Douglas Station Commercial Park FINAL DEVELOPMENT PLAN

Section 31, Township 48, Range 31 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

GENERAL NOTES

1 ~ ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 2 ~ ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR ON THE FINAL PLAT.

INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. 4 ~ THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

6 ~ THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY ~ 298-1196 MISSOURI GAS ENERGY ~ 756-5261 SOUTHWESTERN BELL TELEPHONE ~ 761-5011

COMCAST CABLE ~ 795-1100

WILLIAMS PIPELINE ~ 422-6300

CITY OF LEE'S SUMMIT PUBLIC WORKS ~ 969-1800

CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEERING INSPECTION AT 816.969.1200

CITY OF LEE'S SUMMIT WATER UTILITIES ~ 969-1900 MISSOURI ONE CALL (DIG RITE) ~ 1-800-344-7483

<u>DEVELOPER:</u> DOUGLAS STATION LLC

3170 NE CARNEGIE DR. STE 400

LEE'S SUMMIT, MO 64064 (816) 875-2400

PROPERTY DESCRIPTION (Old Republic National Title Insurance Company, Policy No. 23063197) (March 28, 2023, at 8:00 AM)

Description taken verbatim from Commitment

Lot 10A, DOUGLAS STATION COMMERCIAL PARK - LOTS 10A & 10B, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof. Lot 10B, DOUGLAS STATION COMMERCIAL PARK - LOTS 10A & 10B, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

Tract A, DOUGLAS STATION COMMERCIAL PARK-LOTS 1 THROUGH 10 & TRACT A, a subdivision in Lee's Summit, Jackson County, Missouri.

OIL - GAS WELLS

ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

FLOOD INFORMATION:

THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0417G EFFECTIVE DATE: JANUARY 20,





SITE LOCATION MAP

<u>Site Impervious Area</u> Total Area 6.44 ocres (280,313.08) Proposed Apartment Site 6.44 Acres Site Area 61.015 sq. ft. 93,570 sq. ft Parking Private Sidewalk 16350 sq. ft Public Sidewalk 175320 sq. ft (62.54% of Site) Impervious Area Total Units (96) – 1 Bedroom (58) – 2 Bedroom 20.53 units per acre 208 Standard 10 ADA Accessible 42 Garage 260 Total Spaces 1 per One Bedroom 96 Spaces Revised Site Improvement 0.5 per Unit for Guest 77 Spaces Total Parking Spaces <u>Site Improvement Notes</u>

-The site will utilized the existing sanitary sewer on the east side of NW Sloan St and south side of NE Sycamore St.

-The site will utilized the existing water on the west side of NW Sloan St and north side of NE Sycamore St.

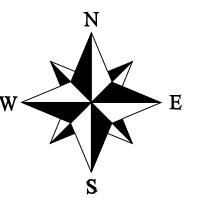
-Enclosed pipe systems and inlets will be collected and convey the onsite storm water runoff and direct it toward the existing

Storm Water Detention -The site will utilize the existing regional detention facility

