

CONSTRUCTION PLANS
FOR
SMALLS SLIDERS
LEE'S SUMMIT, MISSOURI

OCTOBER 2025

LEGEND
W WATER LINE PER OLDHAM VILLAGE PHASE I PLANS
S SANITARY SEWER LINE PER OLDHAM VILLAGE PHASE I PLANS
STM STORM SEWER LINE PER OLDHAM VILLAGE PHASE I PLANS
1027 1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS
[W] WATER METER
W WATER LINE
S SANITARY SEWER LINE
[E] ELECTRIC METER
E ELECTRIC LINE
[G] GAS METER
G GAS LINE
[1027] FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT
Light Pole

THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

UNDERGROUND UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE DEPICTED FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL, CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

ELECTRIC SERVICE
EVERGY
MARK PEARSON
(816) 347-4335
mark.pearson@evergy.com

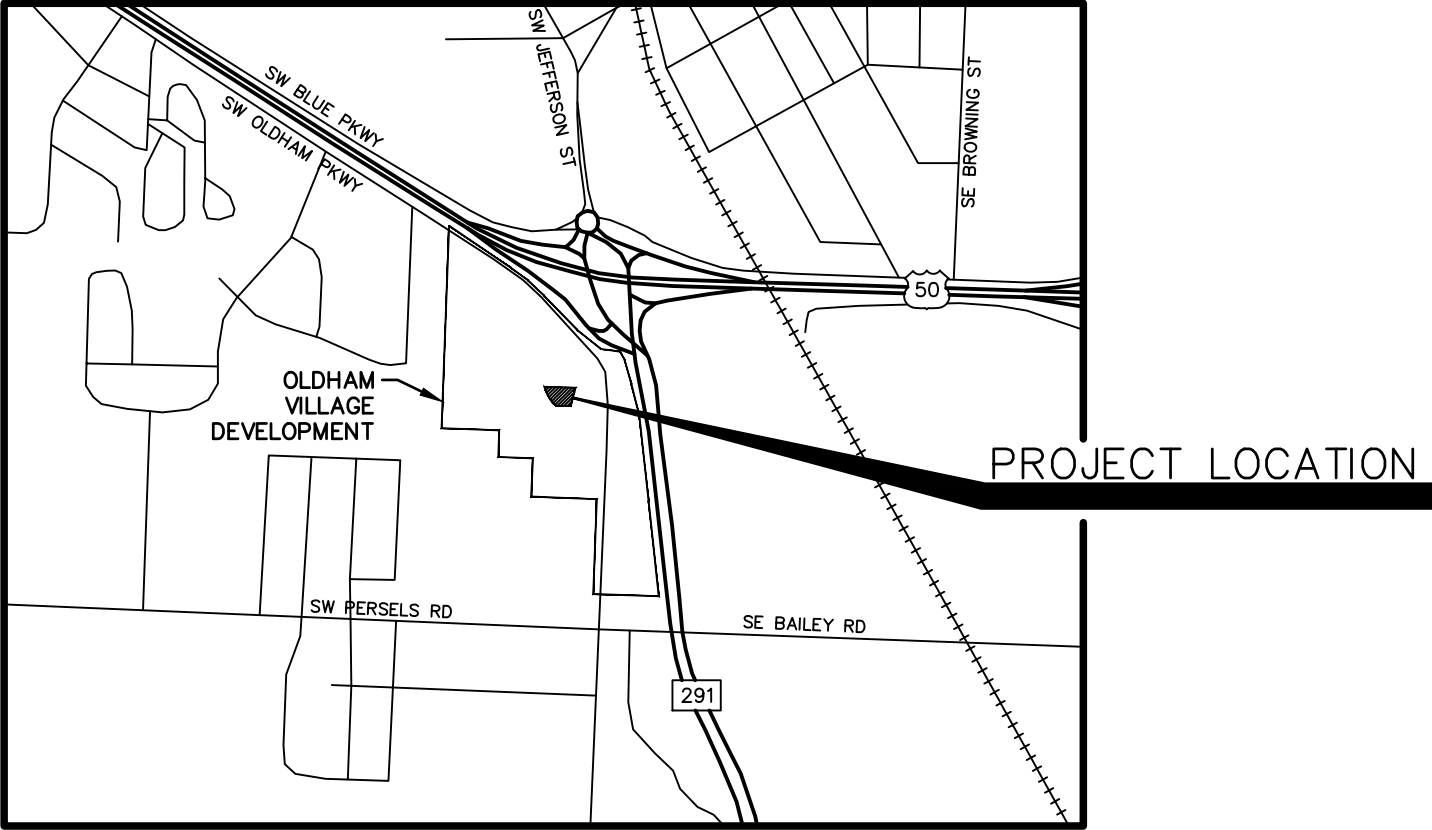
GAS SERVICE
SPIRE
KATIE DARNELL
(816) 969-2298
katie.darnell@spireenergy.com

COMMUNICATION SERVICE
GOOGLE FIBER
(660)886-0336

AT&T DISTRIBUTION
(314)275-0020

WATER SERVICE
CITY OF LEE'S SUMMIT WATER UTILITIES
(816) 969-1900

AFTER HOURS EMERGENCY
(816) 969-7407



LOCATION MAP
CITY OF LEE'S SUMMIT, MISSOURI

SHEET INDEX:

- C-1 TITLE SHEET
- C-2 EXISTING CONDITIONS PLAN
- C-3 SITE PLAN
- C-4 DIMENSION PLAN
- C-5 GRADING PLAN
- C-6 STORM SEWER LINE A & B PLAN & PROFILE
- C-7 EROSION CONTROL PLAN
- C-8 UTILITY PLAN
- C-9 SANITARY SEWER SERVICE LINE PLAN & PROFILE
- C-10 DETAIL SHEET
- C-11 DETAIL SHEET
- C-12 DETAIL SHEET
- C-13 DETAIL SHEET
- L-1 LANDSCAPE PLAN

PROPOSED LEGAL DESCRIPTION:
LOT 7 OF OLDHAM VILLAGE FIRST PLAT, A SUBDIVISION LOCATED IN THE CITY OF LEE'S SUMMIT, COUNTY OF JACKSON, STATE OF MISSOURI.

- LAND USE SCHEDULE:
A) TOTAL FLOOR AREA: 930 SF
B) NUMBER OF DWELLING UNITS: N/A
C) LAND AREA: 38,263 SF/0.88 ACRES
D) PARKING SPACES
REQUIRED: 12 SPACES
(BASED ON 10 EMPLOYEES MAX. PER SHIFT)
PROVIDED: 18 REGULAR, 1 ADA
E) IMPERVIOUS COVERAGE: 0.81 ACRES (SEE STORM WATER REPORT)
F) FLOOR AREA RATIO: 0.0243 (930/38272=0.0243)
G) DWELLING UNITS PER ACRE: N/A
H) LAND USE: COMMERCIAL - DRIVE THRU RESTAURANT

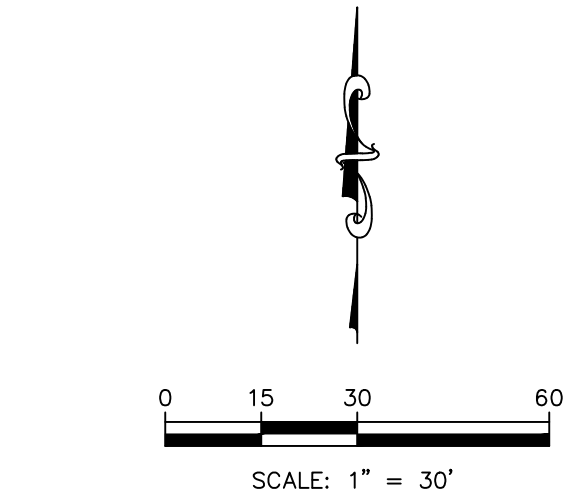
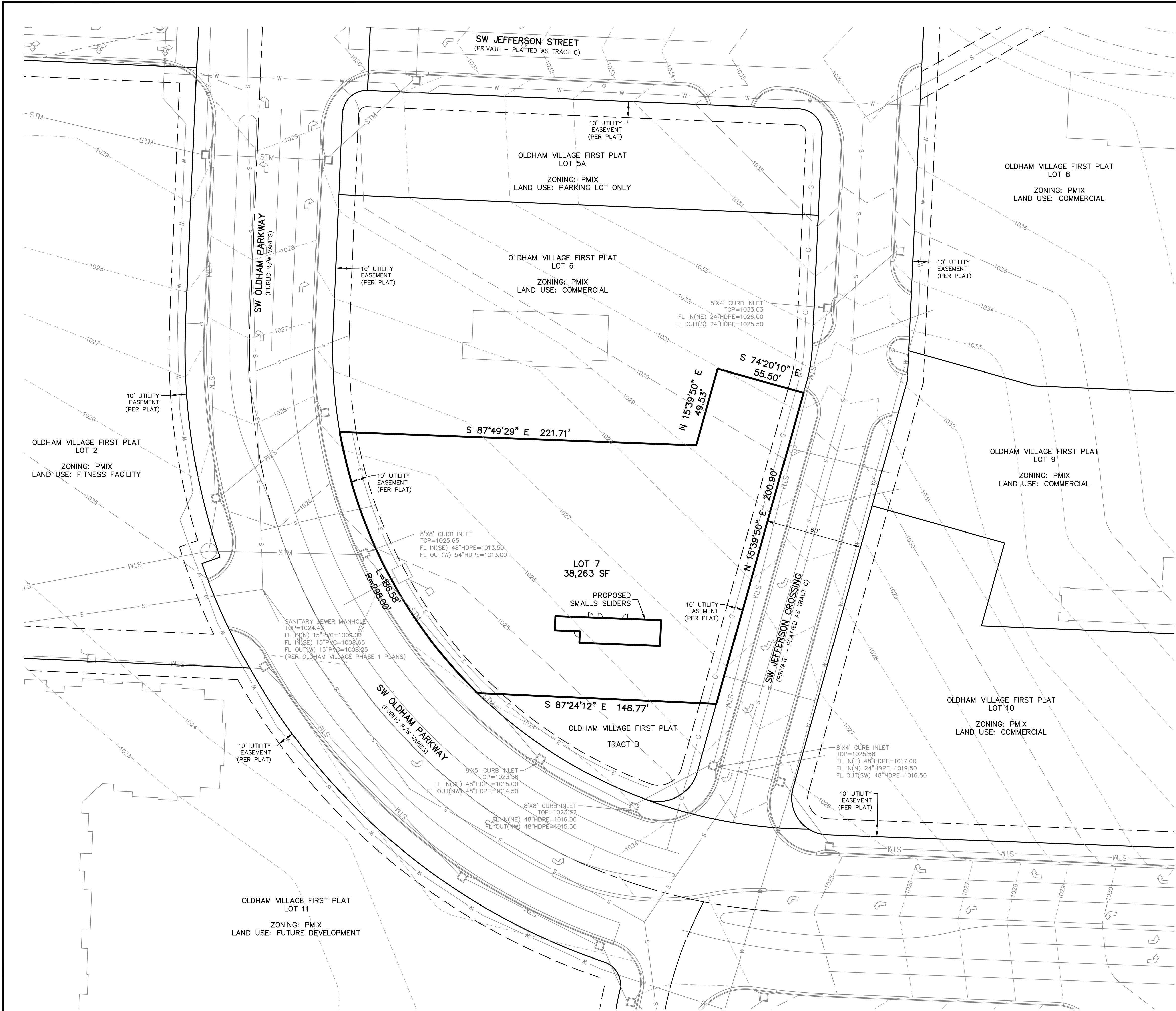
DEVELOPER:
PAXVESTA, LLC
7280 NW 87TH TERRACE, SUIT C-210
KANSAS CITY, MISSOURI 64153
MARK PARRETTA
(816) 679-0123
mparretta@genlumis.com

OWNER:
OLDHAM INVESTORS, LLC
7200 W. 132ND STREET, SUITE 150
OVERLAND PARK, KANSAS 66213
DAVE OLSON
(913) 662-2630
daveolson@monarchprojectllc.com

ENGINEER:
KAW VALLEY ENGINEERING, INC.
2319 N. JACKSON STREET
JUNCTION CITY, KANSAS 66441
RANDY PURDUE, PE
(785) 762-5040
purdue@kveng.com
JAYCE PENNER
(785) 762-5040
penner@kveng.com

ELEVATIONS SHOWN IN THESE PLANS ARE BASED ON OLDHAM VILLAGE CONSTRUCTION PLANS PREPARED BY ENGINEERING SOLUTIONS PROVIDED TO KVE BY MONARCH ACQUISITIONS, LLC.

