

CVR	COVER
C0.0	EXISTING CONDITIONS PLAN NORTH
C0.1	EXISTING CONDITIONS PLAN SOUTH
C1.0	SITE PLAN
C1.1	PHASING PLAN
C2.0	GRADING PLAN NORTH
C2.1	GRADING PLAN SOUTH
C3.0	UTILITY PLAN NORTH
C3.1	UTILITY PLAN SOUTH
L1.0	OVERALL SITE - LANDSCAPE PLAN
L1.1	VILLA - LANDSCAPE PLAN
A1	EXTERIOR ELEVATIONS
A2	EXTERIOR ELEVATIONS
A3	COLORLED ELEVATIONS/RENDERINGS
E1	SITE LIGHTING

# JOHN KNOX VILLAGE HYBRID VILLA

New Villa Building

LEE'S SUMMIT, MO

## PRELIMINARY DEVELOPMENT PERMIT SET

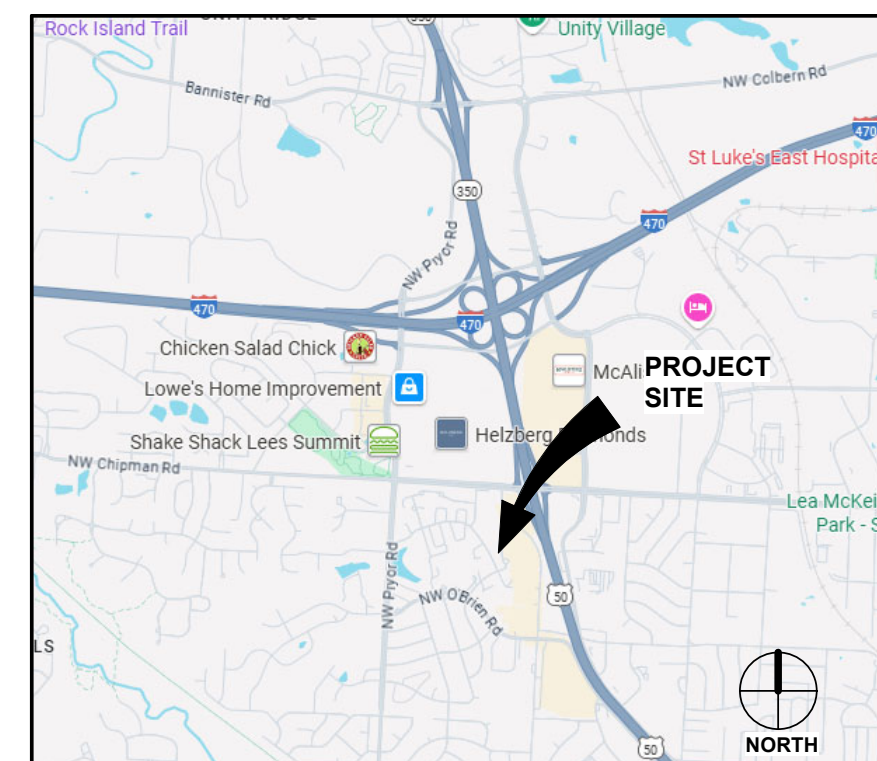
**DATE: DECEMBER 23, 2025**

**REVISED 1/23/26**

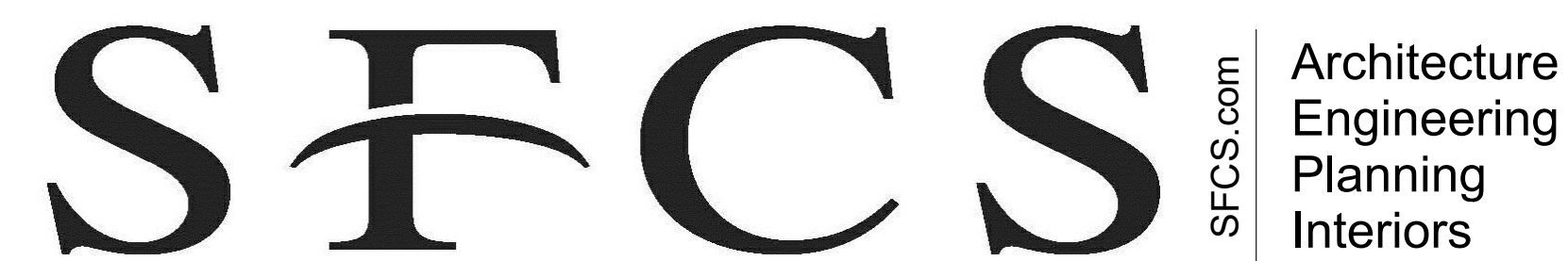
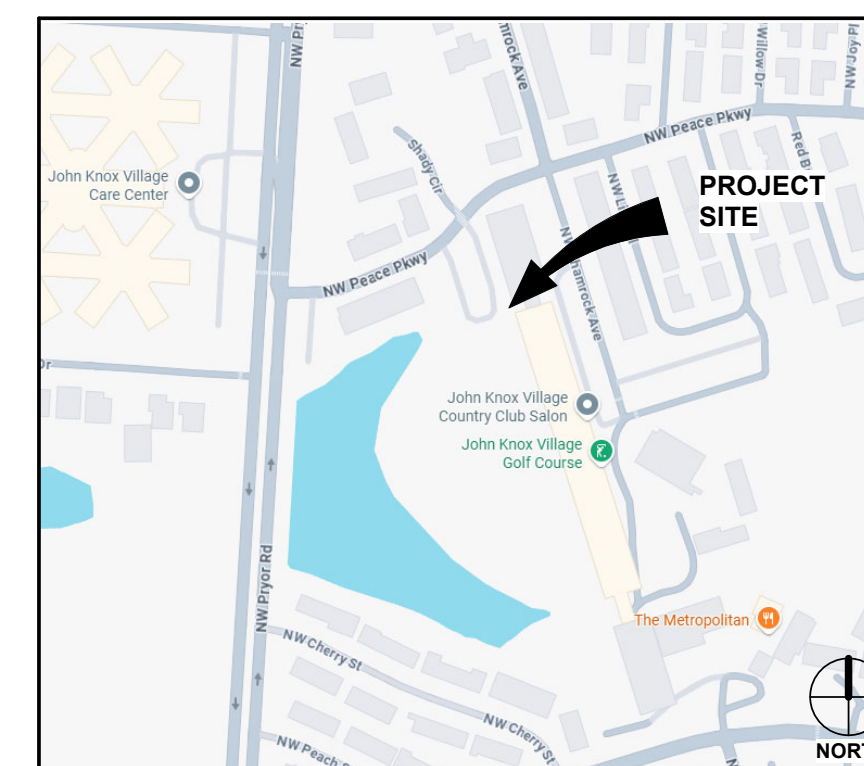
**COMM. NO. 25110.00**

**\*NOT FOR CONSTRUCTION\***

VICINITY MAP



LOCATION MAP



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305 SOUTH JEFFERSON STREET  
ROANOKE, VA 24011-2003  
800.873.2788

**CHARLOTTE OFFICE**  
1927 SOUTH TRYON STREET, SUITE 207  
CHARLOTTE, NC 28203  
704.372.7327

**PHILADELPHIA OFFICE**  
1777 SENTRY PARKWAY WEST  
VEVA 17, SUITE 220  
BLUE BELL, PA 19422  
610.825.1288

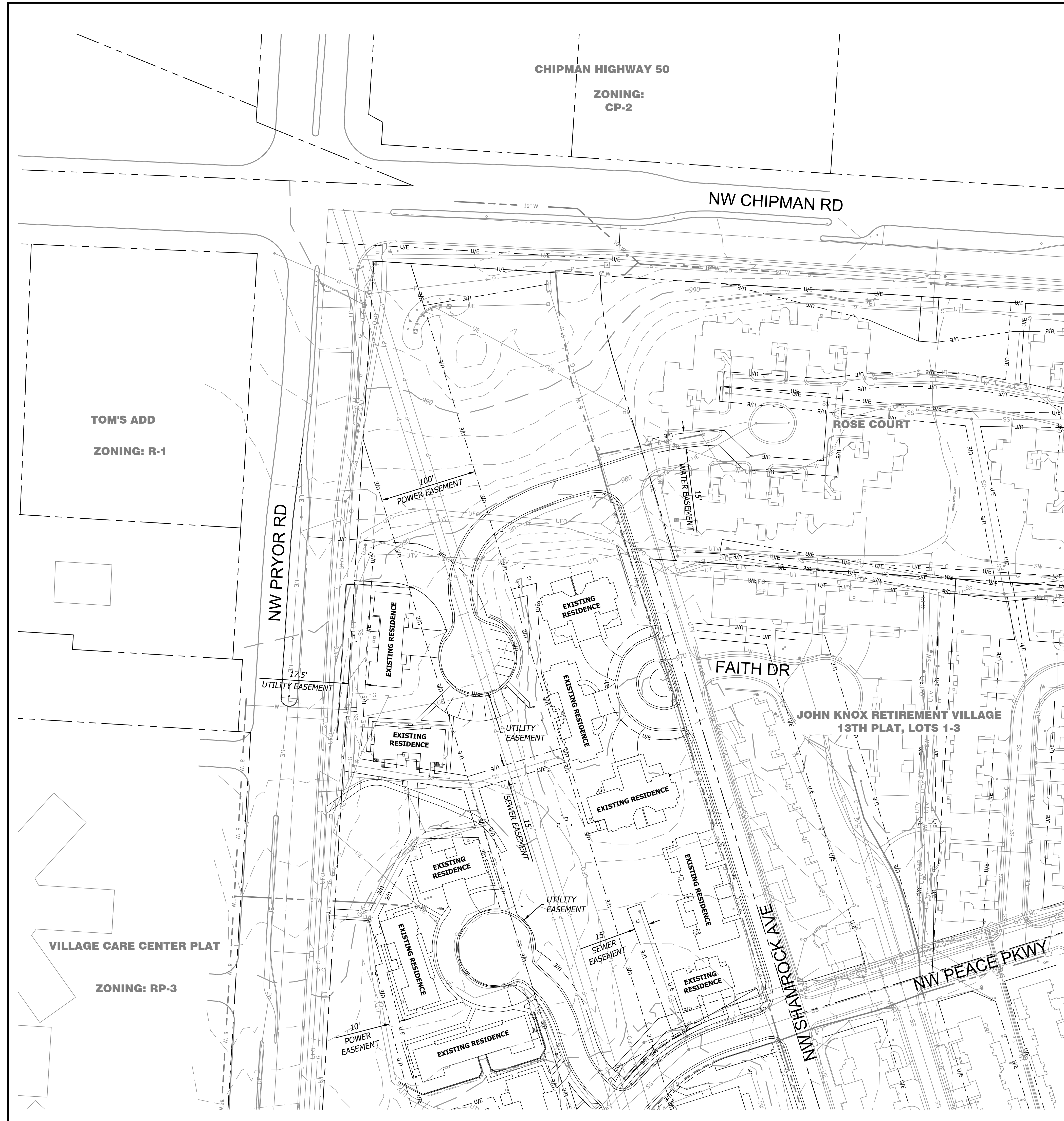
**LOUISVILLE OFFICE**  
2115 LEXINGTON ROAD, SUITE 100  
LOUISVILLE, KY 40206  
502.414.4545

