

CVR	COVER
C1.0	SITE PLAN
C1.1	PHASING PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
A1	EXTERIOR ELEVATIONS
A2	COLORED ELEVATIONS/RENDERINGS
E1	SITE LIGHTING

JOHN KNOX VILLAGE HYBRID VILLA

New Villa Building

LEE'S SUMMIT, MO

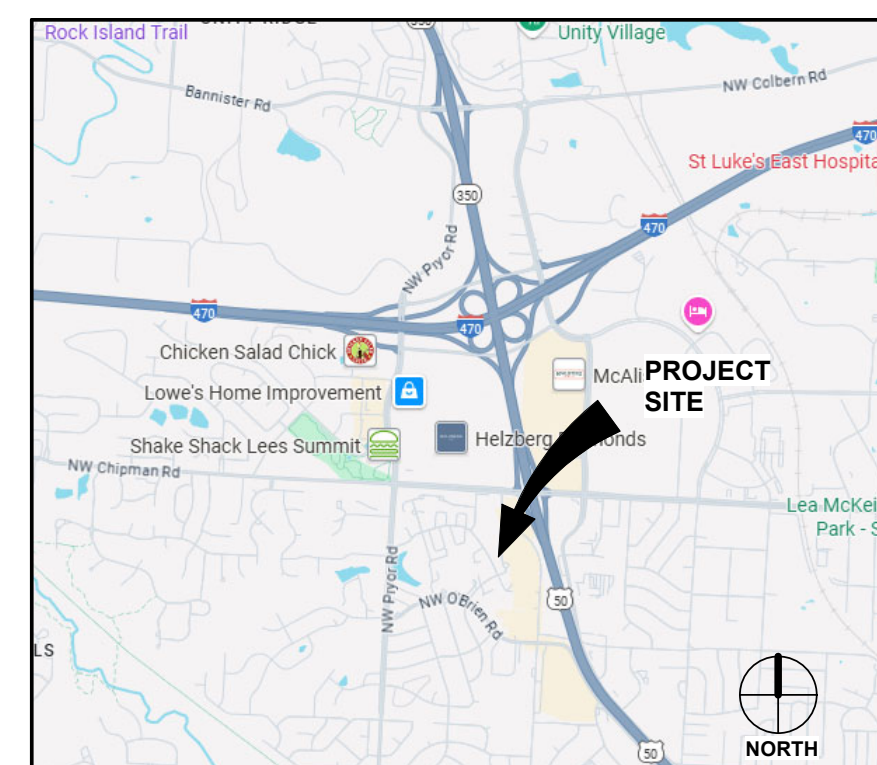
PRELIMINARY DEVELOPMENT PERMIT SET

DATE: DECEMBER 23, 2025

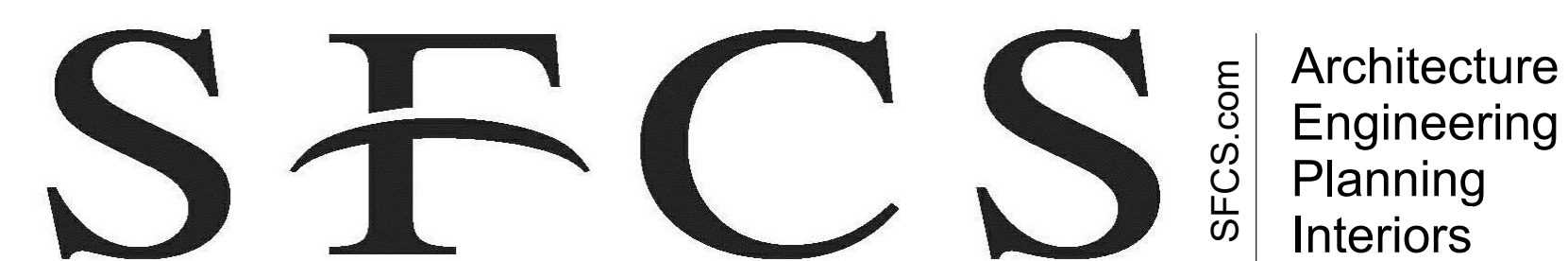
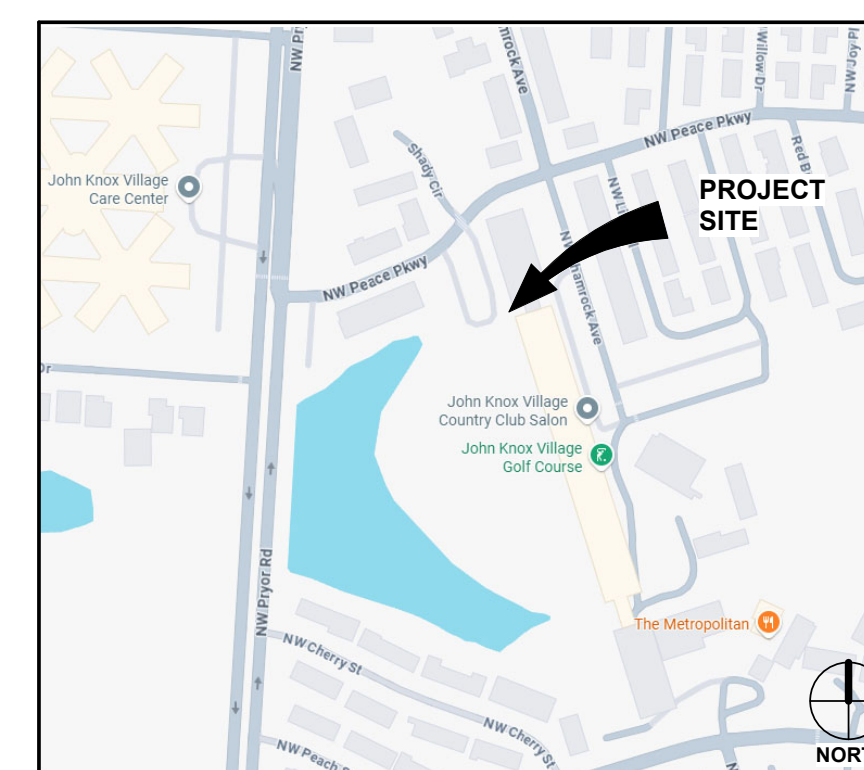
COMM. NO. 25110.00

