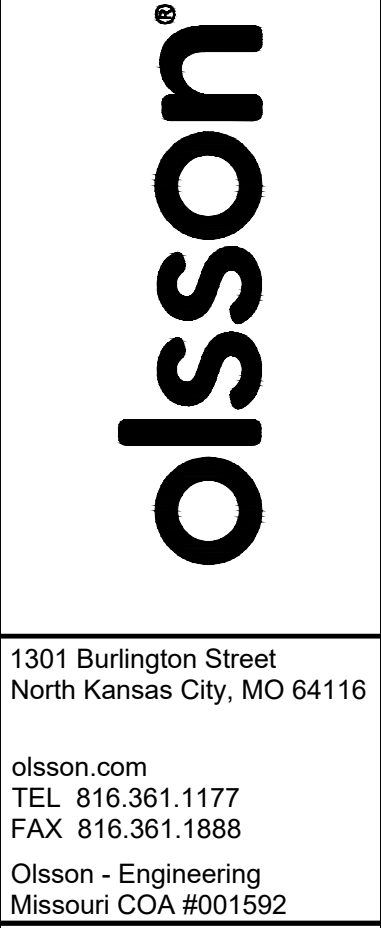


RELEASED FOR CONSTRUCTION
As Noted on Plan Review

Development Services Department
Lee's Summit, Missouri

12/02/2025



This aerial map shows the intersection of SW 10th Street and SW 10th Avenue in Miami, Florida. The project area is highlighted in red and labeled "PROJECT AREA". The map includes a scale bar indicating 0, 50, 100, and 200 feet. The project area is located at the intersection, adjacent to the SW 10th Avenue right-of-way. The map also shows the surrounding streets, including SW 10th Street and SW 10th Avenue, and the adjacent parking lot. The project area is bounded by the SW 10th Avenue right-of-way to the east, the SW 10th Street right-of-way to the south, and the SW 10th Street right-of-way to the west. The project area is also bounded by the SW 10th Avenue right-of-way to the north. The map shows the intersection, surrounding streets, and a scale bar indicating 0, 50, 100, and 200 feet.

S7, T47N, R31W

LAND USE TABLE

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C100	TITLE SHEET
C200	GENERAL NOTES
C300	EXISTING CONDITIONS & DEMOLITION PLAN
C400	SITE PLAN
C401	UTILITY PLAN
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C501	ACCESSIBLE PARKING AND GRADING DETAIL
C502	ADA RAMP GRADING DETAILS
C503	EROSION CONTROL
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A5	ARCHITECTURE BUILDING ELEVATIONS
A6	TRASH ENCLOSURE
E402	SITE PHOTOMETRIC
E403	SITE PHOTOMETRIC DETAILS

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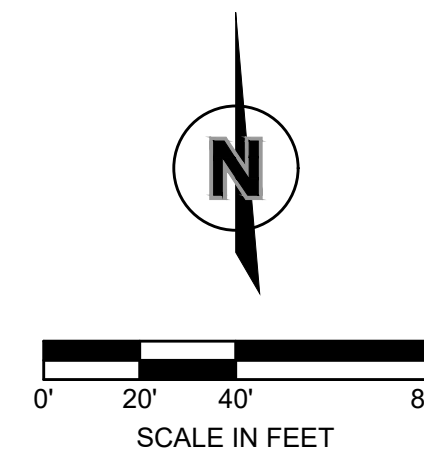
TITLE SHEET
SITE DEVELOPMENT PLANS
FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY
LEE'S SUMMIT, MISSOURI

drawn by: QS/GS
designed by: DG
project no.: 024-02510
date: 2025.10.15

SHEET
C100

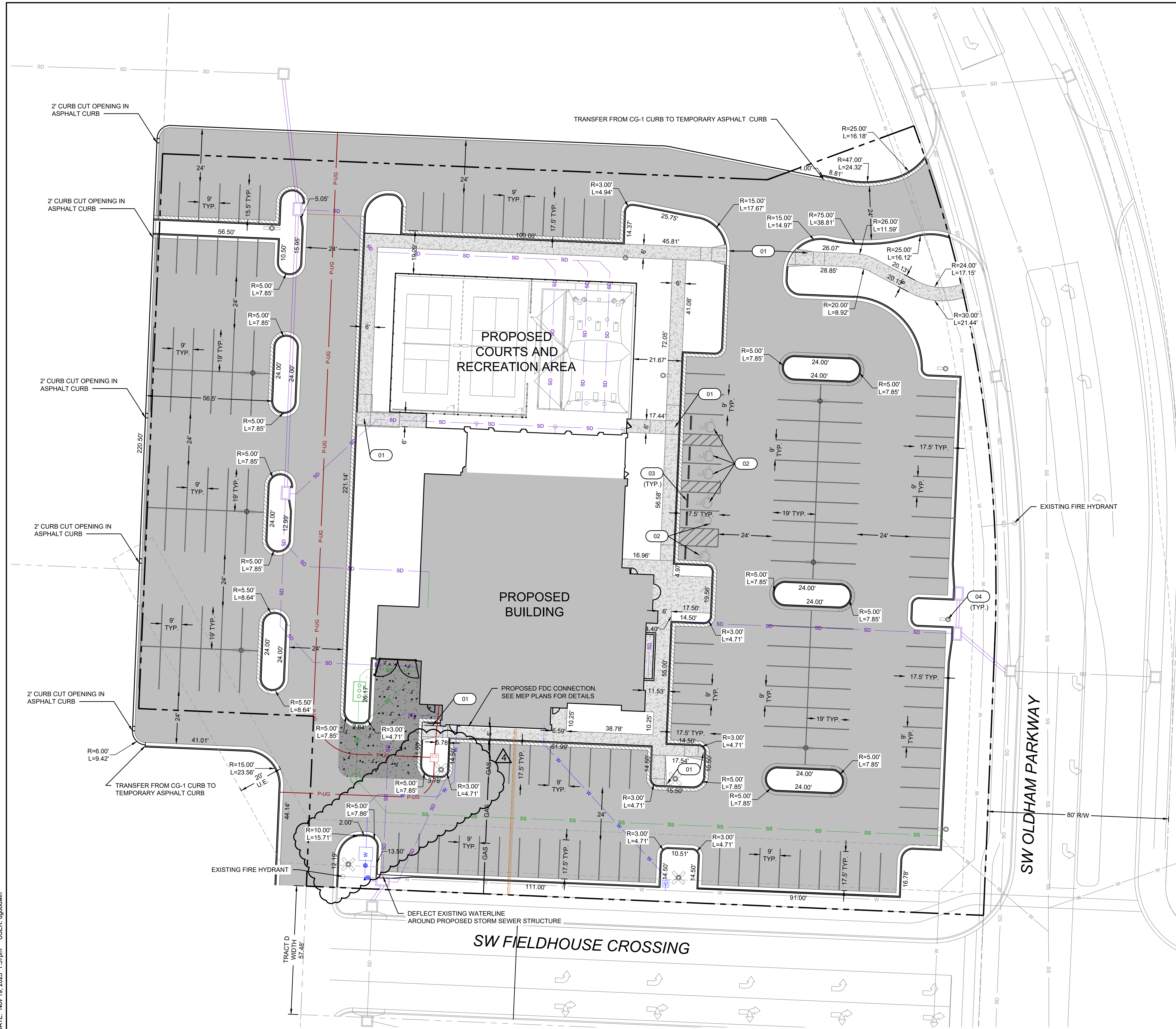


THIS LEGEND APPLIES TO ALL PLAN
VIEWS WITHIN THIS PLAN SET

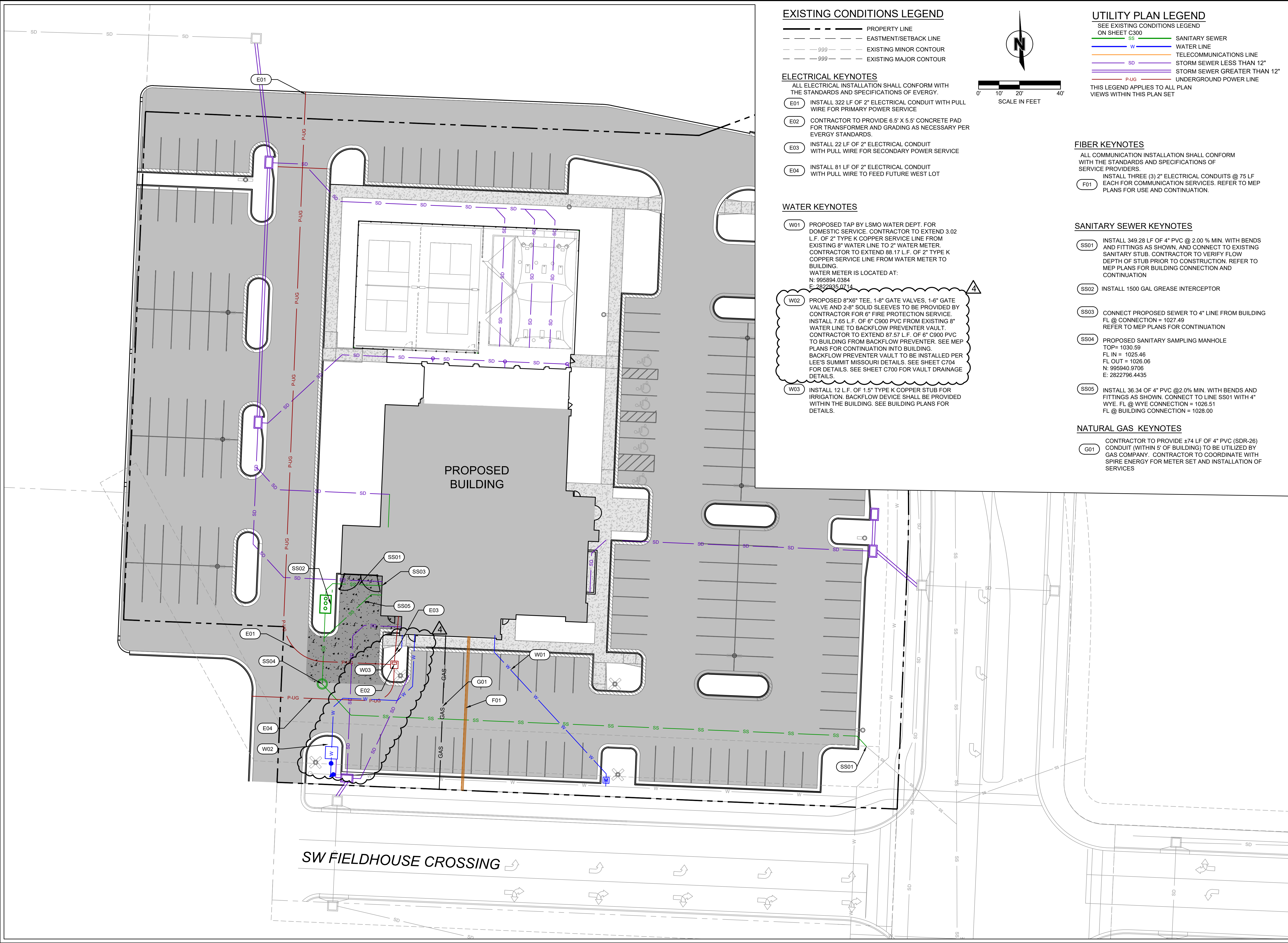


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project no.: _____ 024-02510
date: _____ 2025.10.13

SHEET
C300



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EXISTING CONDITIONS LEGEND

- PROPERTY LINE
- EASTMENT/SETBACK LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR

ELECTRICAL KEYNOTES

- ALL ELECTRICAL INSTALLATION SHALL CONFORM WITH THE STANDARDS AND SPECIFICATIONS OF EVERGY.
- E01 INSTALL 322 LF OF 2" ELECTRICAL CONDUIT WITH PULL WIRE FOR PRIMARY POWER SERVICE
 - E02 CONTRACTOR TO PROVIDE 6.5' X 5.5' CONCRETE PAD FOR TRANSFORMER AND GRADING AS NECESSARY PER EVERGY STANDARDS.
 - E03 INSTALL 22 LF OF 2" ELECTRICAL CONDUIT WITH PULL WIRE FOR SECONDARY POWER SERVICE
 - E04 INSTALL 81 LF OF 2" ELECTRICAL CONDUIT WITH PULL WIRE TO FEED FUTURE WEST LOT

WATER KEYNOTES

- W01 PROPOSED TAP BY LSMO WATER DEPT. FOR DOMESTIC SERVICE. CONTRACTOR TO EXTEND 3.02 L.F. OF 2" TYPE K COPPER SERVICE LINE FROM EXISTING 8" WATER LINE TO 2" WATER METER. CONTRACTOR TO EXTEND 88.17 L.F. OF 2" TYPE K COPPER SERVICE LINE FROM WATER METER TO BUILDING. WATER METER IS LOCATED AT:
N: 995894.0384
E: 2822935.0714
- W02 PROPOSED 8"x6" TEE, 1-8" GATE VALVES, 1-6" GATE VALVE AND 2-8" SOLID SLEEVES TO BE PROVIDED BY CONTRACTOR FOR 6" FIRE PROTECTION SERVICE. INSTALL 7.65 L.F. OF 6" C900 PVC FROM EXISTING 8" WATER LINE TO BACKFLOW PREVENTER VAULT. CONTRACTOR TO EXTEND 87.57 L.F. OF 6" C900 PVC TO BUILDING FROM BACKFLOW PREVENTER. SEE MEP PLANS FOR CONTINUATION INTO BUILDING. BACKFLOW PREVENTER VAULT TO BE INSTALLED PER LEE'S SUMMIT MISSOURI DETAILS. SEE SHEET C704 FOR DETAILS. SEE SHEET C700 FOR VAULT DRAINAGE DETAILS.
- W03 INSTALL 12 L.F. OF 1.5" TYPE K COPPER STUB FOR IRRIGATION. BACKFLOW DEVICE SHALL BE PROVIDED WITHIN THE BUILDING. SEE BUILDING PLANS FOR DETAILS.

UTILITY PLAN LEGEND

- SEE EXISTING CONDITIONS LEGEND ON SHEET C300
- SS SANITARY SEWER
 - W WATER LINE
 - TELECOMMUNICATIONS LINE
 - SD STORM SEWER LESS THAN 12"
 - STORM SEWER GREATER THAN 12"
 - P-UG UNDERGROUND POWER LINE
- THIS LEGEND APPLIES TO ALL PLAN VIEWS WITHIN THIS PLAN SET

FIBER KEYNOTES

- ALL COMMUNICATION INSTALLATION SHALL CONFORM WITH THE STANDARDS AND SPECIFICATIONS OF SERVICE PROVIDERS.
- F01 INSTALL THREE (3) 2" ELECTRICAL CONDUITS @ 75 LF EACH FOR COMMUNICATION SERVICES. REFER TO MEP PLANS FOR USE AND CONTINUATION.

SANITARY SEWER KEYNOTES

- SS01 INSTALL 349.28 LF OF 4" PVC @ 2.00 % MIN. WITH BENDS AND FITTINGS AS SHOWN, AND CONNECT TO EXISTING SANITARY STUB. CONTRACTOR TO VERIFY FLOW DEPTH OF STUB PRIOR TO CONSTRUCTION. REFER TO MEP PLANS FOR BUILDING CONNECTION AND CONTINUATION
- SS02 INSTALL 1500 GAL GREASE INTERCEPTOR
- SS03 CONNECT PROPOSED SEWER TO 4" LINE FROM BUILDING FL @ CONNECTION = 1027.49 REFER TO MEP PLANS FOR CONTINUATION
- SS04 PROPOSED SANITARY SAMPLING MANHOLE
TOP = 1030.59
FL IN = 1025.46
FL OUT = 1026.06
N: 995940.9706
E: 2822796.4435
- SS05 INSTALL 36.34 OF 4" PVC @2.0% MIN. WITH BENDS AND FITTINGS AS SHOWN. CONNECT TO LINE SS01 WITH 4" WYE. FL @ WYE CONNECTION = 1026.51
FL @ BUILDING CONNECTION = 1028.00

NATURAL GAS KEYNOTES

- G01 CONTRACTOR TO PROVIDE ±74 LF OF 4" PVC (SDR-26) CONDUIT (WITHIN 5' OF BUILDING) TO BE UTILIZED BY GAS COMPANY. CONTRACTOR TO COORDINATE WITH SPIRE ENERGY FOR METER SET AND INSTALLATION OF SERVICES

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STATE OF MISSOURI
DANIEL GOODWIN
Professional Engineer
PE-2020000041
4/9/22

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DATE: _____
DESCRIPTION: _____
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4 11/07/25
DATE 11/11/25

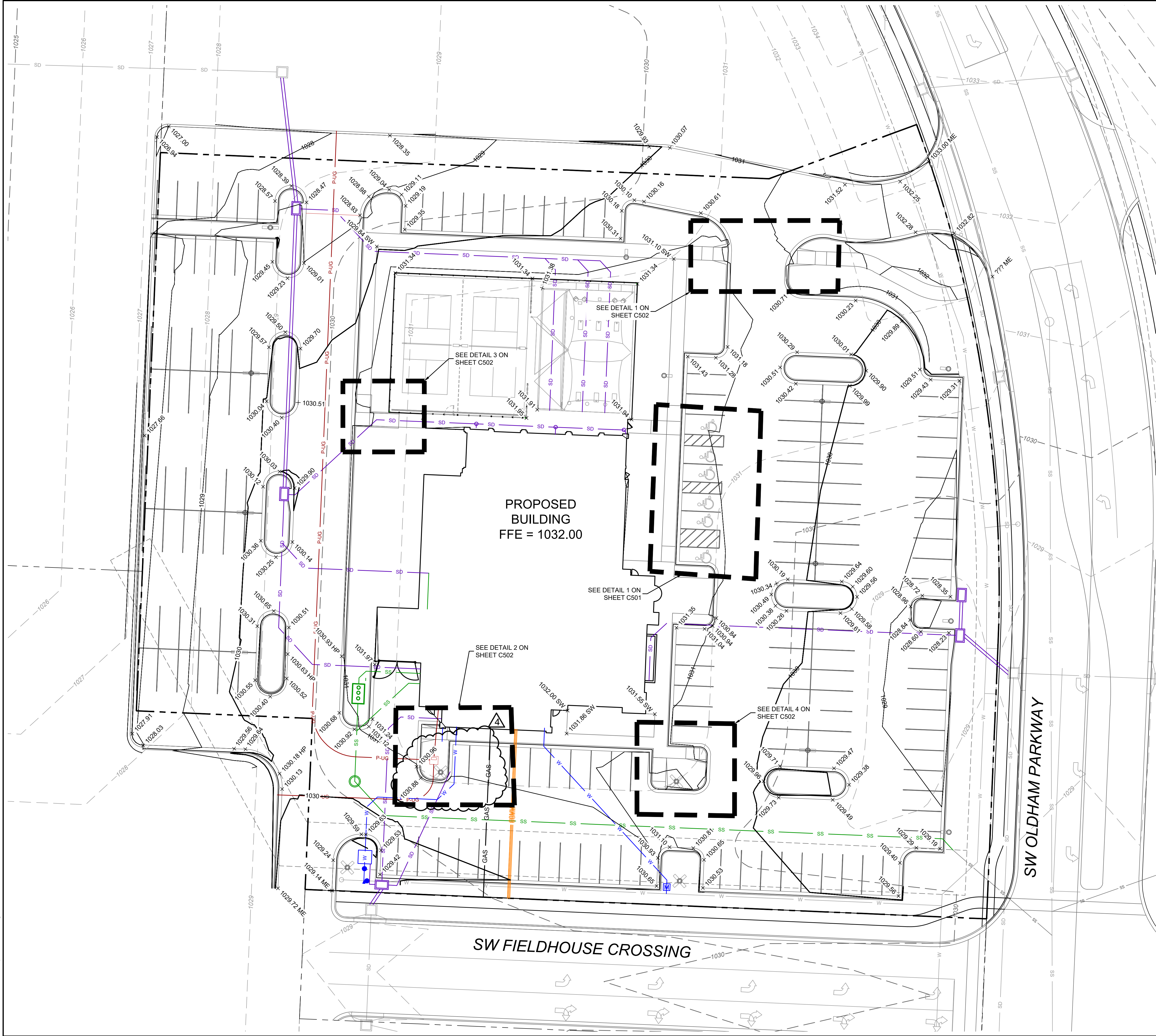
UTILITY PLAN
SITE DEVELOPMENT PLANS
FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY
LEE'S SUMMIT, MISSOURI

2025

drawn by: OS/GS
designed by: DG
project no.: 024-02510
date: 2025.10.15

SHEET
C401

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GRADING LEGEND

SEE EXISTING CONDITIONS LEGEND ON SHEET C300

- 830 --- EXISTING MINOR CONTOUR
- 830 --- EXISTING MAJOR CONTOUR
- 830 --- PROPOSED MINOR CONTOUR
- 830 --- PROPOSED MAJOR CONTOUR

SPOT ELEVATION LEGEND

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT/LIP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW. ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.

- ME MATCH EXISTING ELEVATION
- HP HIGH POINT ELEVATION
- LP LOW POINT ELEVATION
- SW SIDEWALK ELEVATION
- BC BACK OF CURB ELEVATION

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GRADING PLAN
SITE DEVELOPMENT PLANS

FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY

LEE'S SUMMIT, MISSOURI

2025

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designed by: DG

project no.: 024-02510

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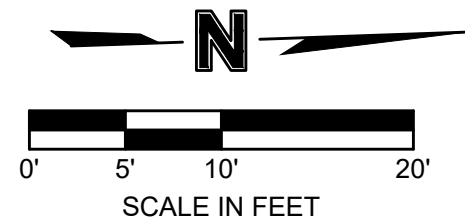
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 PROPERTY LINE
 830 **EXISTING MINOR CONTOUR**
 830 **EXISTING MAJOR CONTOUR**
 830 **PROPOSED MINOR CONTOUR**
 830 **PROPOSED MAJOR CONTOUR**
 GRADE BREAK

ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT/LIP OF CURB OR FINISHED GRADE UNLESS OTHERWISE SPECIFIED AS BELOW. ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
SW	SIDEWALK ELEVATION

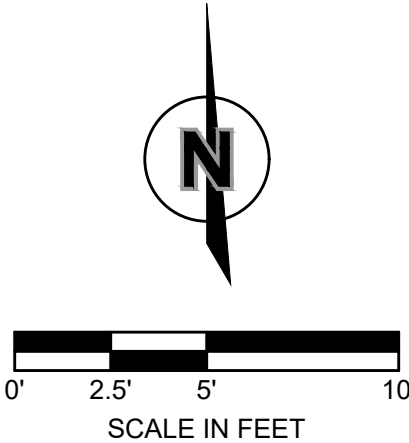
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ACCESSIBLE PARKING AND GRADING DETAIL SITE DEVELOPMENT PLANS	
FIVE-FOUR RESTAURANT 301 SW OLDHAM PARKWAY	
LEE'S SUMMIT, MISSOURI	2025

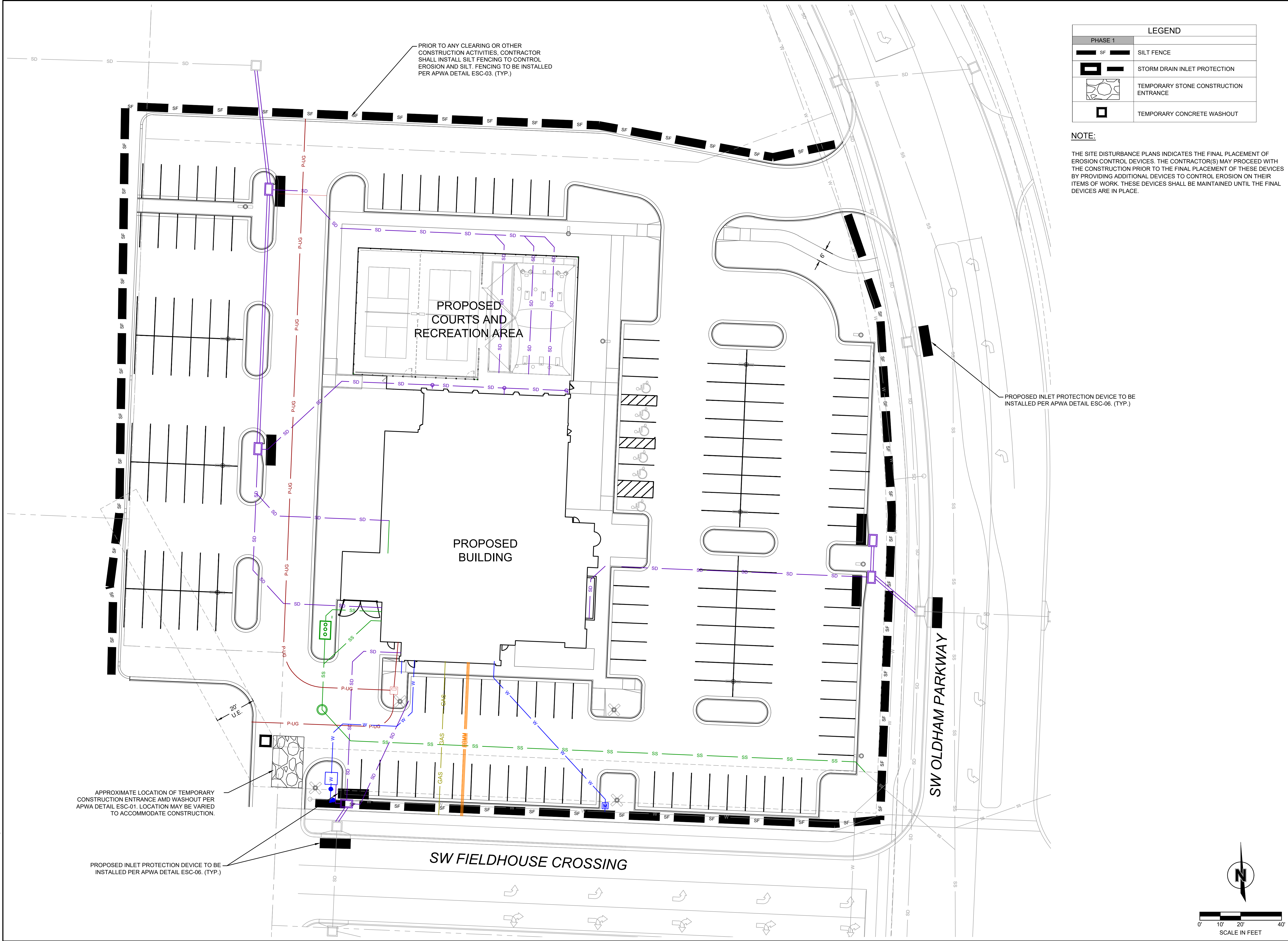
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REVISIONS