### GREYSTONE COMMUNITIES

DEVELOPER  
225 E. John Carpenter Freeway, Suite 700  
Irving, TX 75062  
Phone 972.403.3700  
www.greystonecommunities.com

### BHC RHODES

CIVIL ENGINEERING  
7101 College Blvd, Suite 400  
Overland Park, KS66210  
Phone: 913.663.1900  
www.ibhc.com



**CHIPMAN HIGHWAY 50**  
**ZONING:**  
**CP-2**

**TOM'S ADD**  
**ZONING: R-1**

**ROSE COURT**

**FAITH DR**

**JOHN KNOX RETIREMENT VILLAGE**  
**13TH PLAT, LOTS 1-3**

**NW SHAWROCK AVE**

**NW PEACE PKWY**

**VILLAGE CARE CENTER PLAT**  
**ZONING: RP-3**

**FLOOD STATEMENT**

The subject property lies within Flood Zone " X " (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain.), as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).  
 Map Number: 29095C0416G  
 Panel No: 416 of 625  
 Map Revised Date: January 20, 2017  
**NOTE:** This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

**OIL-GAS WELLS**

ACCORDING TO THE DNR OIL AND GAS LOGS FOR THE COUNTY OF JACKSON,  
 THERE ARE NOT OIL AND GAS WELLS NEAR THE PROPERTY AS SURVEYED HEREON.



**PRELIMINARY DEVELOPMENT PLAN**  
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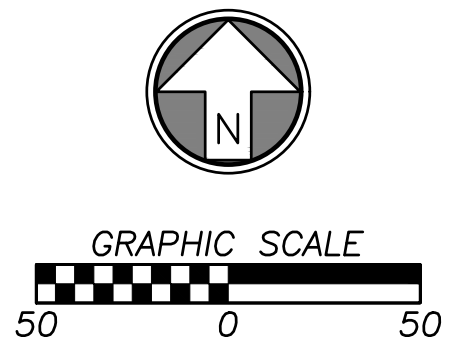
HYBRID VILLA APARTMENTS

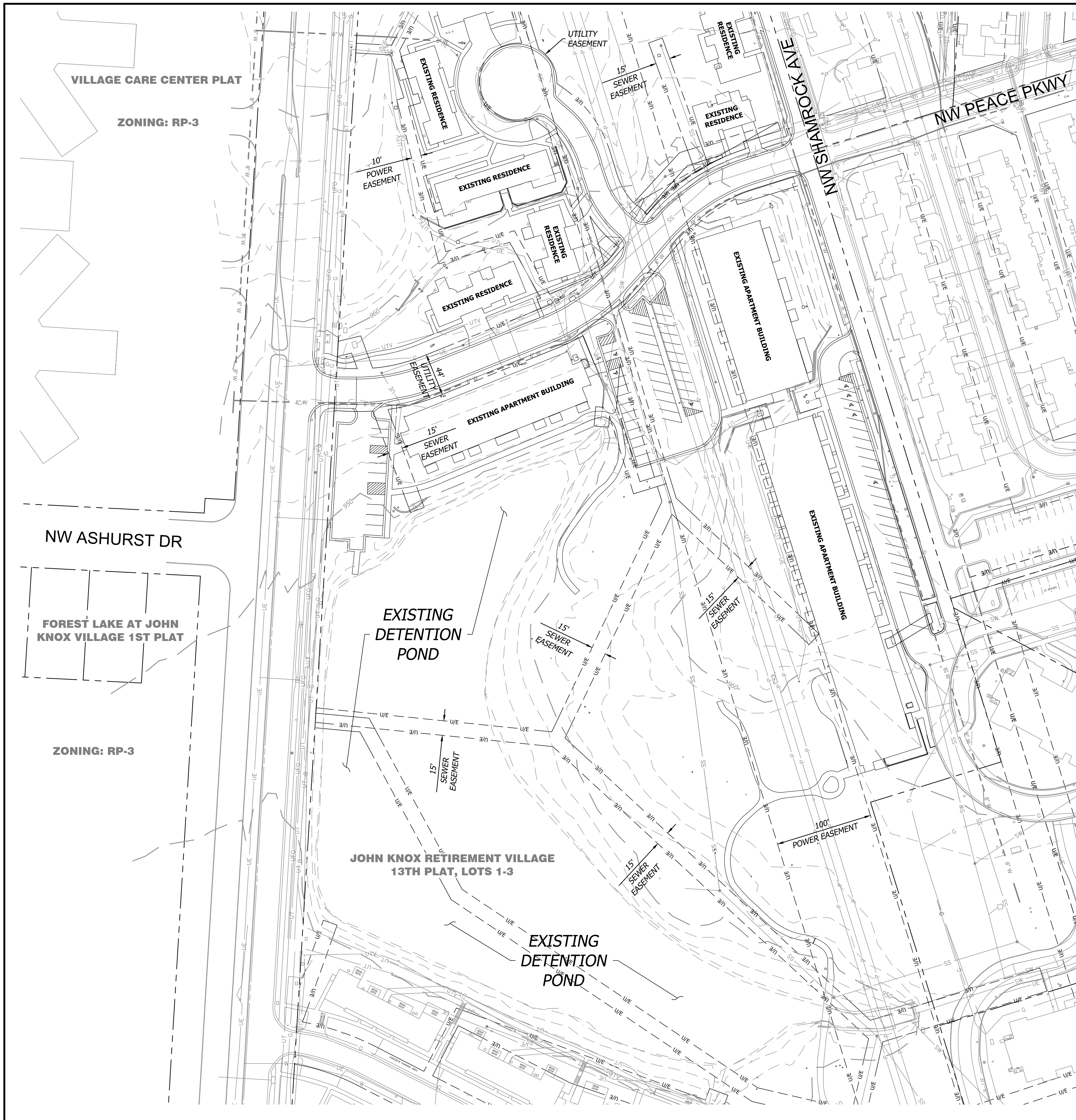
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ARCHITECT : DAS	CHECKED : ERB	
ENGINEER : ERB	APPROVED : ERB	
NO.	REVISION DESCRIPTION	DATE
1	CITY COMMENTS	1/23/2026

DRAWING TITLE  
**EXISTING CONDITIONS PLAN NORTH**

DATE: December 23, 2025 DRAWING  
 COMM. NO. 25110.00 **C0.0**





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**PRELIMINARY DEVELOPMENT PLAN**