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VICINITY MAP



LOCATION MAP



ROANOKE OFFICE (CORPORATE)
305 SOUTH JEFFERSON STREET
ROANOKE, VA 24011-2003
800.873.2788

CHARLOTTE OFFICE
1927 SOUTH TRYON STREET, SUITE 207
CHARLOTTE, NC 28203
704.372.7327

PHILADELPHIA OFFICE
1777 SENTRY PARKWAY WEST
VEVA 17, SUITE 220
BLUE BELL, PA 19422
610.825.1288

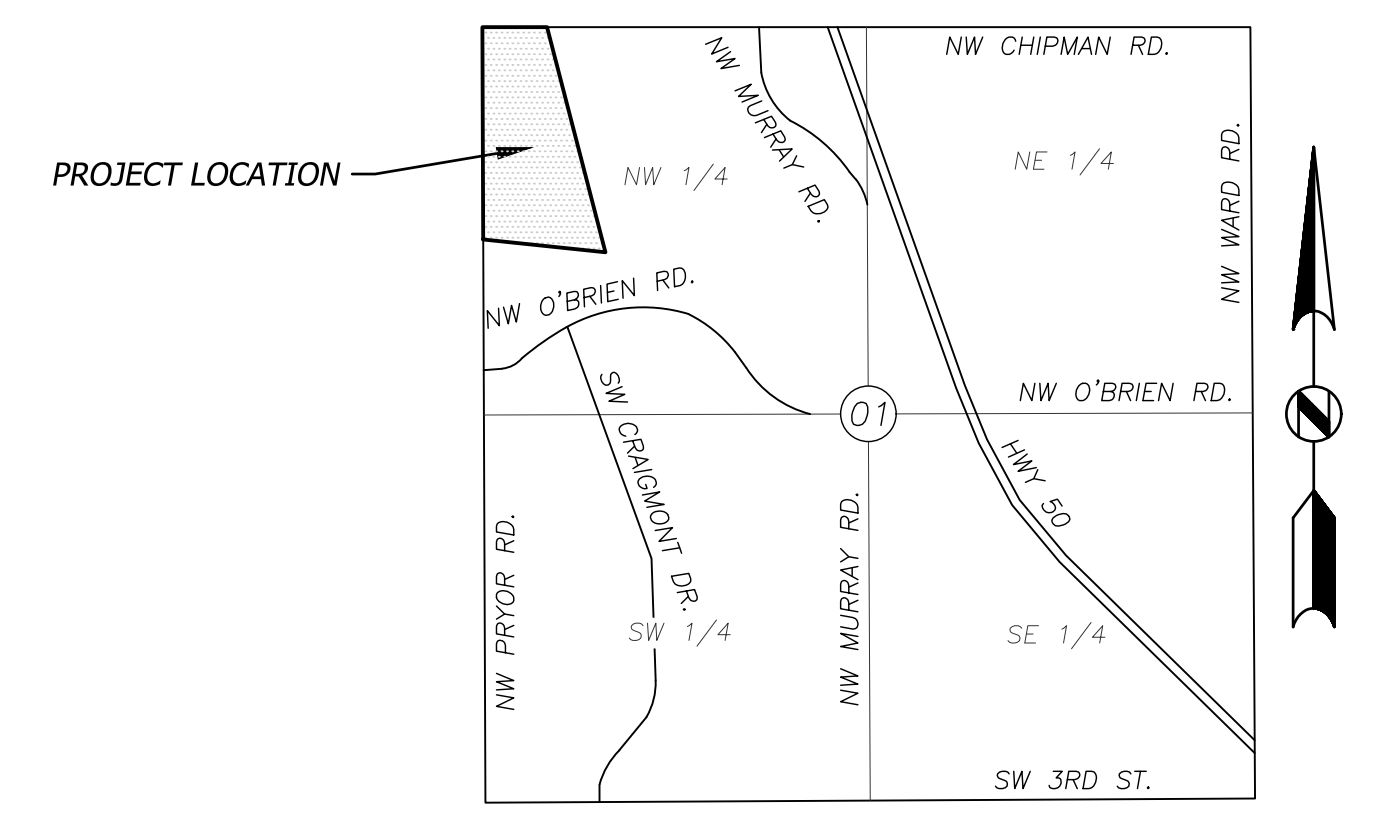
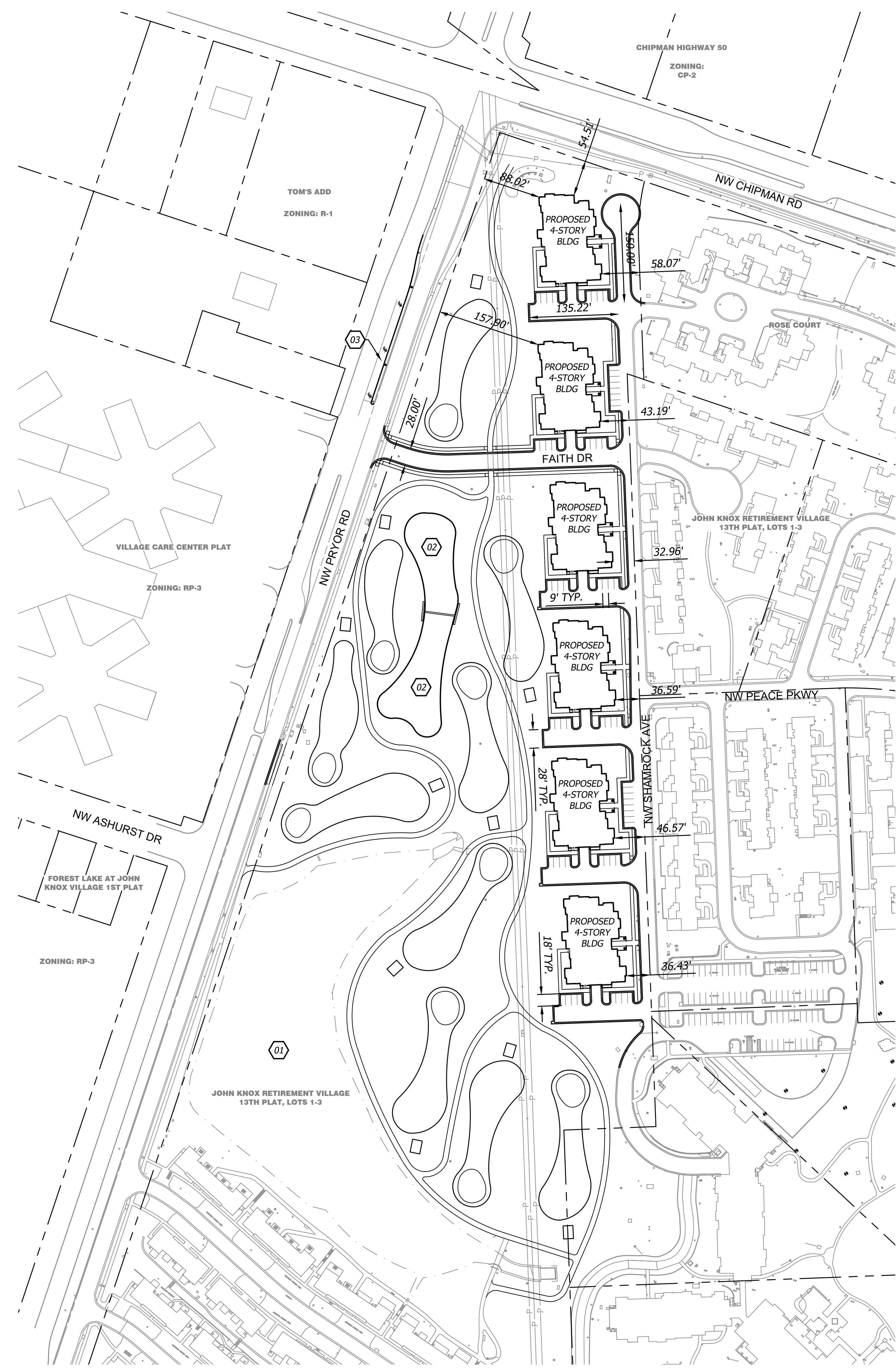
LOUISVILLE OFFICE
2115 LEXINGTON ROAD, SUITE 100
LOUISVILLE, KY 40206
502.414.4545

GREYSTONE COMMUNITIES

DEVELOPER
225 E. John Carpenter Freeway, Suite 700
Irving, TX 75062
Phone 972.403.3700
www.greystonecommunities.com

BHC RHODES

CIVIL ENGINEERING
7101 College Blvd, Suite 400
Overland Park, KS66210
Phone: 913.663.1900
www.ibhc.com



VICINITY MAP

NTS
SECTION 01-T47N-R32W
JACKSON COUNTY, MISSOURI

SITE DATA

SITE	
SITE AREA:	15.00 AC 653,400 SF
IMPERVIOUS AREA:	
EXISTING:	218,580 SF (33.5%)
PROPOSED:	199,745 SF (30.6%)
BUILDING	
TOTAL BUILDING AREA:	249,600 SF (38.2% FAR)
SINGLE BUILDING AREA:	41,600 SF (6.4%)
NUMBER OF DWELLING UNITS:	90
DWELLING UNITS PER ACRES:	6
PARKING	
PARKING PROVIDED:	148 STANDARD 6 HANDICAP (6 VAN)
PARKING REQUIRED:	
HYBRID VILLA (6 BUILDINGS WITH 15 TWO-BED UNITS EACH): (1.5 STALLS/UNIT)	135
ADA STALLS: (BASED ON 154 PROVIDED PARKING)	6

OIL-GAS WELLS

ACCORDING TO THE DNR OIL AND GAS LOGS FOR THE COUNTY OF JACKSON, THERE ARE NOT OIL AND GAS WELLS NEAR THE PROPERTY AS SURVEYED HEREON.

