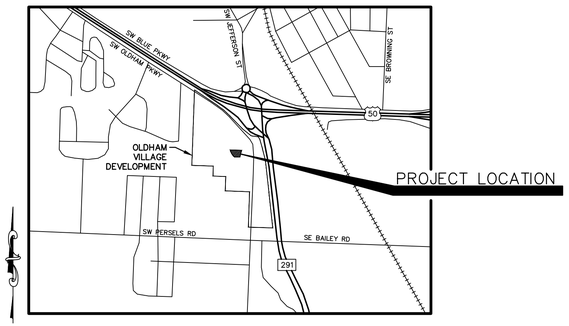
CONSTRUCTION PLANS
FOR
SMALLS SLIDERS
LEE'S SUMMIT, MISSOURI

OCTOBER 2025

LEGEND

W	WATER LINE PER OLDHAM VILLAGE PHASE I PLANS
S	SANITARY SEWER LINE PER OLDHAM VILLAGE PHASE I PLANS
STM	STORM SEWER LINE PER OLDHAM VILLAGE PHASE I PLANS
1027	1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS
W	WATER METER
W	WATER LINE
S	SANITARY SEWER LINE
E	ELECTRIC METER
E	ELECTRIC LINE
G	GAS METER
G	GAS LINE
1027	FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
	LIGHT POLE



NOT TO SCALE

LOCATION MAP
CITY OF LEE'S SUMMIT, MISSOURI

PROPOSED LEGAL DESCRIPTION:
LOT 7 OF OLDHAM VILLAGE FIRST PLAT, A SUBDIVISION LOCATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON, STATE OF MISSOURI.

LAND USE SCHEDULE:
A) TOTAL FLOOR AREA: 930 SF

B) NUMBER OF DWELLING UNITS: N/A

C) LAND AREA: 38,263 SF/0.88 ACRES

D) PARKING SPACES
REQUIRED: 12 SPACES
(BASED ON 10 EMPLOYEES MAX. PER SHIFT)
PROVIDED: 18 REGULAR, 1 ADA

E) IMPERVIOUS COVERAGE: 0.81 ACRES (SEE STORM WATER REPORT)

F) FLOOR AREA RATIO: 0.0243 (930/38272=0.0243)

G) DWELLING UNITS PER ACRE: N/A

H) LAND USE: COMMERCIAL – DRIVE THRU RESTAURANT

DEVELOPER:
PAXVESTA, LLC
7280 NW 87TH TERRACE, SUIT C–210
KANSAS CITY, MISSOURI 64153
MARK PARRETTA
(816) 679–0123
mparretta@genlumis.com

OWNER:
OLDHAM INVESTORS, LLC
7200 W. 132ND STREET, SUITE 150
OVERLAND PARK, KANSAS 66213
DAVE OLSON
(913) 662–2630
daveolson@monarchprojectllc.com

ENGINEER:
KAW VALLEY ENGINEERING, INC.
2319 N. JACKSON STREET
JUNCTION CITY, KANSAS 66441
RANDY PURDUE, PE
(785) 762–5040
purdue@kveng.com
JAYCE PENNER
(785) 762–5040
penner@kveng.com

THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

UNDERGROUND UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE DEPICTED FROM FIELD SURVEY INFORMATION OF ONE–CALL LOCATED UTILITIES AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

CAUTION – NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL, CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

ELECTRIC SERVICE
EVERGY
MARK PEARSON
(816) 347–4335
mark.pearson@evergy.com

GAS SERVICE
SPIRE
KATIE DARNELL
(816) 969–2298
katie.darnell@spireenergy.com

COMMUNICATION SERVICE
GOOGLE FIBER
(660)886–0336

AT&T DISTRIBUTION
(314)275–0020

WATER SERVICE
CITY OF LEE'S SUMMIT WATER UTILITIES
(816) 969–1900

AFTER HOURS EMERGENCY
(816) 969–7407

SHEET INDEX:

C–1 TITLE SHEET
C–2 EXISTING CONDITIONS PLAN
C–3 SITE PLAN
C–4 DIMENSION PLAN
C–5 GRADING PLAN
C–5A GRADING PLAN
C–5B DRAINAGE AREA MAP
C–6 STORM SEWER LINE A & B PLAN & PROFILE
C–7 EROSION CONTROL PLAN
C–8 UTILITY PLAN
C–9 SANITARY SEWER SERVICE LINE PLAN & PROFILE
C–10 DETAIL SHEET
C–11 DETAIL SHEET
C–12 DETAIL SHEET
C–13 DETAIL SHEET
L–1 LANDSCAPE PLAN

ELEVATIONS SHOWN IN THESE PLANS ARE BASED ON OLDHAM VILLAGE CONSTRUCTION PLANS PREPARED BY ENGINEERING SOLUTIONS PROVIDED TO KVE BY MONARCH ACQUISITIONS, LLC.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
2	12–12–25	REVISED PER CITY COMMENTS	RCP	JP	RCP
1	11–17–25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10–16–25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C. PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
12/12/2025

RANDALL C PURDUE
ENGINEER
MO # PE–2022026740

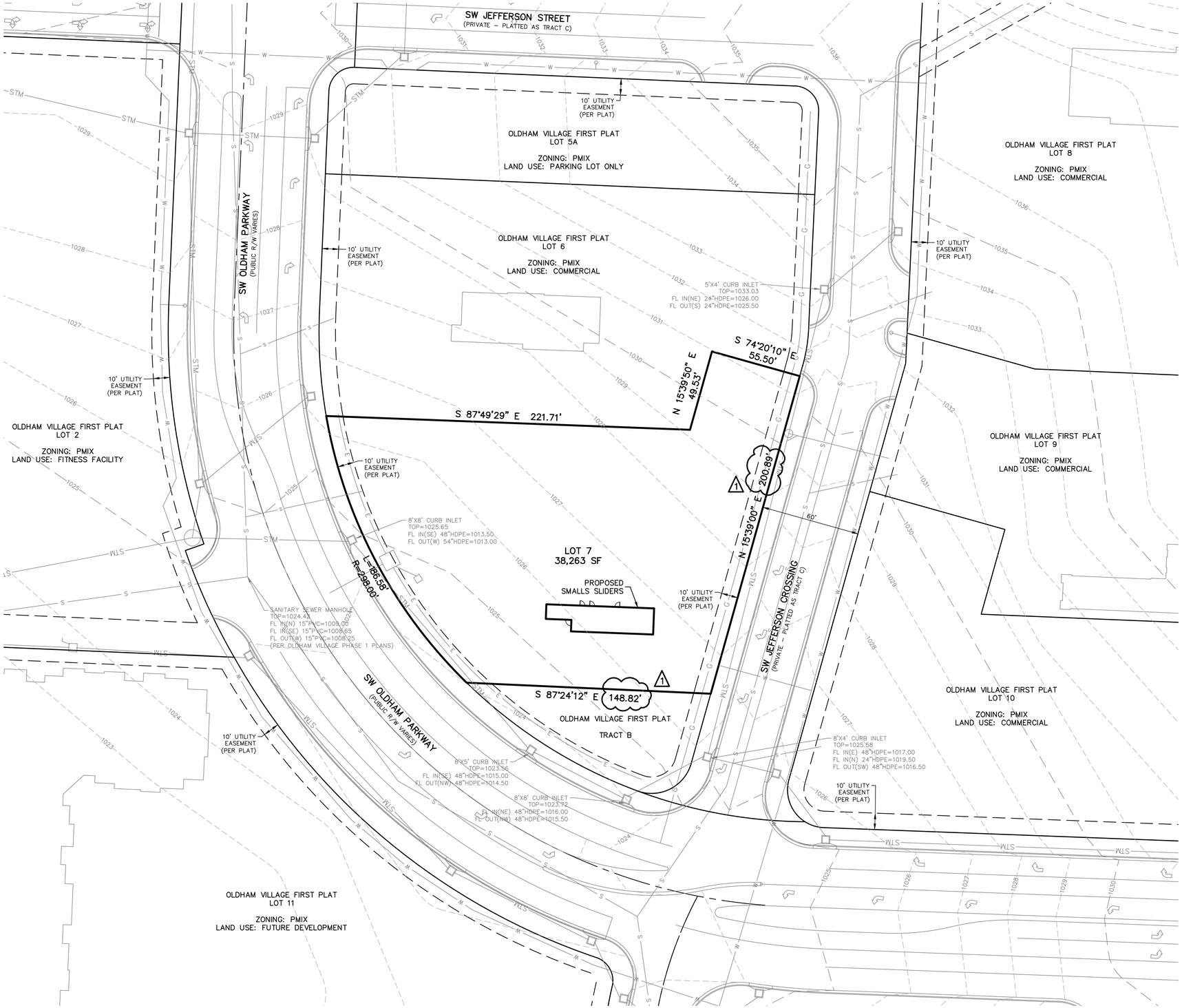
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762–5040
je@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI. STATE CERTIFICATE OF AUTHORITY # 2000542: EXPIRES 12/31/25

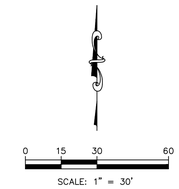
SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
TITLE SHEET

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009TS
SHEET	C–1
REV	2

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.





FLOOD STATEMENT:
THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN "OTHER AREAS ZONE X" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP NUMBER 29095C0419G) EFFECTIVE DATE JANUARY 20, 2017.

NOTES:
1. EXISTING CONDITIONS ARE SHOWN PER OLDHAM VILLAGE PHASE I PLANS.

2. THERE IS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE LOT 7 BOUNDARIES, AS IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," EDWARD ALTON MAY JR., P.E., 1995.

3. THIS SMALLS SLIDERS PROJECT SHALL UTILIZE THE DETENTION BASIN FOR THE OLDHAM VILLAGE PHASE I DEVELOPMENT LOCATED OFF-SITE.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C. PURDUE
NUMBER PE-2002026740
11/17/2025
PROFESSIONAL ENGINEER

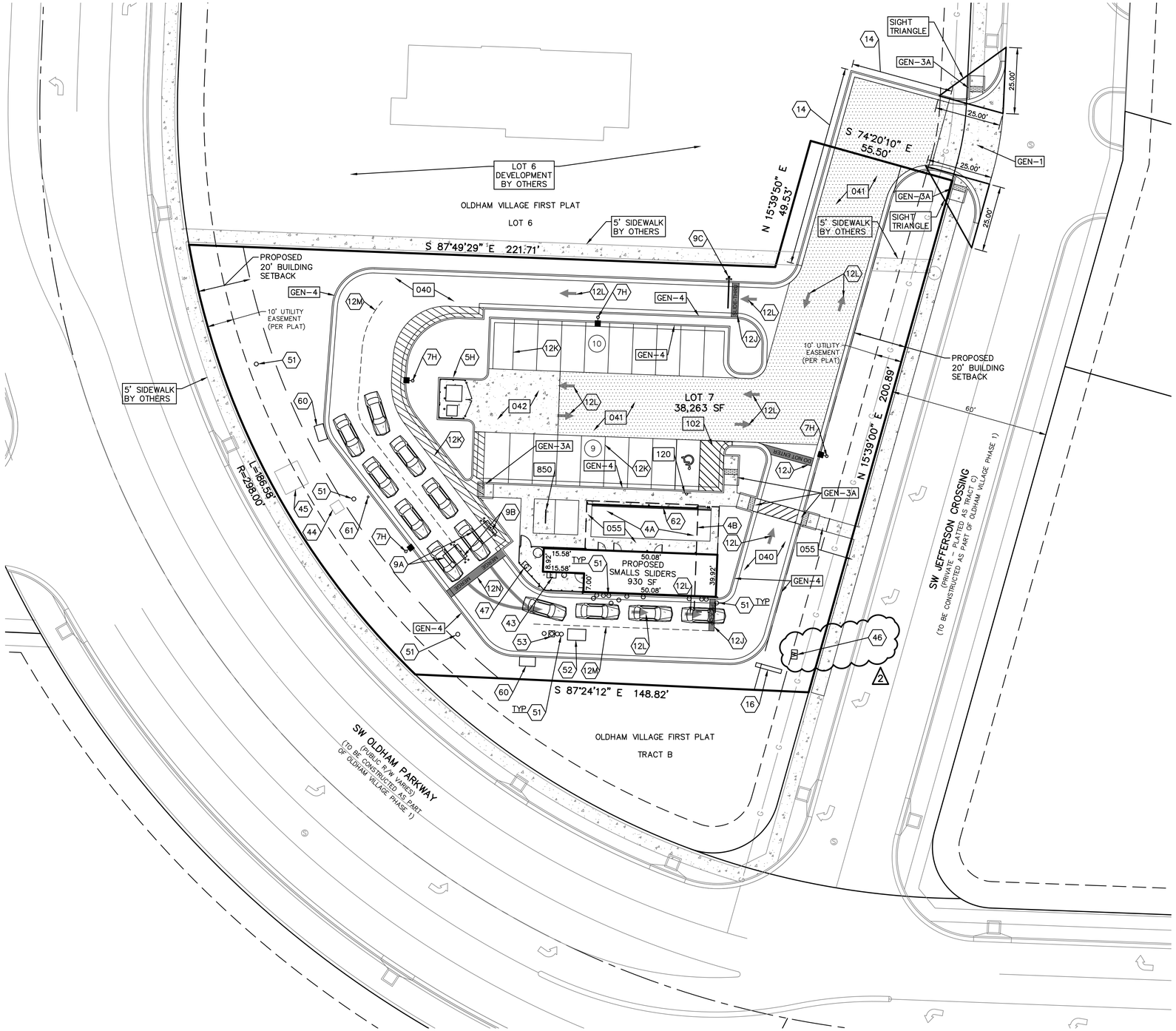
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
EXISTING CONDITIONS PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009EC
SHEET	C-2
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



SCALE: 1" = 20'

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.

2. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.

3. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.

4. ONE IN EIGHT ACCESSIBLE PARKING STALLS MUST HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 102 AND 120.

5. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

6. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS AND ENTRANCES SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.

7. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.

8. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE APRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

DETAILS - SEE DETAIL SHEET FOR THE FOLLOWING DETAILS

040	REGULAR DUTY PAVING (CONCRETE OR ASPHALT)
041	HEAVY DUTY ASPHALT PAVING
042	HEAVY DUTY CONCRETE PAVING
055	CONCRETE SIDEWALK
102	ACCESSIBLE STRIPING
120	ACCESSIBLE PARKING SIGNAGE
850	BIKE RACK
GEN-1	DRIVEWAY DETAIL
GEN-3A	CITY OF LEE'S SUMMIT ADA RAMP DETAIL
GEN-4	CG-1 CONCRETE CURB AND GUTTER

NOTES:

4A	OUTDOOR DINING AREA
4B	OUTDOOR DINING CANOPY
5H	TRASH ENCLOSURE (SEE ARCH PLANS)
7H	LIGHT POLE (SEE PHOTOMETRIC PLAN)
9A	MENU BOARD CANOPY (SEE ARCH PLANS)
9B	DRIVE-THRU MENU BOARD (SEE ARCH PLANS)
9C	DRIVE-THRU CLEARANCE SIGN (SEE ARCH PLANS)
12J	STOP BAR
12K	PARKING LOT STRIPING
12L	TRAFFIC ARROW
12M	DASHED DRIVE-THRU STRIPING
12N	MERGE ARROW STRIPING
14	TEMPORARY ASPHALT CURB
16	MONUMENT SIGN
43	ELECTRIC METER (SEE UTILITY PLAN)
44	SWITCH GEAR (SEE UTILITY PLAN)
45	TRANSFORMER PAD (SEE UTILITY PLAN)
46	WATER METER (SEE UTILITY PLAN)
47	GAS METER (SEE UTILITY PLAN)
51	CLEAN-OUT (SEE UTILITY PLAN)
52	GREASE INTERCEPTOR (SEE UTILITY PLAN)
53	SAMPLING WELL (SEE UTILITY PLAN)
60	CURB INLET (SEE GRADING PLAN)
61	NYLOPLAST STRUCTURE (SEE GRADING PLAN)
62	TRENCH DRAIN (SEE GRADING PLAN)

NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
2	12-12-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C. PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
12/12/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jp@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING

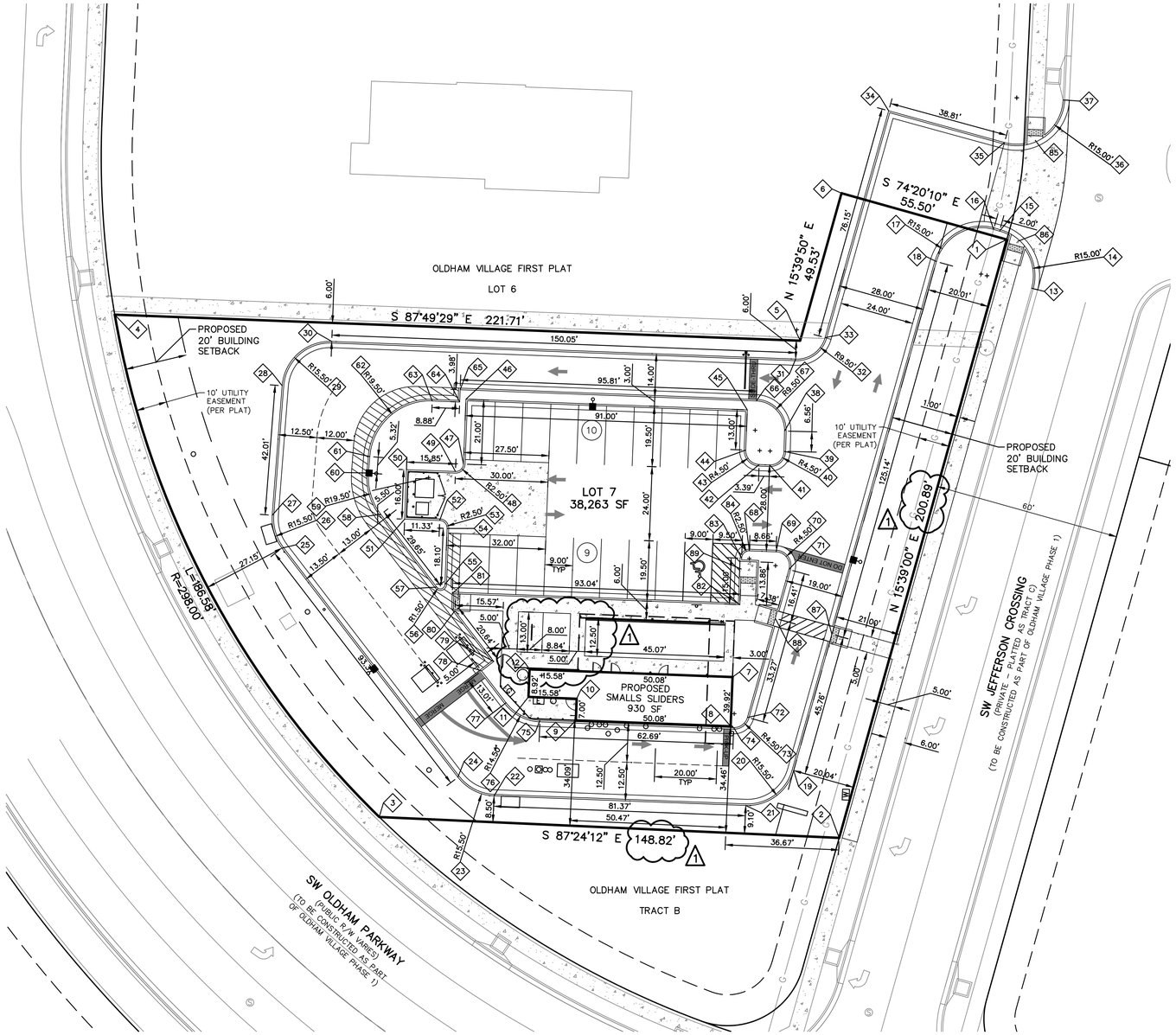
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI STATE CERTIFICATE OF AUTHORITY # 2006542. EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
SITE PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009SP
SHEET	C-3
REV	2

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
1	995620.26	2823452.03	BOU
2	995426.81	2823397.84	BOU
3	995433.56	2823249.17	BOU
4	995595.97	2823163.67	BOU
5	995587.55	2823385.22	BOU
6	995635.24	2823398.59	BOU
7	995478.80	2823363.36	BLDG
8	995462.90	2823362.76	BLDG
9	995464.80	2823312.71	BLDG
10	995471.79	2823312.98	BLDG
11	995472.38	2823297.41	BLDG
12	995481.29	2823297.75	BLDG
13	995604.50	2823460.07	ER
14	995608.55	2823445.63	RP
15	995622.99	2823449.68	ER
16	995623.53	2823447.75	ER
17	995609.09	2823443.70	RP
18	995613.14	2823429.26	ER
19	995448.59	2823383.12	ER
20	995452.78	2823368.20	RP
21	995437.29	2823367.61	ER
22	995440.38	2823286.29	ER
23	995455.87	2823286.88	RP
24	995446.43	2823274.59	ER
25	995520.48	2823217.72	ER
26	995529.92	2823230.02	RP
27	995531.11	2823214.56	ER
28	995573.00	2823217.78	ER
29	995571.81	2823233.24	RP
30	995587.30	2823233.83	ER
31	995581.60	2823383.77	ER
32	995591.09	2823384.13	RP
33	995588.53	2823393.28	ER
34	995661.86	2823413.84	PI
35	995651.62	2823451.27	ER
36	995666.09	2823455.23	RP
37	995665.40	2823470.22	ER
38	995558.34	2823380.19	ER
39	995551.78	2823380.03	ER
40	995551.89	2823375.53	RP
41	995547.40	2823375.36	ER
42	995547.53	2823371.97	ER
43	995552.02	2823372.14	RP
44	995552.19	2823367.64	ER
45	995565.18	2823368.14	PI
46	995568.64	2823277.20	PI
47	995547.65	2823276.41	ER
48	995547.75	2823273.91	RP
49	995545.25	2823273.81	ER
50	995545.85	2823257.97	PI

COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
51	995529.86	2823257.39	PI
52	995529.43	2823268.71	ER
53	995526.93	2823268.61	RP
54	995526.84	2823271.11	ER
55	995508.75	2823270.42	ER
56	995508.81	2823268.93	RP
57	995507.89	2823267.74	ER
58	995531.41	2823249.68	ER
59	995543.28	2823265.14	RP
60	995544.78	2823245.70	ER
61	995550.08	2823246.11	ER
62	995548.58	2823265.55	RP
63	995568.07	2823266.29	ER
64	995567.73	2823275.17	PI
65	995571.71	2823275.32	PI
66	995568.07	2823371.06	ER
67	995558.58	2823370.70	RP
68	995519.62	2823368.79	ER
69	995519.30	2823377.45	ER
70	995514.80	2823377.28	RP
71	995513.59	2823381.61	ER
72	995465.74	2823368.25	ER
73	995466.95	2823363.91	RP
74	995462.46	2823363.74	ER
75	995464.83	2823301.10	ER
76	995479.32	2823301.65	RP
77	995470.49	2823290.15	ER
78	995480.81	2823282.23	PI
79	995483.86	2823286.19	PI
80	995500.22	2823273.62	PI
81	995505.76	2823272.77	EC
82	995502.23	2823365.75	PI
83	995517.22	2823366.31	ER
84	995517.12	2823368.81	RP
85	995652.34	2823461.22	RAMP
86	995619.72	2823455.63	RAMP
87	995492.65	2823395.47	RAMP
88	995497.78	2823377.18	RAMP
89	995513.72	2823366.18	RAMP

BOU = BOUNDARY CORNER
BLDG = BUILDING CORNER
RP = RADIUS POINT
PI = POINT OF INTERSECTION
ER = END RADIUS
EC = END OF CURB

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

0 10 20 40
SCALE: 1" = 20'

