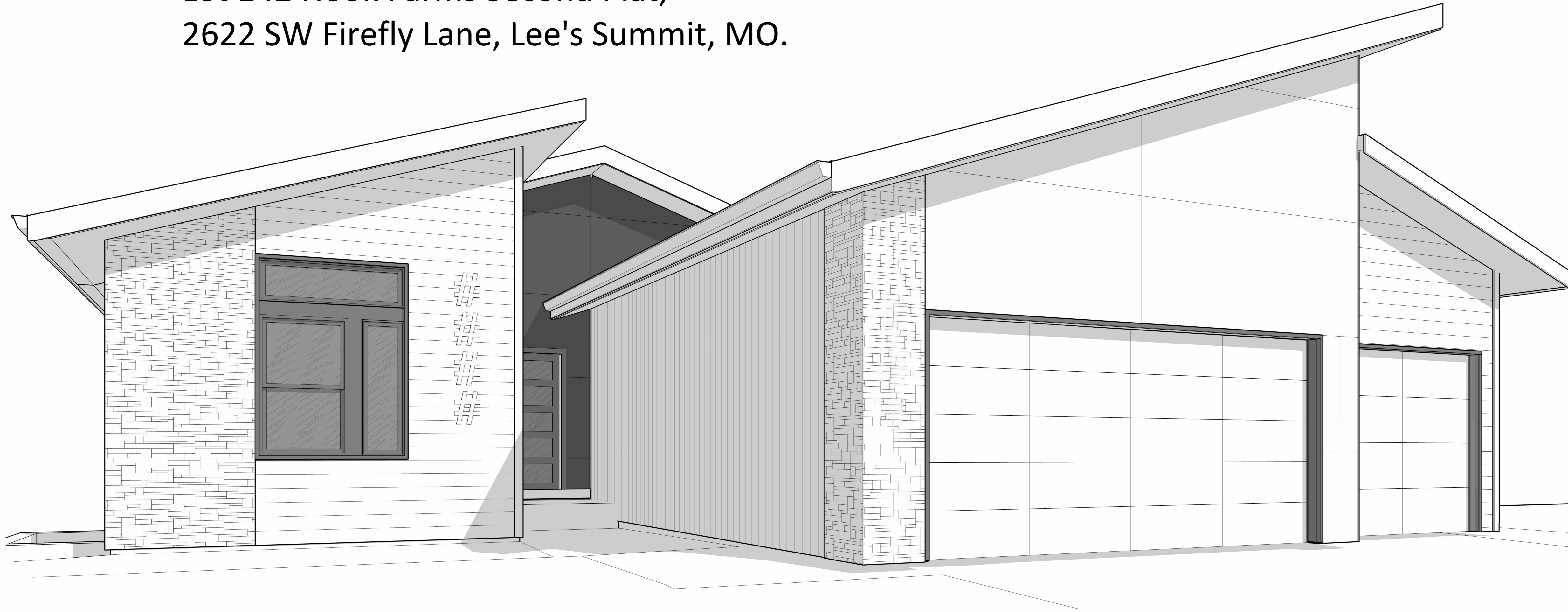


Greystone - Masterplan - SURBER

Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's Summit, MO.



General Information

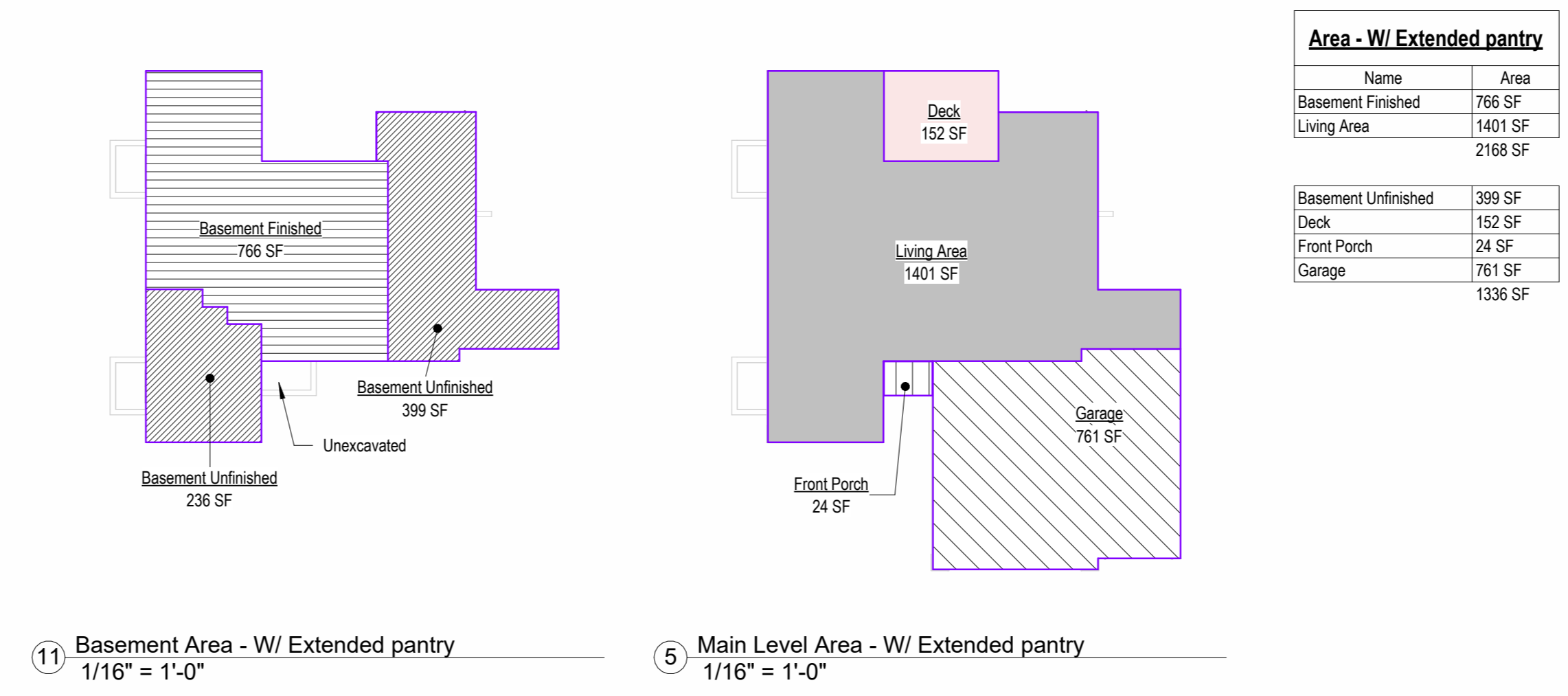
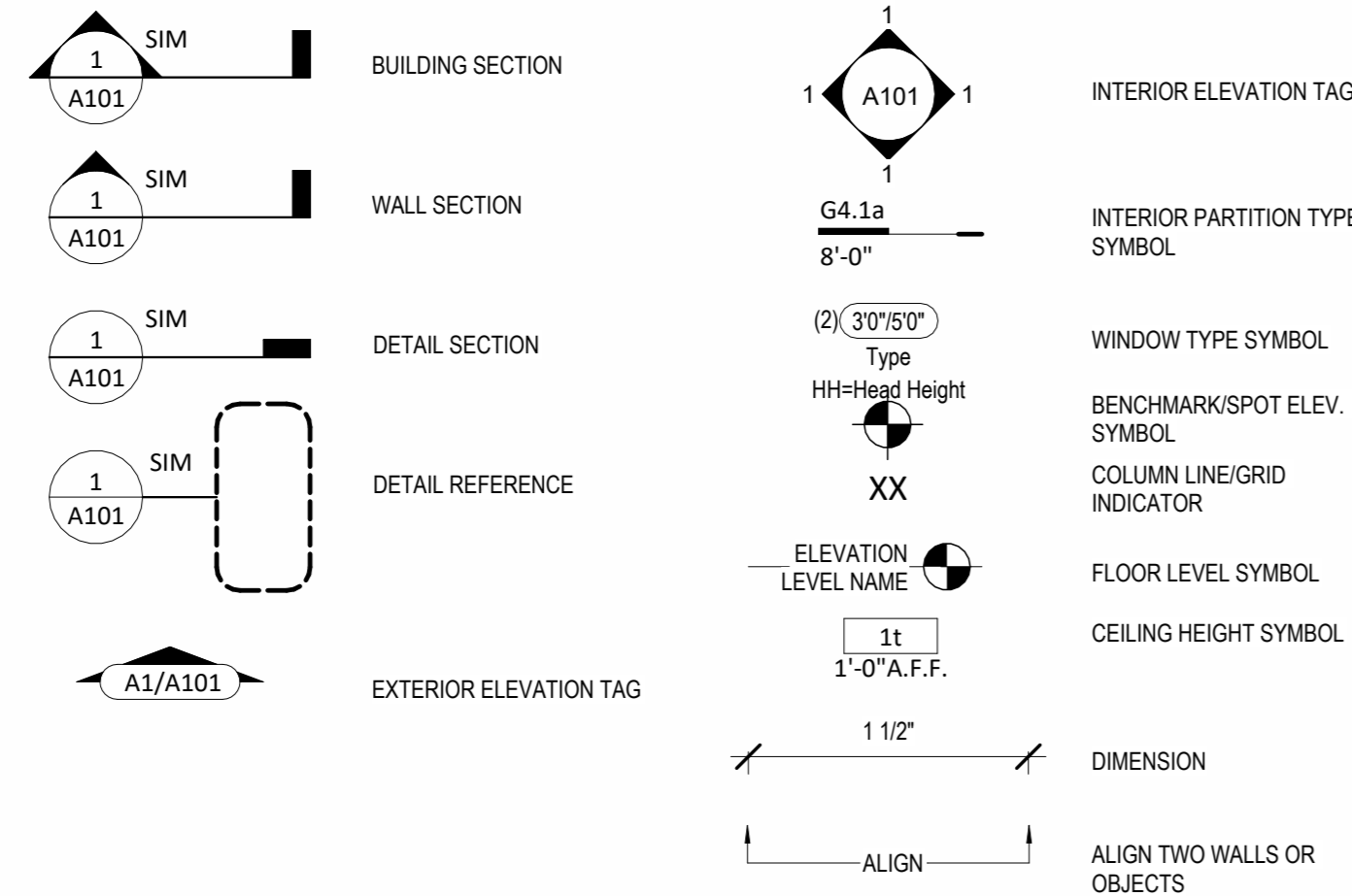
2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof:	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater:	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection - Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termites:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.3.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1, #7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-encased grounding electrode (UFER Ground) connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated

Sheet List - HF 142	
00	Cover Sheet
A707.4	Front Elevation
A707.5	Side and Rear Elevations
A708.1	Foundation Plan
A708.2	Basement Plan
A708.3	Floor Plan - Main Level
A708.5	Roof Plan
A715	POD Options
E101	RCP/Electrical Plan
P101	Plumbing Plan



2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH
RESPECT TO COMPLIANCE OF THE 2018 IRC AND
NEC 2017 ANY REFERENCES FOUND NOT
CORRECTLY IDENTIFIED TO THESE CODES SHALL
BE BROUGHT TO THE ATTENTION OF THE DESIGN
PROFESSIONAL



Greystone - Masterplan - SURBER
 Lot 142 Hook Farms Second Plat,
 2622 SW Firefly Lane, Lee's Summit, MO.

REVISIONS		
Number	Description	Date



MARCH 11, 2025

Permit Set

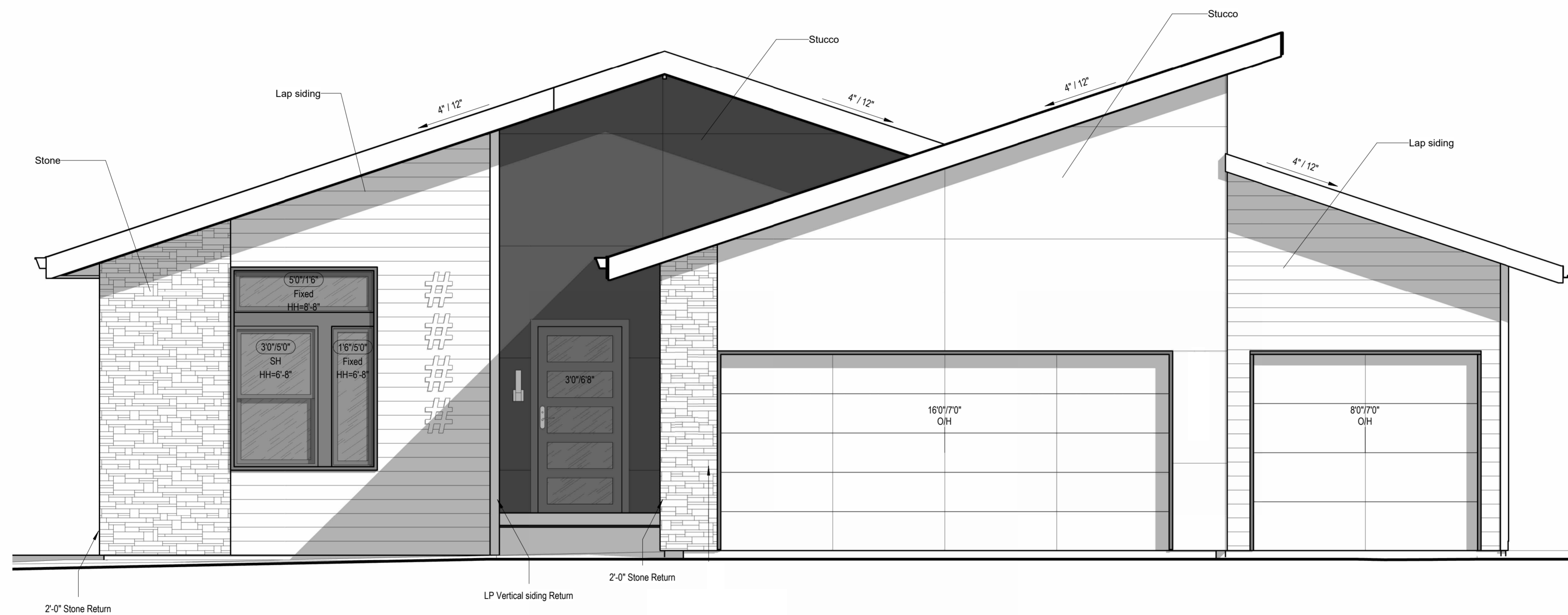
RELEASE FOR CONSTRUCTION
 AS NOTED ON PLANS REVIEW
 DEVELOPMENT SERVICES
 LEE'S SUMMIT, MISSOURI
 03/26/2025 3:36:19

PLAN DESCRIPTION: Cover Sheet

00

Project No.

Greystone - Masterplan - SURBER



② Front Elevation - Shed - W/ 3 Car Garage & Extended Pantry - 5'
3/8" = 1'-0"

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
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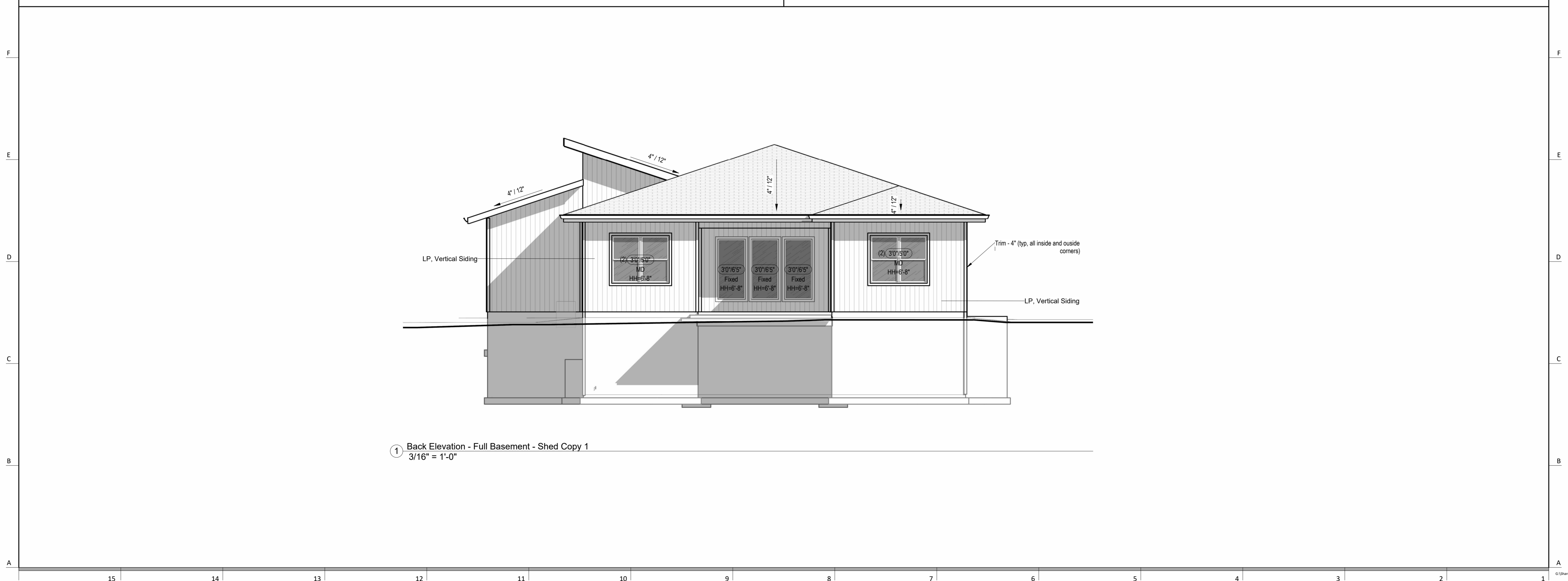
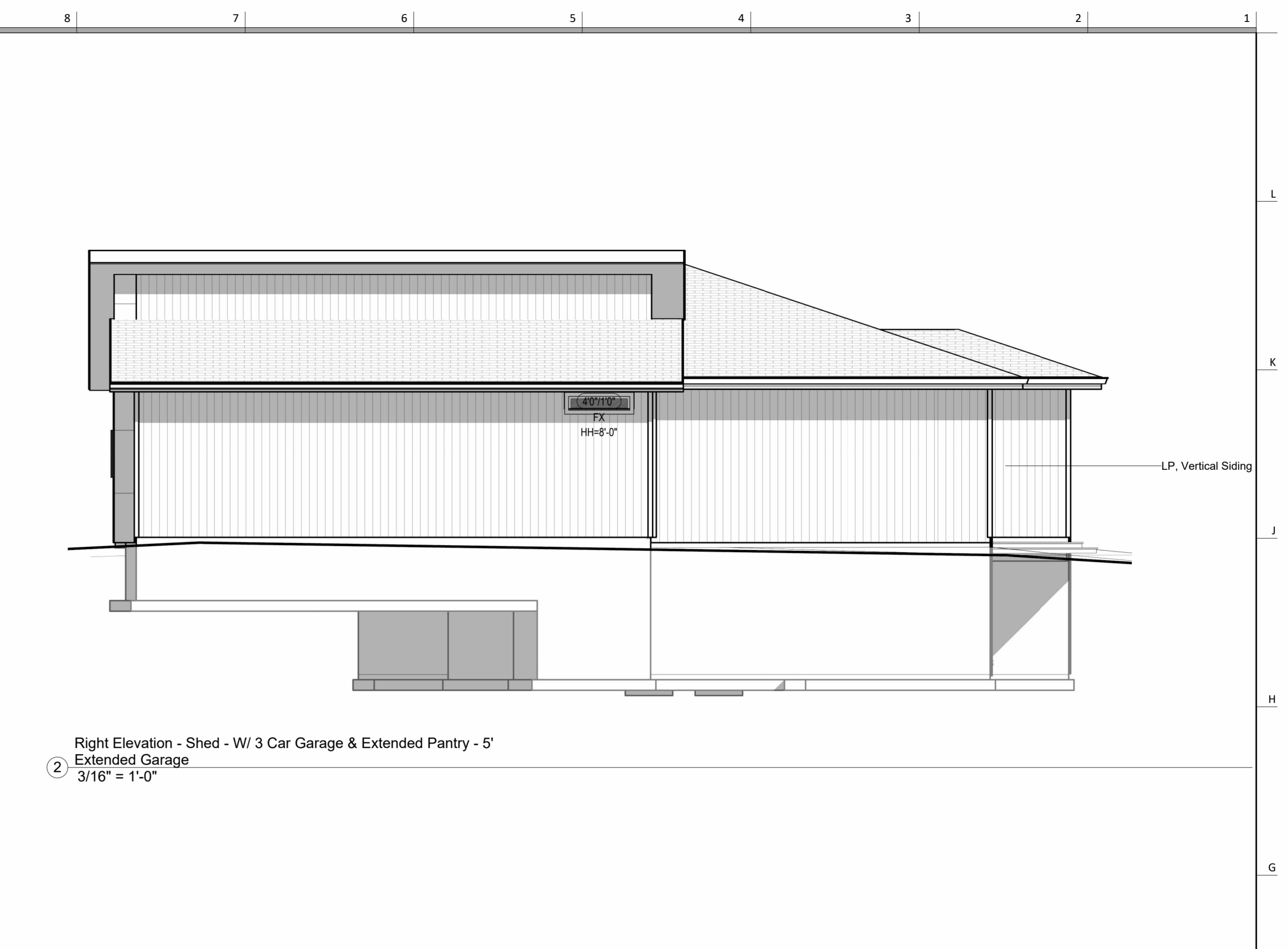
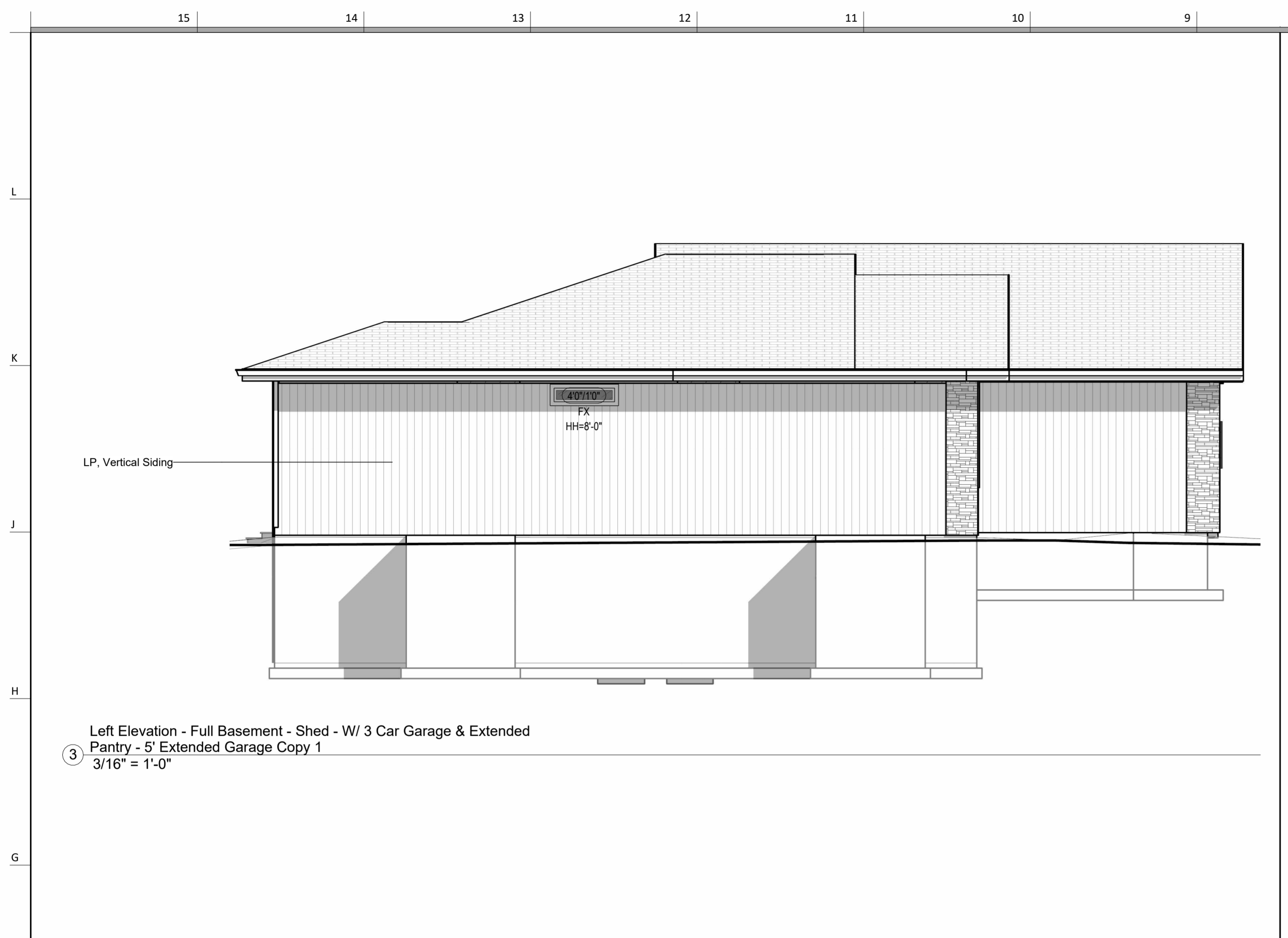
PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.
DRAWING TITLE
Front Elevation

