICA GROUP 515 E. LOCUST ST., SUITE 100 DES MOINES, IA 50309	AUSTIN HENNESSEY, PE 515-231-5161
OWNER:	HYPER ENERGY BAR LLC 1501 RIVER DRIVE MOLINE, IL 61265	CHRIS WHALEN CEO HYPER ENERGY BAR LLC Phone: 309-235-7693

HYPER ENERGY BAR

HYPER ENERGY BAR® IS A YOUNG BRAND ON A JOURNEY TO CREATE SOMETHING EXTRAORDINARY. WE OFFER HIGH-QUALITY COFFEE AND HANDCRAFTED INFUSED ENERGY DRINKS. OUR FACE-TO-FACE SERVICE AND INNOVATIVE DOUBLE DRIVE-THRU DESIGN ENSURES QUICK AND PERSONALIZED ORDERS WITHOUT THE NEED OF ANY INTERCOM SYSTEM. WE ARE COMMITTED TO CREATING MEANINGFUL EXPERIENCES FOR OUR CUSTOMERS. HYPER ENERGY BAR VALUES COMMUNITY ENGAGEMENT AND ACTIVELY CONTRIBUTES TO THE NEIGHBORHOODS WE SERVE BY PARTNERING WITH LOCAL ORGANIZATIONS TO HOST FUNDRAISERS AND TO MAKE A POSITIVE IMPACT.

BUILDING CODE & OCCUPANCY

APPLICABLE CODES, AT A MINIMUM:

BUILDING & STRUCTURAL:	2018 INTERNATIONAL BUILDING CODE (IBC) W/ LOCAL AMENDMENTS
FIRE & LIFE SAFETY:	2018 INTERNATIONAL FIRE CODE (IFC)
MECHANICAL:	2018 INTERNATIONAL MECHANICAL CODE (IMC)
ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING:	2018 INTERNATIONAL PLUMBING CODE (IPC)
ACCESSIBILITY:	2017 ICC A117.1

ALLOWABLE AREA:	
CONSTRUCTION:	TYPE V-B
SPRINKLER:	NO
ALLOWABLE AREA:	9,000 SF PER TABLE 506.2, 2021 IBC
ALLOWABLE HEIGHT:	40'
MAX. ALLOWABLE STORIES:	1

OCCUPANCY LOAD IS CALCULATED PER IBC TABLE 1004.1.2

FUNCTION OF SPACE:	BUSINESS
OCC. LOAD FACTOR:	150 GROSS
GROSS AREA:	985 SQUARE FEET

OCCUPANCY LOAD = 985 SF / 150 SF = MAX. 7 PERSONS

PLEASE NOTE THAT THERE IS NO CUSTOMER-ACCESS TO THE BUILDING: ACCESSIBLE TO EMPLOYEES ONLY.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	IN	INCH
ADA	AMERICANS WITH DISABILITIES ACT	INT	INTERIOR
ADJ	ADJUSTABLE	IRC	INTERNATIONAL RESIDENTIAL CODE
AFF	ABOVE FINISHED FLOOR	JAN	JANITOR
AHU	AIR HANDLING UNIT	JT	JOINT
ALT	ALTERNATE	KS	KNEE SPACE
ALUM	ALUMINUM	LAM	LAMINATE
AND	AND/IED	LAV	LAVATORY
ANSI	AMERICAN NATIONAL STANDARD INSTITUTE	LG	LIGHT GAUGE
APPROX	APPROXIMATE	LKR	LOCKER
ARCH	ARCHITECTURAL	LVR	LOUVER
ASB	ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS	LVT	LUXURY VINYL TILE
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MFR	MANUFACTURER
AW	ARCHITECTURAL WOODWORK	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MEZZ	MEZZANINE
BLKG	BLOCKING	MIN	MINIMUM
BGC	BY GENERAL CONTRACTOR	MLWK	MILLWORK
BO	BY OTHER (THAN CONTRACTOR)	MO	MASONRY OPENING
BOF	BOTTOM	MTD	MOUNTED
BRG	BEARING	MTL	METAL
BS	BOTH SIDES	MISC	MISCELLANEOUS
CAB	CABINET	N	NEW
CB	CERAMIC BASE	NA	NOT APPLICABLE
CIP	CAST-IN-PLACE	NFPA	NATIONAL FIRE PROTECTION ACCOC.
CG	CORNER GUARD	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NOM	NOMINAL
CL	CENTER LINE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OF/CI	OWNER FURNISHED, CONTRACTOR INSTALL
CNTR	COUNTER	OF/OH	OWNER FURNISHED, OWNER INSTALLED
COL	COLUMN	OVERHD	OVERHEAD
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS	ORD	OVERFLOW ROOF DRAIN
CORR	CORRIDOR	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLYWD	PLYWOOD
CS	CONCRETE SEALED	PR	PAIR
CSWK	CASEWORK	PREFIN	PREFINISHED
CT	CERAMIC TILE	PAINT	PAINT
CTB	CERAMIC TILE BASE	PTD	PAPER TOWEL DISPENSER
CTR	CENTER, CENTERED	R. RAD	RADIUS
CW	CURTAIN WALL	RB	RUBBER BASE
D	DEPTH	RCP	REFLECTED CEILING PLAN
DBL	DOUBLE	RD	ROOF DRAIN
DEMO	DEMOLITION	REF	REFRIGERATOR
DEPT	DEPARTMENT	REINF	REINFORCE
DET	DETAIL	REQD	REQUIRED
DIA	DIAMETER	RF	RESILIENT FLOORING
DIAG	DIAGONAL	RO	ROUGH OPENING
DIM	DIMENSION	RTU	ROOF TOP UNIT
DISP	DISPENSER	RV	ROOF VENT
DS	DOWN SPOUT	SCHED	SCHEDULE
DN	DOWN	SIM	SIMILAR
DTL	DETAIL	SLNT	SEALANT
DW	DISHWASHER	SM	SMOOTH
DWG	DRAWING	SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
EIPS	EXTERIOR INSULATION AND FINISH SYSTEM	SQF	SQUARE FEET
EJ	EXPANSION JOINT	SST	STAINLESS STEEL
ELEC	ELECTRICAL	STRUCT	STRUCTURAL
EL	ELEVATION	SURF	SURFACE
ELEV	ELEVATOR	SUSP	SUSPEND
EMER	EMERGENCY	SYMM	SYMMETRICAL
ENCL	ENCLOSURE	T	TEMPERED
EQ	EQUAL	T&G	TONGUE AND GROOVE
EQUIP	EQUIPMENT	THRU	THROUGH
ES	EACH SIDE	TKBD	TACKBOARD
EW	EACH WAY	TOB	TOP OF BEAM
EXT	EXTERIOR	TOF	TOP OF FOOTING
EXIST	EXISTING	TOS	TOP OF STEEL
EXP	EXPANSION, EXPOSED	TPD	TOILET PAPER DISPENSER
FD	FLOOR DRAIN	TSTAT	THERMOSTAT
FE	FIRE EXTINGUISHER	TV	TELEVISION
FEC	FIRE EXTINGUISHER CABINET	TYP	TYPICAL
FIN	FINISH	UL	UNDERWRITERS LABORATORIES
FIXT	FIXTURE	UNF	UNFINISHED
FHC	FIRE HOSE CABINET	UNO	UNLESS NOTED OTHERWISE
FLEX	FLEXIBLE	VCT	VINYL COMPOSITION TILE
FLR	FLOOR	VERT	VERTICAL
FOF	FACE OF FINISH	VEST	VESTIBULE
FRP	FIBERGLASS REINFORCED PLASTIC	VIF	VERIFY IN FIELD
FT	FOOT OR FEET	VTR	VENT THROUGH ROOF
FURN	FURNISHED	VWC	VINYL WALL COVERING
G	GROUND	W	WITH
GA	GAGE, GAUGE	W/O	WITHOUT
GALV	GALVANIZED	WBL	WOOD BLOCKING
GB	GRAB BAR	WC	WATER CLOSET
GC	GENERAL CONTRACTOR	WD	WOOD
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WATERPROOF
GL	GLASS	WR	WATER RESISTANT
GLAZ	GLAZING	WRB	WEATHER RESISTANT BARRIER
GYP/GWB	GYPSONUM BOARD	WSCOT	WAINSCOT
GYP BD	GYPSONUM BOARD	WT	WEIGHT
HDWR	HARDWARE	WWF	WELDED WIRE FABRIC
HM	HOLLOW METAL	WWM	WELDED WIRE MESH
HORIZ	HORIZONTAL		
HT	HEIGHT		
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		
IBC	INTERNATIONAL BUILDING CODE		
ID	INSIDE DIAMETER		
INSUL	INSULATION		

ARCHITECTURAL SYMBOLS

NORTH ARROW	WALL TYPE IDENTIFICATION	REVISION TAG
DRAWING REFERENCE	DOOR IDENTIFICATION	WINDOW IDENTIFICATION
SECTION TAG	ROOM IDENTIFICATION	STRUCTURAL GRID

SHEET LIST

ARCHITECTURAL	
A-0.0	COVER SHEET
A-1.1	FIRST FLOOR PLAN
A-1.2	EQUIPMENT PLAN
A-1.3	REFLECTED CEILING PLAN
A-1.4	ROOF PLAN
A-1.5	FIRST FLOOR FINISH
A-2.1	EXTERIOR ELEVATIONS 1 & 2
A-2.2	EXTERIOR ELEVATIONS 3 & 4
A-3.1	INTERIOR ELEVATIONS 1 - 5
A-3.2	INTERIOR ELEVATIONS 6 - 11
A-3.3	INTERIOR ELEVATIONS 12 - 19
A-3.4	INTERIOR BLOCKING
A-4.1	BUILDING SECTIONS 1 & 2
A-4.2	BUILDING SECTIONS 3 & 4
A-5.1	DOOR & WINDOW TYPES
A-7.1	DUMPSTER ENCLOSURE
A-8.1	CLEARANCE BAR & MENU SCREENS
AE-1.0	LOW VOLTAGE PLAN
ELECTRICAL	
E-0.1	SPECIFICATIONS
E-0.2	SPECIFICATIONS
E-1.1	ELECTRICAL FLOOR PLAN
E-1.2	ELECTRICAL ROOF PLAN
E-2.1	ELECTRICAL REFLECTED CEILING PLAN
E-5.1	ELECTRICAL DETAILS
E-6.1	SCHEDULES
MECHANICAL	
M-0.1	SPECIFICATIONS
M-0.2	SPECIFICATIONS
M-0.3	SPECIFICATIONS
M-1.1	MECHANICAL FLOOR PLAN
M-1.2	MECHANICAL ROOF PLAN
M-6.1	SCHEDULES
PLUMBING	
P-1.0	UNDER FLOOR PLUMBING PLAN
P-1.1	PLUMBING FLOOR PLAN
P-5.1	DETAILS
P-6.1	SCHEDULES
STRUCTURAL	
S0.1	GENERAL NOTES AND SPECIFICATIONS
S1.1	STRUCTURAL FLOOR PLANS
S1.2	CANOPY FRAMING PLAN AND DETAILS
S2.1	FOUNDATION DETAILS
S5.1	FRAMING DETAILS



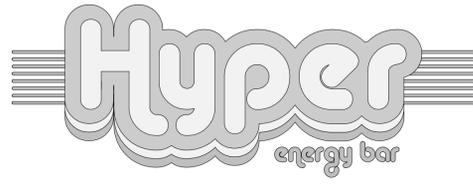
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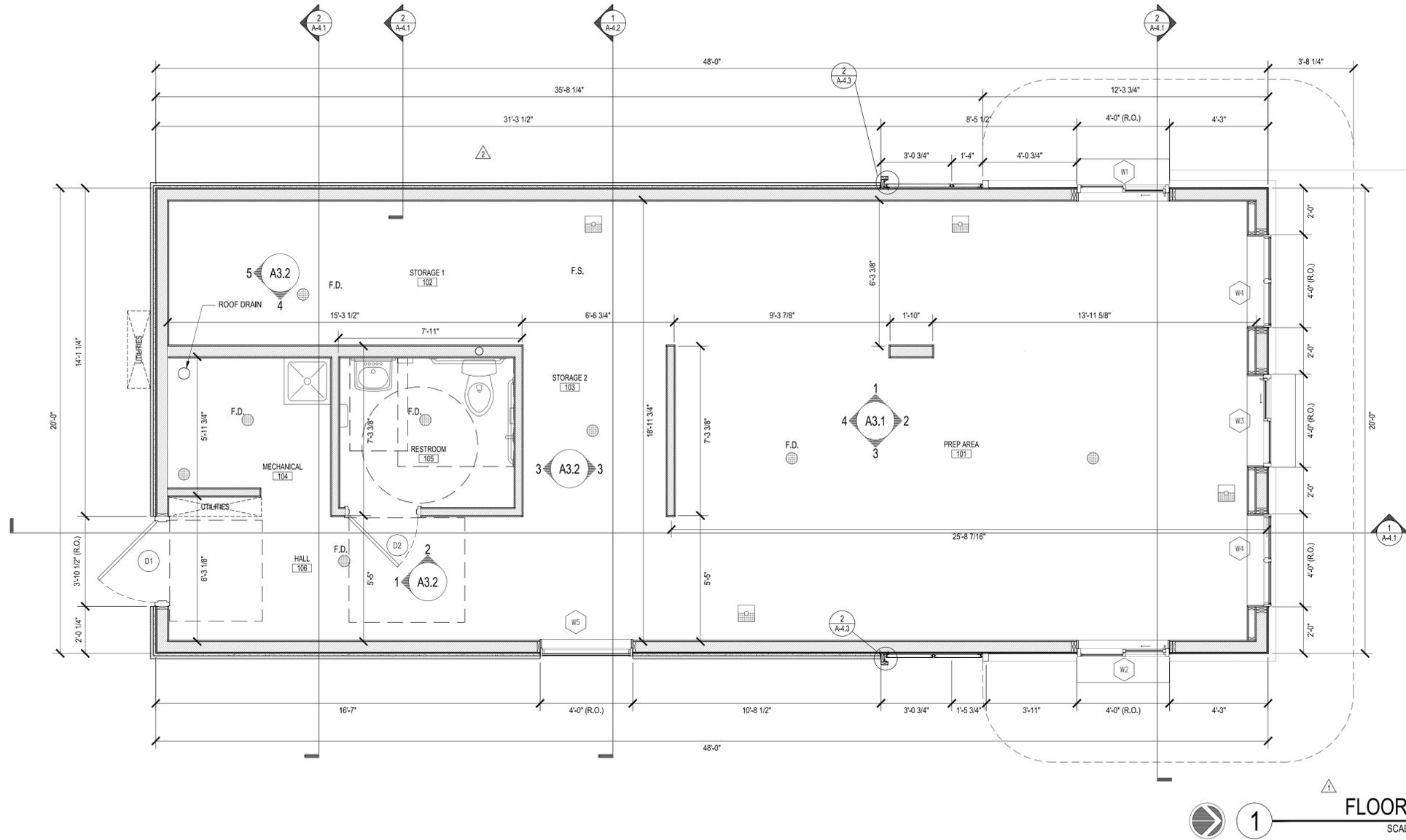
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HYPER ENERGY BAR
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Project No. 583
Sheet Content:
COVER SHEET & GENERAL NOTES
Sheet No.
A-0.0





FLOOR PLAN
SCALE: 3/8" = 1'-0"

- GENERAL NOTES:**
- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 - NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER.
 - G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING. COORDINATE WITH ELEVATIONS.
 - G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO ENSURE ACOUSTICAL INSULATION. ALL BATHROOM ACCESSORIES SHALL BE
 - G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL. FULLY PROTECT EXISTING WOOD FLOORS DURING CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.
 - UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
 - DIMENSIONS:
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 - DRAWINGS ARE NOT TO BE SCALED-VIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.

