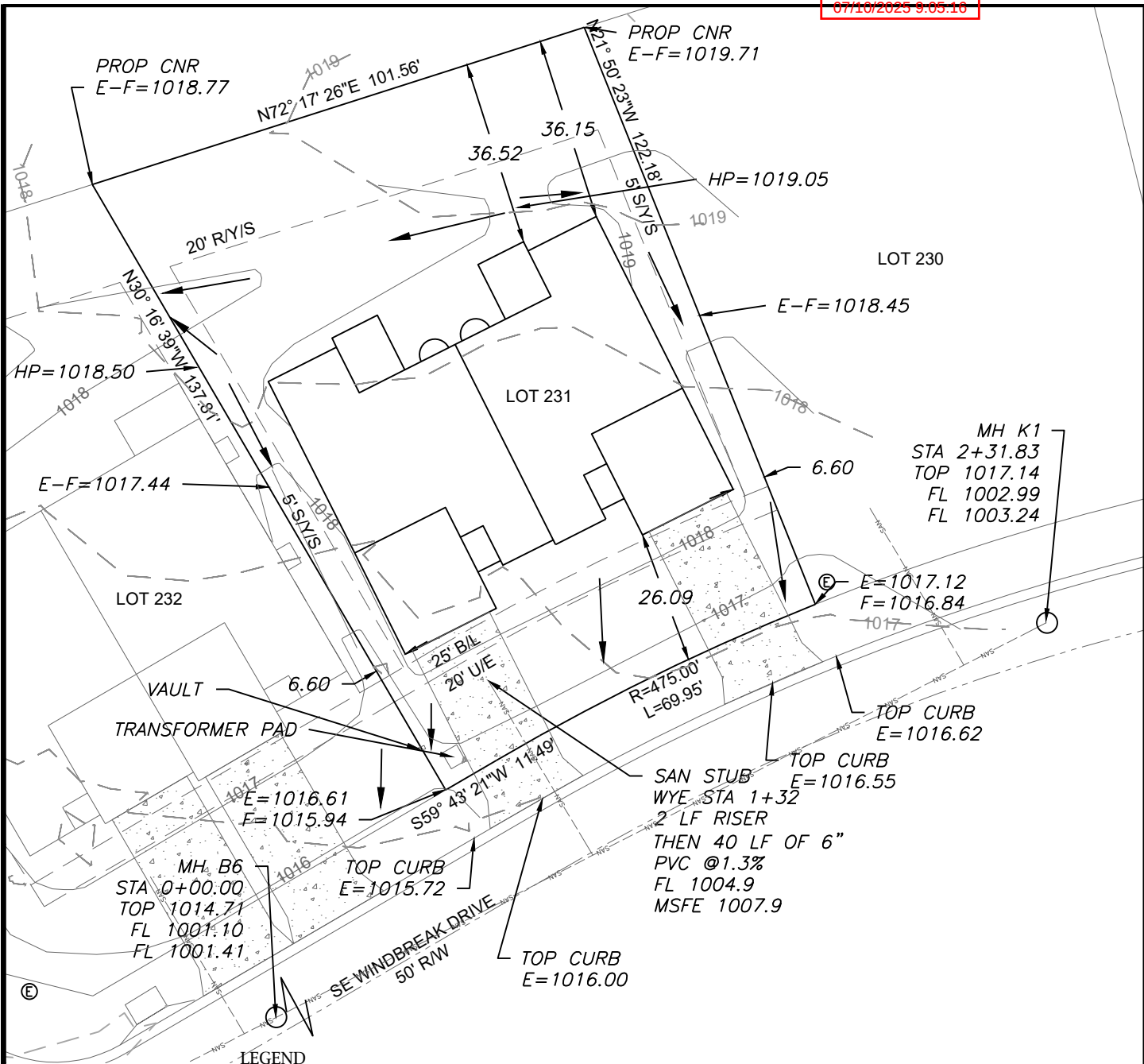




LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

PROPOSED HOUSE

TOP FOUNDATION = 1020.30
GARAGE FLOOR = 1018.30
TOP FOOTING = 1012.30
BASEMENT FLOOR = 1012.63
DRIVE SLOPE = 8.0%
DRIVE SLOPE = 5.9%