DATE ISSUED

DRAWING NUMBER

A707.4

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PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.
DRAWING TITLE
Side and Rear Elevations

DATE ISSUED

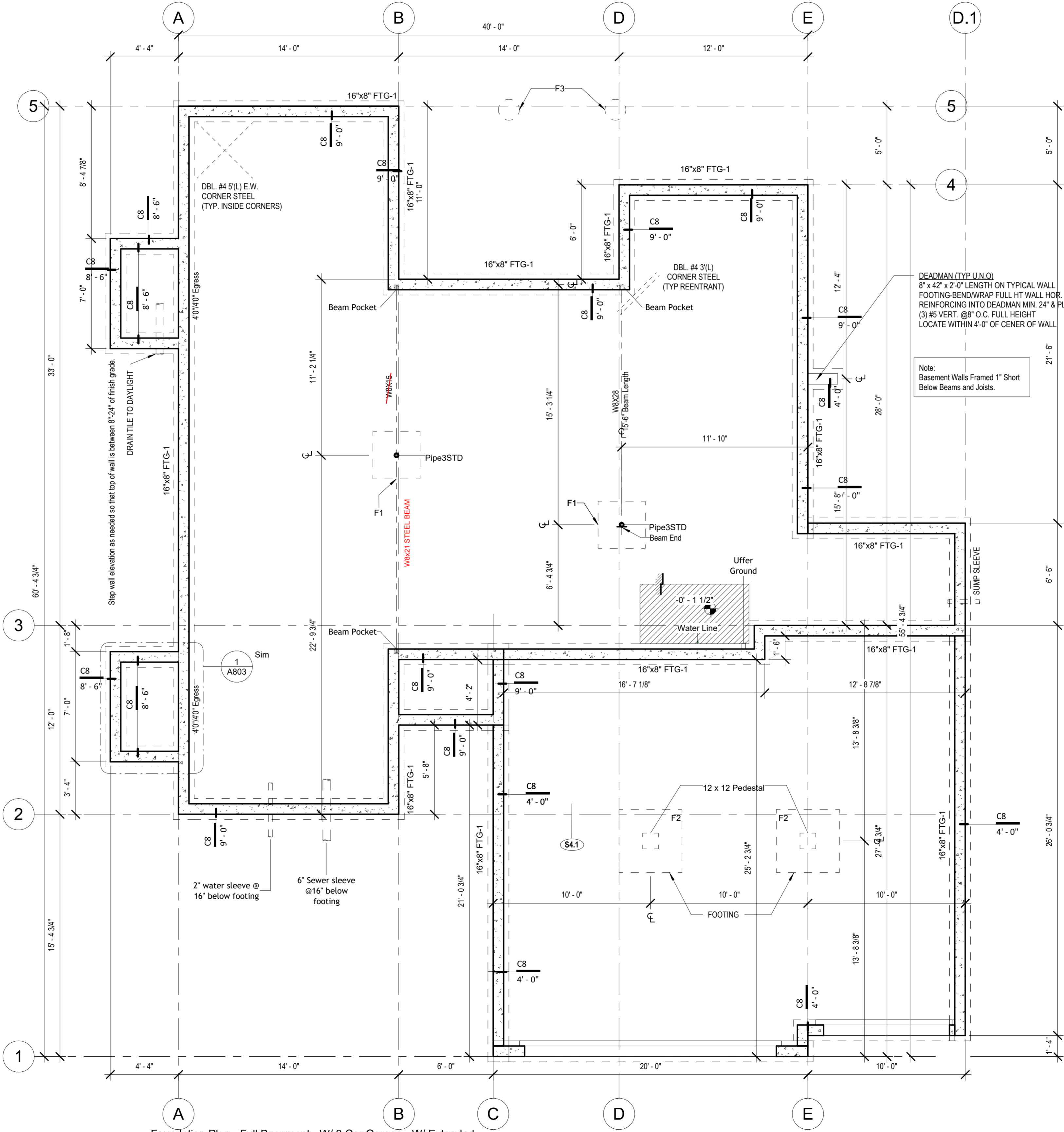
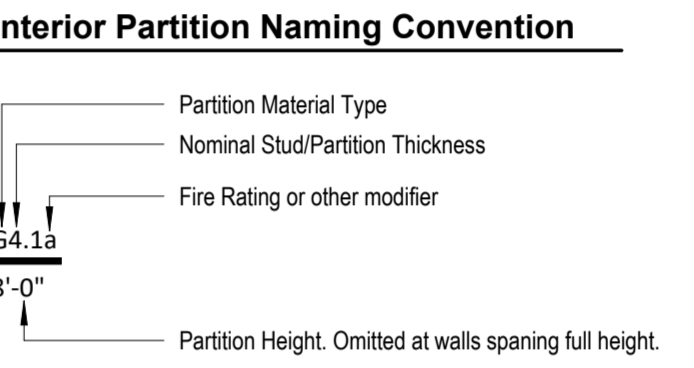
DRAWING NUMBER

A707.5

Type	Description
S4.1	4" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL
S8.1	8" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL

Type	Width	Length	Depth	Reinforcing	Comments
Structural Foundation Schedule					
Footing					
F1	3'-0"	3'-0"	1'-0"	Reinf w/ (6) #4's, rebar count is each way, equal centers	
F2	4'-0"	4'-0"	1'-4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in pad column. Hold ped down 12" Min below gar. door block-down and/or bottom of slab.	GARAGE PEDISTAL
Wall Foundation					
FTG-1	1'-4"	<varies>	0'-8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c. <varies>	
Foundation Wall Schedule					
Type	Width	Reinforcing		Comments	
C8	0'-8"	Reinf. w/ #4 vert. @ 12" oc/ (3) #4 hor. equally spaced.		<varies>	

- ### Foundation Notes:
- FOOTINGS FOUNDATION & CONCRETE NOTES
 1. TO ADDRESS DIFFERENTIAL SETTLEMENT. ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 2. EXT. FOOTING TO BE PLACED MIN. 36-INCHES BELOW FIN. GRADE
 3. DESIGN IS BASED ON MIN. OF 2,500 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
 - 3,000 PSF FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS
 - 3,500 PSF FOR GARAGE FLOOR
 4. CONC. EXPOSED TO WEATHER TO HAVE 6% (+/-1%) AIR ENTRAPMENT
 5. PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PEDESTALS AS INDICATED IN 17.17.7 @ 8" O.C. E.W. PLACE OVER 3 MIL VAPOR BARRIER
 6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W. REINFORCE W/ (2) #4 CONT. AT BOTTOM
 7. PROVIDE #4 X 4" (L) @ 45 DEGREES @ REINFRANT CORNERS
 8. 17" FULL ASTM A36 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 4-1/2" HLT1 WEDGE BOLTS @ 12" O.C. MAX. 12" FROM ENDS
 10. PROVIDE 2" LAPS MIN. INCLUDING CORNERS
 11. INSTALL HOLD-DOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS
 13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION
- STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES
1. ALL STEEL PIPE COLUMNS TO BE 3" (OR 1 1/2" SCHEDULE 40 GRADE)
 2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB
 3. INTER. NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE
 4. AT WALL/OUT FOUNDATION AREAS, REINFORCE THE SLAB FROM THE FOUNDATION WALL TO 3 FEET BEYOND THE OVERCURE AREA WITH #4 BARS @ 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL, MAXIMUM 4 FOOT OVERCURE.
 5. AT WALL/OUTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-6 INSULATION FOR A MIN. OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
 6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKS FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.



Foundation Plan - Full Basement - W/ 3 Car Garage - W/ Extended Pantry - 5' Extended Garage
1/4" = 1'-0"

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
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REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.
DRAWING TITLE
Foundation Plan

DATE ISSUED

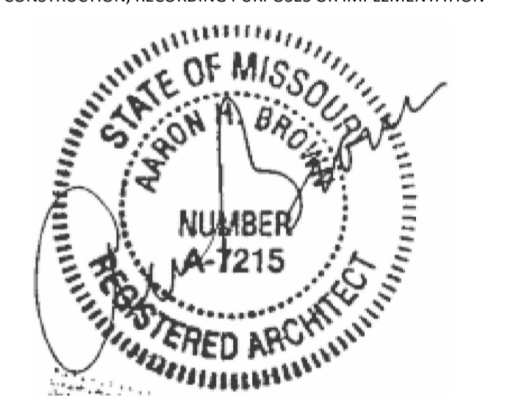
DRAWING NUMBER

A708.1



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MARCH 11, 2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.
DRAWING TITLE
Basement Plan

DATE ISSUED

DRAWING NUMBER

A708.2

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
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03/26/2025 3:36:19

Slab Schedule

Type	Description
S4.1	4" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL
S8.1	8" MIN CONC SLAB REINF. W/ #4'S E.W. @ 12" O.C. OVER COMPACTED FILL AND GRAVEL

- Deck Ledger Attachment
- (2) Lags required at EA end 2" from ends.
 - Provide 1x4 treated spaced behind EA lag.
 - Provide lags in EA joint space w/ (2) every other space, 2" from edges.
 - Min. size lag is 1/2" diam x 6" length
 - Provide flashing between rim joist and ledger.

Structural Foundation Schedule

Type	Width	Length	Depth	Reinforcing	Comments
F1	3'-0"	3'-0"	1'-0"	Reinf w/ (6) #3's, rebar count is each way, equal centers	
F2	4'-0"	4'-0"	1'-4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in pedestal. Hold ped down 12" Min below gar. door block-down end of bottom of slab	GARAGE PEDISTAL
F3	1'-4"	1'-4"	3'-0"	ABA662 Post Base. Refer to Detail for Reinforcing.	
FTG-1	1'-4"	<varies>	0'-8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c. <varies>	
FTG-2	1'-0"	<varies>	3'-0"	Reinf. w/ (2) #4 vert. 1/8" wrapped in #4 stirrup @ 48" o.c.	

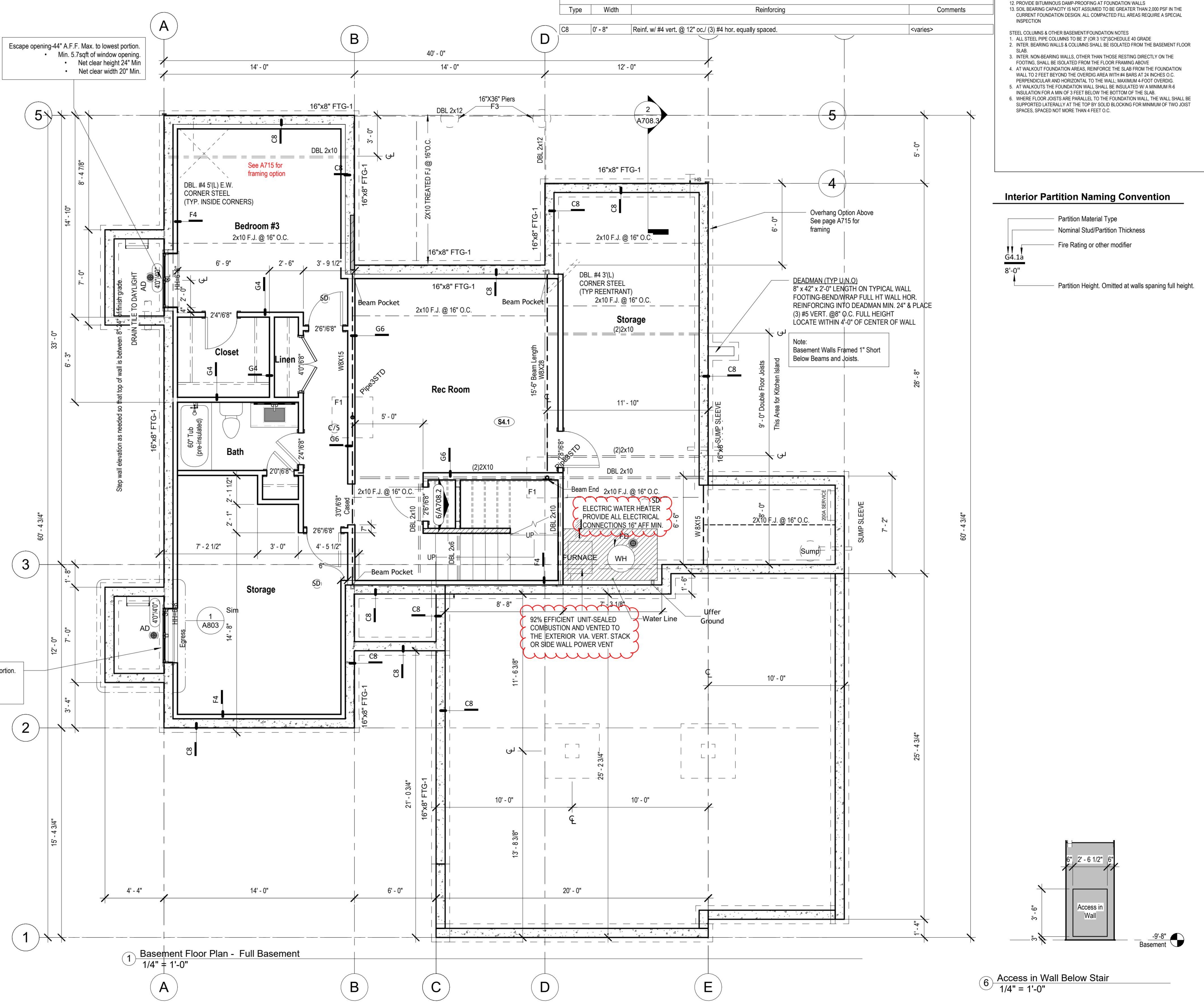
- Foundation - Round
- Wall Foundation

Foundation Wall Schedule

Type	Width	Reinforcing	Comments
C8	0'-8"	Reinf. w/ #4 vert. @ 12" o.c./ (3) #4 hor. equally spaced.	<varies>

- Foundation Notes:
- FOOTINGS FOUNDATION & CONCRETE NOTES
 10. ADDRESS DIFFERENTIAL SETTLEMENT. ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.
 - DESIGN IS BASED ON MIN. OF 2500 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:
 - 3,000 PSI FOR FOOTINGS, FOUND WALLS & VERT. SUPPORTS
 - 3,500 PSI FOR GARAGE FLOOR
 - CONC. EXPOSED TO WEATHER TO HAVE 1% (+/-) AIR ENTRAINMENT
 - PROVIDE 4" MIN CONC SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER GARAGE PADS AS INDICATED IN F.T.1 @ 12" O.C. E.W. PLACE OVER MIL VAPOR BARRIER
 - REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W. REINFORCE W/ (2) #4 CONT. AT BOTTOM
 - PROVIDE #4 X 4" (L) @ 45 DEGREES @ REINTEGRANT CORNERS
 - 17" FULL ASTM A36 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS
 - ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 1-1/2" HLTI
 - WEDGE BOLTS @ 12" O.C. MAX. 12" FROM ENDS
 - PROVIDE 2" LAPS MIN. INCLUDING CORNERS
 - INSTALL HOLD-DOWN BOLT ANCHORAGE AS INDICATED ON PLAN
 - PROVIDE RETURN AIR DAMP-PROOFING AT FOUNDATION WALLS
 - SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION

- Interior Partition Naming Convention
- Partition Material Type
 - Nominal Stud/Partition Thickness
 - Fire Rating or other modifier
 - Partition Height. Omitted at walls spanning full height.



Escape opening-44" A.F.F. Max. to lowest portion.
• Min. 5.7sqft of window opening
• Net clear height 24" Min
• Net clear width 20" Min.

Escape opening-44" A.F.F. Max. to lowest portion.
• Min. 5.7sqft of window opening.
• Net clear height 24" Min
• Net clear width 20" Min.

15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

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MARCH 11, 2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.

DRAWING TITLE
Floor Plan - Main Level

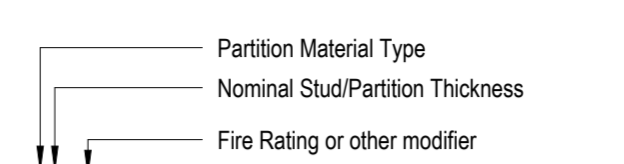
DATE ISSUED

DRAWING NUMBER

A708.3

- ### General Notes:
- DOORS AND WINDOW**
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS > 40" AND WITH DOORS, ABOVE BATHUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 208 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:**
- GARAGE SEPARATION WALL TO BE 1HR CONW. MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED. 1 1/2" S.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 1/2" X 5/8" GWS RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:**
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.3
 - CEILING VENT & WINDOW VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACE ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 8" O.C.
- DIPSUM BOARD:**
- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS:**
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS IN CEILING IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS:**
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOOR AREAS.
 - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOOR AREAS.
 - ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE. THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORDN-PLUG CONNECTED TO RECEPT.
 - ISOCOROMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE. THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORDN-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING:**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BEAR STRAIGHTLY ON 4" DIMENSION BEAMS ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" DBL NAILING SCHEDULE SHALL BE 8" COMMON @ 9" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING:**
- ALL ROOF EAVES OVERHANGS TO BE 16" LIND.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB NAIL W/ LONG DIMENSION PERPENDICULAR TO JOIST LINE & STAGGERED 4" O.C. W/ LONG DIMENSION PARALLEL TO JOIST LINE & STAGGERED 4" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ 8" COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS:**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOOR/CEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOOR/CEILING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL:**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADRESSED. MINIMUMS INCLUDE:
 - SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING - DOORS AND ROOF NOTES:**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAIL W/ 8d @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAIL W/ 8d @ 16" O.C.
 - HEADERS: PROVIDE 2x4 (SYP OR DFL 24 OR BETTER) LIND. CONSTRUCT HEADERS W/ 2x4 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOODING MIN. 1 1/2" INCHES UTILITY GRADE LUMBER. JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING NOT > 3" INCHES.
 - 2x6 J. C. I. & RAFTERS TO BE SYP OR DFL GRADE 2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC 603.3.
 - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE:**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

Interior Partition Naming Convention



Partition Height: Omitted at walls spanning full height.

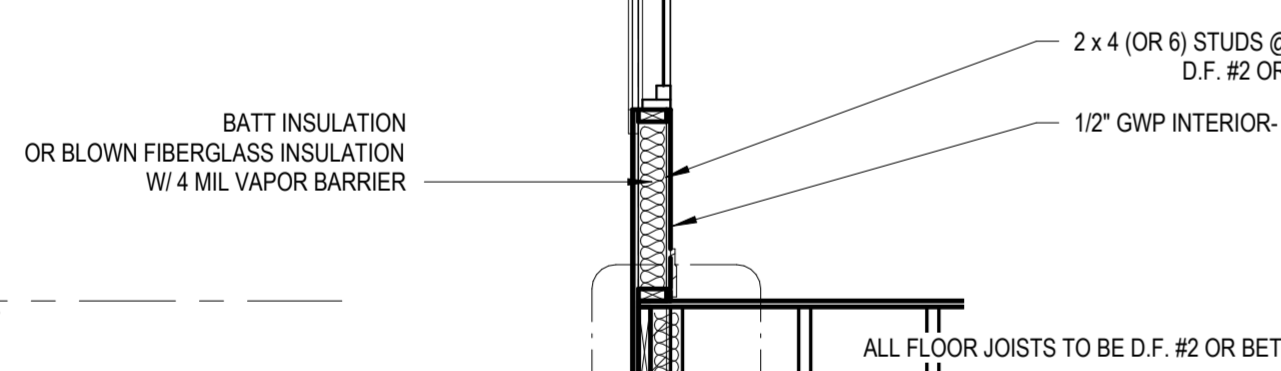
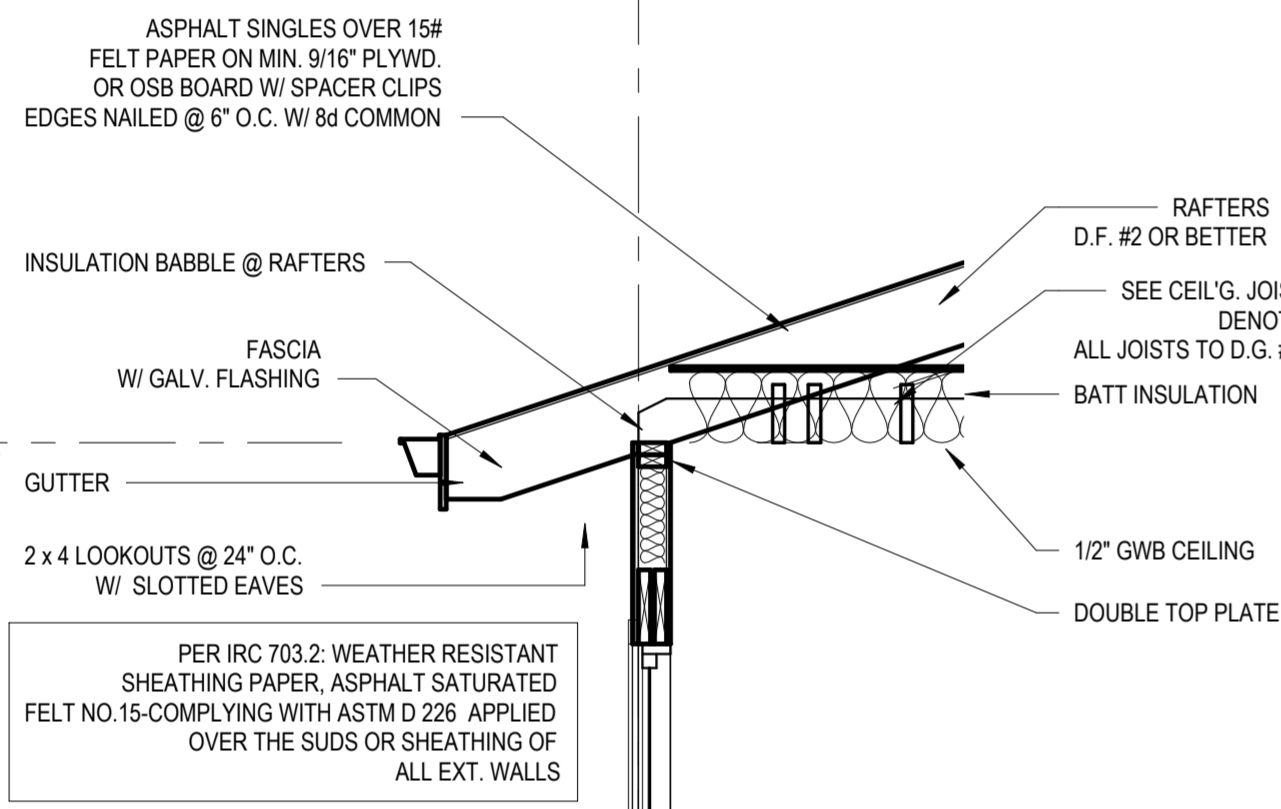
Framer to provide the 3/4" plywood gussets for living room collar tie connections - one per every other rafter.