ROOM FINISH SCHEDULE			
ROOM	FLOORING	INTERIOR WALLS	CEILING
001 PREP AREA	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
002 STORAGE 1	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
003 STORAGE 2	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
004 MECHANICAL	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
005 RESTROOM	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
006 HALL	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE

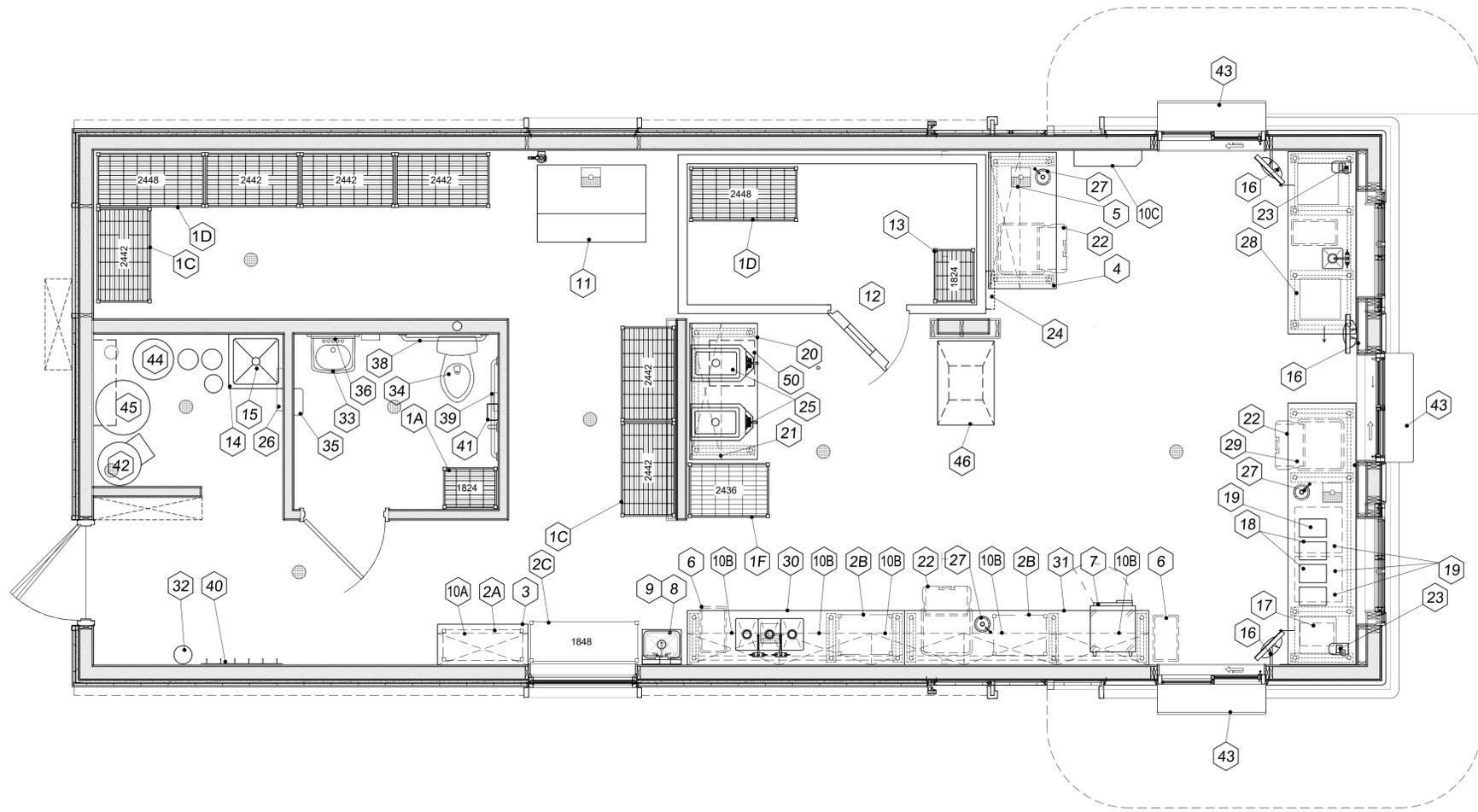
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Sheet Content: FLOOR PLAN
Sheet No. A-1.1



1 EQUIPMENT PLAN
SCALE: 3/8" = 1'-0"

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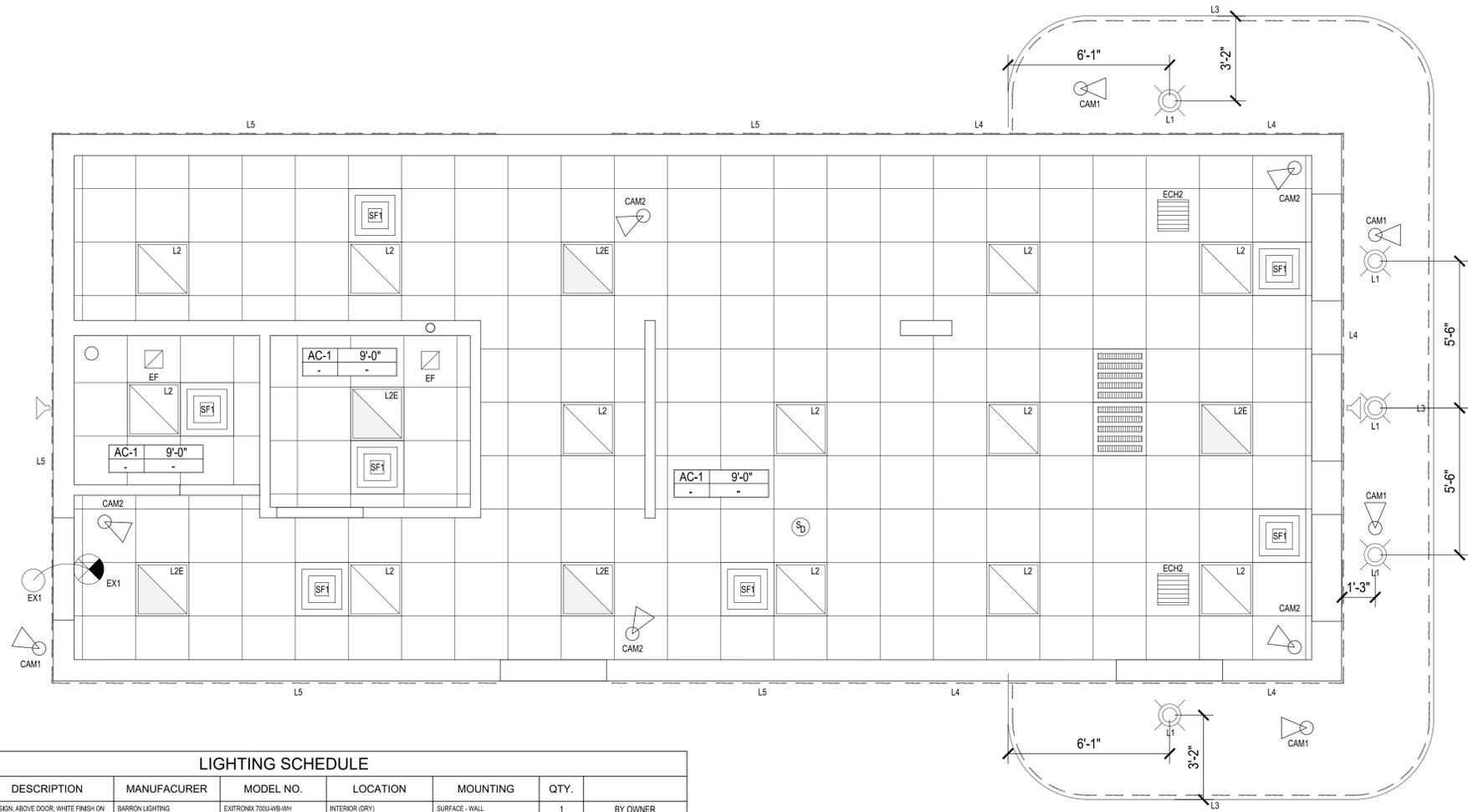
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Project No. 583
Sheet Content: EQUIPMENT PLAN
Sheet No. A-1.2



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1 REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

LIGHTING SCHEDULE							
KEY	PLAN	DESCRIPTION	MANUFACTURER	MODEL NO.	LOCATION	MOUNTING	QTY.
EX1		EXIT SIGN ABOVE DOOR, WHITE FINISH ON INTERIOR SIDE, EGRESS LIGHT ON EXTERIOR, BLACK FINISH ON EXTERIOR SIDE	BARRON LIGHTING	EXITRONIX 700U-WB-WH	INTERIOR (DRY) EXTERIOR (DAMP)	SURFACE - WALL	1 BY OWNER
L1		DOWNLIGHT, 6" LED, REMOTE DRIVER, RECESSED, BLACK TRIM FINISH	SATCO	S11875	EXTERIOR (DAMP)	RECESSED - CEILING	5 BY OWNER
L2		LOW PROFILE LED, 2X2 FLAT SWITCHABLE PANEL, FIXTURE	LITHONIA LIGHTING	CPX-2X2-AL-07-SW7-AM	INTERIOR (DRY)	LAY-IN - CEILING	13 BY OWNER
L2E		LOW PROFILE LED, 2X2 FLAT SWITCHABLE PANEL, FIXTURE, WITH EMERGENCY BATTERY BACKUP	LITHONIA LIGHTING	CPX-2X2-AL-07-SW7-AM	INTERIOR (DRY)	LAY-IN - CEILING	4 BY OWNER
L3		LED, FLEXIBLE, SILICONE, 24 VOLT, DIMMABLE, RGB CONTROLS	NOVA FLEX	DUAL-BEND NEON SERIES	EXTERIOR (DAMP)	CLIPS - RECESSED IN EDGE OF CANOPY - HORIZONTAL	66' BY OWNER
L4		LED, FLEXIBLE, SILICONE, 24 VOLT, DIMMABLE, RGB CONTROLS	NOVA FLEX	DUAL-BEND NEON SERIES	EXTERIOR (DAMP)	CLIPS - RECESSED IN EDGE OF PARAFET - HORIZONTAL AND VERTICAL	1 b.c. BY OWNER
L5		LED, FLEXIBLE, 24 VOLT, DIMMABLE, RGB CONTROLS	NOVA FLEX	DESIGN SERIES, IP68, 3000K, NF-CH-4517	EXTERIOR (DAMP)	DIRECT MOUNT TO SURFACE - BEHIND PERFORATED METAL PANELS	1 b.c. BY OWNER

CEILING SCHEDULE							
KEY	PLAN	DESCRIPTION	MANUFACTURER	MODEL NO.	LOCATION	MOUNTING	QTY.
CAM1		DOME CAMERA, BLACK FINISH *	1 b.c.	1 b.c.	EXTERIOR (DAMP)	SURFACE - CEILING (BELOW CANOPY)	6 * BY OWNER *
CAM2		DOME CAMERA, WHITE FINISH	1 b.c.	1 b.c.	INTERIOR (DRY)	SURFACE - CEILING	5 BY OWNER
SF1		2X2 SUPPLY AIR DIFFUSER, 0 8", WHITE FINISH	1 b.c.	1 b.c.	INTERIOR (DRY)	LAY-IN - CEILING	5 BY MECHANICAL
DF1		2X2 RETURN AIR GRILL, WHITE FINISH	1 b.c.	1 b.c.	INTERIOR (DRY)	LAY-IN - CEILING	5 BY MECHANICAL
ECH1 & ECH2		ELECTRIC CEILING HEATER, ABOVE DRIVE THRU WINDOWS, WHITE FINISH	MARKEL	TH 3380 SERIES	INTERIOR (DRY)	LAY-IN - CEILING	2 BY MECHANICAL
EF		EXHAUST FAN, WHITE FINISH	1 b.c.	1 b.c.	INTERIOR (DRY)	LAY-IN - CEILING	2 BY MECHANICAL
SF2		1X1 SUPPLY AIR DIFFUSER, 0 6", WHITE FINISH	1 b.c.	1 b.c.	INTERIOR (DRY)	LAY-IN - CEILING	1 BY MECHANICAL
		SMOKE DETECTOR, WHITE FINISH					
		SPEAKER, BLACK, EXTERIOR, 2 X TYPE: TBC	1 b.c.	1 b.c.	INTERIOR (DRY)	SURFACE - CEILING	2 BY OWNER