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

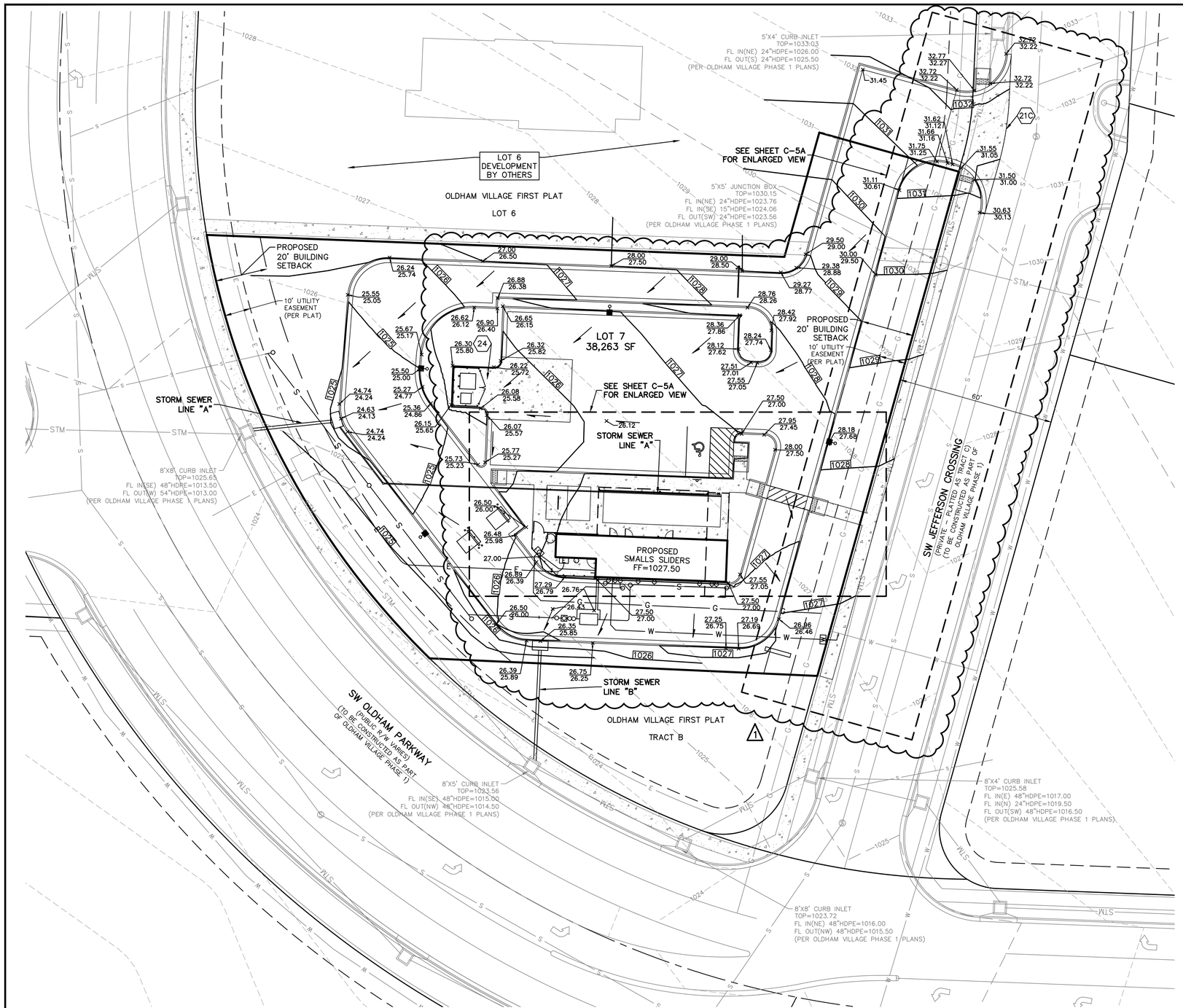
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000542. EXPIRES 12/31/25

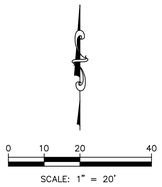
SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
DIMENSION PLAN

PROJ. NO. A25D2009
DESIGNER RCP
DRAWN BY JP
CFN 2009DIM
SHEET C-4
REV 1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.





LEGEND (PROPOSED)

29.95 X	SPOT ELEVATION (ADD 1000), TOP OF PAVEMENT
31.50 / 31.00	TOP OF CURB (ADD 1000) FLOWLINE OF CURB (ADD 1000)
	FLOW DIRECTION
1027	FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
1027	1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS

NOTES:

21C MATCH PAVEMENT ELEVATIONS CONSTRUCTED W/ OLDHAM VILLAGE DEVELOPMENT PHASE I

24 GRADE TRASH ENCLOSURE TO DRAIN

GRADING NOTES:

1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.

2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.

3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 10 AND 25, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO BRINGING ON SITE.

4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS AND THE GEOTECHNICAL REPORT DATED MAY 30, 2025 BY KAW VALLEY ENGINEERING. LVC SHALL BE PLACE 12" BELOW THE BUILDING SLAB AND 8" BELOW PAVEMENT. A MAJORITY OF THE ON-SITE SOILS DO NOT MEET THE REQUIRELMENTS OF LVC. FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.

5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.

6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE ENGINEER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.

9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

11. CONTRACTOR SHALL USE SILT FENCE, STRAW WATTLES OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.

12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

15. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED STANDARD SITEWORK SPECIFICATIONS.

16. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.

17. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACT DOCUMENTS.

SEE SHEET C-6 FOR STORM SEWER PLAN & PROFILES

IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES HEREON AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
11/17/2025
PROFESSIONAL ENGINEER

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

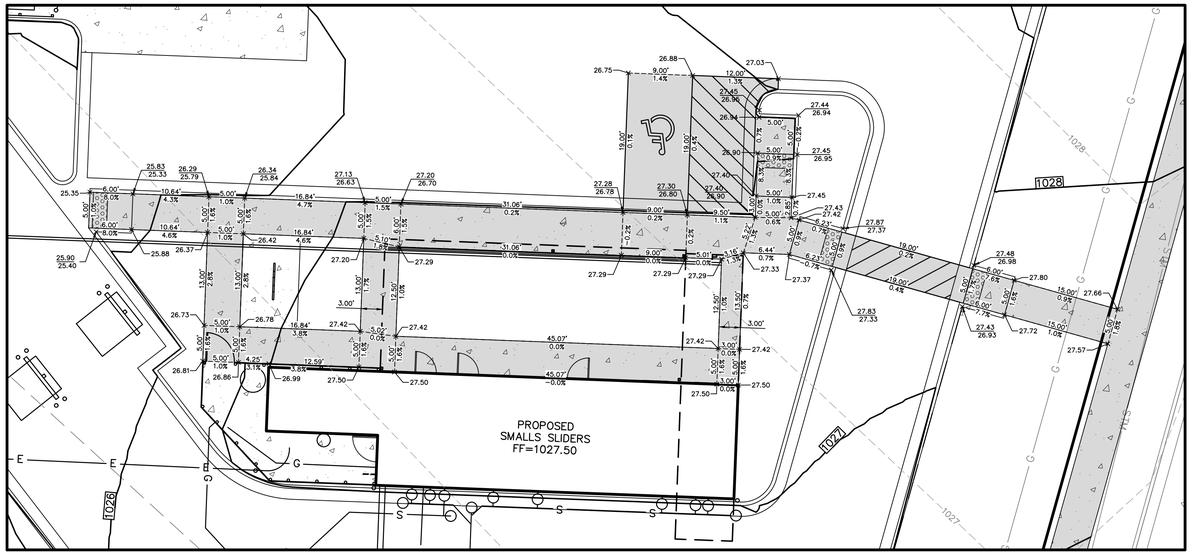
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES UNDER KANSAS STATE CERTIFICATE OF AUTHORITY # 000542. EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

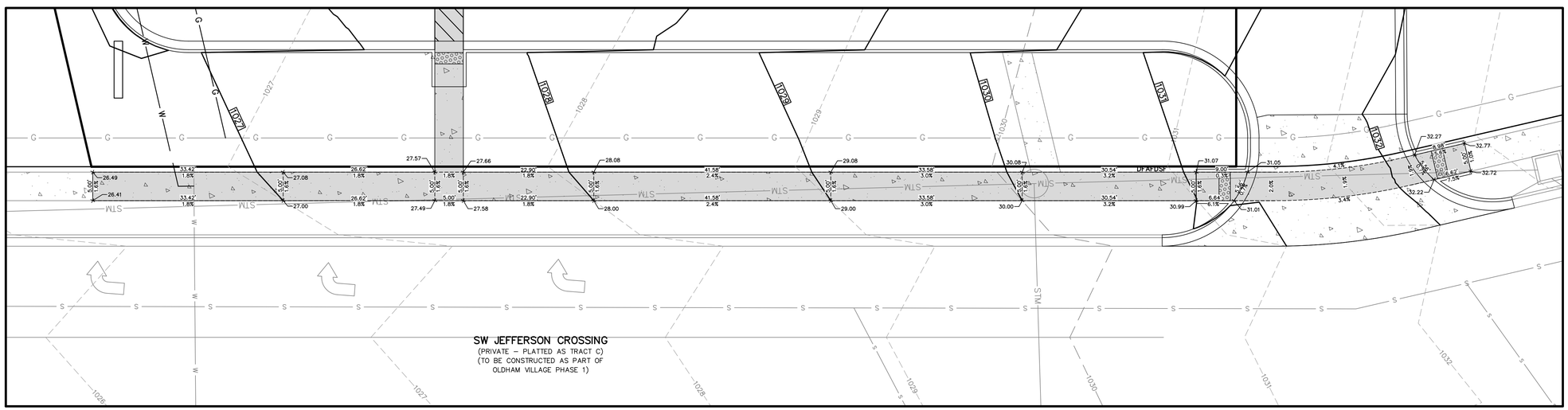
CIVIL CONSTRUCTION PLANS
GRADING PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009GP
SHEET	C-5
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



ENLARGED VIEW 2 – ADA ROUTE



ENLARGED VIEW 1 – ADA ROUTE

SCALE: 1" = 20'

LEGEND (PROPOSED)

- 29.95 X — SPOT ELEVATION (ADD 1000), TOP OF PAVEMENT
- 31.50 / 31.00 — TOP OF CURB (ADD 1000) / FLOWLINE OF CURB (ADD 1000)
- FLOW DIRECTION
- 1027 — FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
- 1027 — 1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS
- ADA PATH

SHEET ADDED 1

SCALE: 1" = 20'

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CLIENT COMMENTS	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

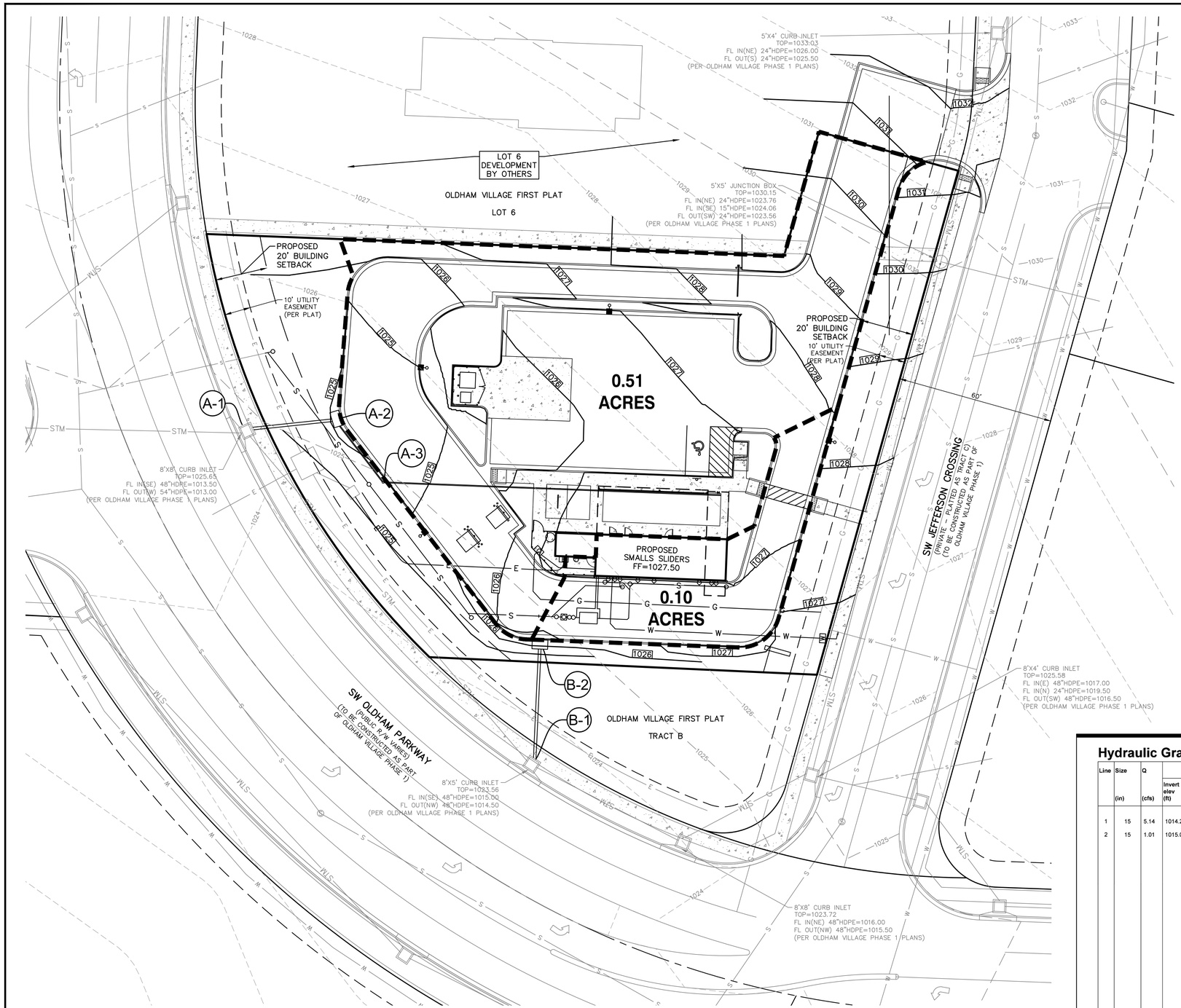
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI. STATE CERTIFICATE OF AUTHORITY # 2006042. EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
GRADING PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009GP
SHEET	C-5A
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



0 10 20 40
SCALE: 1" = 20'

LEGEND (PROPOSED)