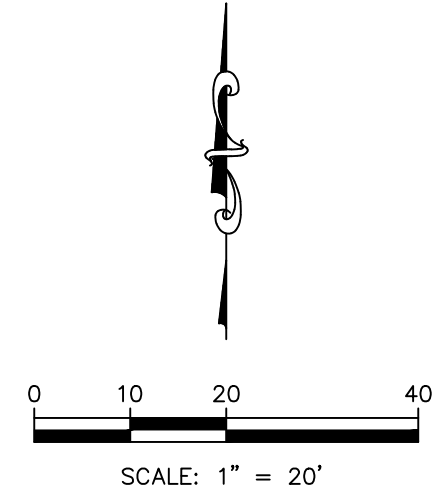
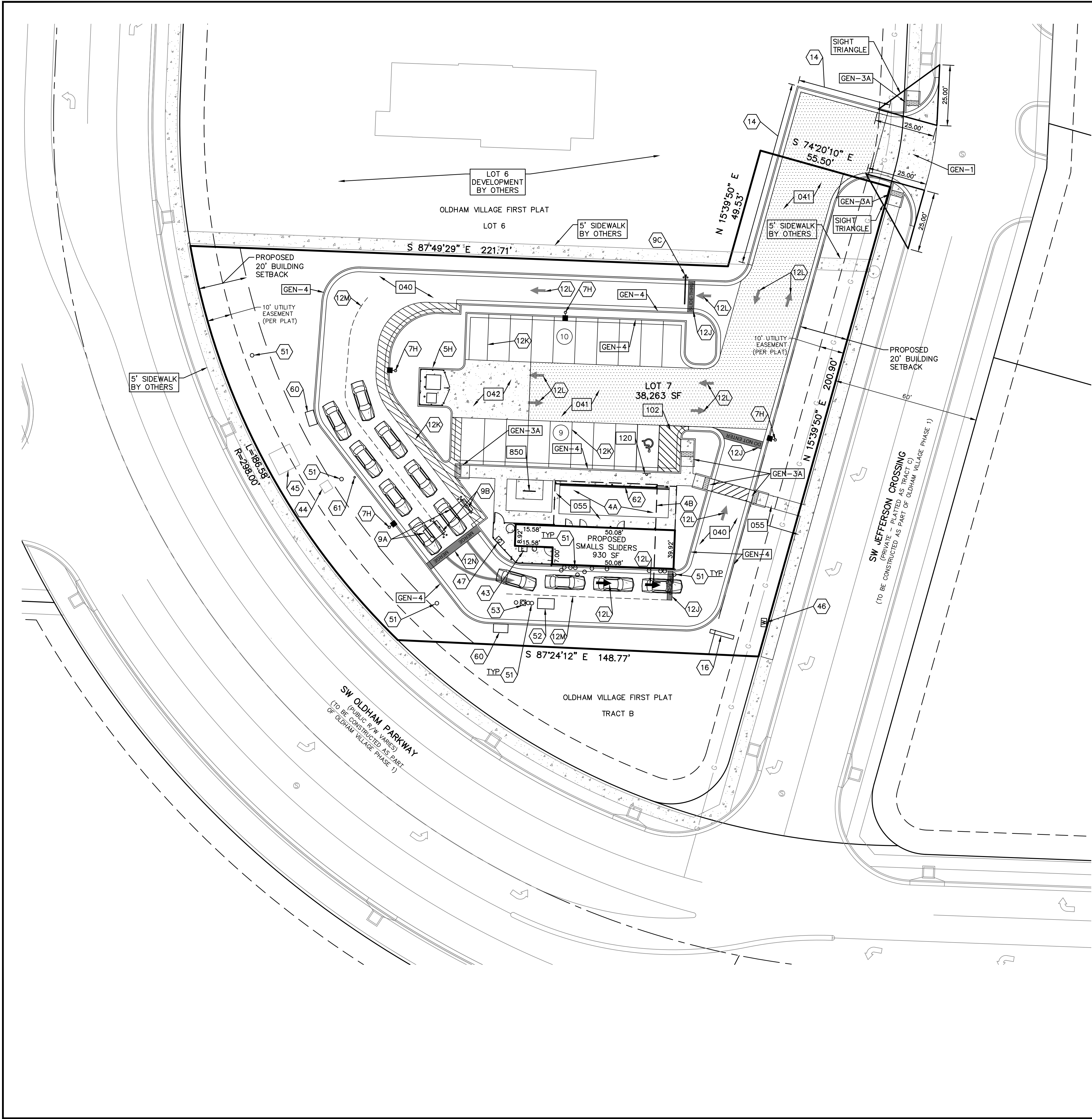
Professional Engineer Seal for Randall C. Purdue, State of Missouri, License Number PE-2022026740, dated 10/11/2025.
Project Information: SMALLS SLIDERS, SW JEFFERSON CROSSING, LEE'S SUMMIT, MISSOURI. CIVIL CONSTRUCTION PLANS, TITLE SHEET.
Sheet Index: C-1 of 0.
Revision: 0.
Date: 10-16-25.
Permit Set: 2009TS.
Designer: RCP.
Drawn By: JB.
CFN: 2009TS.
SHEET: C-1.
REV: 0.



FLOOD STATEMENT:
THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN "OTHER AREAS ZONE X" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP NUMBER 29095C0419G) EFFECTIVE DATE JANUARY 20, 2017.

- NOTES:**
- EXISTING CONDITIONS ARE SHOWN PER OLDHAM VILLAGE PHASE I PLANS.
 - THERE IS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE LOT 7 BOUNDARIES, AS IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," EDWARD ALTON MAY JR., P.E., 1995.
 - THIS SMALLS SLIDERS PROJECT SHALL UTILIZE THE DETENTION BASIN FOR THE OLDHAM VILLAGE PHASE I DEVELOPMENT LOCATED OFF-SITE.

2319 N. JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 PH: (785) 762-5040 jce@kveeng.com www.kveeng.com  KAW VALLEY ENGINEERING	SMALLS SLIDERS SW JEFFERSON CROSSING LEE'S SUMMIT, MISSOURI		CIVIL CONSTRUCTION PLANS EXISTING CONDITIONS PLAN							
	PROJ. NO. A25D2009									
	DESIGNER RCP	DRAWN BY JP								
	CFN 2009EC									
	SHEET C-2	REV 0								



- CONSTRUCTION NOTES:
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
 - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
 - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.
 - ONE IN EIGHT ACCESSIBLE PARKING STALLS MUST HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 102 AND 120.
 - ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS AND ENTRANCES SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.

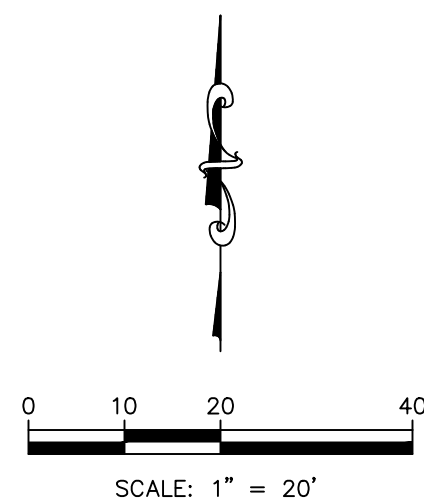
- DETAILS - SEE DETAIL SHEET FOR THE FOLLOWING DETAILS
- 040 REGULAR DUTY PAVING (CONCRETE OR ASPHALT)
 - 041 HEAVY DUTY ASPHALT PAVING
 - 042 HEAVY DUTY CONCRETE PAVING
 - 055 CONCRETE SIDEWALK
 - 102 ACCESSIBLE STRIPING
 - 120 ACCESSIBLE PARKING SIGNAGE
 - 850 BIKE RACK
 - GEN-1 DRIVEWAY DETAIL
 - GEN-3A CITY OF LEE'S SUMMIT ADA RAMP DETAIL
 - GEN-4 CG-1 CONCRETE CURB AND GUTTER

- NOTES:
- 4A OUTDOOR DINING AREA
 - 4B OUTDOOR DINING CANOPY
 - 5H TRASH ENCLOSURE (SEE ARCH PLANS)
 - 7H LIGHT POLE (SEE PHOTOMETRIC PLAN)
 - 9A MENU BOARD CANOPY (SEE ARCH PLANS)
 - 9B DRIVE-THRU MENU BOARD (SEE ARCH PLANS)
 - 9C DRIVE-THRU CLEARANCE SIGN (SEE ARCH PLANS)
 - 12J STOP BAR
 - 12K PARKING LOT STRIPING
 - 12L TRAFFIC ARROW
 - 12M DASHED DRIVE-THRU STRIPING
 - 12N MERGE ARROW STRIPING
 - 14 TEMPORARY ASPHALT CURB
 - 16 MONUMENT SIGN
 - 43 ELECTRIC METER (SEE UTILITY PLAN)
 - 44 SWITCH GEAR (SEE UTILITY PLAN)
 - 45 TRANSFORMER PAD (SEE UTILITY PLAN)
 - 46 WATER METER (SEE UTILITY PLAN)
 - 47 GAS METER (SEE UTILITY PLAN)
 - 51 CLEAN-OUT (SEE UTILITY PLAN)
 - 52 GREASE INTERCEPTOR (SEE UTILITY PLAN)
 - 53 SAMPLING WELL (SEE UTILITY PLAN)
 - 60 CURB INLET (SEE GRADING PLAN)
 - 61 NYLOPLAST STRUCTURE (SEE GRADING PLAN)
 - 62 TRENCH DRAIN (SEE GRADING PLAN)

- NOTE:
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
 - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

			RCP	CHK
			JP	DWN
			RCP	DSN
			PERMIT SET	DESCRIPTION
			0	10-16-25
			REV	DATE
RANDALL C. PURDUE ENGINEER MO # PE-2022026740				
2319 N. JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 TEL: (785) 762-5040 jce@kvweng.com www.kvweng.com				
SMALLS SLIDERS SW JEFFERSON CROSSING LEE'S SUMMIT, MISSOURI CIVIL CONSTRUCTION PLANS SITE PLAN				
PROJ. NO. A25D2009				
DESIGNER RCP		DRAWN BY JP		
CFN 2009SP				
SHEET C-3		REV 0		

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
1	995520.26	2823452.03	BOU
2	995426.82	2823397.79	BOU
3	995433.56	2823249.17	BOU
4	995595.97	2823163.67	BOU
5	995587.55	2823385.22	BOU
6	995635.24	2823398.59	BOU
7	995478.80	2823363.36	BLDG
8	995462.90	2823362.76	BLDG
9	995464.80	2823312.71	BLDG
10	995471.79	2823312.98	BLDG
11	995472.38	2823297.41	BLDG
12	995481.29	2823297.75	BLDG
13	995604.50	2823460.07	ER
14	995608.55	2823445.63	RP
15	995622.99	2823449.68	ER
16	995623.53	2823447.75	ER
17	995609.09	2823443.70	RP
18	995613.14	2823429.26	ER
19	995448.59	2823383.12	ER
20	995452.78	2823368.20	RP
21	995437.29	2823367.61	ER
22	995440.38	2823286.29	ER
23	995455.87	2823286.88	RP
24	995446.43	2823274.59	ER
25	995520.48	2823217.72	ER
26	995529.92	2823230.02	RP
27	995531.11	2823214.56	ER
28	995573.00	2823217.78	ER
29	995571.81	2823233.24	RP
30	995587.30	2823233.83	ER
31	995581.60	2823383.77	ER
32	995591.09	2823384.13	RP
33	995588.53	2823393.28	ER
34	995661.86	2823413.84	PI
35	995651.62	2823451.27	ER
36	995666.09	2823455.23	RP
37	995665.40	2823470.22	ER
38	995558.34	2823380.19	ER
39	995551.78	2823380.03	ER
40	995551.89	2823375.53	RP
41	995547.40	2823375.36	ER
42	995547.53	2823371.97	ER
43	995552.02	2823372.14	RP
44	995552.19	2823367.64	ER
45	995565.18	2823368.14	PI
46	995568.64	2823277.20	PI
47	995547.65	2823276.41	ER
48	995547.75	2823273.91	RP
49	995545.25	2823273.81	ER
50	995545.85	2823257.97	PI

COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
51	995529.86	2823257.39	PI
52	995529.43	2823268.71	ER
53	995526.93	2823268.61	RP
54	995526.84	2823271.11	ER
55	995508.75	2823270.42	ER
56	995508.81	2823268.93	RP
57	995507.89	2823267.74	ER
58	995531.41	2823249.68	ER
59	995543.28	2823265.14	RP
60	995544.78	2823245.70	ER
61	995550.08	2823246.11	ER
62	995548.58	2823265.55	RP
63	995568.07	2823266.29	ER
64	995567.73	2823275.17	PI
65	995571.71	2823275.32	PI
66	995568.07	2823371.06	ER
67	995558.58	2823370.70	RP
68	995519.62	2823368.79	ER
69	995519.30	2823377.45	ER
70	995514.80	2823377.28	RP
71	995513.59	2823381.61	ER
72	995465.74	2823368.25	ER
73	995466.95	2823363.91	RP
74	995462.46	2823363.74	ER
75	995464.83	2823301.10	ER
76	995479.32	2823301.65	RP
77	995470.49	2823290.15	ER
78	995480.81	2823282.23	PI
79	995483.86	2823286.19	PI
80	995500.22	2823273.62	PI
81	995505.76	2823272.77	EC
82	995502.23	2823365.75	PI
83	995517.22	2823366.31	ER
84	995517.12	2823368.81	RP
85	995652.34	2823461.22	RAMP
86	995619.72	2823455.63	RAMP
87	995492.65	2823395.47	RAMP
88	995497.78	2823377.18	RAMP
89	995513.72	2823366.18	RAMP

BOU = BOUNDARY CORNER
BLDG = BUILDING CORNER
RP = RADIUS POINT
PI = POINT OF INTERSECTION
ER = END RADIUS
EC = END OF CURB

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI
CIVIL CONSTRUCTION PLANS
DIMENSION PLAN

PROJ. NO.		A2502009	
DESIGNER	RCP	DRAWN BY	JP
CFN		2009DIM	
SHEET	C-4	REV	0

2319 N. JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
TEL: (785) 762-5040
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KV

KAW VALLEY ENGINEERING

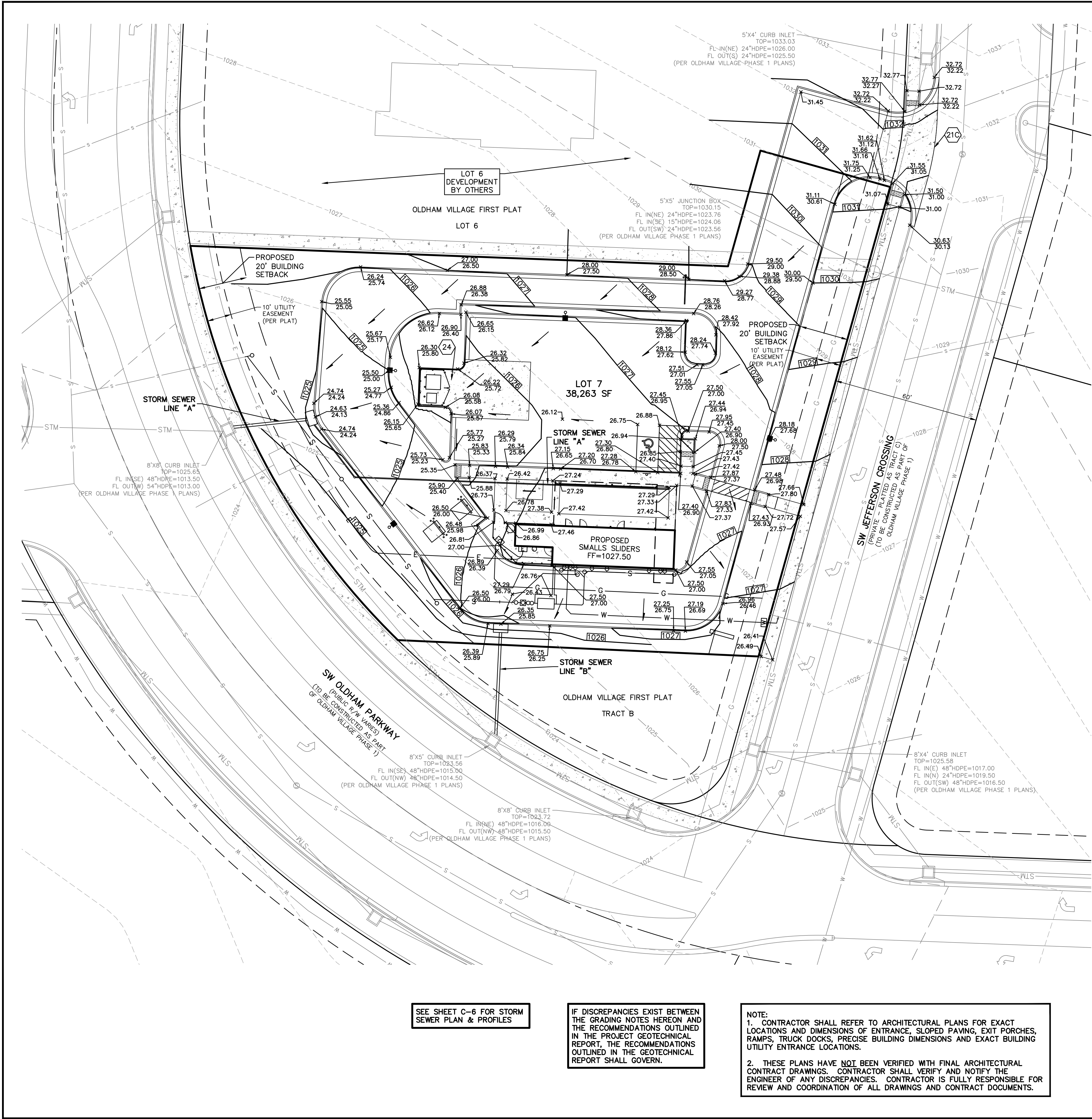
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842.
EXPIRES 12/31/25

RANDALL C PURDUE
ENGINEER
MO # PE-2022026740

REV	DATE	DESCRIPTION
0	10-16-25	PERMIT SET

	RCP	CHK
	JP	DWN
	RCP	DSN

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



LEGEND (PROPOSED)

29.95 SPOT ELEVATION (ADD 1000),
X TOP OF PAVEMENT

31.50 TOP OF CURB (ADD 1000)
31.00 FLOWLINE OF CURB (ADD 1000)

→ FLOW DIRECTION

1027 FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT

1027 1' CONTOUR INTERVALS PER OLDHAM VILLAGE PHASE I PLANS

NOTES:

21C MATCH PAVEMENT ELEVATIONS CONSTRUCTED
W/ OLDHAM VILLAGE DEVELOPMENT PHASE I

24 GRADE TRASH ENCLOSURE TO DRAIN

- GRADING NOTES:**
1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
 2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 10 AND 25, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO BRINGING ON SITE.
 4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS AND THE GEOTECHNICAL REPORT DATED MAY 30, 2025 BY KAW VALLEY ENGINEERING. LVC SHALL BE PLACE 12" BELOW THE BUILDING SLAB AND 8" BELOW PAVEMENT. A MAJORITY OF THE ON-SITE SOILS DO NOT MEET THE REQUIREMENTS OF LVC. FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
 5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
 6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE ENGINEER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.
 9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
 10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
 11. CONTRACTOR SHALL USE SILT FENCE, STRAW WATTLES OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
 12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
 13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
 15. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED STANDARD SITEWORK SPECIFICATIONS.
 16. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
 17. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

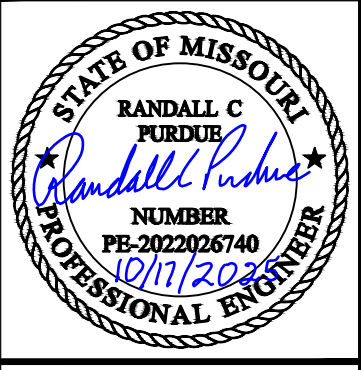
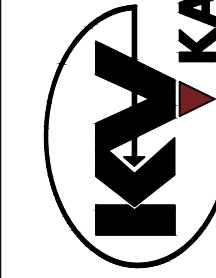
SEE SHEET C-6 FOR STORM
SEWER PLAN & PROFILES

