

Commercial Preliminary Development Plan (PDP)

Bank of America – 1801 NW Chipman Rd
Application #: PL2025307



Agenda

- Existing Conditions
- Project Description
- Project Details
- Applicants Letter - Responses
- Questions

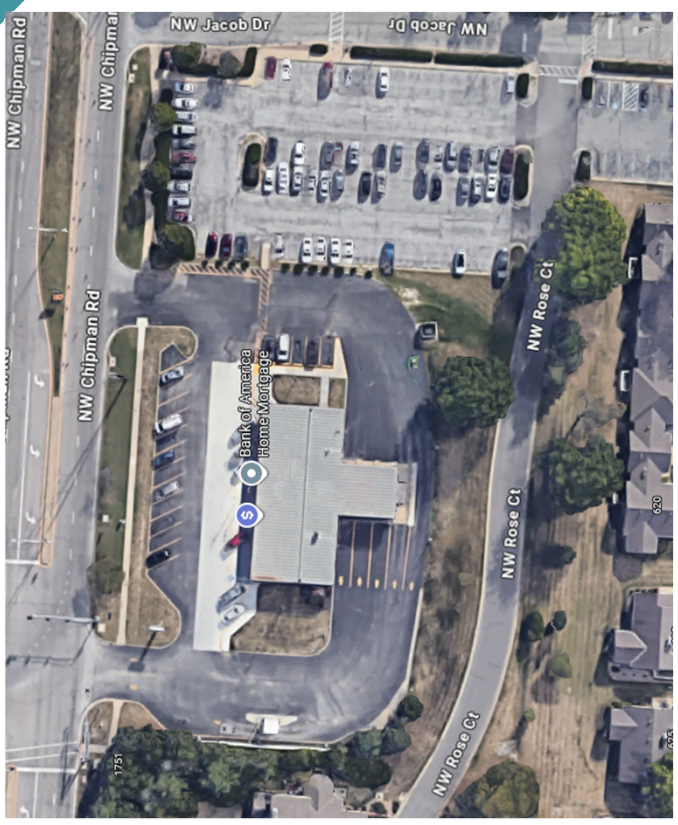
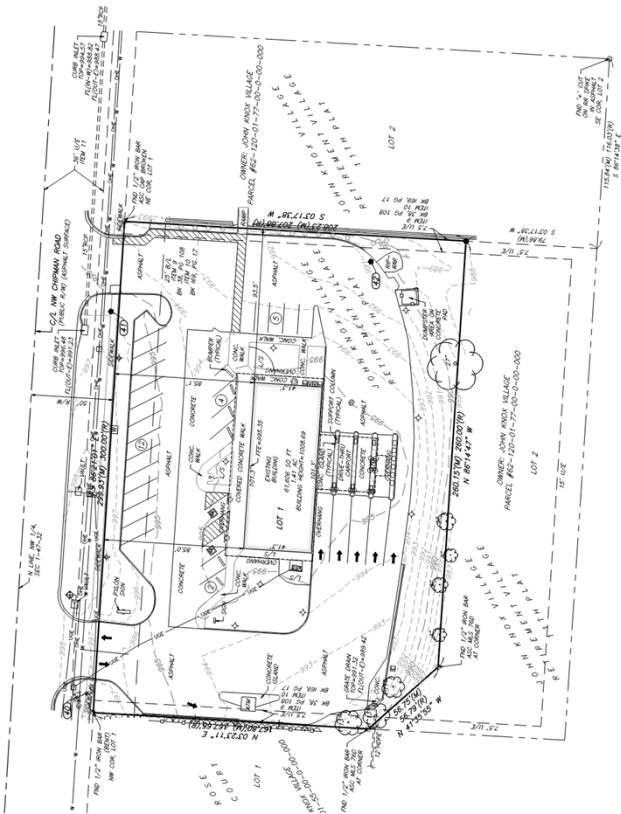