EROSION CONTROL PLAN
FINAL DEVELOPMENT PLAN

FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY

LEE'S SUMMIT, MISSOURI

2025

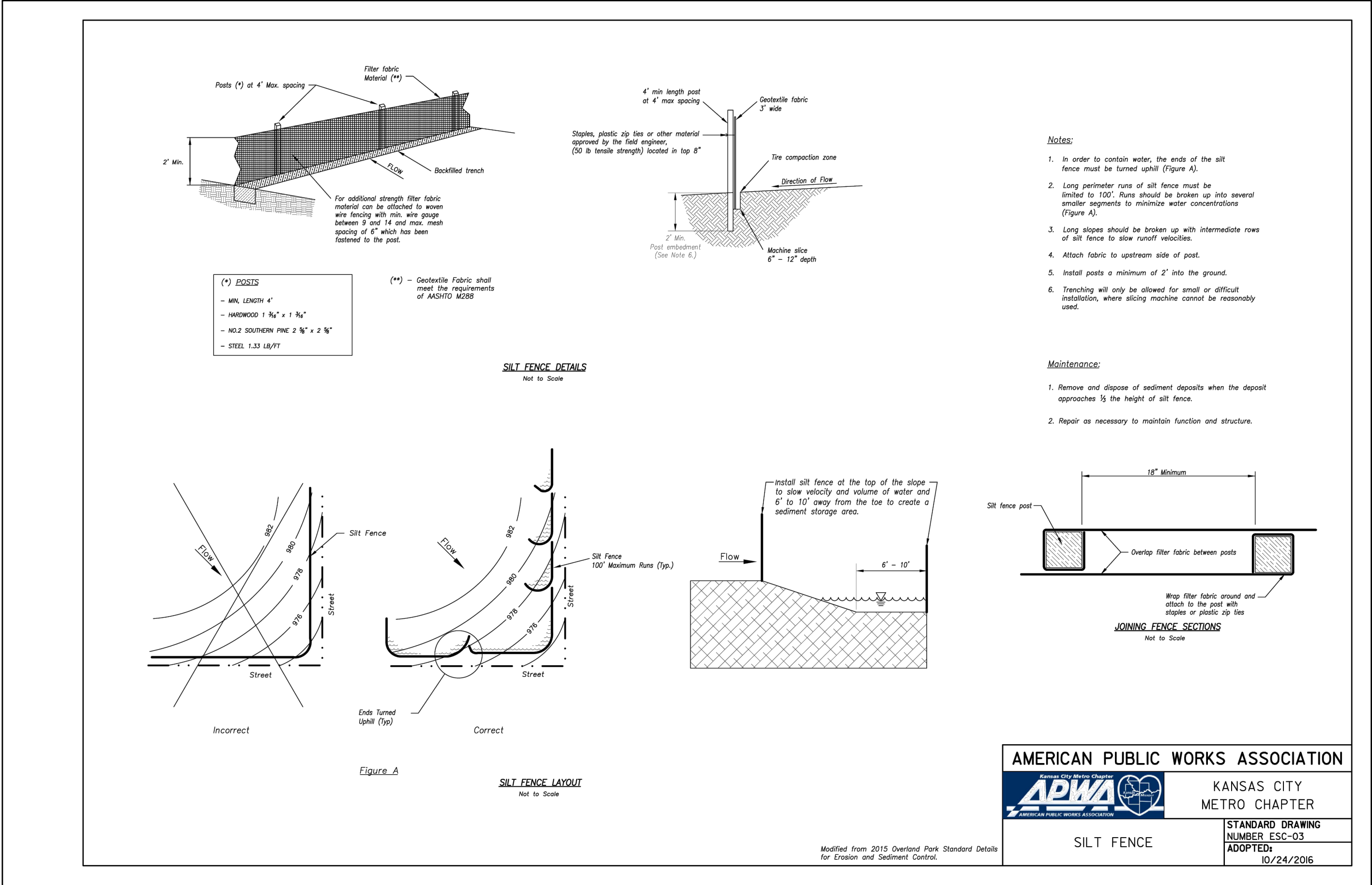
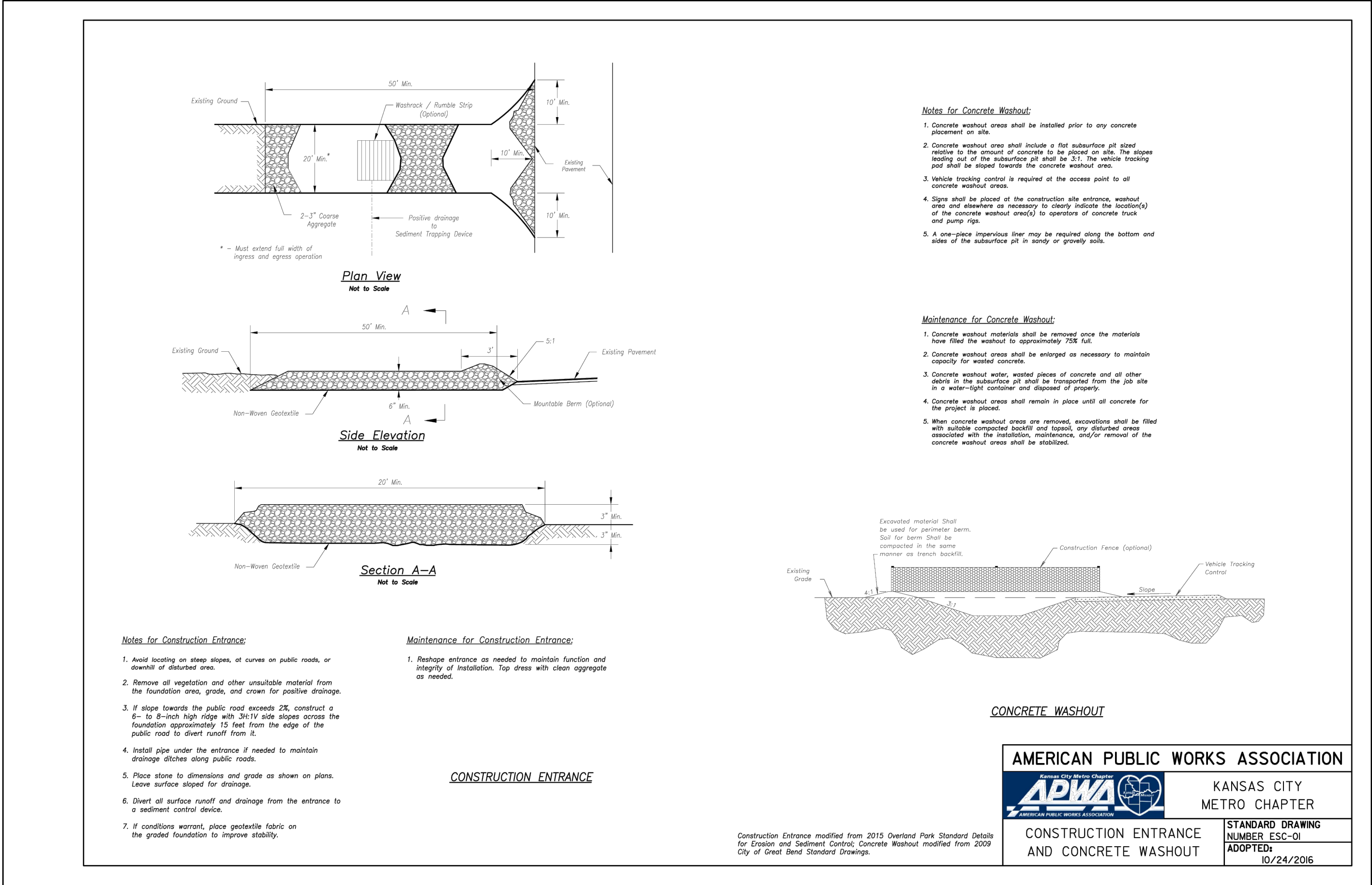
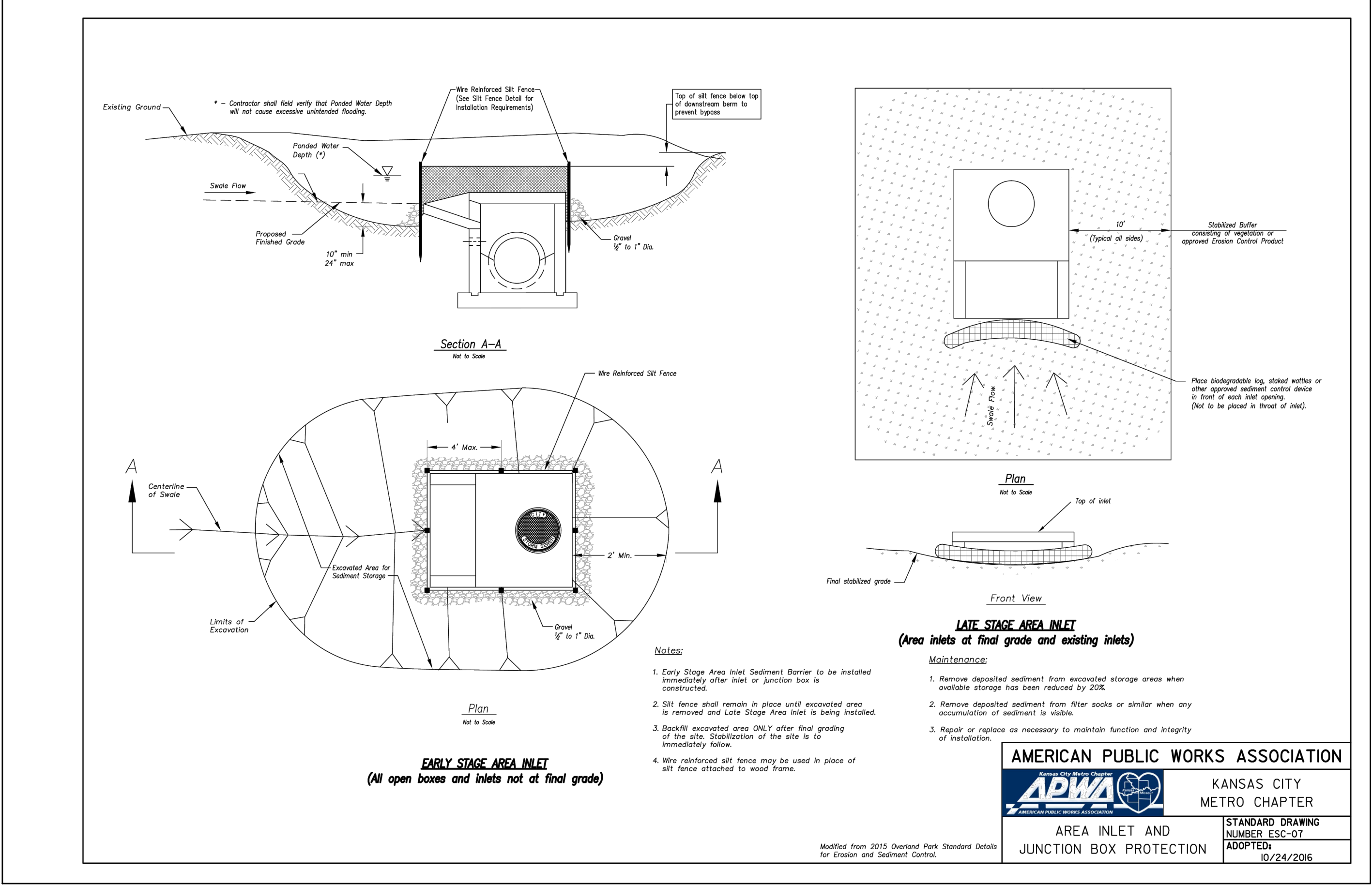
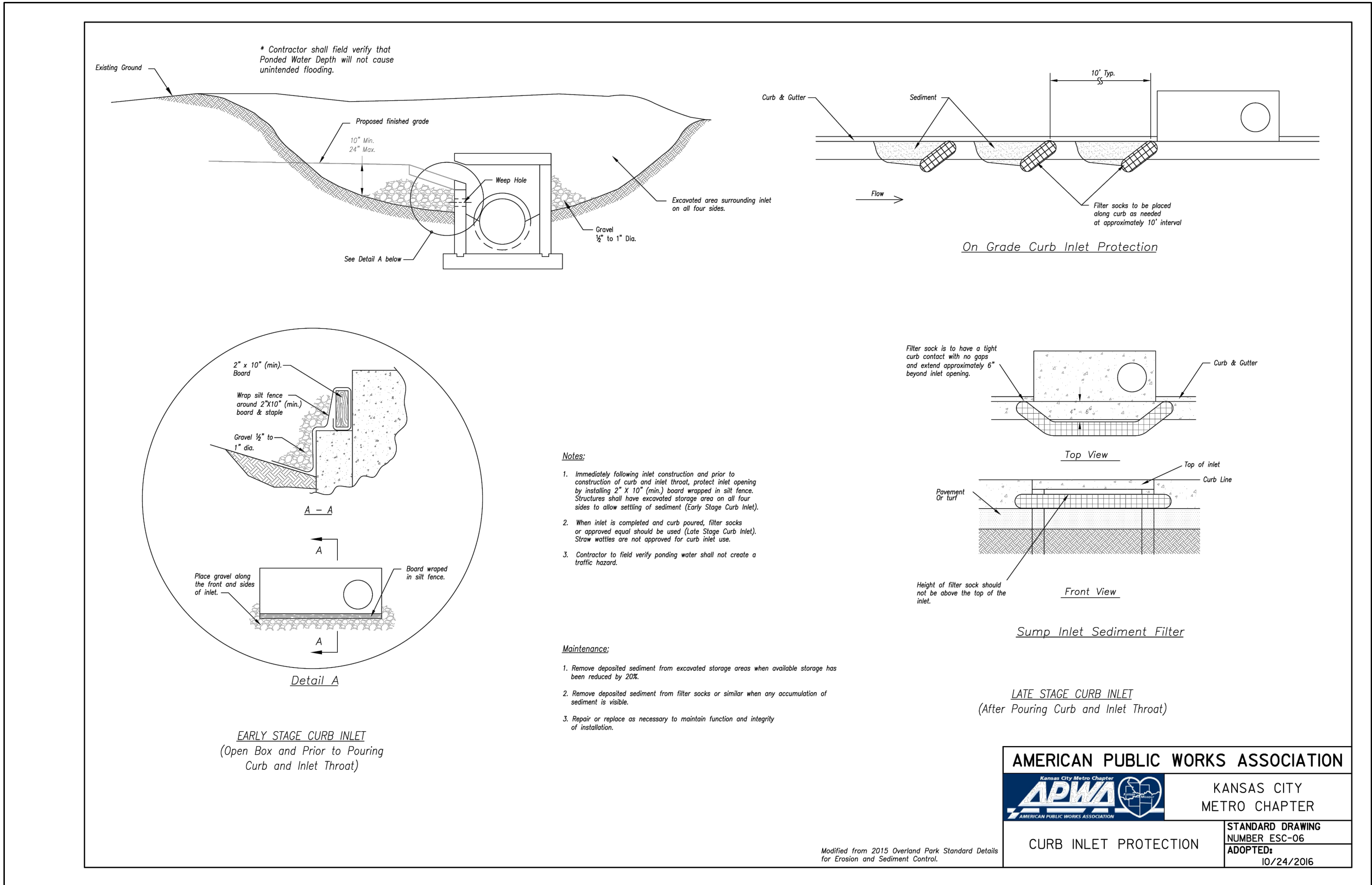
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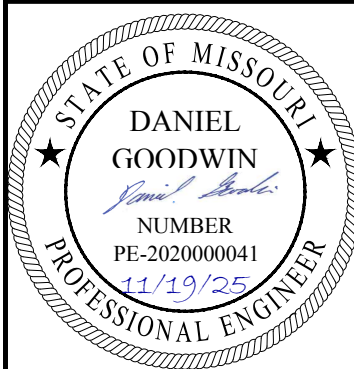
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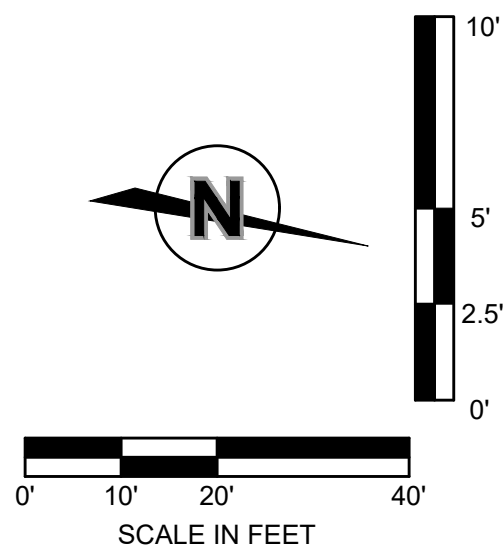
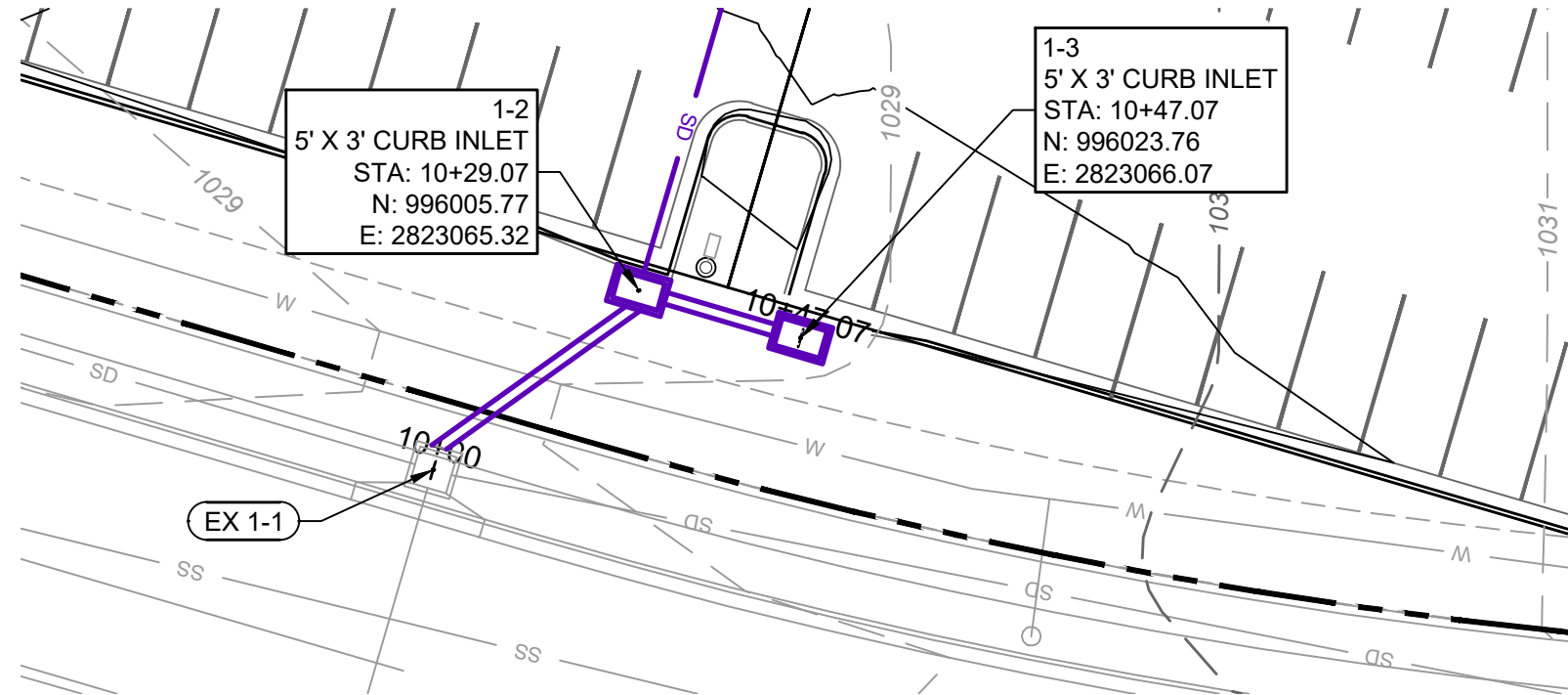
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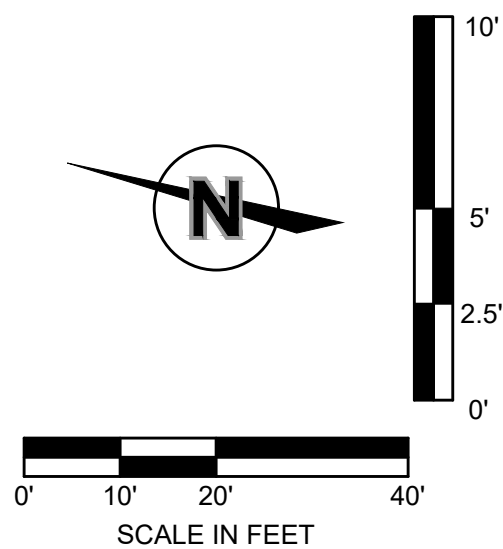
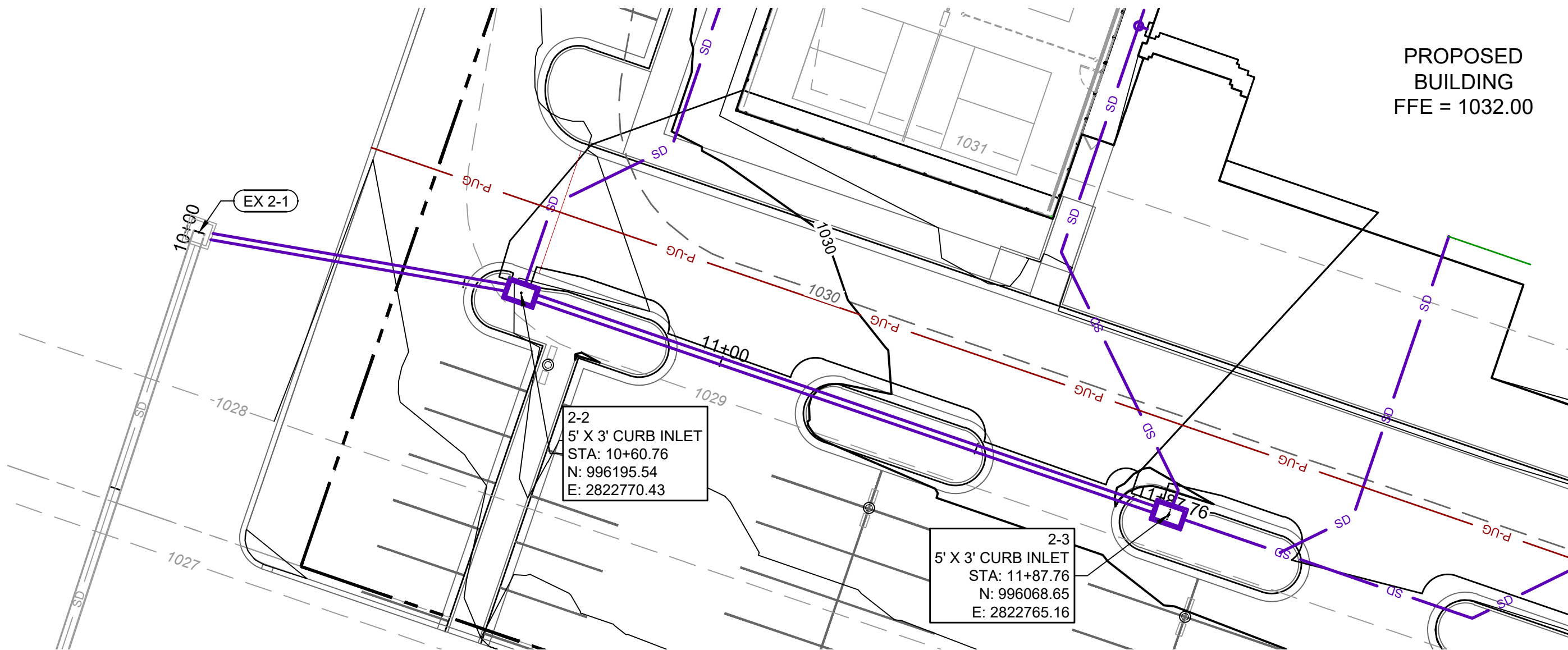
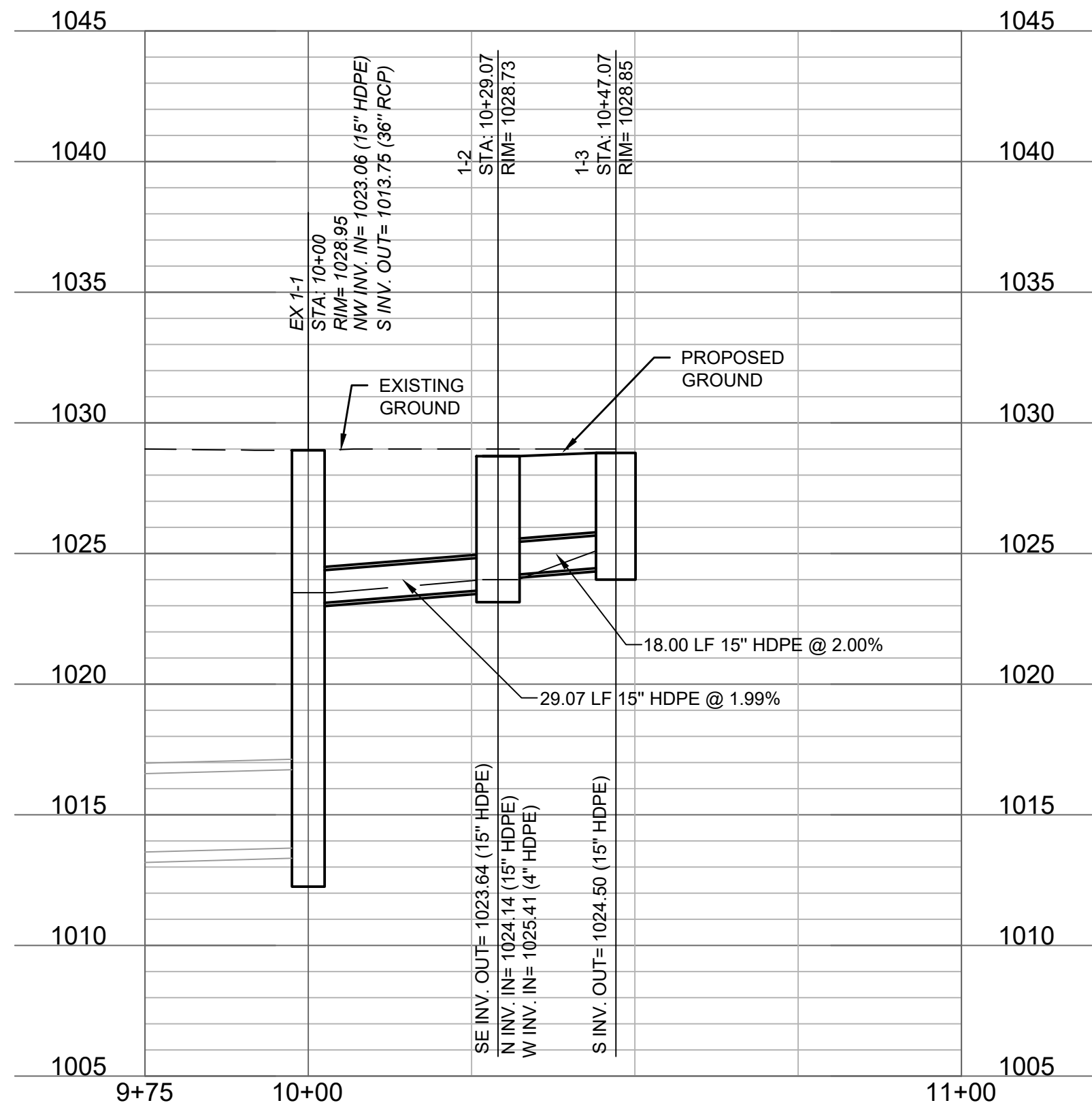
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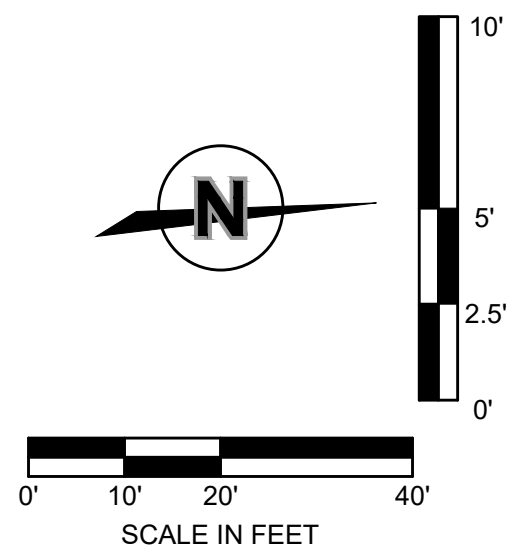
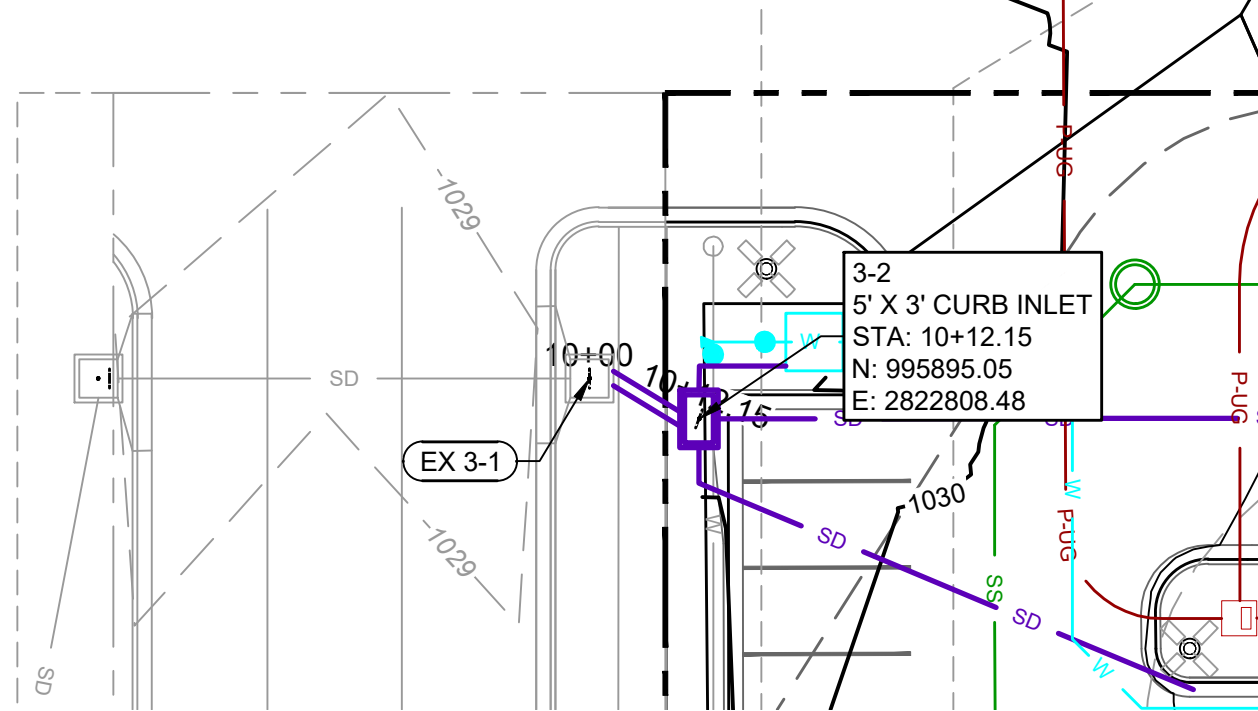
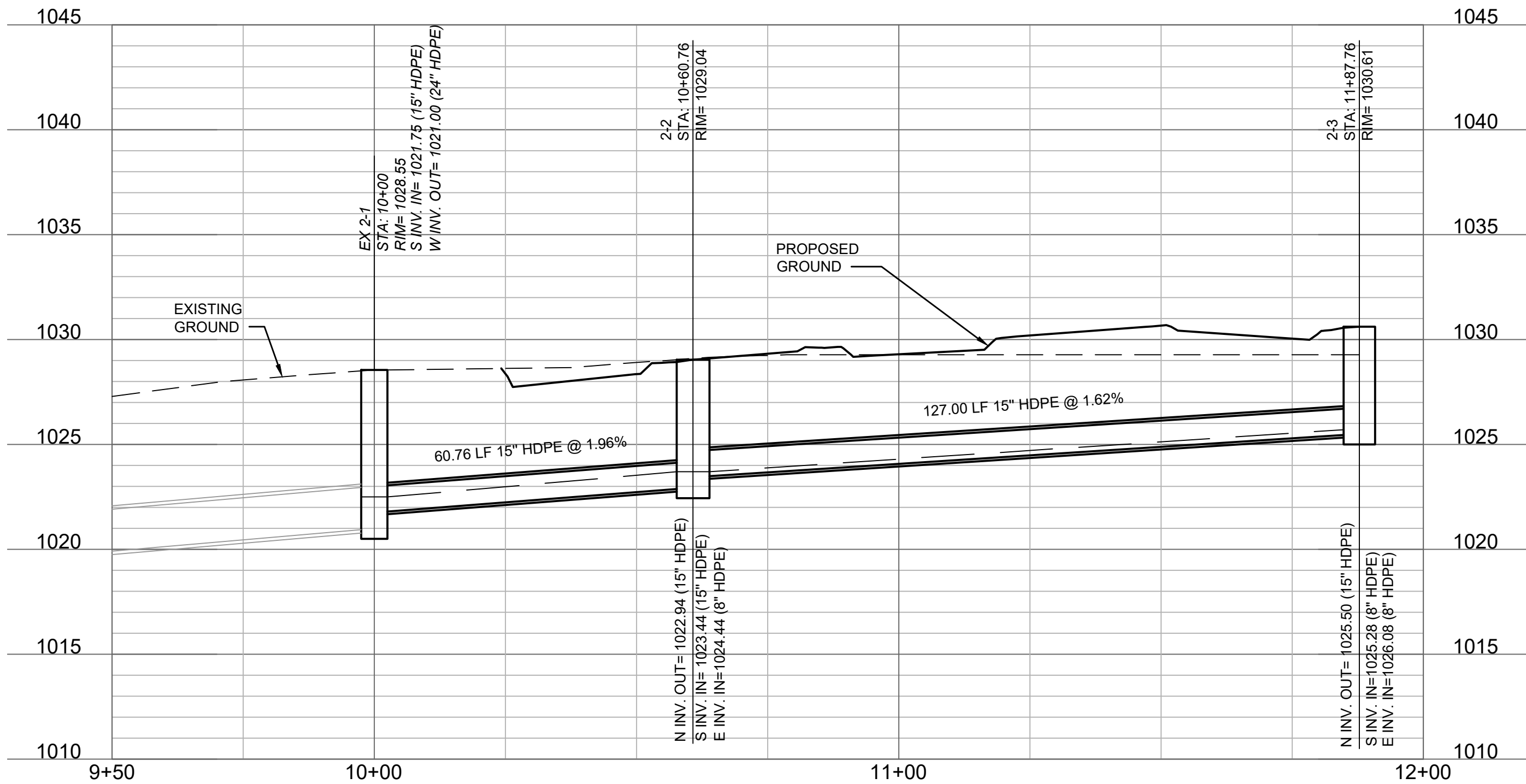
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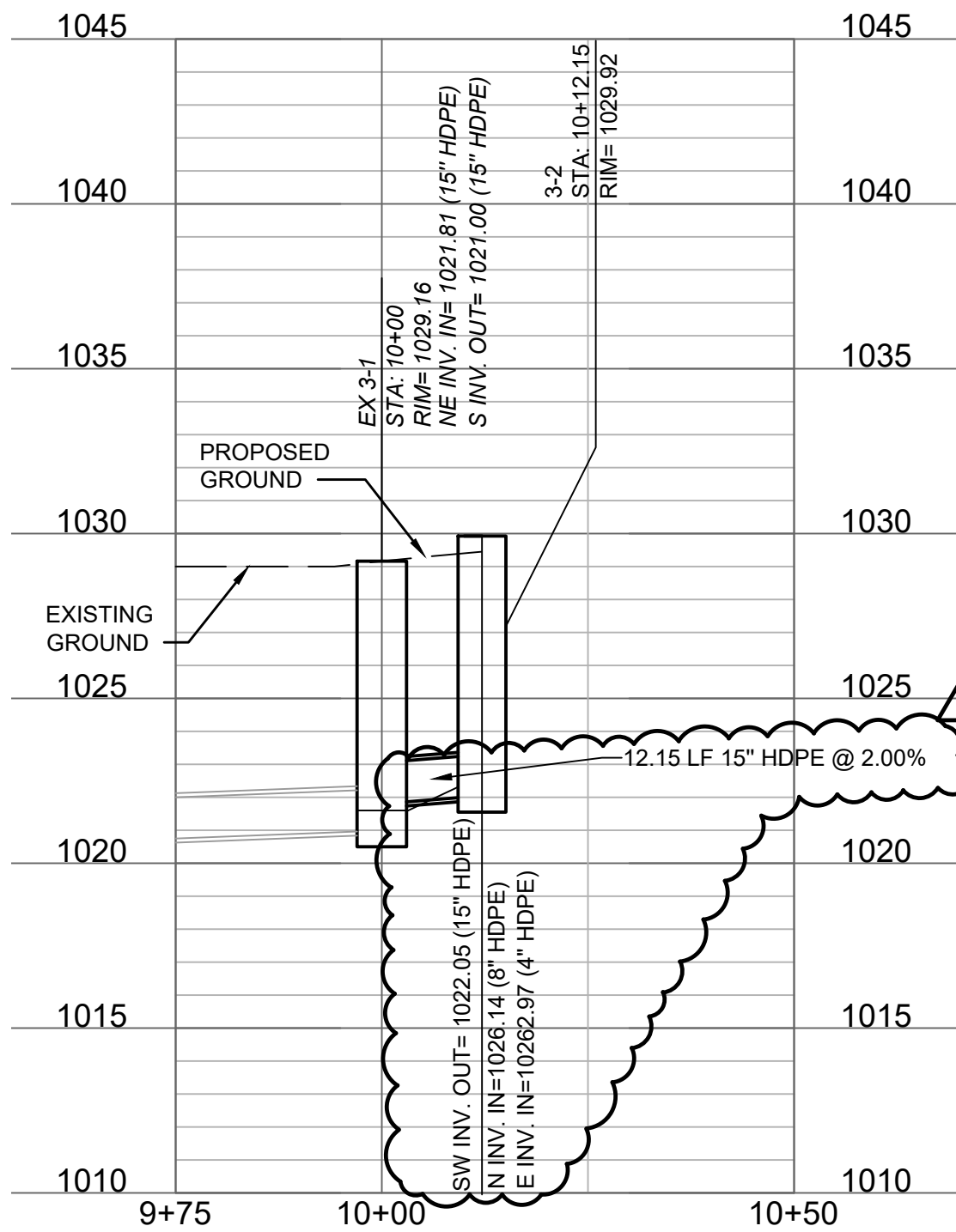
STORM LINE 1 (9+75 - 11+00)