*ONE (1) CAMERA TO BE LOCATED INSIDE DUMPSTER ENCLOSURE

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Sheet Content: REFLECTED CEILING PLAN
Sheet No. A-1.3



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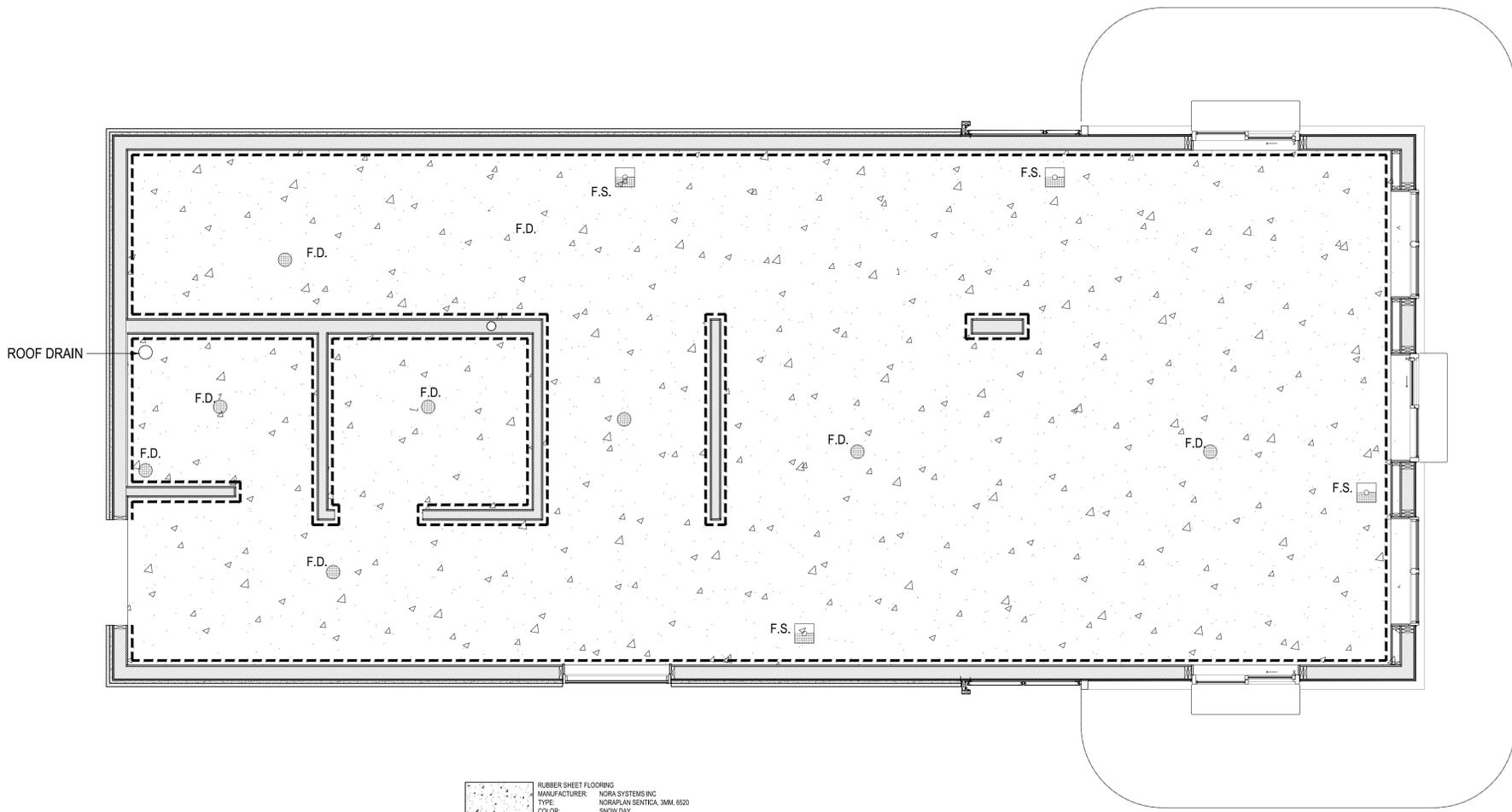
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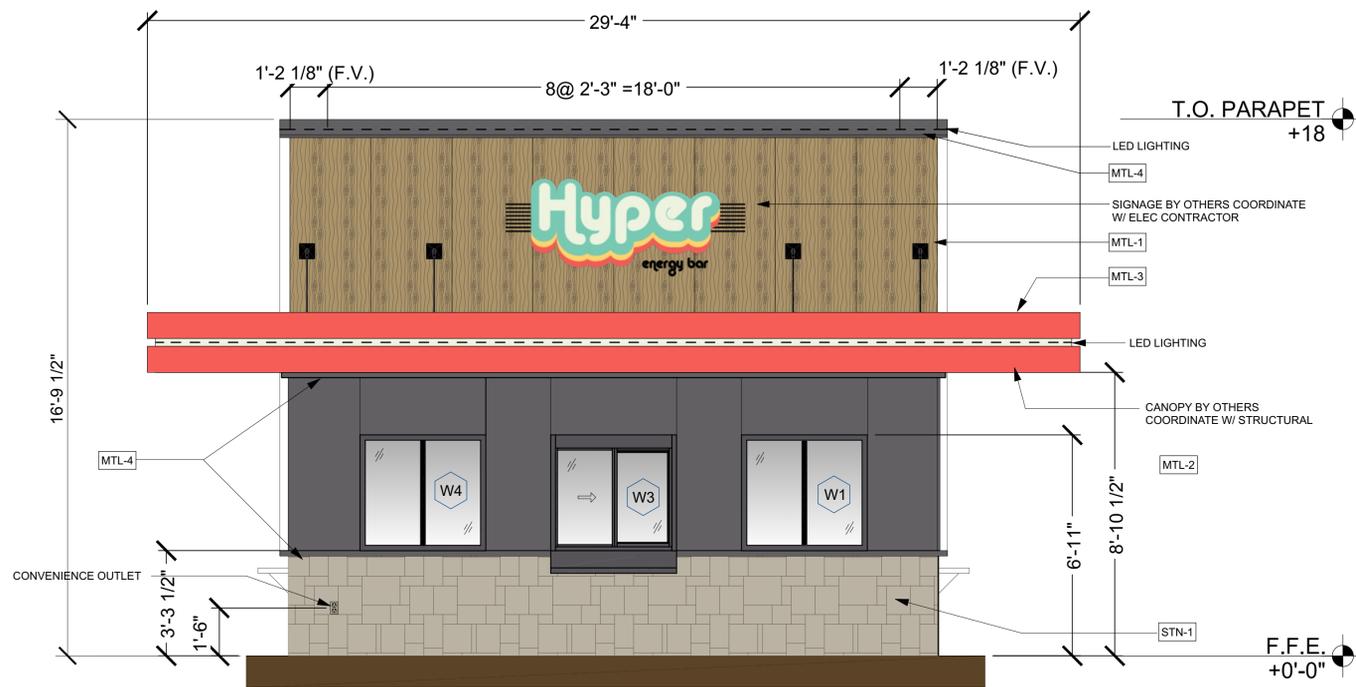
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Sheet Content: FLOOR FINISH
Sheet No. A-1.5



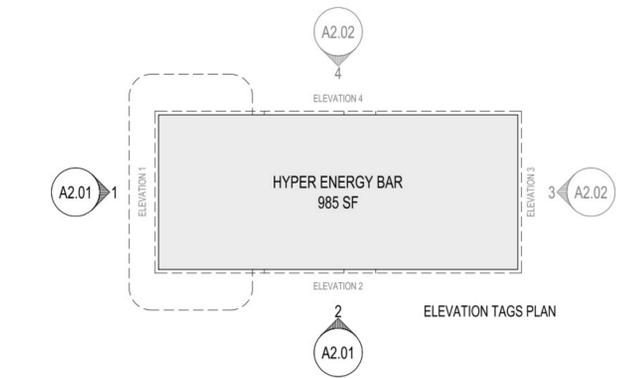
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	RUBBER SANITARY BASE MANUFACTURER: NORA SYSTEMS INC TYPE & COLOR: CS 7036 HEIGHT: 6" QTY: 226 LINEAR FEET

1 FIRST FLOOR FINISH
 A-1.5 SCALE: 3/8" = 1'-0"

ROOM FINISH SCHEDULE			
ROOM	FLOORING	INTERIOR WALLS	CEILING
001 PREP AREA	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
002 STORAGE 1	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
003 STORAGE 2	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
004 MECHANICAL	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
005 RESTROOM	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE
006 HALL	COMMERCIAL EPOXY FLOORING 6" VINYL COVE BASE COLOR: GRAY	FRP WALL PANELS FULL HEIGHT COLOR: WHITE, EMBOSSED	VINYL WRAPPED 2X2 CEILING TILES COLOR: WHITE



1 ELEVATION
SCALE: 3/8" = 1'-0"

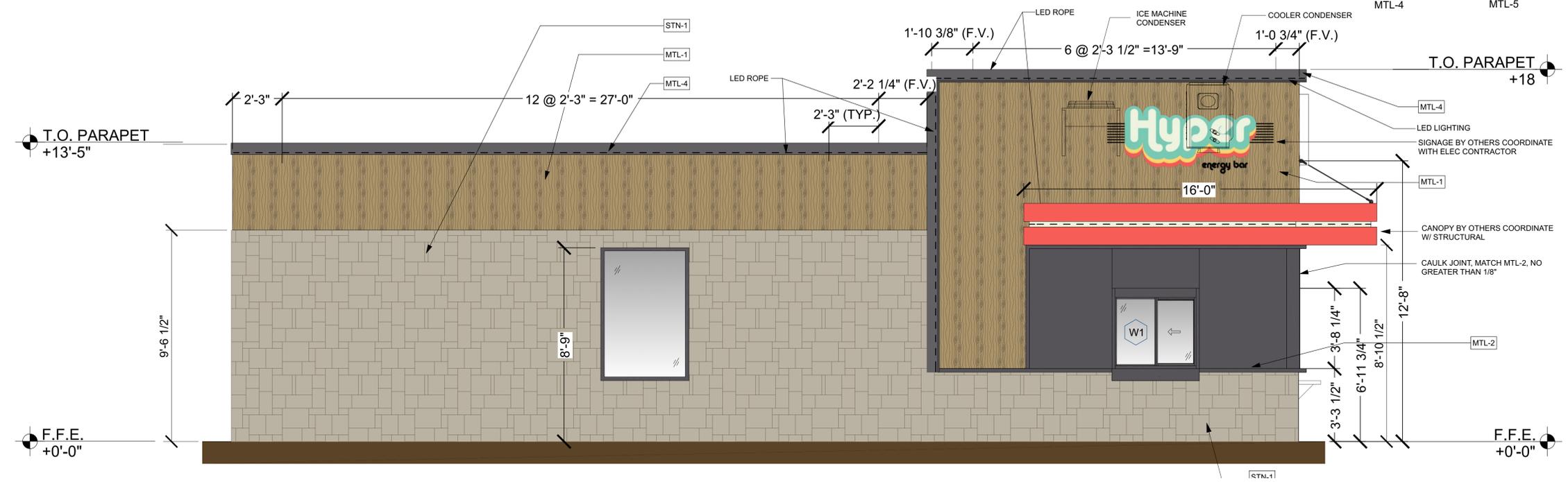


GENERAL NOTES

1. PROVIDE DEDICATED CIRCUIT AT ALL BUILDING SIGNAGE LOCATIONS
2. ALL EXPOSED FLASHINGS TO BE SATIN POWDER COAT, ANODIZED, COLOR, TBC

EXTERIOR FINISH SCHEDULE

TAG:	MATERIAL:	MANUFACTURER:	PRODUCT:	COLOR/FINISH:	MAT. CLASS:
STN-1	STONE VENEER, NATURAL	EARTHWORKS	ECO SERIES, ECO INJOY VENEER	BUFF, GREY	2
MTL-1	METAL	ALPOLIC	TIMBER SERIES, WOOD GRAIN PANEL	QB.V. ORIENTAL CANE	1
MTL-2	METAL	ALPOLIC	ALPOLIC PE	BSM SLATE BLACK	1
MTL-3	METAL (CANOPY)	ALPOLIC	ALPOLIC PE	CUSTOM COLOR "HYPER RED" PANTONE 2348 C	1
MTL-4	TRIM, DOOR METAL	ALPOLIC	ALPOLIC PE	BSM SLATE BLACK	1
MTL-5	METAL	MNICHOLS	EQUIPMENT SCREENING	HANOVER SQUARE 2064 20 GA PAINT MATTE BLACK	4
GLS-1	TPO MEMBRANE ROOFING	FIRESTONE	ULTRAPLY TPO XR	GREY	4



2 ELEVATION
SCALE: 3/8" = 1'-0"

Date: 03/04/2026
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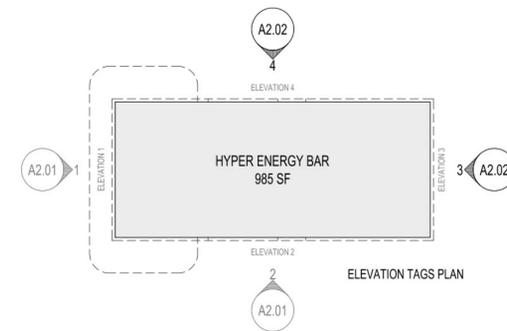
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EXTERIOR ELEVATIONS 1 & 2