B/L - BUILDING SET-BACK C/A – COMMON AREA D/E - DRAINAGE EASEMENT FND. – FOUND

L/E - LANDSCAPE EASEMENT L.N.A. - LIMITS OF NO ACCESS R/W - RIGHT OF WAY - SANITARY SEWER LINE

SIDEWALK U/E - UTILITY EASEMENT WATER LINE STORM SEWER LINE



PL2023213 PRCOM20244682 MASS GRADING AND ESC ONLY

INDEX OF SHEETS: C.001 ~ COVER SHEET

C.050 ~ ESC PHASE 1 - PRE CLEARING PLAN C.051 ~ ESC PHASE 2 - INACTIVE AREA STABILIZATION PLAN

C.052 ~ ESC PHASE 3 - FINAL RESTORATION PLAN

C.053 ~ ESC - STANDARD DETAILS

C.100 ~ OVERALL SITE PLAN C.101 ~ SITE PLAN

C.102 ~ DIMENSION PLAN

C.200 ~ GRADING PLAN

C.201 ~ SIDEWALK AND INTERSECTION PLAN C.202 ~ DRAINAGE MAP

C.300 ~ UTILITY PLAN

C.301 ~ STORM SEWER GENERAL LAYOUT

C.302 ~ STORM SEWER PLAN AND PROFILE C.303 ~ STORM SEWER PLAN AND PROFILE

C.304 ~ STORM SEWER PLAN AND PROFILE

C.400 ~ SANITARY SERVICE PLAN C.500 ~ COVER SHEET

C.501 ~ WATER LINE PLAN

C.502 ~ WATER LINE PLAN AND PROFILE

C.503 ~ STANDARD DETAILS C.600 ~ STANDARD DETAILS

C.601 ~ STANDARD DETAILS

C.602 ~ STANDARD DETAILS

L.100 ~ LANDSCAPE PLAN L.101 ~ LANDSCAPE PLAN DETAILS

Current Zoning:

Proposed Zoning:

/1 (REVISED EXISTING ZONING CP-2



ITEM AND DESCRIPTION	UNIT	ESTIMATE QUANTITY
ASPHALT PAVING	S.Y.	10,397.00
PUBLIC SIDEWALK	S.F.	4,385.00
PRIVATE SIDEWALK	S.F.	16,350.00
GEOGRID	S.Y.	11,708.00
MoDOT Type 5 Base	S.Y.	11,708.00
KCMMB ENTRANCE	UNIT	2
CURBING	FT	3,630.00
ADA SIDEWALK RAMP	UNIT	4
SANITARY 6" PVC SDR 26 Service Line	FT	418.00
TRACER WIRE AND EQUIPMENT	FT	418.00
CLEARING, GRADING & GRUBBING	LS	1
SILT FENCE	FT	4,975.00
INLET PROTECTION	UNIT	30
SEEDING / MULCHING/ FERTILIZING	AC	7.50
CONST. ENTRANCE	UNIT	2
STORM		
36" HDPE	FT	754.C
24" HDPE	FT	93.6
18" HDPE	FT	295.18
15" HDPE	FT	773.40
5' x 5' JUNCTION BOX	EA	1
5' x 4' STORM CURB INLET	EA	13
CONNECTION TO EXISTING STORM SEWER	LS	1
4' x 4' STORM FIELD INLET	EA	3
2" Type K Soft Copper Water Service Line	FT	815.00
WATER METER	UNIT	1
8" C900 DR18 CLASS 200 PVC	FT	762.4
THRUST BLOCKS	UNIT	7
FIRE HYDRANT ASSEMBLY	UNIT	2
BACKFLOW VAULT	UNIT	1
8" GATE VALVE/ VALVE BOX & COVER	UNIT	1
TEES, BENDS, CROSSES	LS	7

RELEASED FOR CONSTRUCTION As Noted on Plan Review

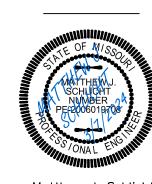
Development Services Department Lee's Summit, Missouri 03/26/2025

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED AND THESE PLANS PREPARED IN ACCORDANCE WITH THE CURRENT DESIGN CRITERIA OF THE CITY OF LEE'S SUMMIT, MISSOURI AND THE STATE OF MISSOURI. I FURTHER CERTIFY THAT THESE PLANS WERE DESIGNED IN ACCORDANCE TO AASHTO STANDARDS.