STORM LINE 2 (9+50 - 12+00)



STORM LINE 3 (9+75 - 10+50)



STORM SEWER LEGEND

- SD PROPOSED STORM SEWER (LESS THAN 12" DIA.)
- SD PROPOSED STORM SEWER (MORE THAN 12" DIA.)

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STORM PLAN & PROFILES
SITE DEVELOPMENT PLANS
FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY
LEE'S SUMMIT, MISSOURI

drawn by: OS/GS
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project no.: 024-02510
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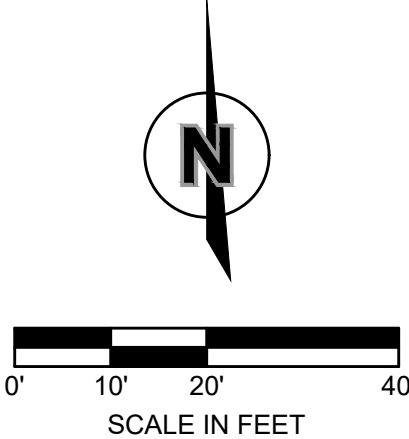


DRAINAGE LEGEND

- 830 EXISTING MINOR CONTOUR
- 830 EXISTING MAJOR CONTOUR
- 830 PROPOSED MINOR CONTOUR
- 830 PROPOSED MAJOR CONTOUR
- PROPOSED DRAINAGE AREA

STORM SEWER KEYNOTES

- ST01 INSTALL 126.70 LF OF 6" HDPE. INSTALL DOWNSPOUT BOOT AND CONNECT TO PIPE. CONNECT DOWNSTREAM INTO STRUCTURE 2-3. SLOPE @ 2.00% FL UP 1028.61 FL DOWN 1026.08
- ST02 INSTALL APPROXIMATELY 70.04 LF OF 8" HDPE. CONNECT TO ROOF DRAIN DOWNSPOUTS. WYE INTO ST01. SLOPE @ 2.00% MIN FL UP 1027.00 FL DOWN 1026.46
- ST03 INSTALL APPROXIMATELY 93.18 LF OF 6" HDPE. INSTALL DOWNSPOUT BOOT AND CONNECT TO PIPE. CONNECT TO ROOF DRAIN DOWNSPOUTS. CONNECT DOWNSTREAM INTO 3-2. SLOPE @ 2.00% MIN FL UP 1028.00 FL DOWN 1026.14
- ST04 INSTALL APPROXIMATELY 160.39 LF OF 8" HDPE. CONNECT DOWNSTREAM INTO 2-3. SLOPE @ 2.00% FL UP 1029.29 FL DOWN 1026.13
- ST05 INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE INLET TOP = 1031.90 FL IN (S) = 1029.00 (6" HDPE) FL IN (E) = 1027.90 (8" HDPE) FL OUT (W) = 1027.90 (8"HDPE)
- ST06 INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE INLET TOP = 1031.90 FL IN (S) = 1029.00 (6" HDPE) FL IN (E) = 1028.60 (8" HDPE) FL OUT (W) = 1028.60 (8"HDPE)
- ST07 INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE INLET TOP = 1031.90 FL IN (S) = 1029.50 (6" HDPE) FL OUT (W) = 1029.29 (8"HDPE)
- ST08 INSTALL DOWNSPOUT BOOT AND APPROX 2' OF 6" HDPE. CONNECT TO NYLOPLAST DRAIN BASIN
- ST09 INSTALL APPROXIMATELY 141.11 LF OF 8" HDPE. CONNECT DOWNSTREAM INTO 2-2. SLOPE @ 2.00% FL UP = 1027.21 FL DOWN = 1024.44
- ST10 INSTALL APPROXIMATELY 69.18 LF OF 4" PERFORATED PIPE. CONNECT DOWNSTREAM INTO ST09 WITH WYE SLOPE @ 2.00% FL UP = 1028.11 FL DOWN = 1026.72
- ST11 INSTALL APPROXIMATELY 69.18 LF OF 4" PERFORATED PIPE. CONNECT DOWNSTREAM INTO ST09 WITH WYE SLOPE @ 2.00% FL UP = 1028.40 FL DOWN = 1027.02
- ST12 INSTALL APPROXIMATELY 69.18 LF OF 4" PERFORATED PIPE. CONNECT DOWNSTREAM INTO ST09 WITH WYE SLOPE @ 2.00% FL UP = 1028.60 FL DOWN = 1027.21
- ST13 INSTALL APPROXIMATELY 18.79 LF OF 4" PERFORATED PIPE. CONNECT DOWNSTREAM INTO ST14 WITH 45° BEND SLOPE @ 3.00% FL UP = 1030.00 FL DOWN = 1029.43
- ST14 INSTALL APPROXIMATELY 139.99 LF OF 4" PERFORATED PIPE. CONNECT DOWNSTREAM INTO INLET 1-1 SLOPE @ 3.00% FL UP = 1029.43 FL DOWN = 1025.41
- ST15 INSTALL APPROXIMATELY 11.80 LF OF 4" PVC PIPE. CONNECT DOWNSTREAM INTO INLET 3-2 SLOPE @ 2.00% FL UP = 1023.11 FL DOWN = 1023.02



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4 11/07/25 REVISION PER CITY COMMENTS

11/17/25 REVISION PER CITY COMMENTS

REVISIONS

DRAINAGE PLAN
SITE DEVELOPMENT PLANS

FIVE-FOUR RESTAURANT
301 SW OLDHAM PARKWAY

LEE'S SUMMIT, MISSOURI

2025

drawn by: OS/GS

designed by: DG

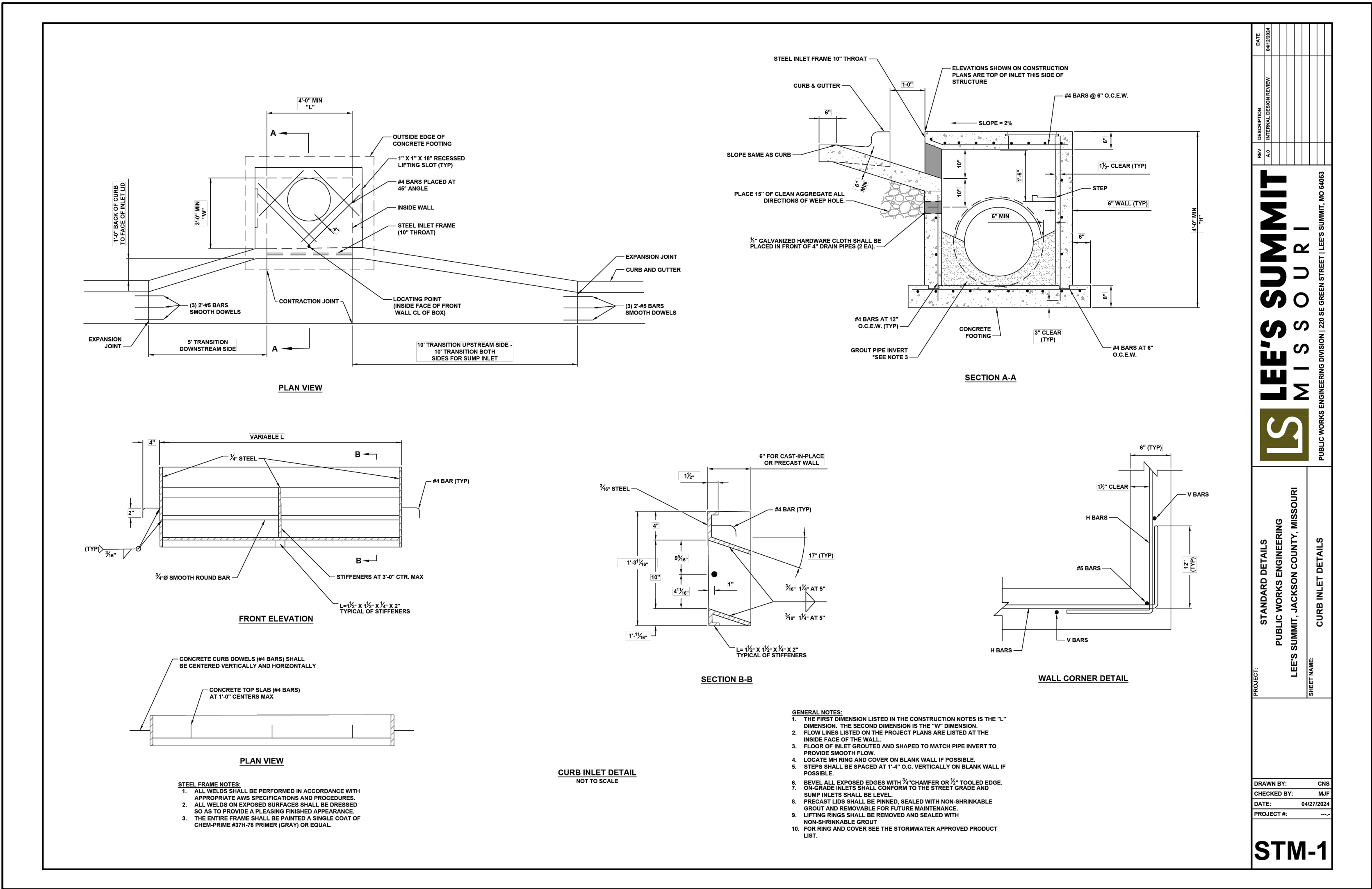
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Connection	Connection Type	From	To	Upstream Cover Elevation (US-ft)	Max. US Water Elevation (US-ft)	Max. Flow Depth (US-ft)	Discharge Volume (ft³)	Max. Velocity (ft/s)	Flow / Capacity	Max. Flow (ft³/s)	Status	HGL Up (US-ft)	HGL Down (US-ft)
2-1 to 1	Pipe	EX 2-1	1	1028.6	1021.6	0.6	3398.5	7.7	0.16	5.473	OK	1021.6	1013.6
2-2 to 2-1	Pipe	2-2	EX 2-1	1029.1	1023.7	0.7	3401.7	7.3	0.61	5.560	OK	1023.7	1022.5
2-3 to 2-2	Pipe	2-3	2-2	1030.4	1025.7	0.7	2518.6	5.7	0.5	4.164	OK	1025.7	1023.7
1-1 to 1-0	Pipe	EX 1-1	5	1028.9	1014.6	0.8	4960.6	5.4	0.15	8.134	OK	1014.6	1013.0
1-2 to 1-1	Pipe	1-2	EX 1-1	1029.0	1024.0	0.6	4962.6	13.8	0.22	8.254	OK	1024.0	1023.5
1-3 to 1-2	Pipe	1-3	1-2	1029.0	1025.1	0.5	2805.9	10.1	0.33	4.668	OK	1025.1	1024.0
3-1 to 3-0	Pipe	EX 3-1	9	1029.2	1021.6	0.6	1526.9	4.6	0.39	2.521	OK	1021.6	1021.0
3-2 to 3-1	Pipe	3-2	EX 3-1	1030.0	1022.4	0.5	1527.8	5.7	0.13	2.540	OK	1022.4	1021.6



1301 Burlington Street
North Kansas City, MO 64116

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Olsson - Engineering
Missouri COA #001592