DRAINAGE AREA BOUNDARY

(A-2) STRUCTURE IDENTIFIER

Hydraulic Grade Line Computations

Page 1

Line	Size (in)	Q (cfs)	Downstream Invert elev (ft)	Downstream HGL elev (ft)	Downstream Depth (ft)	Downstream Area (sqft)	Downstream Vel (ft/s)	Downstream Vel head (ft)	Downstream EGL elev (ft)	Downstream Sf (%)	Len (ft)	Upstream Invert elev (ft)	Upstream HGL elev (ft)	Upstream Depth (ft)	Upstream Area (sqft)	Upstream Vel (ft/s)	Upstream Vel head (ft)	Upstream EGL elev (ft)	Upstream Sf (%)	Check Ave Sf (%)	Check Enrgy loss (ft)	JL coeff (K)	Minor loss (ft)
1	15	5.14	1014.25	1014.89	0.64	0.63	8.14	0.44	1015.33	0.000	32.000	1014.89	1015.81	0.92**	0.97	5.32	0.44	1016.25	0.000	0.000	n/a	1.00	0.44
2	15	1.01	1015.00	1015.35	0.35	0.28	3.58	0.14	1015.49	0.000	43.000	1015.86	1016.25	0.39**	0.33	3.04	0.14	1016.40	0.000	0.000	n/a	1.00	0.14

Project File: storm sewer.stm | Number of lines: 2 | Run Date: 5/15/2025

Notes: ; ** Critical depth. ; c = cir e = ellip b = box

Storm Sewers v2021.00

1 SHEET ADDED

REV	DATE	DESCRIPTION	RCP	JP	RCP
1	11-17-25	REVISED PER CLIENT COMMENTS	DSN	DWN	CHK

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

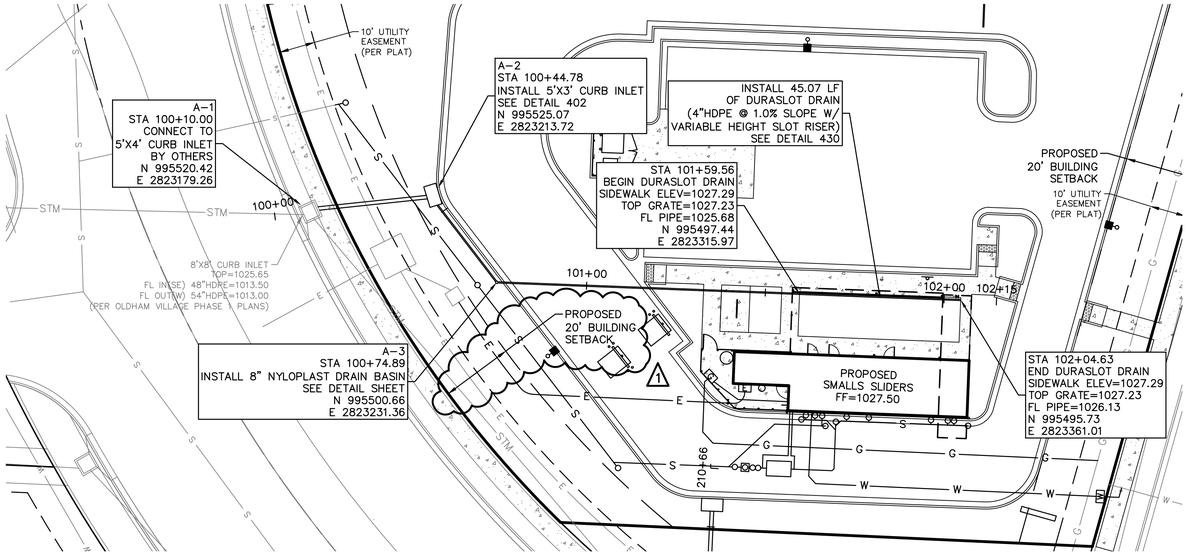
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 2006042.
EXPIRES 12/31/25

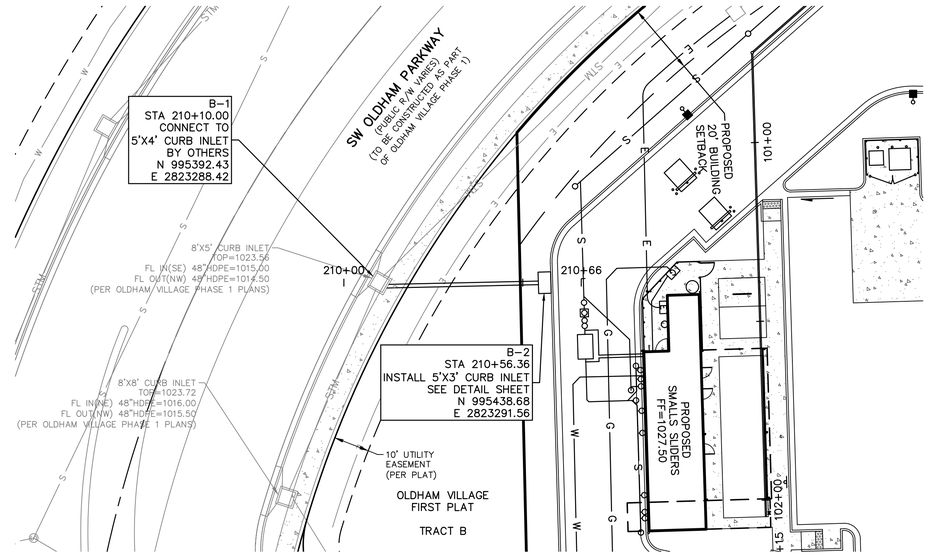
SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
DRAINAGE AREA MAP

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009DAM
SHEET	C-5B
REV	1

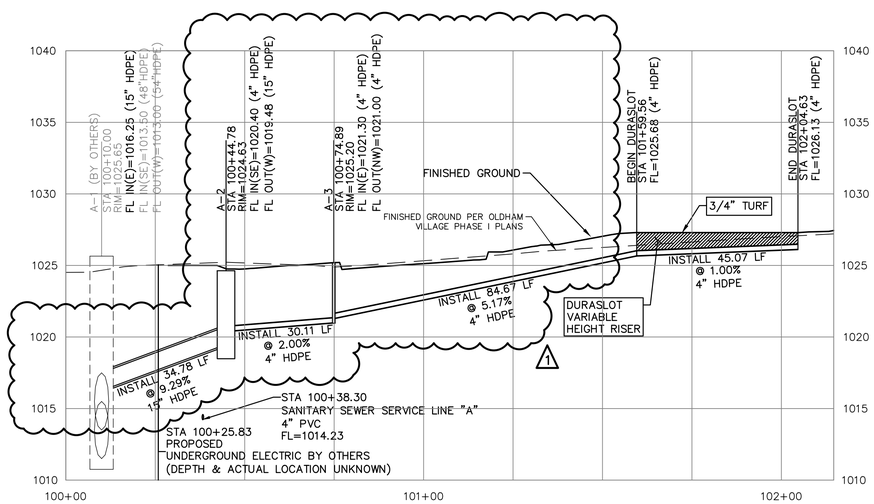
THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



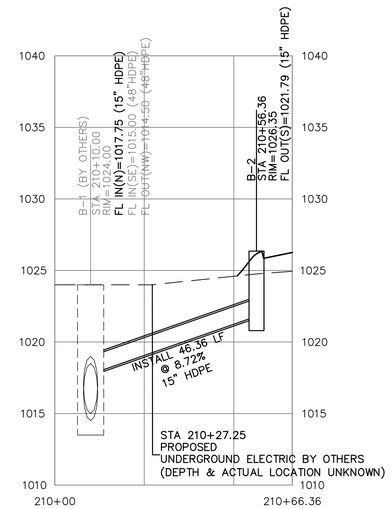


SCALE:
PLAN: 1" = 20'
PROFILE: 1" = 20' HORIZ.
1" = 5' VERT.

SCALE:
PLAN: 1" = 20'
PROFILE: 1" = 20' HORIZ.
1" = 5' VERT.



STORM SEWER LINE "A"



STORM SEWER LINE "B"

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

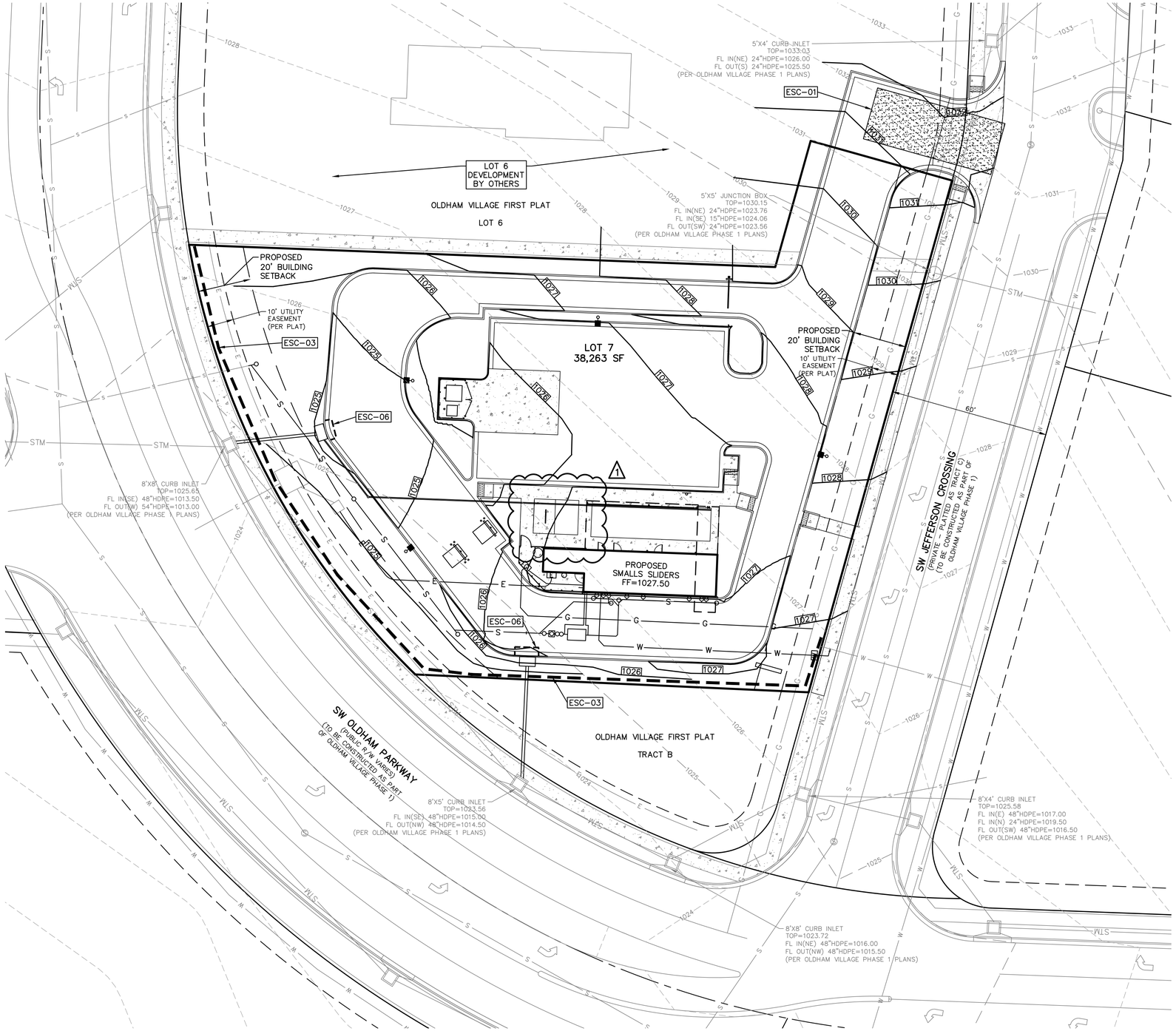
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI. STATE CERTIFICATE OF AUTHORITY # 2000542. EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
STORM SEWER LINE A & B PLAN & PROFILE

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009DPP
SHEET	C-6
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



0 10 20 40
SCALE: 1" = 20'

GENERAL NOTES:

1. PROPERTY LINE IS LIMITS OF CONSTRUCTION EXCEPT AS SHOWN.
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS.
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION.
4. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
5. A SEDIMENTATION BARRIER IS TO BE INSTALLED AS SHOWN.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE EITHER BLOCK AND GRAVEL, OR SECURED STRAW BALES, OR SILT FENCE.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS.
10. RIPRAP IS TO BE INSTALLED AT AREAS OF CONCENTRATED FLOW (I.E. CULVERT OUTLETS).
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY.
12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
13. TEMPORARY SEDIMENT FENCE/STRAW BALES TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
14. MUD AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL IF SILT IS PRESENT.
15. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES.
16. INSTALL CONSTRUCTION ENTRANCE AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING THE SITE AND AS SHOWN ON PLANS.
17. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED USING MULCH OR EQUIVALENT STABILIZING BMP, SODDED, OR LANDSCAPED AS SHOWN ON THE LANDSCAPE PLAN WITHIN 14 DAYS.
18. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
19. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.
20. ROCK LINING (RIPRAP) SHALL BE DURABLE STONE CONTAINING A COMBINED TOTAL OF NOT MORE THAN 10 PERCENT OF EARTH, SAND, SHALE AND NON-DURABLE ROCK. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A MINIMUM WEIGHT OF 150 POUNDS OR MORE PER CUBIC FOOT.
21. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING ADJACENT TO OR DOWNSTREAM FROM PROPERTY BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
22. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.
23. ALL FUELING FACILITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SPILL PREVENTION, CONTROL AND COUNTER MEASURES.
24. EROSION CONTROL IS TO BE PLACED IN PHASING AS CONSTRUCTION PROGRESSES.
25. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED, CHUTE ETC. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.