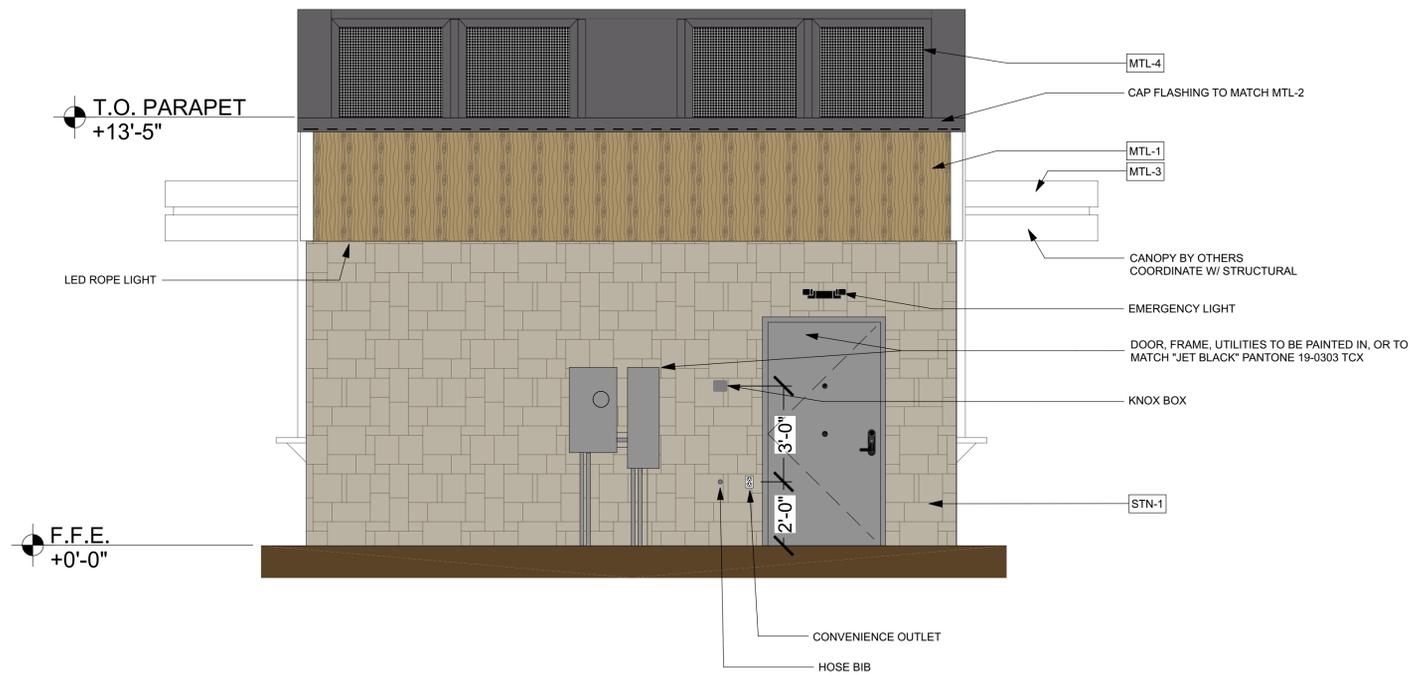
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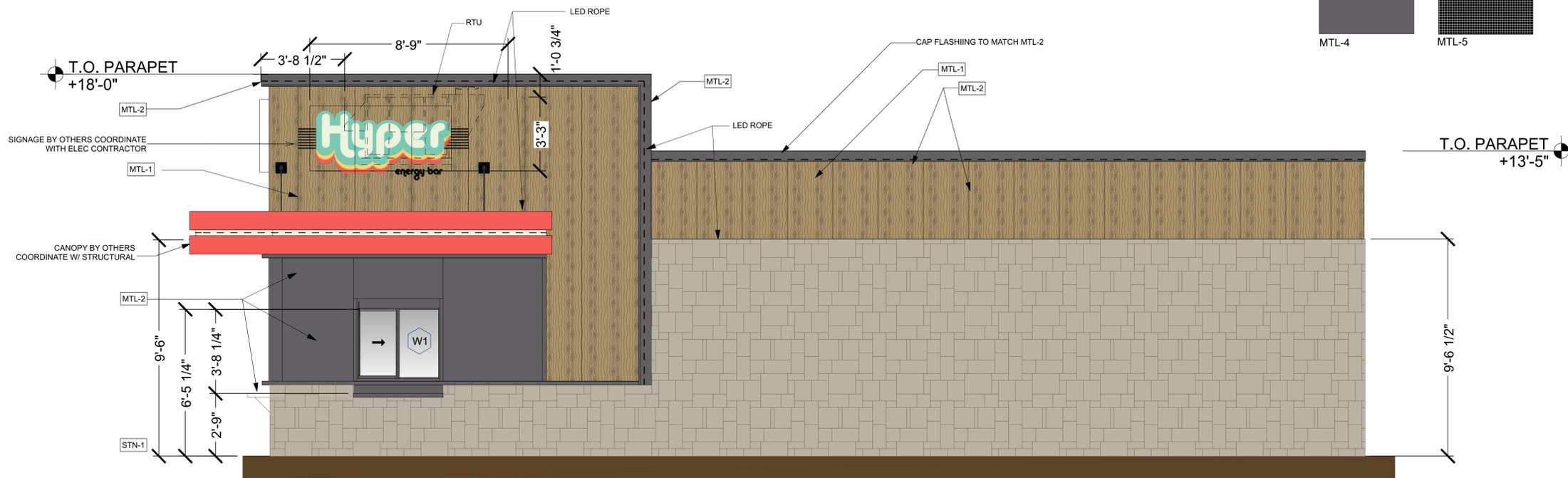
GENERAL NOTES

1. PROVIDE DEDICATED CIRCUIT AT ALL BUILDING SIGNAGE LOCATIONS
2. ALL EXPOSED FLASHINGS TO BE SATIN POWDER COAT, ANODIZED, COLOR, TBC

EXTERIOR FINISH SCHEDULE					
TAG:	MATERIAL:	MANUFACTURER:	PRODUCT:	COLOR/FINISH:	MAT. CLASS:
STN-1	STONE VENEER, NATURAL	EARTHWORKS	ECO SERIES, ECO INDY VENEER	BUFF, GREY	2
MTL-1	METAL	ALPOLIC	TIMBER SERIES, WOOD GRAIN PANEL	QBV, ORIENTAL CANE	1
MTL-2	METAL	ALPOLIC	ALPOLIC PE	BSM SLATE BLACK	1
MTL-3	METAL (CANOPY)	ALPOLIC	ALPOLIC PE	CUSTOM COLOR "HYPER RED" PANTONE 2348 C	1
MTL-4	TRIM, DOOR METAL	ALPOLIC	ALPOLIC PE	BSM SLATE BLACK	1
MTL-5	METAL	MENICHOLES	EQUIPMENT SCREENING	HANOVER SQUARE 2064 20 GA PAINT MATTE BLACK	4
GLS-1	TPO MEMBRANE ROOFING	FIRESTONE	ULTRAPLY TPO XR	GREY	4



3 ELEVATION
SCALE: 3/8" = 1'-0"



4 ELEVATION
SCALE: 3/8" = 1'-0"

Date: 03/04/2026
 Designed by: HOAD
 Drawn by: HOAD
 Checked by: DEO

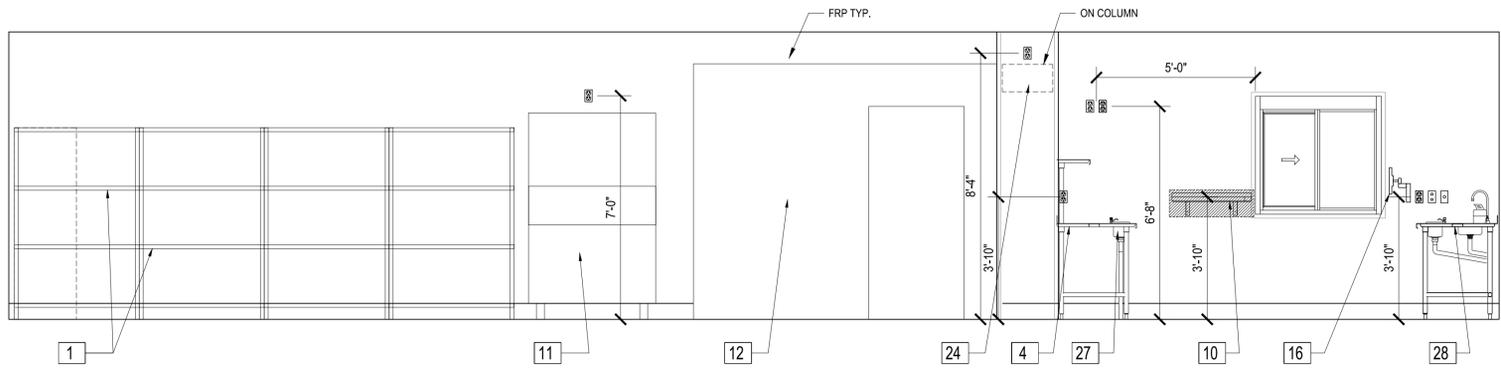
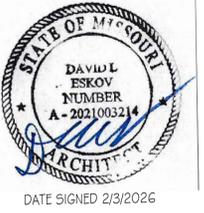
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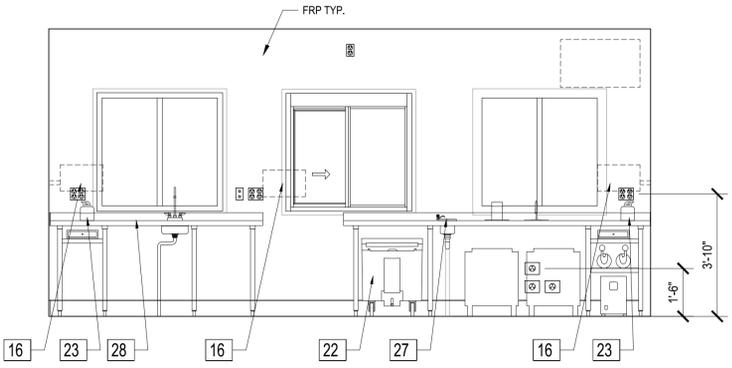
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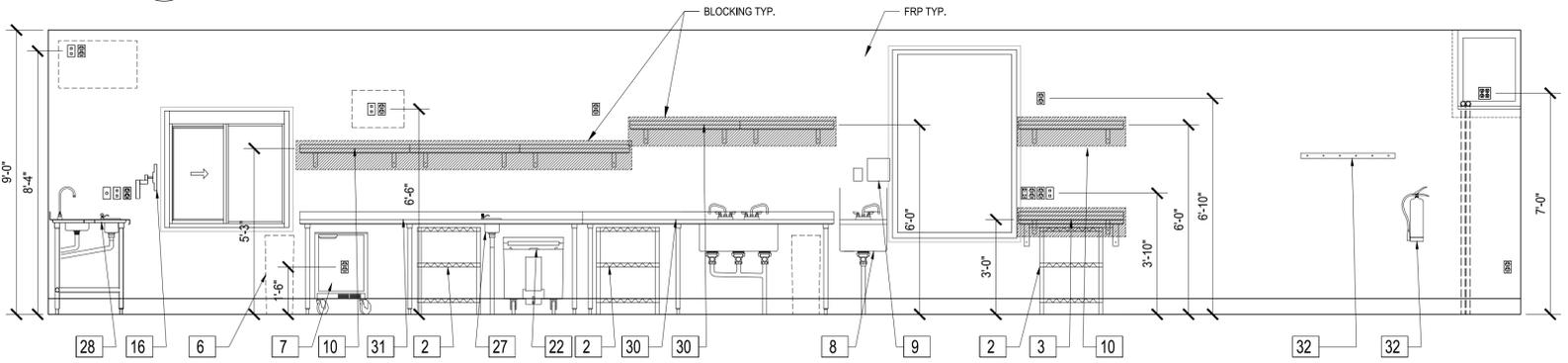
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 EXTERIOR ELEVATIONS 3 & 4
 Sheet No.
A-2.2



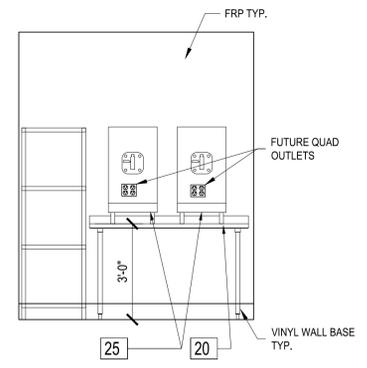
1 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



2 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



3 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



4 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"

ELEVATION EQUIPMENT SCHEDULE

#	LABEL	REMARKS
1	DRY STORAGE	
2	STORAGE RACK	
3	WORK COUNTER	
4	WORK COUNTER	
5	TABLE MOUNTED OVERSHELF	
6	SLIM JIM TRASH	
7	FRIDGE	
8	HAND SINK	
9	PAPER TOWEL / SOAP DISPENSER	
10	WALL SHELF	
11	ICE MACHINE	
12	WALK-IN COOLER	
13	COOLER SHELVING	
14	MOP SINK	
15	WALL SHELF	
16	P.O.S.	
17	STEAMER UNIT	
18	ESPRESSO MACHINE	
19	ESPRESSO MACHINE DROP IN	
20	WORK COUNTER	
21	WALL SHELF	
22	ICE CADDY	
23	P.O.S. PRINTER	
24	INSECT TRAPPER	MONTE TO WALK-IN COOLER
25	FROZEN DRINK MACHINE	FUTURE
26	MOP RACK	
27	DIPWELL	
28	WORK COUNTER	
29	WORK COUNTER	
30	WORK COUNTER	
31	WORK COUNTER	
32	FIRE EXTINGUISHER	
33	NOT SHOWN	
34	NOT SHOWN	
35	NOT SHOWN	
36	NOT SHOWN	
37	NOT SHOWN	
38	NOT SHOWN	
39	NOT SHOWN	
40	COAT HOOKS	
41	NOT SHOWN	
42	NOT SHOWN	
43	NOT SHOWN	
44	R.O. SYSTEM	
45	STORAGE TANK	
46	BAG BUDDY	
47	NOT SHOWN	
48	NOT SHOWN	
49	NOT SHOWN	
50	SAFE	
51	NOT SHOWN	
52	NOT SHOWN	

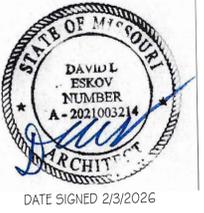
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Project No. 583
Sheet Content:
INTERIOR ELEVATIONS 1 - 5
Sheet No.
A-3.1