Existing Conditions

- Approximately 4,185 sf, single story financial center on a 1.41-acre parcel
- Remove Drive-Up ATM, accessory parking, and landscaping
- 2 Drive-way curb-cuts accessing NW Chipman Rd
- Zoned CP-2: Planned Community Commercial District
- 25 existing off-street parking spaces
- No pedestrian connection to R/W



Existing Conditions

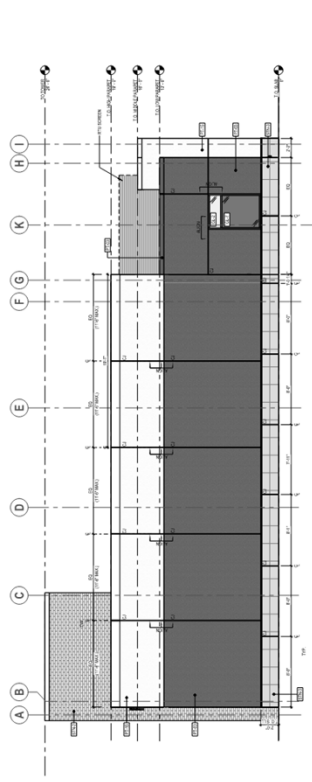
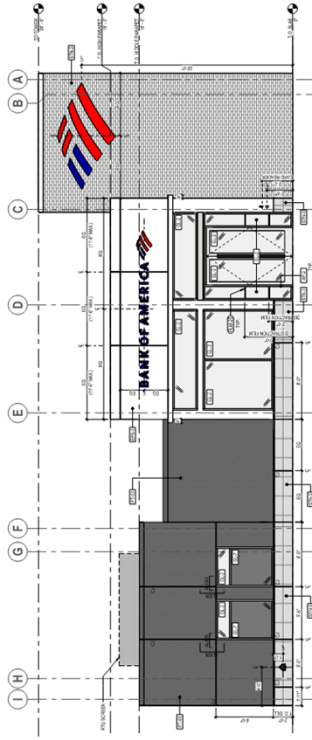


- Approximately 4,720 sf, single story financial center on a 0.93-acre parcel
- Remaining (Eastern) 0.48-acre area to be subdivided
- Two remove Drive-Up ATMs, accessory parking, and landscaping
- No change to the 2 curbs-cuts accessing NW Chipman Rd (1 fully signalized, the other R/in-R/out)
- No change in zoning
- 27 off-street parking spaces
- Pedestrian connection to R/W



Project Description

Project Details - Elevations



STOREFRONT

ALUMINUM STOREFRONT SYSTEM - CLEAR ANODIZED
GLAZING TYPES
TO MATCH FOR CURBSIDES AND
GLAZING TYPES

EXTERIOR FINISHES

CEMENT PLASTER
PF-03 MANUFACTURER: PARK USA PRIMER ELUCOD
FINISH MATCH BEKAMUN MOOSE CARBONAL BLUE FLAT
PF-05 MANUFACTURER: PARK USA PRIMER ELUCOD
FINISH MATCH BEKAMUN MOOSE CARBONAL BLUE FLAT
PRODUCT FINISH AND ANTI-GRABALL 301 STUCCO CASSEBY
FINISH MATCH CITIUEL ENVELOPE ARCTIC WHITE FLAT

EXTERIOR METAL PANEL CLADDING SYSTEM

EPS-3 MANUFACTURER: CEMTEL
PRODUCT ENVELOPE ARCTIC WHITE FLAT
FINISH MATCH BEKAMUN MOOSE CARBONAL BLUE FLAT
EPS-4 MANUFACTURER: CEMTEL
PRODUCT ENVELOPE ARCTIC WHITE FLAT
FINISH MATCH BEKAMUN MOOSE CARBONAL BLUE FLAT