DETAILS - SEE DETAIL SHEETS FOR THE FOLLOWING DETAILS

ESC-01 CONSTRUCTION ENTRANCE
ESC-03 SILT FENCE
ESC-06 CURB INLET PROTECTION

EROSION & PROPOSED IMPROVEMENTS LEGEND:

1218 — 1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS
1027 — FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
SILT FENCE
INLET PROTECTION

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

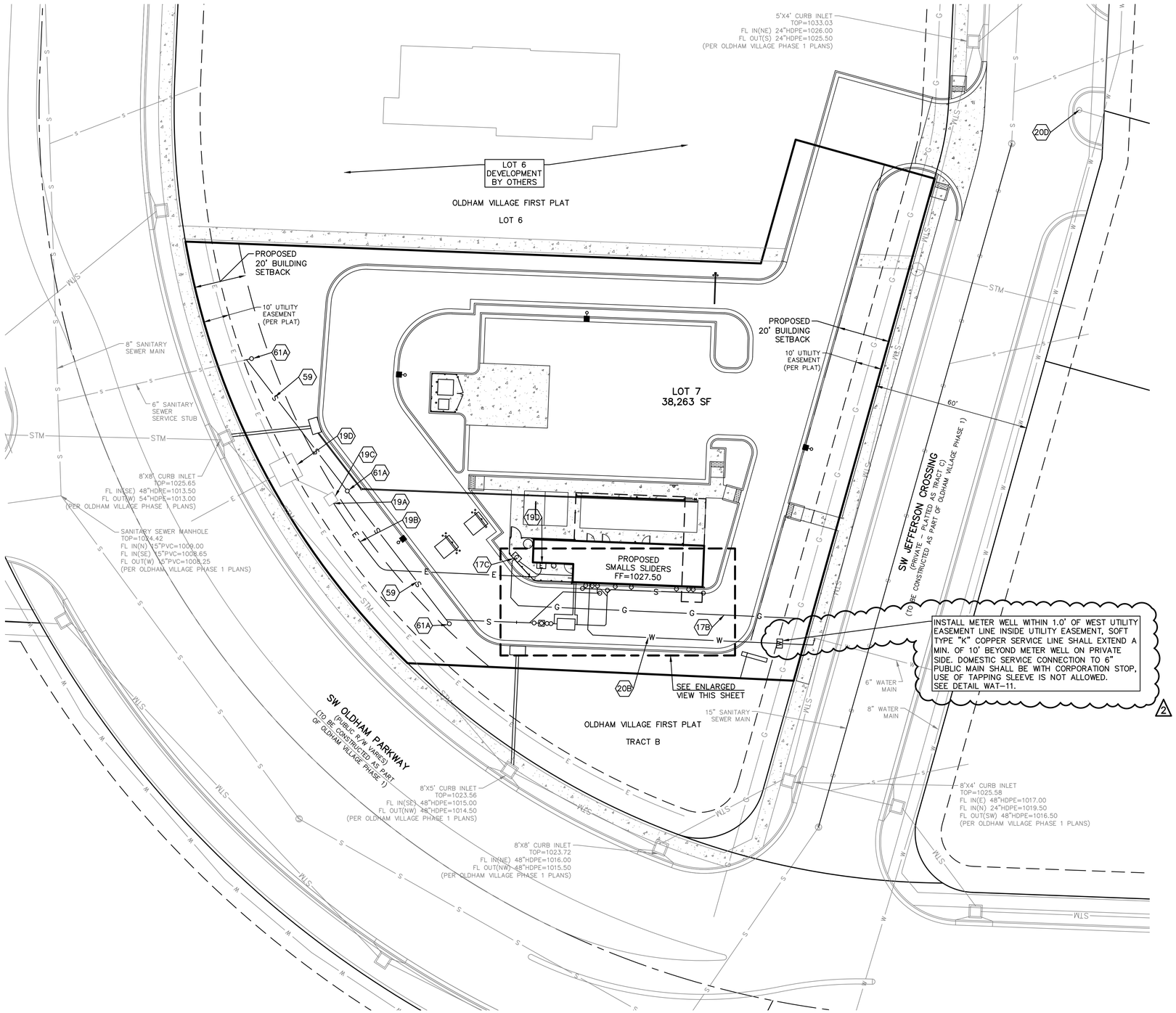
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
p@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 2008542.
EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
EROSION CONTROL PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009ECP
SHEET	C-7
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



0 10 20 40

SCALE: 1" = 20'

UTILITY NOTES:

1. CONSTRUCTION SHALL NOT START ON ANY PUBLIC WATER OR SANITARY SEWER SYSTEM UNTIL WRITTEN APPROVAL OR PERMITS HAVE BEEN RECEIVED FROM THE OWNER.

2. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

3. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. **KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.**

4. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF THE CITY WATER DEPARTMENT. CONTRACTOR SHALL NOTIFY THE CITY OF LEE'S SUMMIT WATER DEPARTMENT 24 HOURS MINIMUM, PRIOR TO ANY TESTING.

5. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND MDNR AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.

6. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.

7. CONTRACTOR TO INSTALL TRACING WIRE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.

8. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.

9. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".

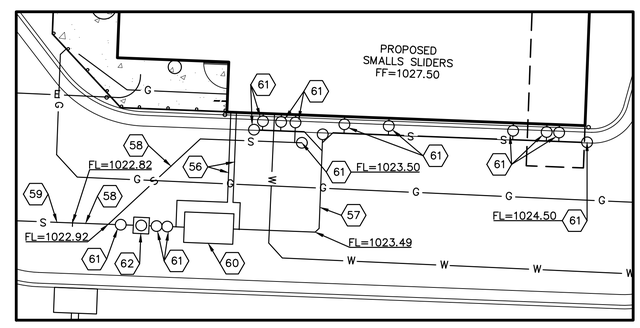
10. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER (MAINS AND SERVICE) AND GRAVITY SANITARY SEWER (MAINS AND SERVICE) LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A GRAVITY SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE GRAVITY SANITARY SEWER LINE. WHERE A WATER LINE (SERVICE LINE) CROSSES A NEW (EXISTING) FORCE MAIN (FORCE SERVICE LINE), THE WATER LINE (SERVICE LINE) MUST ALWAYS CROSS OVER THE FORCE MAIN (FORCE SERVICE LINE) WITH A MINIMUM VERTICAL SEPARATION DISTANCE OF 2 FEET. FORCE SEWER LINE (FORCE SERVICE LINE) JOINTS ARE TO BE LOCATED AS FAR AS POSSIBLE FROM THE INTERSECTED WATER LINE.

DETAILS – SEE DETAIL SHEETS FOR THE FOLLOWING DETAILS

206 TRENCH & BEDDING DETAILS
WAT-11 WATER SERVICE CONNECTION WITH METER WELL

NOTES:

17A POINT OF CONNECTION – GAS SERVICE (COORDINATE W/ SPIRE)
17B GAS SERVICE (BY SPIRE)
17C GAS METER
19A POINT OF CONNECTION – ELECTRIC SERVICE (COORDINATE W/ EVERGY)
19B UNDERGROUND POWER PER EVERGY
19C SWITCHGEAR BY EVERGY
19D TRANSFORMER BY EVERGY
19E ELECTRIC METER
20B 1" DOMESTIC TYPE "K" COPPER WATER LINE INSTALLED BY CONTRACTOR
20D PUBLIC FIRE HYDRANT PER OLDHAM VILLAGE PHASE I PLANS
56 2" VENT PIPING (SEE MEP PLANS)
57 4" GREASE WASTE SERVICE LINE (SEE MEP PLANS)
58 4" SANITARY SEWER SERVICE LINE (SEE MEP PLANS)
59 4" SANITARY SEWER SERVICE LINE (SEE SANITARY SEWER SERVICE LINE PLAN & PROFILE)
60 GREASE INTERCEPTOR (SEE MEP PLANS)
61 CLEAN-OUT (SEE MEP PLANS)
61A CLEAN-OUT (SEE SANITARY SEWER SERVICE LINE PLAN & PROFILE)
62 SAMPLING PORT (SEE MEP PLANS)



ENLARGED VIEW
SCALE: 1" = 10'

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

WATER AND SEWER MAINS ARE TO BE CONSTRUCTED AS PART OF OLDHAM VILLAGE PHASE I.

SEE SHEET C-9 FOR SANITARY SEWER SERVICE LINE PLAN & PROFILE

REV	DATE	DESCRIPTION	DSN	DWN	CHK
2	12-12-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C. PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
12/12/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

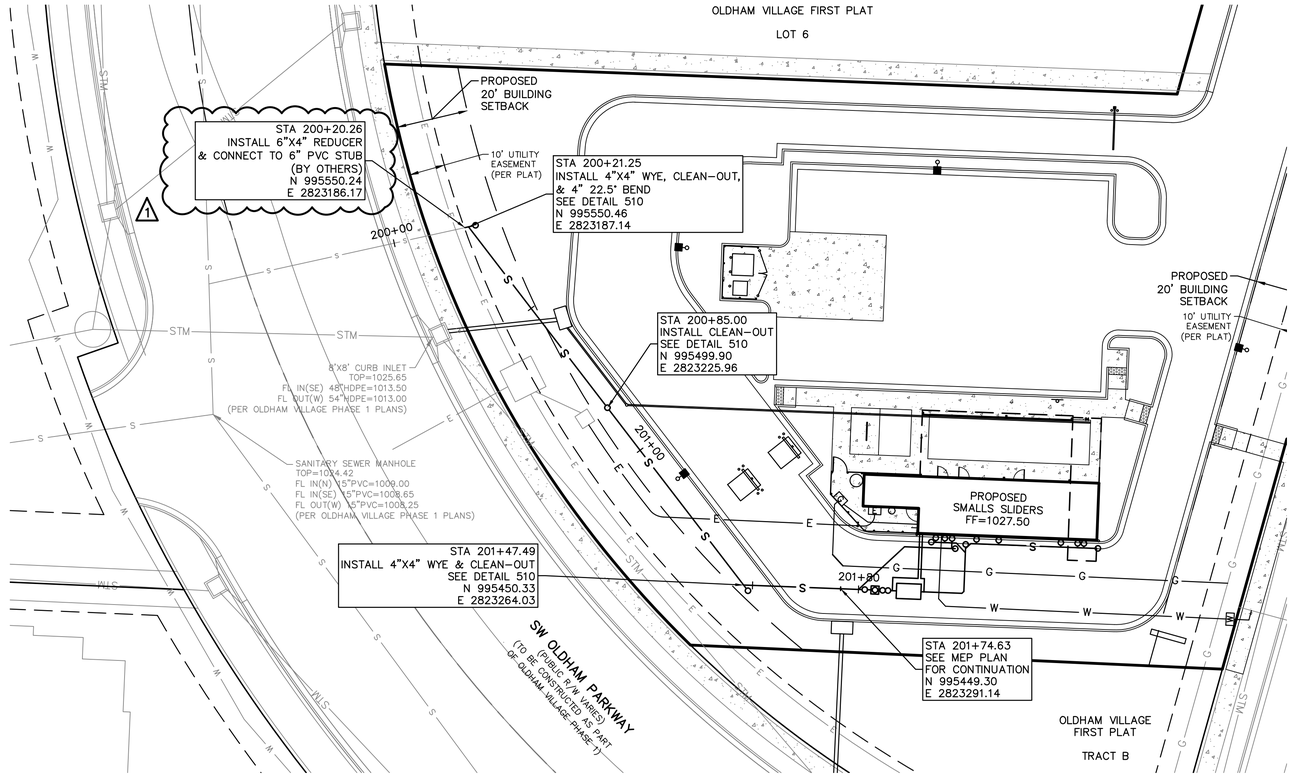
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jp@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI STATE CERTIFICATE OF AUTHORITY # 2008512.
EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

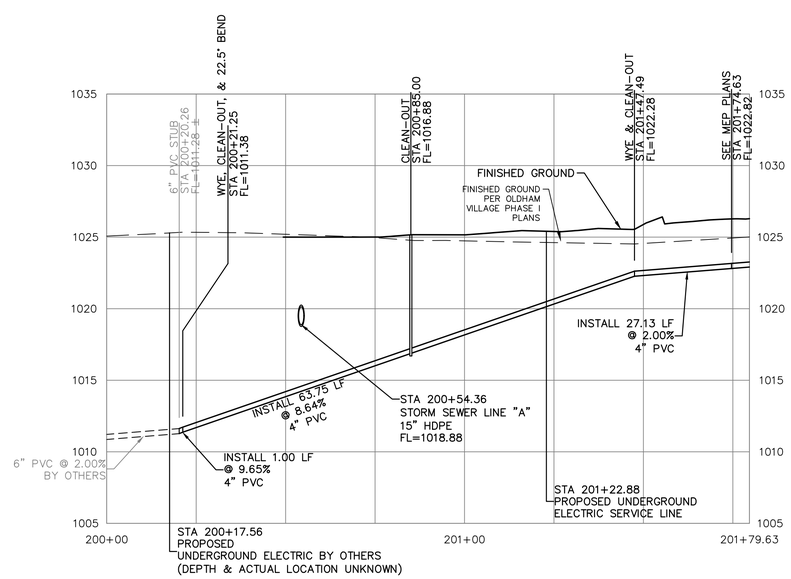
CIVIL CONSTRUCTION PLANS
UTILITY PLAN

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009UP
SHEET	C-8
REV	2

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



SCALE:
PLAN: 1" = 20'
PROFILE: 1" = 20' HORIZ.
1" = 5' VERT.