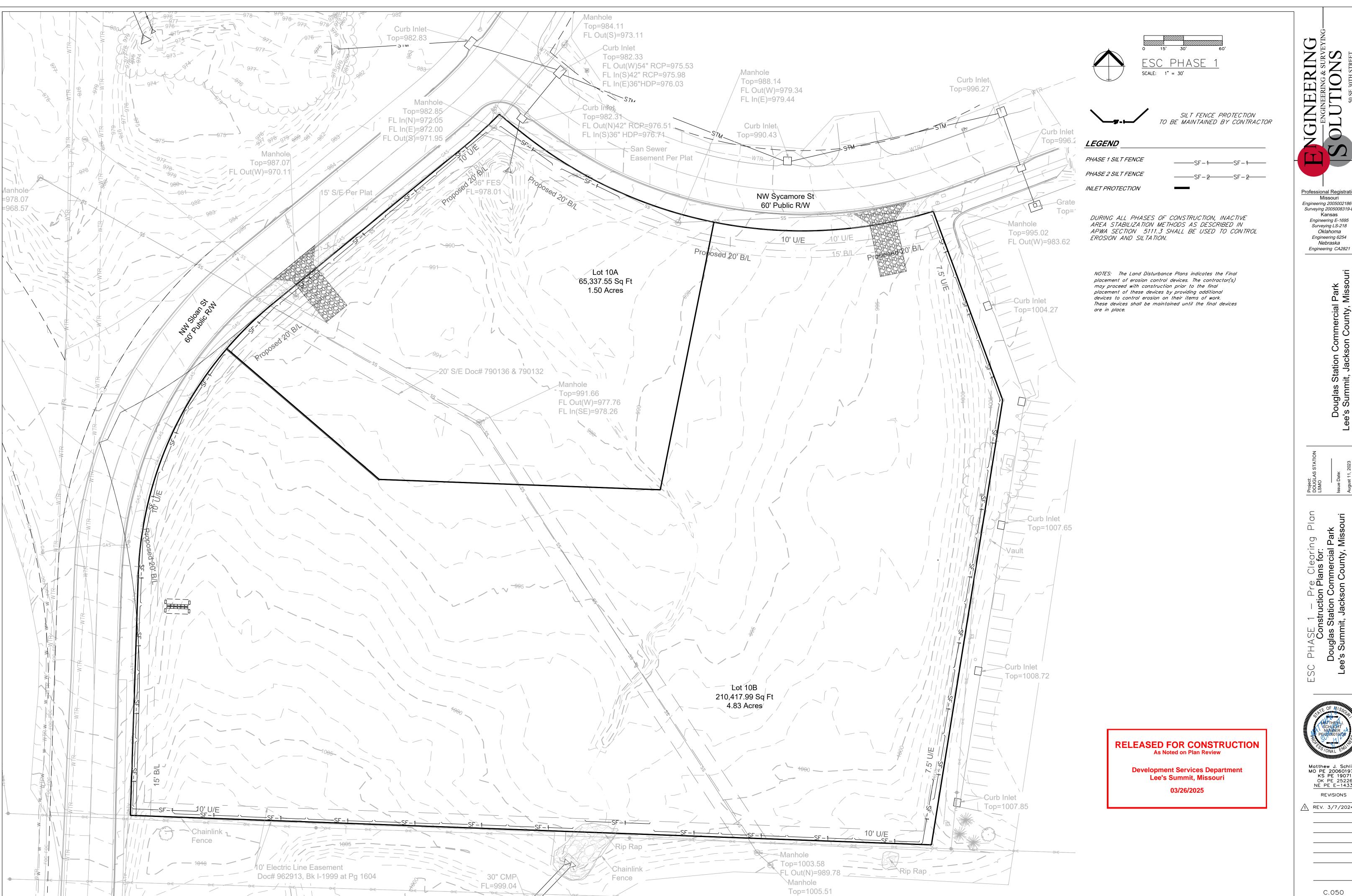
Professional Registration Engineering 2005002186-D Surveying 2005008319-D Engineering E-1695 Surveying LS-218 Oklahoma Engineering 6254 Nebraska

Engineering CA2821



MO PE 2006019708 KS PE 19071 OK PE 25226 NE PE E-14335 REVISIONS

/n\ REV. 3/7/2024



Professional Registration
Missouri Engineering 2005002186-D Surveying 2005008319-D Kansas Engineering E-1695 Surveying LS-218 Oklahoma Engineering 6254 Nebraska