EXTERIOR STONE CLADDING SYSTEM

STN-2 MANUFACTURER: BROOK
PRODUCT RUNNING BAND BRICK
FINISH WHITE
STN-3 MANUFACTURER: ECKELON WALDOBY
PRODUCT ENVELOPE ARCTIC WHITE FLAT
FINISH MATCH BEKAMUN MOOSE CARBONAL BLUE FLAT
GROUND STN-3 IS A RELATED FASCIA CLADDING SYSTEM
FINISH GRANITE GROUND FACE

GLAZING

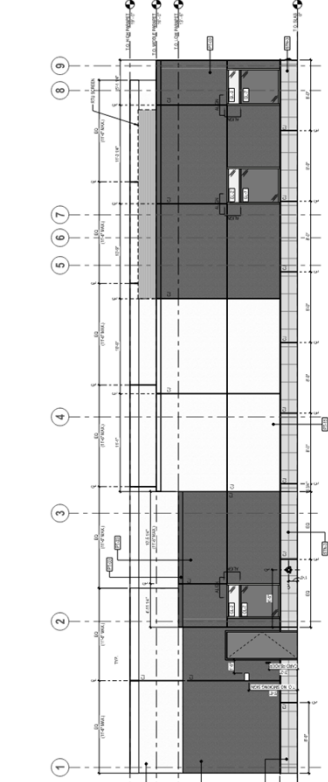
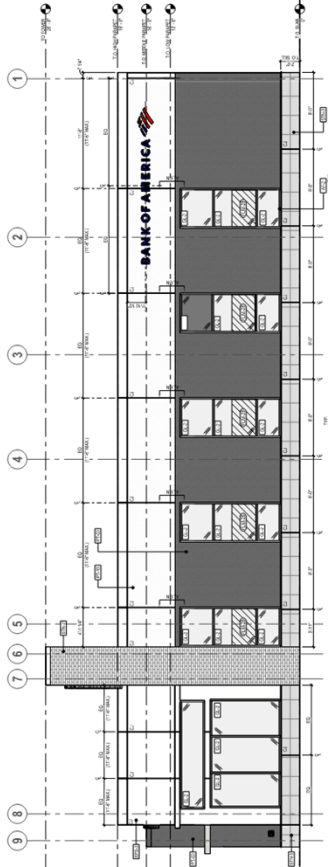
GL-1 1" CLEAR THERMOSEAL INSULATED GLAZING AS
SPECIFIED
GL-2 1" THERMOSEAL BACK PAINTED SPANBOND GLAZING PANEL
FINISH TO MATCH #42

BREAK METAL FINISHING

BM-1 BRASS METAL AT STN-3 EPS-3
COLOR SHALL MATCH WALL FINISH PER SAMPLE
BM-2 BRASS METAL BASE AT STN-2
COLOR SHALL MATCH WALL FINISH PER SAMPLE
BM-3 BRASS METAL BASE AT STN-3
COLOR SHALL MATCH WALL FINISH PER SAMPLE
BM-4 BRASS METAL BASE AT STN-3
COLOR SHALL MATCH WALL FINISH PER SAMPLE
BM-5 BRASS METAL BASE AT STN-3
COLOR SHALL MATCH WALL FINISH PER SAMPLE

EXTERIOR RESALANT COLOR

GLAZING AT STOREFRONT
MATCH STOREFRONT
METAL PANEL SIDING (EPS-3)
MATCH METAL PANEL
STONE CLADDING (STN-2 AND STN-3)
MATCH STONE
CEMENT PASTER (PF-03 & PF-15)
MATCH CEMENT PASTER