Door and Window Headers
All Headers are (2) 2x10 boards at 6" 10" to bottom of header, U.N.O.
Fall protection meeting IRC R312.2 shall be provided for windows w/ sills < 24" AFF & EXT. Grade > 72" below window.

Escape opening-44" A.F.F. Max. to lowest portion.
• Min. 5.7sqft of window opening.
• Net clear height 24" Min.
• Net clear width 20" Min.

Escape opening-44" A.F.F. Max. to lowest portion.
• Min. 5.7sqft of window opening.
• Net clear height 24" Min.
• Net clear width 20" Min.

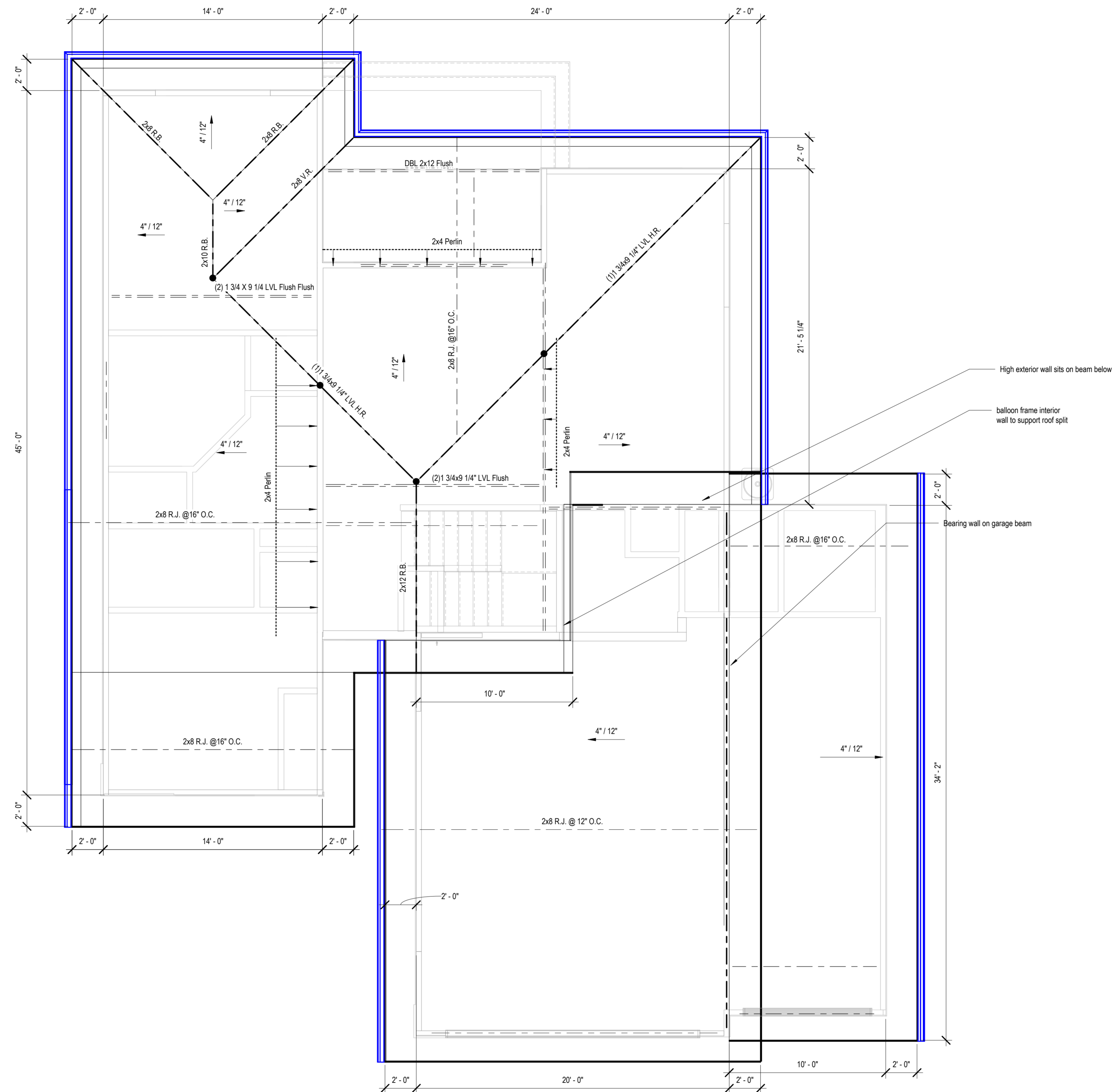
Ceiling Joist/Attic Loads
Ceiling joist allowable spans are based on IRC table R802.4(1) for inhabitable attics with no storage utilizing LL = 10 PSF and D.L = 5 PSF



Section 3
1/2" = 1'-0"

Floor Plan - Living Space - W/ 3 Car Garage - W/ Extended Pantry - 5' Extended Garage
1/4" = 1'-0"

Greystone - Masterplan - SURBER

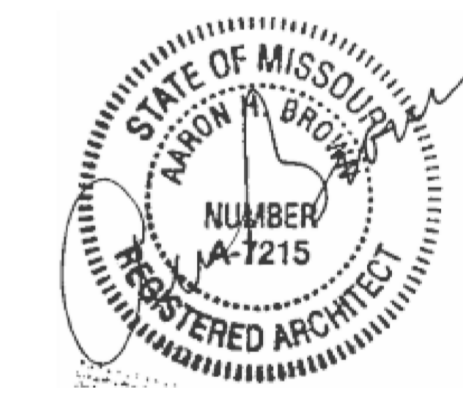


- High exterior wall sits on beam below
- balloon frame interior wall to support roof split
- Bearing wall on garage beam

1 Roof Framing - Shed - W/ 3 Car Garage - W/ Extended Pantry Copy 1
 1/4" = 1'-0"

architect:
 Elevate Design + Build
 1040 SW Luttrell Road
 Blue Springs, MO 64015
 816.622.8826 voice
www.elevatedesignbuildkc.com

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MARCH 11, 2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT
 Lot 142 Hook Farms Second Plat,
 2622 SW Firefly Lane, Lee's
 Summit, MO.
 DRAWING TITLE
 Roof Plan

DATE ISSUED

DRAWING NUMBER

A708.5

Greystone - Masterplan - SURBER

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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MARCH 11, 2025

NO.	DESCRIPTION	DATE

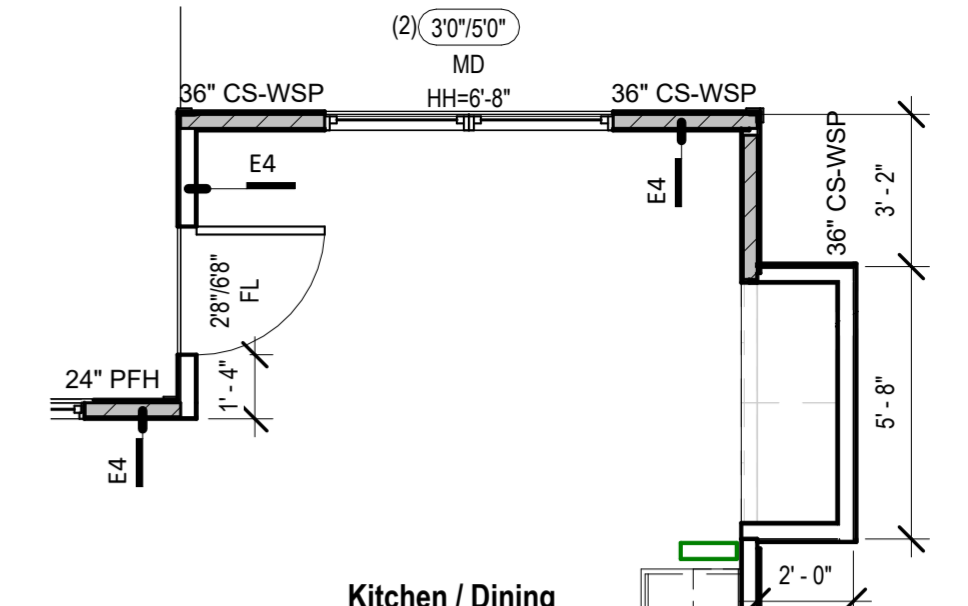
PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.

DRAWING TITLE
POD Options

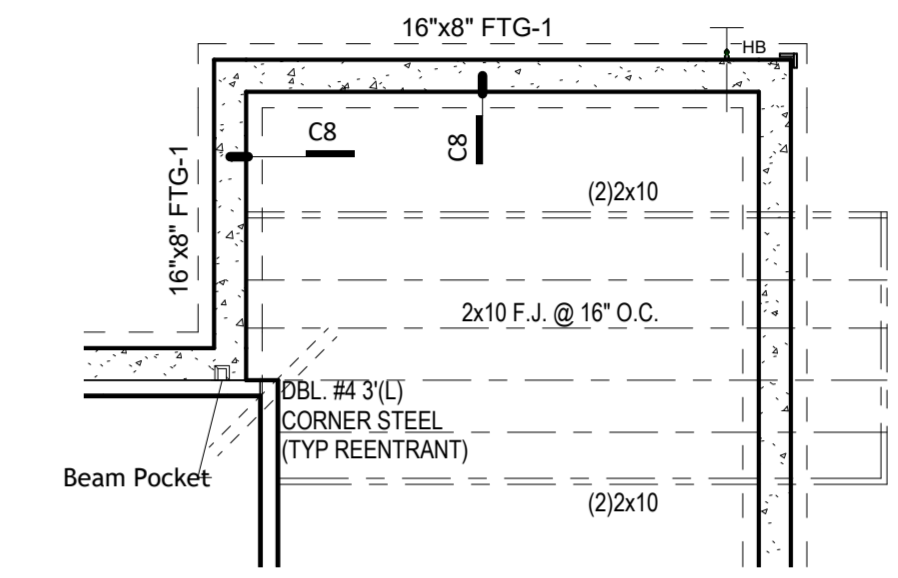
DATE ISSUED

DRAWING NUMBER

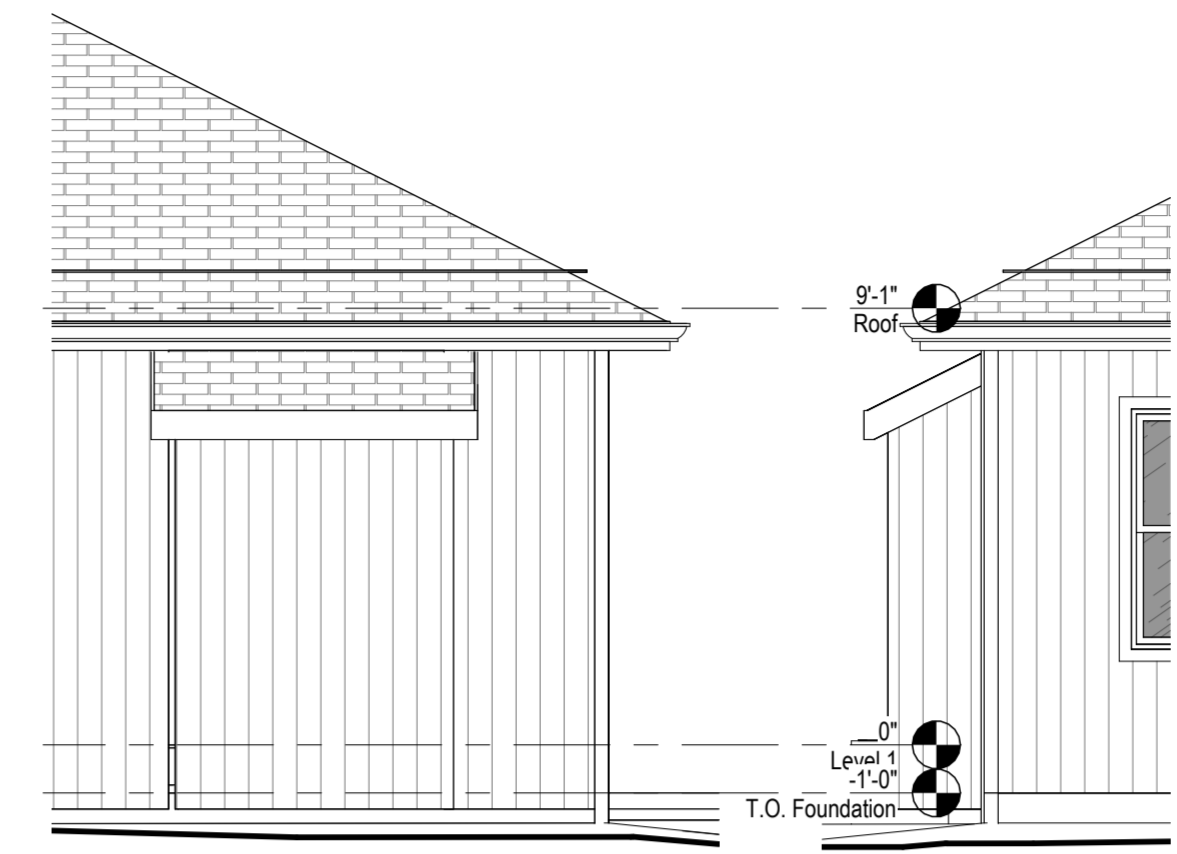
A715



6 Main Level - Dining - Bumpout Option
1/4" = 1'-0"

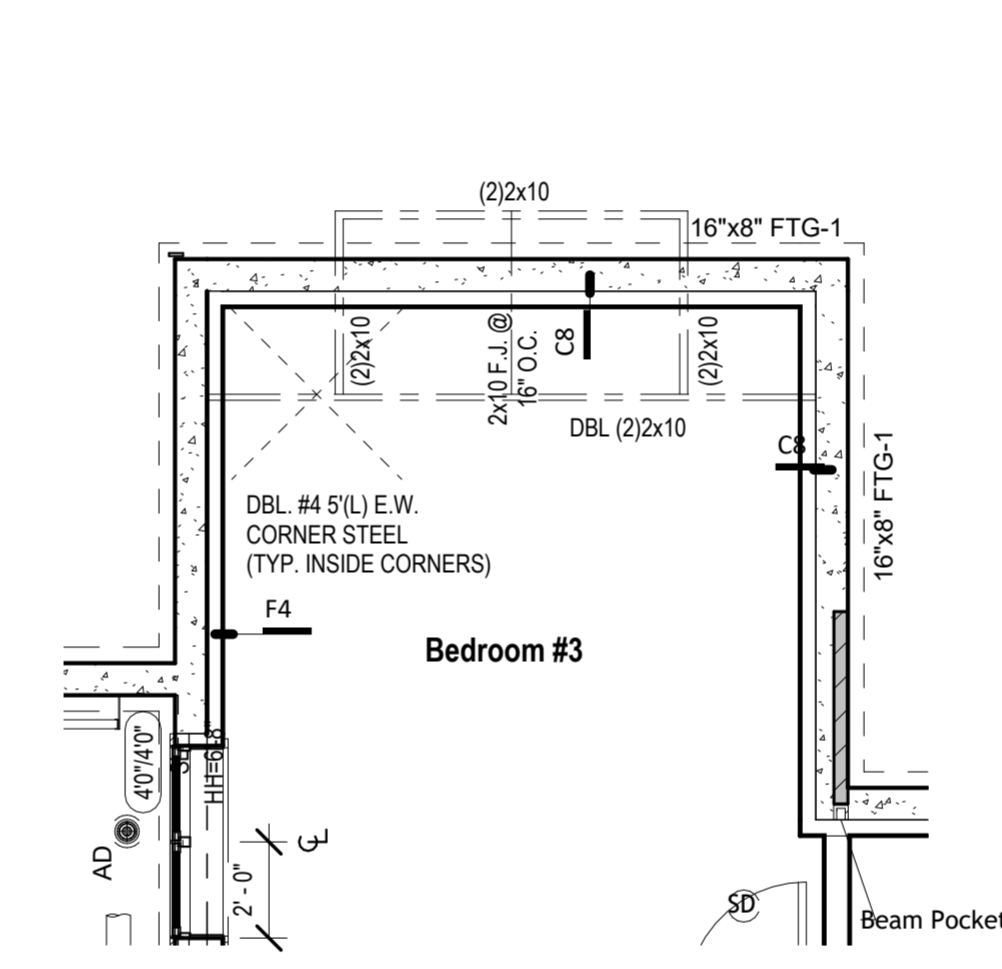


17 Main Level - Dining - Framing for Bumpout Cabinet
1/4" = 1'-0"

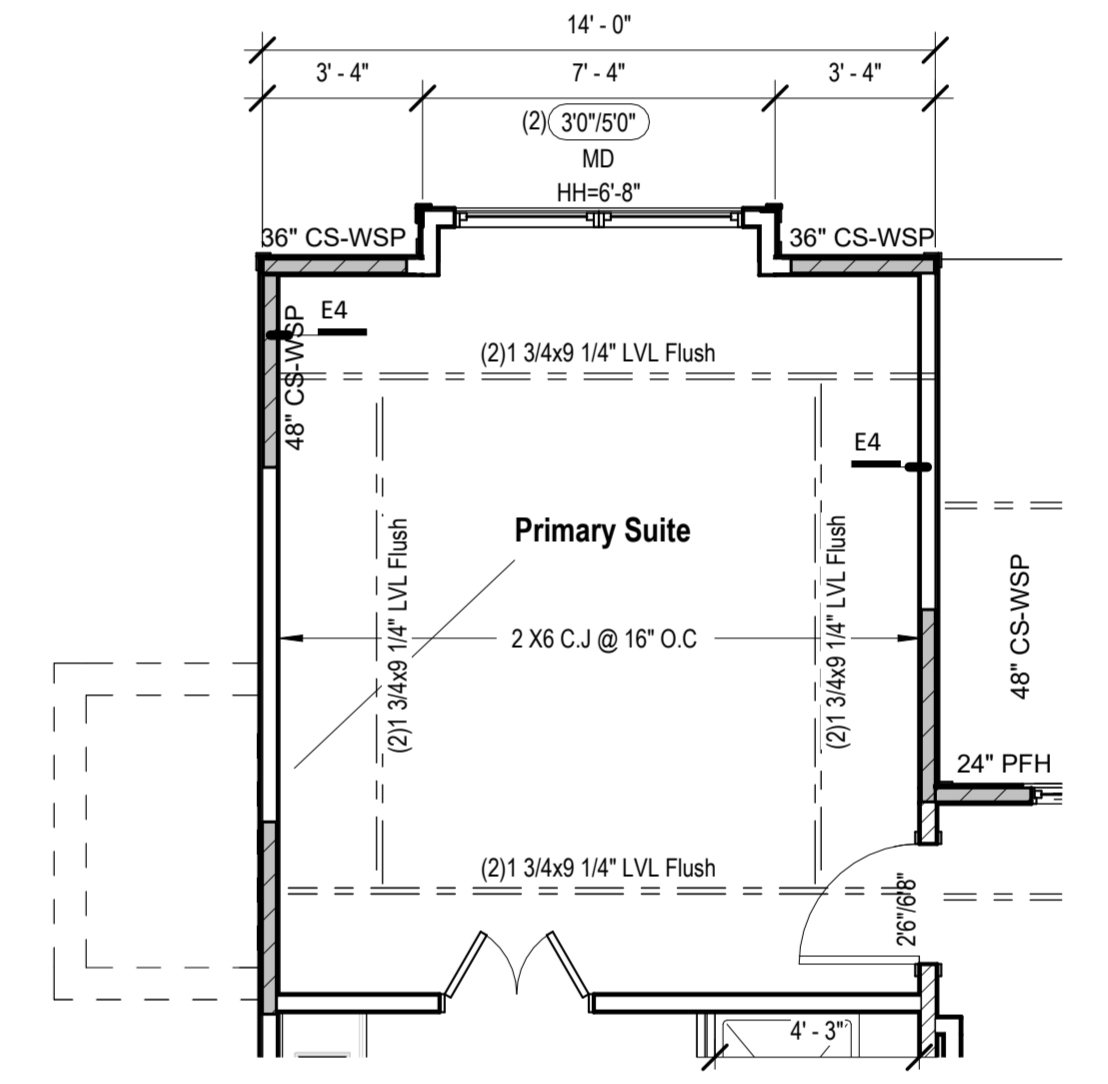


14 Front Elevation - Main Level - Dining - Bumpout Option
1/4" = 1'-0"

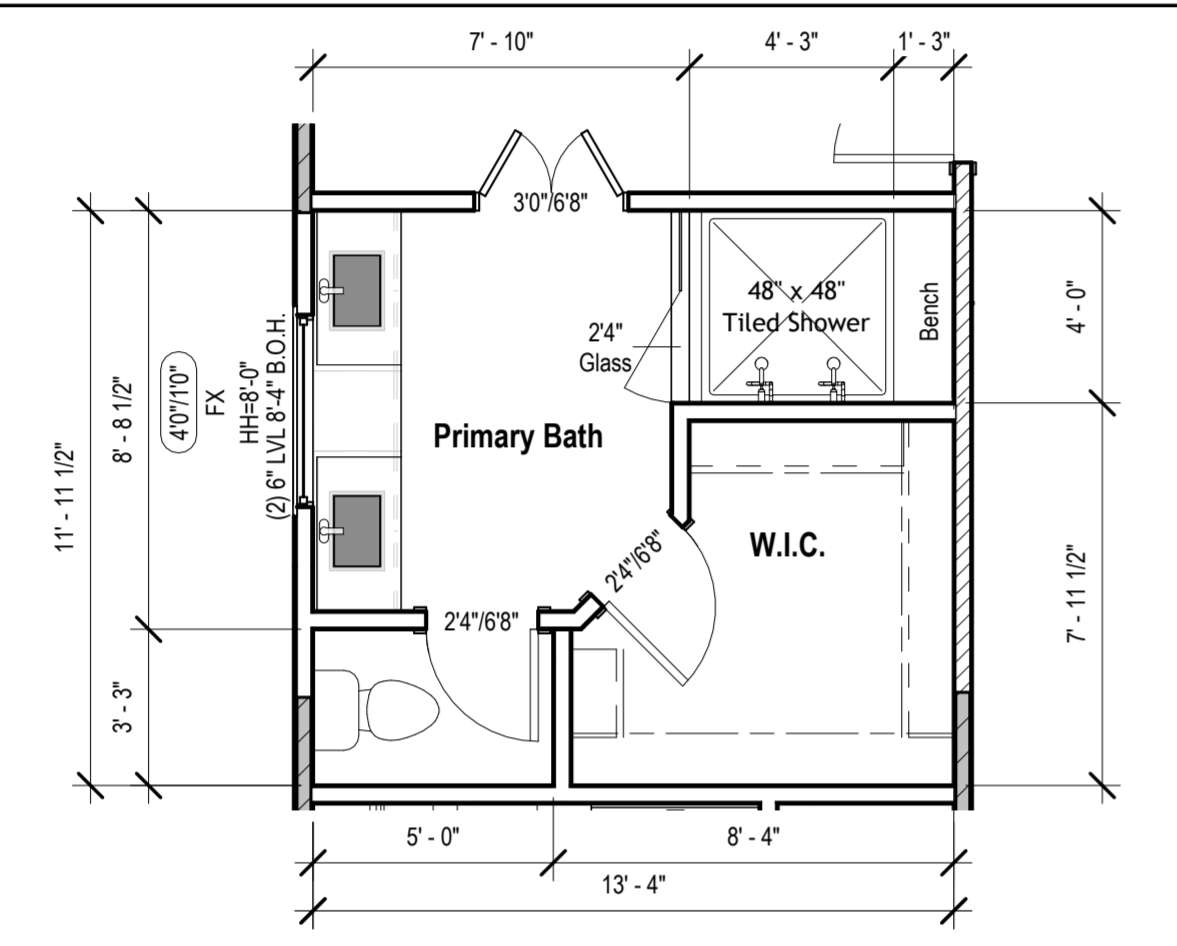
15 Side Elevation - Main Level - Dining - Bumpout Option
1/4" = 1'-0"