Douglas e's Summ

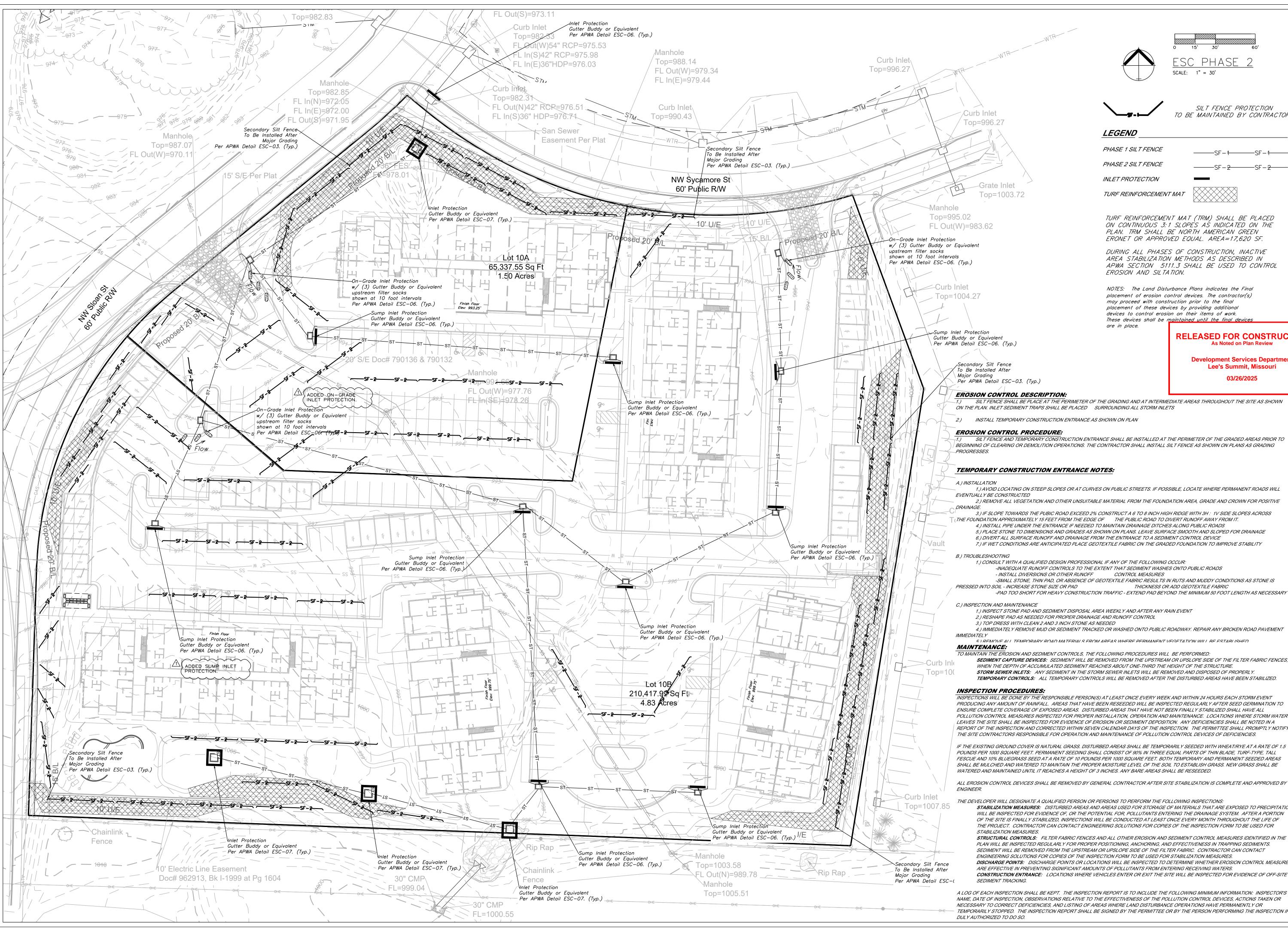
Project: DOUGLAS LSMO Issue Date: August 11,

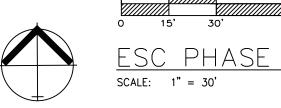
ESC PHASE 1 — Pre Clearing F Construction Plans for: Douglas Station Commercial Park Lee's Summit, Jackson County, Missa



Motthew J. Schlicht MO PE 2006019708 KS PE 19071 OK PE 25226 NE PE E-14335 REVISIONS

REV. 3/7/2024







SILT FENCE PROTECTION TO BE MAINTAINED BY CONTRACTOR

LEGEND

PHASE 1 SILT FENCE

PHASE 2 SILT FENCE

INLET PROTECTION

TURF REINFORCEMENT MAT

-----SF-2-----SF-2-----

TURF REINFORCEMENT MAT (TRM) SHALL BE PLACED ON CONTINUOUS 3:1 SLOPES AS INDICATED ON THE PLAN. TRM SHALL BE NORTH AMERICAN GREEN ERONET OR APPROVED EQUAL. AREA=17,620 SF.