Project Details – Prototypical Renderings

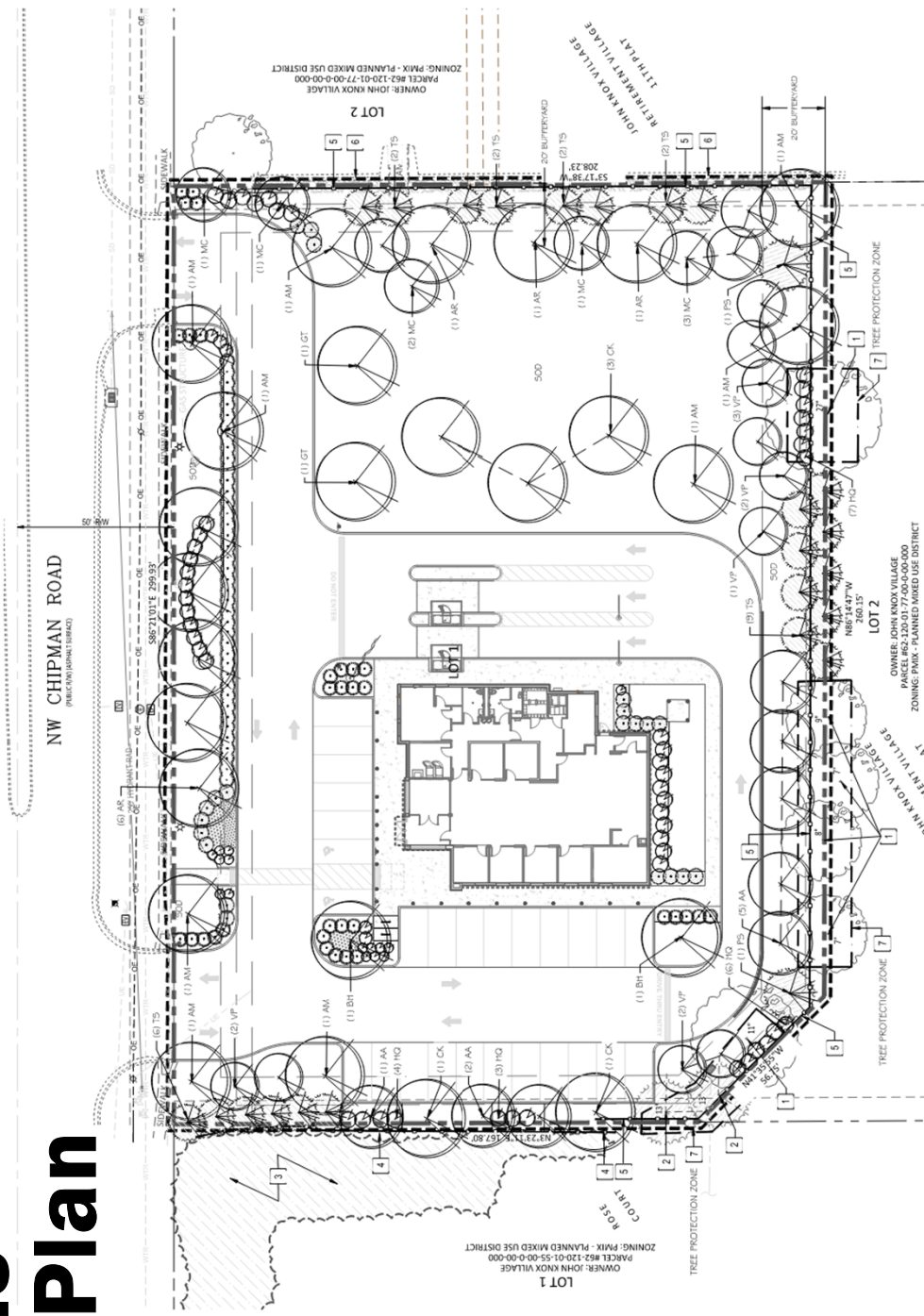


Project Details

- Landscape Plan

KEY QTY	SHRUBS	MIN. INSTALLED SIZE	NATIVE HT./SPRD.
CF 21	GOLDEN MOP CYPRUS - <i>Chamaecyparis platifera</i> 'Golden Mop'	# 3 cont.	37' 4"
J5 21	CALGARY CARPET JUNIFER - <i>Juniperus sabina</i> 'Momi'	# 3 cont.	30' 6"
IB 12	BROADLEAF JUNIFER - <i>Juniperus sibirica</i> 'Broadleaf'	# 3 cont.	30' 6"
IC 40	GREY OWL JUNIFER - <i>Juniperus virginiana</i> 'Grey Owl'	# 3 cont.	31' 6"
IG 18	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea spicifolia</i> 'Ruby Slippers'	# 3 cont.	31' 4"
IG 5	GOLDFINGER POTENTILLA - <i>Potentilla fruticosa</i> 'Goldfinger'	# 3 cont.	31' 4"
SJ 15	NEON FLASH SPIREA - <i>Spiraea japonica</i> 'Neon Flash'	# 3 cont.	31' 3"
PERENNIALS & GRASSES			
CV 15	MOONBEAM COREOPSIS - <i>Coreopsis verticillata</i> 'Moonbeam'	# 1 cont.	18' 2"
HF 36	PARSON WEDGELINGS - <i>Hemerocallis x Pardoni</i> M2'	# 1 cont.	21' 2"