LEGAL DESCRIPTION

JOHN KNOX RETIREMENT VILLAGE 13TH PLAT LOTS 1-3, LOT 3

ZONING

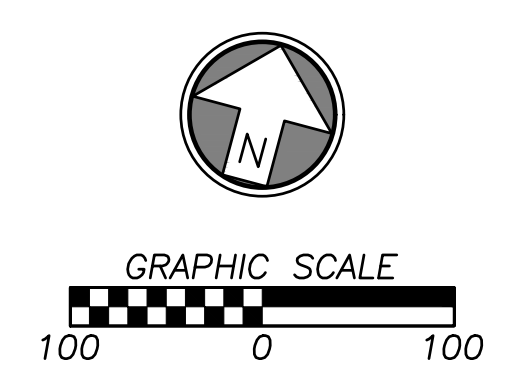
PMIX (PLANNED MIXED USE)

NOTES

- 01 EXISTING POND
- 02 PROPOSED POND
- 03 PROPOSED LEFT TURN LANE

SITE LEGEND

- PROPOSED BUILDING
- EXISTING BUILDING
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK



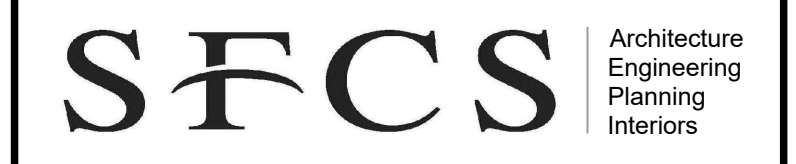
PRELIMINARY DEVELOPMENT PLAN

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John Knox Village

HYBRID VILLA APARTMENTS



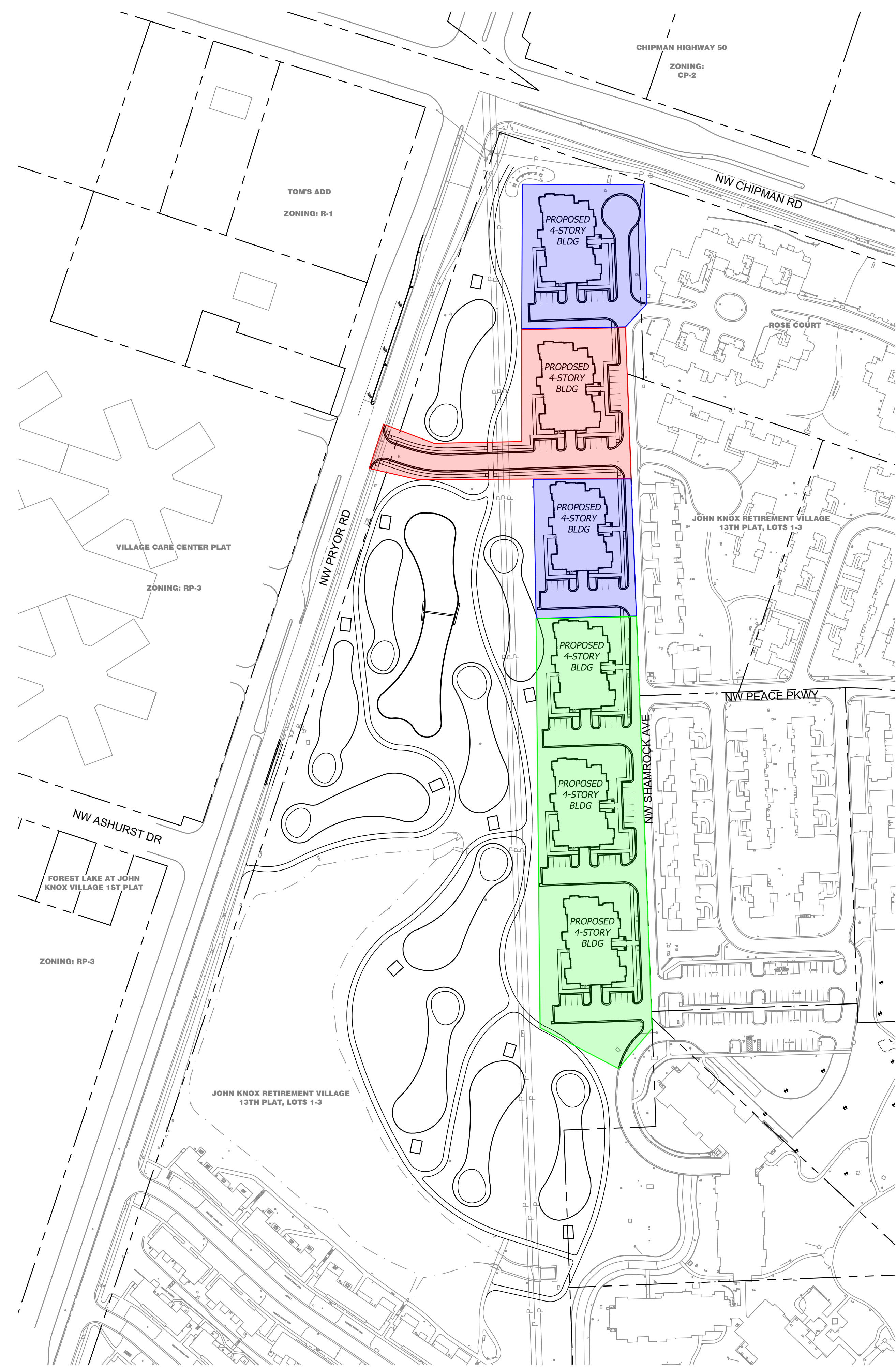
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Charlotte, North Carolina 28203.4633
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ENGINEER : ERB	APPROVED : ERB
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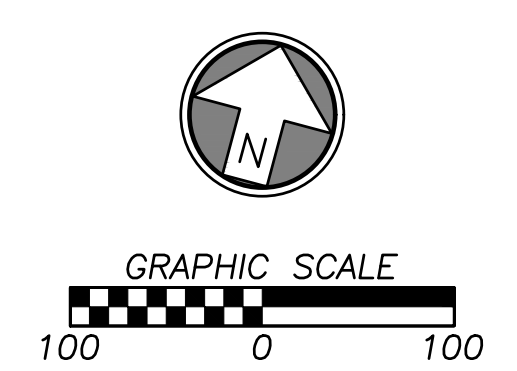
SITE PLAN