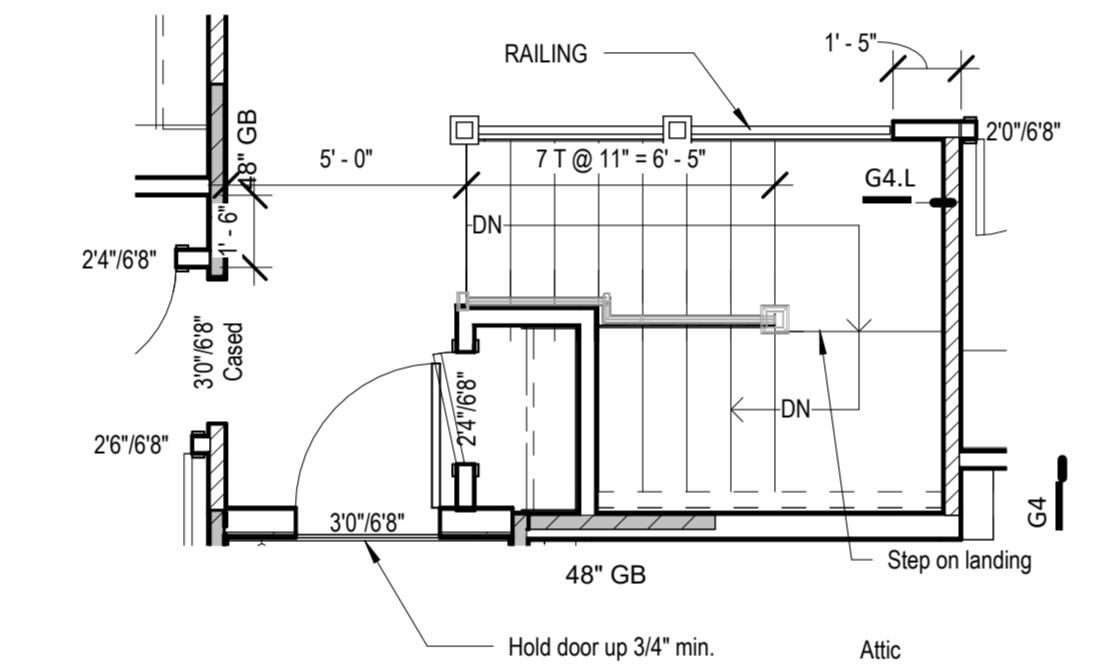
16 Basement Floor Plan - Framing for Bumpout window
1/4" = 1'-0"



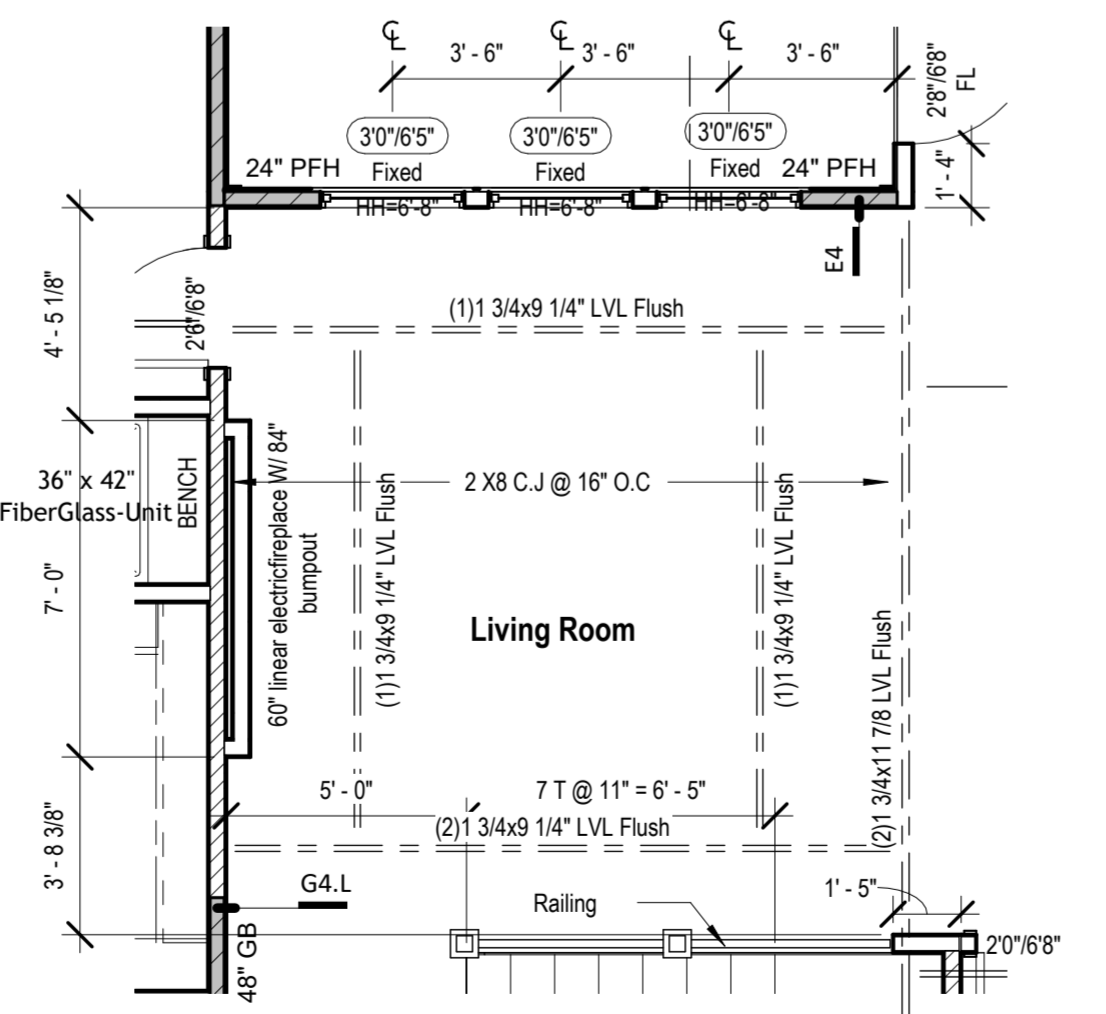
2 Floor Plan - Main Level - Primary Suite - Box Vault
1/4" = 1'-0"



10 Main Level - Primary Bath - Design
1/4" = 1'-0"



18 Floor Plan - Main Level - Stair Area
1/4" = 1'-0"



4 Floor Plan - Main Level - Living area - Box Vault & Fire Place Option
1/4" = 1'-0"

Greystone - Masterplan

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuild.com



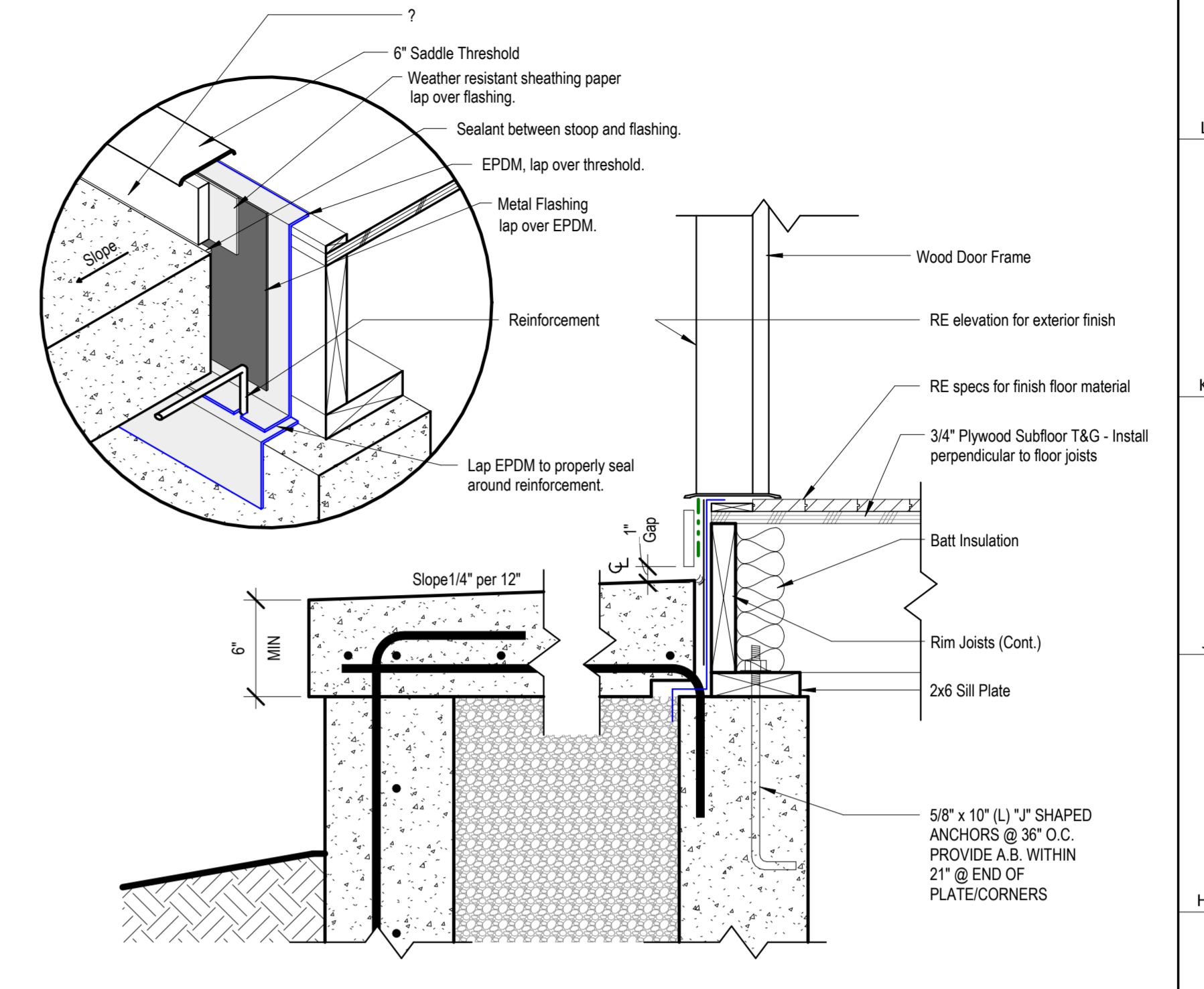
MARCH 11, 2025

REVISIONS		
NO.	DESCRIPTION	DATE

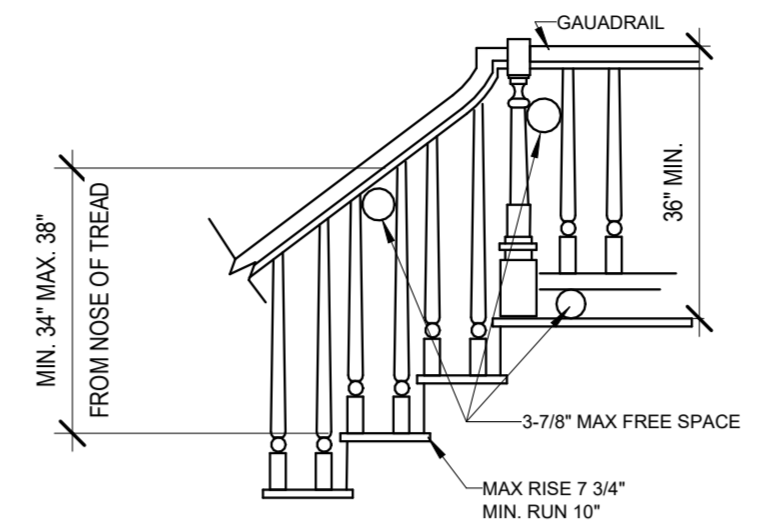
PROJECT
DRAWING TITLE
Details
DATE ISSUED
DRAWING NUMBER

A801

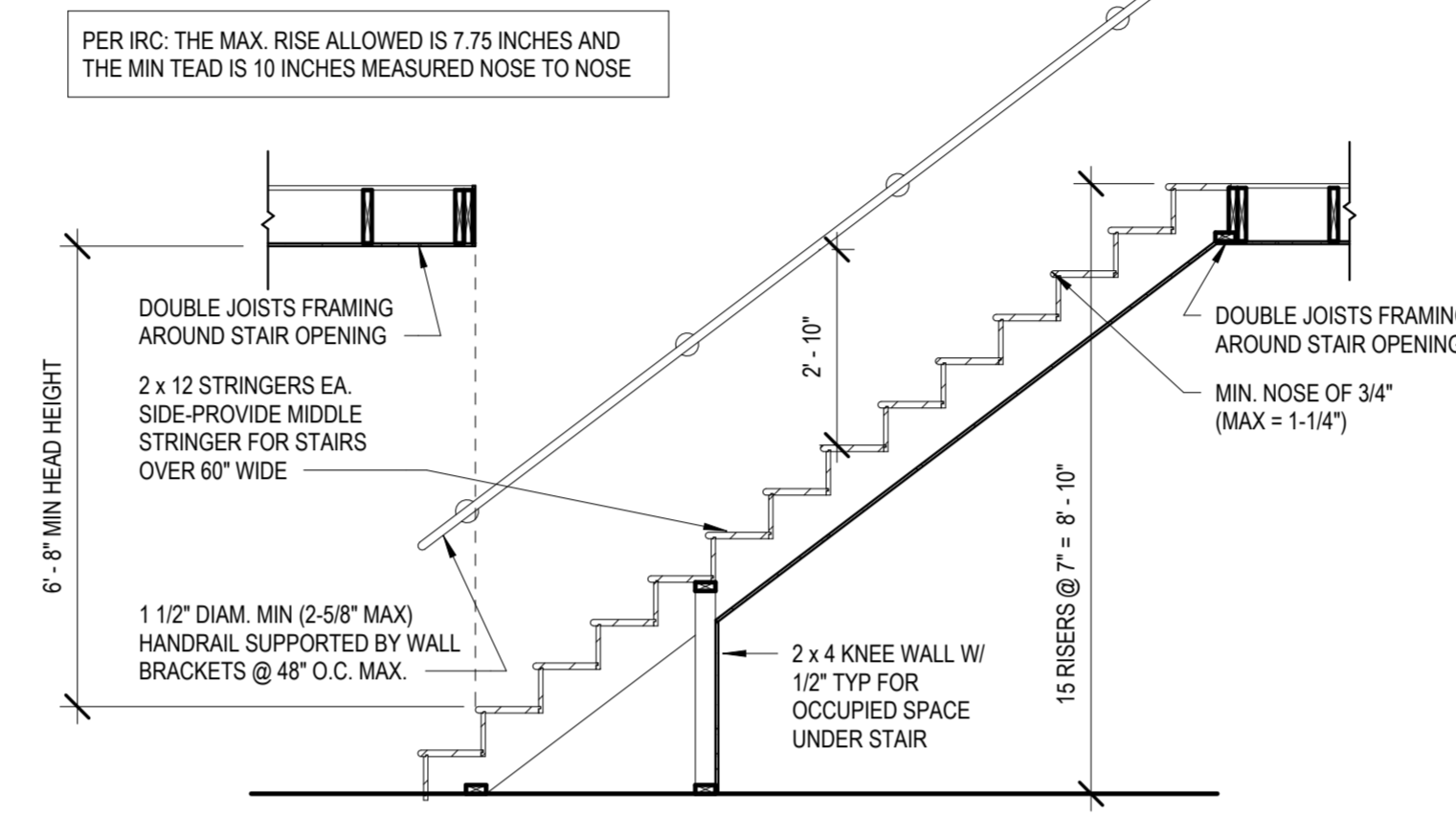
RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
03/26/2025 3:36:19



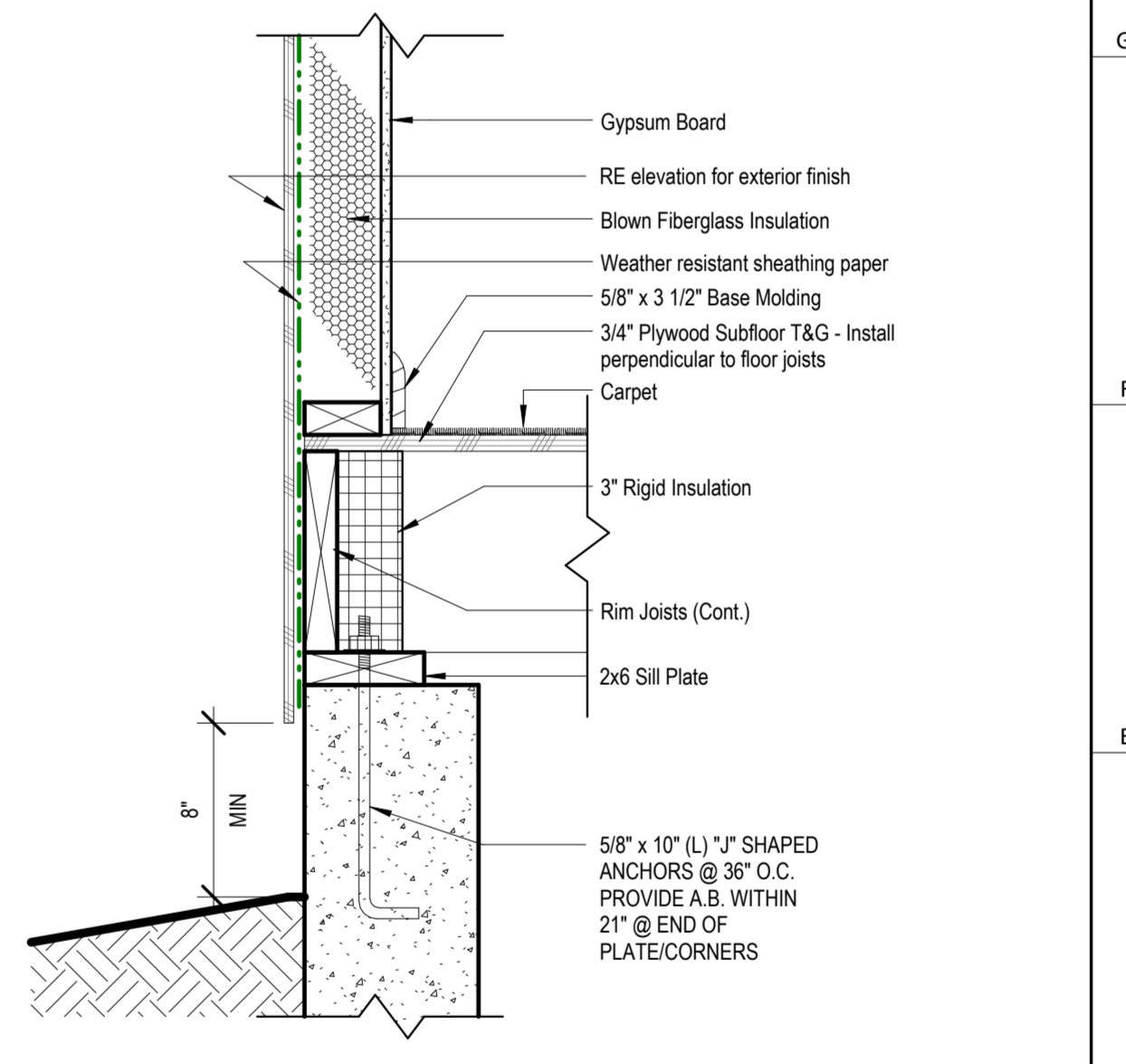
5 Detail - Front Stoop
1 1/2" = 1'-0"



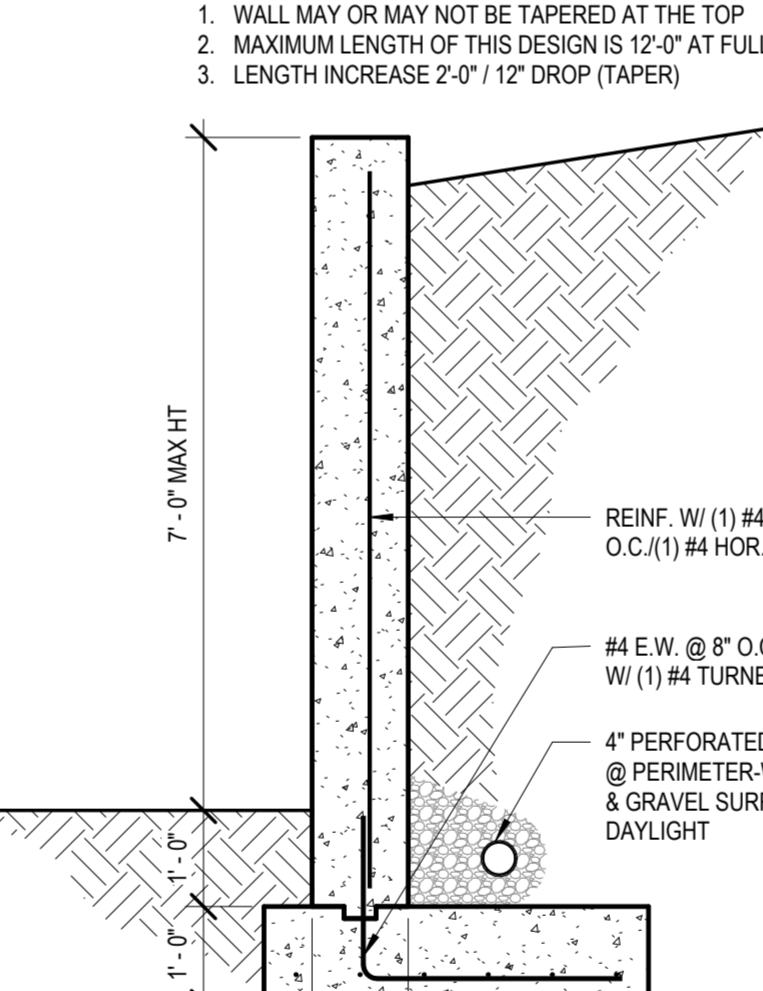
2 SMARTSIDE PANEL NAILING PATTERN 1
3" = 1'-0"