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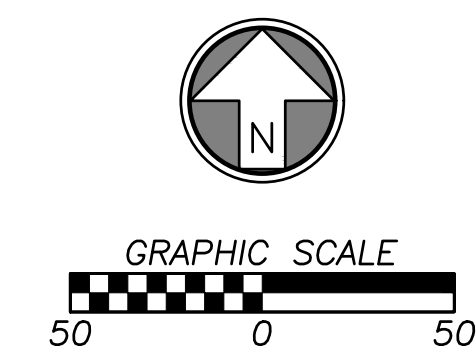
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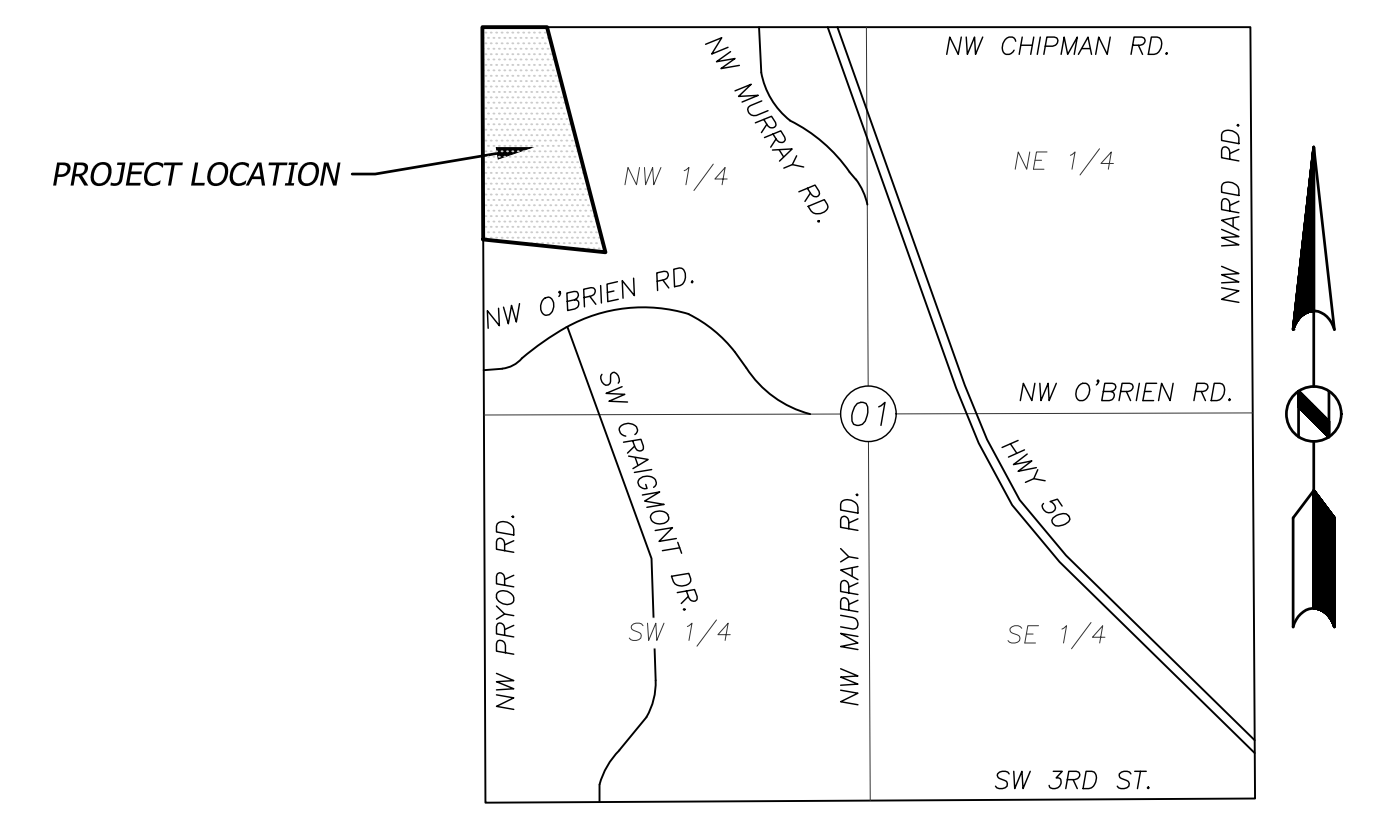
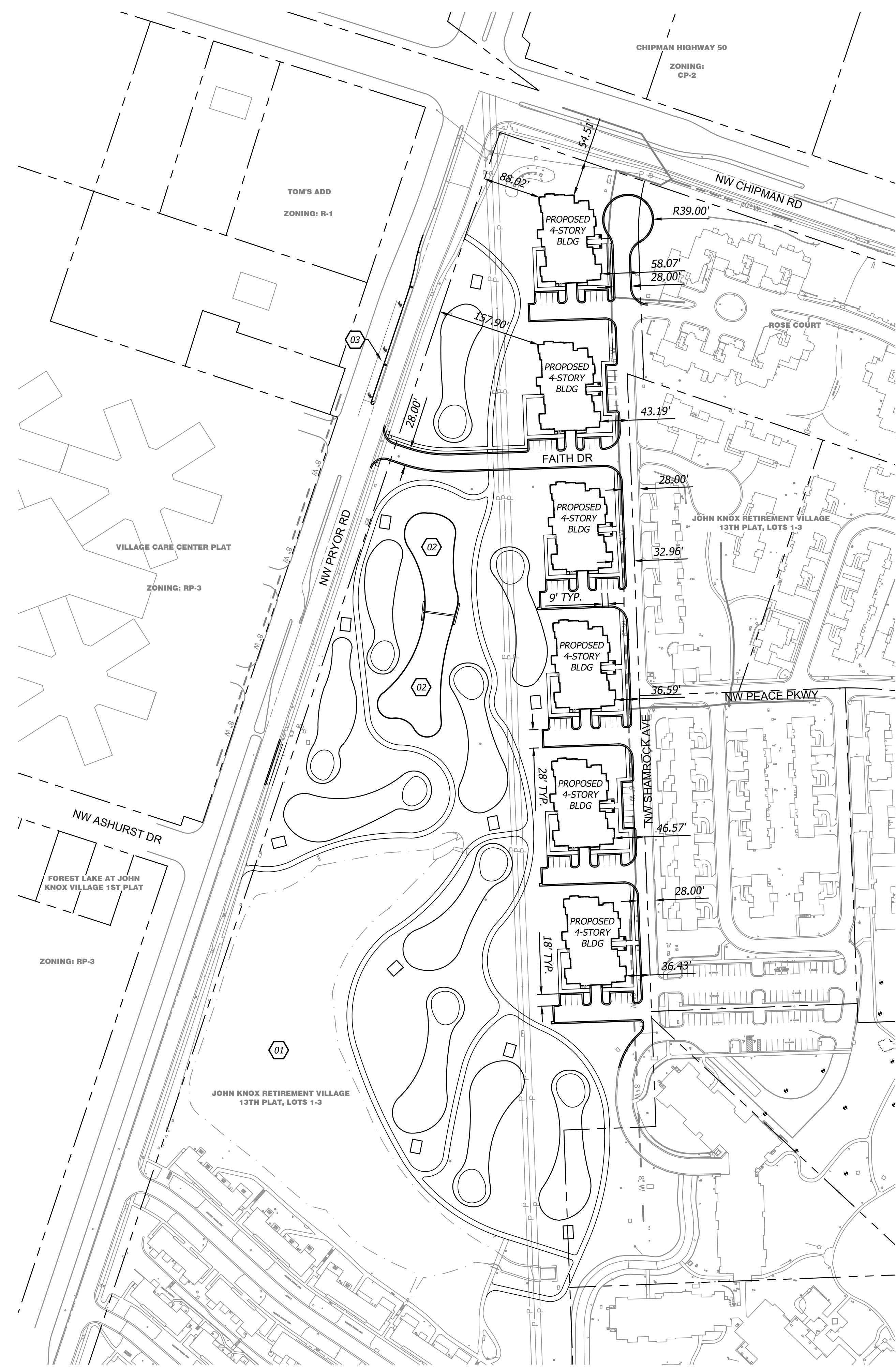
**EXISTING CONDITIONS PLAN SOUTH**

DATE: December 23, 2025 DRAWING

COMM. NO. 25110.00

**C0.1**





**VICINITY MAP**

NTS  
SECTION 01-T47N-R32W  
JACKSON COUNTY, MISSOURI

**SITE DATA**

<b>SITE</b>	
SITE AREA:	15.00 AC 653,400 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	218,580 SF (33.5%)
PROPOSED:	199,745 SF (30.6%)
<b>BUILDING</b>	
TOTAL BUILDING AREA:	249,600 SF (38.2% FAR)
SINGLE BUILDING AREA:	41,600 SF (6.4%)
NUMBER OF DWELLING UNITS:	90
DWELLING UNITS PER ACRES:	6
<b>PARKING</b>	
PARKING PROVIDED:	148 STANDARD 6 HANDICAP (6 VAN)
<b>PARKING REQUIRED:</b>	
HYBRID VILLA (6 BUILDINGS WITH 15 TWO-BED UNITS EACH): (1.5 STALLS/UNIT)	135
ADA STALLS: (BASED ON 154 PROVIDED PARKING)	6

**OIL-GAS WELLS**

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**LEGAL DESCRIPTION**

JOHN KNOX RETIREMENT VILLAGE 13TH PLAT LOTS 1-3, LOT 3  
AND  
A TRACT OF LAND BEING PART OF THE NW 1/4 OF SECTION 1, TOWNSHIP 47, RANGE 32, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF LOT 3, JOHN KNOX RETIREMENT VILLAGE 13TH PLAT LOTS 1-3, THENCE N 03° 27' 51" E, 286.93 FEET;  
THENCE S 86° 19' 31" E, 182.98 FEET, TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 381.30 FEET;  
THENCE SOUTHEASTERLY ALONG SAID CURVE TO THE RIGHT, AN ARC LENGTH OF 109.71 FEET, SAID CURVE HAVING A CHORD BEARING S 08° 56' 25" E, AND A CHORD DISTANCE OF 109.33 FEET;  
THENCE S 17° 10' 58" E, 193.09 FEET;  
THENCE N 86° 17' 02" W, 274.55 FEET TO THE POINT OF BEGINNING.