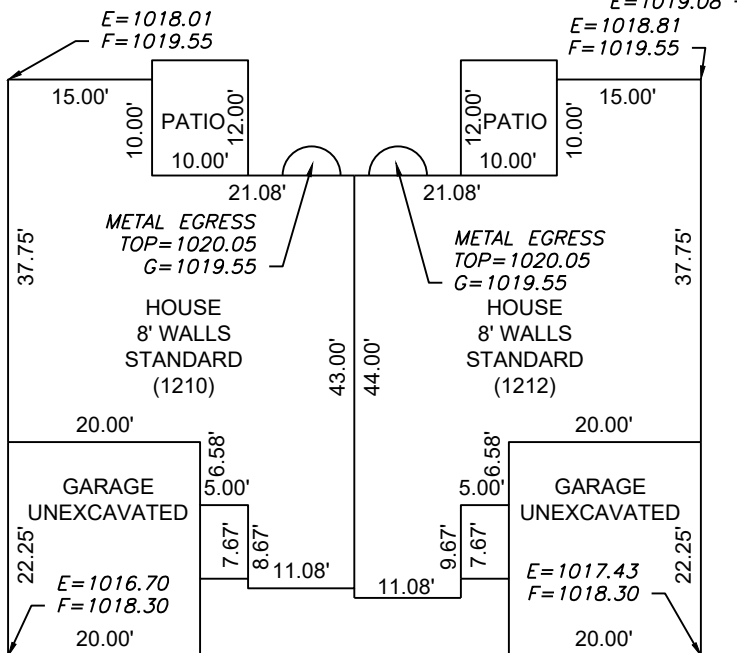
E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION
G = ADJACENT GRADE AT EGRESS
U/E = UTILITY EASEMENT
B/L = BUILDING LINE
S/Y/S = SIDE YARD SETBACK
R/Y/S = REAR YARD SETBACK

NOTES

- BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
- THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

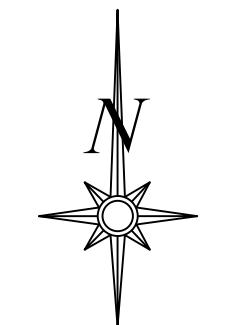
EXTENDED LOT AREA = 12578.9 SF
DRIVE AREA = 900.7 SF
APPROACH AREA = 397.4 SF
SIDEWALK AREA = N/A
HOUSE FOOTPRINT = 3684.0 SF
PATIO/DECK = 240.0 SF
SOD = 7356.8 SF

OS BAR
E = 1018.36
E = 1018.81
F = 1019.55



Scale 1"=20'
PLAN: TWIN TUPELO

OS BAR
E = 1017.82



Scale 1"=30'

LOT INFORMATION

11,693.01 SQ. FT.
MSFE = 1007.9
ADDRESS
1210 SE WINDBREAK DR
1212 SE WINDBREAK DR

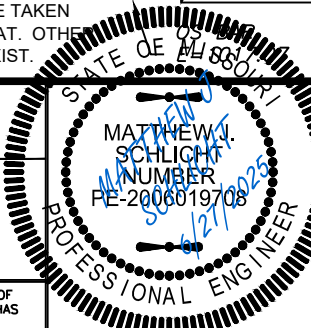
LEGAL DESCRIPTION

LOT 231, CORNERSTONE AT
BAILEY FARMS, FIRST PLAT, A
SUBDIVISION AS RECORDED
IN LEE'S SUMMIT, JACKSON
COUNTY, MISSOURI.

ENGINEERING
ENGINEERING & SURVEYING
SOLUTIONS

50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816) 623-9849
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THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.



PLOT PLAN - LOT 231

CORNERSTONE AT BAILEY FARMS, FIRST PLAT
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SUMMIT HOMES
71 SE 20TH TERR.
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 231, 232, CORNERSTONE AT BAILEY FARMS	5/12/25	1	1