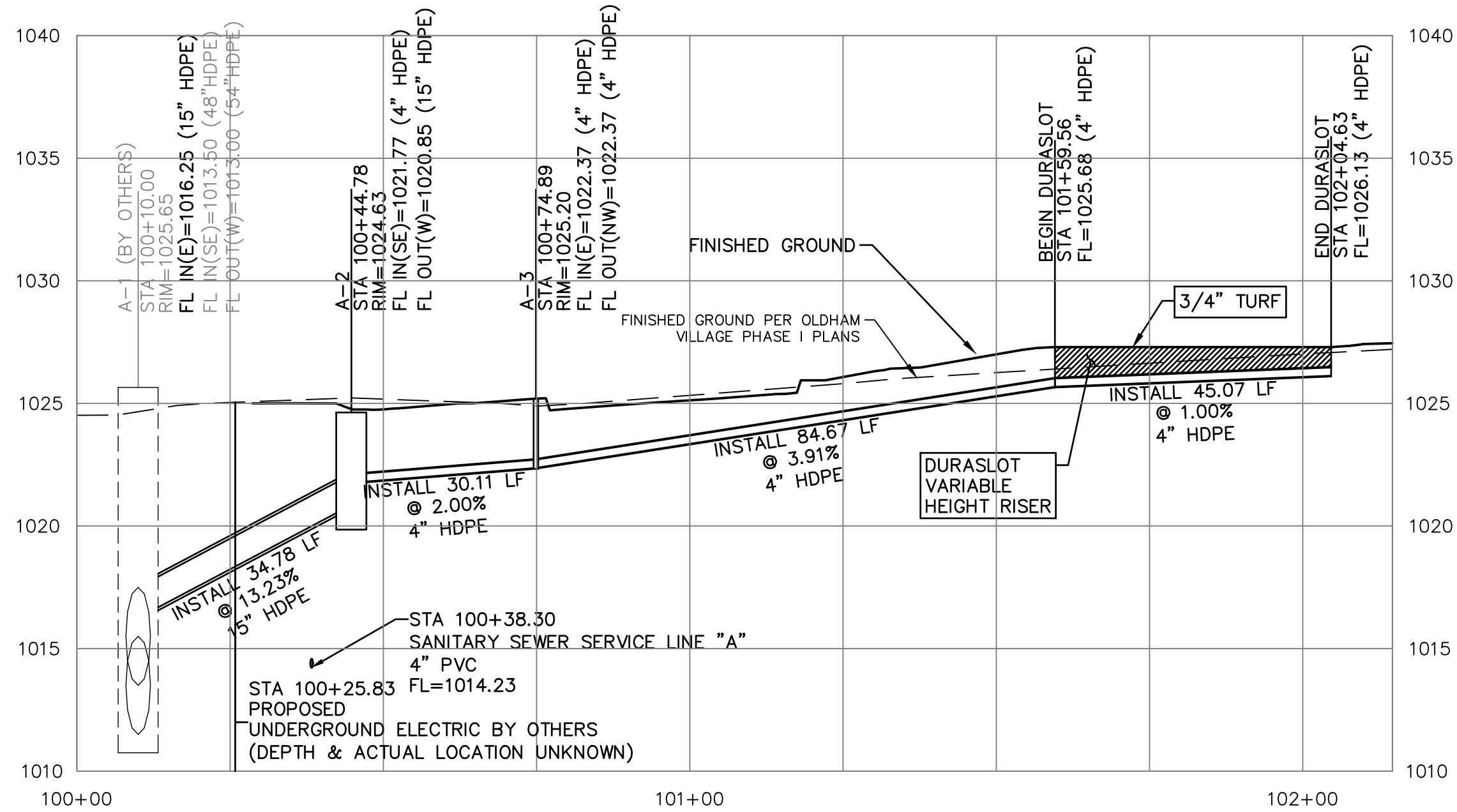
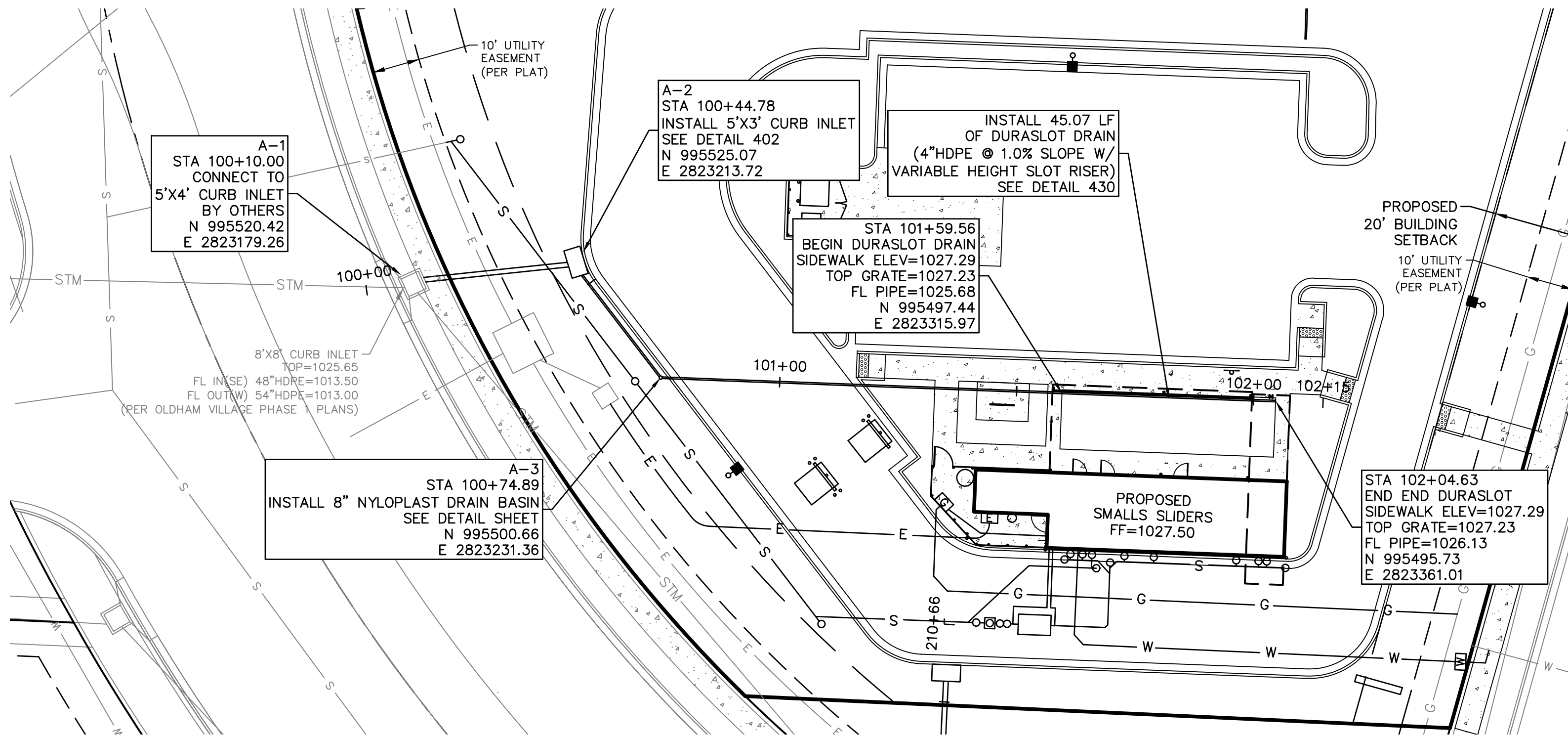
IF DISCREPANCIES EXIST BETWEEN
THE GRADING NOTES HEREON AND
THE RECOMMENDATIONS OUTLINED
IN THE PROJECT GEOTECHNICAL
REPORT, THE RECOMMENDATIONS
OUTLINED IN THE GEOTECHNICAL
REPORT SHALL GOVERN.

NOTE:

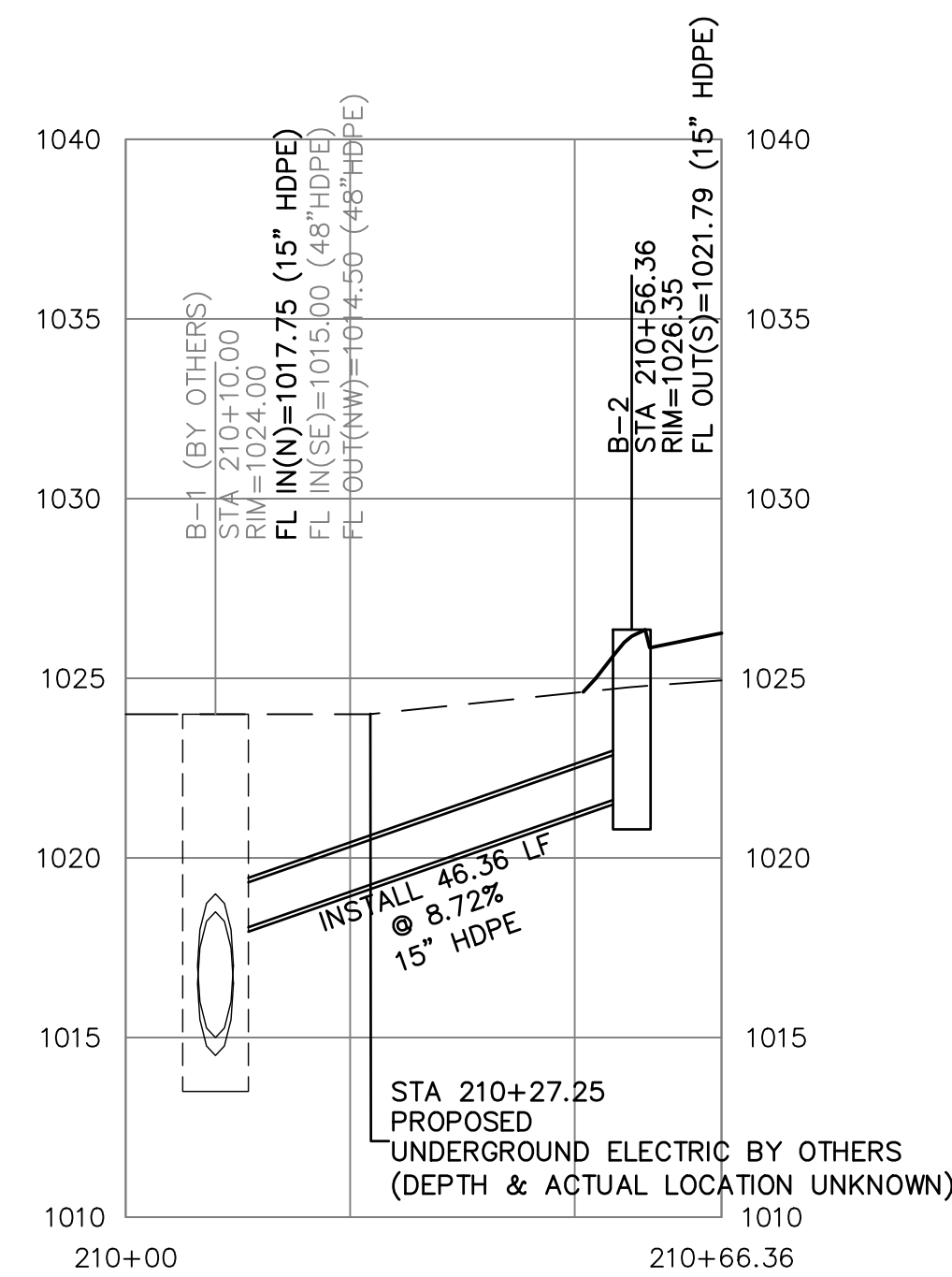
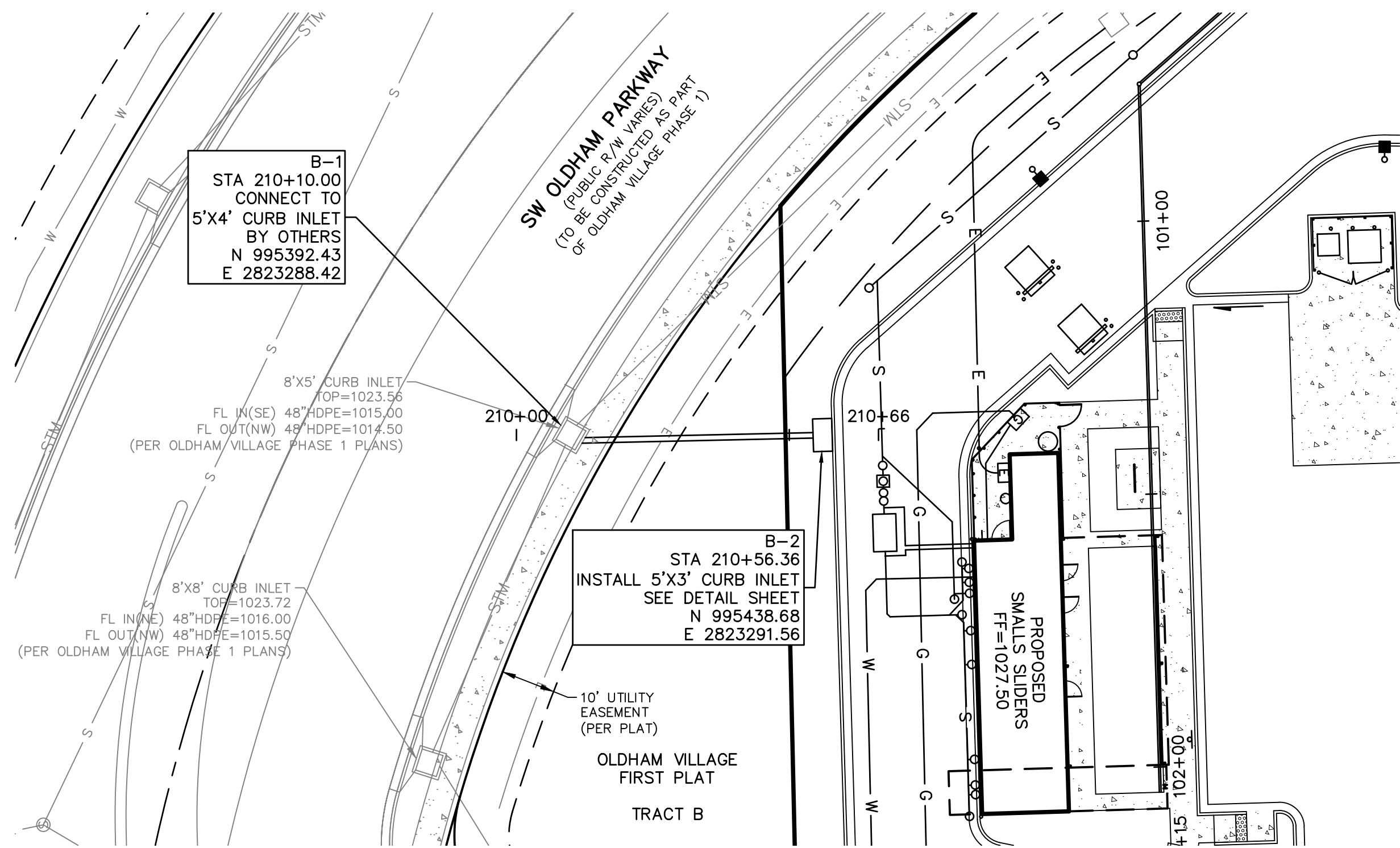
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACT DOCUMENTS.