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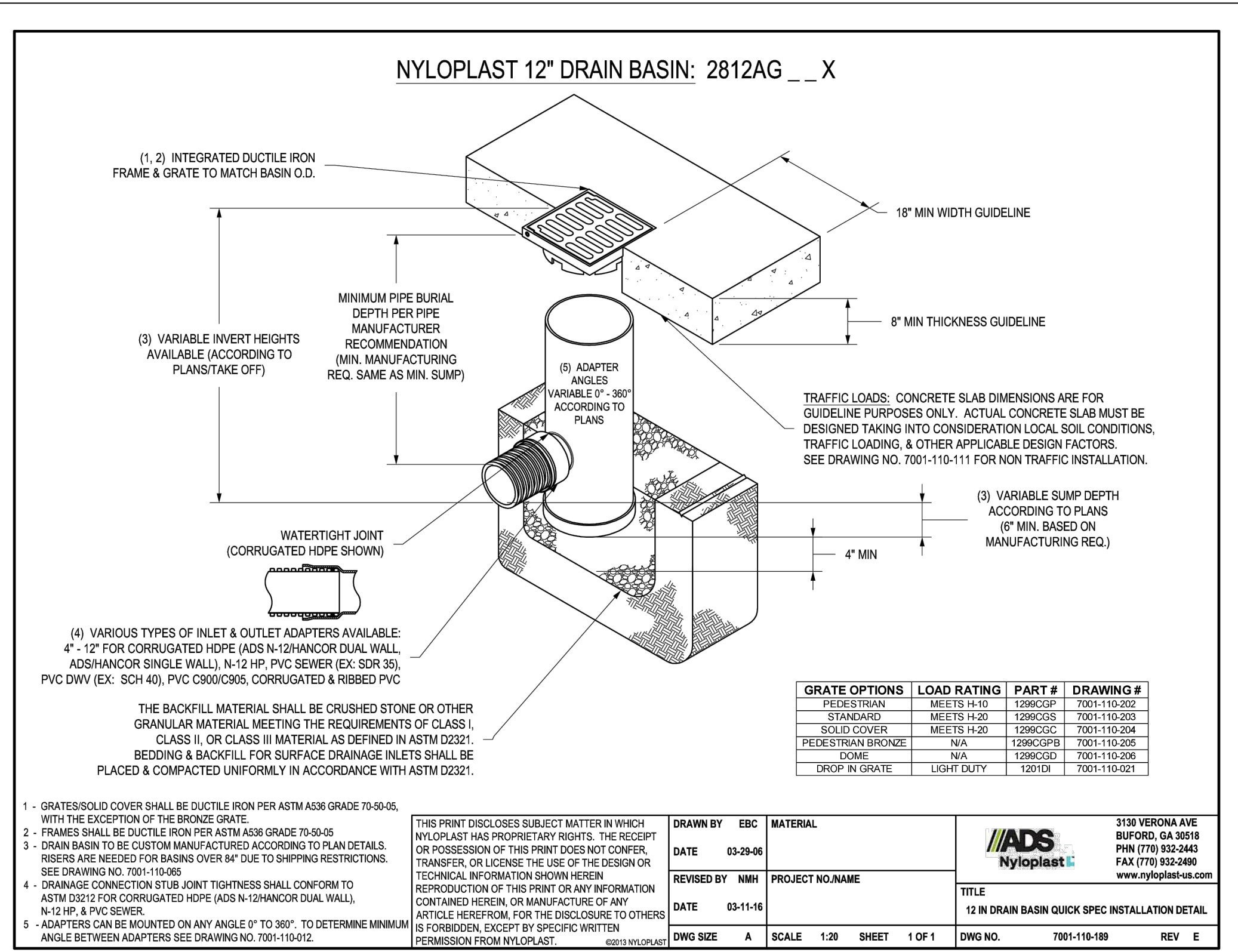
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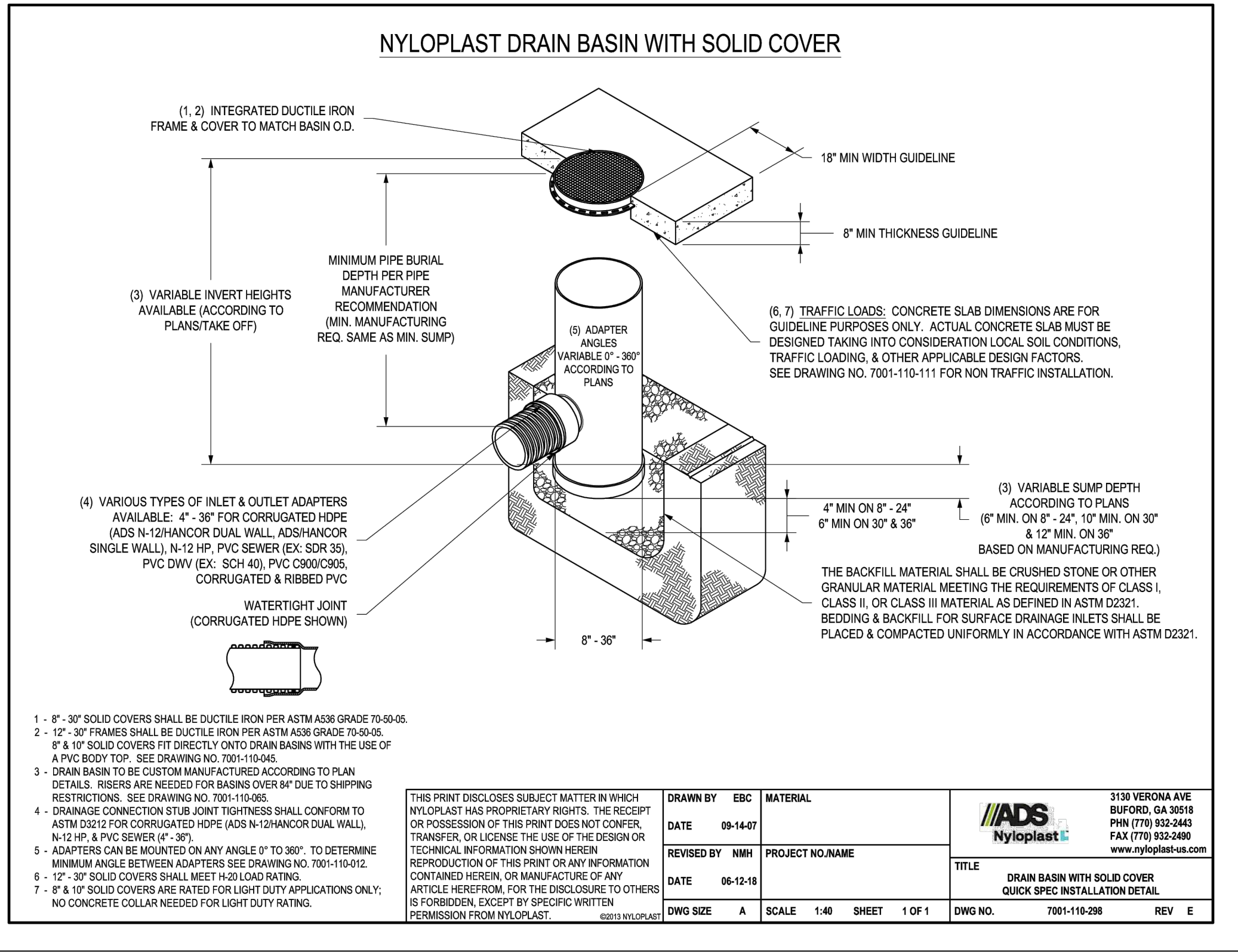
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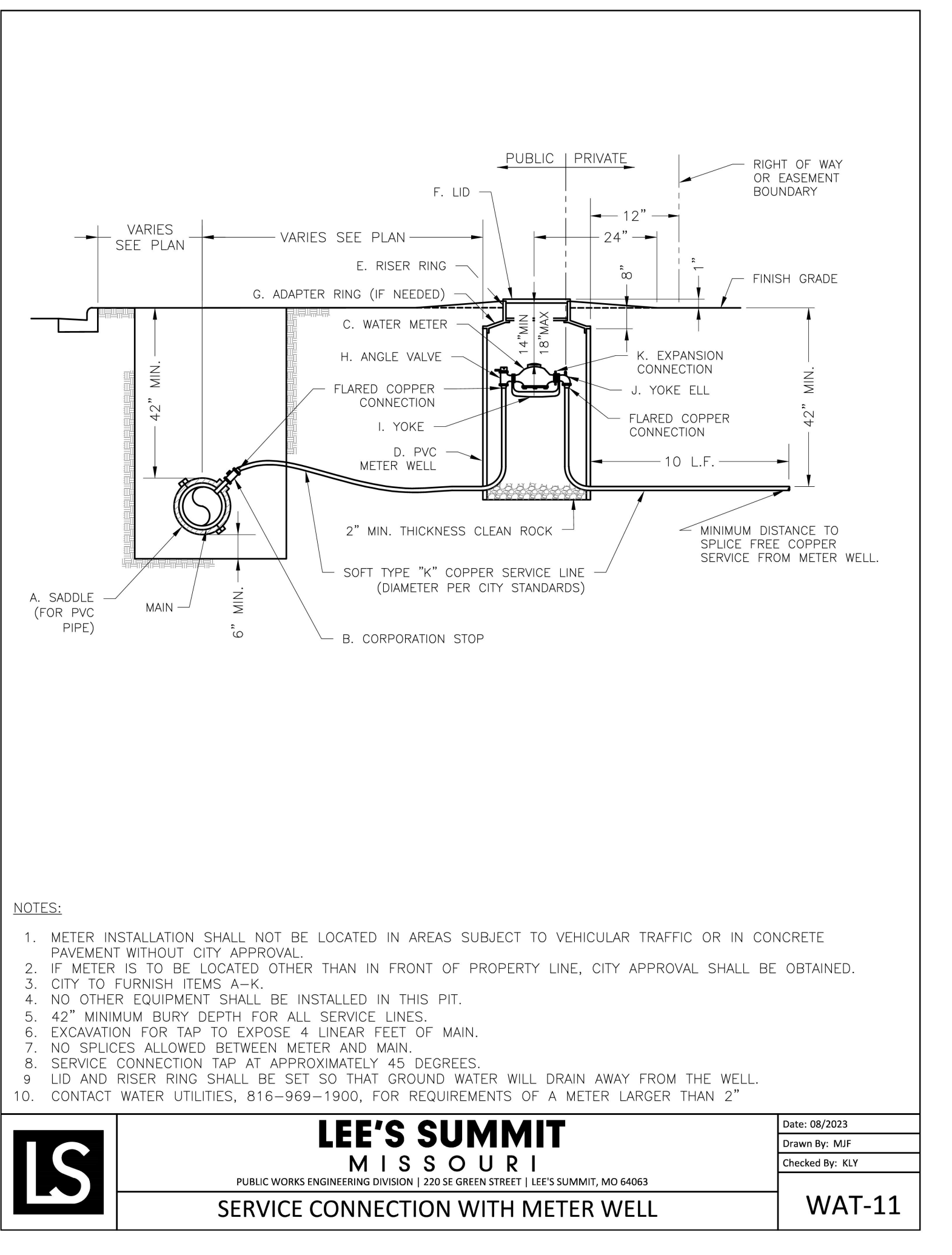
N.T.S.
15 NYLOPLAST 12" DRAIN BASIN WITH GRATE



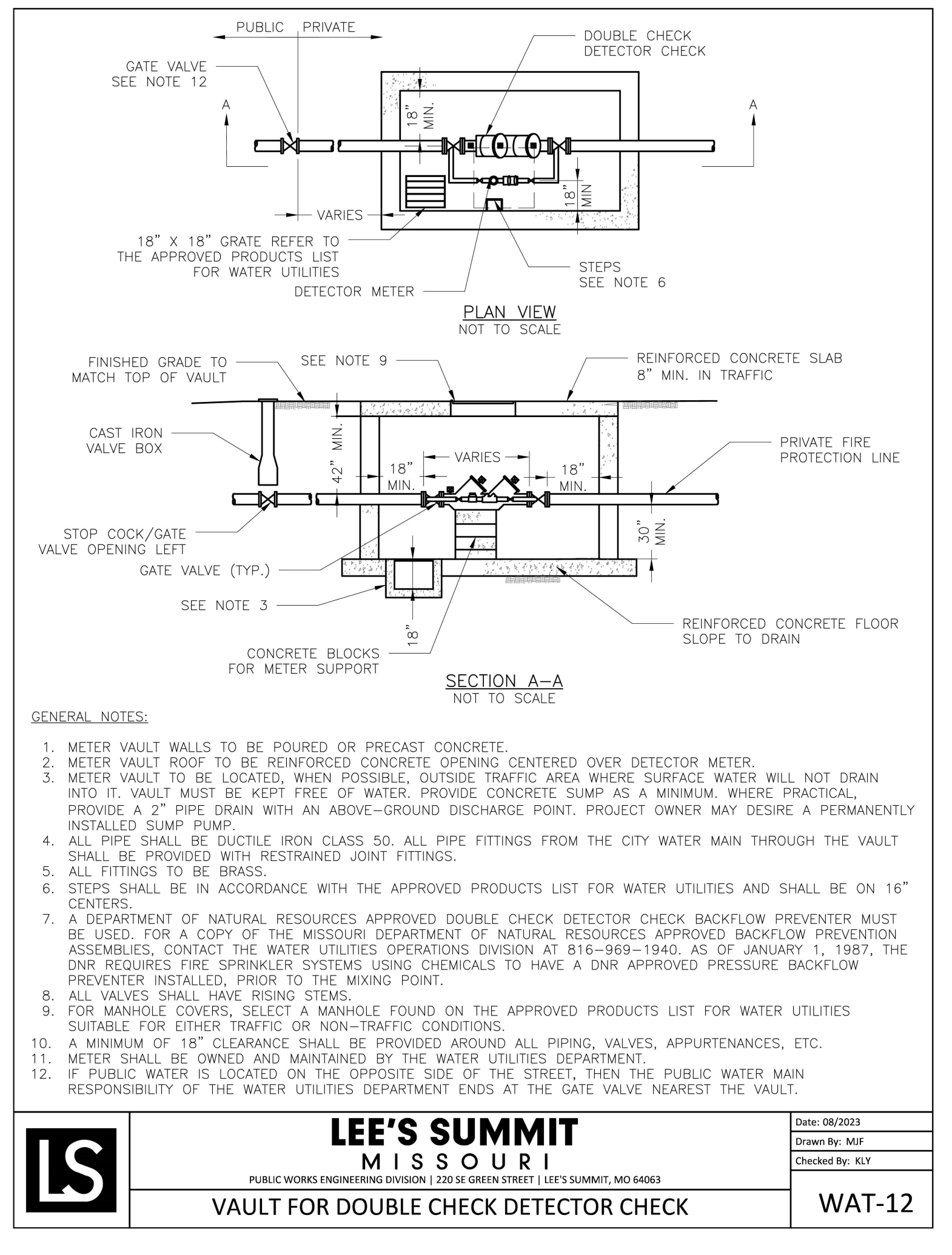
N.T.S.
16 NYLOPLAST DRAIN BASIN WITH SOLID COVER



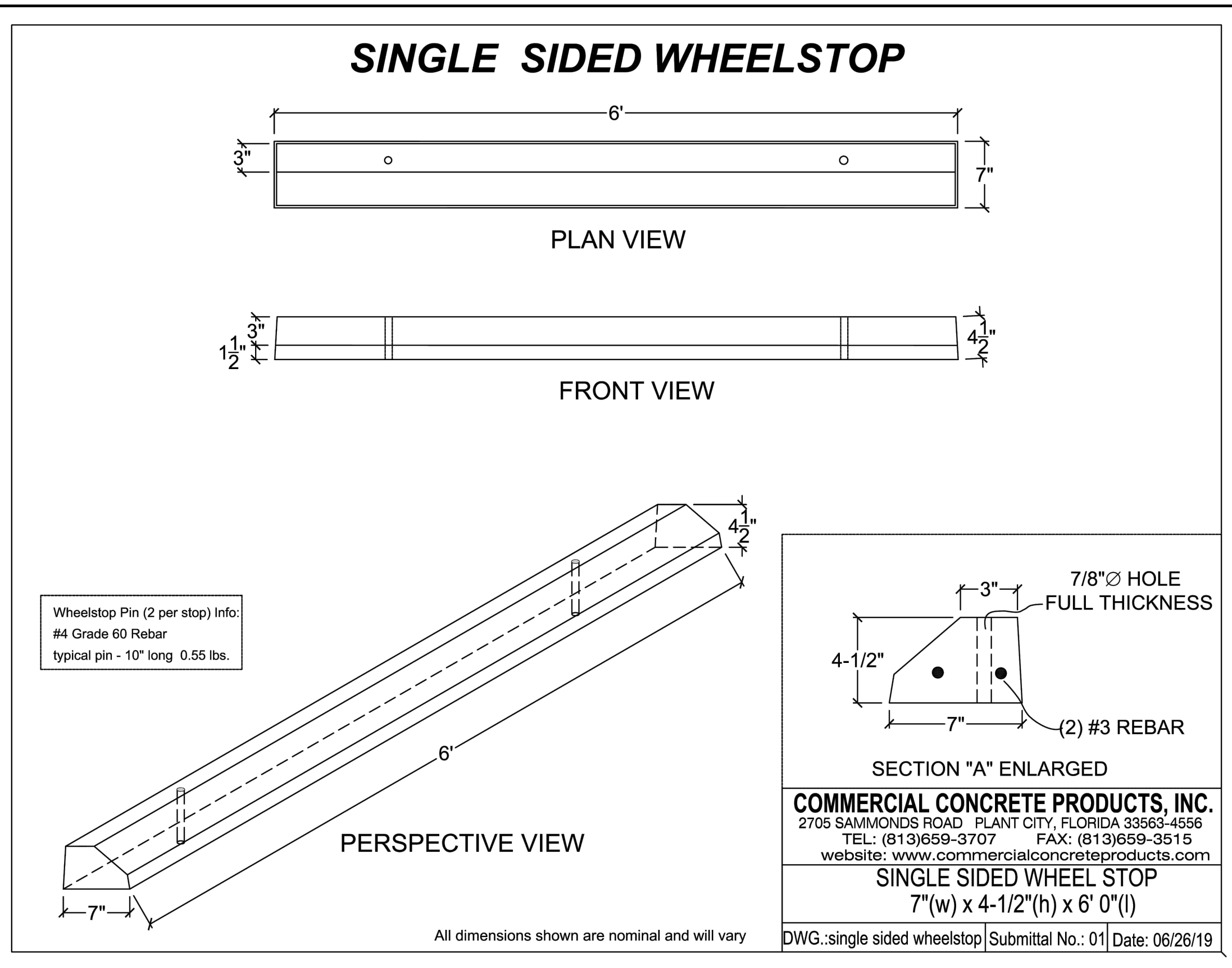
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17 WATER METER CONNECTION

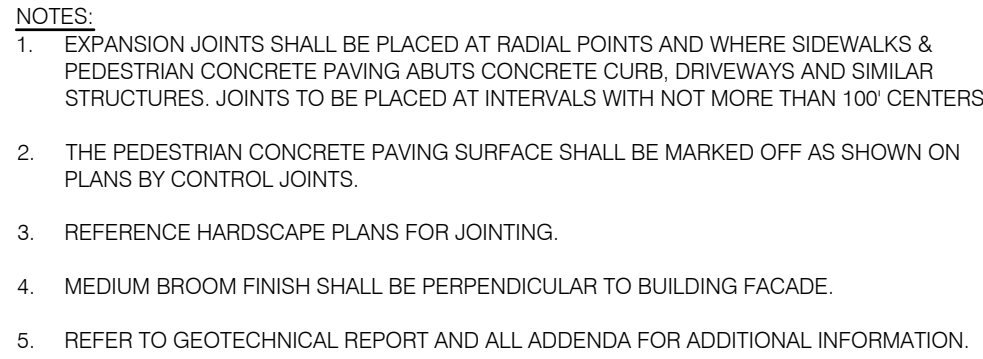


N.T.S.
18 VAULT FOR DOUBLE CHECK DETECTOR

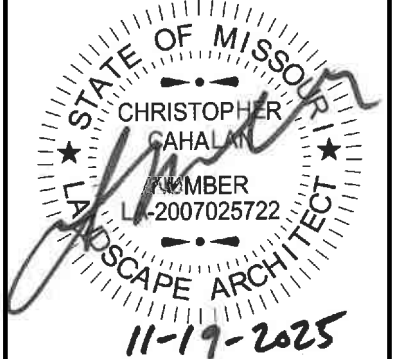


N.T.S.
19 WHEEL STOP DETAIL





2 TYPICAL CONCRETE JOINTS



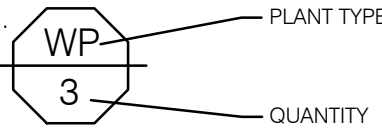
SHEET
L190

LANDSCAPING AND SCREENING REQUIREMENTS		REQUIRED PLANTS	SHOWN PLANTS
LEE'S SUMMIT, MISSOURI			
CODE OF ORDINANCES: LANDSCAPE REQUIREMENTS			
SITE ZONED: PMIX			
TOTAL PROPERTY: 2.67 ACRES (116,245 SQ FT)			
STREET FRONTAGE TREES:			
SEC. 8.790.A.1	ONE (1) TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE		
	SW OLDHAM PARKWAY		
	TOTAL STREET FRONTAGE = 354 FEET		
	354 / 30 = 12 TREES	12 TREES	18 TREES
	SW FIELDHOUSE DRIVE		
	TOTAL STREET FRONTAGE = 303 FEET		
	303 / 30 = 10 TREES	10 TREES	10 TREES
SEC. 8.790.A.3	ONE (1) SHRUB SHALL BE PROVIDED FOR EACH 20 FEET OF STREET FRONTAGE		
	SW OLDHAM PARKWAY		
	TOTAL STREET FRONTAGE = 354 FEET		
	354 / 20 = 18 SHRUBS	18 SHRUBS	79 SHRUBS
	SW FIELDHOUSE DRIVE		
	TOTAL STREET FRONTAGE = 303 FEET		
	303 / 20 = 15 SHRUBS	15 SHRUBS	111 SHRUBS
LANDSCAPE TOTALS		22 TREES	28 TREES
		33 SHRUBS	190 SHRUBS
OPEN YARD AREAS:			
SEC. 8.790.B.1	THE MINIMUM OPEN YARD AREA LANDSCAPING REQUIREMENTS SHALL BE TWO SHRUBS PER 5,000 SQUARE FEET OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT AREA.		
	TOTAL LOT AREA = 166,245 SQFT		
	166,743 - 12,502 (BUILDING) = 103,743		
	103,743 / 5,000 X 2 = 42 SHRUBS	42 SHRUBS	231 SHRUBS
SEC. 8.790.B.3	IN ADDITION TO THE TREES REQUIRED BASED UPON STREET FRONTAGE, ADDITIONAL TREES SHALL BE REQUIRED AT A RATIO OF ONE TREE FOR EVERY 5,000 SQUARE FEET OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES		
	TOTAL LOT AREA = 166,245		
	166,743 - 12,502 (BUILDING) = 103,743		
	103,743 / 5,000 = 21 TREES	21 TREES	27 TREES
LANDSCAPE TOTALS		42 SHRUBS	231 SHRUBS
		21 TREES	22 TREES
PARKING LOT LANDSCAPING AND TREES			
SEC. 8.810.A	LANDSCAPE ISLANDS, STRIPS OR OTHER PLANTING AREAS SHALL BE LOCATED WITHIN THE PARKING LOT AND SHALL CONSTITUTE AT LEAST 5 PERCENT OF THE ENTIRE AREA DEVOTED TO PARKING SPACES, AISLES AND DRIVEWAYS.		
	TOTAL PARKING LOT AREA = 50,026 SQFT		
	50,026 X 5% = 2,501 SQFT	2,501 SQFT	6,195 SQFT
	SHRUBS		286 SHRUBS
	TREES		13 TREES
LANDSCAPE TOTALS		2,501 SQFT	6,352 SQFT
SCREENING, PARKING LOT			
SEC. 8.820.C.1	PLANTED ONLY: A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40 LINEAR FEET THAT WILL SPREAD INTO A CONTINUOUS VISUAL SCREEN WITHIN GROWING SEASONS.		
	SW OLDHAM PARKWAY		
	TOTAL STREET FRONTAGE = 354 FEET		
	354 / 40 X 12 = 18 SHRUBS	106 SHRUBS	101 SHRUBS
	SW FIELDHOUSE DRIVE		
	TOTAL STREET FRONTAGE = 303 FEET		
	303 / 40 X 12 = 15 SHRUBS	90 SHRUBS	108 SHRUBS
LANDSCAPE TOTALS		196 SHRUBS	209 SHRUBS

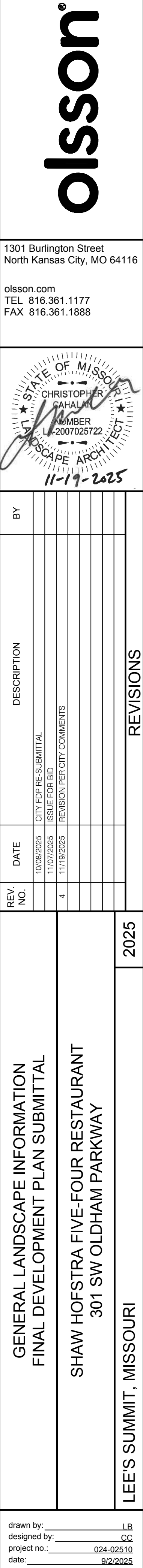
LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANT THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNERS FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DEFINITION:

PLANT TYPE



*NOTE:
SCREENING, PARKING LOT NUMBERS
ARE EQUIVALENT TO STREET
FRONTAGE SHRUBS CALCULATIONS
AND ARE SHOWN FOR REFERENCE
AND NOT FINAL QUANTITY.



①

RIGHT OF-WAY / PROPERTY LINE

OVERSTORY TREE

EVERGREEN TREE

ORNAMENTAL TREE




TURF TYPE FESCUE SOD

DRY STREAM BED

- 1 DRY STREAM BED; REF: 6/L290
- 2 AREA TO BE SODDED WITH TURF TYPE FESCUE SOD; REF: SPECIFICATIONS
- 3 PLANTING BED WITH HARDWOOD MULCH UNLESS NOTED; REF: LANDSCAPE GENERAL NOTES, UNDERSTORY PLANS AND DETAILS

CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
EVERGREEN TREES					
MB	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY'	BRACKENS BEAUTY SOUTHERN MAGNOLIA	2' CAL	B&B	8
PC	PICEA PUNGENS	COLORADO SPRUCE	6' - 8' HT. MIN.	B&B	9
PS	PINUS STROBUS	WHITE PINE	6' - 8' HT. MIN.	B&B	7
ORNAMENTAL TREES					
CC	CERIS CANADENSIS	EASTERN REDBUD	2' CAL	B&B	11
CC2	CORNUS FLORIDA 'CLOUD NINE'	CLOUD NINE DOGWOOD	2' CAL	B&B	3
OVERSTORY TREES					
AN	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN MAPLE	2' CAL	B&B	3
RA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE	2' CAL	B&B	9
G12	GLEDTISIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	2' CAL	B&B	6
PA	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	2' CAL	B&B	3
ZG	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2' CAL	B&B	9

NOTE: NATIVE WEATHERED LIMESTONE BOULDERS TO BE HAND
SELECTED BY LANDSCAPE ARCHITECT. STONES TO BE FREE OF
CRACKS OR FISSURES.
COLOR = NATURAL PALE YELLOW, BEIGE, GOLD
TEXTURE=SMOOTH, ROUNDED, NON-SAWCUT

-  (A) 12" X 18" X 12" HT
 (B) 24" X 36" X 18" HT
 (C) 36" X 48" X 24" HT

STONE DISTRIBUTOR: CONTACT TJ JACKSON,
STURGIS MATERIALS, 550 S. PACKARD STREET,
KANSAS CITY, KS PH: 913-371-7757

1. DELIVER APPROVED BOULDERS TO SITE FOR FINAL FIELD PLACEMENT BY LANDSCAPE ARCHITECT.
2. PLACE BOULDERS WITH LANDSCAPE ARCHITECT ON SITE FOR FINAL ARRANGEMENT AND DIRECTION BY LANDSCAPE ARCHITECT.
3. PLACE BOULDERS PRIOR TO LANDSCAPE PLANTING & SIDEWALK CONSTRUCTION.
4. CONTRACTOR SHALL PLACE EXPANSION JOINT BETWEEN BOULDER AND CONCRETE PAVEMENT.