**ZONING**

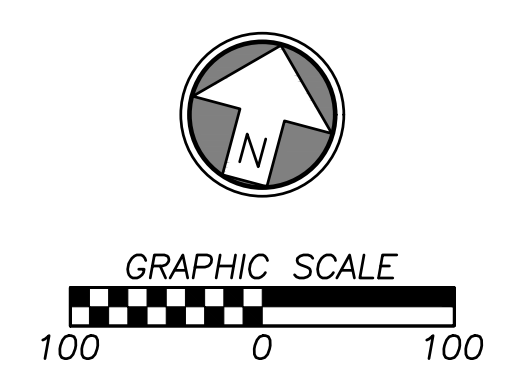
PMIX (PLANNED MIXED USE)

**NOTES**

- 01 EXISTING POND
- 02 PROPOSED POND
- 03 PROPOSED LEFT TURN LANE

**SITE LEGEND**

- PROPOSED BUILDING
- EXISTING BUILDING
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK



**PRELIMINARY DEVELOPMENT PLAN**

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**HYBRID VILLA APARTMENTS**

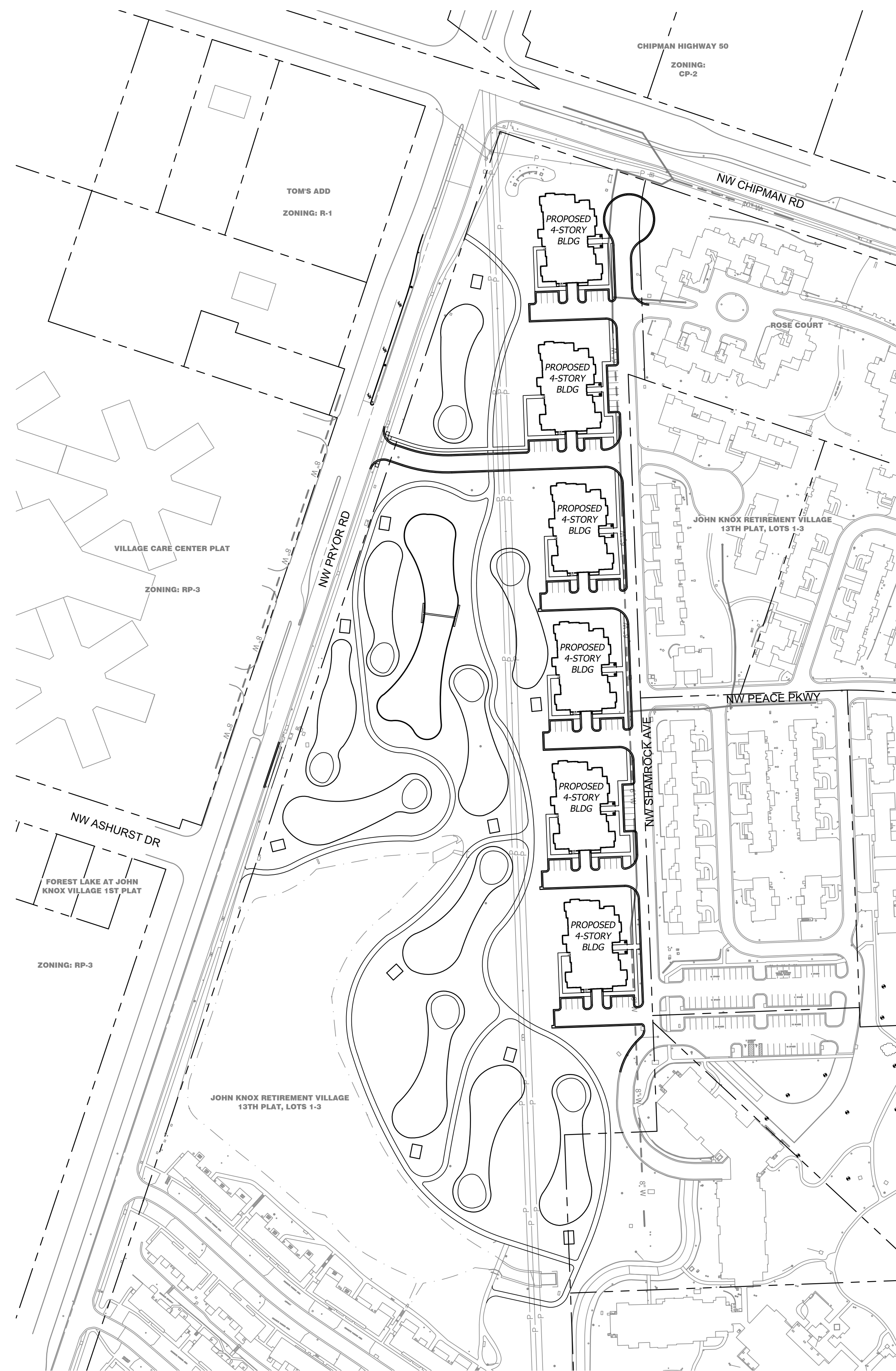
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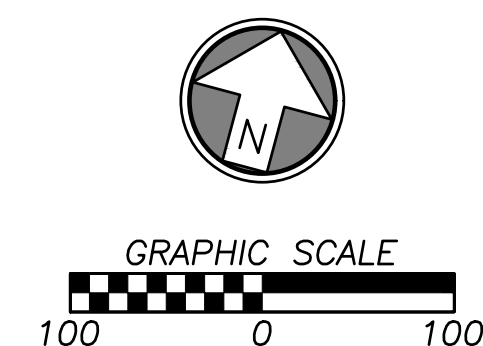
**SITE PLAN**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>C1.0</b>



**PHASING LEGEND**

- PHASE 1
- PHASE 2
- PHASE 3



**PRELIMINARY  
DEVELOPMENT  
PLAN**

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**John Knox Village**

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**PHASING PLAN**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>C1.1</b>



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Map Number: 29095C0416G

Panel No: 416 of 625

Map Revised Date: January 20, 2017

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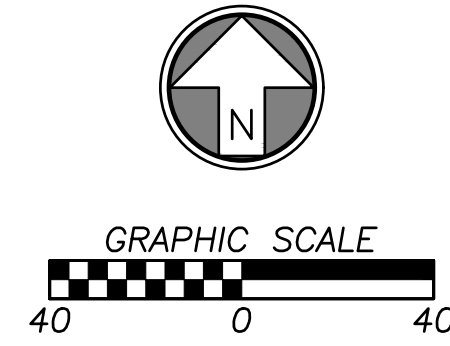
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**GRADING PLAN NORTH**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>C2.0</b>

**GRADING LEGEND**

- 980 — FINISH GRADE MAJOR CONTOURS
- 982 — FINISH GRADE MINOR CONTOURS
- - 980 - - EXISTING GRADE MAJOR CONTOURS
- - 982 - - EXISTING GRADE MINOR CONTOURS





**FLOOD STATEMENT**

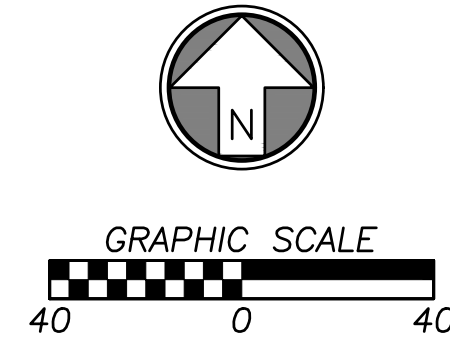
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 Panel No: 416 of 625  
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**GRADING LEGEND**

— 980 —	FINISH GRADE MAJOR CONTOURS
- - - 982 - - -	FINISH GRADE MINOR CONTOURS
— 960 —	EXISTING GRADE MAJOR CONTOURS
- - - 950 - - -	EXISTING GRADE MINOR CONTOURS



**PRELIMINARY DEVELOPMENT PLAN**  
 NOT FOR CONSTRUCTION



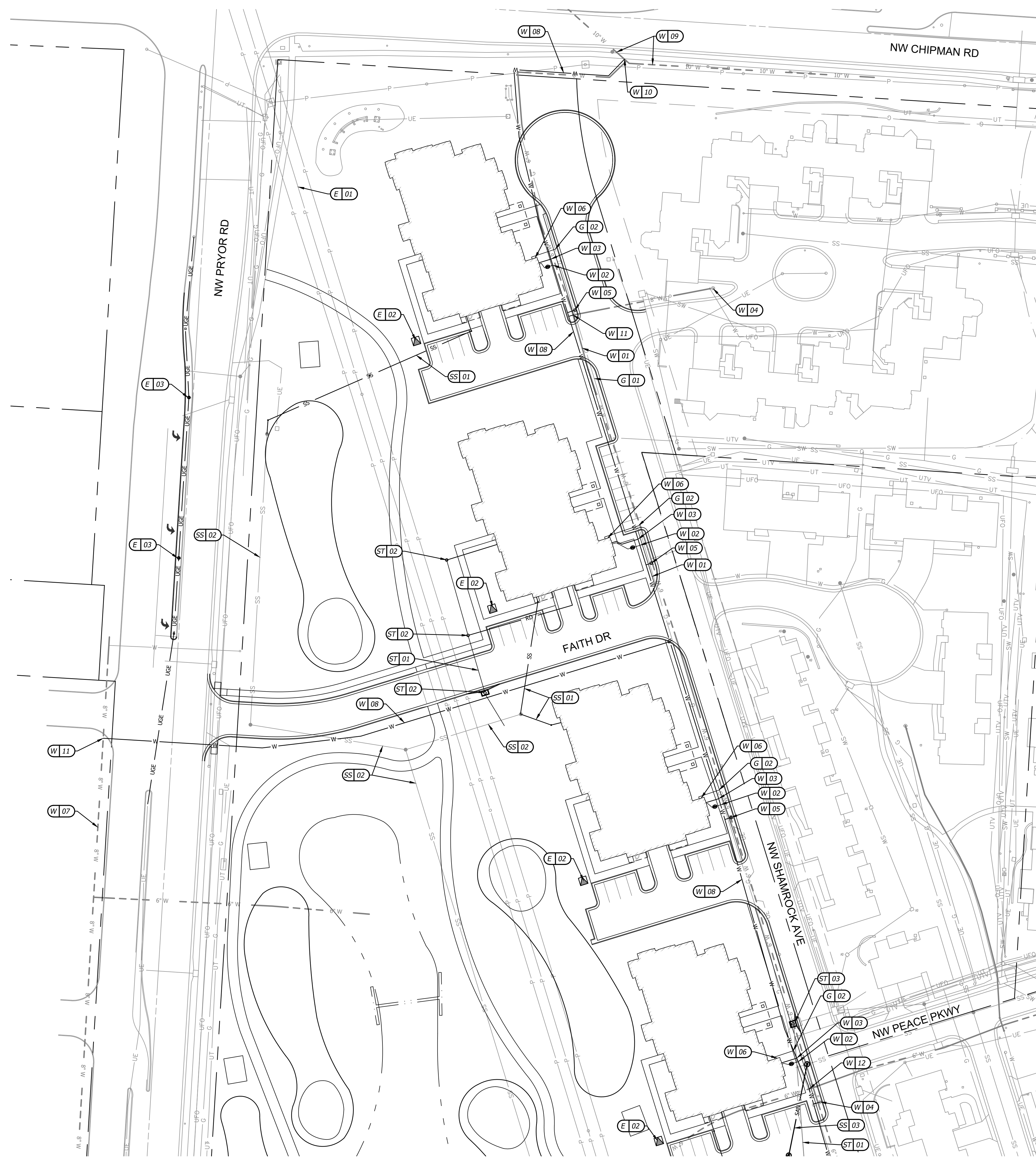
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DRAWING TITLE  
**GRADING PLAN SOUTH**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>C2.1</b>