		RCP	CHK
		JP	DWN
		RCP	DSN
		PERMIT SET	DESCRIPTION
		DATE	REV
		0	10-16-25
			
RANDALL C. PURDUE ENGINEER MO # PE-2022026740			
2319 N. JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 TEL: (785) 762-5040 j@kvweng.com www.kvweng.com			
 KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25			
SMALLS SLIDERS SW JEFFERSON CROSSING LEE'S SUMMIT, MISSOURI			
CIVIL CONSTRUCTION PLANS GRADING PLAN			
PROJ. NO. A2502009			
DESIGNER RCP		DRAWN BY JP	
CFN 2009GP			
SHEET C-5		REV 0	



STORM SEWER LINE "A"



STORM SEWER LINE "B"

SMALLS SLIDERS SW JEFFERSON CROSSING LEE'S SUMMIT, MISSOURI CIVIL CONSTRUCTION PLANS STORM SEWER LINE A & B PLAN & PROFILE	PROJ. NO.	A2502009	
	DESIGNER	RCP	DRAWN BY
	CFN	2009DPP	REV
	SHEET	C-6	0

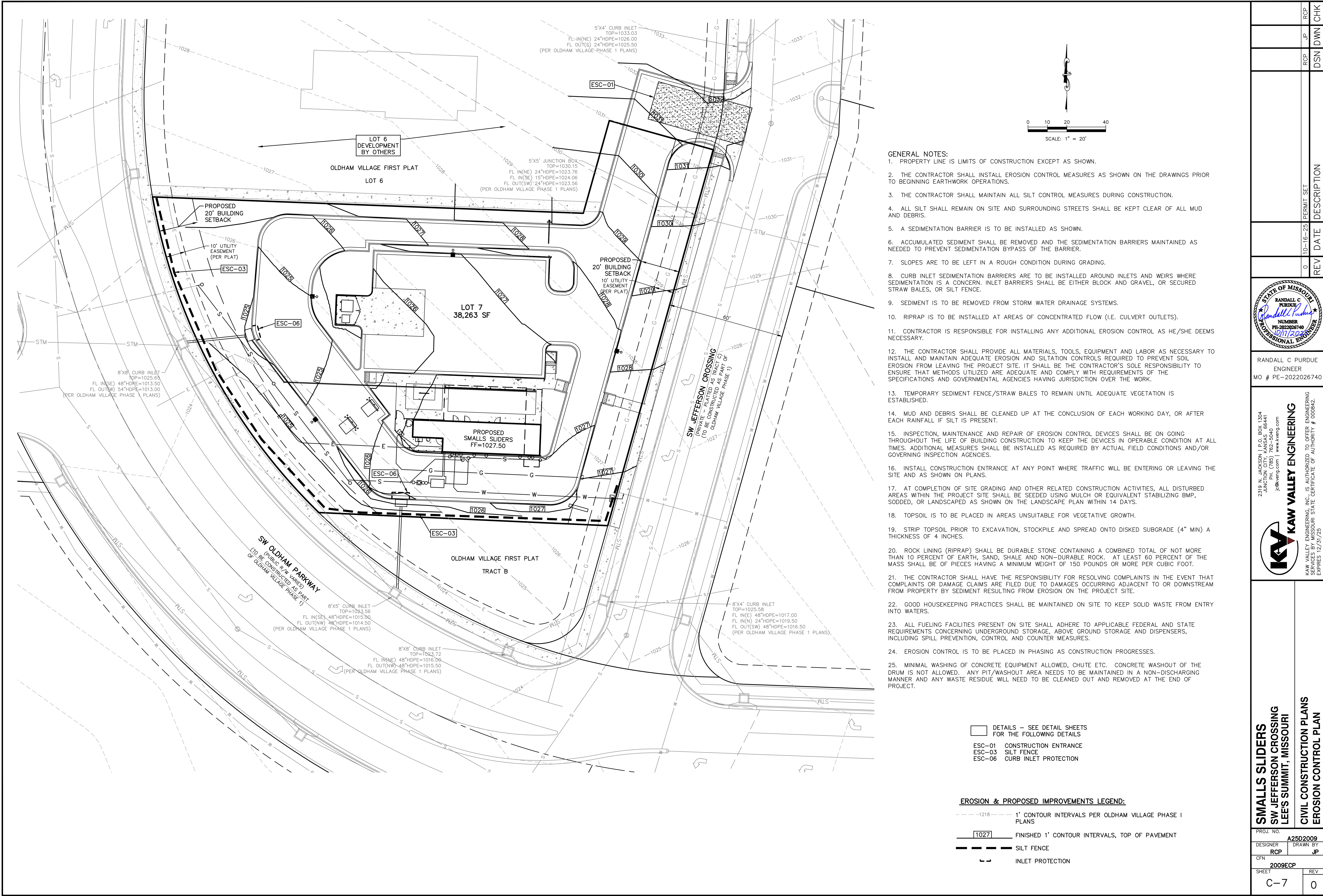
STATE OF MISSOURI
RANDALL C. PURDUE
 PROFESSIONAL ENGINEER
 NUMBER: 011720
 EXPIRES: 12/31/25

RANDALL C. PURDUE
 ENGINEER
 MO # PE-2022026740

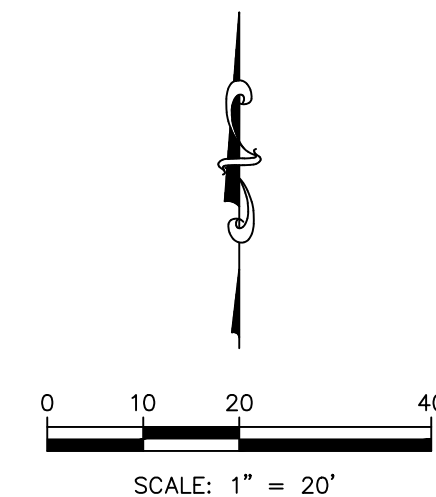
2319 N. JACKSON | P.O. BOX 1304
 JUNCTION CITY, KANSAS 66441
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 EXPIRES 12/31/25

REV	DATE	DESCRIPTION
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		DSN
		DWN
		CHK



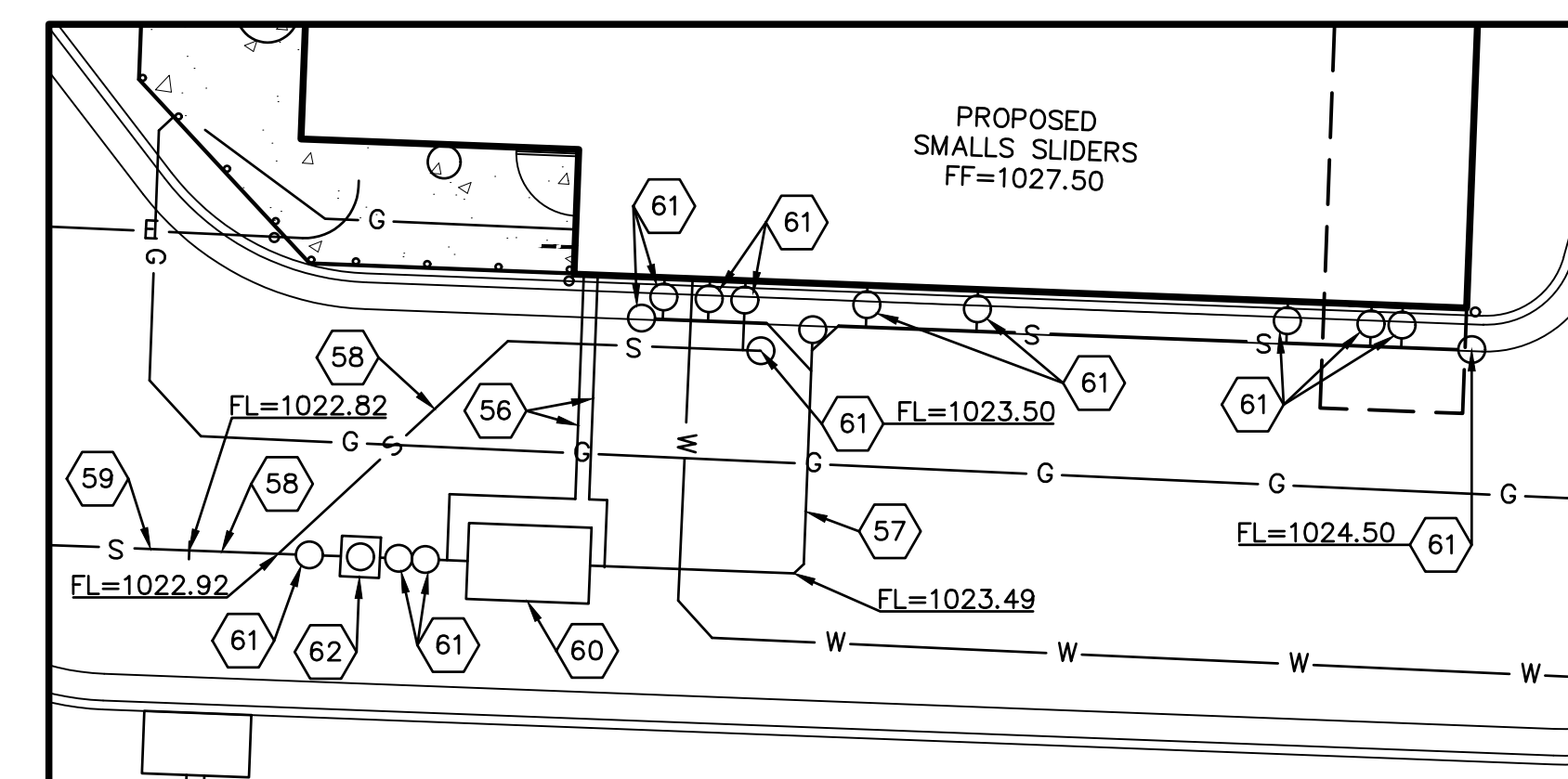
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		JP	DWN
		RCP	DSN
		PERMIT SET	
		DATE	DESCRIPTION
	0	10-16-25	REV
RANDALL C. PURDUE ENGINEER MO # PE-2022026740			
2319 N. JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 TEL: (785) 762-5040 jce@kvweng.com www.kvweng.com			
K&W VALLEY ENGINEERING K&W VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25			
SMALLS SLIDERS SW JEFFERSON CROSSING LEE'S SUMMIT, MISSOURI		CIVIL CONSTRUCTION PLANS EROSION CONTROL PLAN	
PROJ. NO. A2502009			
DESIGNER	RCP	DRAWN BY	JP
CFN			
SHEET	2009ECP		
C-7	REV 0		



TO A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER MAINS AND SERVICE LINES. GRAVITY SANITARY SEWER MAINS AND SERVICE LINES, WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A GRAVITY SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST TO FEET EITHER SIDE OF THE WATER MAIN. THE MINIMUM VERTICAL SEPARATION DISTANCE BETWEEN A GRAVITY SANITARY SEWER SERVICE LINE, WHERE A WATER LINE (SERVICE LINE) CROSSES A NEW (EXISTING) FORCE MAIN (FORCE SERVICE LINE), THE WATER LINE (SERVICE LINE) MUST ALWAYS CROSS OVER THE FORCE MAIN (FORCE SERVICE LINE) WITH A MINIMUM VERTICAL SEPARATION DISTANCE OF 2 FEET. FORCE MAIN LINE (FORCE SERVICE LINE) JOINTS ARE TO BE LOCATED AS FAR AS POSSIBLE FROM ANY INTERFERING UTILITY.