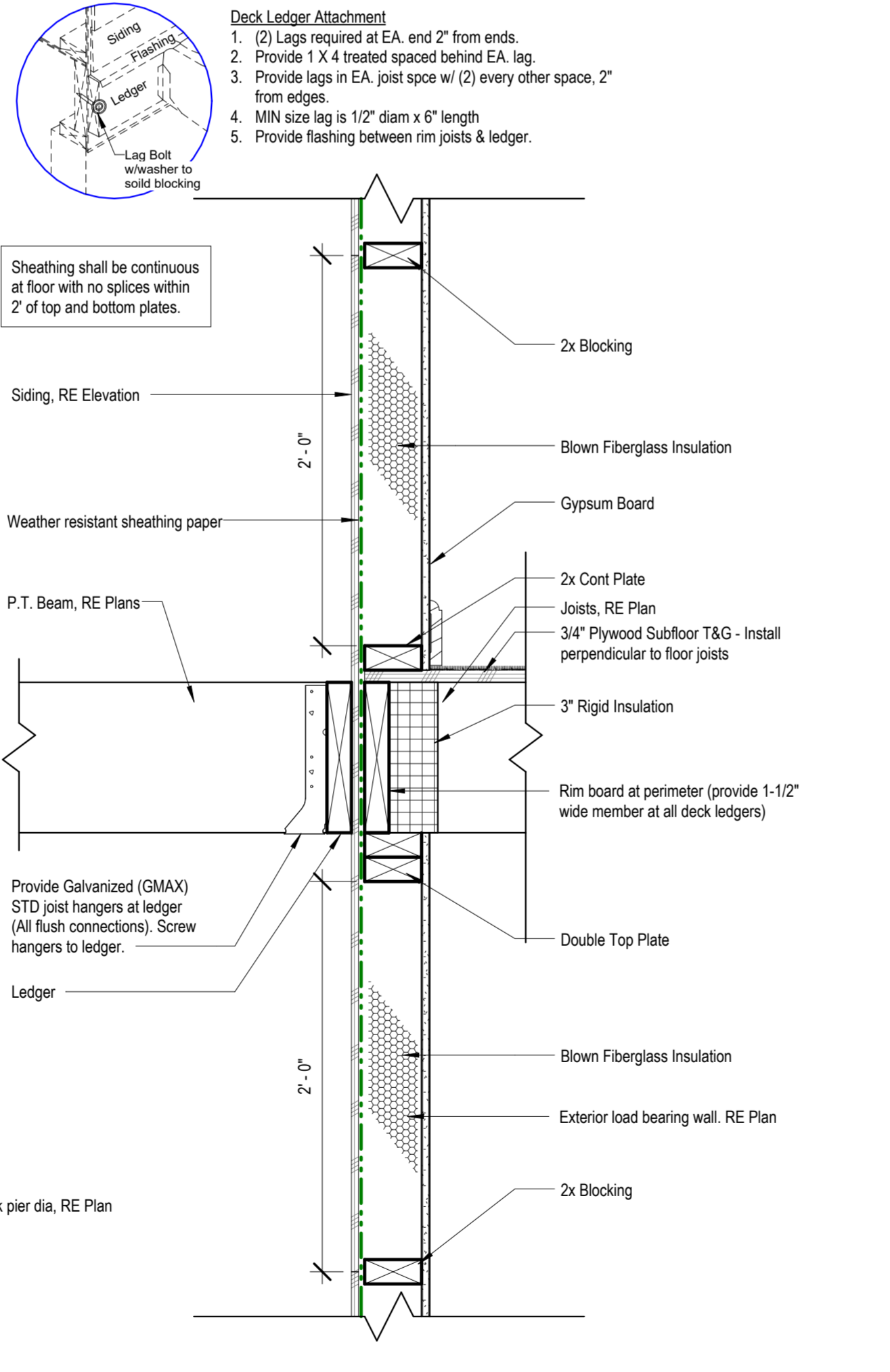
6 TYP STAIR SECTION/REQUIREMENTS 1
3/8" = 1'-0"



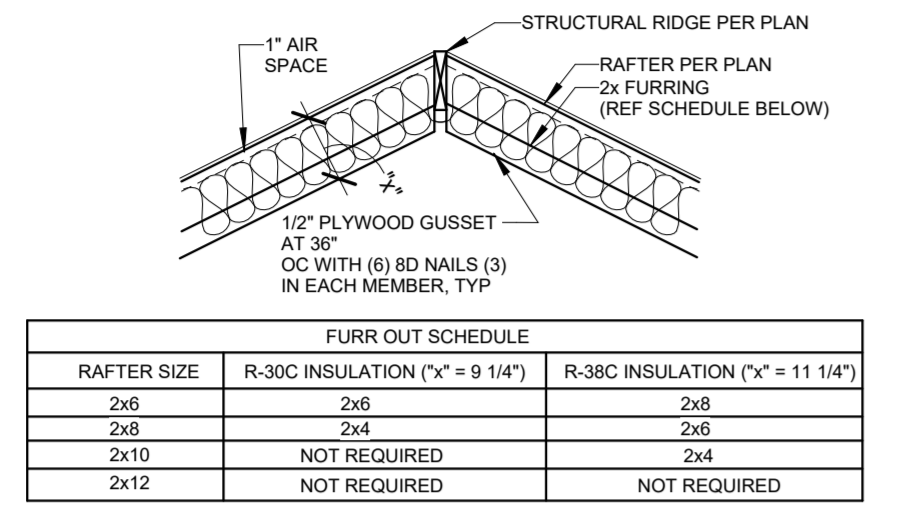
3 Detail - Top of Foundation Wall 1
1 1/2" = 1'-0"



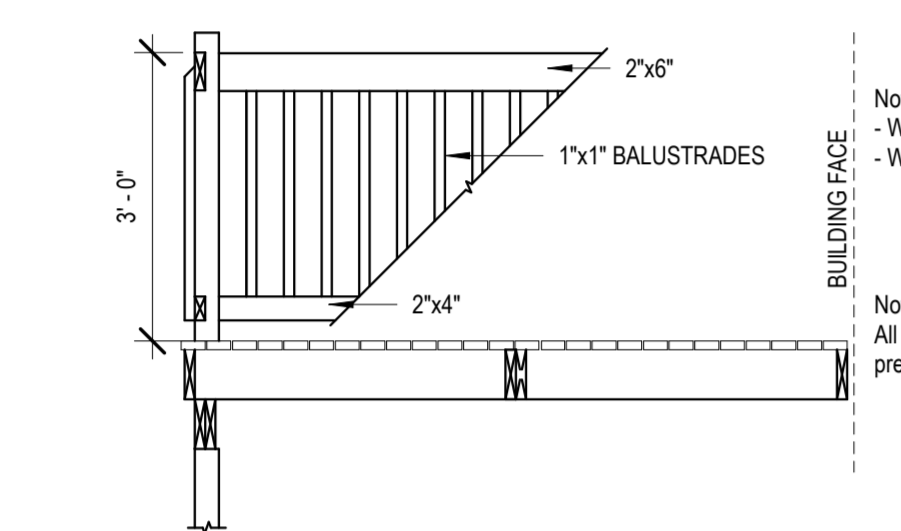
4 RETAINING WALL DESIGN 1
1/2" = 1'-0"



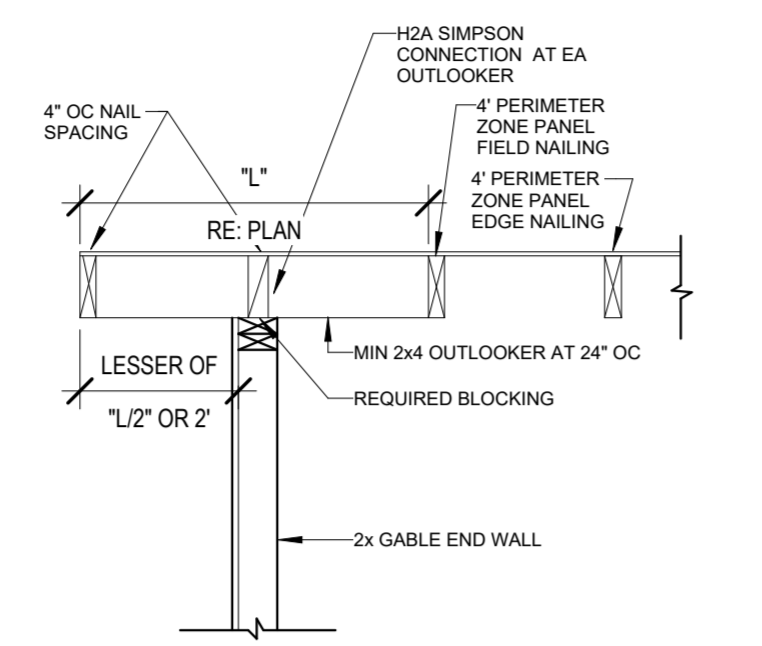
10 Lateral Deck Connection
1 1/2" = 1'-0"



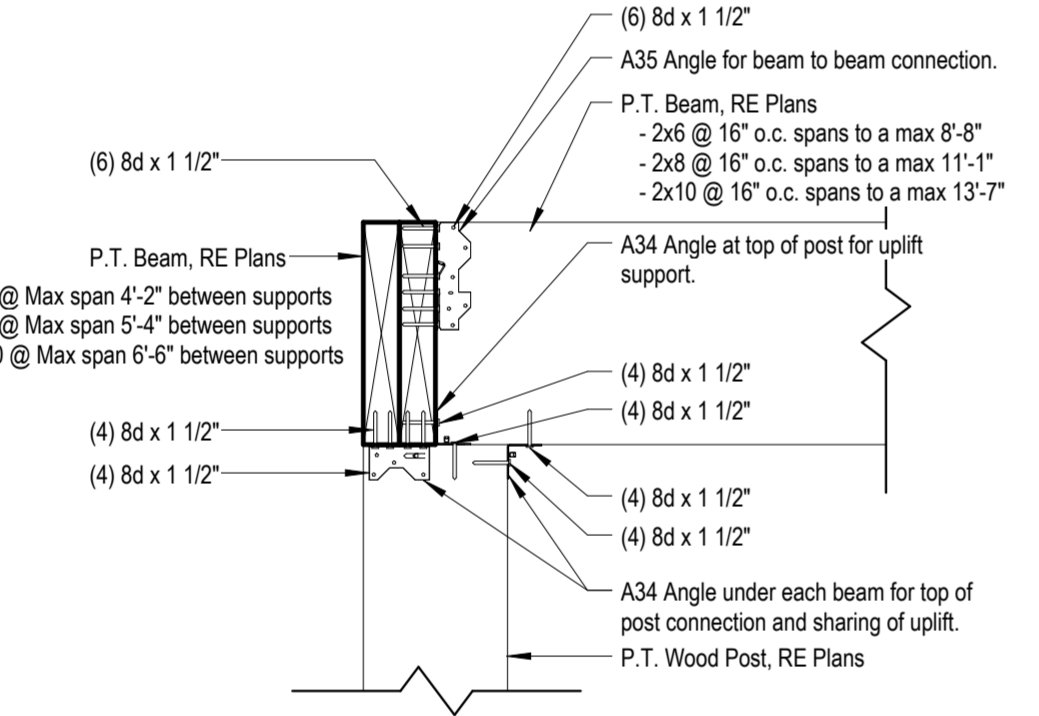
12 Rafter Furr Down Requirements
1" = 1'-0"



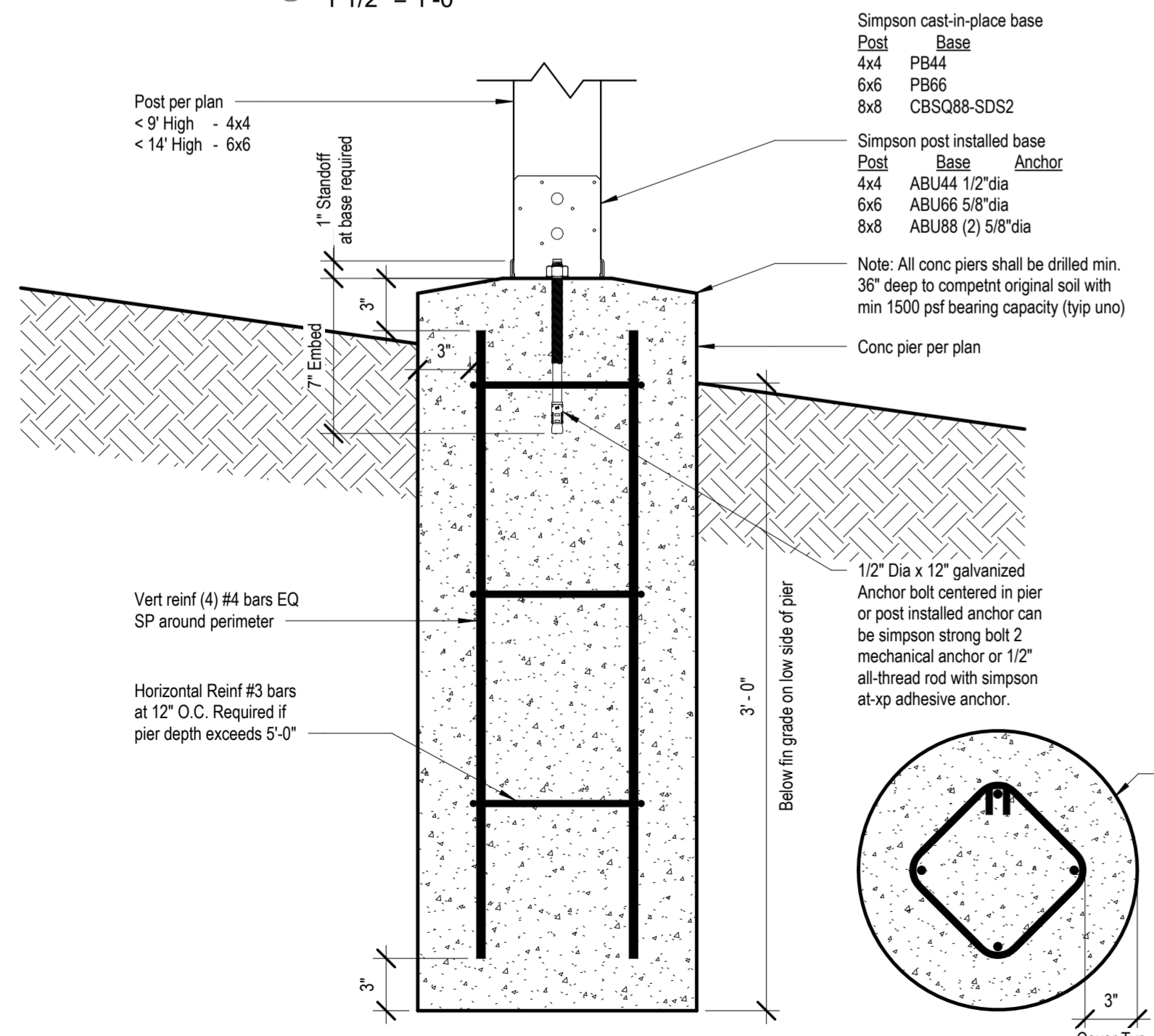
11 Deck Railing
1/2" = 1'-0"



7 Gable Framing Requirements
1" = 1'-0"



8 Post to Beam Connection
1 1/2" = 1'-0"

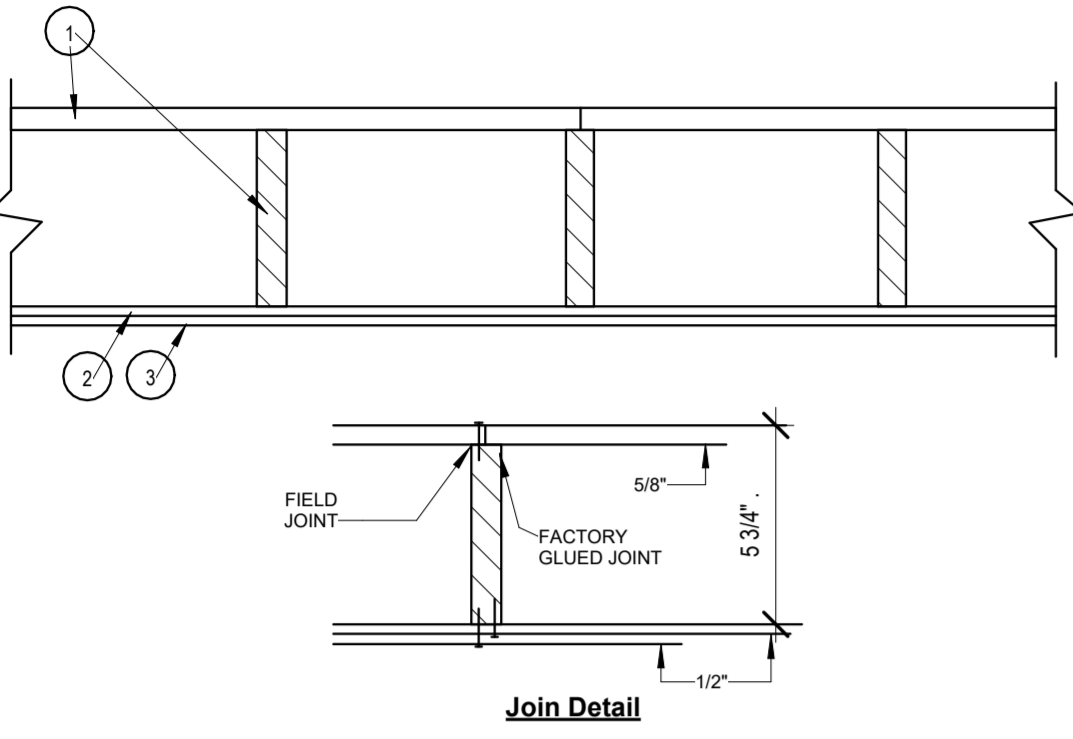


9 Typ Details for Post/Pier
1 1/2" = 1'-0"

Greystone - Masterplan

Design No. L504
Unrestrained assembly rating - 1Hr.
Finish Rating - 24 Min.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or CUL Certification (such as Canada), respectively.



1. Floor Panels / Finished Floor - Composed of plywood floor glued to wood stringers. Floor measures 48 in. wide by 5/8 in. thick of structural interior with exterior glue. C-D Grade Douglas fir plywood. Stringers located 12 in. OC of 1200-psi graded lumber measuring 1 1/16 by 5 1/4 in. or greater. Firestop's provided between stringers at panel ends from same lumber as stringers. Plywood, stringers, and firestop's laminated with casein glue. Joints in plywood may be either scarfed or butted. Adjacent panels joined with 8d common nails 6 in. OC.

Finish Floor - (Optional Not Shown) - The optional finish flooring may consist of one of the following systems to be applied over Item 1:

System No. 3

Finish Flooring - Floor Topping Mixtures - Min 3/4 in. thickness of floor topping mixture having a minimum compressive strength of 1500 psi. Refer to manufacturer's instructions accompanying the material for specific mix design.

MAXXON CORP - Types Maxxon Standard and Maxxon High Strength

2. **Sound-Deadening Board** - Nom 4 by 8 ft by 1/2 in. thick plain wood fiber board weighing 15 to 18 lb per cu ft. Installed with long dimension parallel with stringers and attached to each stringer with 5d cement coated cooler nails, 1-5/8 in. long, .086 in. shank diameter with 1/4 in. diameter flat head spaced nails 12 in. OC. Nails spaced 1/2 in. from side and end joints.

3. **Gypsum Board*** - Nom 1/2 in. thick, installed with long dimension perpendicular to stringers and secured to each stringer with 8d cement coated cooler nails, 2-3/8 in. long, 0.113 in. shank diameter with 9/32 in. diameter flat head spaced 6 in. OC at end joints and 8 in. OC elsewhere. Nails spaced 3/4 and 1/2 in. from side and end joints respectively. Joints in gypsum board shall be staggered with joints in sound-deadening board.

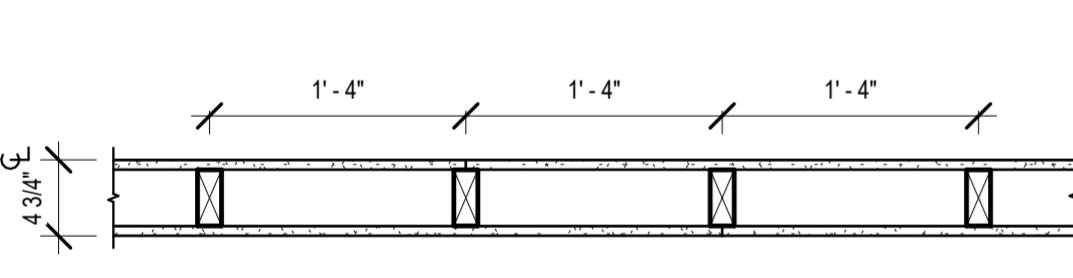
AMERICAN GYPSUM CO - Type AC-C

4. **Finishing System** - (Not Shown) - Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or CUL Certification (such as Canada), respectively.