**(X) 00 UTILITY NOTES**

- W - WATER SERVICE INFORMATION - LEE'S SUMMIT WATER UTILITIES**
- 01 EXISTING 6" WATER MAIN TO BE ABANDONED
  - 02 PROPOSED WATER SERVICE LINE WITH METER
  - 03 PROPOSED FIRE SERVICE LINE
  - 04 EXISTING FIRE HYDRANT
  - 05 PROPOSED FIRE HYDRANT
  - 06 PROPOSED FIRE DEPARTMENT CONNECTION
  - 07 EXISTING 8" WATER MAIN
  - 08 PROPOSED 8" WATER MAIN
  - 09 EXISTING 10" WATER MAIN
  - 10 CONNECT 8" MAIN TO 10" MAIN
  - 11 CONNECT 8" MAIN TO 8" MAIN
  - 12 CONNECT 8" MAIN TO 6" MAIN
  - 13 EXISTING 6" MAIN TO BE ABANDONED AT TEE

- E - ELECTRIC SERVICE INFORMATION - EVERGY**
- 01 EXISTING OVERHEAD DISTRIBUTION POWER LINES
  - 02 PROPOSED TRANSFORMER PAD
  - 03 RELOCATED STREET LIGHT POLE

- G - GAS SERVICE INFORMATION - SPIRE**
- 01 EXISTING GAS MAIN
  - 02 PROPOSED GAS SERVICE LINE

- ST - STORM SEWER INFORMATION - LEE'S SUMMIT PUBLIC WORKS**
- 01 PROPOSED STORM SEWER LINE
  - 02 PROPOSED STORM STRUCTURE
  - 03 RELOCATED STORM INLET

- SS - SANITARY SEWER INFORMATION - LEE'S SUMMIT PUBLIC WORKS**
- 01 PROPOSED SANITARY SEWER SERVICE LINE
  - 02 EXISTING SANITARY MAIN
  - 03 PROPOSED RELOCATED SANITARY MAIN



**PRELIMINARY DEVELOPMENT PLAN**  
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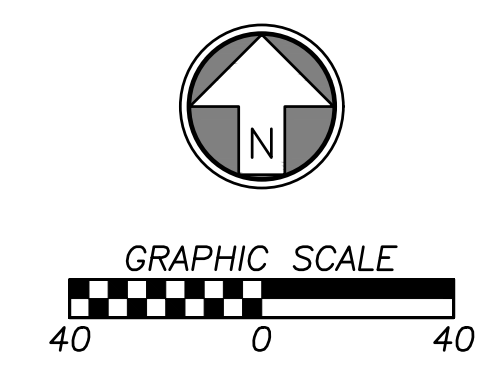
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DRAWING TITLE  
**UTILITY PLAN NORTH**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>C3.0</b>





**(X) 00 UTILITY NOTES**

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  - 02 PROPOSED TRANSFORMER PAD
  - 03 RELOCATED STREET LIGHT POLE

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  - 02 PROPOSED GAS SERVICE LINE

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- 01 PROPOSED STORM SEWER LINE
  - 02 PROPOSED STORM STRUCTURE
  - 03 RELOCATED STORM INLET

- SS - SANITARY SEWER INFORMATION - LEE'S SUMMIT PUBLIC WORKS**
- 01 PROPOSED SANITARY SEWER SERVICE LINE
  - 02 EXISTING SANITARY MAIN
  - 03 PROPOSED RELOCATED SANITARY MAIN



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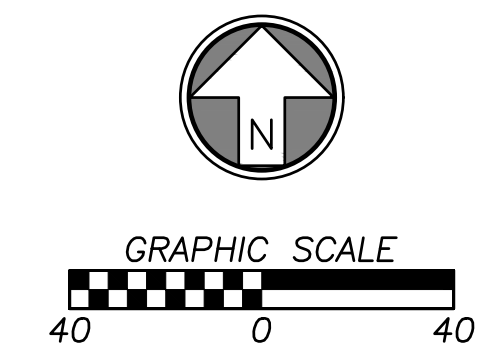


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**UTILITY PLAN SOUTH**

DATE: December 23, 2025  
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DRAWING **C3.1**





**SITE DATA**

Overall Site	Quantity	Required	Provided
<b>Street Frontage</b>			
<i>NW Chipman Rd (LF) to the North</i>	200.0		
1 tree / 30 LF of street frontage		6.7	7
1 shrub / 20 LF of street frontage		10.0	10
<i>NW Pryor Rd (LF) to the West</i>	1,100.0		
1 tree / 30 LF of street frontage		36.7	37
1 shrub / 20 LF of street frontage		55.0	60
<b>Open Space</b>			
Total Recreational Space	340,430.0		
20' Landscape Buffer		Yes	Yes

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	CAL
<b>TREES</b>				
	12	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	B & B	2" Cal
	21	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" cal
	23	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	2	Quercus rubra / Red Oak	B & B	3" Cal
<b>ORNAMENTAL TREES</b>				
	12	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	11	Cercis canadensis / Eastern Redbud FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	24	Magnolia x 'Jane' / Jane Magnolia	B & B	2" Cal
	12	Malus x 'Prairifire' / Prairifire Crab Apple FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	18	Malus x 'Velvetcole' / Velvet Pillar™ Crabapple	B & B	2" Cal
<b>SYMBOL</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT.</b>	<b>HEIGHT</b>
<b>SHRUBS</b>				
	16	Hydrangea paniculata 'ILVOBO'™ / Bobo Panicle Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
	19	Hydrangea serrata 'Bluebird' / Bluebird Serrate Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
<b>EVERGREEN SHRUBS</b>				
	171	Buxus x 'Green Gem' / Green Gem Boxwood	5 gal	
<b>SYMBOL</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT.</b>	
<b>GROUND COVERS</b>				
	54,659 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue Sod: 90% 3-species Turf-Type Fescue Blend (Covenant II, Avenger, Garrison), 10% Bluegrass. PLACE ALUMINUM LANDSCAPE EDGING, OR APPROVED EQUAL, WHERE PLANTING BEDS ADJOIN TURF AREAS, SEE DETAIL 805, SHEET L2.0	sod	