SANITARY SEWER SERVICE LINE

NOTES:

1. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
11/17/2025
PROFESSIONAL ENGINEER

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

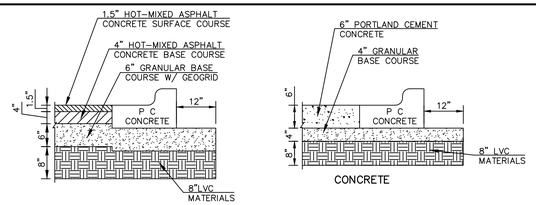
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 2008542.
EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON STREET
LEE'S SUMMIT, MISSOURI

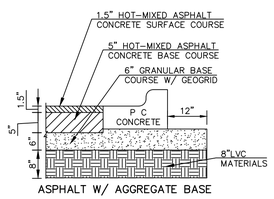
CIVIL CONSTRUCTION PLANS
SANITARY SEWER SERVICE LINE PLAN & PROFILE

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009SPP
SHEET	C-9
REV	1

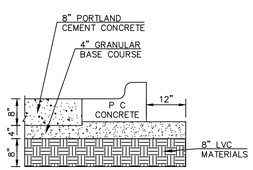
THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



LIGHT TRAFFIC PAVEMENT 040



HEAVY TRAFFIC ASPHALT PAVEMENT 041

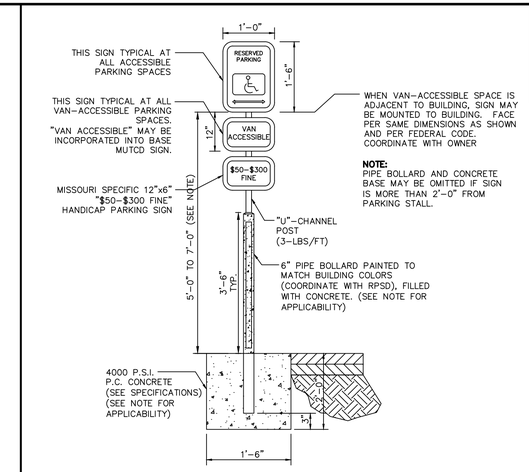


HEAVY TRAFFIC CONCRETE PAVEMENT 042

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH KCMMB ASPHALT MATERIAL SPECIFICATION, CURRENT EDITION.

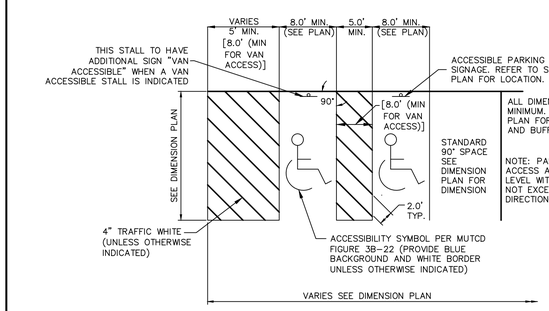
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR ±2% AND SHALL MEET OR EXCEED KCMMB SPECIFICATIONS.

3. HEAVY DUTY CONCRETE IS AN OPTIONAL PAVEMENT FOR DETAIL 041 HEAVY DUTY ASPHALT. WHEN PLANS SPECIFY DETAIL 042 NO ALTERNATES ARE ALLOWED.



ACCESSIBLE PARKING SIGN 120

HEIGHT ABOVE GRADE FOR POLE MOUNTED SIGNS VARIES. TYPICAL INSTALLATION IS 5'-0" ABOVE GRADE. SIGN SHALL BE MOUNTED AT 7'-0" IF IT FALLS WITHIN A WALKING PATH.

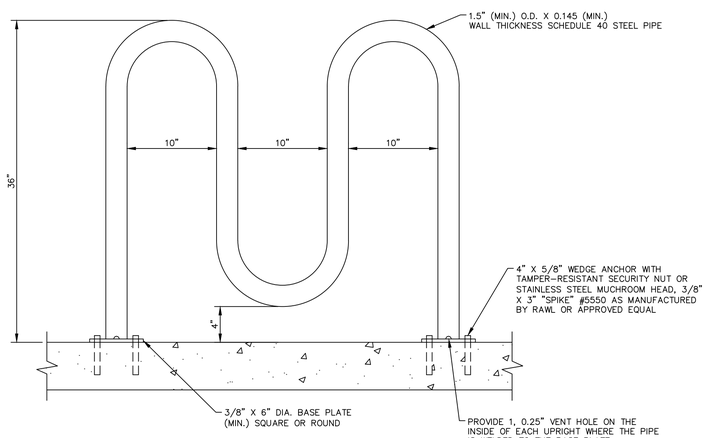


90° SPACE STRIPING

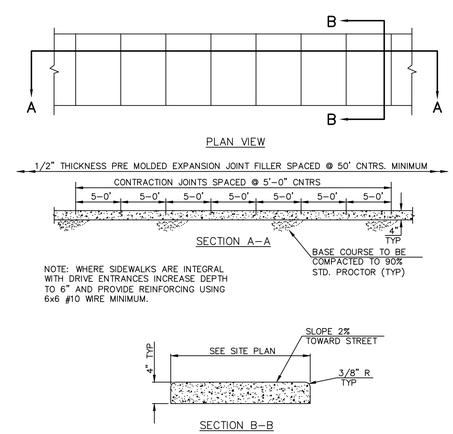
ACCESSIBLE STRIPING 102

NOTES:
1. RACK SHALL NOT BE WELDED IN SECTIONS.
2. BASE PLATE SHALL BE WELDED TO STEEL PIPE.
3. RACK DIMENSIONS MAY VARY BY MANUFACTURER.

MOUNTING (CONCRETE):
1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR: 4" X 5/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" "SPIKE" #5550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL.
2. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
3. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.



850 BIKE RACK DETAIL



NOTE: WHERE SIDEWALKS ARE INTEGRAL WITH DRIVE ENTRANCES INCREASE DEPTH TO 6" AND PROVIDE REINFORCING USING 6x6 #10 WIRE MINIMUM.

CONCRETE SIDEWALK 055

NOTES:
1. CONCRETE SHALL BE CLASS A WITH f'c = 3000 PSI.
2. CONCRETE IN RIGHT-OF-WAY SHALL CONFORM TO KCMMB 4K MIX DESIGN.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
2	12-12-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C. PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
12/12/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 2000542. EXPIRES 12/31/25

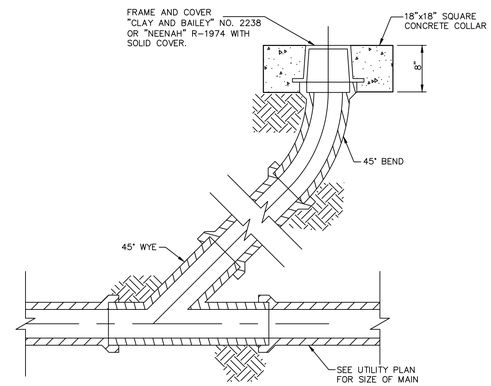
SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
DETAIL SHEET

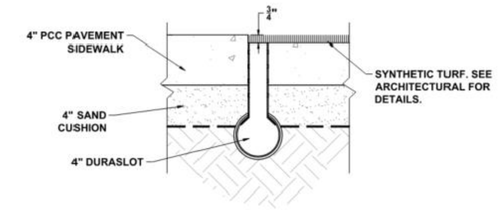
PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009DET
SHEET	C-10
REV	2

2

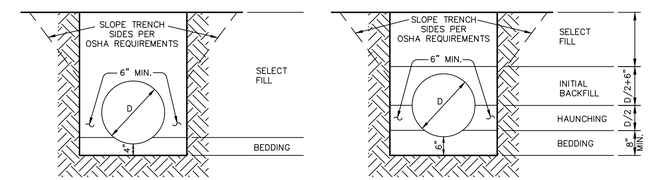
THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



CLEAN-OUT 510



430 DURASLOT DETAIL
NOT TO SCALE



RIGID PIPE: INCLUDES REINFORCED CONCRETE, DUCTILE IRON, & CAST IRON

1. BEDDING SHALL BE COMPACTED SAND AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.

2. SELECT FILL SHALL BE NATIVE MATERIAL FREE OF LARGE ROCKS, DEBRIS, AND ORGANICS (3"+) AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.

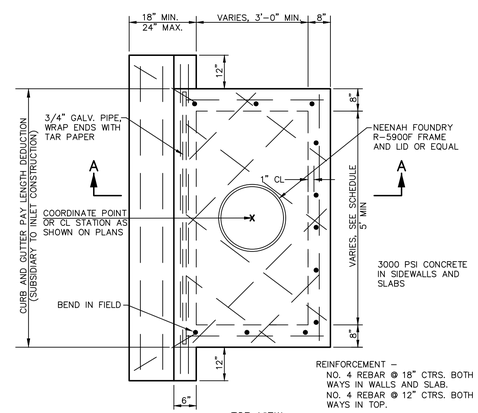
FLEXIBLE PIPE: INCLUDES CORRUGATED METAL PIPE. CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE.

1. BEDDING AND HAUNCHING MATERIAL SHALL BE COMPACTED SAND, UNLESS NOTED OTHERWISE ON PLANS AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.

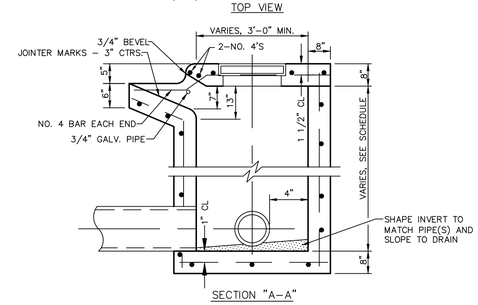
2. INITIAL BACKFILL MATERIAL SHALL BE GRANULAR MATERIAL OR SELECT MATERIAL (INCLUDING SAND) COMPACTED IN ACCORDANCE TO SPECIFICATIONS.

3. SELECT FILL PLACEMENT AND COMPACTION SAME AS FOR RIGID PIPE.

TRENCH AND BEDDING DETAILS 206



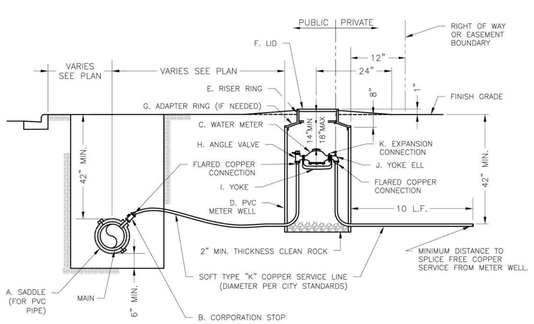
TOP VIEW



SECTION "A–A"

NOTES:
1. USE 3000 P.S.I. CONCRETE IN SIDE WALL AND SLAB.
2. PROVIDE 3/4" ROUNDED EDGE ON ALL EXPOSED CORNERS.
3. WHERE INLETS ARE SET IN CURVES, FORM FRONT WALL TO CONFORM TO CURVE.
4. PRE-CAST UNITS MAY BE SUBSTITUTED WITH THE ENGINEERS APPROVAL. SHOP DRAWINGS AND DESIGN CALCULATIONS MUST BE SUBMITTED.
5. THE TOP OF THE INLET SHALL BE SLOPED TO FIT STREET, SIDEWALK, OR FINISHED GROUND ELEVATIONS

CURB INLET 402



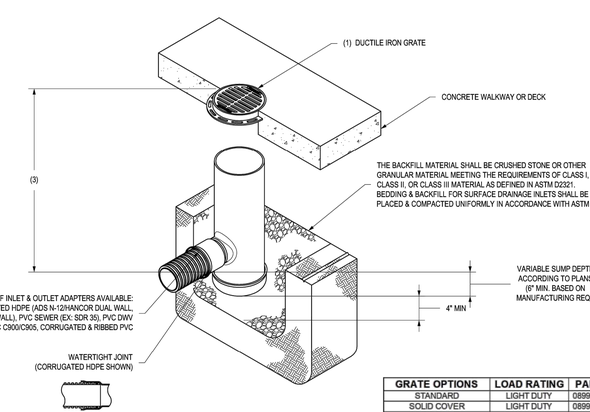
NOTES:

1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
3. CITY TO FURNISH ITEMS A–K.
4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063	Date: 08/2023 Drawn By: MJF Checked By: KLY
	SERVICE CONNECTION WITH METER WELL	WAT-11

1

NYLOPLAST 8" DRAIN BASIN: 2808AG _ _ X



GRATE OPTIONS	LOAD RATING	PART #
STANDARD	LIGHT DUTY	0899CGSF
SOLID COVER	LIGHT DUTY	0899CGCF
BRONZE	N/A	0899CGBF
DOME	N/A	0899CGDF
DROP IN GRATE	LIGHT DUTY	0801DI

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
3 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & PVC SEWER (4" - 24").