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	C1.0



PHASING LEGEND

- PHASE 1
- PHASE 2
- PHASE 3



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PHASING PLAN

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COMM. NO. 25110.00	C1.1

FLOOD STATEMENT

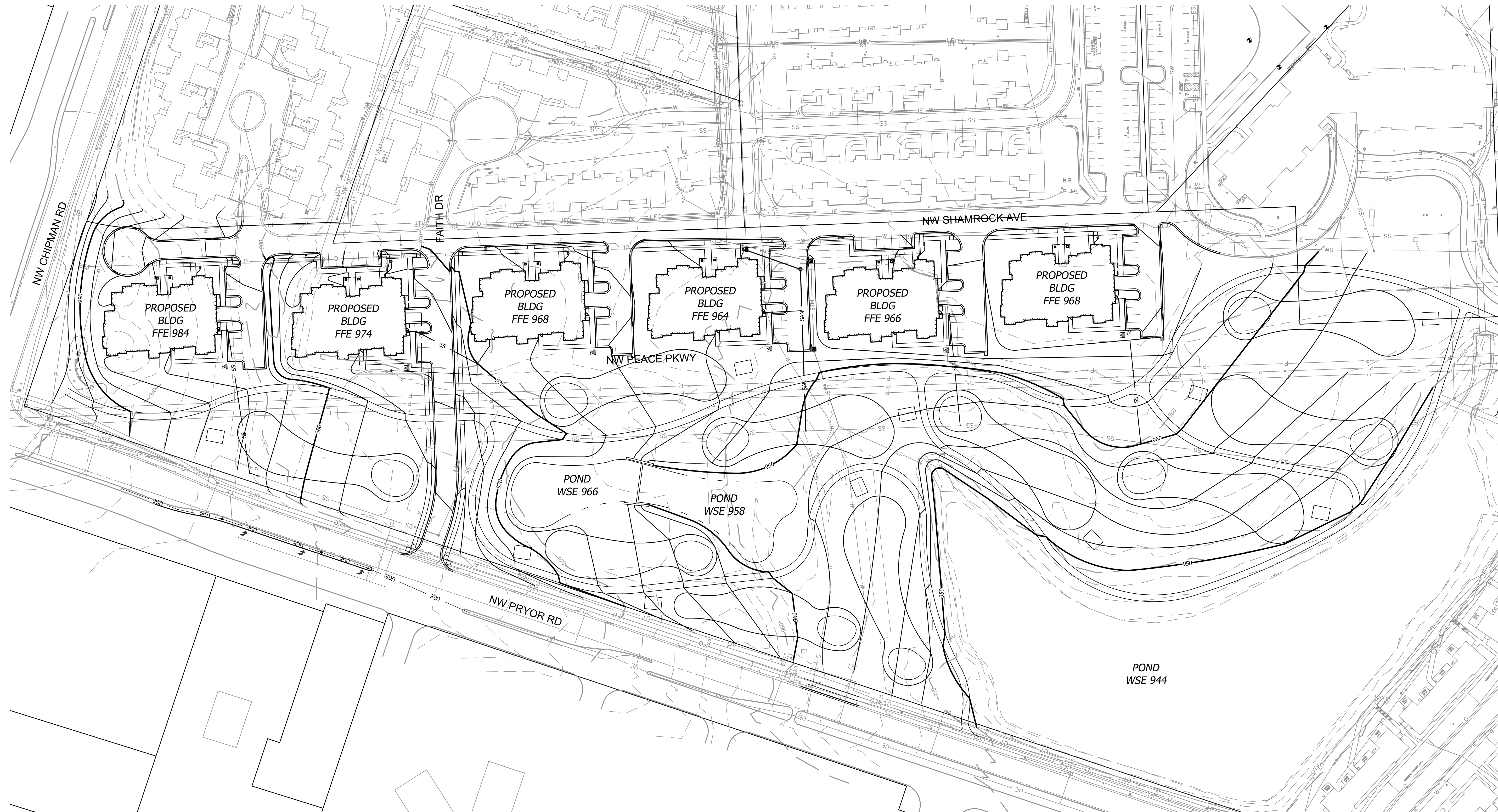
The subject property lies within Flood Zone " X " (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain.), as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).

Map Number: 29095C0416G

Panel No: 416 of 625

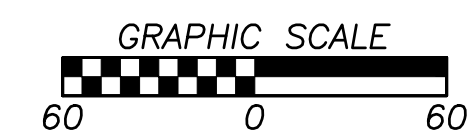
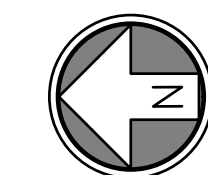
Map Revised Date: January 20, 2017

NOTE: This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.



GRADING LEGEND

- 980 — FINISH GRADE MAJOR CONTOURS
- 982 — FINISH GRADE MINOR CONTOURS
- - 980 - - EXISTING GRADE MAJOR CONTOURS
- - 982 - - EXISTING GRADE MINOR CONTOURS



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John Knox Village

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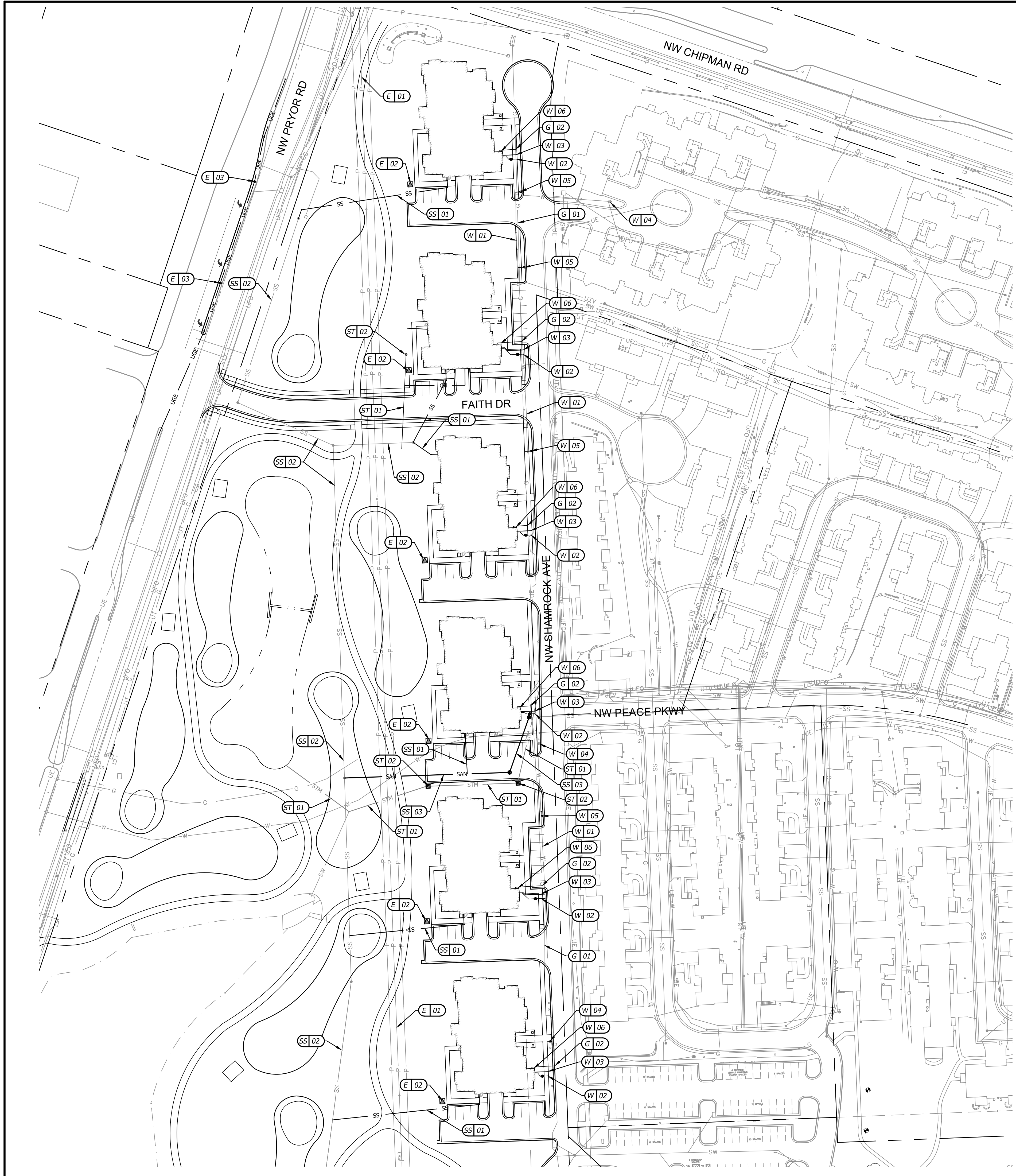
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DRAWING TITLE
GRADING PLAN