CONTRACTOR SHALL PLACE WASHED RIVER ROCK COBBLE AT A RATE OF:
75% TO BE 2"-4" DIA. RIVER JACK
25% TO BE 4"-10" DIA. RIVER JACKS
STONE DISTRIBUTOR: CONTACT TJ JACKSON,
STURGIS MATERIALS, 550 S. PACKARD STREET,
KANSAS CITY, KS PH: 913-371-7757

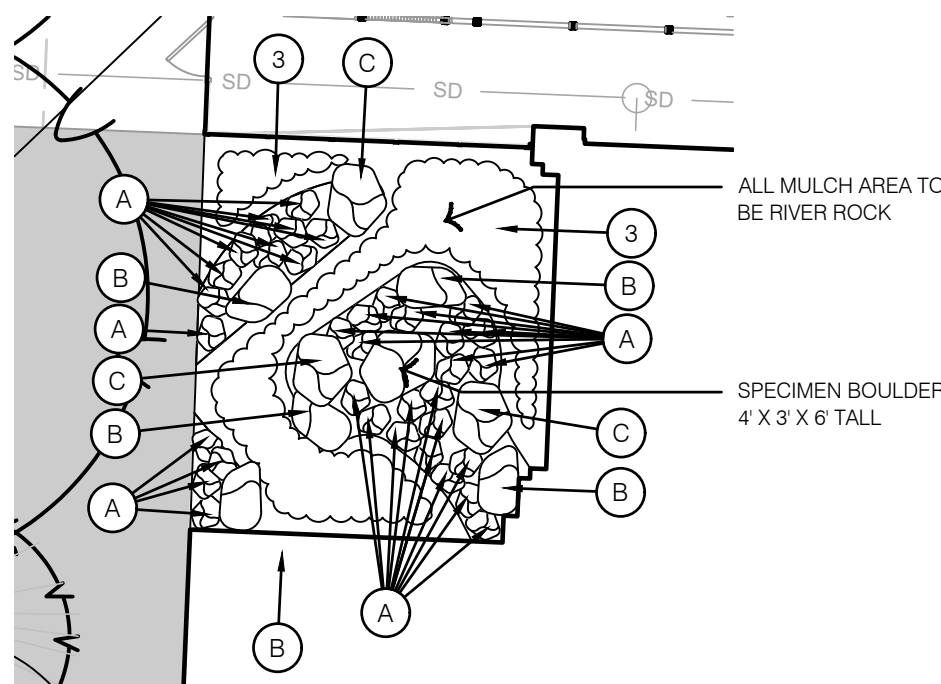
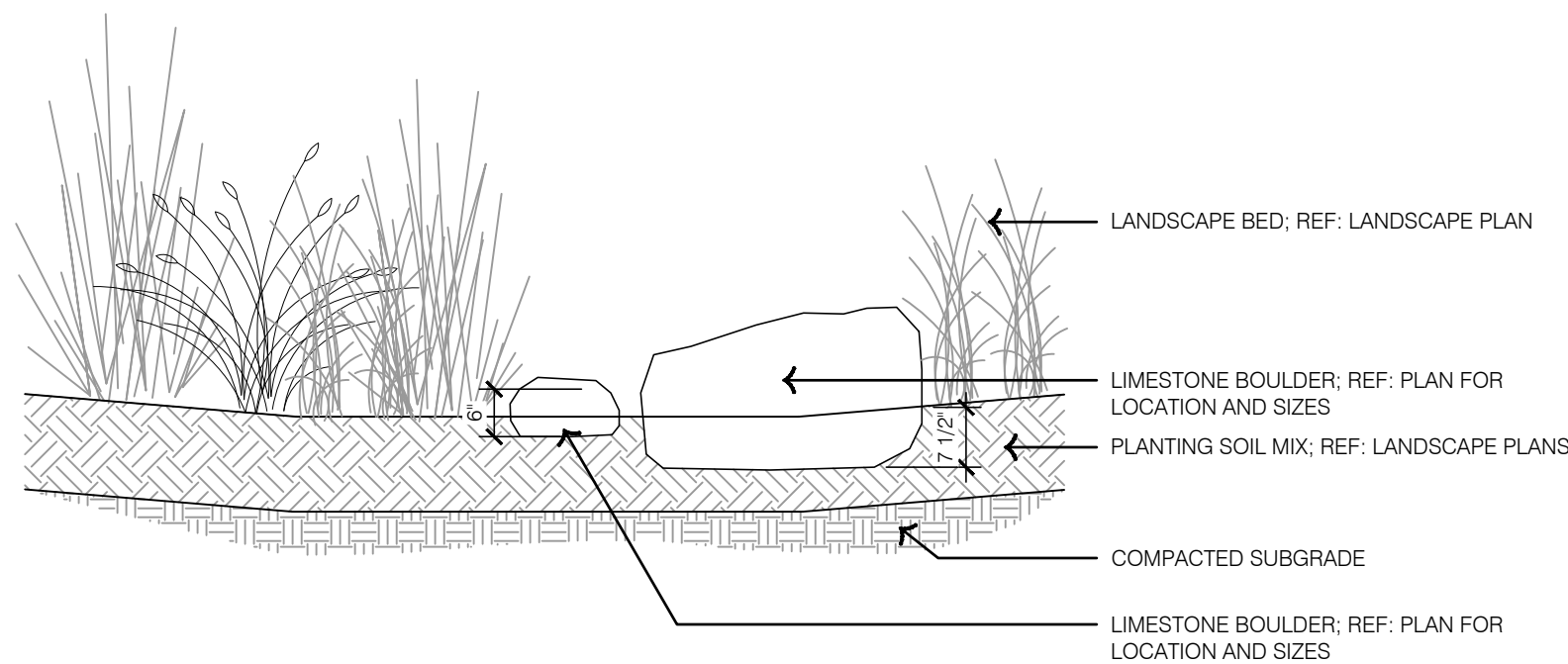
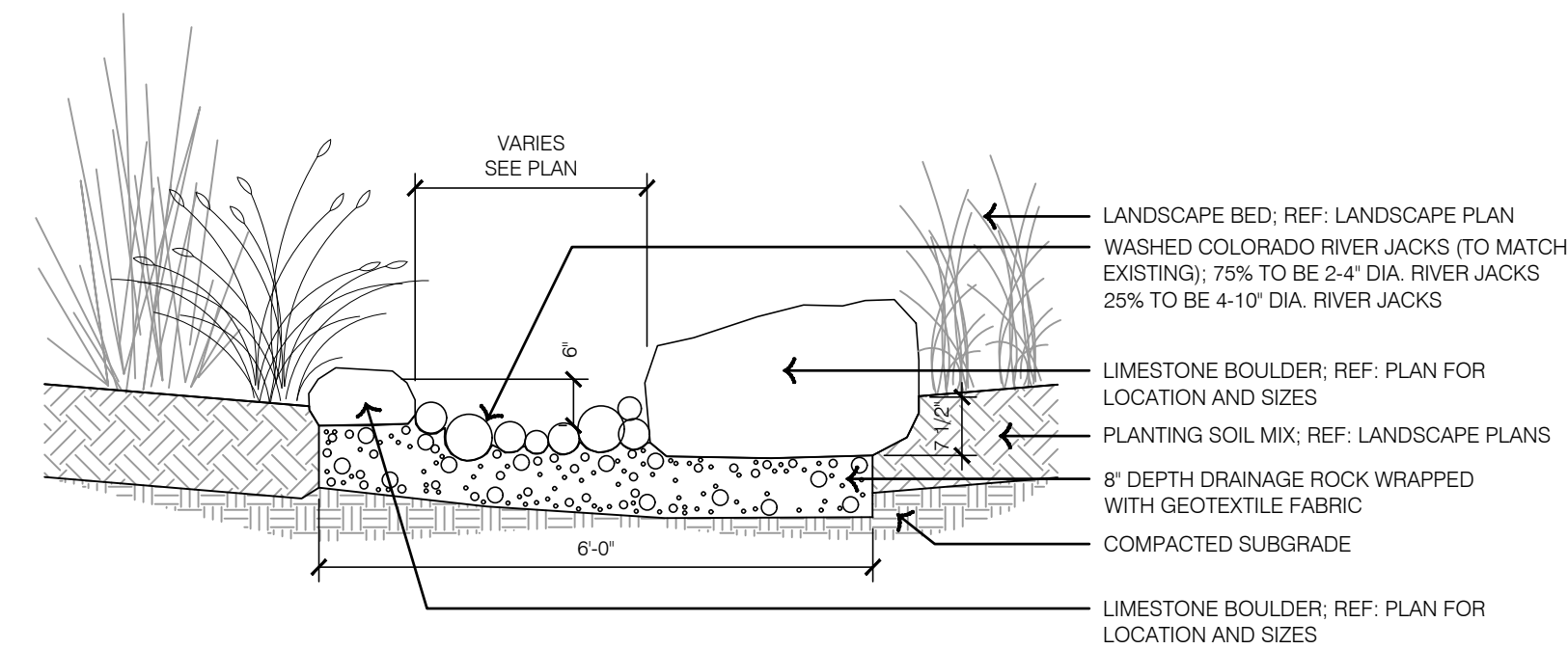
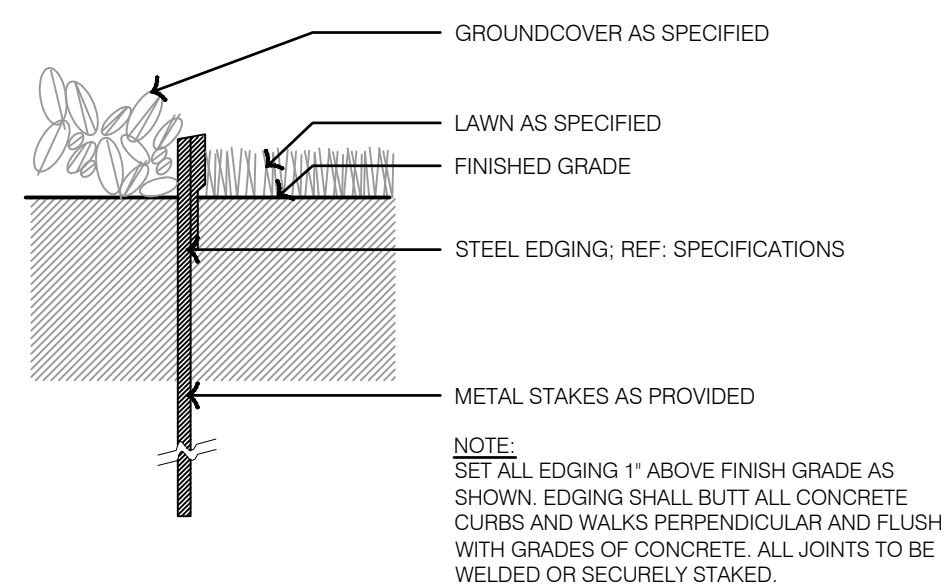
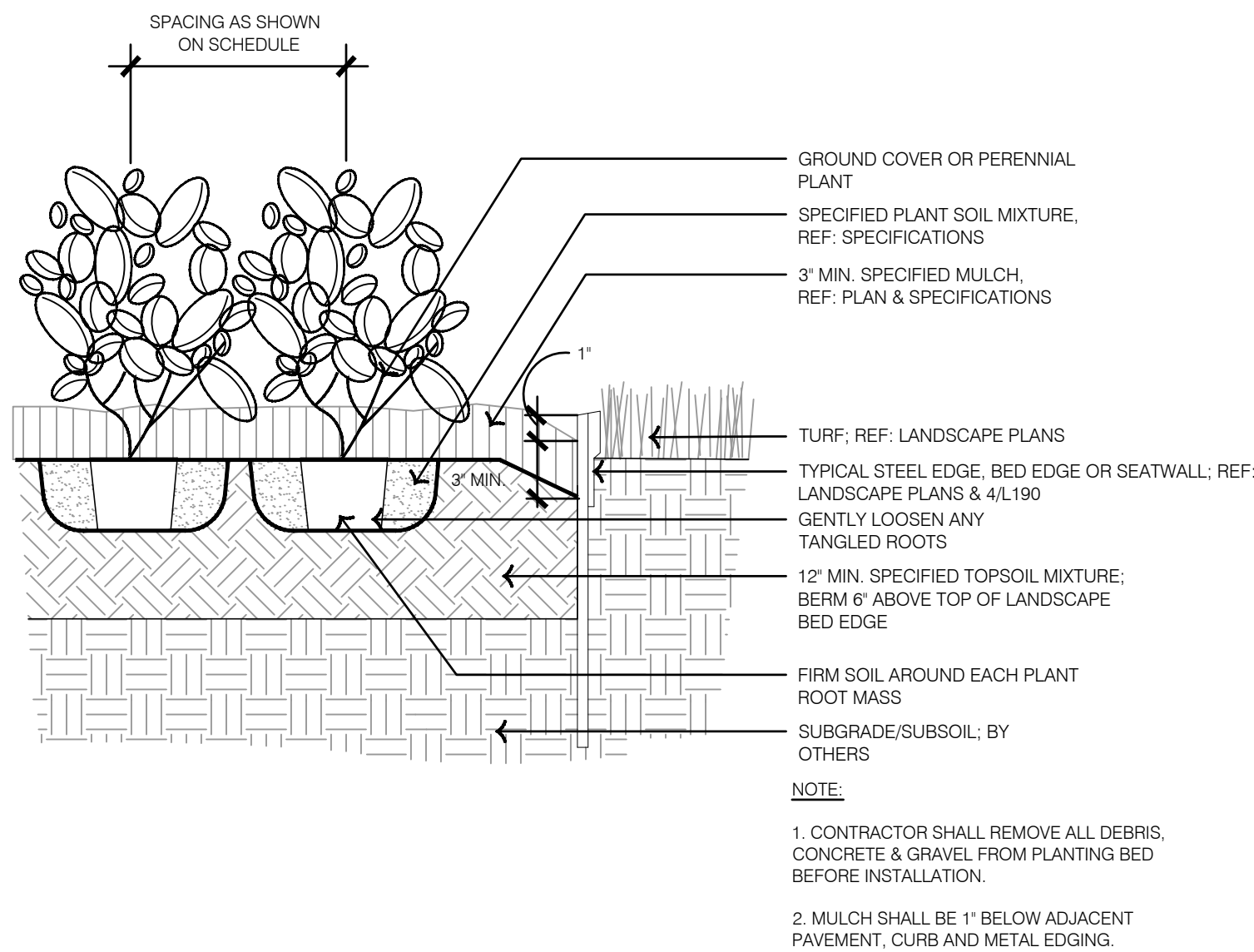
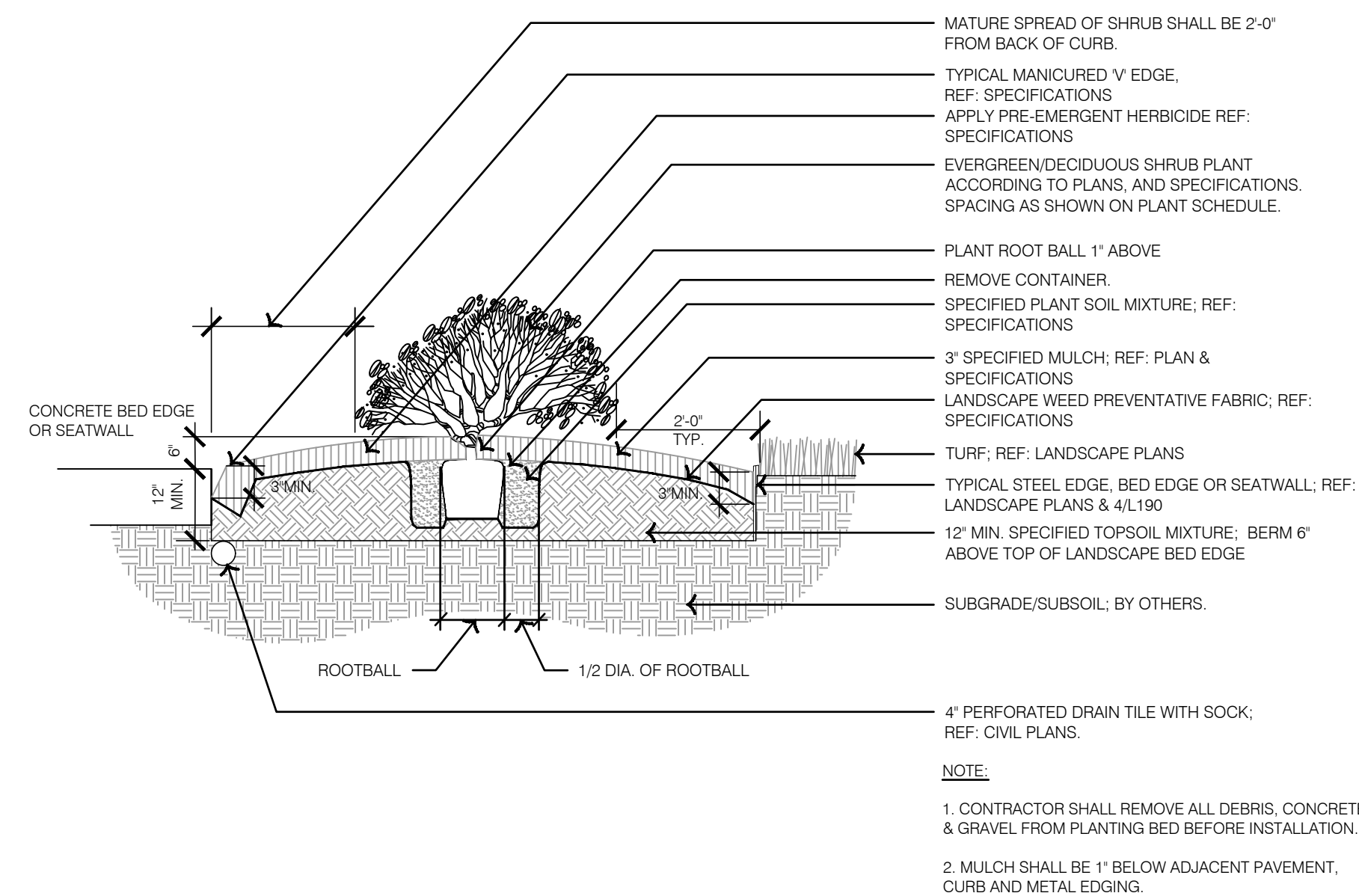
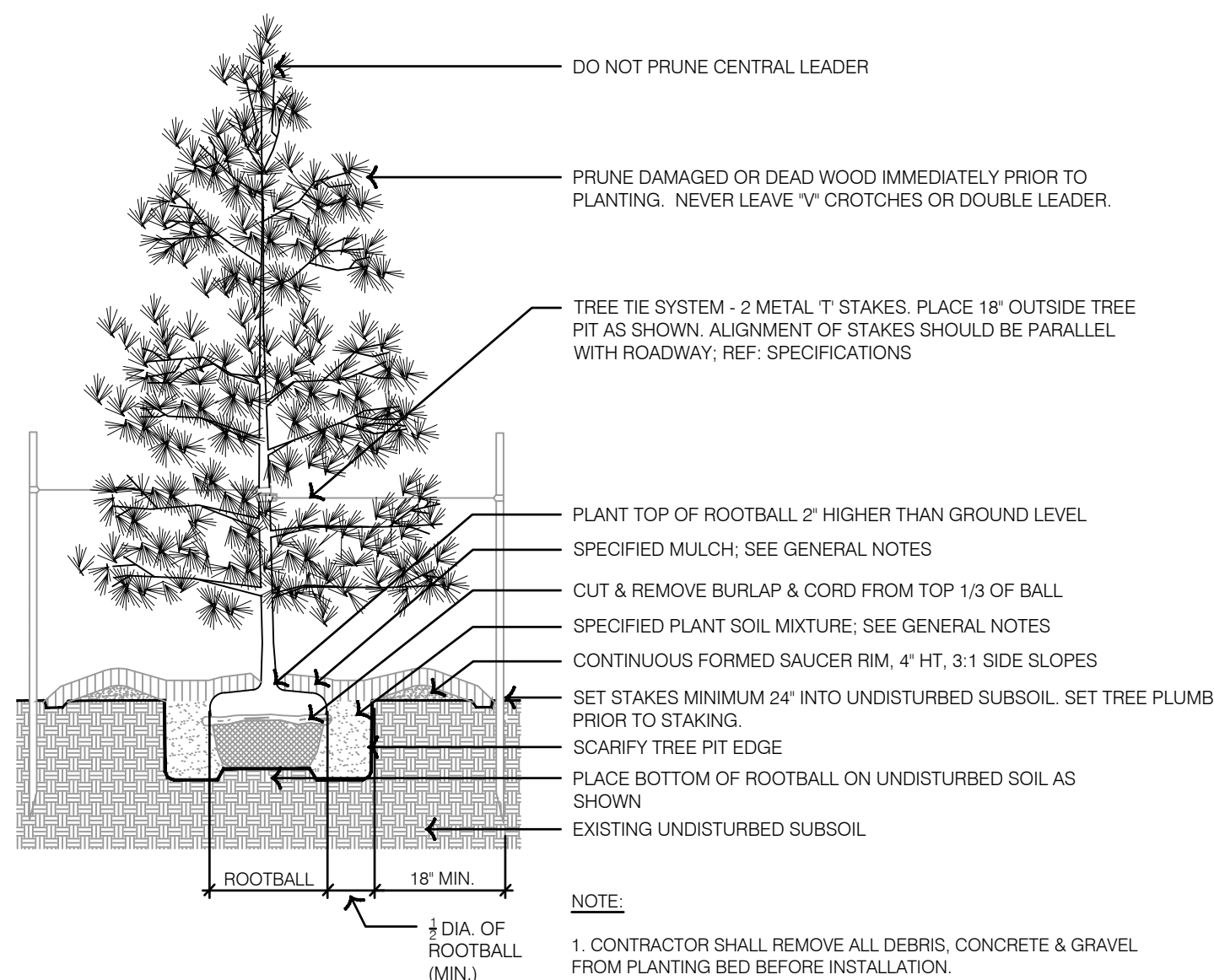
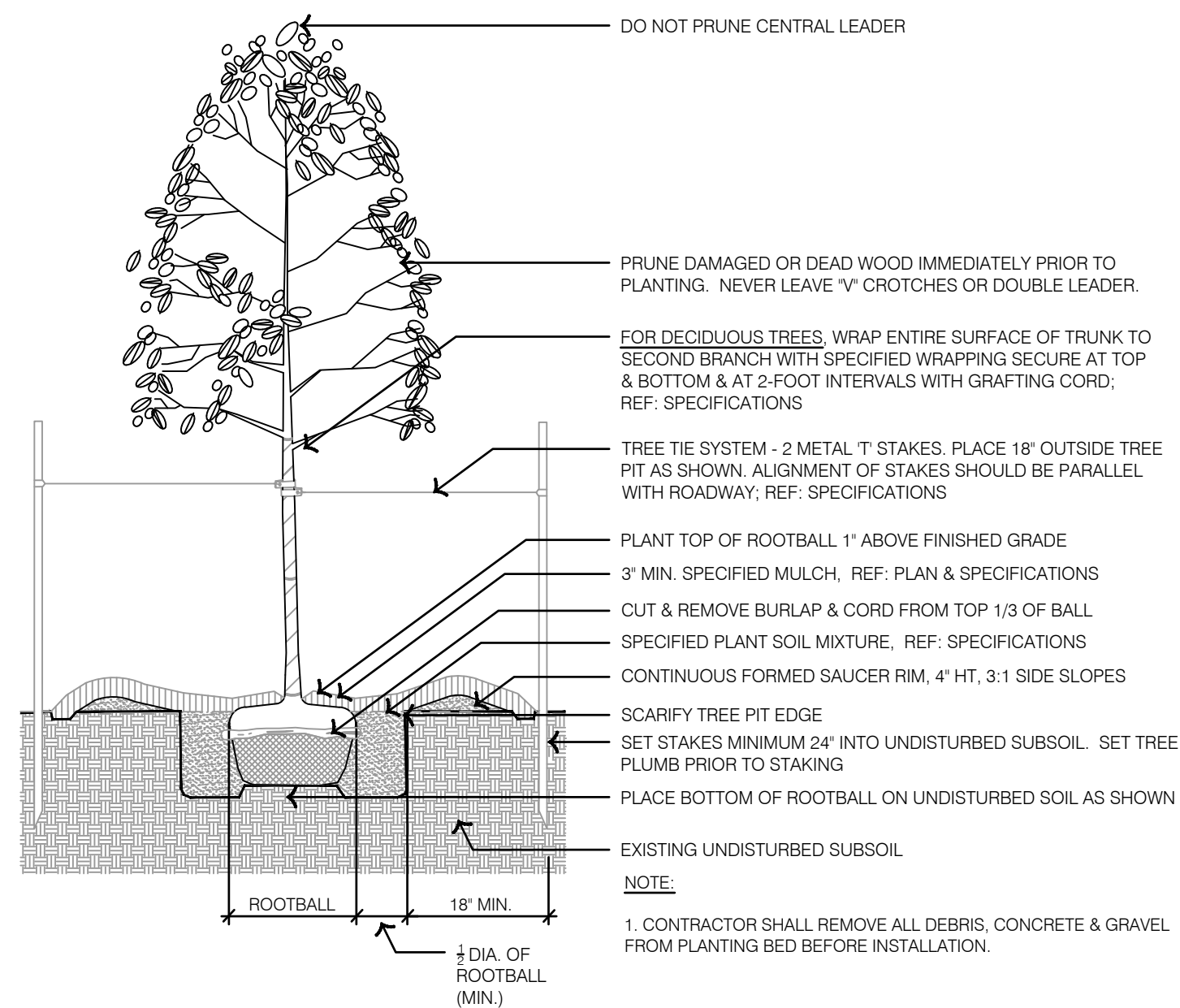
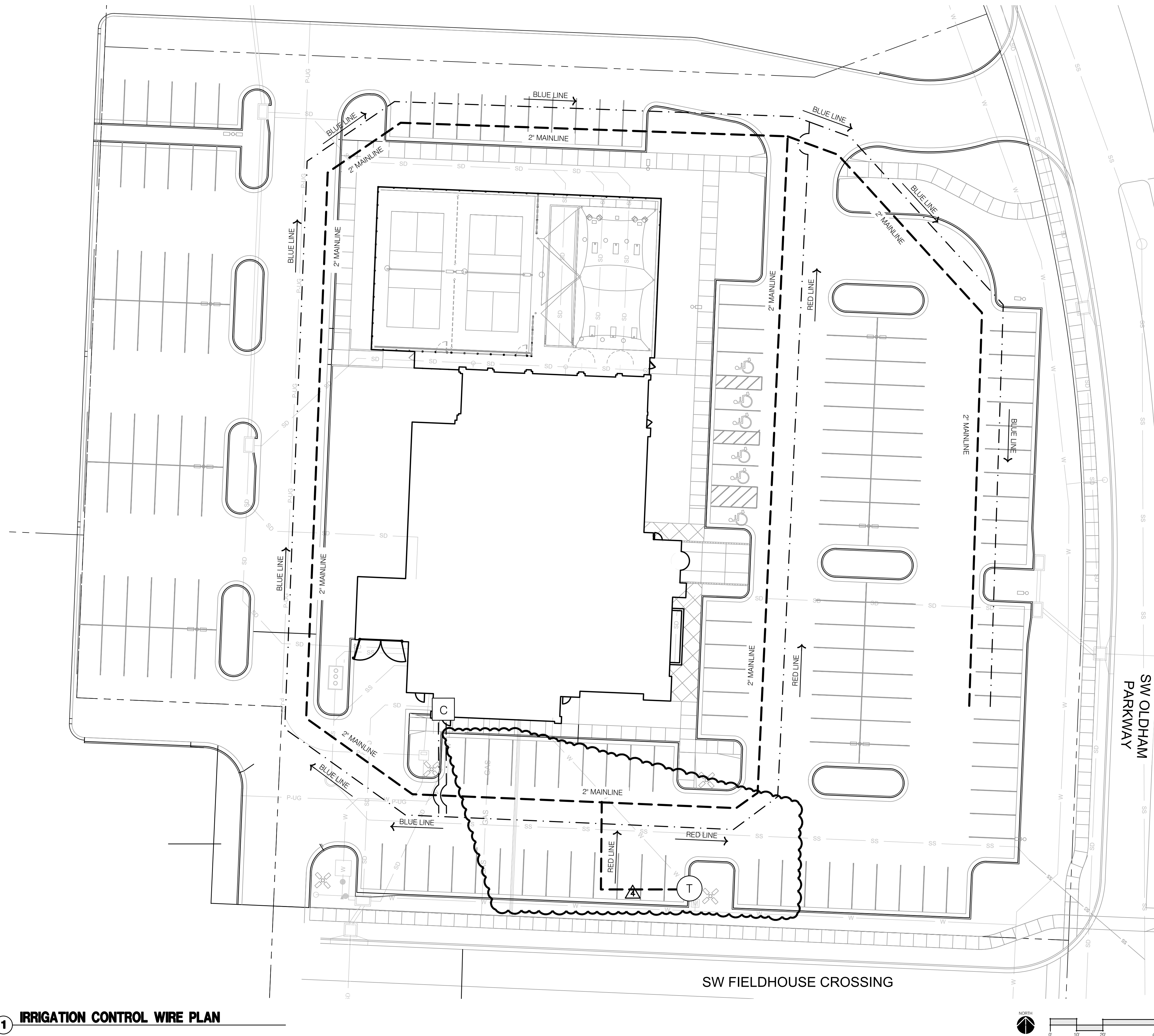


Figure 1 shows a plan view of a four-span bridge. The bridge has a total length of 200 m, divided into four spans of 50 m, 30 m, 30 m, and 50 m. A north arrow is located in the top left corner of the diagram.