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST. ©2007 NYLOPLAST

DRAWN BY	NMH	MATERIAL	
DATE	6-25-18		
APPD BY	NMH	PROJECT NO./NAME	
DATE	6-25-18		
DWG SIZE	A	SCALE 1:12	SHEET 1 OF 1

ADS Nyloplast
3130 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2490
www.nyloplast-us.com

TITLE
8 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-272 REV F

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

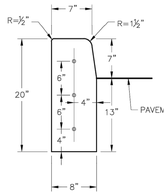
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842.
EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

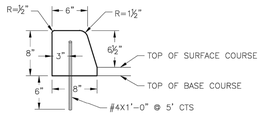
CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009DET
SHEET	C–11
REV	1

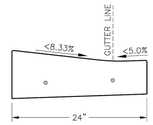
THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



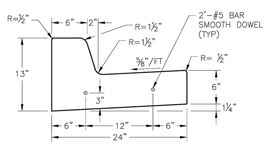
STRAIGHT CURB
(TYPE C-1)



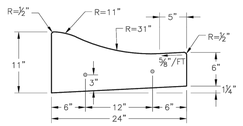
DOWELLED CURB
(TYPE DC)



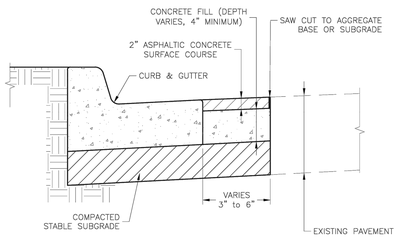
CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)



STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



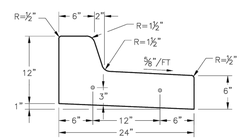
ROLL BACK CURB & GUTTER
(TYPE CG-2)



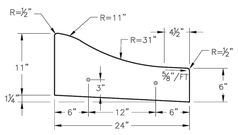
CURB REPLACEMENT DETAIL

GENERAL NOTES

1. ¾" ISOLATION JOINTS WITH 2 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
8. ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)



ROLL BACK DRY CURB & GUTTER
(TYPE CG-2 DRY)

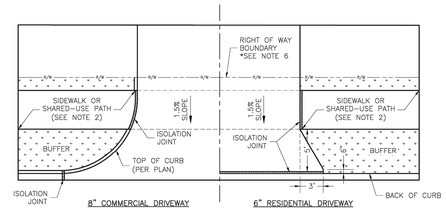
LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

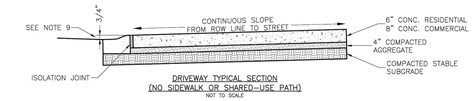
Project:
Sheet Name: CURB & GUTTER DETAIL

Drawn By: MJF
Checked By: DL
Date: 08/2023
Proj. #:

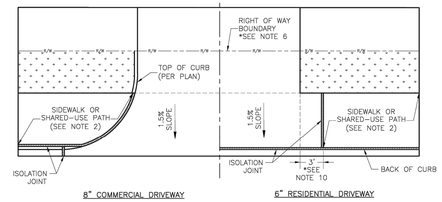
GEN-4



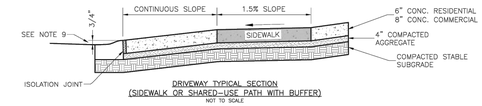
DRIVEWAY WITH BUFFER
NOT TO SCALE



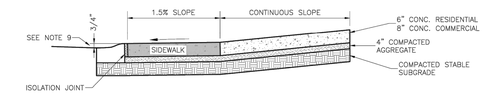
DRIVEWAY TYPICAL SECTION
(NO SIDEWALK OR SHARED-USE PATH)
NOT TO SCALE



DRIVEWAY WITHOUT BUFFER
NOT TO SCALE



DRIVEWAY TYPICAL SECTION
(SIDEWALK OR SHARED-USE PATH WITH BUFFER)
NOT TO SCALE



DRIVEWAY TYPICAL SECTION
(SIDEWALK OR SHARED-USE PATH WITHOUT BUFFER)
NOT TO SCALE

GENERAL NOTES

1. SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-3B, SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL).
3. JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
4. KCMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
5. COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMMB 4K CONCRETE MIX.
6. RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KCMMB 4K CONCRETE MIX IS RECOMMENDED. OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
7. A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
8. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
9. ¾" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
10. SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
11. THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Project:
Sheet Name: DRIVEWAY DETAIL

Drawn By: MJF
Checked By: DL
Date: 08/2023
Proj. #:

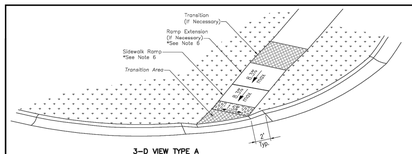
GEN-1

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
PROFESSIONAL ENGINEER
11/17/2025

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

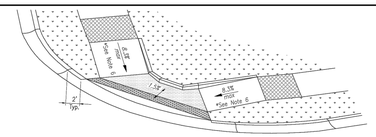
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES IN MISSOURI. STATE CERTIFICATE OF AUTHORITY # 2006042.
EXPIRES 12/31/25



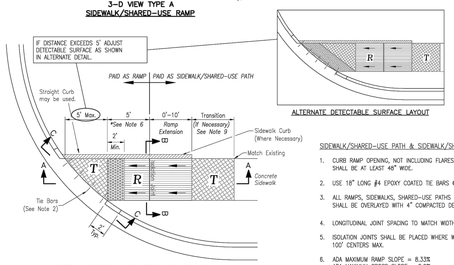
3-D VIEW TYPE A
SIDEWALK/SHARED-USE RAMP

LEGEND

R	SIDEWALK RAMP
TS	TURNING SPACE
	DETECTABLE WARNING SURFACE
T	TRANSITION



3-D VIEW TYPE B
SIDEWALK/SHARED-USE RAMP

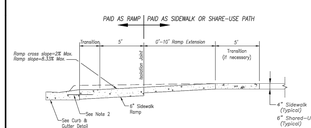


TYPE A SIDEWALK/SHARED-USE RAMP
Not to Scale

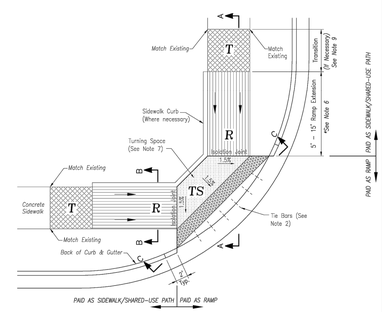
ALTERNATE DETECTABLE SURFACE LAYOUT

SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:

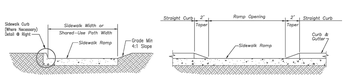
1. CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
2. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION.
3. ALL RAMPS, SIDEWALKS, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
4. LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
5. ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 100' CENTERS MAX.
6. ADA MAXIMUM RAMP SLOPE = 8.33%
   ADA MAXIMUM CROSS SLOPE = 2.0%
   ***ROADWAY EXCEPTION:** WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5%, ±0.5%.
7. TURNING SPACES SHALL BE 1.5%, ±0.5%, SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES, WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
8. FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR
9. RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMPS TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF ADDITIONAL SIDEWALK BEYOND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
10. ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).



SECTION A-A



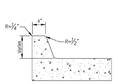
TYPE B SIDEWALK/SHARED-USE RAMP
Not to Scale



SECTION B-B

SECTION C-C

TYPE A & B SIDEWALK RAMP
Not to Scale



SIDEWALK CURB DETAIL
Not to Scale

CONTRACTION JOINT ISOLATION JOINT

JOINT DETAILS
Not to Scale

CURB & GUTTER DETAIL AT RAMP
Not to Scale

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Project:
Sheet Name: ADA RAMP RETROFIT DETAIL

Drawn By: MJF
Checked By: DL
Date: 08/2023
Proj. #:

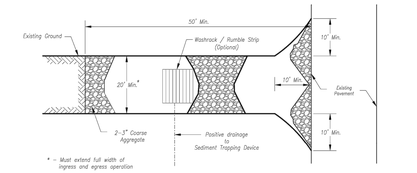
GEN-3A

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

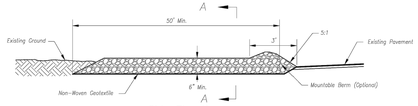
CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJ. NO.	
A25D2009	
DESIGNER: RCP	DRAWN BY: JP
CFN: 2009DET	
SHEET: C-12	REV: 1

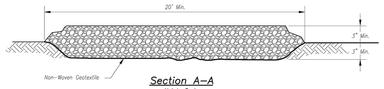
THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



Plan View
Not to Scale



Side Elevation
Not to Scale



Section A–A
Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6– to 8–inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

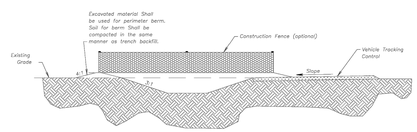
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one–piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

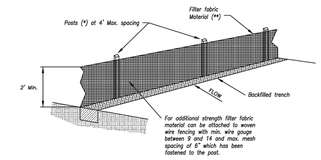
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water–tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

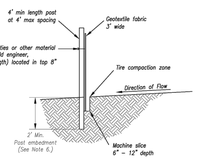
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

AMERICAN PUBLIC WORKS ASSOCIATION
Kansas City Metro Chapter APWA American Public Works Association
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
STANDARD DRAWING NUMBER ESC-01
ADOPTED: 10/24/2016



(*) POSTS
– MIN. LENGTH 4'
– HARDWOOD 1 ½" x 1 ½"
– NO.2 SOUTHERN PINE 2 ⅜" x 2 ⅜"
– STEEL 1.33 LB/FT

(**) – Geotextile Fabric shall meet the requirements of AASHTO M288



SILT FENCE DETAILS
Not to Scale

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches ½ the height of silt fence.
2. Repair as necessary to maintain function and structure.

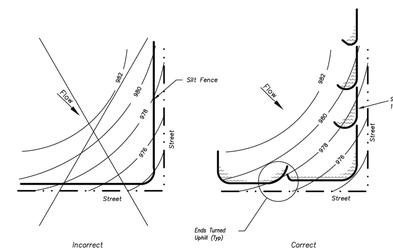
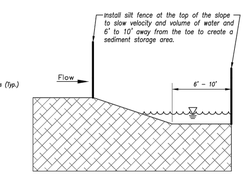
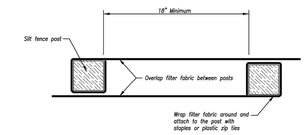


Figure A

SILT FENCE LAYOUT
Not to Scale

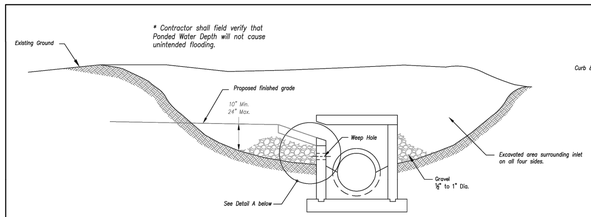


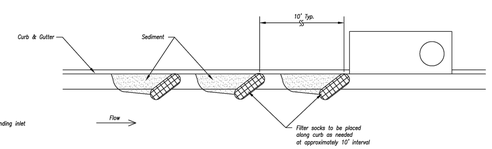


JOINING FENCE SECTIONS
Not to Scale

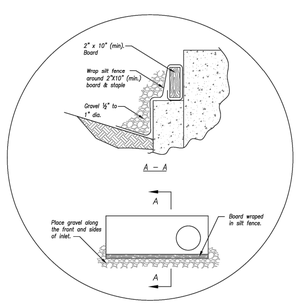
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION
Kansas City Metro Chapter APWA American Public Works Association
KANSAS CITY METRO CHAPTER
SILT FENCE
STANDARD DRAWING NUMBER ESC-03
ADOPTED: 10/24/2016