DATE: December 23, 2025

COMM. NO. 25110.00

DRAWING
C2.0



- UTILITY NOTES**
- W - WATER SERVICE INFORMATION - LEE'S SUMMIT WATER UTILITIES**
 - 01 EXISTING 6" WATER MAIN LINE
 - 02 PROPOSED WATER SERVICE LINE WITH METER
 - 03 PROPOSED FIRE SERVICE LINE
 - 04 EXISTING FIRE HYDRANT
 - 05 PROPOSED FIRE HYDRANT
 - 06 PROPOSED FIRE DEPARTMENT CONNECTION
 - E - ELECTRIC SERVICE INFORMATION - EVERGY**
 - 01 EXISTING OVERHEAD DISTRIBUTION POWER LINES
 - 02 PROPOSED TRANSFORMER PAD
 - 03 RELOCATED STREET LIGHT POLE
 - G - GAS SERVICE INFORMATION - SPIRE**
 - 01 EXISTING GAS MAIN
 - 02 PROPOSED GAS SERVICE LINE
 - ST - STORM SEWER INFORMATION - LEE'S SUMMIT PUBLIC WORKS**
 - 01 PROPOSED STORM SEWER LINE
 - 02 PROPOSED STORM STRUCTURE
 - SS - SANITARY SEWER INFORMATION - LEE'S SUMMIT PUBLIC WORKS**
 - 01 PROPOSED SANITARY SEWER SERVICE LINE
 - 02 EXISTING SANITARY MAIN
 - 03 PROPOSED RELOCATED SANITARY MAIN



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HYBRID VILLA APARTMENTS

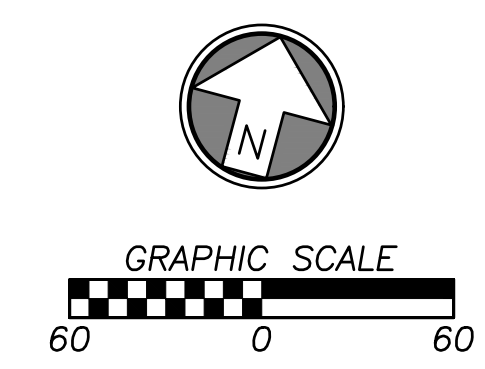
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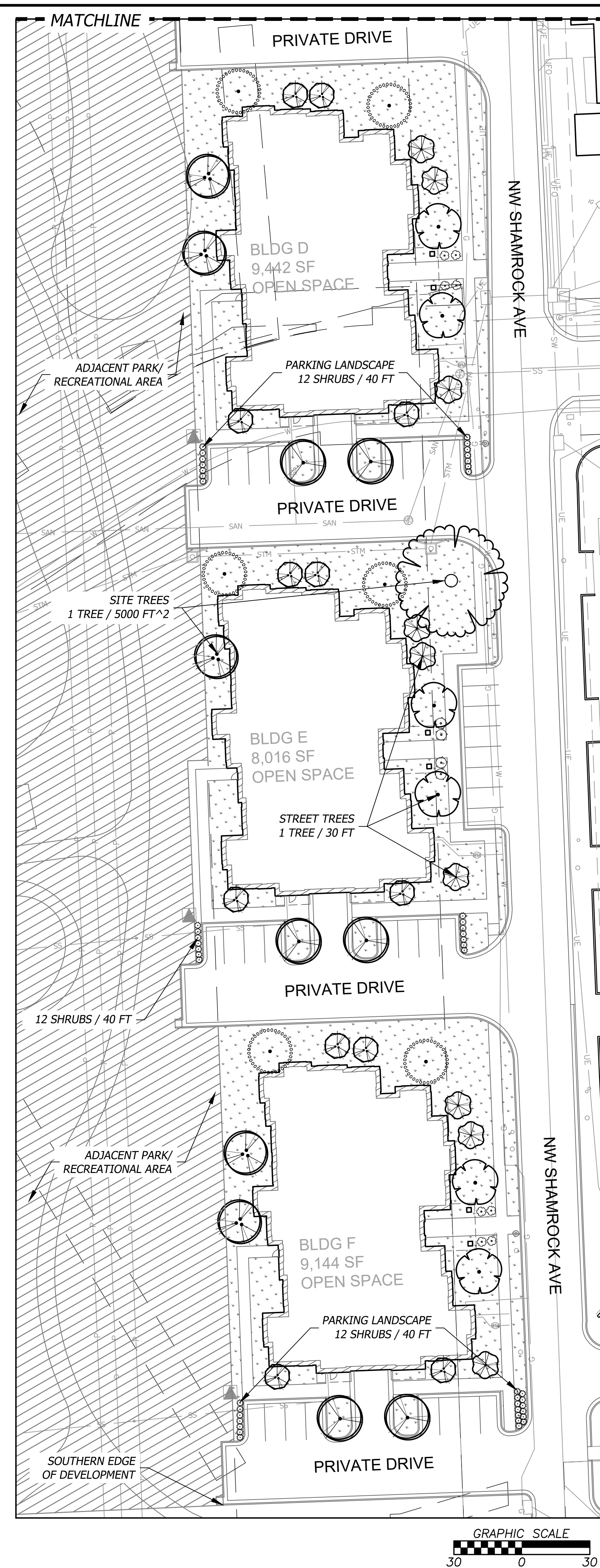
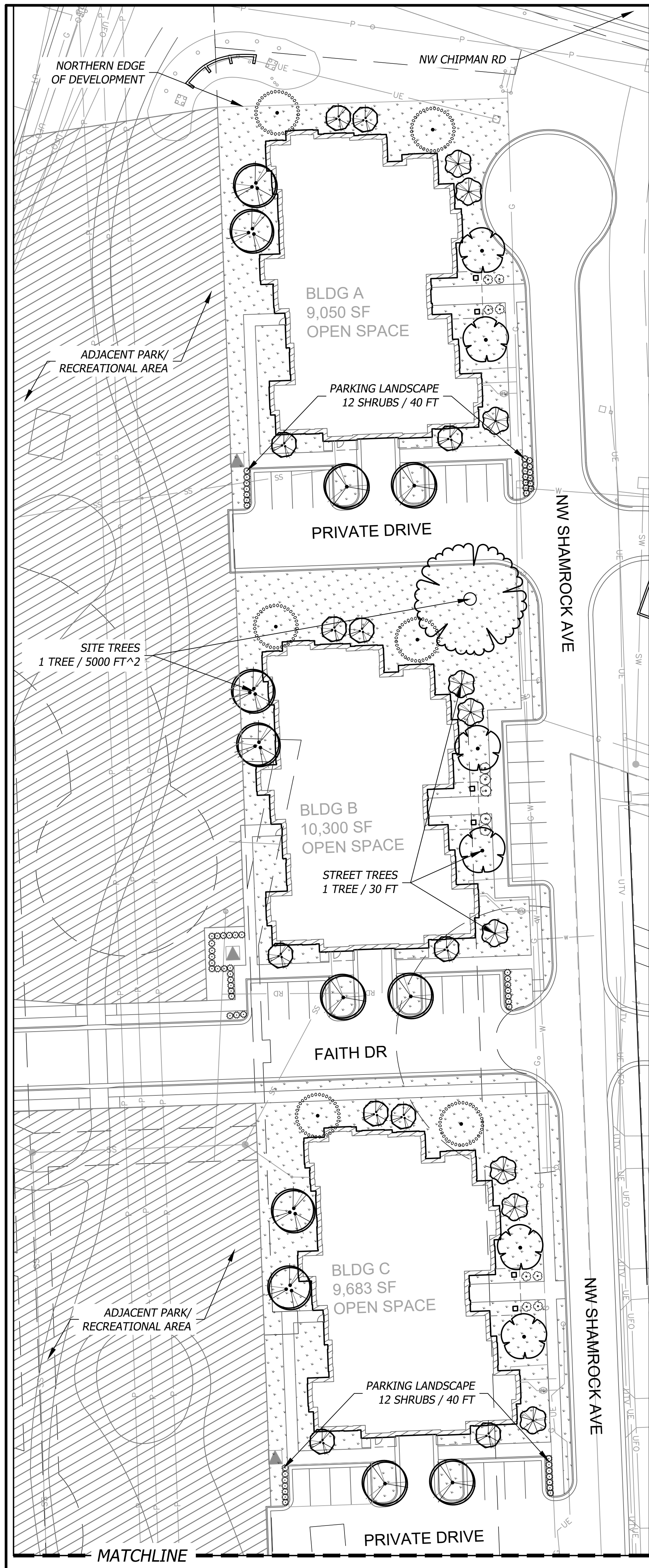
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DRAWING TITLE
UTILITY PLAN