**PRELIMINARY DEVELOPMENT PLAN**

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John Knox Village

**HYBRID VILLA APARTMENTS**



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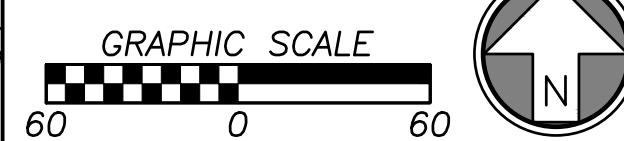
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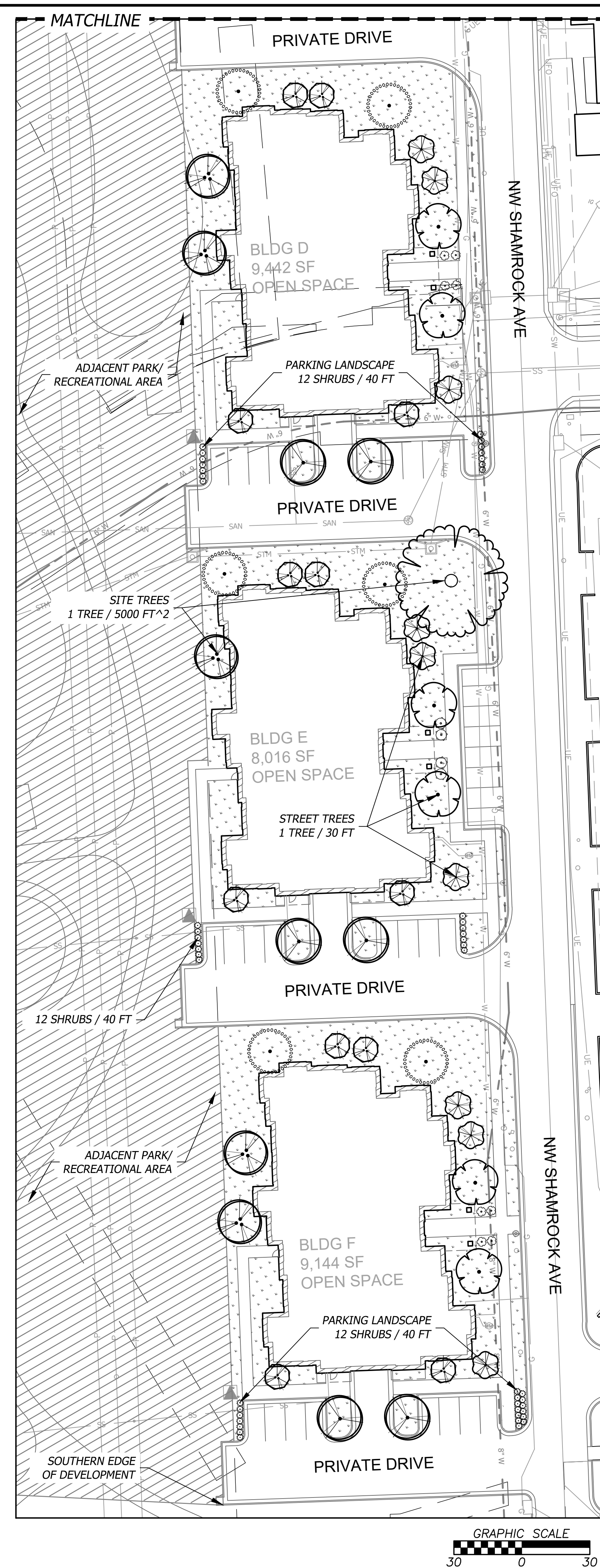
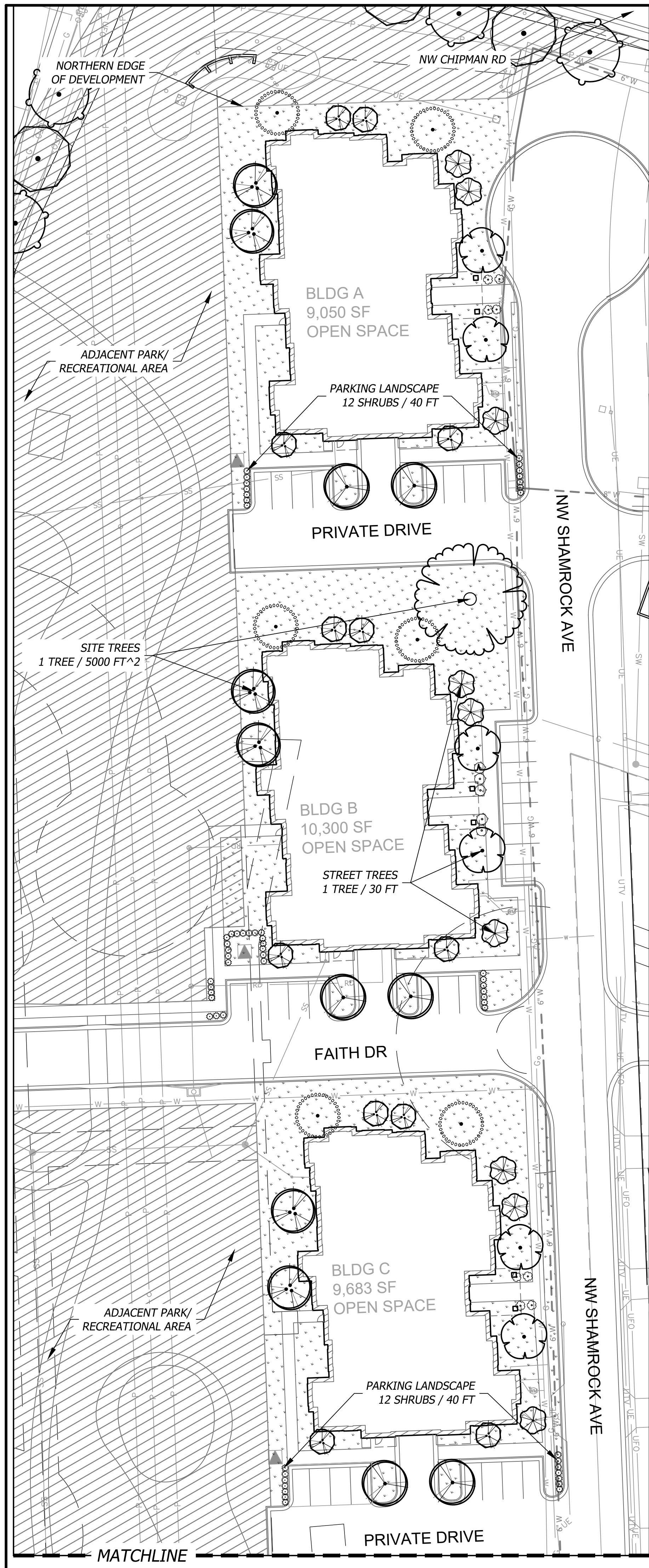
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1	CITY COMMENTS	1/23/2026

DRAWING TITLE

**OVERALL SITE - LANDSCAPE PLAN**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>L1.0</b>





**SITE DATA**

BLDG A	Quantity	Required	Provided	BLDG D	Quantity	Required	Provided
Site Area	19,981.0			Site Area	20,873.0		
Building Footprint	10,931.0			Building Footprint	10,931.0		
Open Yard Areas				Open Yard Areas			
1 tree / 5,000 SF	9,050.0	1.81	2.0	1 tree / 5,000 SF	9,942.0	1.99	2.0
2 shrubs / 5,000 SF	9,050.0	3.62	4.0	2 shrubs / 5,000 SF	9,942.0	3.98	4.0
Street Frontage				Street Frontage			
NW Chipman Rd (LF) to the North	120.0			Private Drive (LF) to the North	118.0		
1 tree / 30 LF of street frontage		4.0	4	1 tree / 30 LF of street frontage		3.9	4
NW Shamrock Ave (LF) to the East	148.0			NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5	1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	118.0			Private Drive (LF) to the South	120.0		
1 tree / 30 LF of street frontage		3.9	4	1 tree / 30 LF of street frontage		4.0	4
Parking Landscape				Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364	total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes	islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14	12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG B	Quantity	Required	Provided	BLDG E	Quantity	Required	Provided
Site Area	21,231.0			Site Area	18,947.0		
Building Footprint	10,931.0			Building Footprint	10,931.0		
Open Yard Areas				Open Yard Areas			
1 tree / 5,000 SF	10,300.0	2.06	3.0	1 tree / 5,000 SF	8,016.0	1.60	2.0
2 shrubs / 5,000 SF	10,300.0	4.12	5.0	2 shrubs / 5,000 SF	8,016.0	3.21	4.0
Street Frontage				Street Frontage			
Private Drive (LF) to the North	118.0			Private Drive (LF) to the North	120.0		
1 tree / 30 LF of street frontage		3.9	4	1 tree / 30 LF of street frontage		4.0	4
NW Shamrock Ave (LF) to the East	148.0			NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5	1 tree / 30 LF of street frontage		4.9	5
NW Peace Pkwy (LF) to the South	120.0			Private Drive (LF) to the South	118.0		
1 tree / 30 LF of street frontage		4.0	4	1 tree / 30 LF of street frontage		3.9	4
Parking Landscape				Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364	total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes	islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14	12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG C	Quantity	Required	Provided	BLDG F	Quantity	Required	Provided
Site Area	20,614.0			Site Area	20,075.0		
Building Footprint	10,931.0			Building Footprint	10,931.0		
Open Yard Areas				Open Yard Areas			
1 tree / 5,000 SF	9,683.0	1.94	2.0	1 tree / 5,000 SF	9,144.0	1.83	2.0
2 shrubs / 5,000 SF	9,683.0	3.87	4.0	2 shrubs / 5,000 SF	9,144.0	3.66	4.0
Street Frontage				Street Frontage			
NW Peace Pkwy (LF) to the North	120.0			Private Drive (LF) to the North	118.0		
1 tree / 30 LF of street frontage		4.0	4	1 tree / 30 LF of street frontage		3.9	4
NW Shamrock Ave (LF) to the East	148.0			NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5	1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	118.0			Private Drive (LF) to the South	115.0		
1 tree / 30 LF of street frontage		3.9	4	1 tree / 30 LF of street frontage		3.8	4
Parking Landscape				Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364	total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes	islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14	12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
<b>TREES</b>				
	12	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	B & B	2" Cal
	21	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" cal
	23	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	2	Quercus rubra / Red Oak	B & B	3" Cal
<b>ORNAMENTAL TREES</b>				
	12	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	11	Cercis canadensis / Eastern Redbud FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	24	Magnolia x 'Jane' / Jane Magnolia	B & B	2" Cal
	12	Malus x 'Prairifire' / Prairifire Crab Apple FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2" Cal
	18	Malus x 'Velvetcole' / Velvet Pillar™ Crabapple	B & B	2" Cal
<b>SYMBOL</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT.</b>	<b>HEIGHT</b>
<b>SHRUBS</b>				
	16	Hydrangea paniculata 'ILVOBO'™ / Bobo Panicle Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
	19	Hydrangea serrata 'Bluebird' / Bluebird Serrate Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
<b>EVERGREEN SHRUBS</b>				
	171	Buxus x 'Green Gem' / Green Gem Boxwood	5 gal	
<b>SYMBOL</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT</b>	
<b>GROUND COVERS</b>				
	54,659 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue Sod: 90% 3-species Turf-Type Fescue Blend (Covenant II, Avenger, Garrison), 10% Bluegrass. PLACE ALUMINUM LANDSCAPE EDGING, OR APPROVED EQUAL, WHERE PLANTING BEDS ADJOIN TURF AREAS, SEE DETAIL 805, SHEET L2.0	sod	



**PRELIMINARY DEVELOPMENT PLAN**  
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ARCHITECT : DAS	CHECKED : ERB	
ENGINEER : ERB	APPROVED : ERB	
NO.	REVISION DESCRIPTION	DATE
1	CITY COMMENTS	1/23/2026