206 TRENCH & BEDDING DETAILS

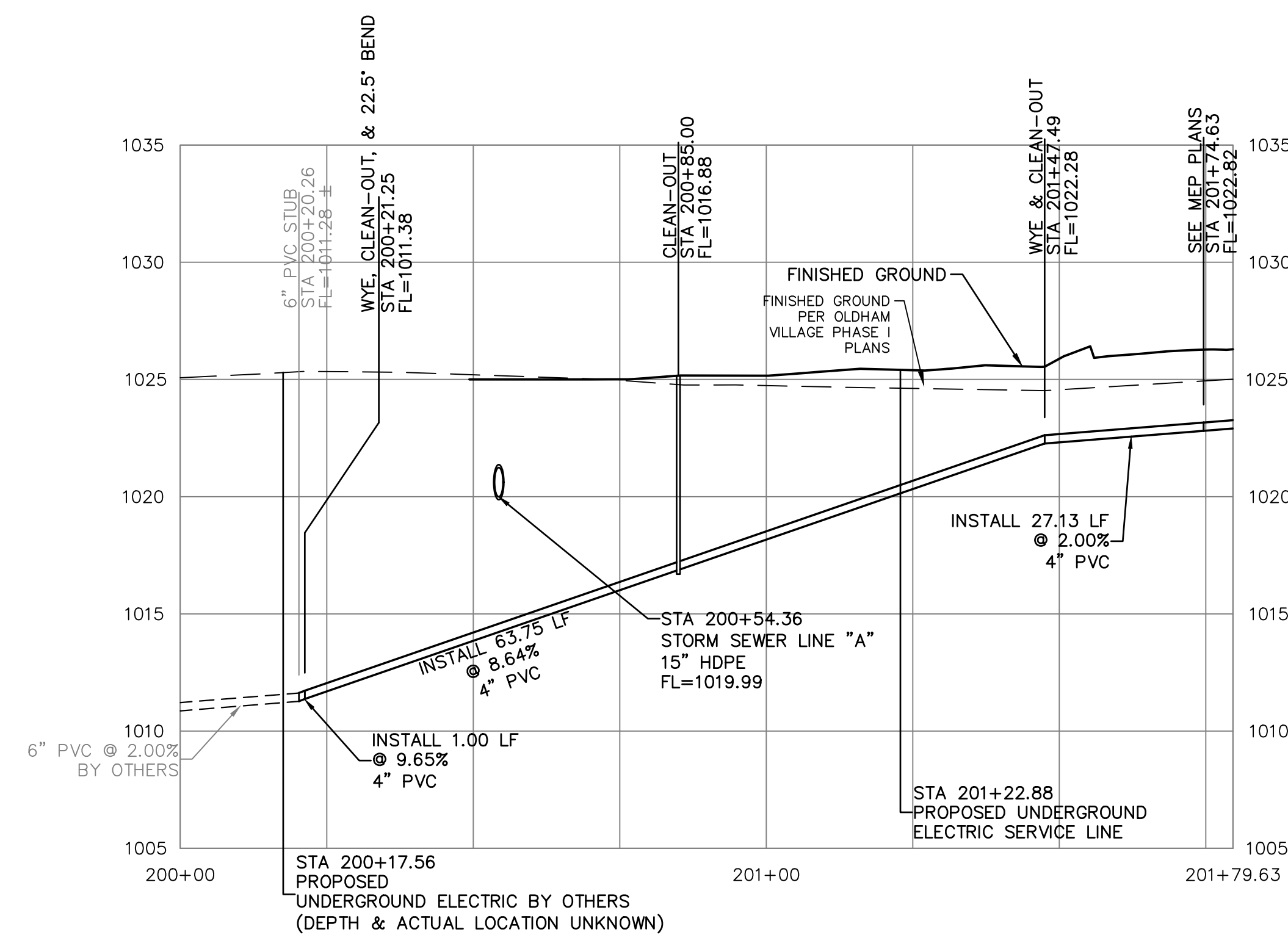
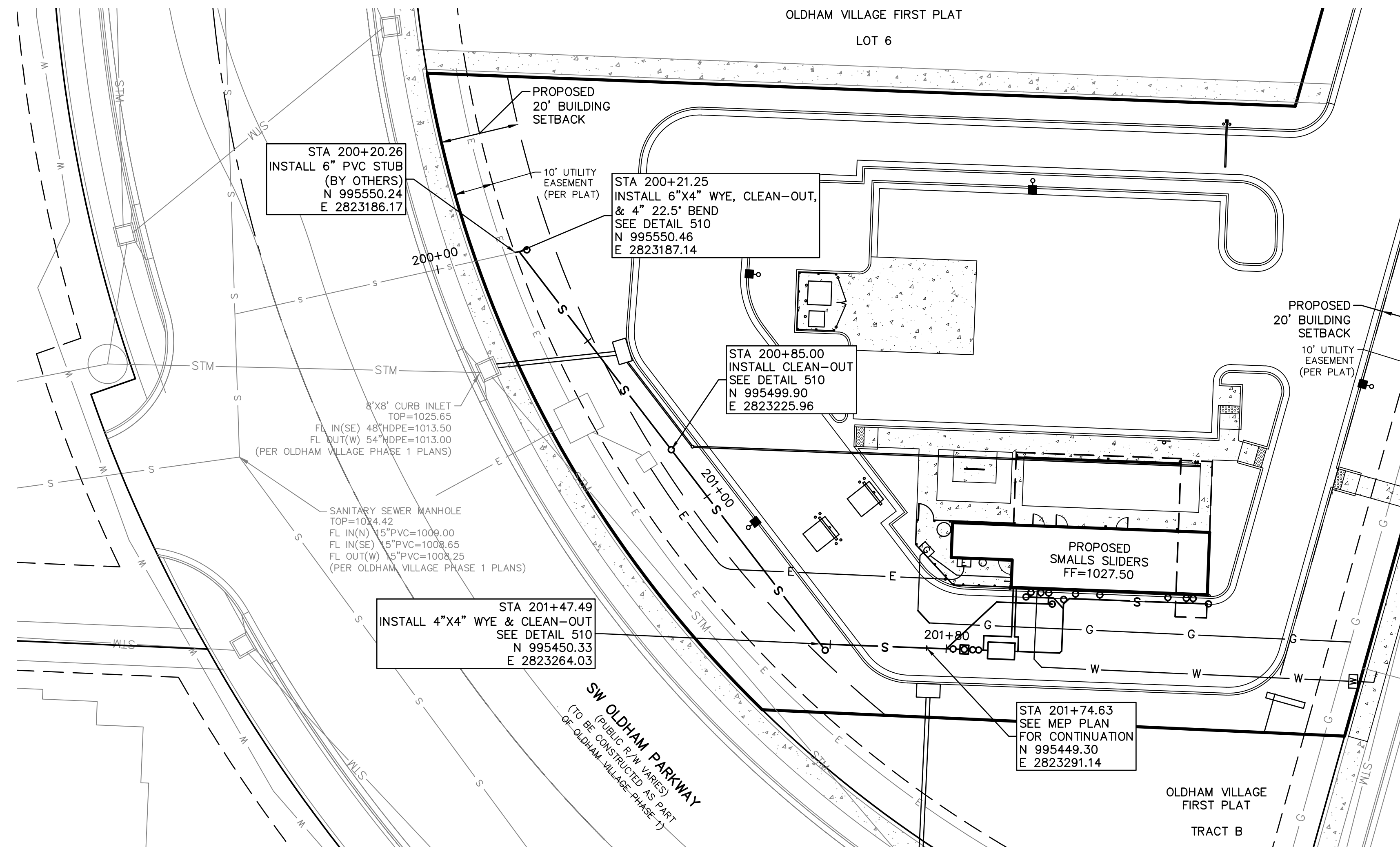
17A POINT OF CONNECTION – GAS SERVICE (COORDINATE W/ SPIRE)
17B GAS SERVICE (BY SPIRE)
17C GAS METER
19A POINT OF CONNECTION – ELECTRIC SERVICE (COORDINATE W/ EVERYGY)
19B UNDERGROUND POWER PER EVERYGY
19C SWITCHGEAR BY EVERYGY
19D TRANSFORMER BY EVERYGY
19E ELECTRIC METER
20A POINT OF CONNECTION – WATER SERVICE (COORDINATE W/ QITY)
20B 1" DOMESTIC WATER LINE INSTALLED BY CONTRACTOR
20C 1" WATER METER VAULT
20D PUBLIC FIRE HYDRANT PER OLDHAM VILLAGE PHASE I PLANS
56 2" VENT PIPING (SEE MEP PLANS)
57 4" GREASE WASTE SERVICE LINE (SEE MEP PLANS)
58 4" SANITARY SEWER SERVICE LINE (SEE MEP PLANS)
59 4" SANITARY SEWER SERVICE LINE (SEE SANITARY SEWER SERVICE LINE PLAN & PROFILE)
60 GREASE INTERCEPTOR (SEE MEP PLANS)
61 CLEAN-OUT (SEE MEP PLANS)
61A CLEAN-OUT (SEE SANITARY SEWER SERVICE LINE PLAN & PROFILE)
62 SAMPLING PORT (SEE MEP PLANS)



ENLARGED VIEW
SCALE: 1" = 10'

SEE SHEET C-9 FOR SANITARY
SEWER SERVICE LINE PLAN & PROFILE

[illegible]



SANITARY SEWER SERVICE LINE

SCALE:
PLAN: 1" = 20'
PROFILE: 1" = 20' HORIZ.
1" = 5' VERT.

NOTES:
1. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.



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ALLEY ENGINEERING

.. IS AUTHORIZED TO OFFER ENGINEERING
CERTIFICATE OF AUTHORITY # 000842.