DURING ALL PHASES OF CONSTRUCTION, INACTIVE AREA STABILIZATION METHODS AS DESCRIBED IN APWA SECTION 5111.3 SHALL BE USED TO CONTROL EROSION AND SILTATION.

NOTES: The Land Disturbance Plans indicates the Final placement of erosion control devices. The contractor(s) may proceed with construction prior to the final placement of these devices by providing additional devices to control erosion on their items of work. These devices shall be maintained until the final devices are in place.

RELEASED FOR CONSTRUCTION

03/26/2025

As Noted on Plan Review

Development Services Department Lee's Summit, Missouri

EROSION CONTROL DESCRIPTION:

SILT FENCE SHALL BE PLACE AT THE PERIMETER OF THE GRADING AND AT INTERMEDIATE AREAS THROUGHOUT THE SITE AS SHOWN ON THE PLAN. INLET SEDIMENT TRAPS SHALL BE PLACED SURROUNDING ALL STORM INLETS

2.) INSTALL TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON PLAN

EROSION CONTROL PROCEDURE:

1.) SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PERIMETER OF THE GRADED AREAS PRIOR TO BEGINNING OF CLEARING OR DEMOLITION OPERATIONS. THE CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLANS AS GRADING

TEMPORARY CONSTRUCTION ENTRANCE NOTES:

1.) AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC STREETS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL

2.) REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE AND CROWN FOR POSITIVE

3.) IF SLOPE TOWARDS THE PUBIC ROAD EXCEED 2% CONSTRUCT A 6 TO 8 INCH HIGH RIDGE WITH 3H: 1V SIDE SLOPES ACROSS TO THE FOUNDATION APPROXIMATELY 15 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT. 4.) INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES ALONG PUBLIC ROADS 5.) PLACE STONE TO DIMENSIONS AND GRADES AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE 6.) DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE

1.) CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL IF ANY OF THE FOLLOWING OCCUR:

-INADEQUATE RUNOFF CONTROLS TO THE EXTENT THAT SEDIMENT WASHES ONTO PUBLIC ROADS - INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES -SMALL STONE, THIN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS

THICKNESS OR ADD GEOTEXTILE FABRIC PRESSED INTO SOIL - INCREASE STONE SIZE OR PAD -PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC - EXTEND PAD BEYOND THE MINIMUM 50 FOOT LENGTH AS NECESSARY

C.) INSPECTION AND MAINTENANCE

1.) INSPECT STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER ANY RAIN EVENT 2.) RESHAPE PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL

3.) TOP DRESS WITH CLEAN 2 AND 3 INCH STONE AS NEEDED

4.) IMMEDIATELY REMOVE MUD OR SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADWAY. REPAIR ANY BROKEN ROAD PAVEMENT 5) REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTARLISHED

TO MAINTAIN THE EROSION AND SEDIMENT CONTROLS, THE FOLLOWING PROCEDURES WILL BE PERFORMED:

SEDIMENT CAPTURE DEVICES: SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UPSLOPE SIDE OF THE FILTER FABRIC FENCES,

WHEN THE DEPTH OF ACCUMULATED SEDIMENT REACHES ABOUT ONE-THIRD THE HEIGHT OF THE STRUCTURE. STORM SEWER INLETS: ANY SEDIMENT IN THE STORM SEWER INLETS WILL BE REMOVED AND DISPOSED OF PROPERLY. TEMPORARY CONTROLS: ALL TEMPORARY CONTROLS WILL BE REMOVED AFTER THE DISTURBED AREAS HAVE BEEN STABILIZED.