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	C3.0





SITE DATA

BLDG A	Quantity	Required	Provided
Site Area	19,981.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	9,050.0	1.81	2.0
2 shrubs / 5,000 SF	9,050.0	3.62	4.0
Street Frontage			
NW Chipman Rd (LF) to the North	120.0		
1 tree / 30 LF of street frontage		4.0	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	118.0		
1 tree / 30 LF of street frontage		3.9	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG D	Quantity	Required	Provided
Site Area	20,873.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	9,942.0	1.99	2.0
2 shrubs / 5,000 SF	9,942.0	3.98	4.0
Street Frontage			
Private Drive (LF) to the North	118.0		
1 tree / 30 LF of street frontage		3.9	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	120.0		
1 tree / 30 LF of street frontage		4.0	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG B	Quantity	Required	Provided
Site Area	21,231.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	10,300.0	2.06	3.0
2 shrubs / 5,000 SF	10,300.0	4.12	5.0
Street Frontage			
Private Drive (LF) to the North	118.0		
1 tree / 30 LF of street frontage		3.9	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Faith Dr (LF) to the South	120.0		
1 tree / 30 LF of street frontage		4.0	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG E	Quantity	Required	Provided
Site Area	18,947.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	8,016.0	1.60	2.0
2 shrubs / 5,000 SF	8,016.0	3.21	4.0
Street Frontage			
Private Drive (LF) to the North	120.0		
1 tree / 30 LF of street frontage		4.0	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	118.0		
1 tree / 30 LF of street frontage		3.9	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG C	Quantity	Required	Provided
Site Area	20,614.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	9,683.0	1.94	2.0
2 shrubs / 5,000 SF	9,683.0	3.87	4.0
Street Frontage			
Faith Dr (LF) to the North	120.0		
1 tree / 30 LF of street frontage		4.0	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	118.0		
1 tree / 30 LF of street frontage		3.9	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

BLDG F	Quantity	Required	Provided
Site Area	20,075.0		
Building Footprint	10,931.0		
Open Yard Areas			
1 tree / 5,000 SF	9,144.0	1.83	2.0
2 shrubs / 5,000 SF	9,144.0	3.66	4.0
Street Frontage			
Private Drive (LF) to the North	118.0		
1 tree / 30 LF of street frontage		3.9	4
NW Shamrock Ave (LF) to the East	148.0		
1 tree / 30 LF of street frontage		4.9	5
Private Drive (LF) to the South	115.0		
1 tree / 30 LF of street frontage		3.8	4
Parking Landscape			
total LA are 5% of parking area	1,369.0	68.5	364
islands to be min 9' wide		Yes	Yes
12 shrubs / 40 LF for continuous visual barrier	36.0	10.8	14

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
	12	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	B & B	2"Cal
	2	Quercus rubra / Red Oak	B & B	3"Cal
ORNAMENTAL TREES				
	12	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2"Cal
	11	Cercis canadensis / Eastern Redbud FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2"Cal
	24	Magnolia x 'Jane' / Jane Magnolia	B & B	2"Cal
	12	Malus x 'Prairifire' / Prairifire Crab Apple FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	2"Cal
	18	Malus x 'Velvetcole' / Velvet Pillar™ Crabapple	B & B	2"Cal
SHRUBS				
	16	Hydrangea paniculata 'LVBOBO'™ / Bobo Panicle Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
	9	Hydrangea serrata 'Bluebird' / Bluebird Serrate Hydrangea FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	
EVERGREEN SHRUBS				
	108	Buxus x 'Green Gem' / Green Gem Boxwood	5 gal	
GROUND COVERS				
	54,659 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue Sod: 90% 3-species Turf-Type Fescue Blend (Covenant II, Avenger, Garrison), 10% Bluegrass. PLACE ALUMINUM LANDSCAPE EDGING, OR APPROVED EQUAL, WHERE PLANTING BEDS ADJOIN TURF AREAS, SEE DETAIL 805, SHEET L2.0	sod	



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ENGINEER : ERB	APPROVED : ERB
NO.	REVISION DESCRIPTION DATE

DRAWING TITLE
LANDSCAPE PLAN

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	L1.0

ELEVATION KEYNOTE LEGEND

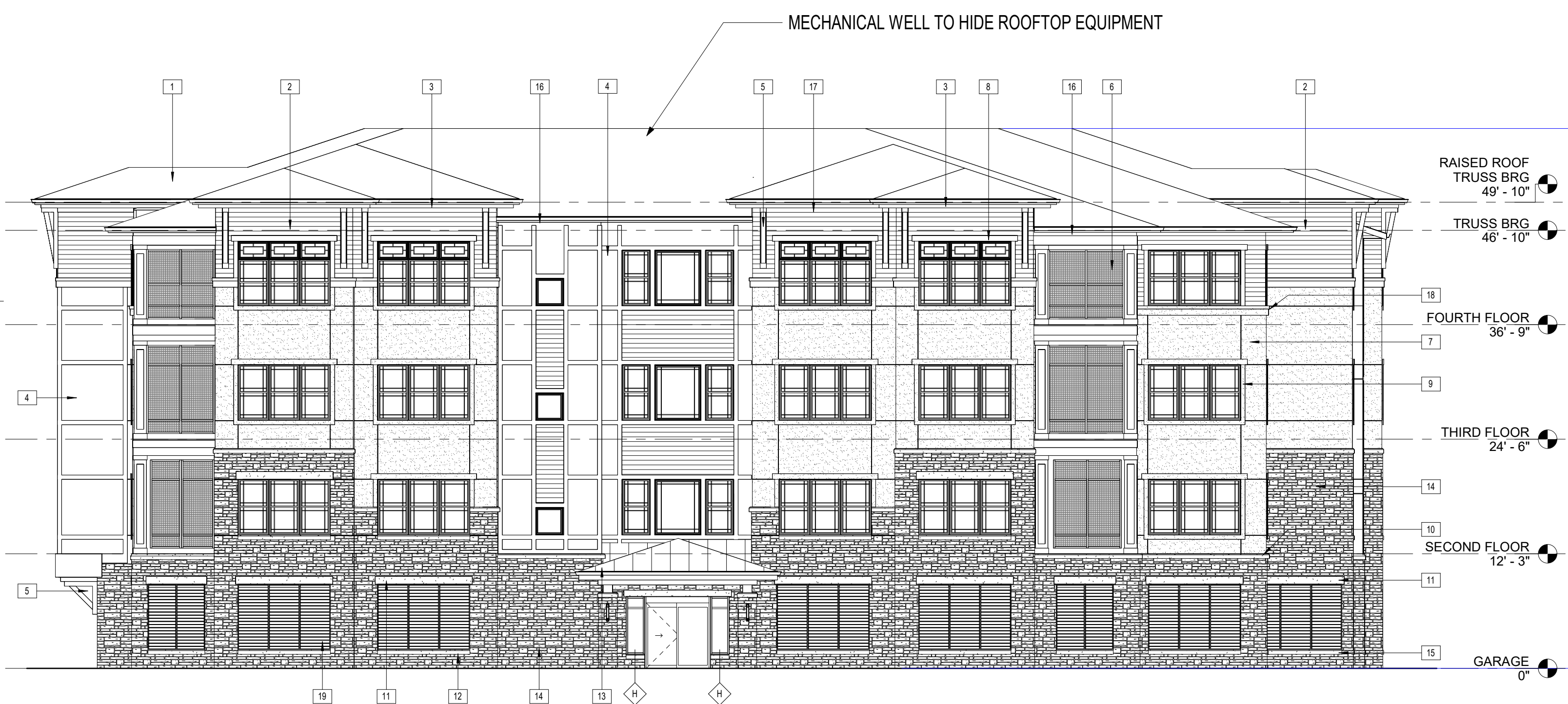
- 1 ARCH. SHINGLES
- 2 F.C. LAP SIDING
- 3 PREFIN. ALUM. GUTTER
- 4 F.C. PANEL W/ APPLIED F.C. TRIM
- 5 CUSTOM DECORATIVE BRACKET
- 6 SCREENED PORCHED SYSTEM, MATCH EXISTING
- 7 EFS
- 8 F.C. WINDOW TRIM
- 9 EFS WINDOW TRIM
- 10 CAST STONE BANDING
- 11 CAST STONE HEADER
- 12 CAST STONE SILL
- 13 STANDING SEAM ROOF
- 14 STONE VENER
- 15 CAST STONE SILL
- 16 F.C. FASCIA BOARD
- 17 F.C. EAVE TRIM
- 18 EFS TRIM, RE. WALL SECTIONS
- 19 SCHED METAL LOUVER
- 20 F.C. TRIM
- 21 EFS REVEAL, TYP.