On Grade Curb Inlet Protection



Detail A

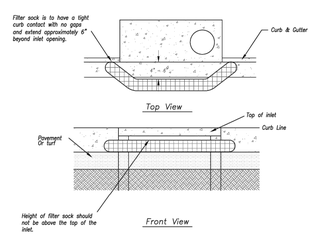
EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION
Kansas City Metro Chapter APWA American Public Works Association
KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION
STANDARD DRAWING NUMBER ESC-06
ADOPTED: 10/24/2016

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

STATE OF MISSOURI
RANDALL C PURDUE
NUMBER PE-2022026740
11/17/2025
PROFESSIONAL ENGINEER

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

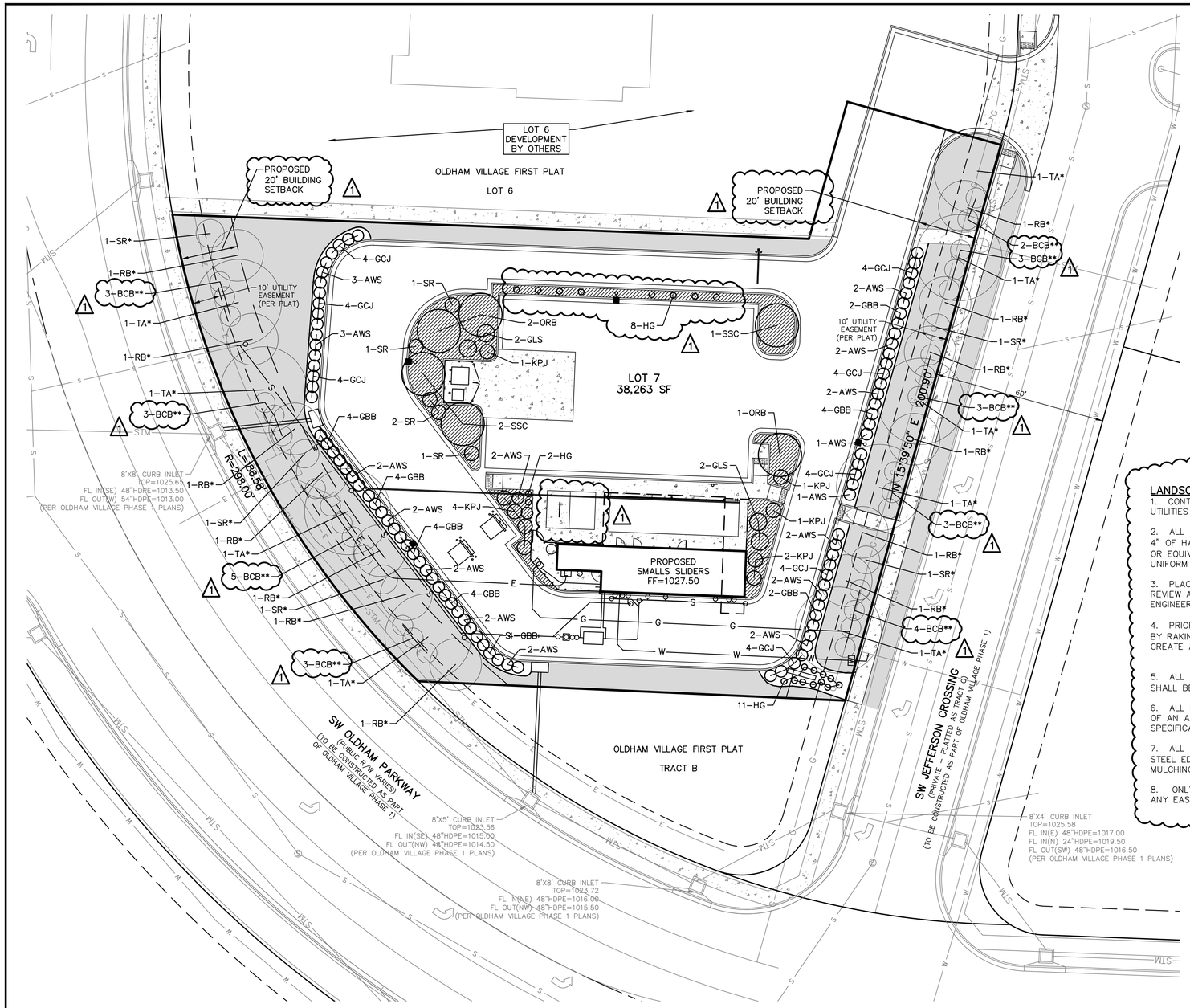
KAW VALLEY ENGINEERING
2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 2008042.
EXPIRES 12/31/25

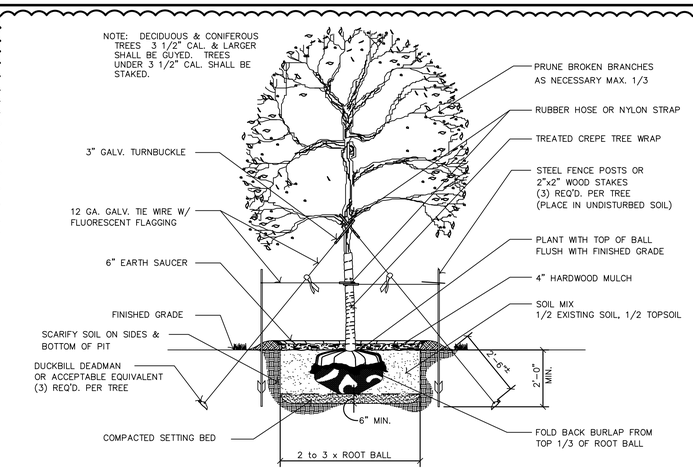
SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJ. NO.	A25D2009
DESIGNER	RCP
DRAWN BY	JP
CFN	2009DET
SHEET	C-13
REV	1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.





TREE PLANTING DETAIL

1/4" = 1'-0"

LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND STRUCTURES PRIOR TO PLANT INSTALLATION.

2. ALL SHRUB BEDS AND TREE BASINS SHALL RECEIVE A MINIMUM OF 4" OF HARDWOOD MULCH WITH WEED BARRIER FABRIC (DEWITT PRO-5 OR EQUIVALENT). DO NOT USE WALNUT PRODUCTS. CREATE A SMOOTH, UNIFORM SURFACE.

3. PLACE PLANTS ACCORDING TO PLAN FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT OR ENGINEER.

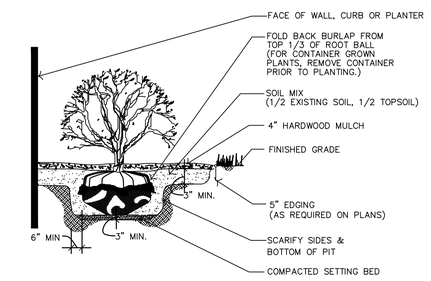
4. PRIOR TO SEEDING/SODDING THE CONTRACTOR SHALL FINE GRADE BY RAKING, ROLLING AND/OR DRAGGING TO ENSURE DRAINAGE & CREATE A SMOOTH, UNIFORM SURFACE.

5. ALL AREAS NOT DESIGNATED AS PAVEMENT OR LANDSCAPED AREAS SHALL BE SEEDED/SODDED ACCORDING TO SPECIFICATIONS.

6. ALL LANDSCAPED AREAS AND TURF SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM IN ACCORDANCE WITH SPECIFICATIONS.

7. ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH STEEL EDGING INSTALLED WITH TOP EXPOSED 1/2" MIN. ABOVE MULCHING MATERIAL.

8. ONLY ORNAMENTAL SHRUBS OR TREES MAY BE PLANTED WITHIN ANY EASEMENT.



SHRUB PLANTING DETAIL

1/4" = 1'-0"

REQUIRED LANDSCAPING:

STREET FRONTAGE:
1 TREE FOR EACH 30 LF OF STREET FRONTAGE
1 SHRUB FOR EACH 20 LF OF STREET FRONTATE

(SW OLDHAM PARKWAY: 186.58/30=6.2, 186.58/20=9.3) PARKWAY
(SW JEFFERSON CROSSING: 200.90/30=6.7, 200.90/20=10.0)
REQUIRED: 7 TREES, 10 SHRUBS ALONG SW OLDHAM PARKWAY
7 TREES, 10 SHRUBS ALONG SW JEFFERSON CROSSING
PROVIDED: 14 TREES, 14 SHRUBS ALONG SW OLDHAM PARKWAY
12 TREES, 15 SHRUBS ALONG SW JEFFERSON CROSSING

REQUIRED TREES & SHRUBS FOR STREET FRONTAGE ARE SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN.

OPEN YARD AREAS:
1 TREE FOR EVERY 5,000 OF OF TOTAL LOT AREA
(38263/5000=7.65)
REQUIRED: 8 TREES
PROVIDED: 10 TREES

2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA
(38263/5000=7.65, 7.65X2=15.31)
REQUIRED: 16 SHRUBS
PROVIDED: 15 SHRUBS, 21 GRASSES

PARKING LOT LANDSCAPING:
5% OF PARKING SPACES, AISLES, & DRIVEWAYS SHALL BE LANDSCAPED ISLANDS.
(1529 SF ISLAND AREA/19788 DRIVE & PARKING AREA=0.077)
REQUIRED: 5%
PROVIDED: 7.7%

PARKING LOT SCREENING:
PARKING LOTS DESIGNED FOR 5 CARS OR MORE AND LOADING OR UNLOADING AREAS SHALL BE SCREENED IF VISIBLE FROM A STREET. SCREENING MUST BE PROVIDED ALONG EDGE OF PARKING LOT OR LOADING AREA TO A HEIGHT OF 2.5' ABOVE THE ELEVATION OF THE PARKING/LOADING AREA OR THE STREET, WHICHEVER IS HIGHEST. PARKING LOT SCREENING SHALL BE DECORATIVE AND 100% OPAQUE AND MAY BE LOCATED WITHIN THE LANDSCAPE STRIP.

PROVIDED: 89 SHRUBS

BUFFER/SCREENING BETWEEN LAND USES REQUIRED:
BUFFER/SCREEN IMPACT FOR PMIX IS PER APPROVED PLAN. ALL THE SURROUNDING USES WILL BE COMMERCIAL SO NO BUFFERS ARE ANTICIPATED BUT WILL BE DETERMINED DURING DEVELOPMENT PLAN REVIEW.

LEGEND

- SOD
- ROCK/MULCH
- STEEL EDGING
- TREE/SHRUB
- TREE/SHRUB SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN

0 10 20 40
SCALE: 1" = 20'

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
DECIDUOUS TREES				
ORB	3	CERCIS CANADENSIS 'OKLAHOMA'	OKLAHOMA REDBUD (MULTI-STEM)	2" CAL. B&B
SSC	3	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL. B&B
TA*	8	TILIA AMERICANA	AMERICAN BASSWOOD LINDEN	3" CAL. B&B
RB*	13	CERCIS RENIFORMIS "OKLAHOMA"	OKLAHOMA REDBUD	3" CAL. B&B
DECIDUOUS SHRUBS				
AWS	32	SPIREA XBUMALDI 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18"-24" HT.
GLS	4	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18"-24" HT.
BCB**	29	ARONIA MELANOCARPA	BLACK CHOKEBERRY	2 GAL. CONT.
EVERGREEN TREES				
SR*	5	JUNIPERUS SCOPULORUM "SKYROCKET"	SKYROCKET JUNIPER	8' HT.
SR	5	JUNIPERUS SCOPULORUM "SKYROCKET"	SKYROCKET JUNIPER	5' HT.
EVERGREEN SHRUBS				
GBB	28	BUXUS MICROPHYLLA 'GREEN BEAUTY	GREEN BEAUTY BOXWOOD	18"-24" HT.
KPJ	9	KALLAY PFITZER JUNIPER	JUNIPERUS PFITZERIANA 'KALLAY'S COMPACT'	18"-24" HT.
GCJ	32	JUNIPERUS CHINENSIS 'GOLD COAST'	GOLD COAST JUNIPER	18"-24" HT.
ORNAMENTAL GRASSES				
HG	21	PENNISETUM ALOPECUROIDES	DWF HAMELN GRASS	18"-24" HT.

* TREES & SHRUBS SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN.
** SHOWN AS BURNING BUSH ON OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN. REPLACED WITH NATIVE DECIDUOUS SHRUB DUE TO BURNING BUSH BEING AN INVASIVE SPECIES TO MISSOURI.

REV	DATE	DESCRIPTION	DSN	DWN	CHK
1	11-17-25	REVISED PER CITY COMMENTS	RCP	JP	RCP
0	10-16-25	PERMIT SET	RCP	JP	RCP

2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040
jc@kveng.com | www.kveng.com
KAW VALLEY ENGINEERING

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
LANDSCAPE PLAN

PROJ. NO. A25D2009
DESIGNER RCP | DRAWN BY JP
CFN 2009LP
SHEET L-1 | REV 1

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.