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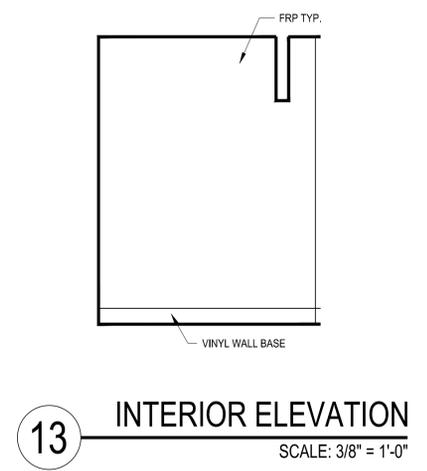
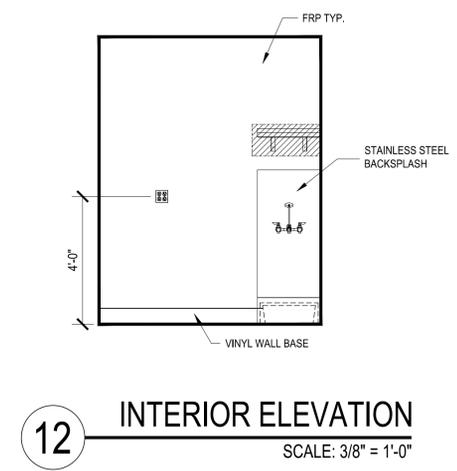
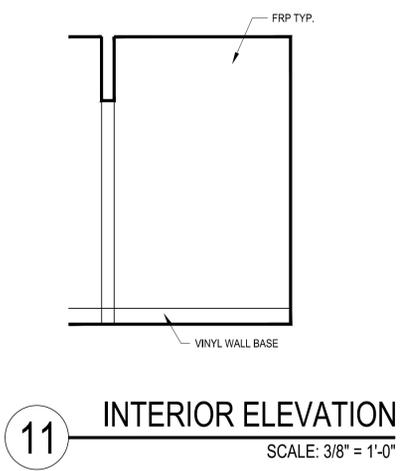
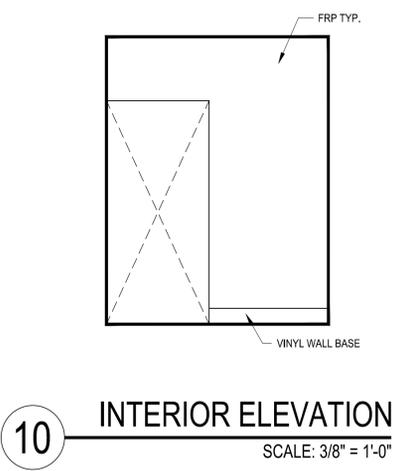
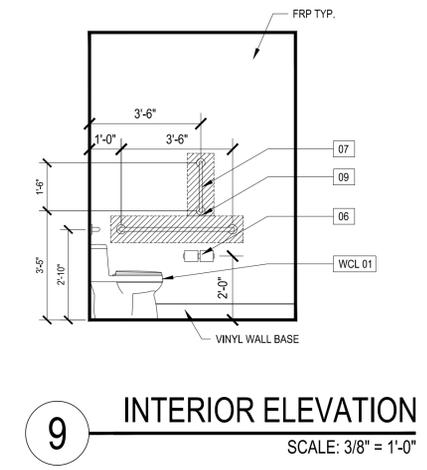
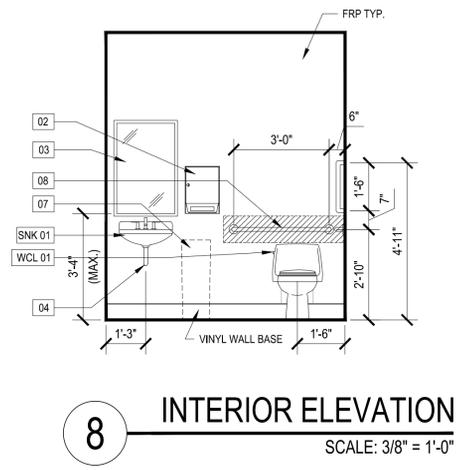
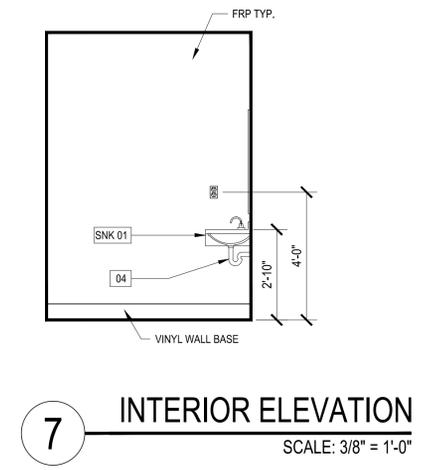
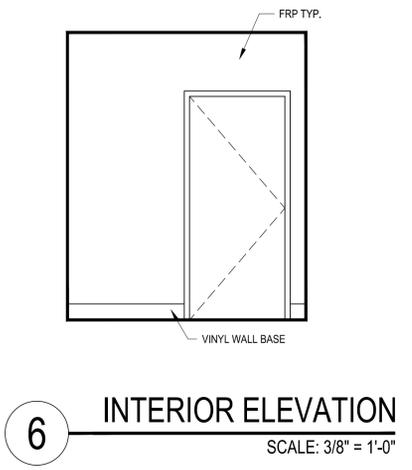
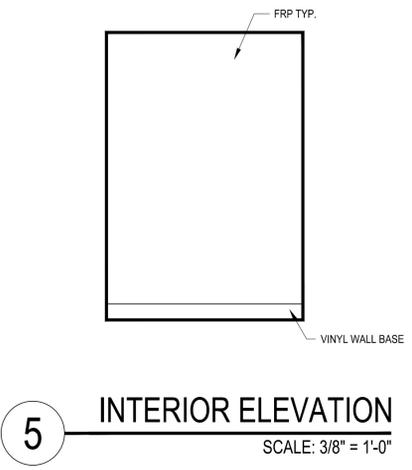
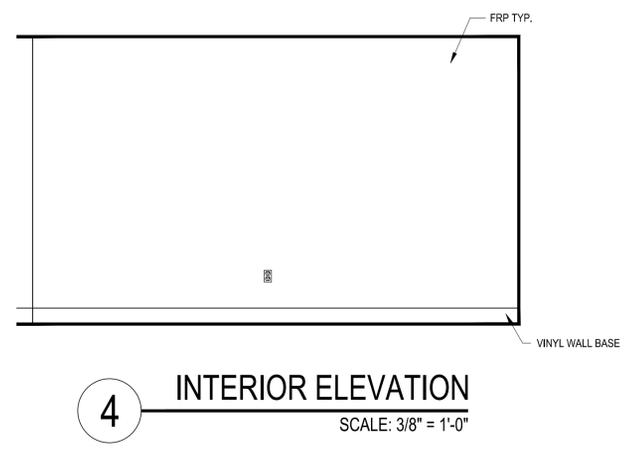
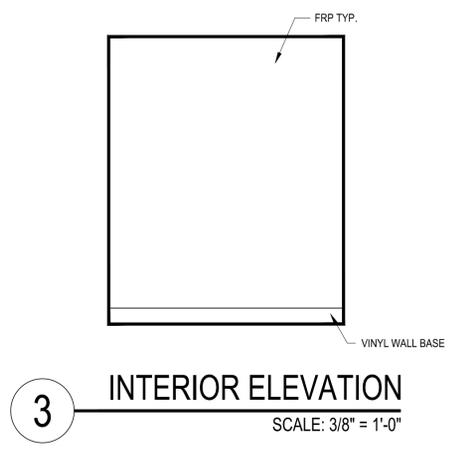
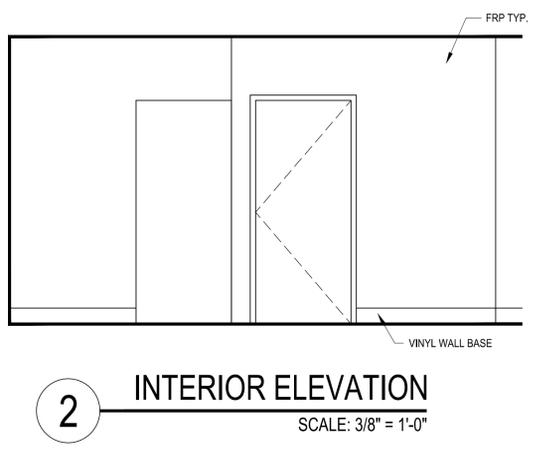
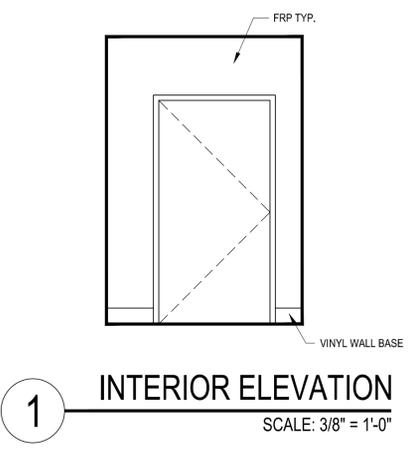
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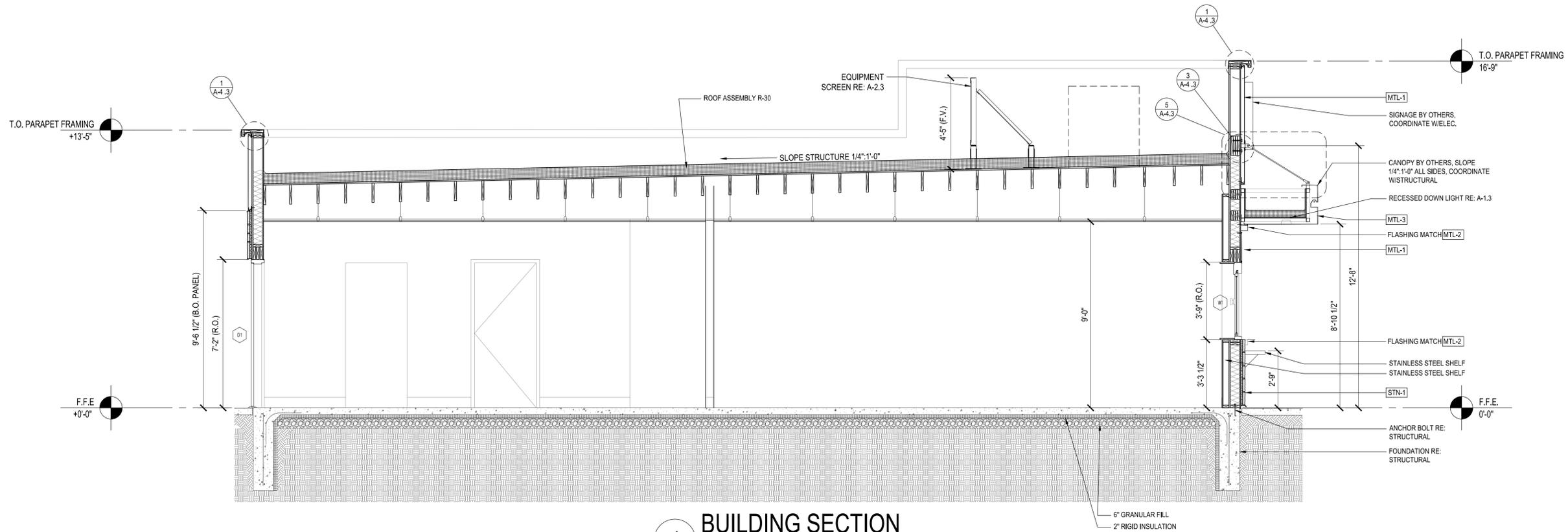
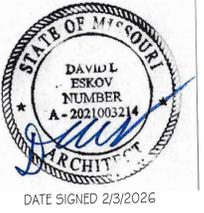
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Project No. 583
Sheet Content: INTERIOR ELEVATIONS 1 - 5
Sheet No. A-3.2