1 WEST ELEVATION - PDP
A1 N.T.S.



3 NORTH ELEVATION - PDP
A1 N.T.S.



2 EAST ELEVATION - PDP
A1 N.T.S.



4 SOUTH ELEVATION - PDP
A1 N.T.S.

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EXTERIOR ELEVATIONS

DATE: December 23, 2025 DRAWING
COMM. NO. 25110.00 **A1**



1 PDP - SOUTHEAST PERSPECTIVE
A2 N.T.S.



2 PDP - NORTHEAST PERSPECTIVE
A2 N.T.S.



3 PDP - EAST ELEVATION
A2 N.T.S.



4 PDP - SOUTH ELEVATION
A2 N.T.S.

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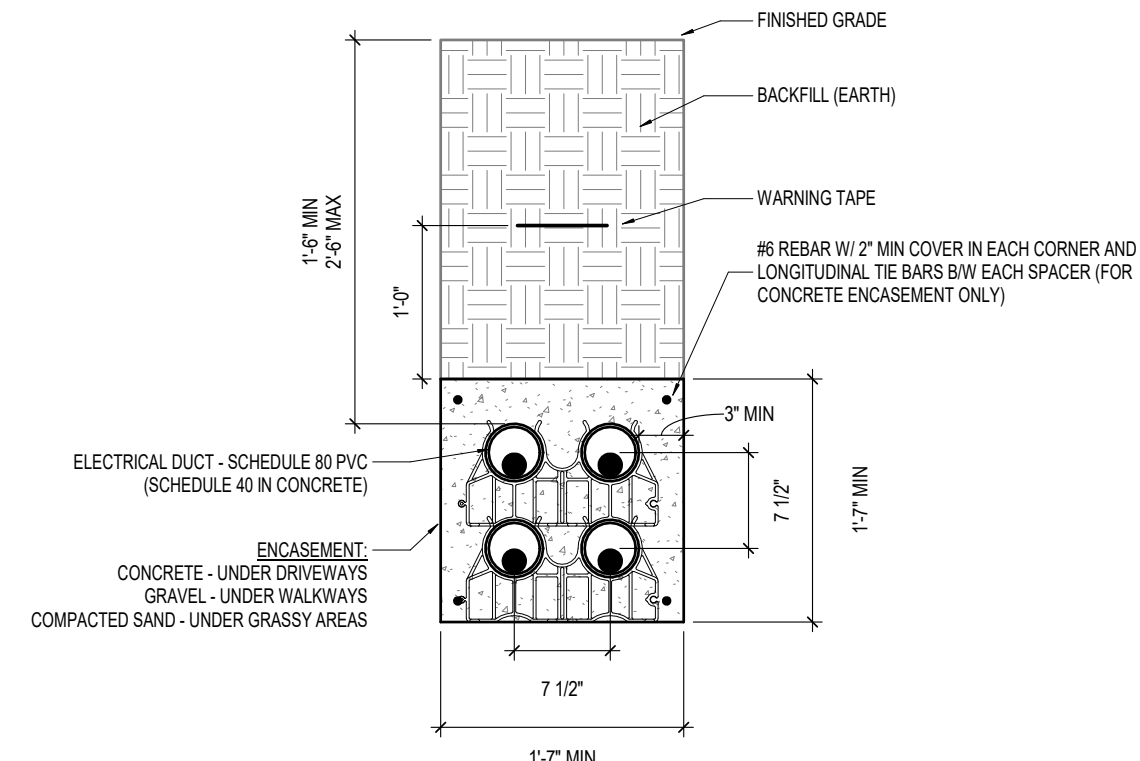
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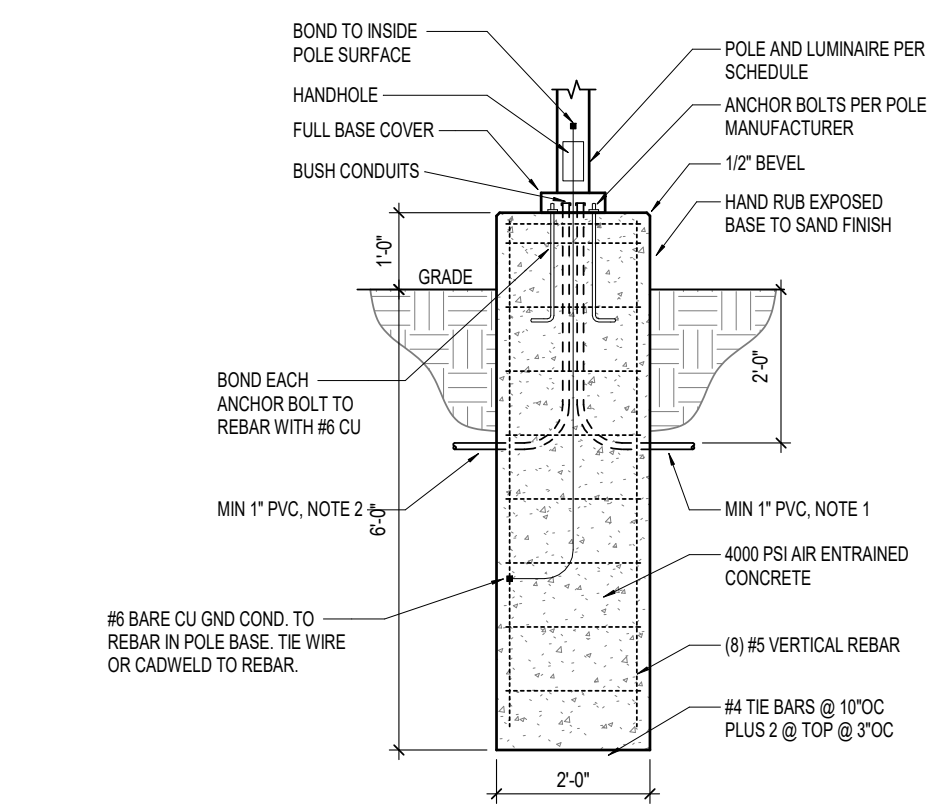
DRAWING TITLE
COLORED ELEVATIONS
AND RENDERINGS

DATE: December 23, 2025	DRAWING
COMM. NO. 25110.00	A2

7	EXTERIOR WALL PACK FOR EGRESS LIGHTING, DUAL POWER FEEDS	CURRENT	QSP2-160L-35-4K7-3-UNV-BLT-2PF
9	POLE MOUNTED DECORATIVE PENDANT STYLE LED LUMINAIRE WITH DECORATIVE ARM AND POLE BASE. 14'-0" POLE ON 2'-0" CONCRETE BASE.	VISIONAIRE LIGHTING (TO MATCH EXISTING) - NO EQUALS	ODN-2-L-T4-80LC-3-4K-UNV-YM-(COLOR TO MATCH)-C6/H1 (FIXTURE), RNTA-5R-18B-16-CB-343-T238R-BK (POLE), DCB-14-5RS-BK (POLE BASE), VA103-L-S1-3-BK (MOUNTING ARM)
11	LED ROUND BOLLARD	HE WILLIAMS	OSA8R L22 840 DT DBZ AB