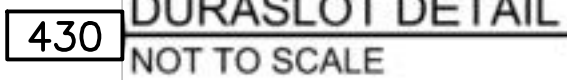
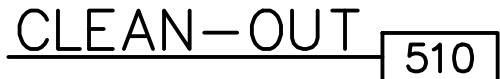


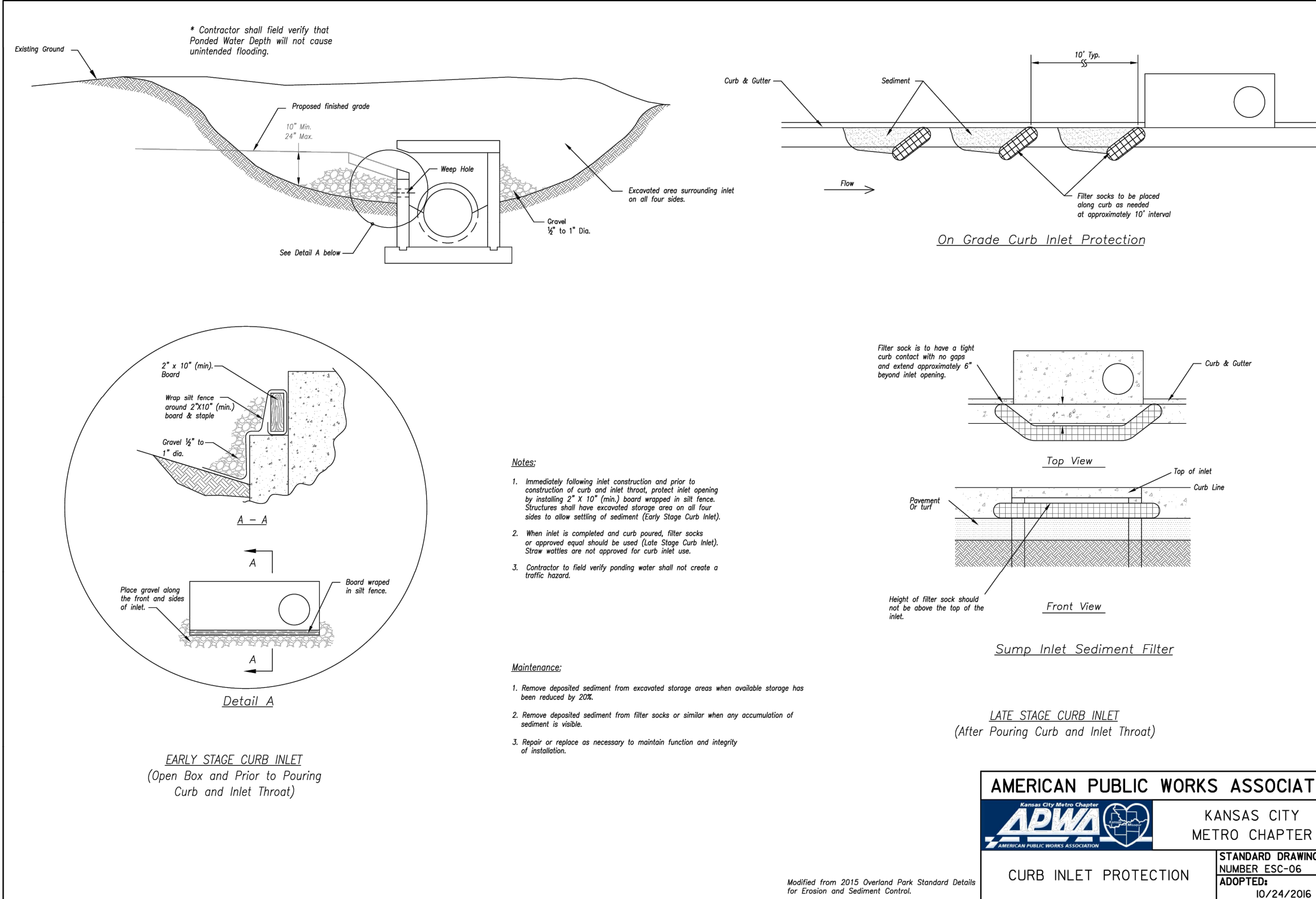
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EXPIRES 12/31/25

SMALLS SLIDERS
SW JEFFERSON STREET
LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS
SANITARY SEWER SERVICE LINE PLAN & PROFILE

PROJ. NO.		A25D2009	
DESIGNER		DRAWN BY	
RCP		JP	
CFN			
2009SPP			
SHEET		REV	
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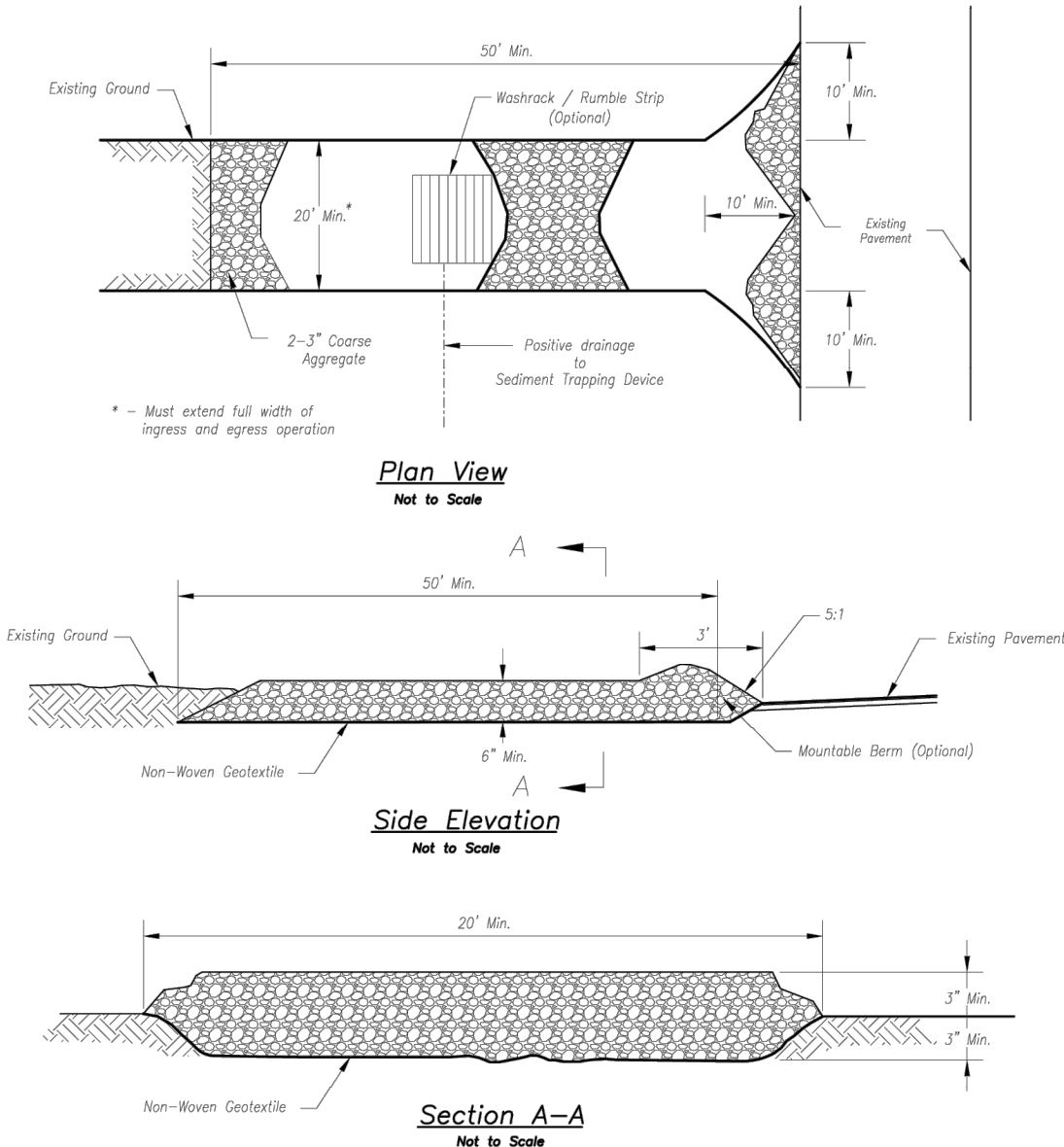
Notes for Construction Entrance:

1. Avoid loading on steep slopes, at curves on public roads, or dwellings of disturbed areas.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1 IV side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE



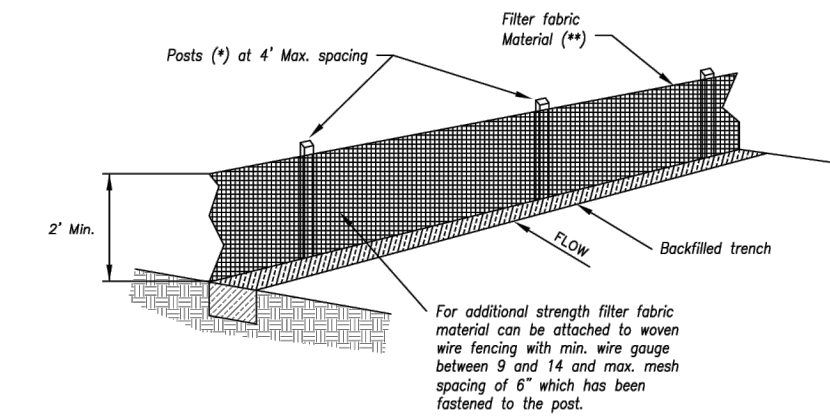
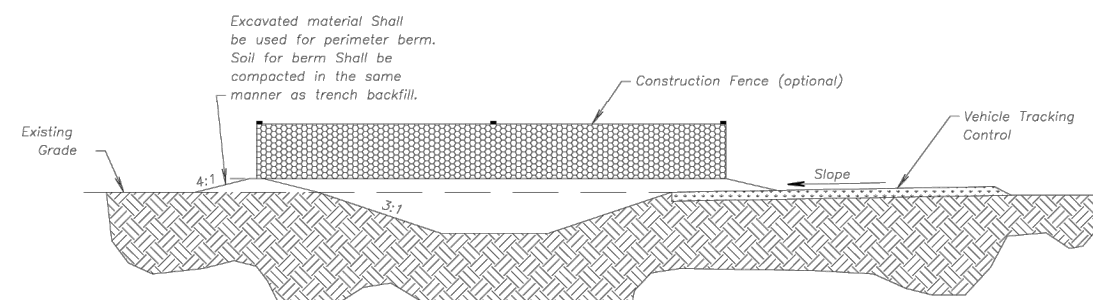
Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slope leading out of the subsurface pit shall be 3:1. The vehicle tracking post shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.

CONCRETE WASHOUT



(*) EG SIS
- MIN. LENGTH 4'
- HARDWOOD 1 3/4" x 1 3/4"
- NO.2 SOUTHERN PINE 2 3/4" x 2 3/4"
- STEEL 1.33 LB/FT

(**) - Geotextile fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS

Not to Scale

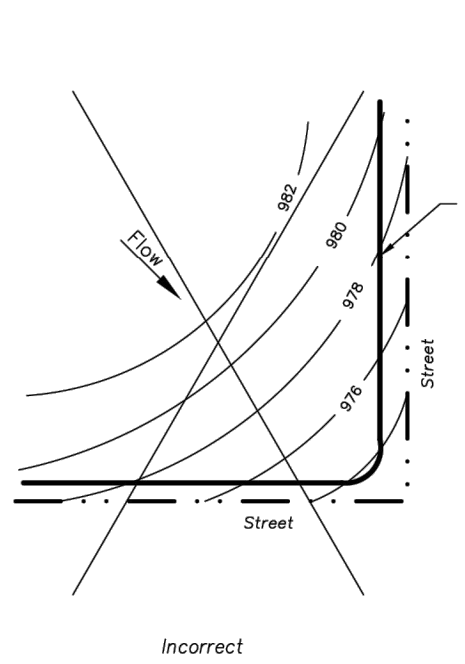
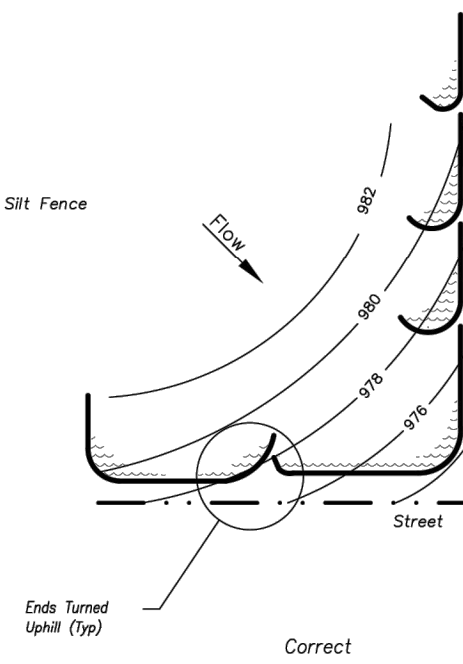
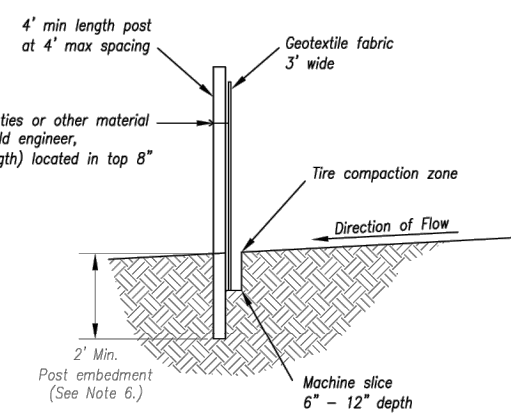


Figure A



SILT FENCE LAYOUT

Not to Scale

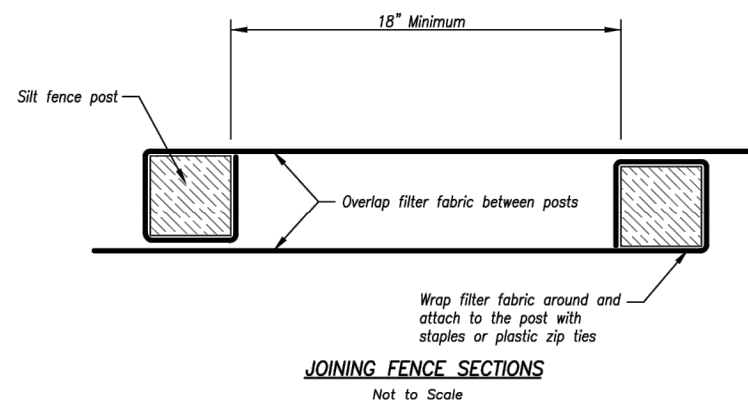


Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.