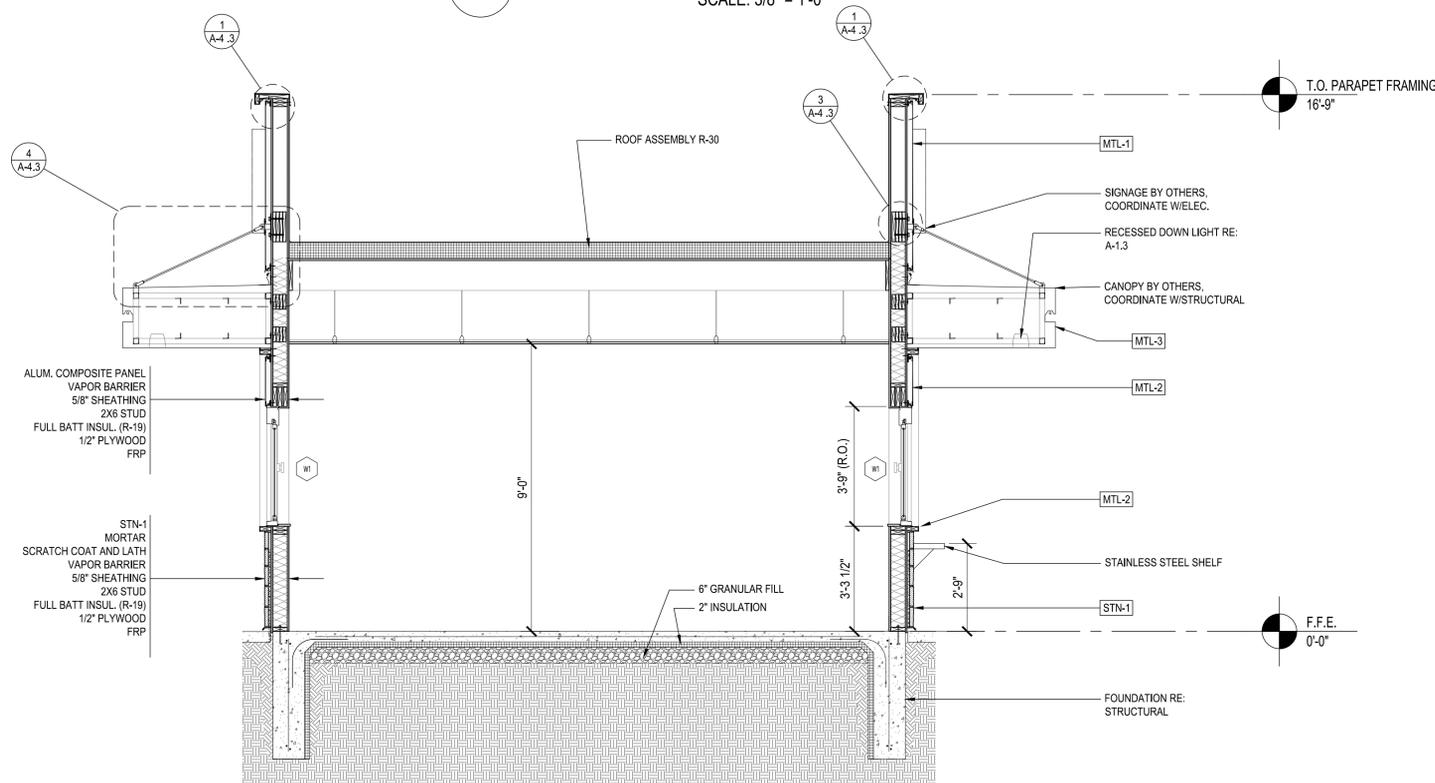


RESTROOM ACCESSORY SCHEDULE		
ID NO.	DESCRIPTION	NOTES
01	TRASH RECEPTACLE, BY OWNER	FREESTANDING
02	PAPER TOWEL DISPENSER	SURFACE-MOUNTED
03	MIRROR (24" x 36")	SURFACE-MOUNTED
04	P-TRAP COVER, ADA	-
05	SOAP DISPENSER	SURFACE-MOUNTED
06	TOILET PAPER DISPENSER, DOUBLE	SURFACE-MOUNTED
07	GRAB BAR - 18" WINGTS - MODERN ELEGANCE	VERTICAL
08	GRAB BAR - 36" WINGTS - MODERN ELEGANCE	HORIZONTAL
09	GRAB BAR - 42" WINGTS - MODERN ELEGANCE	HORIZONTAL
SNK-01	ZURN - HAND LAVATORY MODEL NO: Z5320	SURFACE-MOUNTED
WCL-01	ZURN - WATER CLOSET 1-28 CPF, ELONGATED BOWL WITH TANK AND LOCKING LID OPEN SEAT MODEL NO: Z5560, Z5535	SURFACE-MOUNTED

NOTES:
 1. PROVIDE BLOCKING OR DIRECT STUD SUPPORT FOR ALL TOILET ACCESSORIES.
 2. APPROVED METAL FINISHES: BRUSHED CHROME, BRUSHED NICKEL, OR STAINLESS STEEL.
 3. WALL-MOUNTED EQUIP, FIXTURE, ETC BETWEEN 27" & 80" AFF SHALL NOT PROTRUDE FURTHER THAN 4" FROM WALL PER ACCESSIBILITY STANDARDS.
 4. ALL CONTROLS FOR USE BY GUEST MUST BE MOUNTED BETWEEN 15" & 48" AFF.



1 BUILDING SECTION
SCALE: 3/8" = 1'-0"



2 BUILDING SECTION
SCALE: 3/8" = 1'-0"

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Checked by:	DEO

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Sheet Content:
BUILDING SECTIONS 1 & 2
Sheet No.
A-4.1



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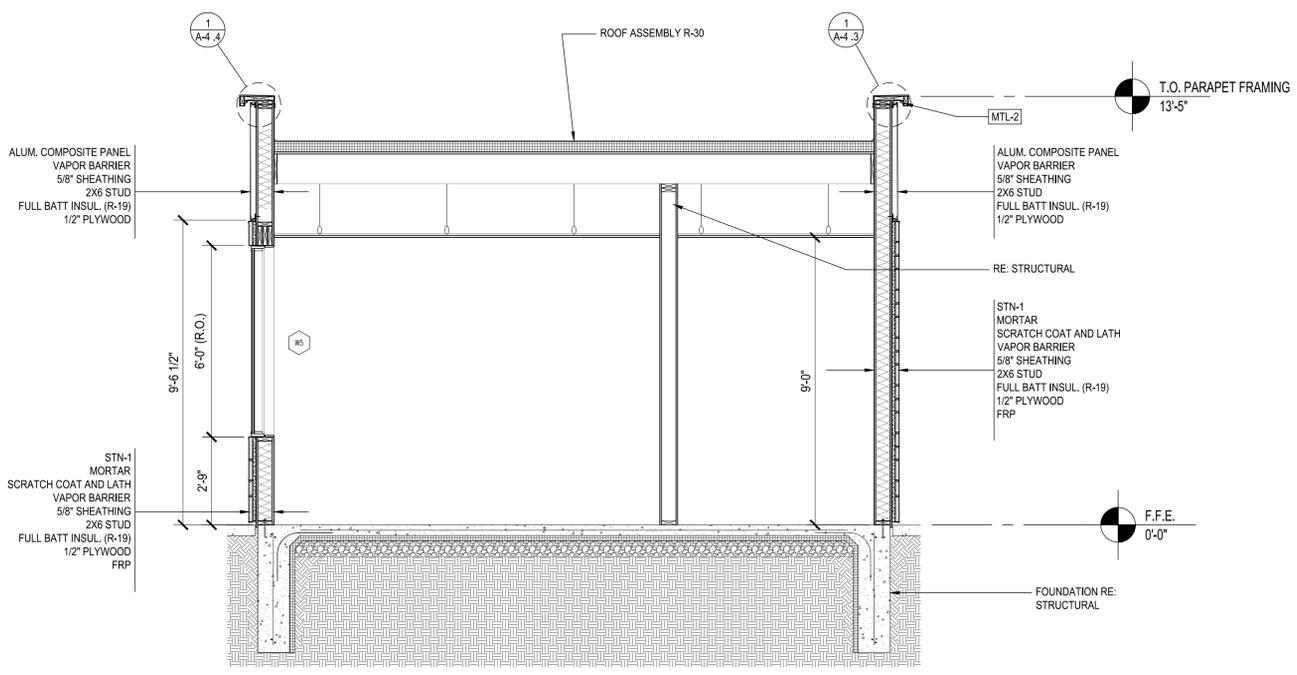
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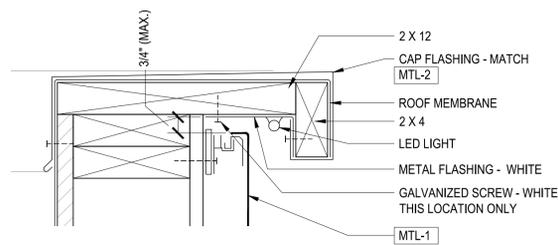



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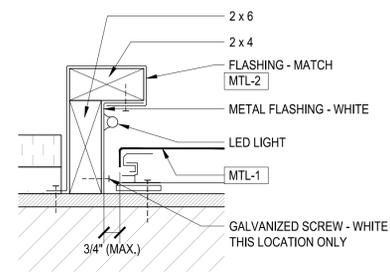
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Sheet Content: BUILDING SECTION & DETAILS
Sheet No. A-4.3



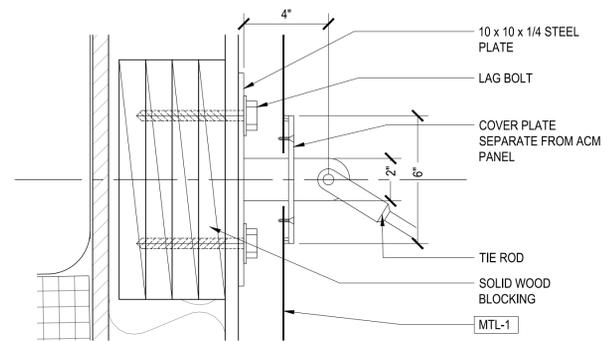
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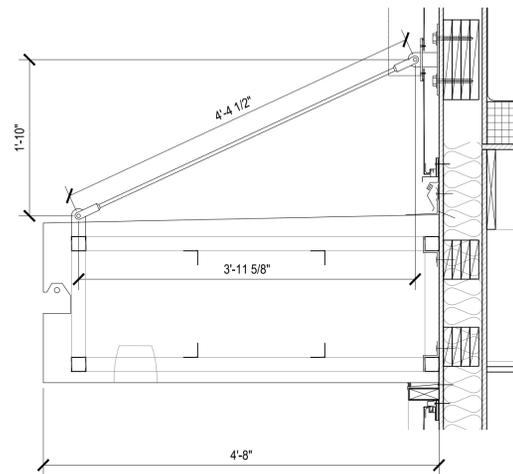
1 PARAPET DETAIL
SCALE: 3" = 1'-0"



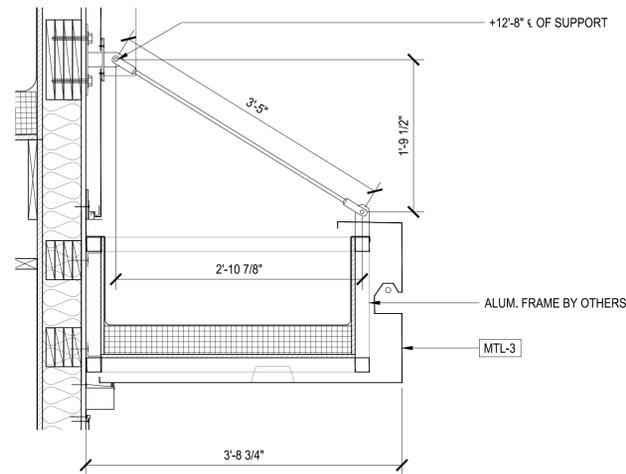
2 LED LIGHT COVE DETAIL
SCALE: 3" = 1'-0"



3 TIE ROD CONNECTION
SCALE: 3" = 1'-0"



4 CANOPY SIDE
SCALE: 1" = 1'-0"



5 CANOPY FRONT
SCALE: 1" = 1'-0"



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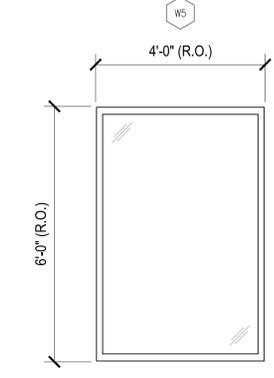
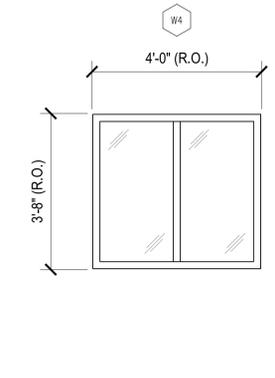
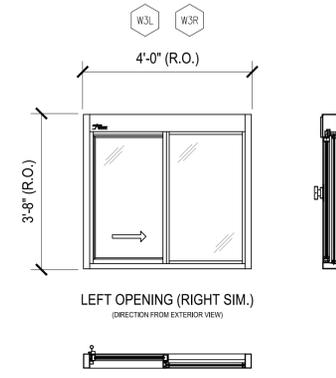
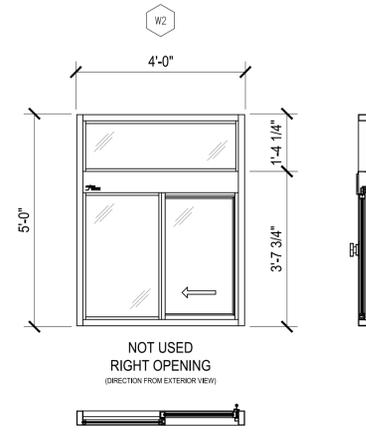
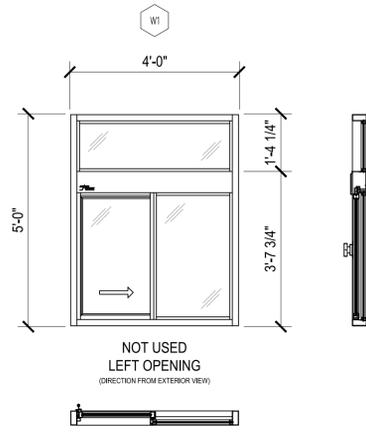
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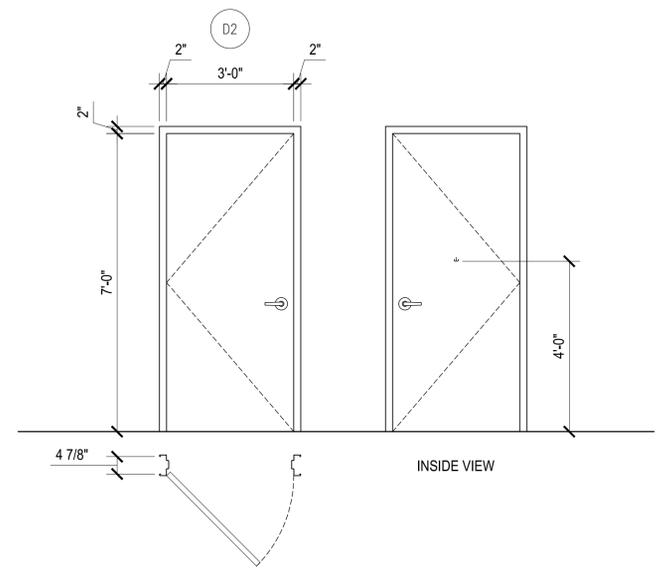
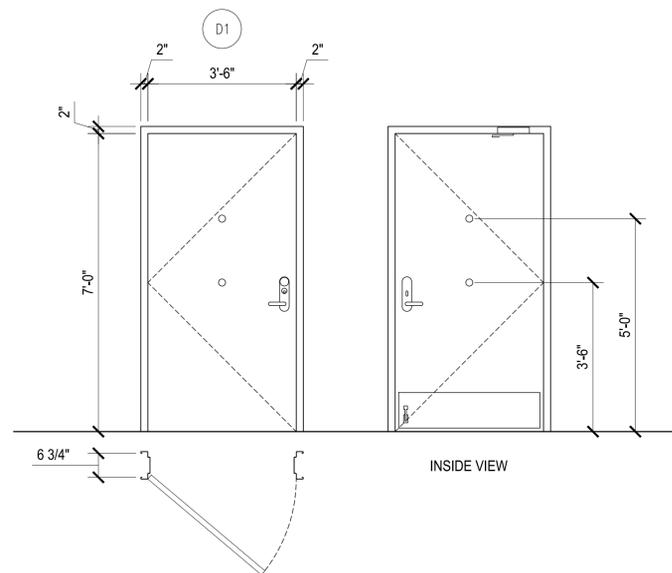
Project No. 583
Sheet Content:
DETAILS
Sheet No.
A-4.3