UL #L504-1 HR CEILING-FLOOR ASSEMBLY

UL DESIGN NO. U305
FIRE RATING: 1 HOUR
SYSTEM THICKNESS: 4 3/4"



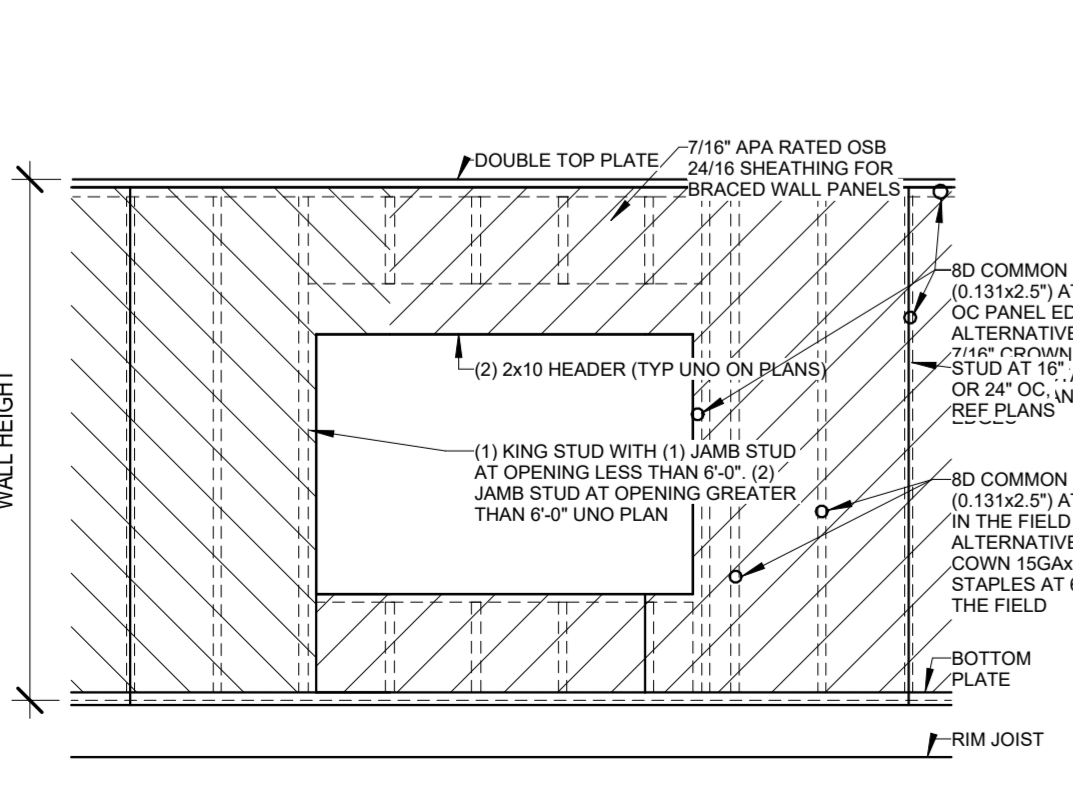
ASSEMBLY OPTIONS:

GYPSUM BOARD: ONE LAYER 5/8" THICK GYPSUM BOARD (UL TYPE ULIX™)

WOOD STUDS: 2X4 WOOD STUDS, 16" O.C.

GYPSUM BOARD: ONE LAYER 5/8" THICK GYPSUM BOARD (UL TYPE ULIX™)

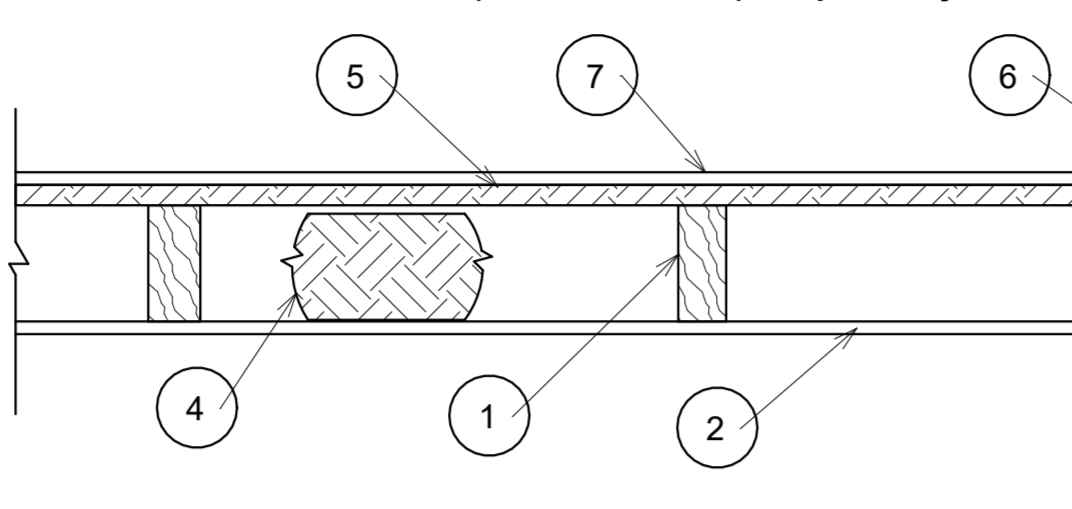
UL #U305-1 HR WALL ASSEMBLY - INTERIOR, LOAD BEARING



6 Method CS-WSP 1/2" = 1'-0"

Design No. U303
Bearing Wall Rating - 1Hr

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or CUL Certification (such as Canada), respectively.



1. **Wood Studs** - Nom 2 by 4 in spaced 16 in. OC, effectively cross-braced.

2. **Gypsum Board*** - 5/8 in. thick, with square or tapered edges, applied vertically or horizontally with vertical joints centered over studs. Horizontal joints nee framing. Fastened to studs and plates with 1-7/8 in. long 6d cement coated nails spaced 7 in OC or with 1-7/8 in. long Type 5 screws spaced 8 in OC, or 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in OC, with last screw 1 in. from edge of board. 54 in. widths applied horizontally

UNITED STATES GYPSUM CO - Types AR, FRX-G, IP-ARIP-X1, IP-X2, IPC-AR, SCX, ULIX, ULK WRC or WR

3. **Joints** - When tapered edge gypsum board is used, joints covered with joint compound and paper tape. As an alternate, gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with joints reinforced with paper tape. When square-edge gypsum board is used, treatment of joints is optional

4. **Batts and Blankets** - Min 3 in. thick mineral wool batts, friction fit between studs. THERMAFIBER INC-Type SAFB, SAFB FF

5. **Sheathing** - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically, with vertical joints centered over studs. Attached to studs with 10d galy nails 6 in. OC at the perimeter and 12 in. OC in the field. Sheathing fully covered with a weather resistive barrier

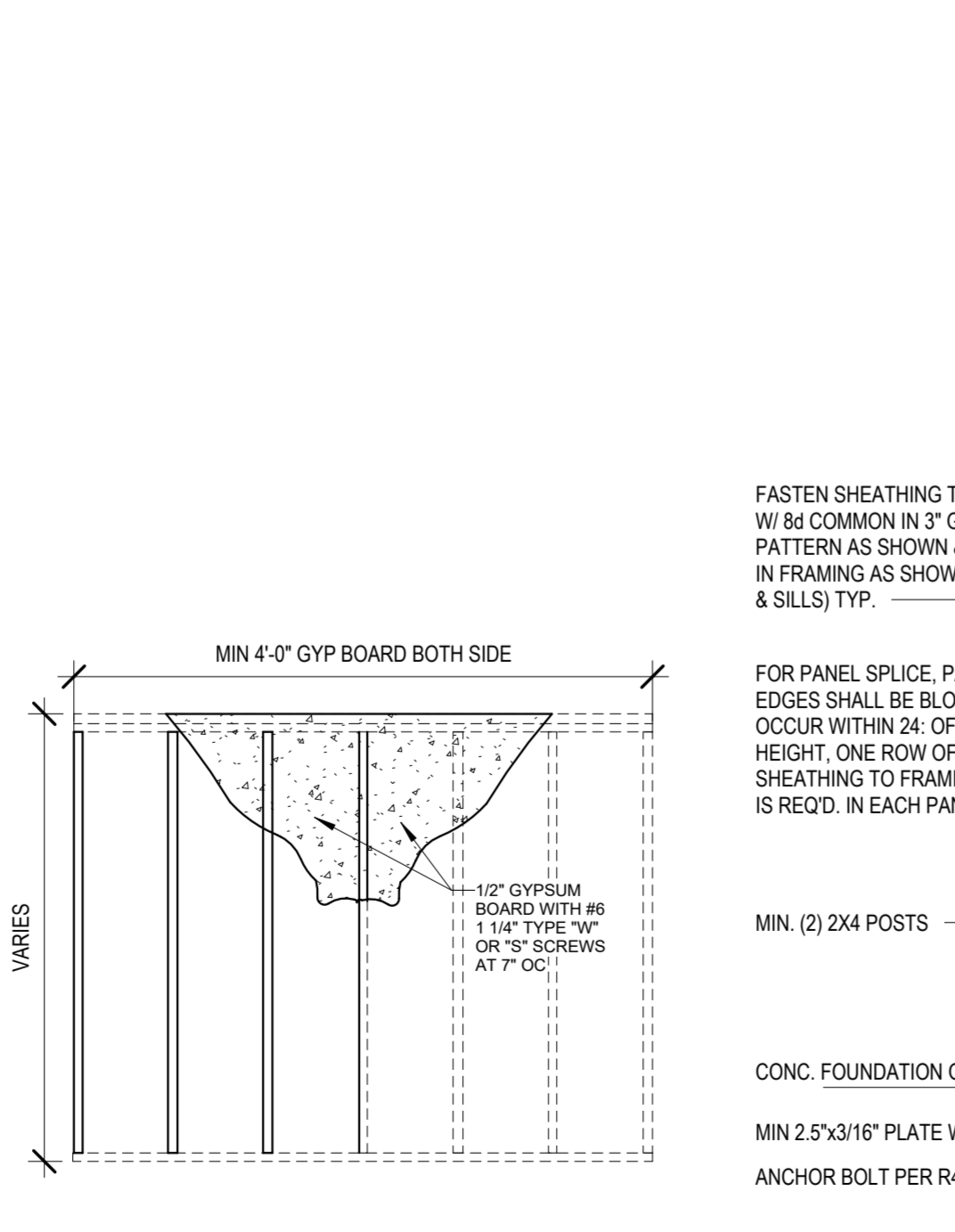
6. **Cementitious Backer Units** - 1/2 or 5/8 in, thick, installed vertically or horizontally over the sheathing with vertical joints centered over studs. All joints offset min 12 in underly sheathing joints. Fastened to studs and plates with corrosion resistant 2-1/4 in. long chamfered, ribbed wafer head screws with a minimum head diameter of 400 inches or 2-1/4 in hot-dipped galvanized roofing nails spaced 8 in. OC.

UNITED STATES GYPSUM CO - Type DCB.

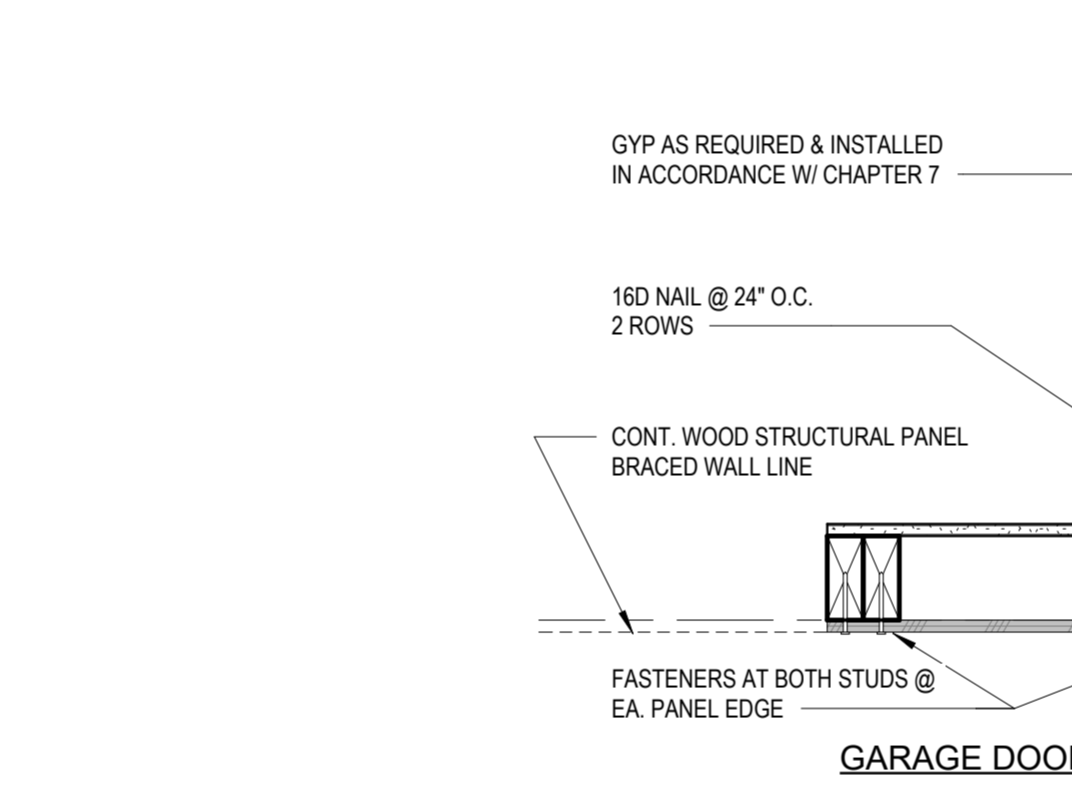
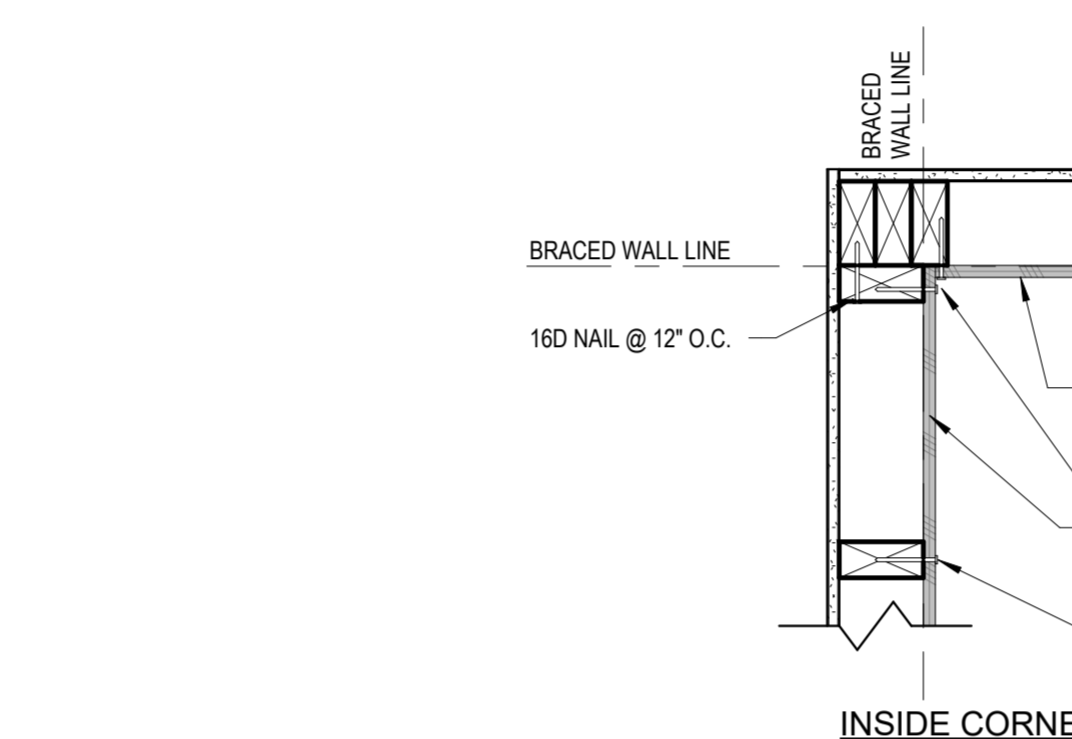
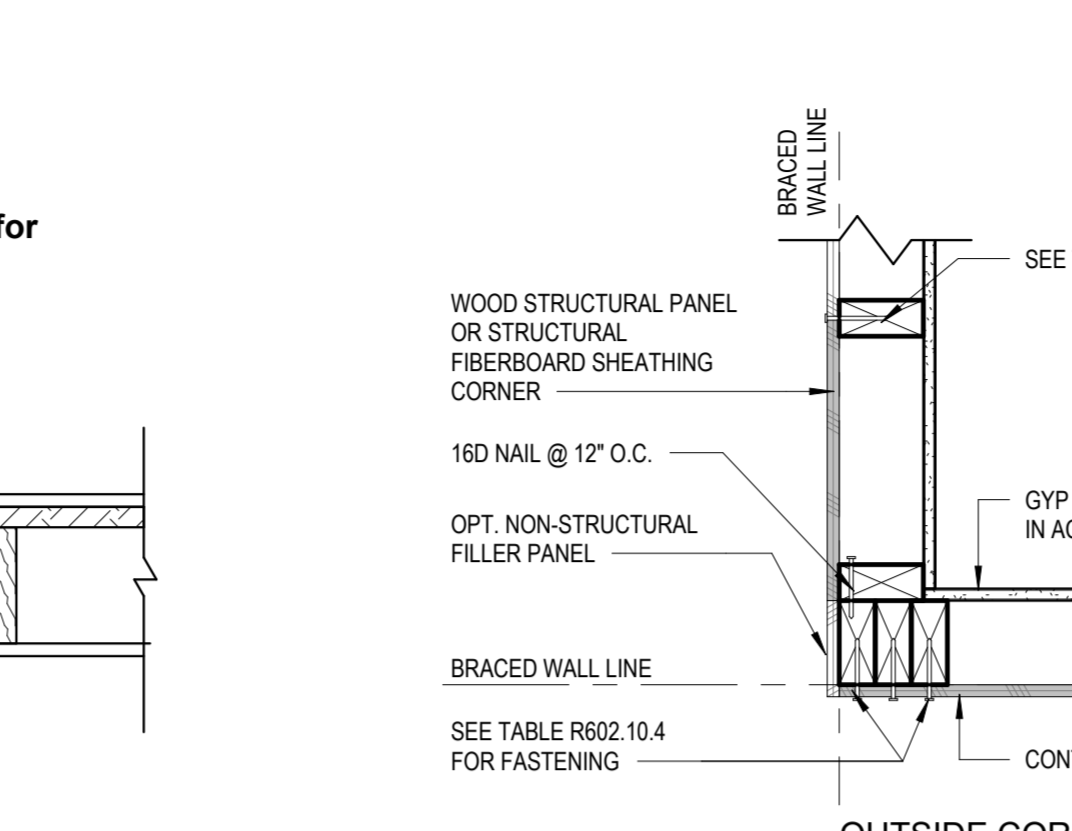
7. **Joints** - Cement board joints need not be treated.

8. **Vapor Retarder, Water Barrier or Weather Resistive Barrier** - (Optional, not shown) - As required