AMERICAN PUBLIC WORKS ASSOCIATION



KANSAS CITY METRO CHAPTER

SILT FENCE

STANDARD DRAWING NUMBER ESC-03
ADOPTED: 10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

SMALLS SLIDERS
SW JEFFERSON CROSSING
LEE'S SUMMIT, MISSOURI

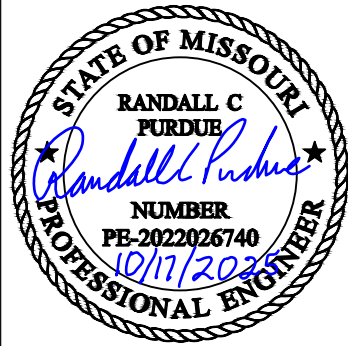
CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJ. NO.	A25D2009
DESIGNER	RCP
CFN	2009DET
SHEET	C-13
REV	0

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K&W VALLEY ENGINEERING

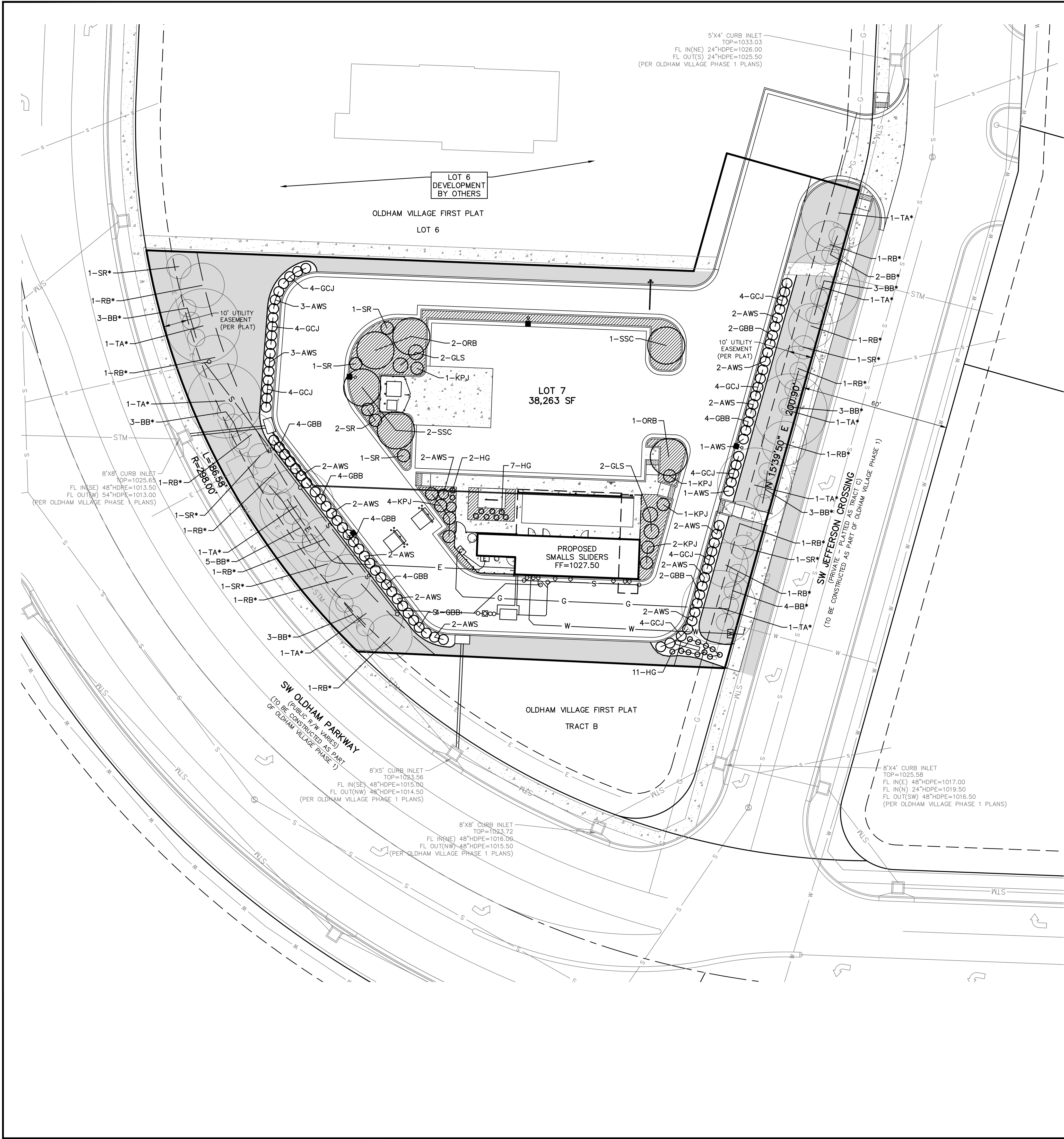
K&W VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842.
EXPIRES 12/31/25



RANDALL C. PURDUE
ENGINEER
MO # PE-2022026740

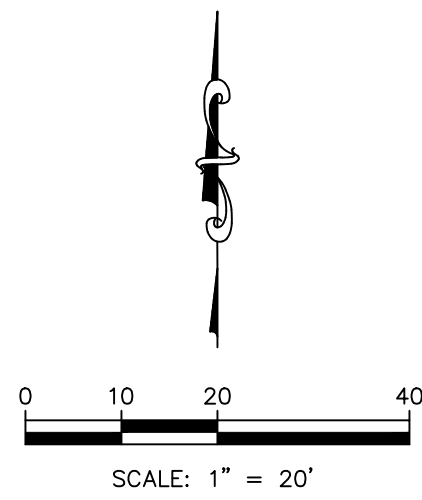
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10-16-25
DATE

DESCRIPTION
DWN
CHK



LEGEND

- SOD
- ROCK/MULCH
- STEEL EDGING
- TREE/SHRUB
- TREE/SHRUB SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN



REQUIRED LANDSCAPING:

STREET FRONTAGE:
1 TREE FOR EACH 30 LF OF STREET FRONTAGE
1 SHRUB FOR EACH 20 LF OF STREET FRONTAGE

(SW OLDHAM PARKWAY: 186.58/30=6.2, 186.58/20=9.3) PARKWAY
(SW JEFFERSON CROSSING: 200.90/30=6.7, 200.90/20=10.0)
REQUIRED: 7 TREES, 10 SHRUBS ALONG SW OLDHAM PARKWAY
7 TREES, 10 SHRUBS ALONG SW JEFFERSON CROSSING
PROVIDED: 14 TREES, 14 SHRUBS ALONG SW OLDHAM PARKWAY
12 TREES, 15 SHRUBS ALONG SW JEFFERSON CROSSING

REQUIRED TREES & SHRUBS FOR STREET FRONTAGE ARE SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN.

OPEN YARD AREAS:
1 TREE FOR EVERY 5,000 OF OF TOTAL LOT AREA
(38263/5000=7.65)
REQUIRED: 8 TREES
PROVIDED: 10 TREES

2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA
(38263/5000=7.65, 7.65X2=15.31)
REQUIRED: 16 SHRUBS
PROVIDED: 15 SHRUBS, 20 GRASSES

PARKING LOT LANDSCAPING:
5% OF PARKING SPACES, AISLES, & DRIVEWAYS SHALL BE LANDSCAPED ISLANDS.
(1529 SF ISLAND AREA/19788 DRIVE & PARKING AREA=0.077)
REQUIRED: 5%
PROVIDED: 7.7%

PARKING LOT SCREENING:
PARKING LOTS DESIGNED FOR 5 CARS OR MORE AND LOADING OR UNLOADING AREAS SHALL BE SCREENED IF VISIBLE FROM A STREET. SCREENING MUST BE PROVIDED ALONG EDGE OF PARKING LOT OR LOADING AREA TO A HEIGHT OF 2.5' ABOVE THE ELEVATION OF THE PARKING/LOADING AREA OR THE STREET, WHICHEVER IS HIGHEST. PARKING LOT SCREENING SHALL BE DECORATIVE AND 100% OPAQUE AND MAY BE LOCATED WITHIN THE LANDSCAPE STRIP.

PROVIDED: 89 SHRUBS

BUFFER/SCREENING BETWEEN LAND USES REQUIRED:
BUFFER SCREEN IMPACT FOR PM10 IS PER APPROVED PLAN. ALL THE SURROUNDING USES WILL BE COMMERCIAL SO NO BUFFERS ARE ANTICIPATED BUT WILL BE DETERMINED DURING DEVELOPMENT PLAN REVIEW.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
DECIDUOUS TREES				
ORB	3	CERCIS CANADENSIS 'OKLAHOMA'	OKLAHOMA REDBUD (MULTI-STEM)	2" CAL. B&B
SSC	3	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL. B&B
TA*	8	TILIA AMERICANA	AMERICAN BASSWOOD LINDEN	3" CAL. B&B
RB*	13	CERCIS RENIFORMIS "OKLAHOMA"	OKLAHOMA REDBUD	3" CAL. B&B
DECIDUOUS SHRUBS				
AWS	32	SPIREA XBUMALDI 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18"-24" HT.
GLS	4	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18"-24" HT.
BB*	29	EUONYMUS ALATA "COMPACTUS"	BURNING BUSH	2 GAL. CONT.
EVERGREEN TREES				
SR*	5	JUNIPERUS SCOPULORUM "SKYROCKET"	SKYROCKET JUNIPER	8' HT.
SR	5	JUNIPERUS SCOPULORUM "SKYROCKET"	SKYROCKET JUNIPER	5' HT.
EVERGREEN SHRUBS				
GBB	28	BUXUS MICROPHYLLA 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	18"-24" HT.
KPJ	9	KALLAY PFITZER JUNIPER	JUNIPERUS PFITZERIANA 'KALLAY'S COMPACT'	18"-24" HT.
GCJ	32	JUNIPERUS CHINENSIS 'GOLD COAST'	GOLD COAST JUNIPER	18"-24" HT.
ORNAMENTAL GRASSES				
HG	20	PENNISETUM ALOPECUROIDES	DWF HAMELN GRASS	18"-24" HT.

* TREES & SHRUBS SHOWN PER THE OLDHAM VILLAGE PHASE I PRELIMINARY DEVELOPMENT PLAN.

PROJ. NO. A25D2009

DESIGNER RCP

CFN

SHEET

DRAWN BY JP

2009LP

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10-16-25

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PERMIT SET

DATE

REV

DESCRIPTION

CHK

DWN

JP

RCP

SMALLS SLIDERS

SW JEFFERSON CROSSING

LEE'S SUMMIT, MISSOURI

CIVIL CONSTRUCTION PLANS

LANDSCAPE PLAN

K&V KAW VALLEY ENGINEERING

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