WINDOW TYPES

SCALE: 1/2" = 1'-0"

1
A-5.1



DOOR TYPES

SCALE: 1/2" = 1'-0"

2
A-5.1

MARK	R.O. SIZE		DESCRIPTION	QTY
	W	H		
W1			NOT USED	
W2			NOT USED	
W3	4'-0"	3'-8"	READY ACCESS 275 SERIES TRANSACTION WINDOW, LEFT OPENING BLACK ALUMINUM FRAME (WITHOUT TRANSOM) SHGC = < 0.26 U = < 0.27	1
W4	4'-0"	3'-8"	LOW-E THERMALLY BROKEN STOREFRONT, KAWNEER 451 SERIES (OR APPROVED EQUAL) BLACK ALUMINUM FRAME SHGC = < 0.26 U = < 0.27	2
W5	4'-0"	5'-6"	LOW-E THERMALLY BROKEN STOREFRONT, KAWNEER 451 SERIES (OR APPROVED EQUAL) BLACK ALUMINUM FRAME SHGC = < 0.26 U = < 0.27	1

MARK	SIZE		DESCRIPTION	QTY
	W	H		
D1	3'-6"	7'-0"	3670 INSULATED 16 GA. METAL DOOR WITH 16 GA. METAL FRAME WITH RIM EXIT DEVICE - YALE 2100 SERIES EXIT DEVICE, CONTINUOUS HINGE - YALE 51 SERIES HEAVY DUTY CLOSER, ADA THRESHOLD - PEMKO 2005AT X 36", GASKETING - PEMKO 316AV X 36" X 84", SWEEP - PEMKO 316CN X 36", ONE (1) DRIP GUARD; TWO (2) DEFENDER SECURITY #U-9917 DOOR VIEWERS ONE @ 60" & ONE AT 43" (ADA HEIGHT); 10" x 34" SS KICK PLATE ON INTERIOR SIDE ONLY. PAINT INTERIOR AND EXTERIOR BENJAMIN MOORE "WILLOW CREEK" #1468 (EGGSHELL FINISH). DOOR TO BE PREPPED FOR LATCH M SERIES EXIT HARDWARE FURNISHED BY OWNER. ROCKWOOD 481 HEAVY DUTY EXT DOOR STOP.	1 (RH)
D2	3'-0"	7'-0"	3070 HOLLOW METAL DOOR WITH 16 GA. METAL FRAME; PRIVACY LOCKSET - YALE 4702 LHM; CLOSER - YALE 2701 689; HINGES - (3) MCKINNEY TA2714 NRP-4.5" X 4.5"; SILENCERS - ROCKWOOD 608; CONCAVE WALL STOP - ROCKWOOD 408; COAT HOOK - ROCKWOOD 796 626 @ 48" AFF. PAINT INTERIOR AND EXTERIOR BENJAMIN MOORE "WILLOW CREEK" #1468 (EGGSHELL FINISH)	1 (RH)



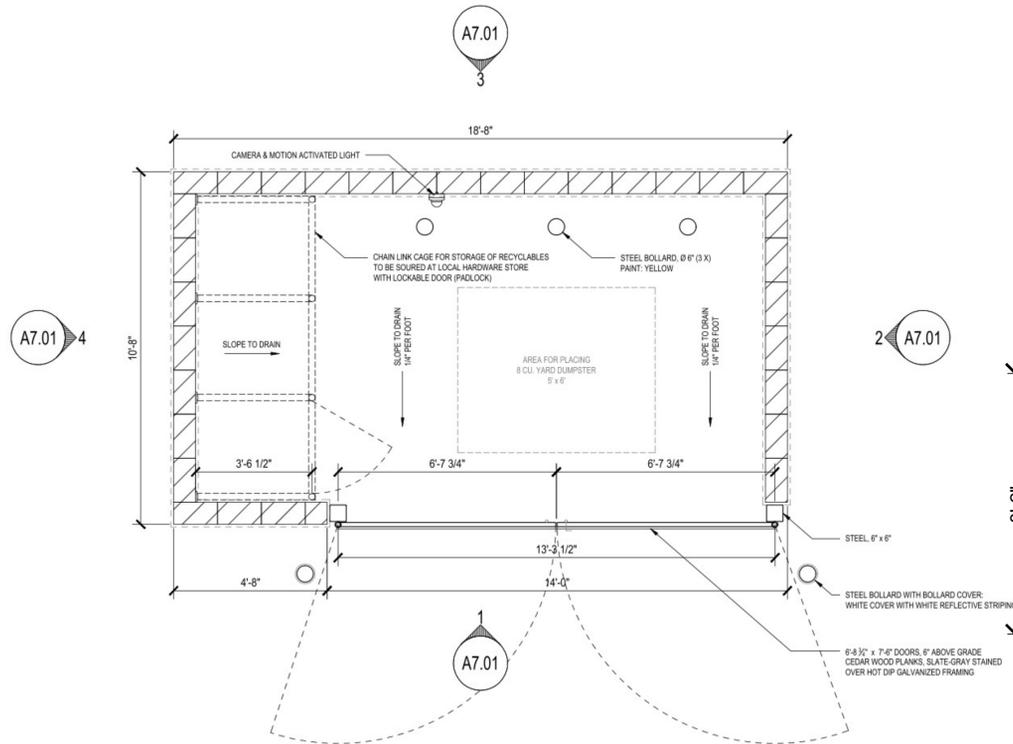
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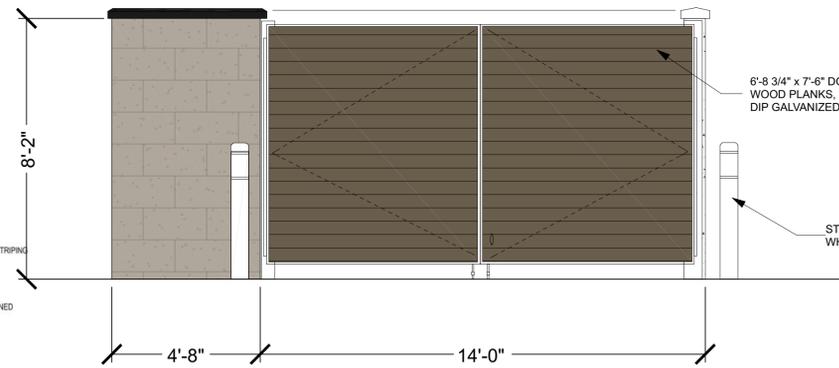
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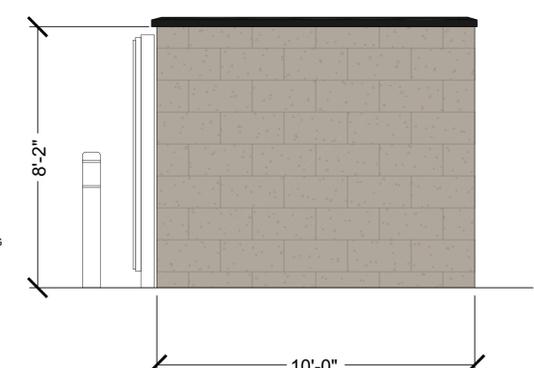
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Sheet Content: DOOR & WINDOW TYPES
Sheet No. A-5.1



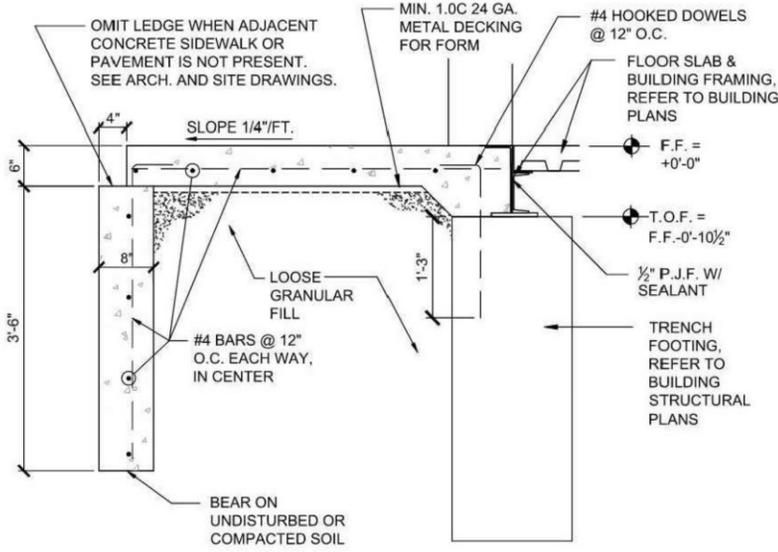
FINISH SCHEDULE			
TAG:	MATERIAL:	PRODUCT:	COLOR/FINISH:
STN-2	CONCRETE	CMU: 8" X 8" X 16" ROCKFACE/ SPLIT FACE BLOCK	PEWTER



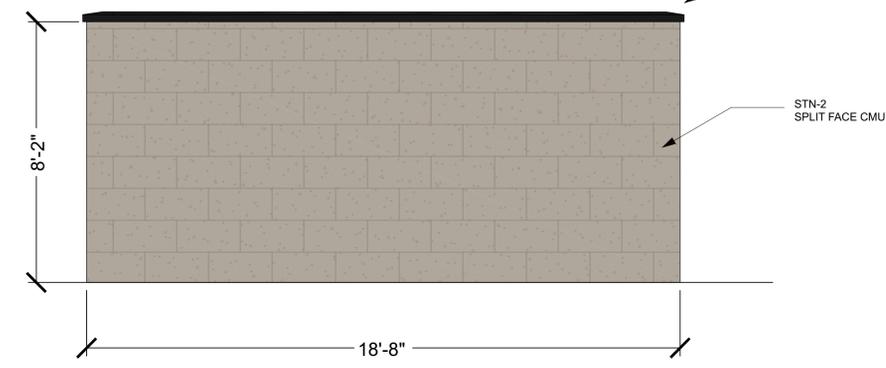
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A-7.1
ELEVATION 1
SCALE 3/8" = 1'-0"



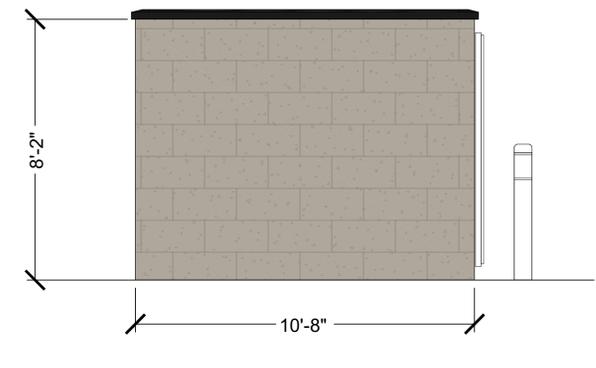
2
A-7.1
ELEVATION 2
SCALE 3/8" = 1'-0"