SHADE TREES			
AK 5	RED MAPLE - <i>Acer rubrum</i> 'October Glory'	2-1/2" cal. BB	45' 35'
AM 2	SUGAR MAPLE - <i>Acer saccharum</i> 'Flax Mill'	2-1/2" cal. DB	60' 45'
BH 1	DURA THREAT RIVER BIRCH - <i>Betula nigra</i> 'BHMTP'	2-1/2" cal. DB Single Stem	40' 30'
CK 5	YELLOWWOOD - <i>Chamaecyparis</i> 'Yellowwood'	2-1/2" cal. DB	45' 50'
GT 2	SKYLINE LOCUST - <i>Gleditsia triacanthos</i> var. 'Skyline'	2-1/2" cal. DB	45' 30'
ORNAMENTAL TREES			
AA 6	SERVICEBERRY - <i>Amelanchier alboterax</i>	1-1/2" cal. DB Single Stem	18' 18'
MC 6	CARDINAL CRABAPPLE - <i>Malus 'Cardinal'</i>	1-1/2" cal. BB	15' 15'
VP 10	BLACKHAW VIBURNUM - <i>Viburnum prunifolium</i>	Ø ht. DB	15' 15'
EVERGREEN TREES			
PS 2	WHITE PINE - <i>Pinus strobus</i>	Ø ht. BB	60' 30'
TS 23	GREEN GANT ARBOVITAE - <i>Thuja sibirica</i> x 'Plukta Green Gant'	Ø ht. DB	50' 18'
HQ 20	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea spicifolia</i> 'Ruby Slippers'	# 3 cont.	31' 4"