1 IRRIGATION CONTROL WIRE PLAN



IRRIGATION GENERAL NOTES:

1. THIS DESIGN IS SHOWN IN DIAGRAMMATIC FORM. ALL COMPONENTS ARE SHOWN FOR THE PURPOSE OF CLARIFICATION AND LEGIBILITY. ALL WORK SHALL CONFORM TO SPECIFICATIONS AND DETAILS INCLUDED IN THIS PACKAGE. IRRIGATION MAINLINE, LATERALS, CONTROL VALVES, SUB-METER, BACKFLOW PREVENTER AND OTHER IRRIGATION CONTROL EQUIPMENT SHALL BE INSTALLED IN LANDSCAPE BEDS OR TURF AREAS UNLESS CONTAINED IN PVC SLEEVING UNDER PAVEMENT OR OTHER HARDSCAPE AS INDICATED ON PLANS.
2. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
3. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
4. IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AT ALL TAP LOCATIONS PRIOR TO THE INSTALLATION OF ANY COMPONENTS OF THE IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IF THE MINIMUM REQUIREMENTS FOR FLOW AND PRESSURE NOTED IN THE IRRIGATION SCHEDULES CAN NOT BE MEET.
5. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES AND SPECIFICATIONS FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
6. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
7. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
8. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
9. IRRIGATION CONTRACTOR RESPONSIBLE TO COORDINATE 110 ELECTRICAL SERVICE FOR CONTROLLER WITH BUILDING GENERAL CONTRACTOR. POWER SUPPLY CONNECTION BY IRRIGATION CONTRACTOR.
10. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL PRS-DIAL PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 5 PSI FROM OPERATION PSI AS STATED IN THE CONTROLLER SCHEDULES FOR EACH ZONE.
11. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA'S DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
12. CONTRACTOR SHALL PLACE ALL ZONE CONTROL VALVES AND QUICK COUPLER VALVES IN LANDSCAPE BEDS, AS PLANTED. PLACE VALVE BOXES A MINIMUM OF 1'-0" FROM ANY PAVEMENT AND PARALLEL TO PAVEMENT EDGE. GROUPED VALVES TO BE EQUALLY SPACED.
13. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
14. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
15. ALL SPRINKLER HEADS AND TURF ROTORS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, RETAINING WALLS, BUILDINGS OR THE PLAZA AREAS.
16. THE IRRIGATION SYSTEM IS DESIGNED TO BE DRAINED AND BLOWN OUT WITH PRESSURIZED AIR PRIOR TO FREEZING TEMPERATURES IN FALL/WINTER. THE CONTRACTOR SHALL DRAIN AND BLOW OUT THE SYSTEM AS NECESSARY UNTIL SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL SLOW OUT THE SYSTEM AND INSTRUCT THE OWNER ON THE PROCEDURES FOR THE FIRST FALL/WINTER FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
17. THE CONTRACTOR SHALL PRESSURIZE AND MAKE OPERATIONAL THE SYSTEM IN THE SPRING, AFTER ALL CHANCES OF FREEZING TEMPERATURES PASSES. UNTIL NOTICE OF SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL ALSO PRESSURIZE AND MAKE THE SYSTEM OPERATIONAL AND INSTRUCT THE OWNER ON PROCEDURES FOR THE FIRST SPRING FOLLOWING THE NOTICE OF SUBSTANTIAL COMPLETION.
18. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
19. ALL IRRIGATION EQUIPMENT INCLUDING VALVES, MAINLINES AND LATERALS SHALL BE LOCATED ON THE OWNERS PROPERTY.

IRRIGATION OVERALL PLAN LEGEND:

- 
- RIGHT OF WAY / PROPERTY LINE
 - POTABLE WATER SERVICE LINE
 - MAINLINE, SIZE AS SHOWN
 - TWO-WIRE PATH LINE
 - IRRIGATION POINT OF CONNECTION
 - IRRIGATION CONTROLLER



- 1 POTABLE WATER IRRIGATION MAINLINES TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 5/L/391
- 2
- 3 POTABLE WATER IRRIGATION LATERALS TO BE 1" PVC PIPE OR AS SHOWN ON PLANS; REF: 5/L/391
- 4
- 5 POTABLE WATER IRRIGATION LATERALS SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 6
- 7 POTABLE WATER IRRIGATION MAINLINE SLEEVES SHALL BE 6" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 8
- 9 IRRIGATION CONTROL WIRE SLEEVES SHALL BE 4" PVC SCHEDULE 40 PIPE OR AS SHOWN ON THE PLANS.
- 10
- 11 IRRIGATION CONTROLLER SHALL BE RAIN BIRD ESP-LXIVM MODULAR SERIES WALL MOUNTED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 12
- 13 ELECTRICAL SERVICE TO THE CONTROLLER LOCATION IS TO BE COORDINATED BY THE GENERAL CONTRACTOR AND PROVIDED BY ELECTRICAL CONTRACTOR. POWER HOOK-UP TO THE CONTROLLER BY IRRIGATION CONTRACTOR.
- 14
- 15 INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS; REF: 7/L/391
- 16
- 17 IRRIGATION POINT OF CONNECTION. IRRIGATION CONTRACTOR SHALL CONNECT IRRIGATION MAINLINE TO WATER SURVEY AS REQUIRED BY ALL CITY, COUNTY, OR STATE REGULATIONS. IRRIGATION TAP SHALL OCCUR AFTER METER AND BACKFLOW PREVENTER PROVIDED BY GENERAL CONTRACTOR; REF: 6/L/391
- 18
- 19 2" RAIN BIRD MODEL MASTER VALVE CONNECTED TO POTABLE IRRIGATION MAINLINE AFTER IRRIGATION POINT OF CONNECTION. METER AND BACKFLOW PREVENTER; REF: 10/L/390
- 20
- 21 IRRIGATION WATER METER; REF: SPECIFICATIONS
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- 23 BACKFLOW PREVENTER; REF: 6/L/391
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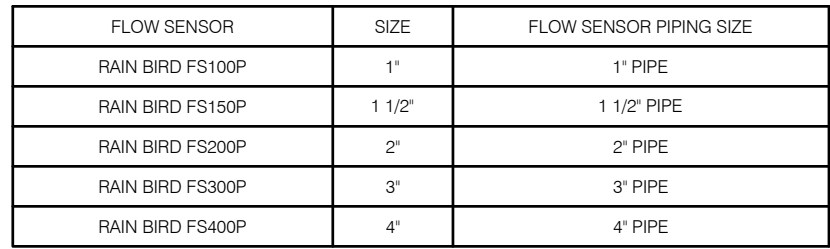


Diagram illustrating the installation of an irrigation system trench, showing the main irrigation supply line, lateral, and control wire, along with backfill and wrapping requirements.

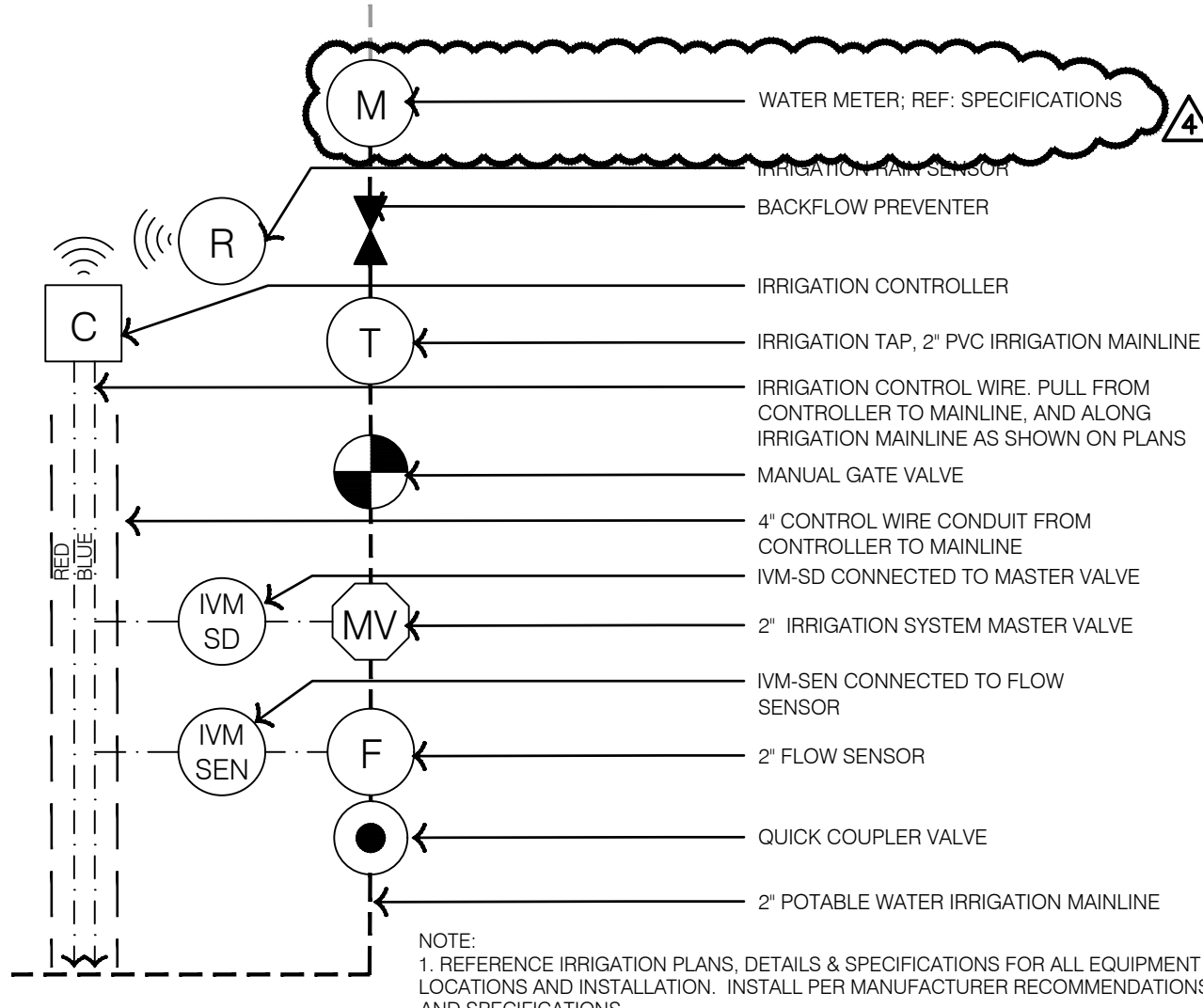
Labels and Dimensions:

- 18" MIN**: Dimension for the trench width.
- 4"**: Dimension for the trench depth.
- WRAP MAINLINE WITH SINGLE STRAND COPPER WIRE TO ASSIST IN LOCATING MAINLINE IN FUTURE AFTER CONSTRUCTION IS COMPLETE, OR PER LOCAL CODE.**: Requirement for wrapping the mainline.
- BACKFILL TRENCH PER SPECIFICATIONS**: Requirement for backfilling the trench.
- CURB, WALK, PAVEMENT, OR FOUNDATION**: Label for the ground surface above the trench.
- IRRIGATION LATERAL 12" MIN. COVER, OR PER LOCAL CODE.**: Requirement for the lateral cover.
- INSTALL 2" BED OF CLEAN BACKFILL**: Requirement for the backfill bed.
- MAIN IRRIGATION SUPPLY LINE 3" PIPE & SMALLER 18" COVER, OR PER LOCAL CODE.**: Requirement for the main supply line cover.
- IRRIGATION CONTROL WIRE (12" MIN. DEPTH) TAPE WIRE TOGETHER 10'-0" ON CENTER TIE A 24" LOOP IN ALL WIRING CHANGES OF DIRECTION GREATER THAN 30 DEGREES. FOLLOW MAINLINE ROUTING. ALL CONTROL WIRE NOT ADJACENT TO MAINLINE SHALL BE IN CONDUIT. WIRE RUNS LESS THAN 500' SHALL HAVE NO SPLICES. SPLICES SHALL BE LOCATED IN A PRE-MANUFACTURED IRRIGATION BOX.**: Requirements for the control wire.
- OTHER UTILITIES**: Label for other utilities shown in the trench.
- 18" MIN**: Dimension for the trench width at the bottom.

ALL SOLVENT WELD PIPE SHALL BE SNAKED IN THE TRENCH TO ALLOW FOR SLIGHT MOVEMENT DURING PRESSURIZATION OF THE SYSTEM, AND TEMPERATURE FLUCTUATION.

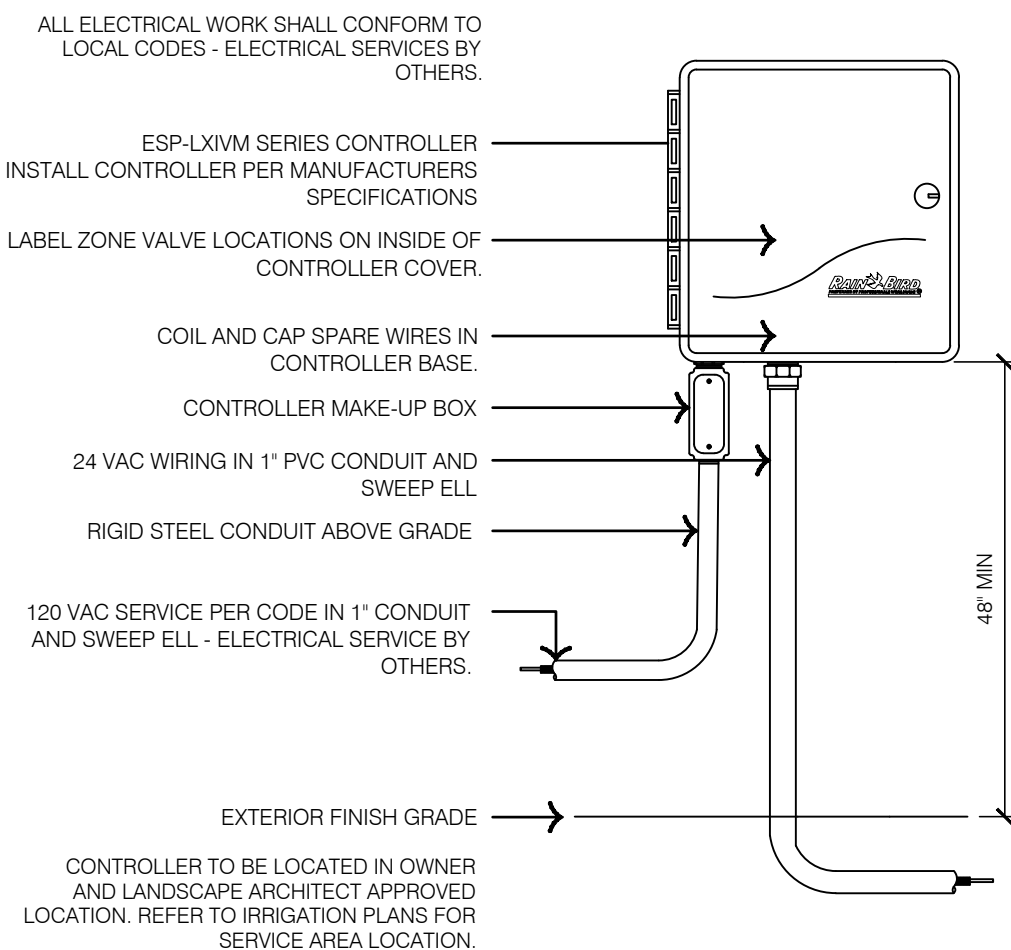
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	COLOR
1	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	11.8	1,772 LF	40	RED
2	RAN RIBD PEB-VM	1-1/2"	TURF SPRAY	23.26	25	30	BLUE
3	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	11.8	447.2 LF	40	RED
4	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	7.67	1,152 LF	40	RED
5	RAN RIBD PEB-VM	1-1/2"	TURF SPRAY	23.02	17	30	RED
6	RAN RIBD PEB-VM	1-1/2"	TURF SPRAY	26.97	29	30	BLUE
7	RAN RIBD PEB-VM	1-1/2"	TURF ROTOR	7.24	5	40	BLUE
8	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	9.83	1,588 LF	40	BLUE
9	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	4.47	633.9 LF	40	BLUE
10	RAN RIBD PEB-VM	1-1/2"	TURF SPRAY	33.05	34	30	BLUE
11	RAN RIBD PEB-VM	1-1/2"	TURF SPRAY	33.57	34	30	BLUE
12	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	8.01	1,151 LF	40	BLUE
13	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	1.34	145.7 LF	40	BLUE
14	RAN RIBD PEB-VM	1"	TURF ROTOR	17.44	8	45	BLUE
15	RAN RIBD XC2-100/VMQ	1"	AREA FOR DRIFLINE	7.7	1,051 LF	40	BLUE
16	RAN RIBD PEB-VM	1"	TURF SPRAY	10.19	9	30	BLUE

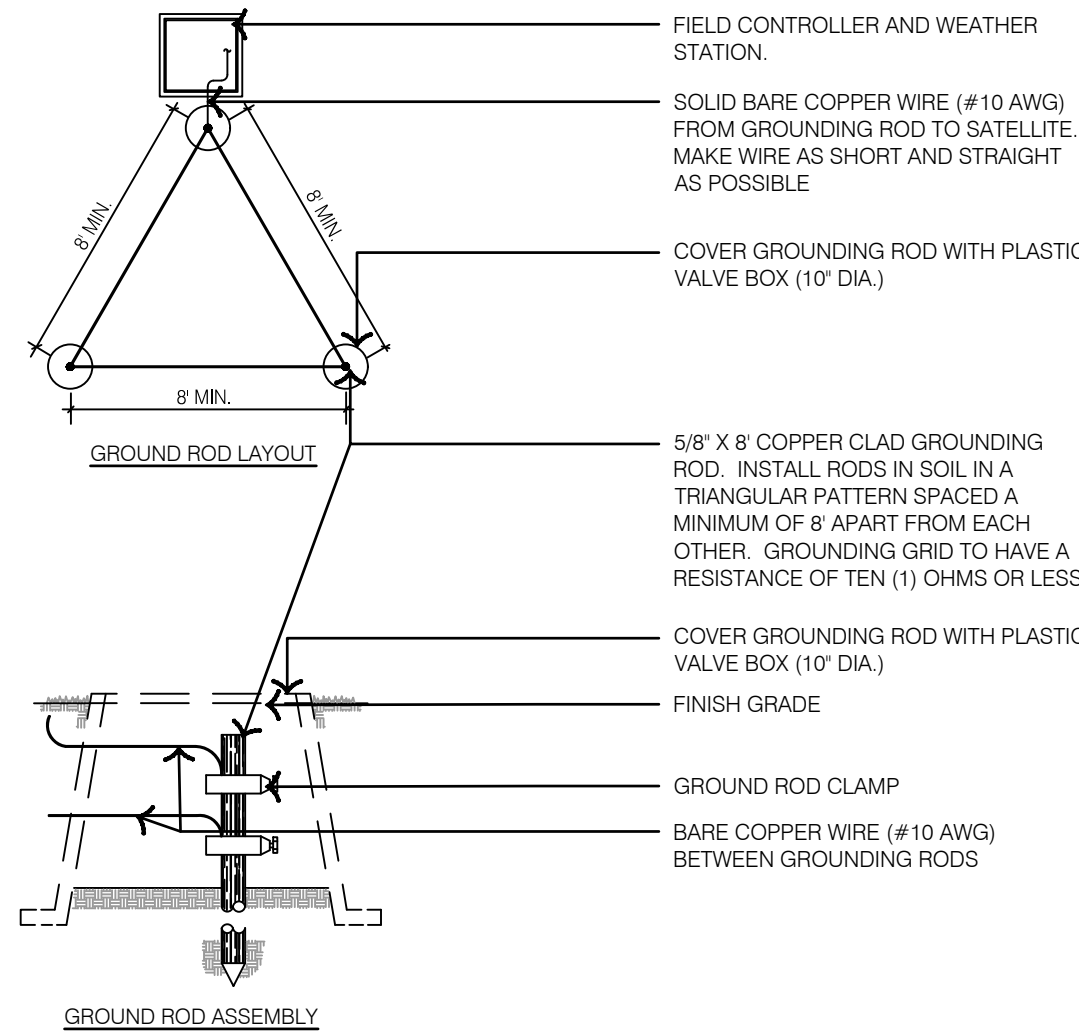


CRITICAL ANALYSIS

1. PRESSURE AVAILABLE IS ESTIMATED.
CONTRACTOR TO VERIFY PRESSURE
AVAILABLE PER IRRIGATION GENERAL NOTE #4



7 WALL MOUNTED AUTOMATIC IRRIGATION CONTROLLER



8 CONTROLLER GROUNDING GRID

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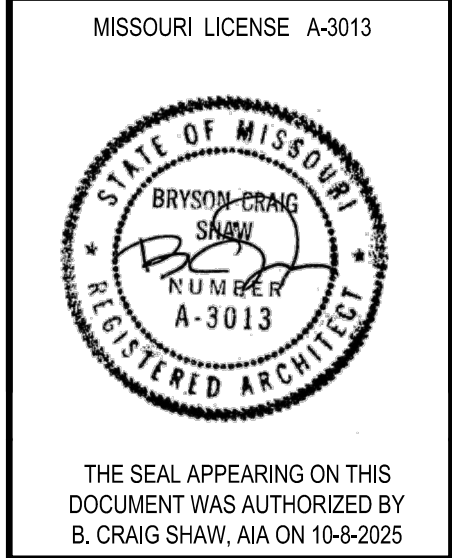
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A



FIVE FOUR
Oldham Village - Lot 4
301 SW Oldham Parkway
Lee's Summit, Missouri



ASSOCIATES
SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
KANSAS CITY, MISSOURI 64108
P: 816.421.0505
ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130

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JOB NO.	
DRAWN BY:	
DATE	
ISSUE	DATE
FINAL DEVELOPMENT PLAN	09-02-2025
REVISION TO 1ST SUBMITTAL	10-08-2025