5
A-7.1
FROST FOOTING DETAIL
@ ENTRANCE
SCALE: NTS



3
A-7.1
ELEVATION 3
SCALE 3/8" = 1'-0"



4
A-7.1
ELEVATION 4
SCALE 3/8" = 1'-0"

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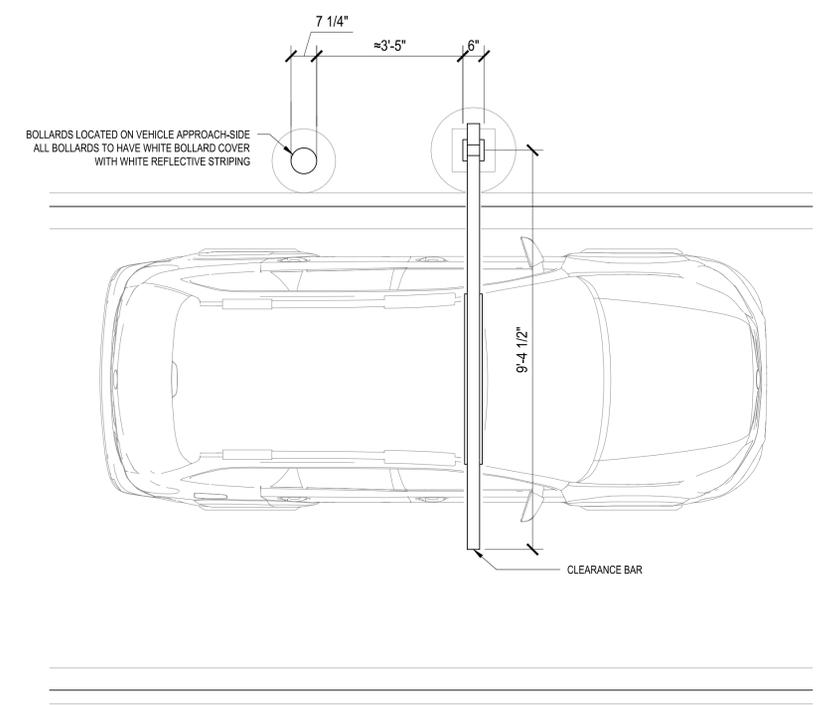
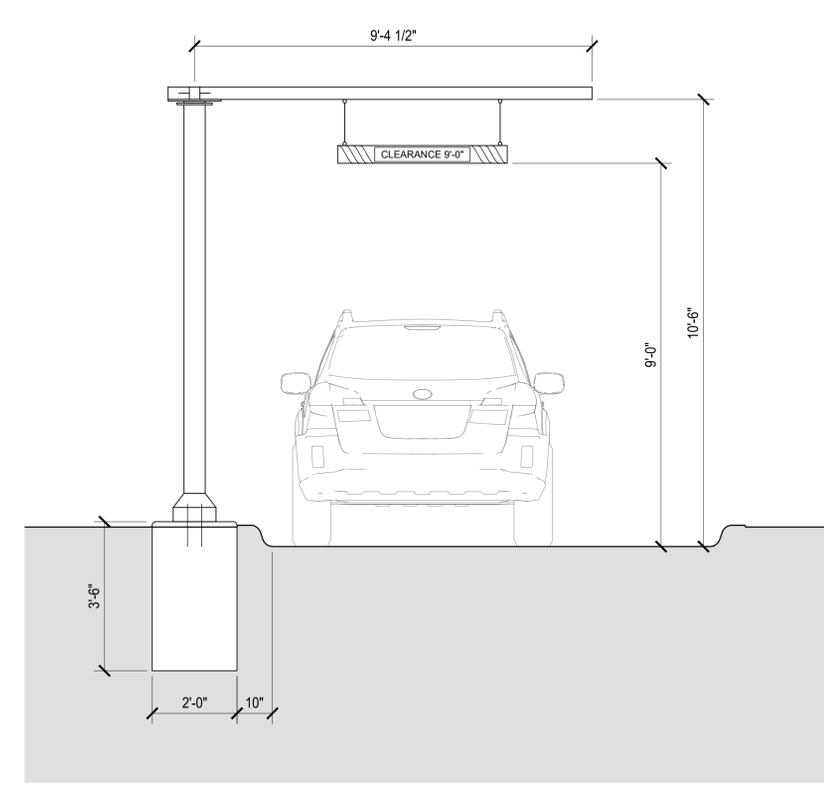
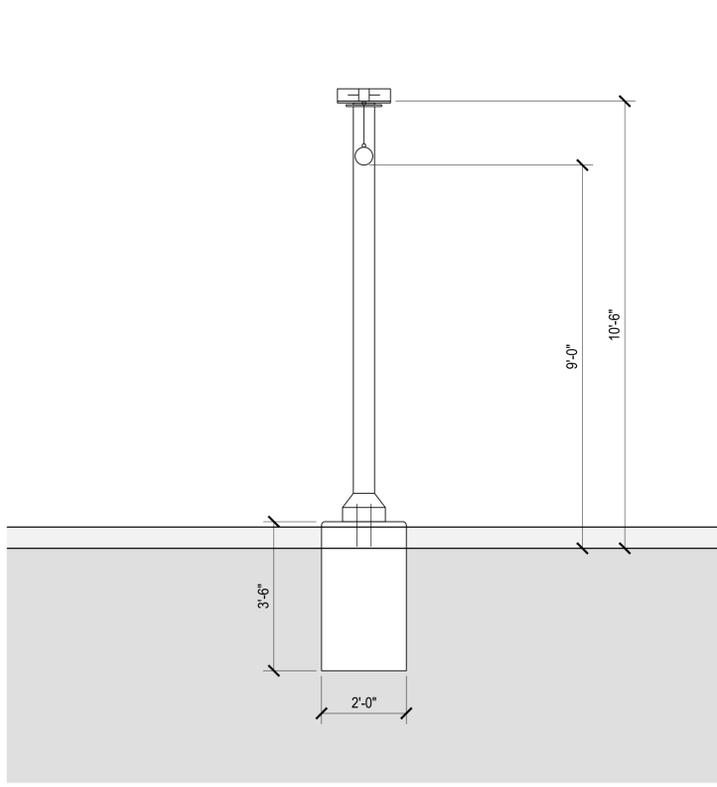
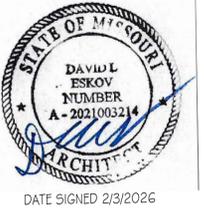
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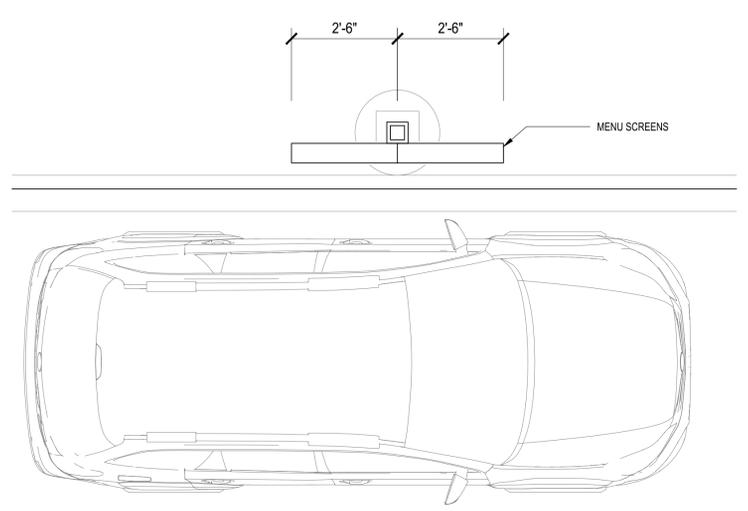
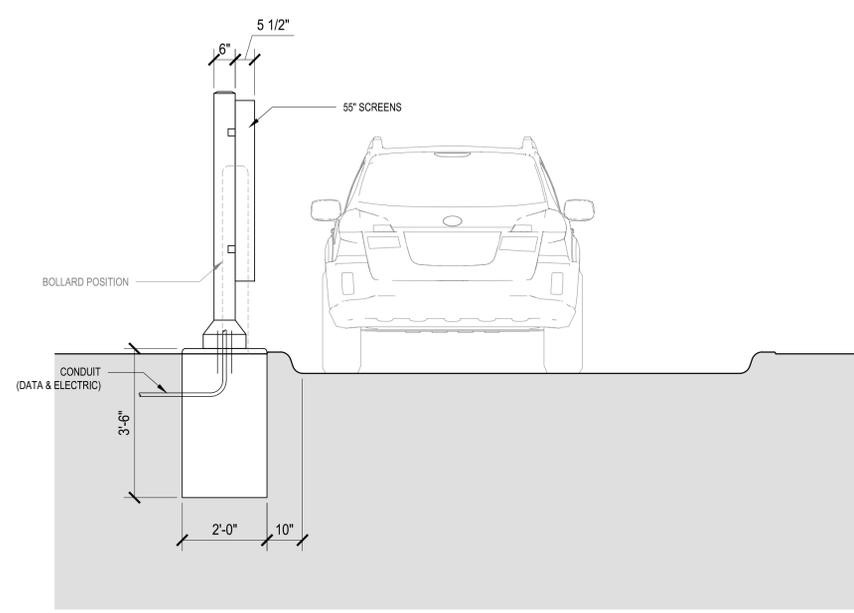
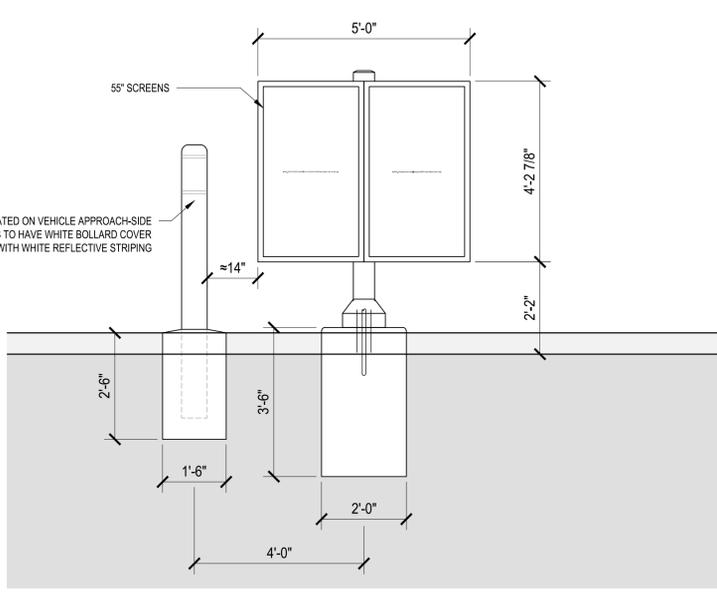
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Project No.	583
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Sheet No.	A-7.1



1
A-8.2
CLEARANCE BAR
SCALE: 1/2" = 1'-0"

CLEARANCE BAR
 AMOUNT: REFER TO CIVIL
 FINISH: POWDER COAT SATIN BLACK BY MANUFACTURER
 MOUNTED TO POLE FOUNDATION
 PROTECTIVE STEEL BOLLARD LOCATED ON APPROACH-SIDE
 SEE MANUFACTURER DOCUMENTATION FOR INSTALLATION INSTRUCTIONS
 CUSTOM DESIGN
 MANUFACTURER: UNI-STRUCTURES INC.



2
A-8.2
MENU SCREENS
SCALE: 1/2" = 1'-0"

MENU SCREEN (NOTE: ORDER IS PLACED IN-PERSON AT DRIVE-UP WINDOW)
 AMOUNT: REFER TO CIVIL
 FINISH: POWDER COAT SATIN BLACK, BY MANUFACTURER
 MOUNTED TO POLE FOUNDATION
 PROTECTIVE STEEL BOLLARD LOCATED ON APPROACH-SIDE
 CONDUIT FOR ELECTRIC AND DATA FEED FOR DIGITAL MENU SCREENS
 SEE MANUFACTURER DOCUMENTATION FOR INSTALLATION INSTRUCTIONS
 CUSTOM DESIGN
 MANUFACTURER: UNI-STRUCTURES INC.

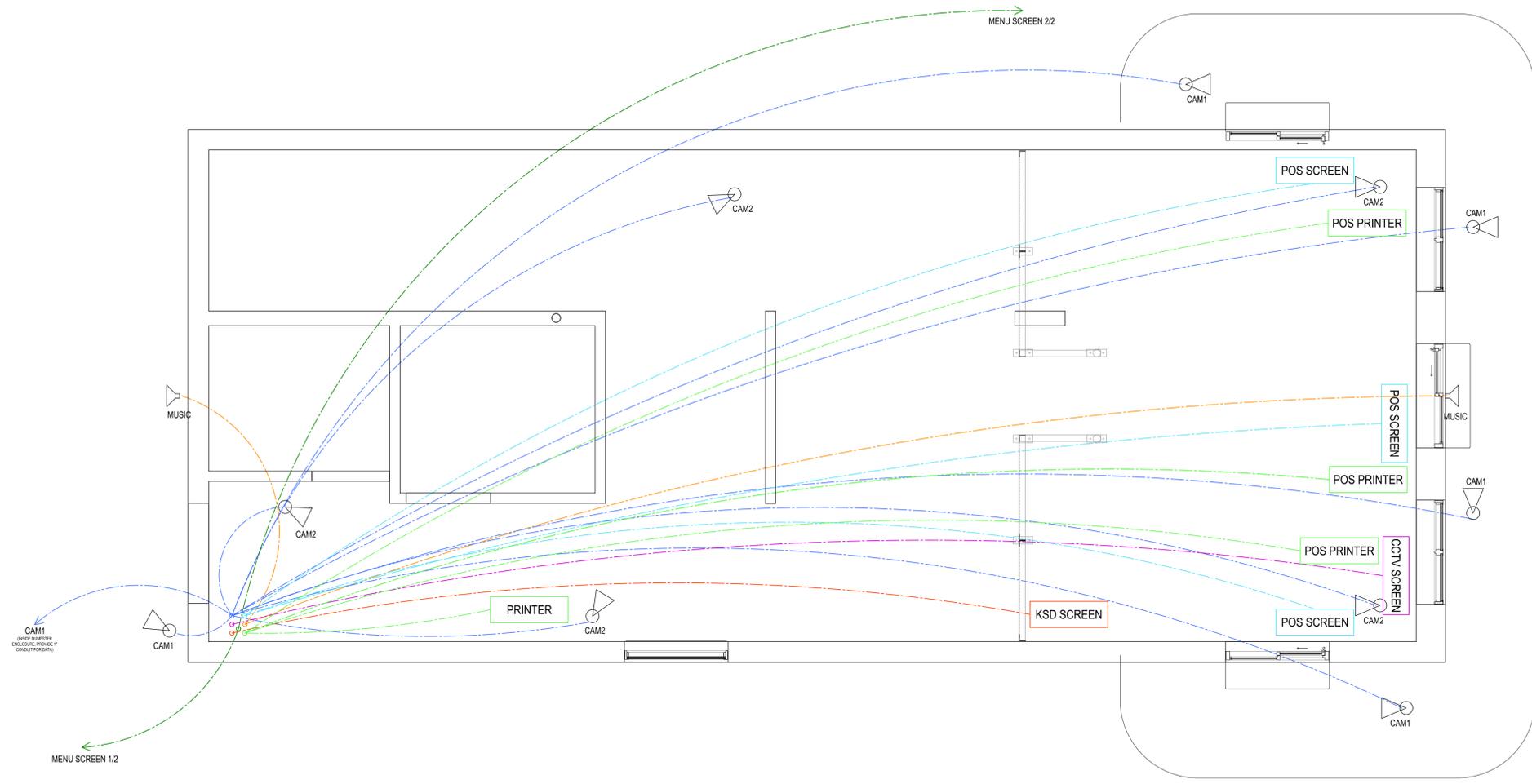
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Sheet Content: CLEARANCE BAR & MENU SCREENS
Sheet No. A-8.1



1 LOW VOLTAGE PLAN
SCALE: 3/8" = 1'-0"



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Sheet Content: LOW VOLTAGE PLAN
Sheet No. E-4.1