DRAWING TITLE  
**VILLA - LANDSCAPE PLAN**

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>L1.1</b>





3 NORTH ELEVATION - PDP  
1/8" = 1'-0"



1 WEST ELEVATION - PDP  
1/8" = 1'-0"

STONE VENEER, SYNTHETIC - CLASS 2  
 CLEAR GLASS - CLASS 1  
 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) - CLASS 3  
 CEMENT FIBER BOARD (SIDING) - CLASS 2  
 CEMENT FIBER BOARD (PANELS) - CLASS 2

TOTAL ELEVATION IS ~ 6674 SF  
 EIFS (CLASS 3) REPRESENTS ~ 1728 SF  
 METAL LOUVERS REPRESENTS ~ 538 SF

EIFS REPRESENTS 28% OF THE PRIMARY ELEVATION W/O COUNTING LOUVERS  
 AND 25% WHEN COUNTING METAL LOUVERS  
 ALL OTHER ELEVATIONS HAVE A SIMILAR % BASIS

ASPHALT SHINGLES (LAMINATE) - CLASS 3

ELEVATION KEYNOTE LEGEND

1	ARCH. SHINGLES
2	F.C. LAP SIDING
3	PREFIN. ALUM. GUTTER
4	F.C. PANEL W/ APPLIED F.C. TRIM
5	CUSTOM DECORATIVE BRACKET
6	SCREENED PORCHED SYSTEM, MATCH EXISTING
7	EIFS
8	F.C. WINDOW TRIM
9	EIFS WINDOW TRIM
10	CAST STONE BANDING
11	CAST STONE HEADER
12	CAST STONE SILL
13	STANDING SEAM ROOF
14	STONE VENEER
15	CAST STONE SILL
16	F.C. FASCIA BOARD
17	F.C. EAVE TRIM
18	EIFS TRIM, RE. WALL SECTIONS
19	SCHED METAL LOUVER
20	F.C. TRIM
21	EIFS REVEAL, TYP.

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ENGINEER : DES	APPROVED : APP	
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DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DATE: December 23, 2025	DRAWING
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4 SOUTH ELEVATION - PDP  
1/8" = 1'-0"



2 EAST ELEVATION - PDP  
1/8" = 1'-0"

STONE VENEER, SYNTHETIC - CLASS 2  
 CLEAR GLASS - CLASS 1  
 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) - CLASS 3  
 CEMENT FIBER BOARD (SIDING) - CLASS 2  
 CEMENT FIBER BOARD (PANELS) - CLASS 2

TOTAL ELEVATION IS ~ 6674 SF  
 EIFS (CLASS 3) REPRESENTS ~ 1728 SF  
 METAL LOUVERS REPRESENTS ~ 538 SF

EIFS REPRESENTS 28% OF THE PRIMARY ELEVATION W/O COUNTING LOUVERS  
 AND 25% WHEN COUNTING METAL LOUVERS  
 ALL OTHER ELEVATIONS HAVE A SIMILAR % BASIS

ASPHALT SHINGLES (LAMINATE) - CLASS 3

ELEVATION KEYNOTE LEGEND

1	ARCH. SHINGLES
2	F.C. LAP SIDING
3	PREFIN. ALUM. GUTTER
4	F.C. PANEL W/ APPLIED F.C. TRIM
5	CUSTOM DECORATIVE BRACKET
6	SCREENED PORCHED SYSTEM, MATCH EXISTING
7	EIFS
8	F.C. WINDOW TRIM
9	EIFS WINDOW TRIM
10	CAST STONE BANDING
11	CAST STONE HEADER
12	CAST STONE SILL
13	STANDING SEAM ROOF
14	STONE VENEER
15	CAST STONE SILL
16	F.C. FASCIA BOARD
17	F.C. EAVE TRIM
18	EIFS TRIM, RE. WALL SECTIONS
19	SCHED METAL LOUVER
20	F.C. TRIM
21	EIFS REVEAL TYP.

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DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DATE:	December 23, 2025	DRAWING
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1 PDP - SOUTHEAST PERSPECTIVE  
A2 N.T.S.



2 PDP - NORTHEAST PERSPECTIVE  
A2 N.T.S.



3 PDP - EAST ELEVATION  
A2 N.T.S.



4 PDP - SOUTH ELEVATION  
A2 N.T.S.

PRELIMINARY  
DEVELOPMENT PLAN  
SET

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HYBRID VILLA APARTMENTS

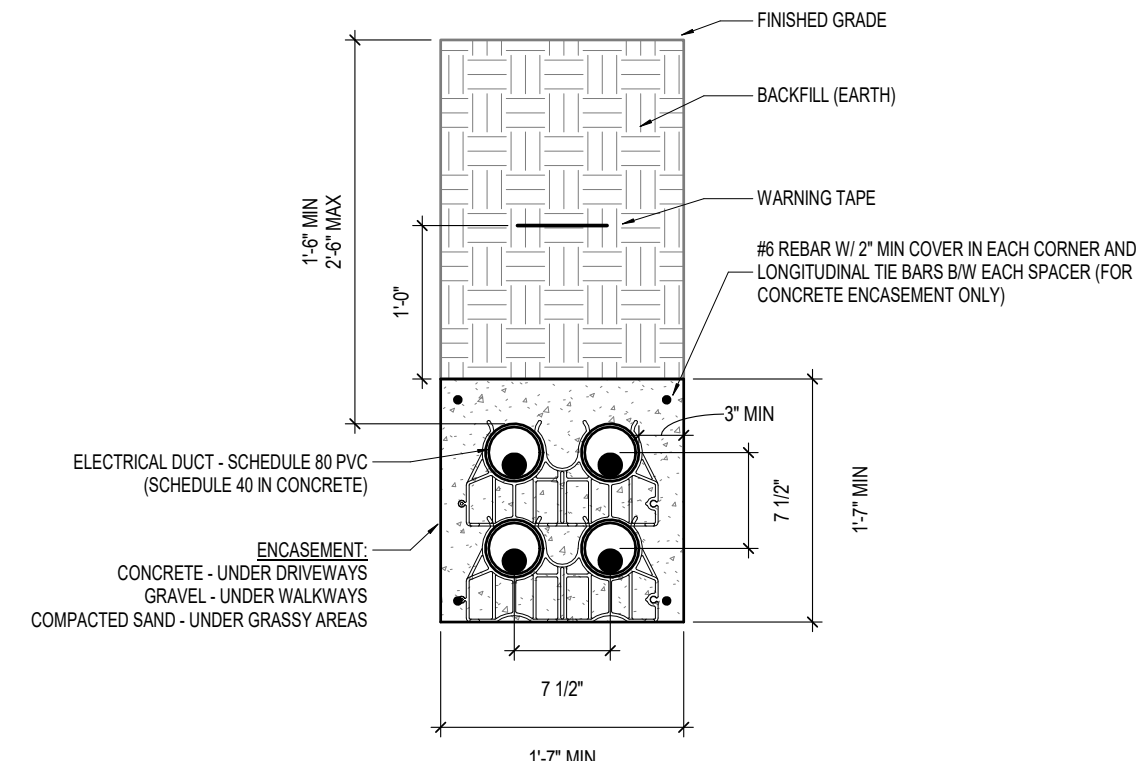
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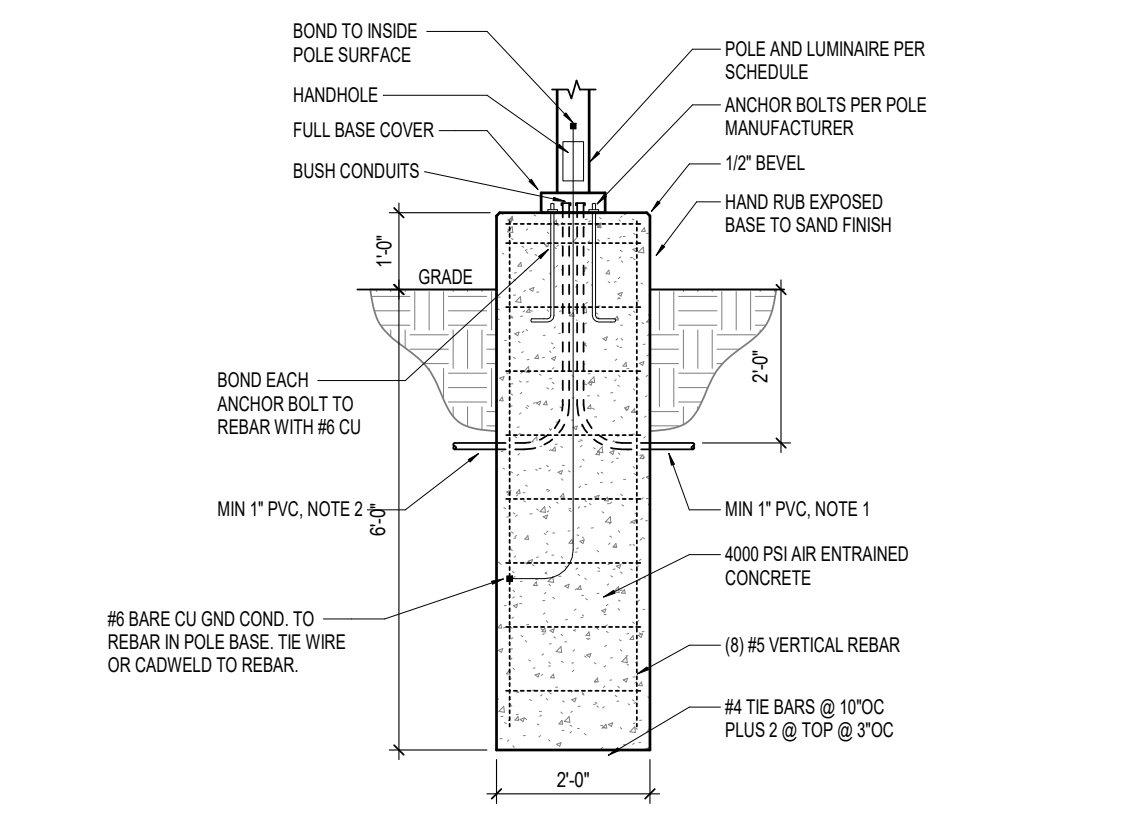
DRAWING TITLE  
COLORED ELEVATIONS  
AND RENDERINGS