* DENOTES MISSOURI NATIVE PLANT
 ** REFER TO DETAILED LANDSCAPE PLAN SHEET L-1.1 FOR REMAINING BUFFER YARD SHRUBS



Project Details - Lighting Plan

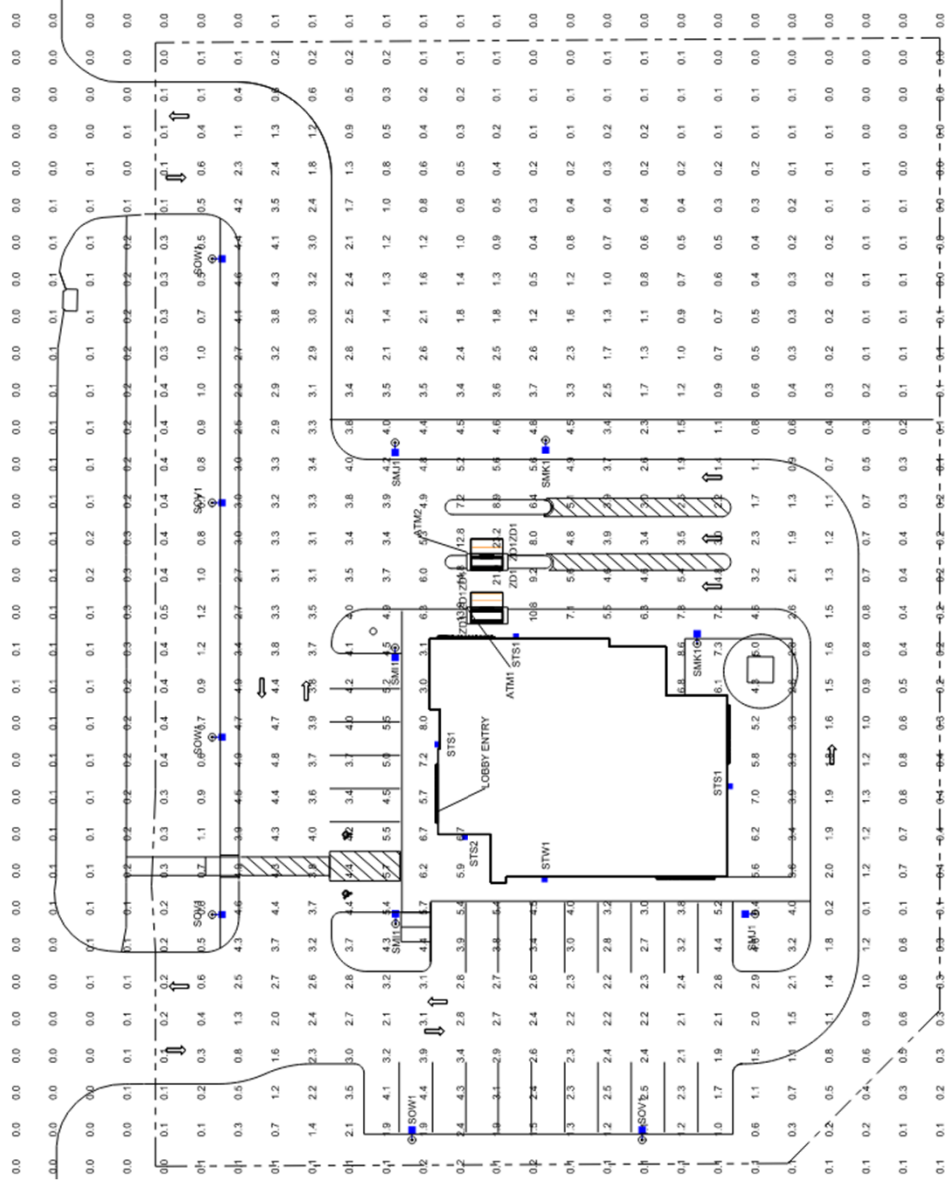


Site and Area

OptiForm

OPF-S Small

TYPE SM11



Applicant Letter – Responses: Planning

- Comment: PARKING DESIGN. A minimum 20' parking lot setback is required from any adjacent residential use. The western boundary of the proposed parking lot is set back 8'-6" from the abutting residential property. A modification to the minimum parking lot setback shall be required to be approved as part of the subject preliminary development plan process. Staff will support granting a modification to allow the parking lot setback as shown on the plans.
- Response: A modification to the parking lot setback on this side is requested (from 20' to 6' as shown in plans)
- Comment: PLATTING. Please note that the future subdivision of the subject property will require a replat of the site via the minor plat or final plat process. This process need not be undertaken until such time as the current property owner intends to convey a portion of the subject property to a separate party.
- Response: Noted. Platting will be completed prior to development of Eastern lot.

Applicant Letter – Responses: Engineering

- **Comment:** The public sanitary sewer extension work must be within a separate set of Public Infrastructure Plans submitted with the Commercial Final Development Plans for this project. Please be aware that the sanitary sewer easements necessary for the public sanitary sewer extension must be obtained by plat and/or by separate document. This information must be provided to the City and documented on the Commercial Final Development Plans and the Public Infrastructure Plans.
- **Response:** Noted. A Private Utility locate of the existing sanitary lateral is underway. Should a new main, as depicted on C4.0 be required, the separate public infrastructure plans, and easements will be submitted / dedicated.



Questions?

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