SHEET 24/36

PROTOTYPE
EXTERIOR FINISHES

A1

BUILDING INFORMATION

BUILDING:
OCCUPANCY USE GROUP:
CONSTRUCTION TYPE:
BUILDING IS FULLY SPRINKLED

A2 - ASSEMBLY
TYPE VB

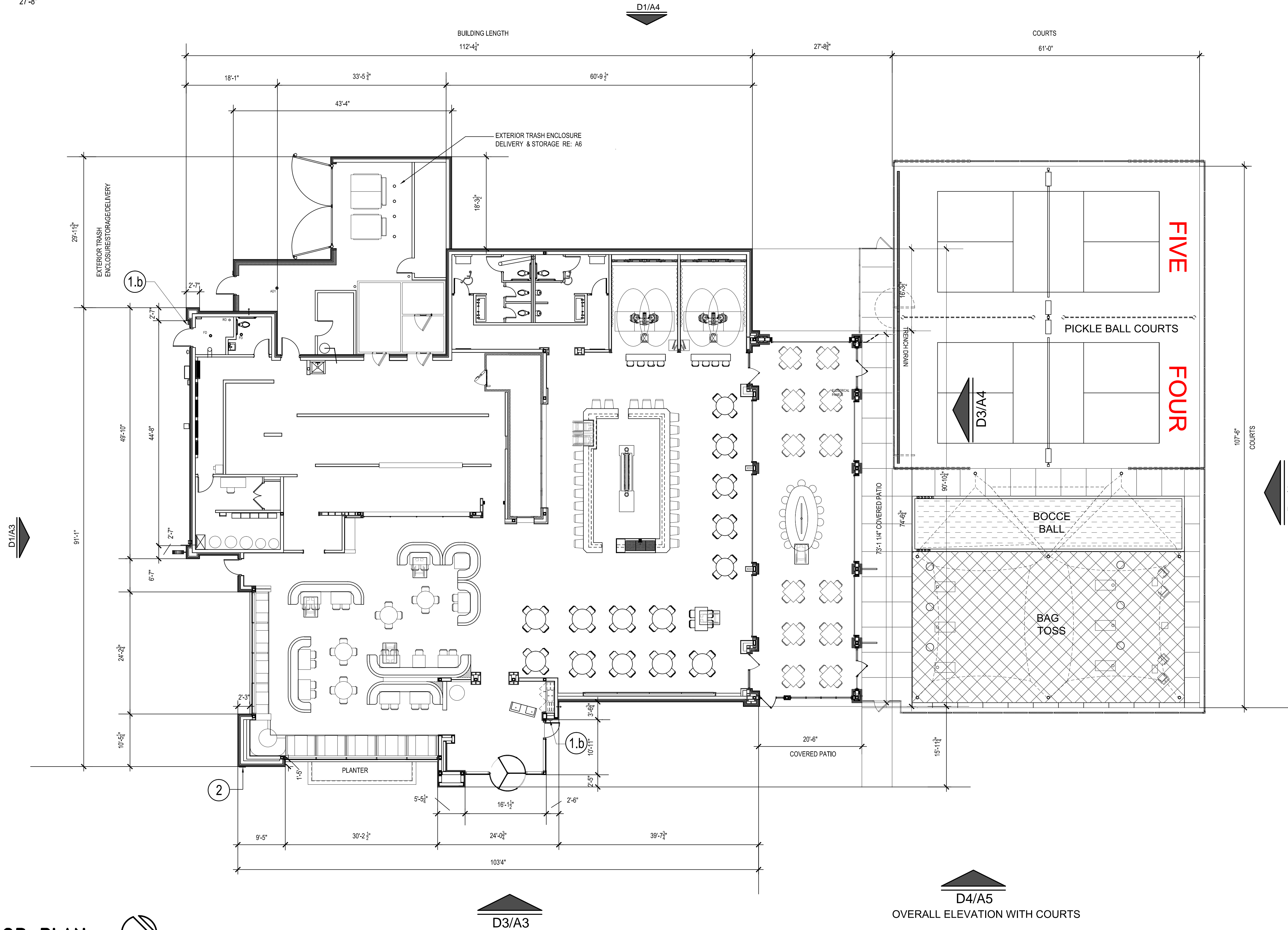
BUILDING HEIGHT: 1 STORY - 24'-2" ABOVE BAR AND 21'-6" ABOVE
DINING AND BACK OF HOUSE
HEIGHT AT ENTRY TOWER: 27'-8"

GROSS SQ FT CALCULATIONS

BUILDING:	9,969 SQ FT
CONDITIONED SPACE	
EXTERIOR COVERED PATIO:	1,447 SQ FT
NON-CONDITIONED SPACE	
EXTERIOR TRASH/DELIVERY/ STORAGE:	1,209 SQ FT
EXTERIOR RECREATIONAL COURTS AREA:	6,836 SQ FT

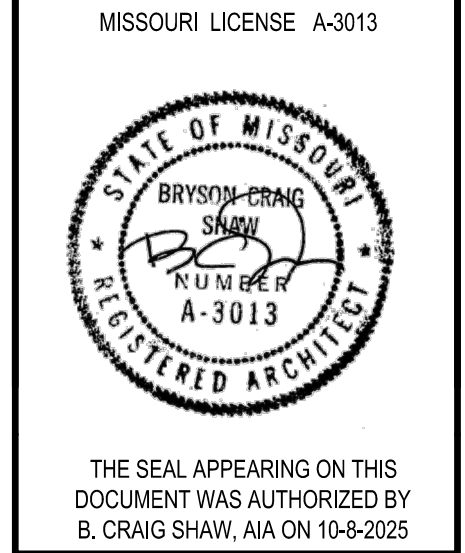
KEY NOTES

- 1a KNOX BOX - (SURFACE MOUNTED) AT DOOR TO FIRE RISER ROOM -
ELEVATION
- 1b KNOX BOX - (RECESSED) AT SWING DOOR TO ENTRY -
ELEVATION
- 2 ADDRESS NUMBERS - SHOWN ON NORTH ELEVATION C4 / 19 AND
SPECIFICATIONS



BUILDING FLOOR PLAN

1' = 10'-0"



FIVE FOUR
Oldham Village - Lot 4
301 SW Oldham Parkway
Lee's Summit, Missouri



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SHEET 24/36

FLOOR PLAN
WITH COURTS

A2

KEY NOTES

- 1

Stone Veneer
- 2

Large Format Tile to Simulate Stone
- 3

Cast Stone Cap
- 4

Brick- Modular Standard Face Brick
- 5

Accent Brick- Standard Face Brick
- 6

Cast Stone Accents, 2" thick, 8" x 8"
- 7

EIFS with metal rain screen
- 8

Entry Tower Metal Wall at Roof
- 9

Sunshade Band w/ louvers over doors & windows
- 10

Precast Column Cap
- 11

Garage Door w/ Store Front System Above
- 12

Parapet Cap
- 13

Glazed Curtain Wall System
- 14

Glazed Storefront System
- 15

Sign 1
- 16

Sheet Metal Column Wrap to match Curtain Wall System
- 17

Ring Toss Game
- 18

Sign 4
- 19

Door & Frame
- 20

Trash Enclosure Gates & Post
- 21

Roof Overflow- Scupper
- Coronado Stone Products

Virginia Tile, American Olean Merit- 12 x 24

Texas Building Products

Yankee Hill Brick

Cloud Ceramics

Texas Building Products

6" panel width, 2" maximum gap between panels

W/ LED light behind on smooth stucco

Pre-Finished Aluminum

Pre-fabricated

Pre-fabricated

--

Pre-finished metal

Kawneer- 1600 2 Wall System

Kawneer- Trifab 601T Framing System

Wall Mounted

--

Blade Sign for Express To Go

FRP Door Finish Anodized Aluminum Frame

Steel- Powder Coated

Pre-finished Metal
- Pro Ledge Huron

Amerimix 50/50

Cool Beige - mortar Amerimix 50/50

Taupe - mortar Amerimix 50/50

Medium iron spot , smooth - mortar Amerimix Light Maroon

Ebony iron spot, smooth - mortar Amerimix Dark Black

Color: Taupe

Knotwood Alum panel- wood look

Color: Blackbutt

Stucco, color to match: SW 6071 Popular Gray

Kynar Dark Anodized Bronze

Kynar Finish- Dark Anodized Bronze

SW 6258 Tricom Black, Powercoat

--

Dark Anodized Bronze

Dark Anodized Bronze, tinted glass

Dark Anodized Bronze, tinted glass

--

--

Black

SW 6258 Tricom Black

Dark Anodized Bronze

- 22

Firepit base
- 23

Firepit Top
- 24

Revolving Door, 84" X 96"
- 25

Planter- Stone Veneer on CMU
- 26

Accent Down Lights on Wall Behind Sunshade Band
- 27

Exterior Light
- 28

Column Wrapped in Break Metal
- 29

Exterior Accent Light
- 30

Coping for roof over covered patio
- 31

Address Numbers
- 32

Sign
- 33

Roof Drain & Downspout
- 35

Aluminum Exterior Door
- 36

Festoon Lights
- 37

Top of Roof Shown Beyond
- 38

Ring Toss Game, by owner
- Madera Stone, 6' x 8"

Granite

Boom Edam, Manual Assist

Coronado Stone Products

--

Down Light

--

Decorative Wall Sconce

Pre-finished Metal

6" Pre-finished Metal

Illuminated Block Letters

Pre-finished metal

--

--

--

--

--

--
- Gray Goose Leather, Polished

Dark Anodized Bronze

Color: Pro Ledge Huron

--

Dark Anodized Bronze

Dark Anodized Bronze

Dark Anodized Bronze

See General Note #7

Dark Anodized Bronze

--

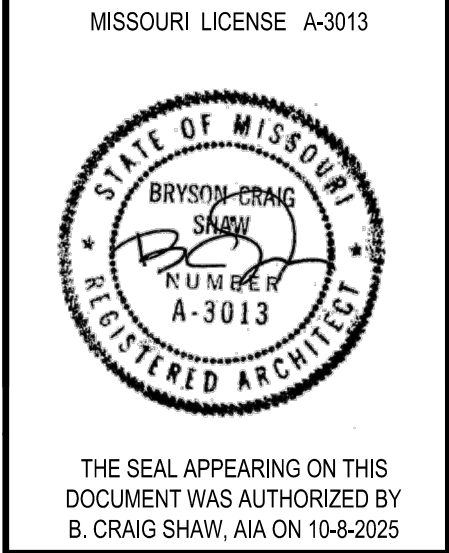
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GENERAL NOTES:

1. SIGNAGE TO BE PERMITTED UNDER SEPARATE PERMIT
2. ADDRESS ON BUILDING BRICK SOLDIER COURSE FACADE, ADDRESS NUMBER: ????, SIZE 6" X 1" THICKNESS, FONT: HELVETICA BOLD, MOUNTING: PLAIN, COLOR: BRUSHED/NATURAL SATIN (TO CONTRAST WITH BUILDING FINISH)



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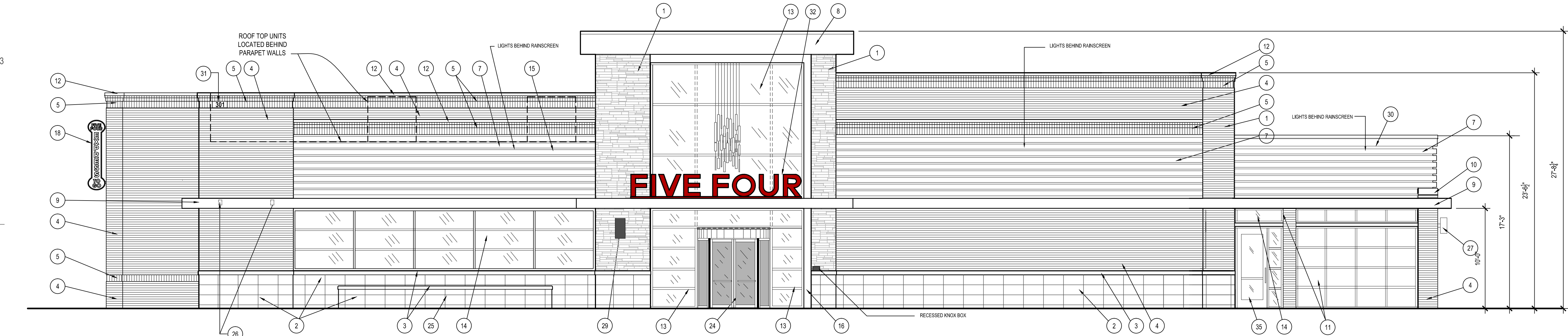
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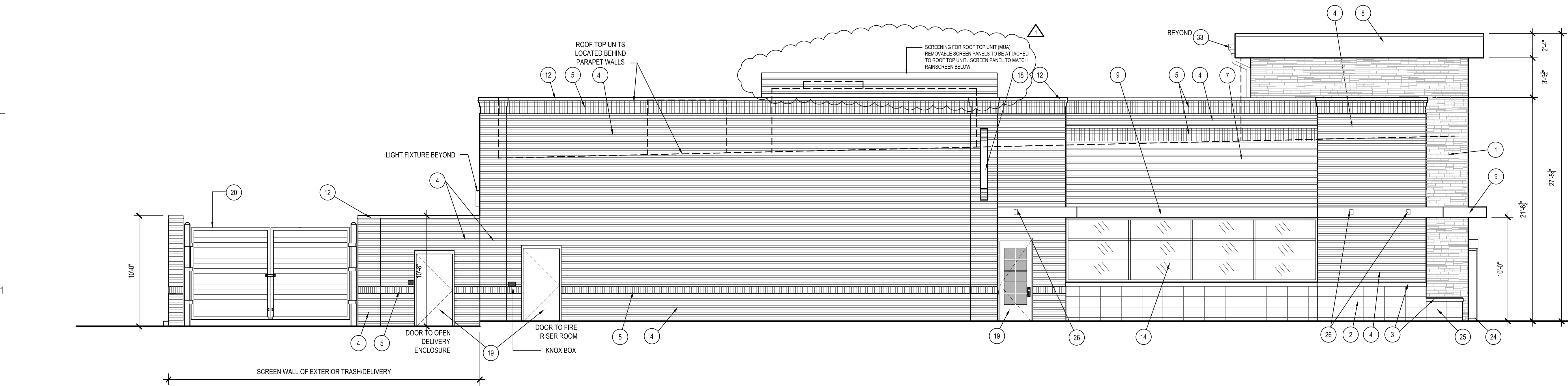
BUILDING
ELEVATIONS

A3



D3 FRONT ELEVATION

3/16" = 1'-0"

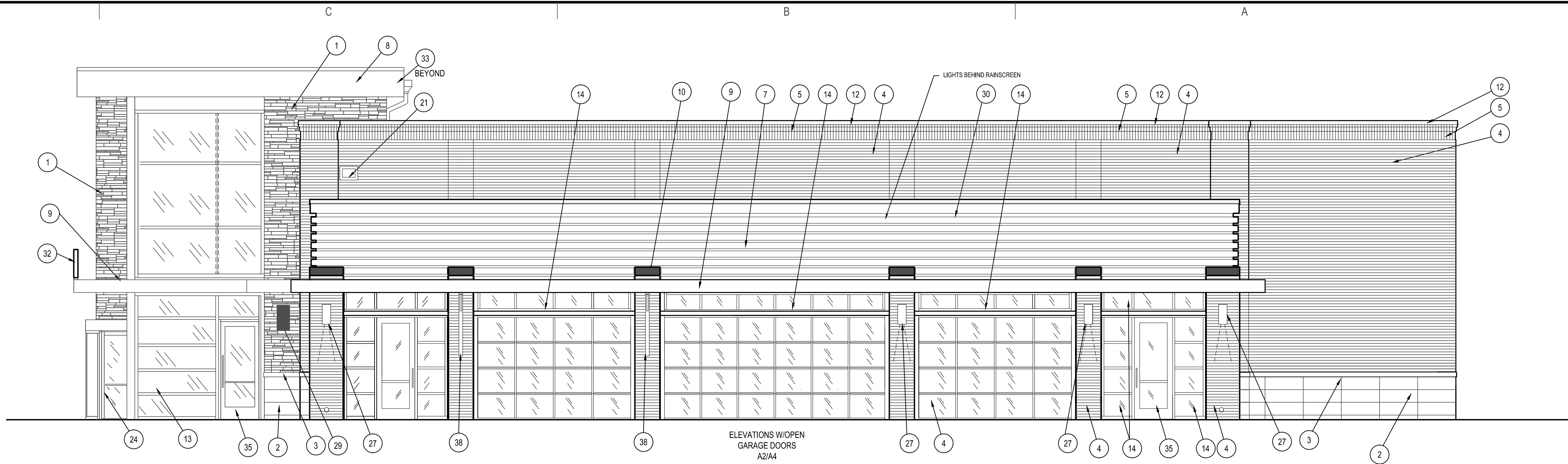


D1 SIDE ELEVATION

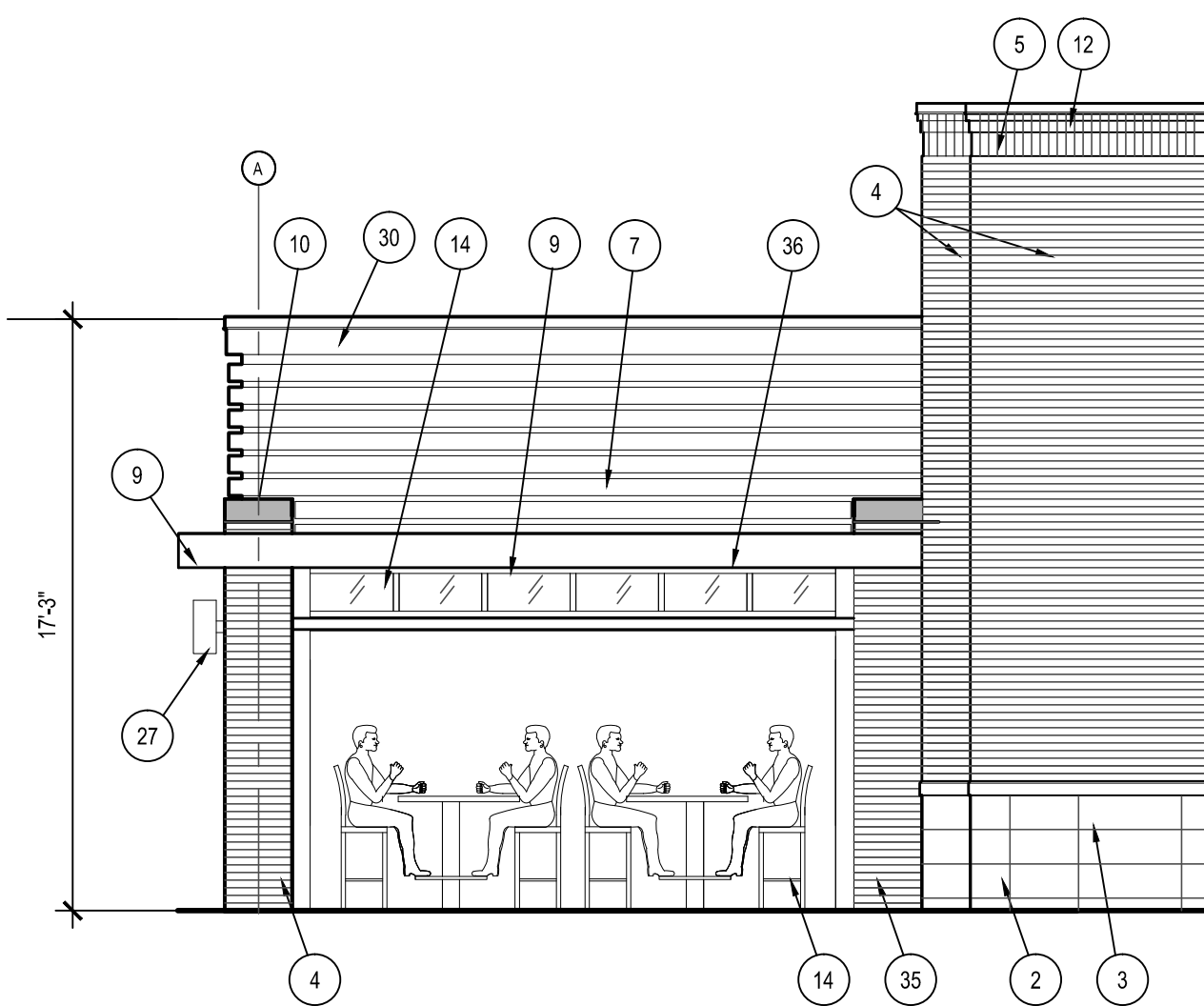
3/16" = 1'-0"

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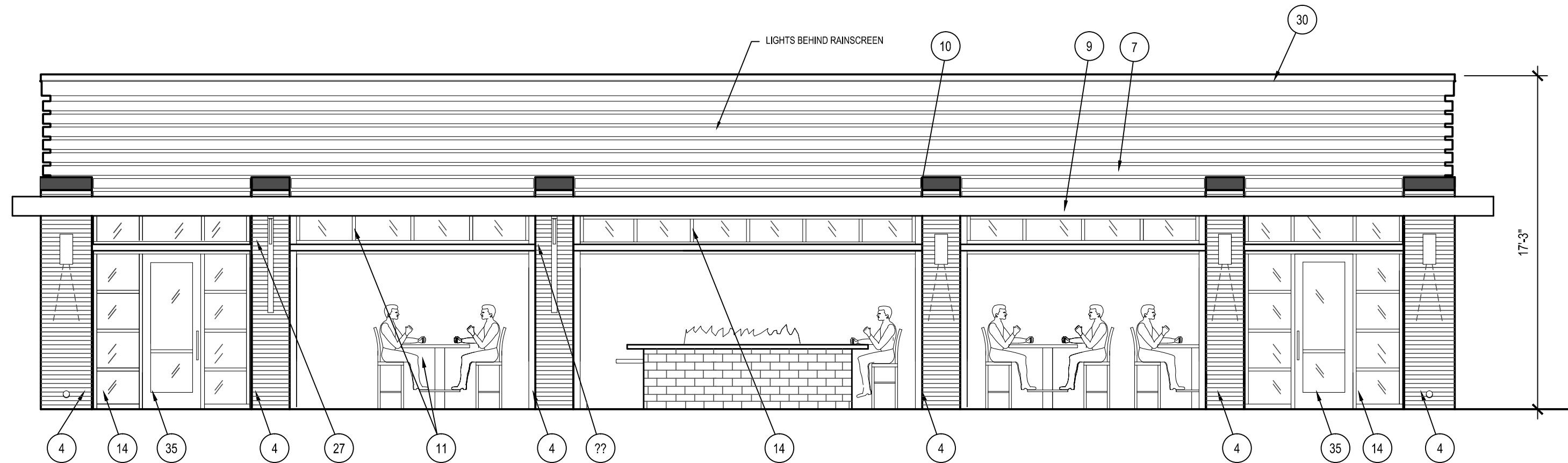
D3 ELEVATION
3/16" = 1'-0"



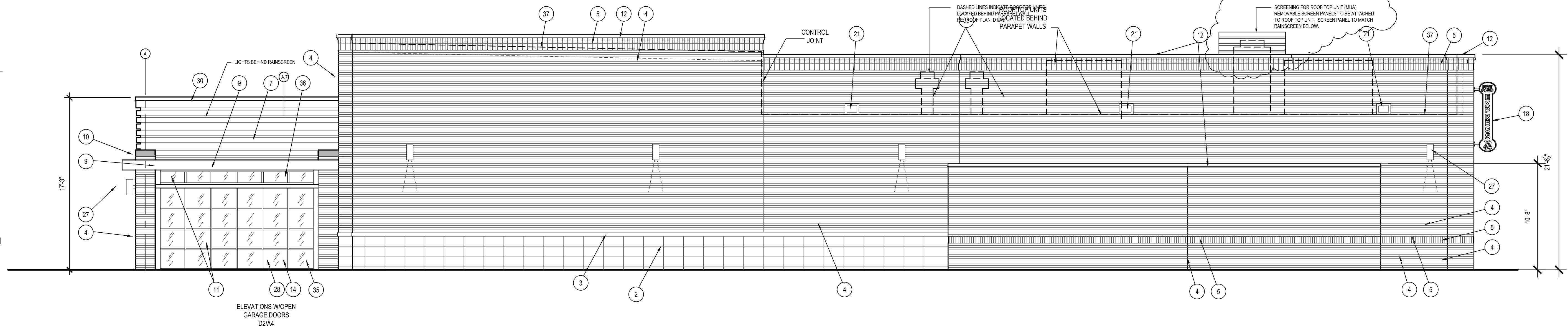
D2 ELEVATION
3/16" = 1'-0"




A2 ELEVATION
3/16" = 1'-0"



D1 ELEVATION
3/16" = 1'-0"



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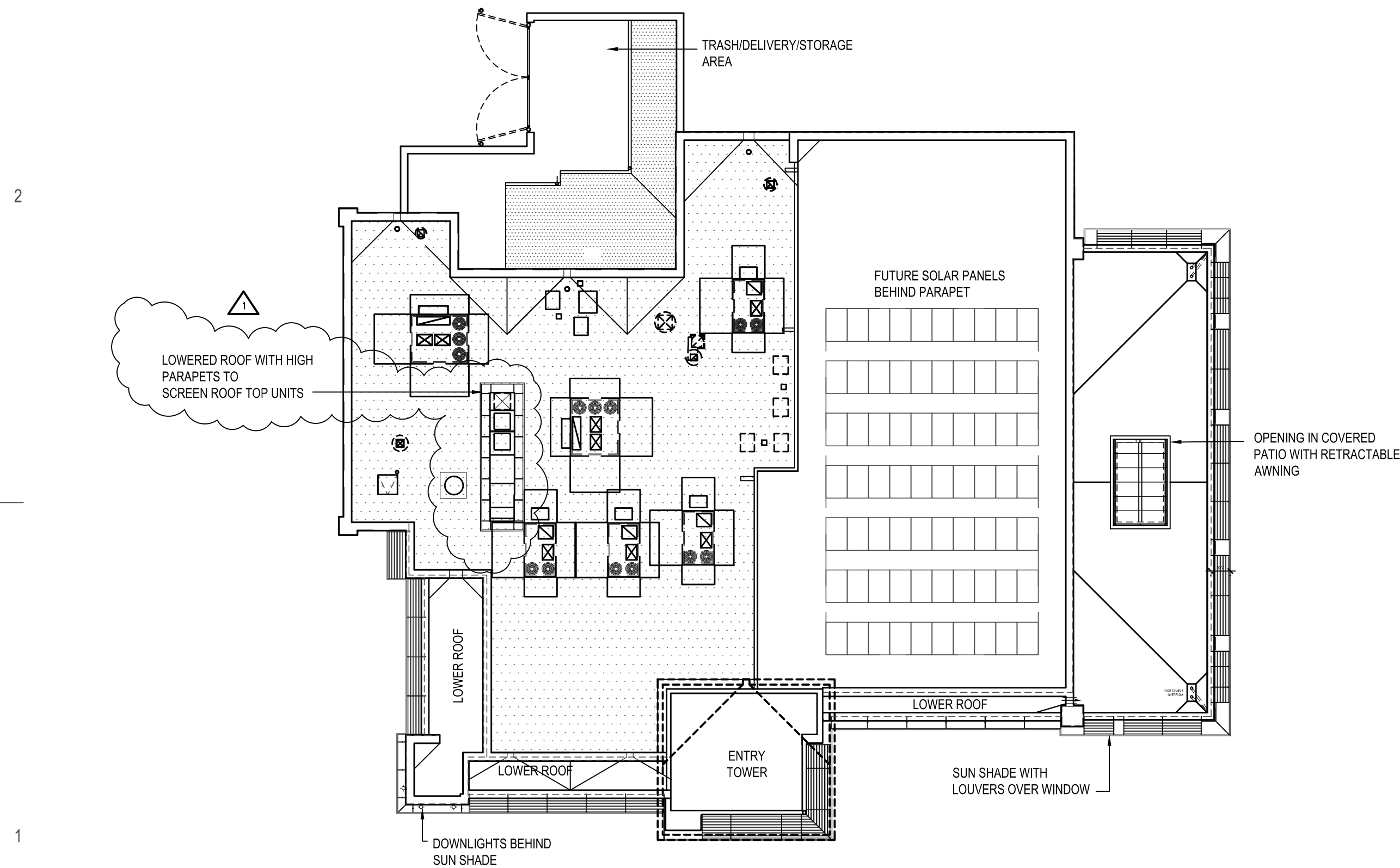
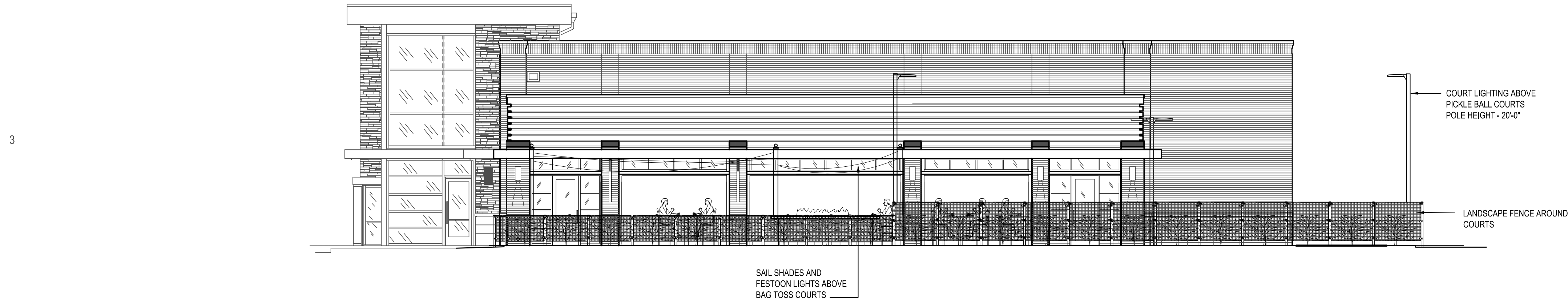
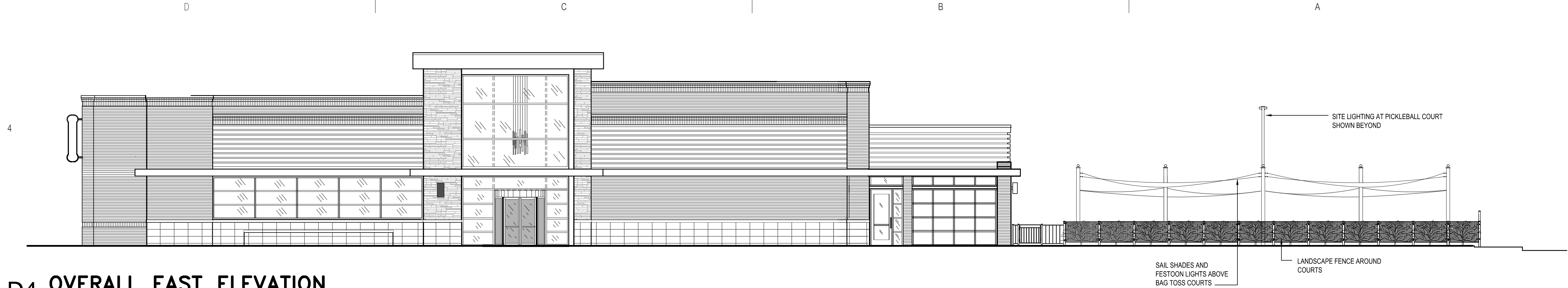
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OVERALL ELEV
& ROOF PLAN