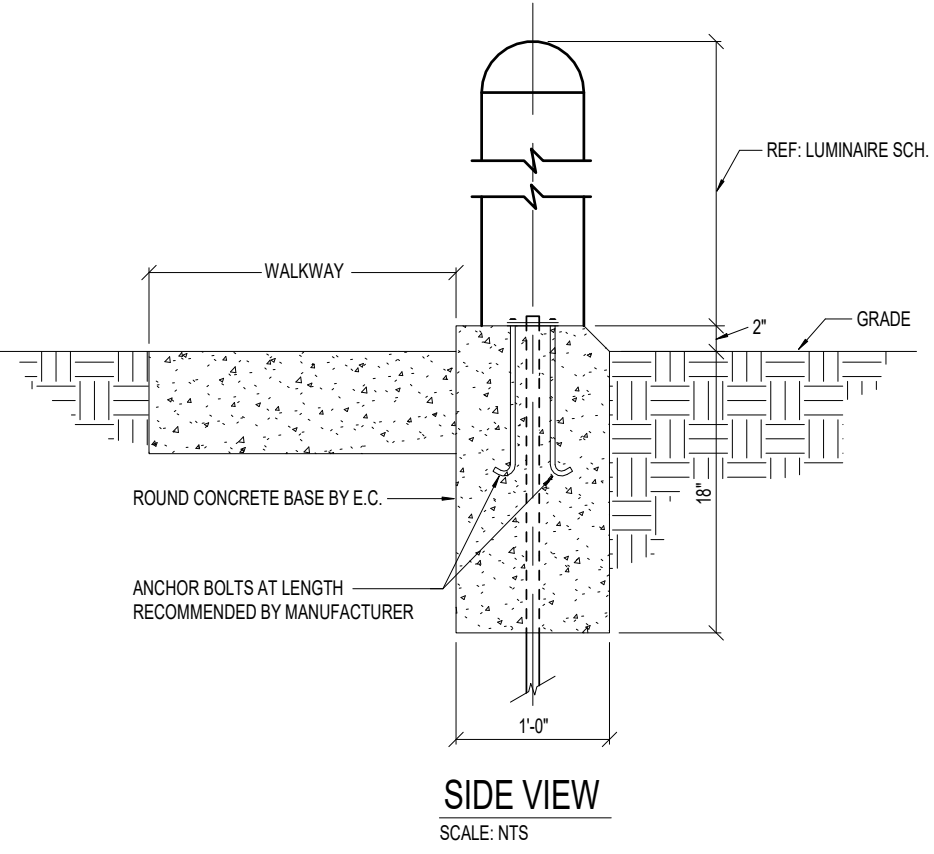
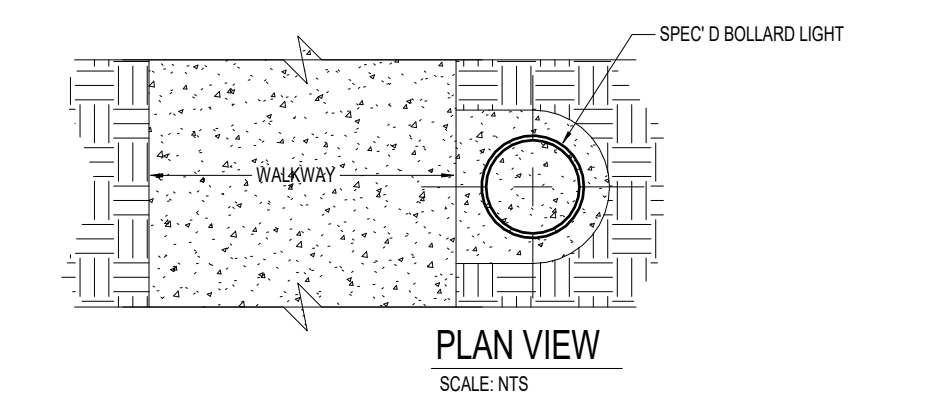


2 DUCT BANK DETAIL 2X2
E1 N.T.S.



- NOTES (BASE DETAILS):
1. STUB OUT CONDUIT 1'-0" BEYOND BASE FOR LAST LIGHTING FIXTURE IN RUN AND CAP FOR FUTURE EXTENSION OF CIRCUIT.
 2. 1" SCH 40 PVC HOMERUN OR TO ADJACENT FIXTURE.
 3. NO RUBBING OR PARGING OF CONCRETE BASE AFTER REMOVAL OF FORM.

3 POLE BASE DETAIL
E1 N.T.S.



4 BOLLARD LIGHT BASE ADJACENT TO WALKWAY DETAIL
E1 N.T.S.



1 SITE PLAN - ELECTRICAL
E1 N.T.S.

GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF ALL NEW SITE POLE LUMINAIRES. E.C. SHALL SUPPLY AND INSTALL ALL LUMINAIRES INDICATED ON CIVIL DRAWINGS.
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED AND COORDINATED WITH ALL UTILITY COMPANIES AND CIVIL DRAWINGS PRIOR TO ANY CONSTRUCTION ON THIS SITE.
3. EACH CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES AND MATERIALS AS REQUIRED, INCLUDING ALL LABOR AND INCIDENTALS NECESSARY FOR A COMPLETE INSTALLATION IN WORKING AND OPERABLE CONDITION.
4. EACH CONTRACTOR SHALL SEAL ALL EXTERIOR WALL PENETRATIONS IN WATER-TIGHT MANNER. CONTRACTOR SHALL INSTALL PIPE SLEEVES IN ALL EXTERIOR WALL FOUNDATION PENETRATIONS. CUTTING AND SLEEVING FOR INSTALLATION SHALL BE COORDINATED WITH GENERAL CONTRACTOR AND ARCHITECT PRIOR TO COMMENCING WORK.
5. ALL SERVICE DUCT CONDUIT BENDS SHALL BE MADE WITH LONG SWEEPING RADIUS ELBOWS.
6. PROVIDE GALVANIZED RIGID CONDUIT FOR EXTERIOR UNDERGROUND TRANSITIONS TO ABOVE GRADE. EXTEND CONDUIT A MINIMUM OF 3' ABOVE GRADE.
7. CONDUCTORS AND CABLES INSTALLED UNDERGROUND SHALL BE SUITABLE FOR WET LOCATIONS.
8. EACH CONTRACTOR SHALL COORDINATE ROUTING AND DEPTH OF RESPECTIVE TRADE WITH OTHER UTILITIES SO AS TO AVOID CONFLICT.
9. EACH CONTRACTOR SHALL PROVIDE FOR ALL TRENCHING/EXCAVATION, BACKFILL, AND PATCHING OF SURFACES TO ORIGINAL CONDITION FOR THE INSTALLATION OF THEIR RESPECTIVE TRADE.
10. ALL BRANCH CIRCUIT WIRING FOR EXTERIOR LIGHTING SHALL BE ACCOMPLISHED WITH MINIMUM #14 AWG COPPER AND ALL RACEWAY FOR UNDERGROUND BRANCH CIRCUITS SHALL BE 1" SCHEDULE 40 PVC MINIMUM.

1. UNDERGROUND SERVICE LATERAL FROM PADMOUNT SERVICE TRANSFORMER TO MAIN SERVICE PANEL REFER TO ONE-LINE DIAGRAM E-1.1 FOR ADDITIONAL INFORMATION.
2. PRIMARY UNDERGROUND PACEWAY AND CONDUCTORS PROVIDED AND INSTALLED BY THE LOCAL ELECTRIC UTILITY.
3. PADMOUNT SERVICE TRANSFORMER PROVIDED AND INSTALLED BY LOCAL ELECTRIC UTILITY. CONSTRUCT CONCRETE TRANSFORMER PAD PER LOCAL ELECTRIC UTILITY REQUIREMENTS.
4. ROUTE BRANCH CIRCUIT THRU DIGITAL F-OM ASTRONOMICAL TIMELOCK WITH PROCELL CONTROL.

PRELIMINARY DEVELOPMENT PLAN SET
NOT FOR CONSTRUCTION



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ARCHITECT	ARC.	CHECKED	CIW
ENGINEER	#D	APPROVED	CIW
NO.	#	REVISION DESCRIPTION	DATE

DRAWING TITLE
ELECTRICAL SITE PLAN

DATE: December 23, 2025
DRAWING: E1
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