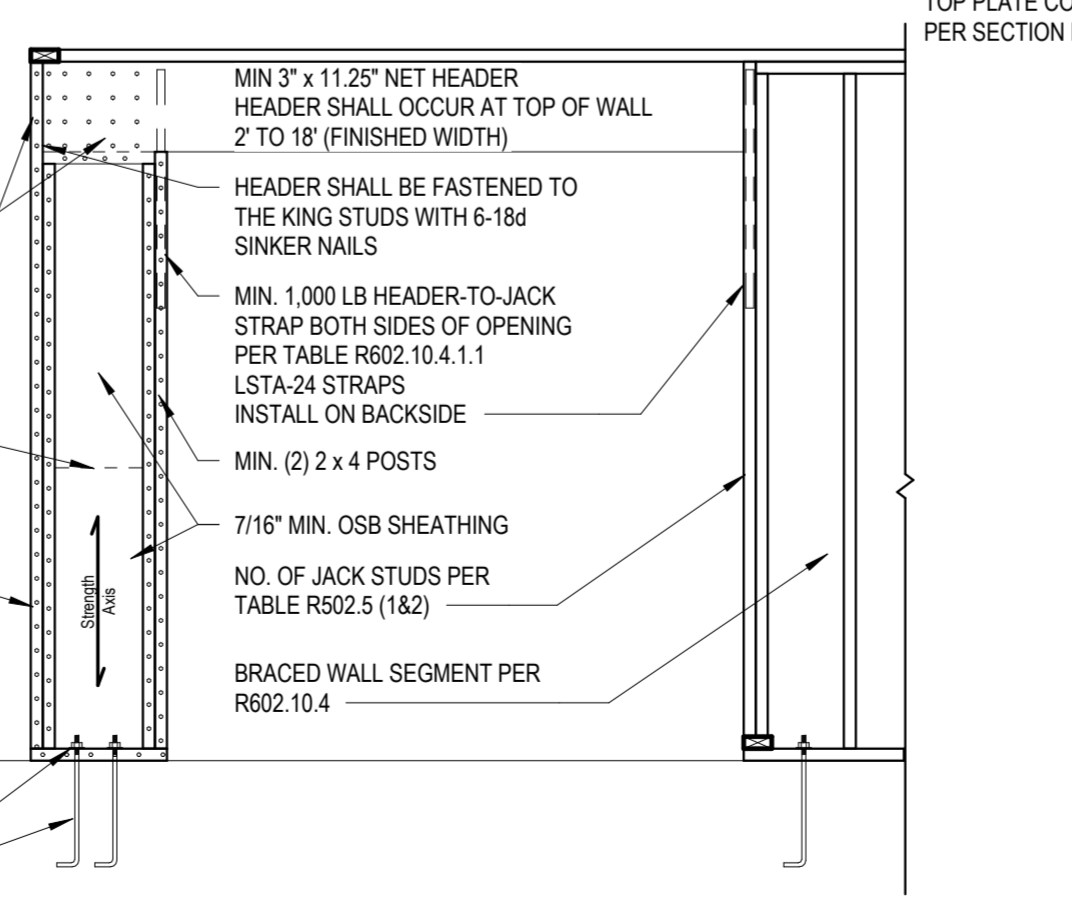
UL #U303-1 HR WALL ASSEMBLY - EXTERIOR, LOAD BEARING



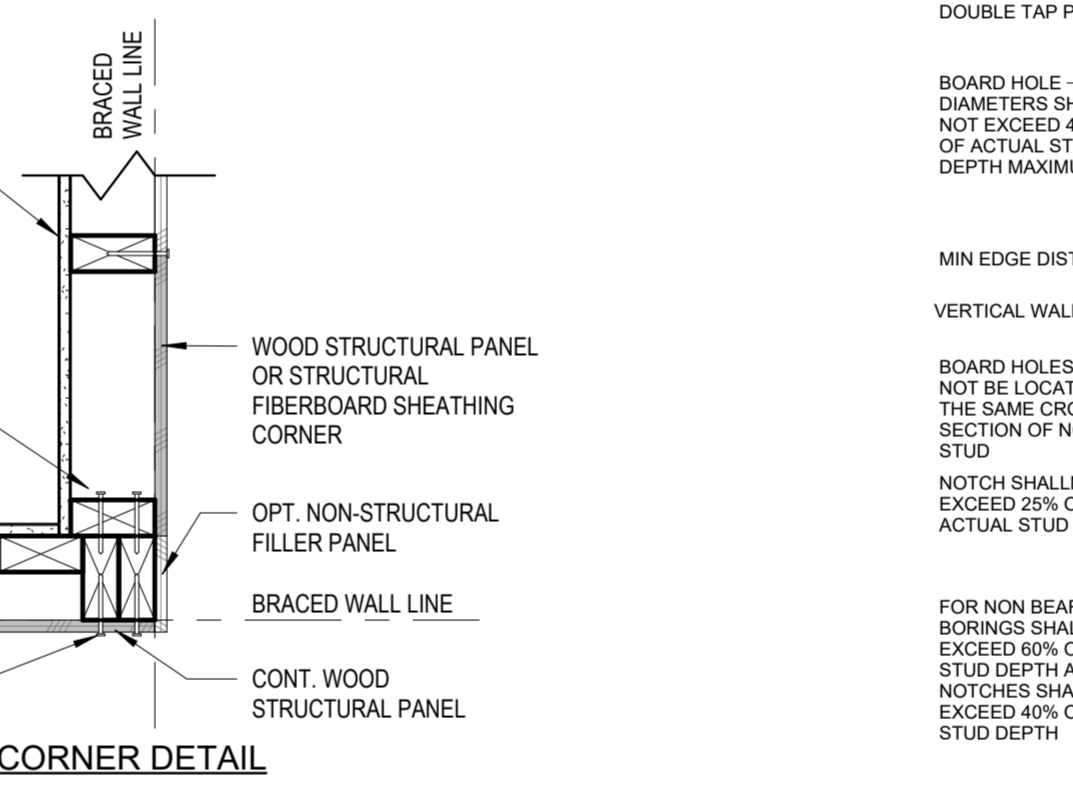
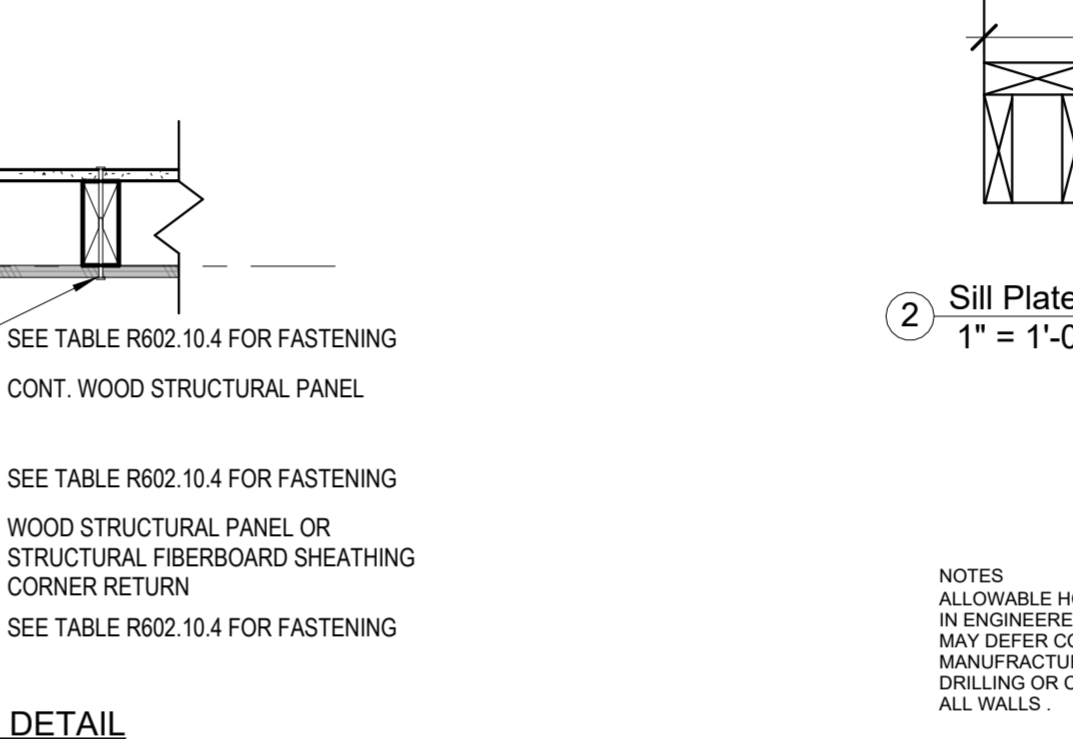
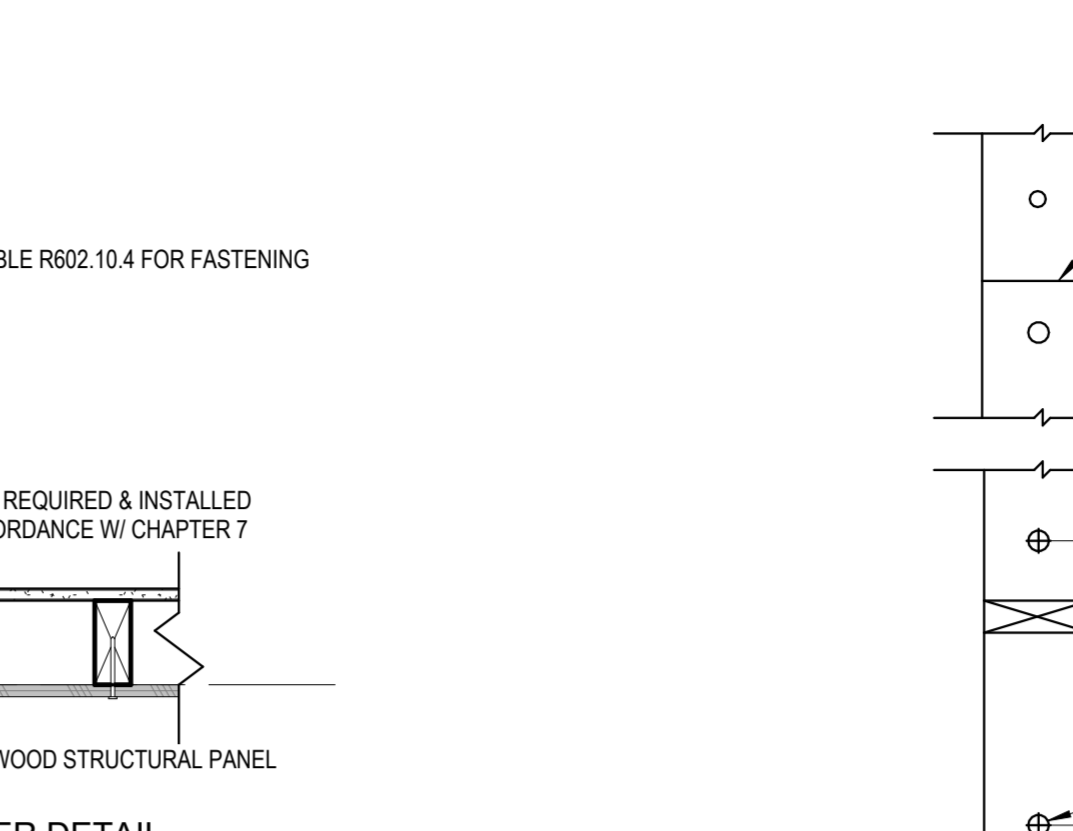
5 Method GB 1/2" = 1'-0"



8 CS-WSP Corner Framing Details 1 1/2" = 1'-0"



7 PORTAL FRAME METHOD CS-PF 1/2" = 1'-0"



4 Brace Wall Segment Attachment Ceiling/Floor 1" = 1'-0"

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuild.com

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MARCH 11, 2025

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT

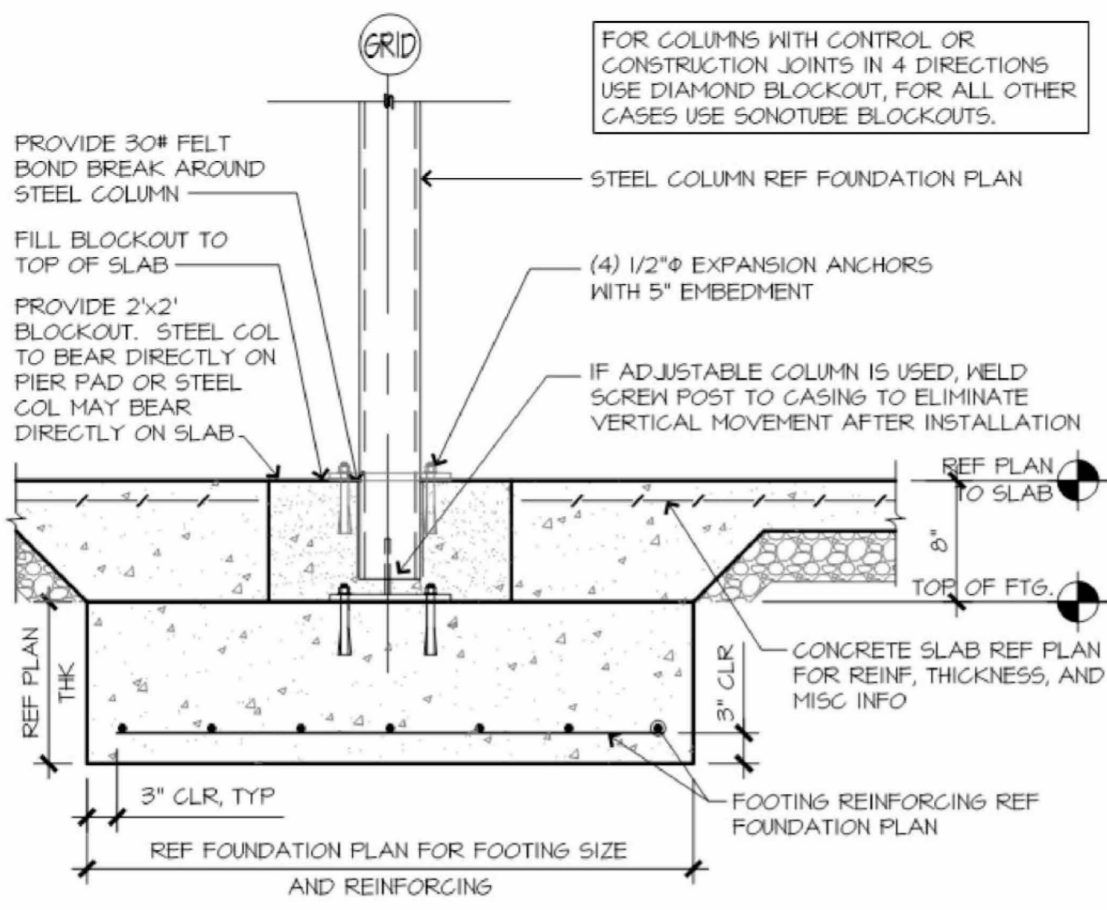
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Details

DATE ISSUED

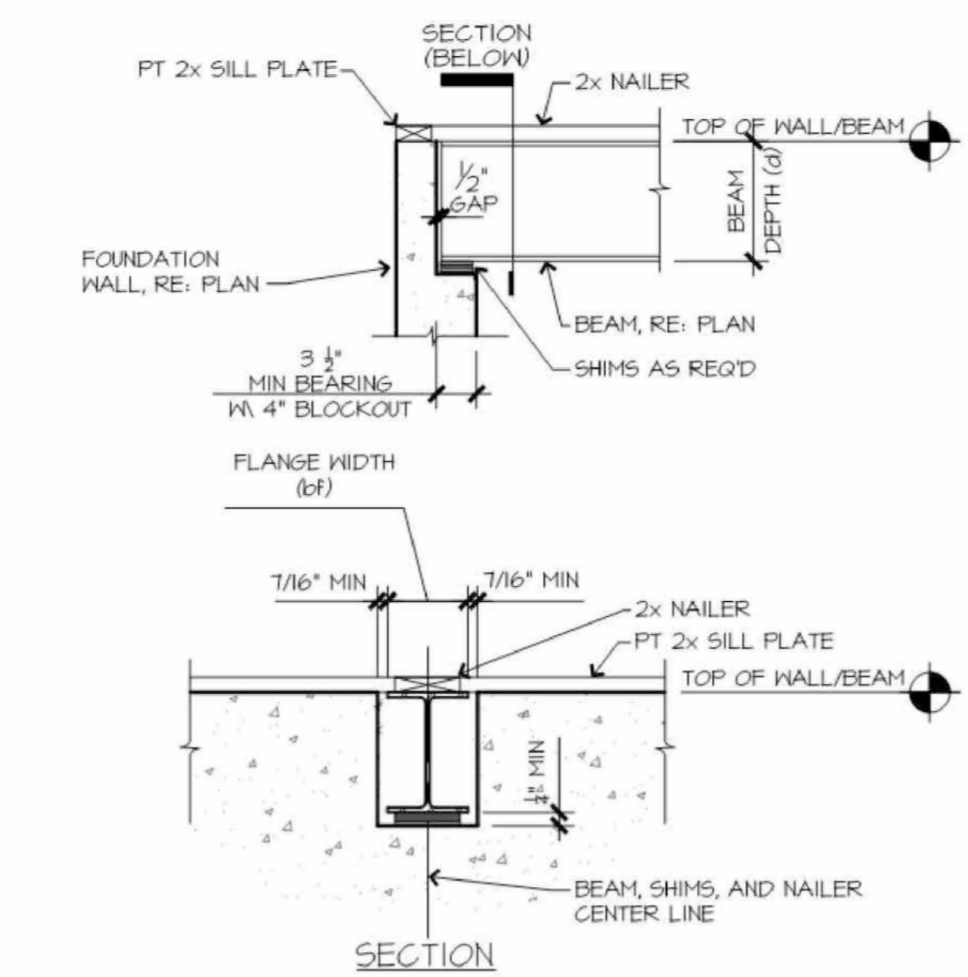
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A802

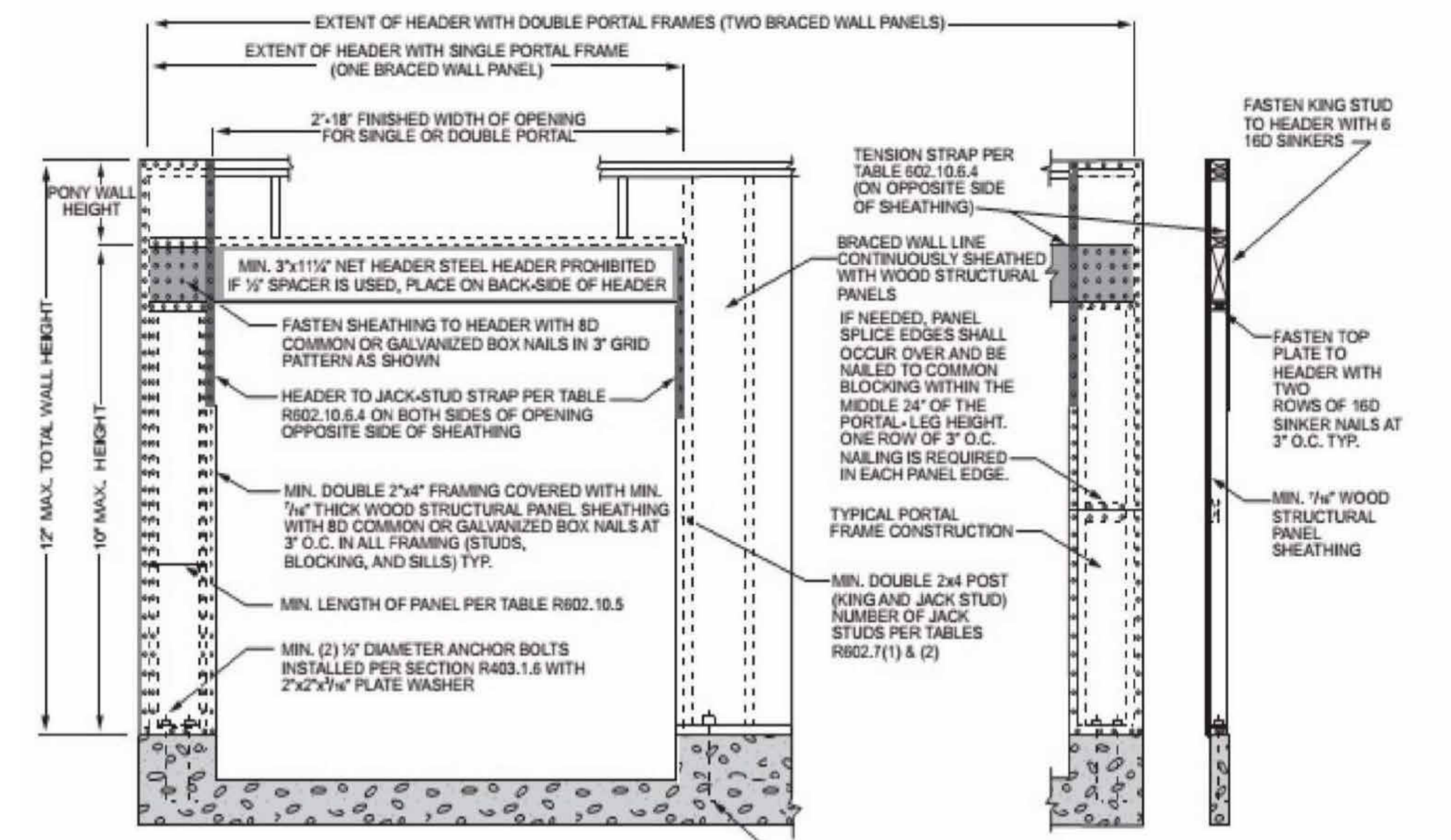
SOMERSET MASTER PLAN



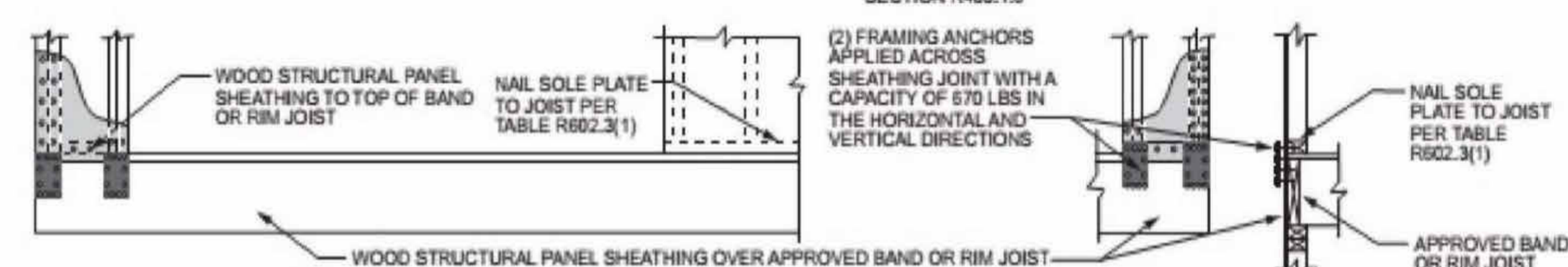
A COLUMN/PAD DETAIL



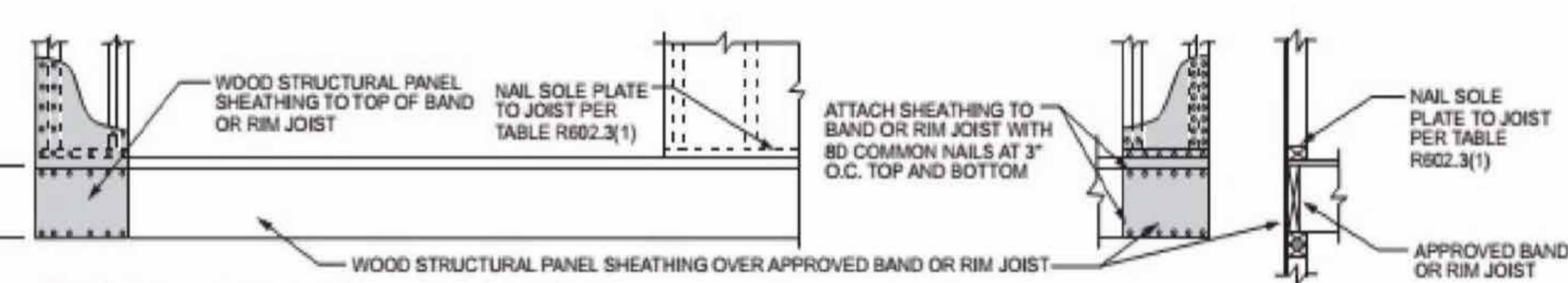
D BEAM POCKET DETAIL



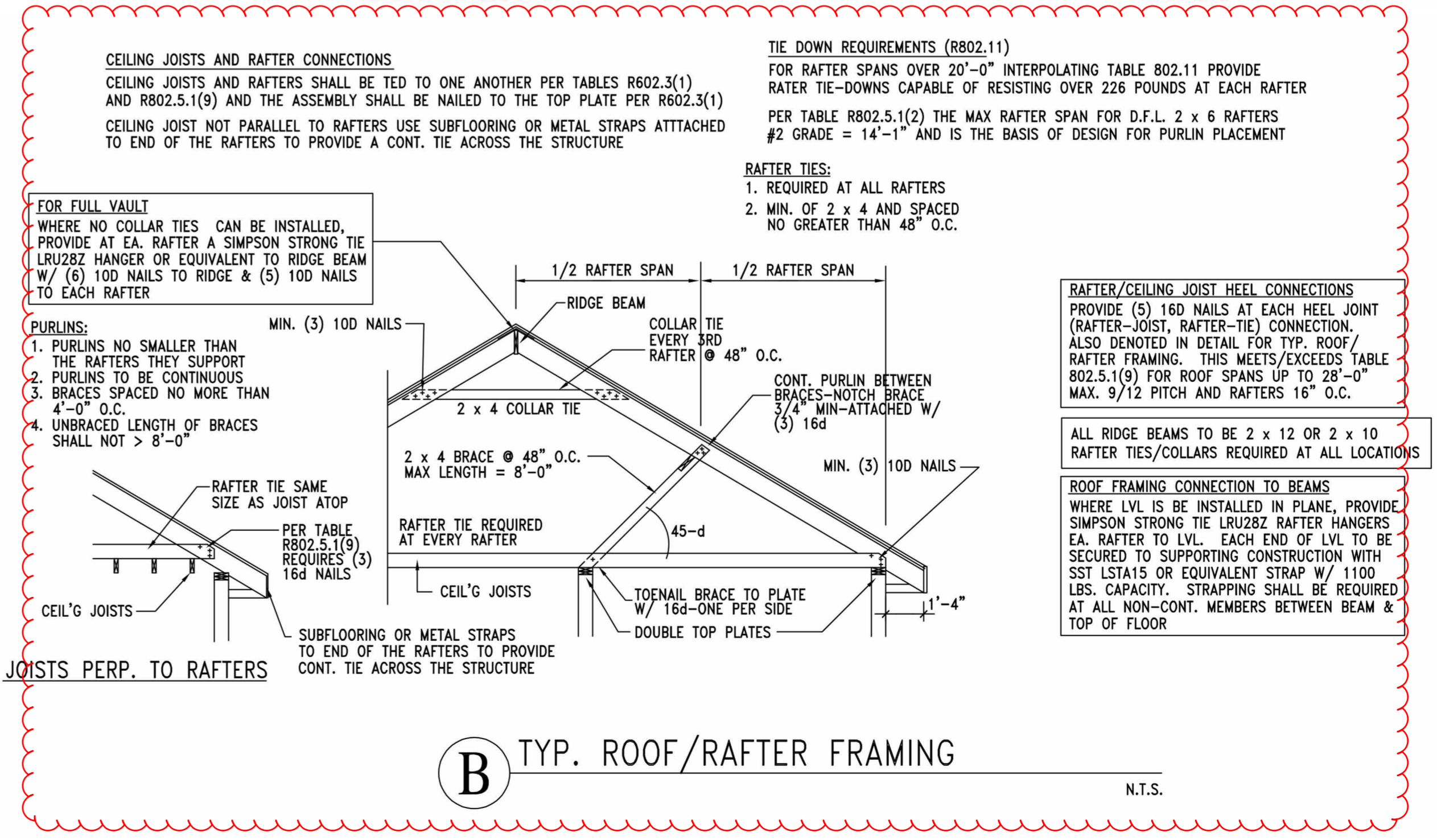
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION (WHERE PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST)