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	<b>A2</b>

7	EXTERIOR WALL PACK FOR EGRESS LIGHTING, DUAL POWER FEEDS	CURRENT	QSP2-160L-35-4K7-3-UNV-BLT-2PF
9	POLE MOUNTED DECORATIVE PENDANT STYLE LED LUMINAIRE WITH DECORATIVE ARM AND POLE BASE. 14'-0" POLE ON 2'-0" CONCRETE BASE.	VISIONAIRE LIGHTING (TO MATCH EXISTING) - NO EQUALS	ODN-2-L-T4-80LC-3-4K-UNV-YM-(COLOR TO MATCH)-C6/H1 (FIXTURE), RNTA-5R-18B-16-CB-343-T238R-BK (POLE), DCB-14-5RS-BK (POLE BASE), VA103-L-S1-3-BK (MOUNTING ARM)
11	LED ROUND BOLLARD	HE WILLIAMS	OSA8R L22 840 DT DBZ AB

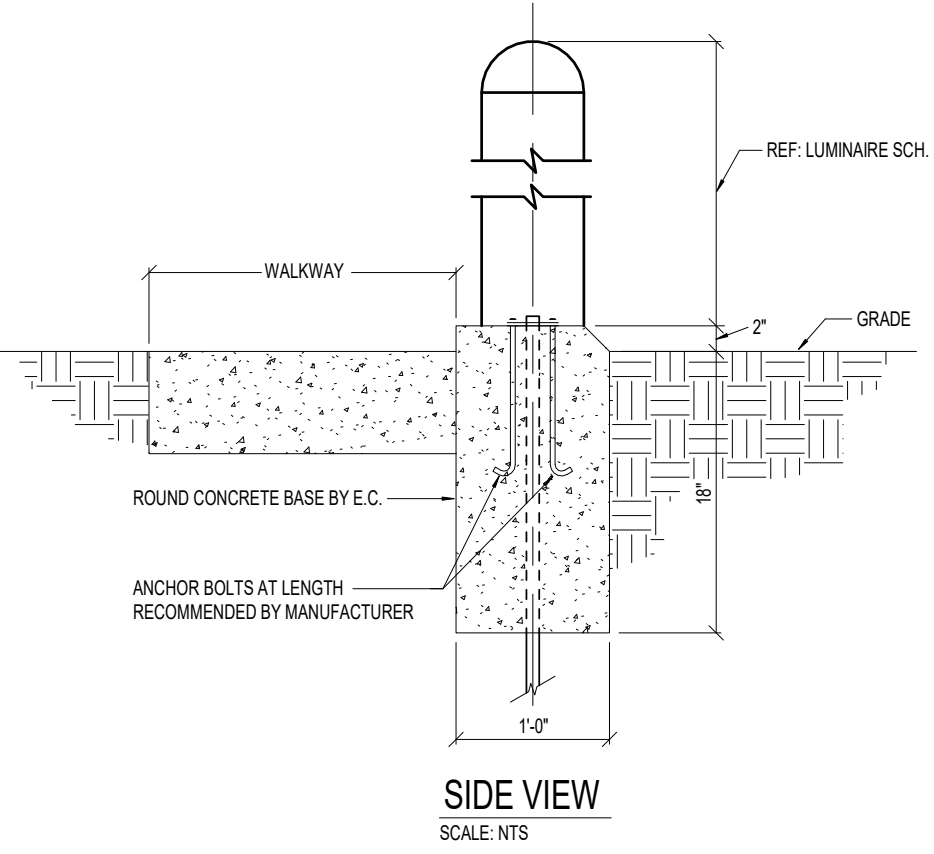
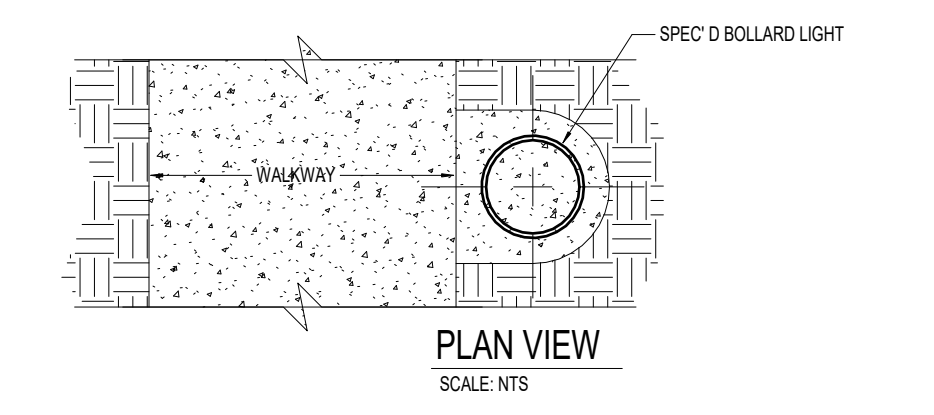


2 DUCT BANK DETAIL 2X2  
E1 N.T.S.



- NOTES (BASE DETAILS):
- STUB OUT CONDUIT 1'-0" BEYOND BASE FOR LAST LIGHTING FIXTURE IN RUN AND CAP FOR FUTURE EXTENSION OF CIRCUIT.
  - 1" SCH 40 PVC HOMERUN OR TO ADJACENT FIXTURE.
  - NO RUBBING OR PARGING OF CONCRETE BASE AFTER REMOVAL OF FORM.

3 POLE BASE DETAIL  
E1 N.T.S.



4 BOLLARD LIGHT BASE ADJACENT TO WALKWAY DETAIL  
E1 N.T.S.



1 SITE PLAN - ELECTRICAL  
E1 N.T.S.

GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF ALL NEW SITE POLE LUMINAIRES. E.C. SHALL SUPPLY AND INSTALL ALL LUMINAIRES INDICATED ON CIVIL DRAWINGS.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED AND COORDINATED WITH ALL UTILITY COMPANIES AND CIVIL DRAWINGS PRIOR TO ANY CONSTRUCTION ON THIS SITE.
- EACH CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES AND MATERIALS AS REQUIRED, INCLUDING ALL LABOR AND INCIDENTALS NECESSARY FOR A COMPLETE INSTALLATION IN WORKING AND OPERABLE CONDITION.
- EACH CONTRACTOR SHALL SEAL ALL EXTERIOR WALL PENETRATIONS IN WATER-TIGHT MANNER. CONTRACTOR SHALL INSTALL PIPE SLEEVES IN ALL EXTERIOR WALL FOUNDATION PENETRATIONS. CUTTING AND SLEEVING FOR INSTALLATION SHALL BE COORDINATED WITH GENERAL CONTRACTOR AND ARCHITECT PRIOR TO COMMENCING WORK.
- ALL SERVICE DUCT CONDUIT BENDS SHALL BE MADE WITH LONG SWEEPING RADIUS ELBOWS.
- PROVIDE GALVANIZED RIGID CONDUIT FOR EXTERIOR UNDERGROUND TRANSITIONS TO ABOVE GRADE. EXTEND CONDUIT A MINIMUM OF 3' ABOVE GRADE.
- CONDUCTORS AND CABLES INSTALLED UNDERGROUND SHALL BE SUITABLE FOR WET LOCATIONS.
- EACH CONTRACTOR SHALL COORDINATE ROUTING AND DEPTH OF RESPECTIVE TRADE WITH OTHER UTILITIES SO AS TO AVOID CONFLICT.
- EACH CONTRACTOR SHALL PROVIDE FOR ALL TRENCHING/EXCAVATION, BACKFILL, AND PATCHING OF SURFACES TO ORIGINAL CONDITION FOR THE INSTALLATION OF THEIR RESPECTIVE TRADE.
- ALL BRANCH CIRCUIT WIRING FOR EXTERIOR LIGHTING SHALL BE ACCOMPLISHED WITH MINIMUM #14 AWG COPPER AND ALL RACEWAY FOR UNDERGROUND BRANCH CIRCUITS SHALL BE 1" SCHEDULE 40 PVC MINIMUM.

- UNDERGROUND SERVICE LATERAL FROM PADMOUNT SERVICE TRANSFORMER TO MAIN SERVICE PANEL REFER TO ONE-LINE DIAGRAM E-1 FOR ADDITIONAL INFORMATION.
- PRIMARY UNDERGROUND PACEWAY AND CONDUCTORS PROVIDED AND INSTALLED BY THE LOCAL ELECTRIC UTILITY.
- PADMOUNT SERVICE TRANSFORMER, PROVIDED AND INSTALLED BY LOCAL ELECTRIC UTILITY. CONSTRUCT CONCRETE TRANSFORMER PAD PER LOCAL ELECTRIC UTILITY REQUIREMENTS.
- ROUTE BRANCH CIRCUIT THRU DIGITAL F-OM ASTRONOMICAL TIMELOCK WITH PROCELL CONTROL.

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ARCHITECT	ARC.	CHECKED	CIW
ENGINEER	#D	APPROVED	CIW
NO.	#	REVISION DESCRIPTION	DATE

DRAWING TITLE  
ELECTRICAL SITE PLAN

DATE: December 23, 2025 DRAWING  
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