A5



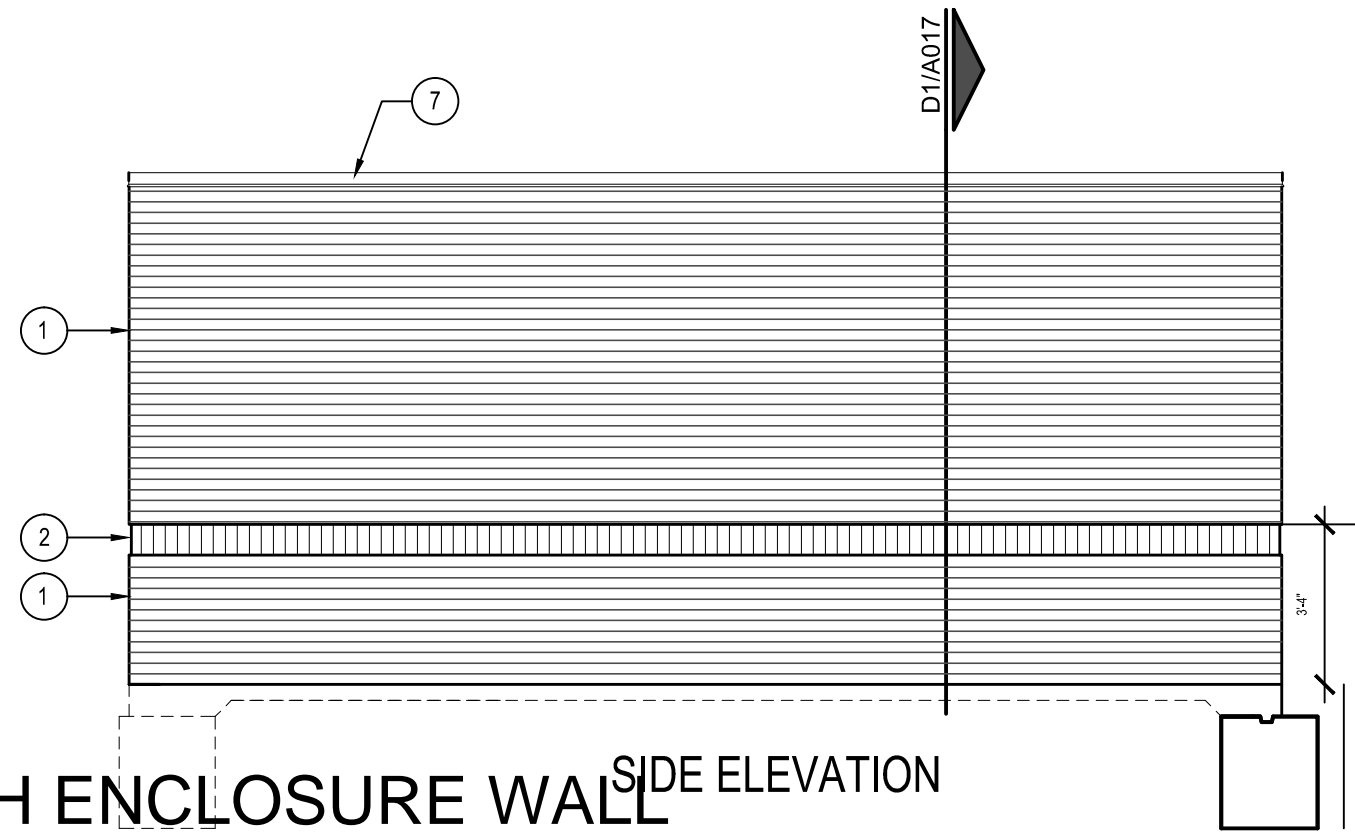
4

3

D3 NOT USED

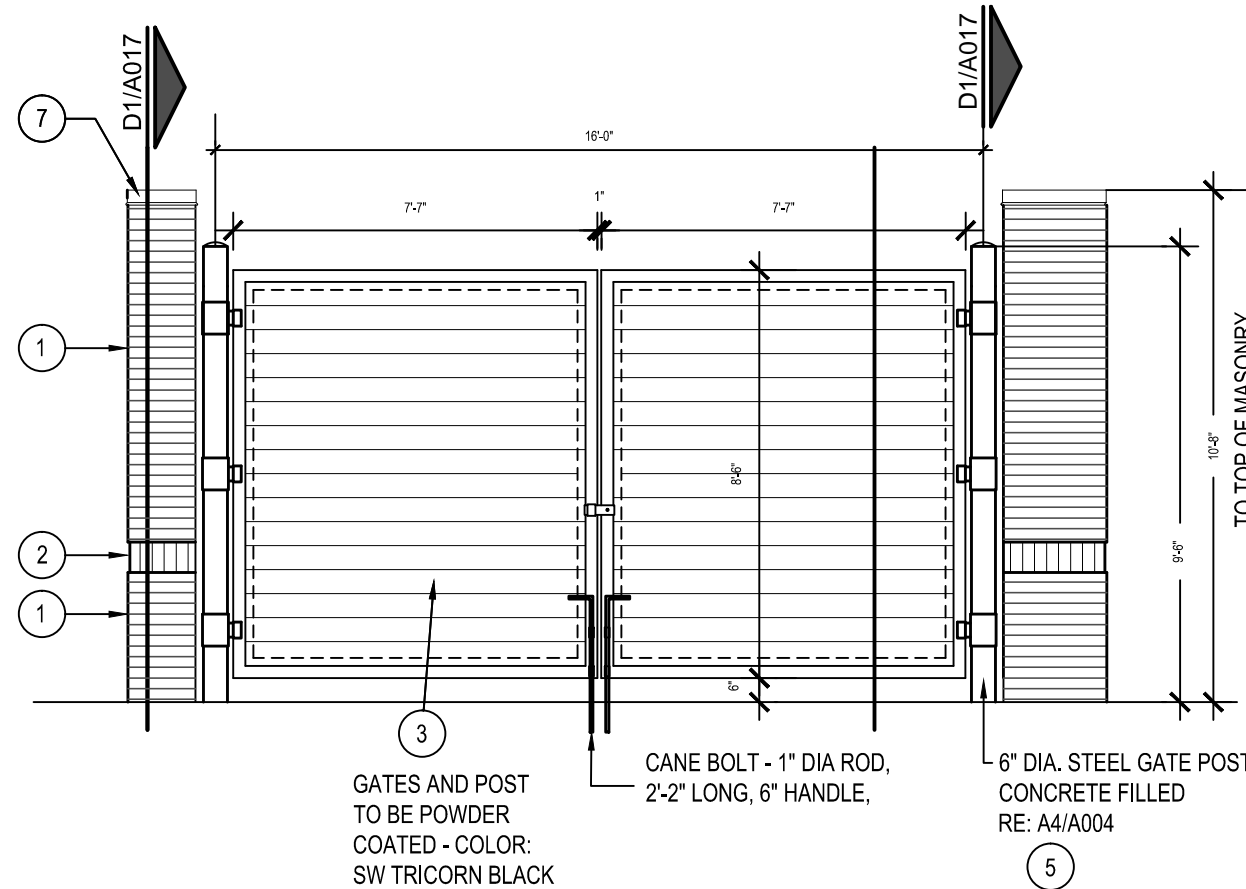
2

D2 TRASH ENCLOSURE WALL
1/4" = 1'-0"



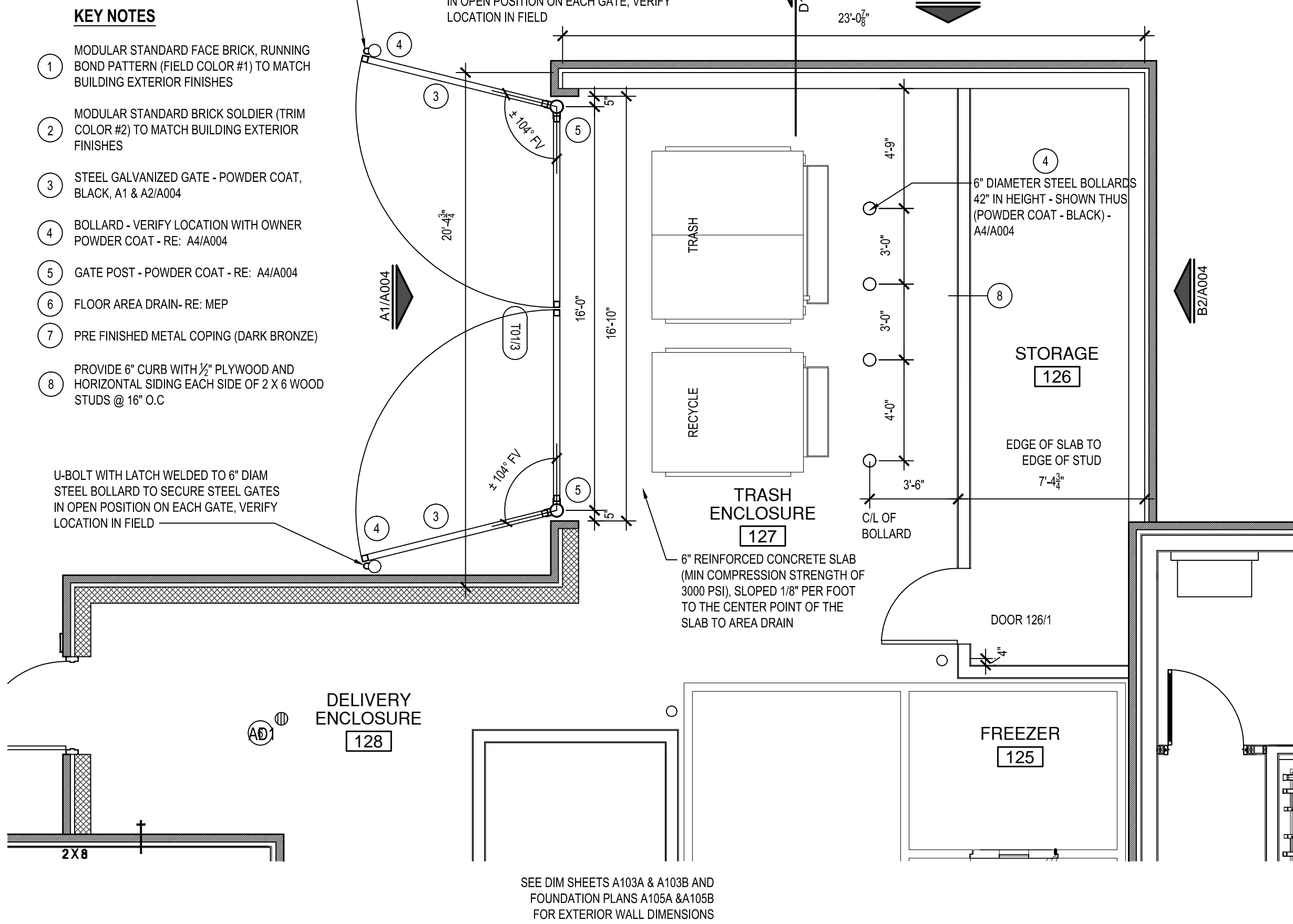
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D1 GATE ELEVATION
1/4" = 1'-0"



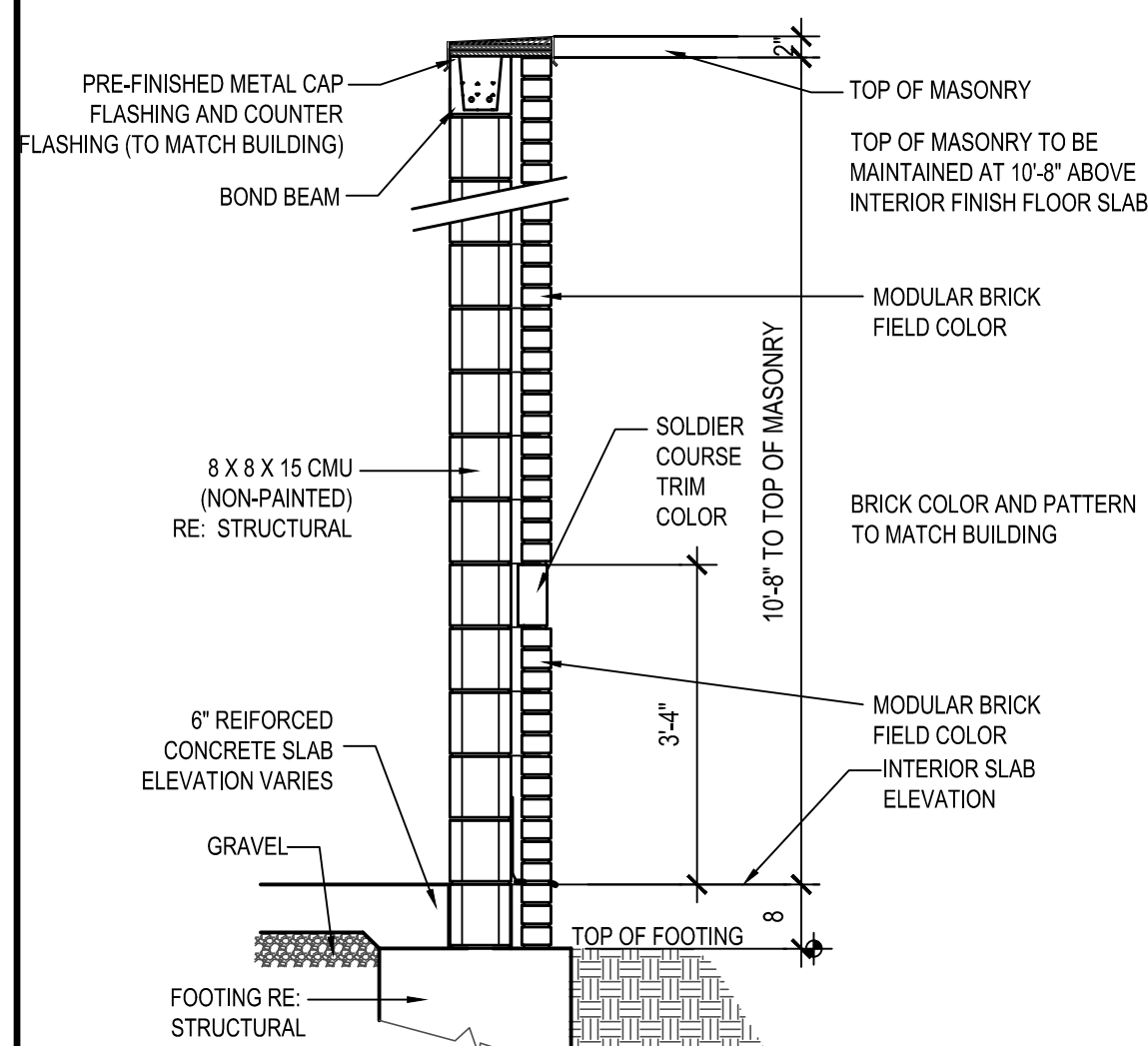
B

A

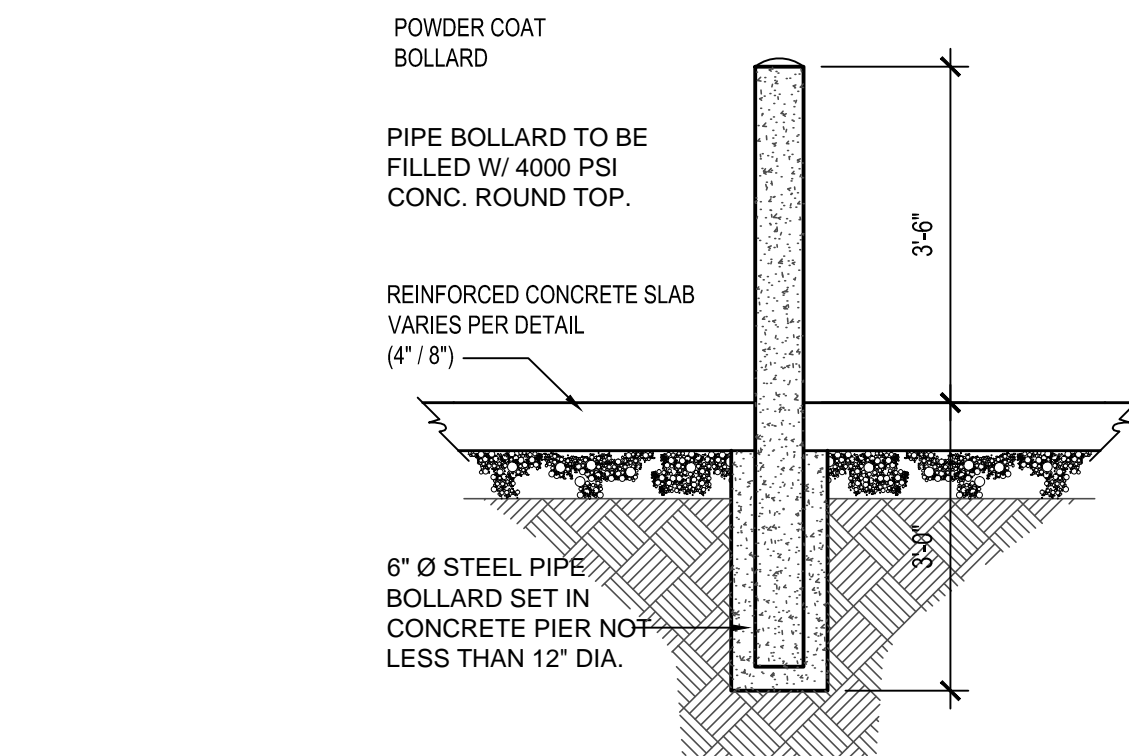


B2 NOT USED

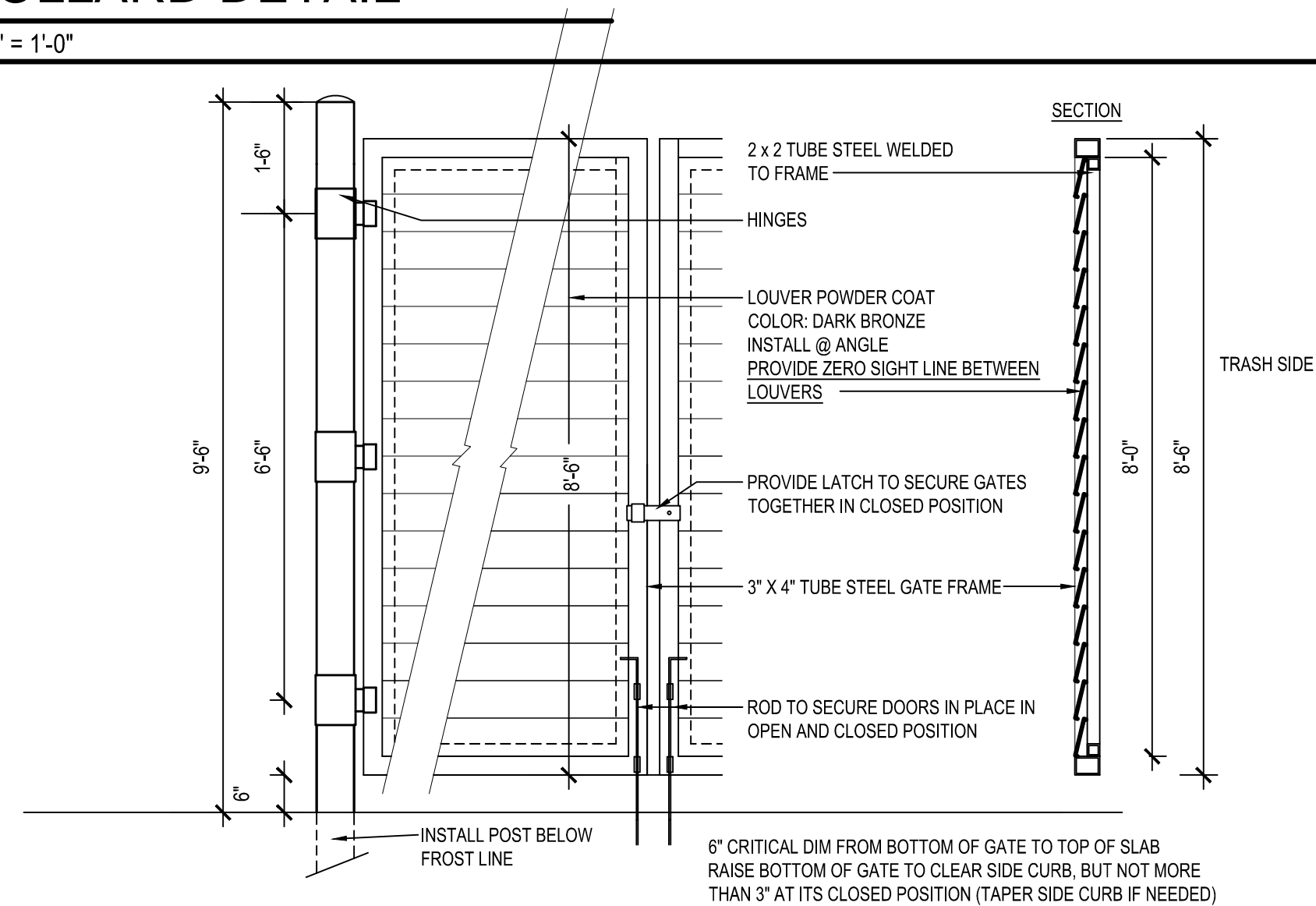
B1 WALL SECTION
1/2" = 1'-0"



A2 BOLLARD DETAIL
1/2" = 1'-0"



A1 GATE DETAIL
1/2" = 1'-0"



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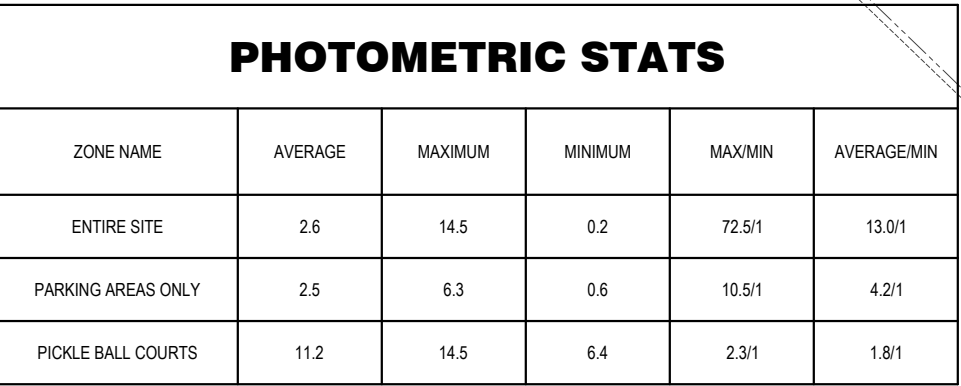
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TRASH ENCLOSURE
A6



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Lee's Summit, Missouri



BC PROJECT #: 24608
MISSOURI PE CO # 2009003629

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SHEET 24x36

SITE
PHOTOMETRIC
PLAN

E402

10/7/2025



DARIN T. SEIDEL
NUMBER
PE-2009030067



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BC PROJECT #: 246806
MISSOURI PE COA # 20909003629
BC ENGINEERS
INCORPORATED
5720 Reeder Shawnee, KS 66203 (913) 262-1772

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SITE
PHOTOMETRICS
DETAILS

E403