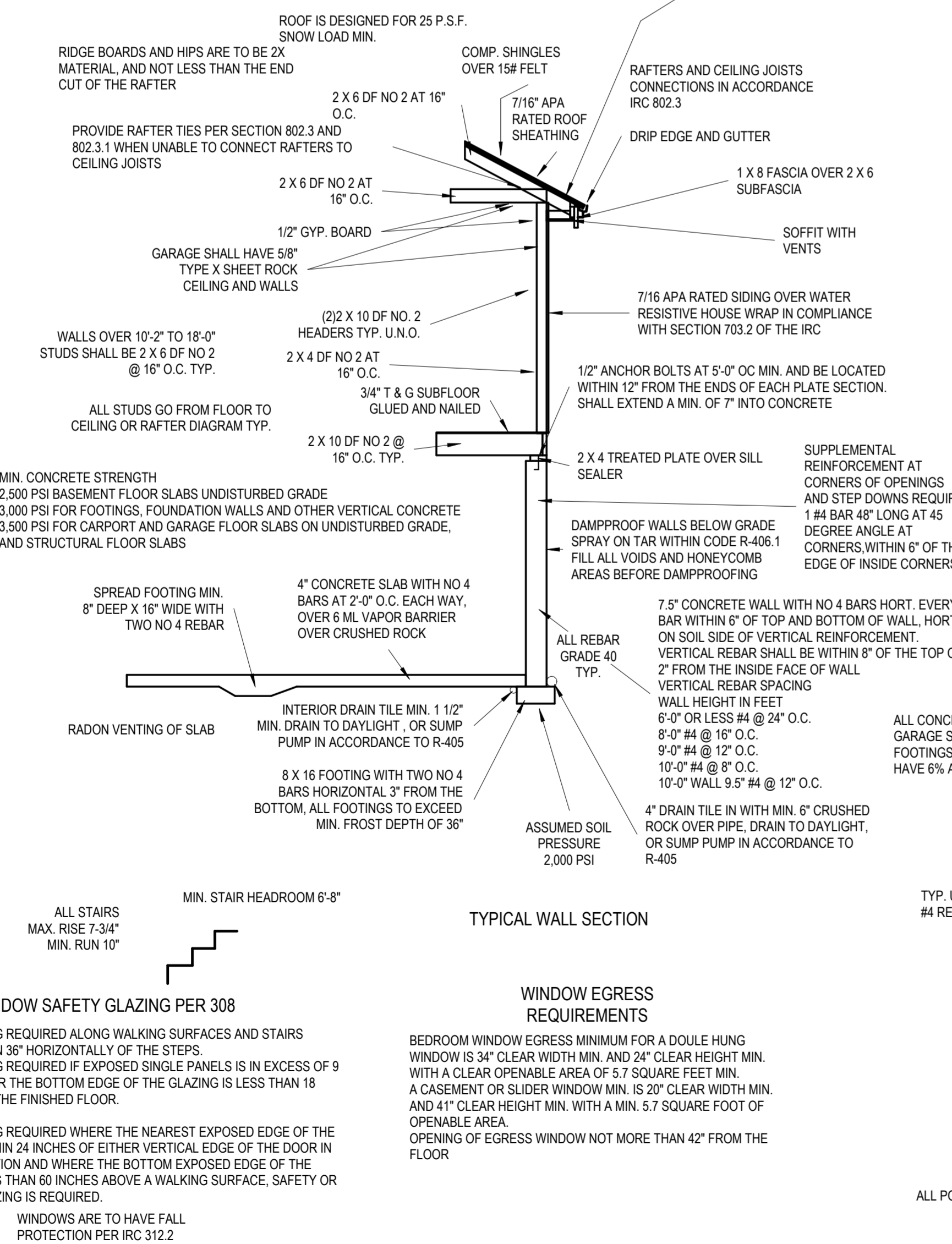
OVER RAISED WOOD FLOOR - OVERLAP OPTION (WHERE PORTAL SHEATHING LAPS OVER BAND OR RIM BOARD)



B TYP. ROOF/RAFTER FRAMING

- ENERGY CONSERVATION CODE THE FOLLOWING VALUES ARE NEEDED.
- R-15 IN WALLS
 - R-49 IN ATTICS
 - R-38 IN VAULTS
 - R-30 REDUCTION FOR VAULTS IS ONLY FOR 500SF PF AREA
 - R-19 IN FLOORS OVER UNCONDITIONED SPACES
 - R-10 IN CRAWL SPACE WALLS
 - BASEMENT WALLS R-13 CAVITY OR R-10 CONTINUOUS
 - SLABS SHALL BE R-10 FOR A DEPTH OF 2 FEET
 - A WINDOW U-FACTOR OF .35 OR BETTER
 - DUCTWORK NEEDS TO HAVE AN R-8 VALUE
- VAULT INSULATION DETAIL
- 1" AIR SPACE WITH FOAM AIR CHUTES
 - 2 X 10 VAULT RAFTER
 - 2 X 2 NAILED TO BOTTOM OF RAFTERS 12" O.C. WITH 12 D NAILS
 - R-38 HIGH DENSITY INSULATION
 - INTERCONNECTED HARD WIRED SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM
 - ALL PLUMBING IF EXISTING SHALL BE CAPPED AND AIR TESTED PRIOR TO ROUGH-IN INSPECTION FOR LEAK VERIFICATION
 - ICE AND WATER SHIELD REQUIRED ON ALL ROOFS

- DWELLING / GARAGE OPENINGS BETWEEN GARAGE AND SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS SHALL BE EQUIPPED WITH SOLID WOOD OR STEEL DOORS NOT LESS THAN 1-3/8" THICK OR 20 MIN. RATED DOORS, WITH SELF-CLOSING DEVICES REQUIRED FOR GARAGE / DWELLING SEPARATION DOORS R302.5.1
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS REQUIRED FOR ANY DWELLING IN COMPLIANCE WITH IRC M 1505
- CARBON MONOXIDE DETECTORS REQUIRED IRC R 315
- STEEL COLUMNS SHALL BE MINIMUM SCHEDULE 40 R407.3
- DECK SHALL BE BUILT PER TABLES 507.2, 507.2.1, 507.3, 507.6, 507.5.1(2) & (2), 507.5, AND 507.6
- STUDS SHALL BE CONTINUOUS BETWEEN FLOOR, CEILING AND OR ROOF DIAGRAMS R602.3
- ADDED REQUIREMENTS FOR WINDOW FALL PROTECTION R312.2
- NEW PROVISIONS FOR ATTACHMENT OF RAFTERS, TRUSSES AND ROOF BEAMS R802.3.1 AND R802.11
- INSULATION REQUIRED FOR ALL BASEMENT WALLS (INCLUDING UNFINISHED BASEMENTS) N1102.1
- EXTERIOR WINDOWS / DOORS SHALL HAVE U-FACTOR 0.35 AND GALZING SHALL HAVE SOLAR HEIGHT GAIN FACTOR OF 0.40 N1102.1
- HOUSE LEAKAGE AND DUCT LEAKAGE PERFORMANCE STANDARDS EFFECTIVE JANUARY 1, 2014. A SAMPLE TESTING PROGRAM WILL BE IMPLEMENTED OCTOBER 1, 2012 KBCRC N1102.4.12 AND N1103.2.2
- LIGHTING FIXTURES PENETRATING THE THERMAL ENVELOPE (E.G. CAN LIGHTS IN ATTIC) SHALL BE IC-RATED, LEAKAGE-RATED AND SEALED TO THE GYPSUM WALLBOARD N1102.4.4
- PROGRAMMABLE THERMOSTAT REQUIRED N1103.1.1
- AIR HANDLERS SHALL BE RATED FOR MAXIMUM 2% AIR LEAKAGE RATE N1103.2.2.1
- BUILDING CAVITIES USED AS RETURN AIR PLENUMS SHALL BE SEALED TO PREVENT LEAKAGE ACROSS THE THERMAL ENVELOPE KBCRC N1103.2.2
- CERTAIN HOT WATER PIPES SHALL BE INSULATED N1103.4
- ALL EXHAUST FANS SHALL TERMINATE TO BUILDING EXTERIOR M1507.2
- MAKEUP AIR SYSTEM REQUIRED FOR KITCHEN EXHAUST HOODS THAT EXCEED 400CFM M1503.4
- BUILDING CAVITIES IN A THERMAL ENVELOPE WALL (INCLUDING THE WALL BETWEEN THE HOUSE AND THE GARAGE) SHALL NOT BE USED AS RETURN AIR PLENUMS
- AN AIR HANDLING SYSTEM SHALL NOT SERVE BOTH THE LIVING SPACE AND THE GARAGE M1601.6
- A CONCRETE - ENCASED GROUNDING ELECTRODE ("UFER GROUND") CONNECTIONS SHALL BE PROVIDED TO THE ELECTRICAL SERVICE E3608.1
- COMPLIANCE WITH THE REQUIREMENT AND SHOW CONNECTION AS NEEDED FOR ROOF BEAM, TRUSS, RAFTER AND GIRDER CONNECTION FOR UPLIFT PER IRC 802.11. ALL RAFTERS MUST BE IN COMPLIANCE WITH IRC 802.11

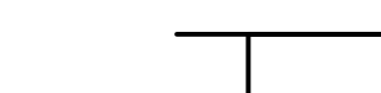


TYPICAL WALL SECTION

WINDOW EGRESS REQUIREMENTS

PIER PADS

TYP. U.N.O. 3'-0" X 3'-0" X 12" PIER PADS MIN. WITH #4 REBAR, 6 EACH WAY



EGRESS WINDOW WELL AS NEEDED PER SECTION 308 MIN. 3'-0" X 3'-0" WITH LADDER

ALL POINT LOADS SHALL HAVE A MINIMUM OF 2 STUDS UNLESS NOTED OTHERWISE

architect:
Elevate Design + Build
350 SW Langview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuild.com

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NOVEMBER 25, 2024

Number	DESCRIPTION	DATE
1	REVISIONS	

PROJECT
Lot : #9, STONEBRIDGE SOUTH
Address : 18221 W. 168TH TERRACE

DRAWING TITLE
Details

DATE ISSUED



DRAWING NUMBER

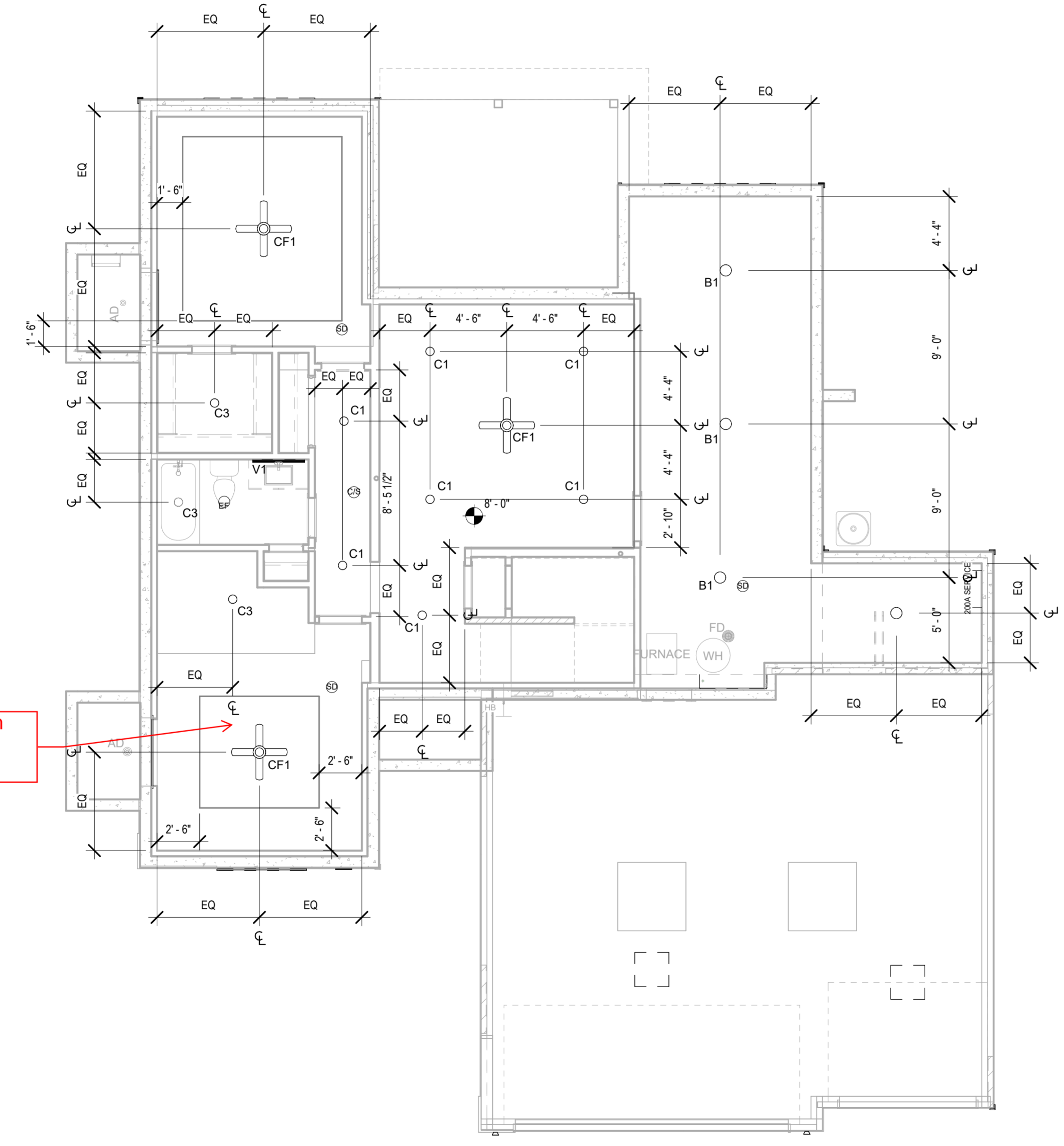
A903

**Greystone -
Masterplan - SURBER**

Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF2	Ceiling Fan w/ Light - Down Rod	Mount with 2'-0" Down Rod
P1		
P2		
V1	Vanity Wall Mounted	
V2	Vanity Wall Mounted	

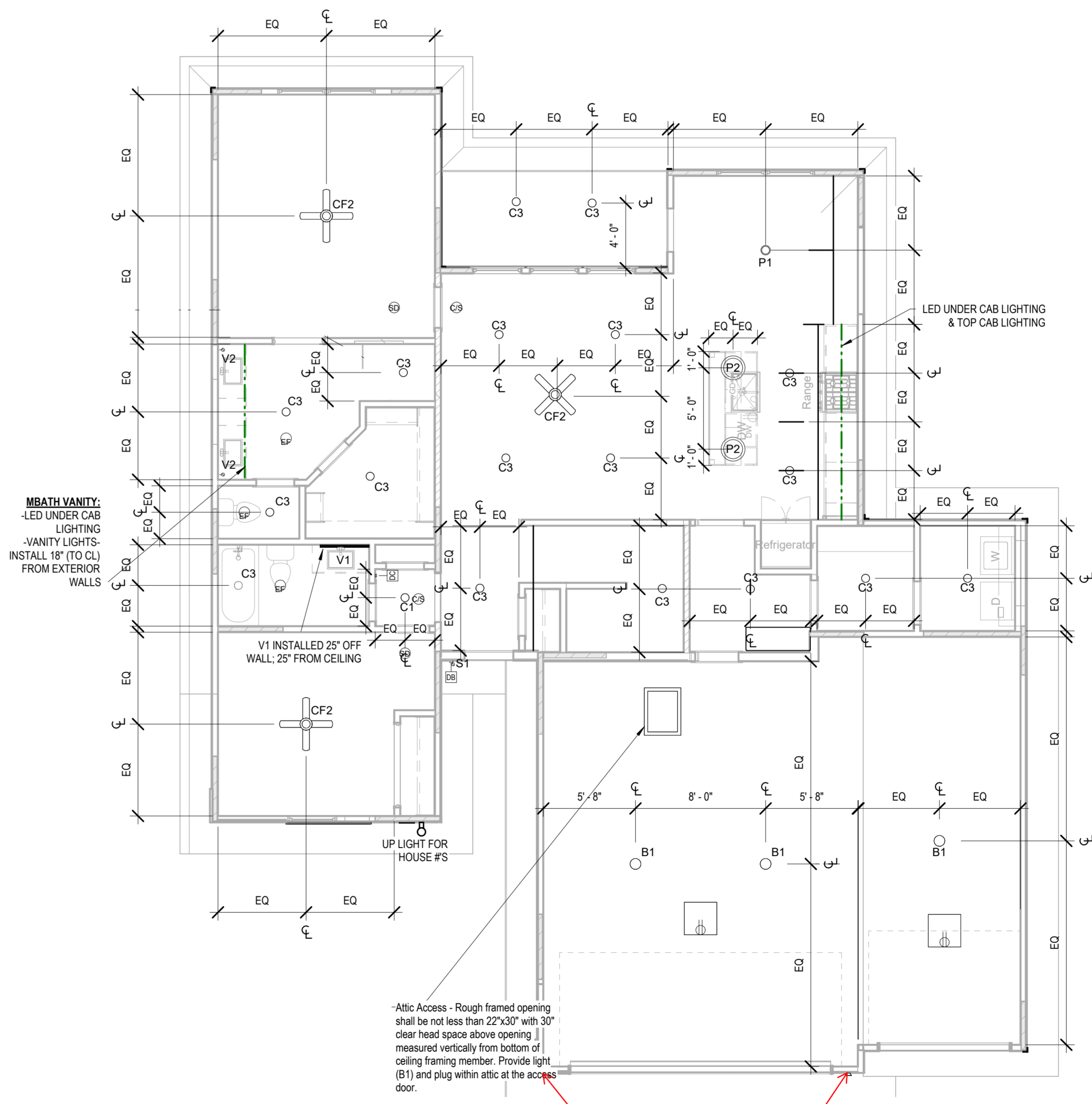
Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)

Legend - RCP
 Wall Mounted 
 Ceiling Mounted 
 CO - Carbon Monoxide Detector
 S - Smoke Detector
 S/C - Smoke Detector/CO Detector



Storage room here. No bedroom

② RCP/Electrical - Basement
3/16" = 1'-0"



*Attic Access - Rough framed opening shall be not less than 22"x30" with 30" clear head space above opening measured vertically from bottom of ceiling framing member. Provide light (B1) and plug within attic at the access door.

① RCP/Electrical Plan - Main Level
3/16" = 1'-0"

Soffit lights not sconces

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MARCH 11, 2025

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.
DRAWING TITLE
RCP/Electrical Plan

DATE ISSUED

DRAWING NUMBER

E101

RELEASE FOR CONSTRUCTION
AS NOTED ON PLANS REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
03/26/2025 3:36:20

Greystone - Masterplan - SURBER

architect:
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1040 SW Luttrell Road
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www.elevatedesignbuildkc.com

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MARCH 11, 2025

REVISIONS

NO.	DESCRIPTION	DATE

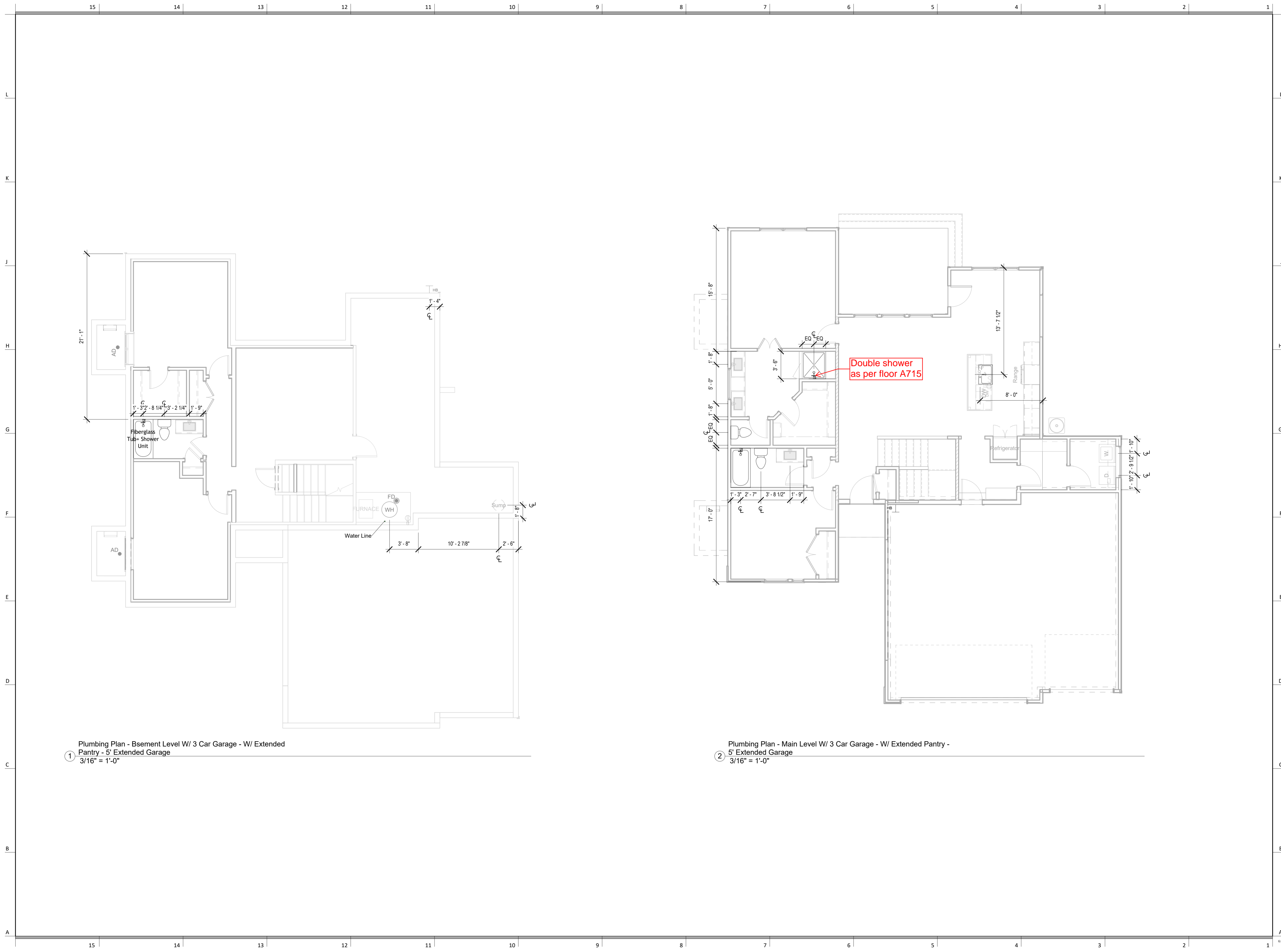
PROJECT
Lot 142 Hook Farms Second Plat,
2622 SW Firefly Lane, Lee's
Summit, MO.

DRAWING TITLE
Plumbing Plan

DATE ISSUED

DRAWING NUMBER

P101



1 Plumbing Plan - Basement Level W/ 3 Car Garage - W/ Extended Pantry - 5' Extended Garage
3/16" = 1'-0"

2 Plumbing Plan - Main Level W/ 3 Car Garage - W/ Extended Pantry - 5' Extended Garage
3/16" = 1'-0"