INSPECTION PROCEDURES:

INSPECTIONS WILL BE DONE BY THE RESPONSIBLE PERSON(S) AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS EACH STORM EVENT PRODUCING ANY AMOUNT OF RAINFALL. AREAS THAT HAVE BEEN RESEEDED WILL BE INSPECTED REGULARLY AFTER SEED GERMINATION TO ENSURE COMPLETE COVERAGE OF EXPOSED AREAS. DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED SHALL HAVE ALL POLLUTION CONTROL MEASURES INSPECTED FOR PROPER INSTALLATION, OPERATION AND MAINTENANCE. LOCATIONS WHERE STORM WATER LEAVES THE SITE SHALL BE INSPECTED FOR EVIDENCE OF EROSION OR SEDIMENT DEPOSITION. ANY DEFICIENCIES SHALL BE NOTED IN A REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE INSPECTION. THE PERMITTEE SHALL PROMPTLY NOTIFY THE SITE CONTRACTORS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION CONTROL DEVICES OF DEFICIENCIES.

IF THE EXISTING GROUND COVER IS NATURAL GRASS. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH WHEAT/RYE AT A RATE OF 1.5 POUNDS PER 1000 SQUARE FEET. PERMANENT SEEDING SHALL CONSIST OF 90% IN THREE EQUAL PARTS OF THIN BLADE, TURF-TYPE, TALL FESCUE AND 10% BLUEGRASS SEED AT A RATE OF 10 POUNDS PER 1000 SQUARE FEET. BOTH TEMPORARY AND PERMANENT SEEDED AREAS SHALL BE MULCHED AND WATERED TO MAINTAIN THE PROPER MOISTURE LEVEL OF THE SOIL TO ESTABLISH GRASS. NEW GRASS SHALL BE WATERED AND MAINTAINED UNTIL IT REACHES A HEIGHT OF 3 INCHES. ANY BARE AREAS SHALL BE RESEEDED.

ALL EROSION CONTROL DEVICES SHALL BE REMOVED BY GENERAL CONTRACTOR AFTER SITE STABILIZATION IS COMPLETE AND APPROVED BY

THE DEVELOPER WILL DESIGNATE A QUALIFIED PERSON OR PERSONS TO PERFORM THE FOLLOWING INSPECTIONS:

STABILIZATION MEASURES: DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION WILL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. AFTER A PORTION OF THE SITE IS FINALLY STABILIZED, INSPECTIONS WILL BE CONDUCTED AT LEAST ONCE EVERY MONTH THROUGHOUT THE LIFE OF THE PROJECT. CONTRACTOR CAN CONTACT ENGINEERING SOLUTIONS FOR COPIES OF THE INSPECTION FORM TO BE USED FOR STABILIZATION MEASURES.

STRUCTURAL CONTROLS: FILTER FABRIC FENCES AND ALL OTHER EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN WILL BE INSPECTED REGULARLY FOR PROPER POSITIONING, ANCHORING, AND EFFECTIVENESS IN TRAPPING SEDIMENTS. SEDIMENT WILL BE REMOVED FROM THE UPSTREAM OR UPSLOPE SIDE OF THE FILTER FABRIC. CONTRACTOR CAN CONTACT ENGINEERING SOLUTIONS FOR COPIES OF THE INSPECTION FORM TO BE USED FOR STABILIZATION MEASURES. DISCHARGE POINTS: DISCHARGE POINTS OR LOCATIONS WILL BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT AMOUNTS OF POLLUTANTS FROM ENTERING RECEIVING WATERS.

A LOG OF EACH INSPECTION SHALL BE KEPT. THE INSPECTION REPORT IS TO INCLUDE THE FOLLOWING MINIMUM INFORMATION: INSPECTOR'S NAME, DATE OF INSPECTION, OBSERVATIONS RELATIVE TO THE EFFECTIVENESS OF THE POLLUTION CONTROL DEVICES, ACTIONS TAKEN OR NECESSARY TO CORRECT DEFICIENCIES, AND LISTING OF AREAS WHERE LAND DISTURBANCE OPERATIONS HAVE PERMANENTLY OR TEMPORARILY STOPPED. THE INSPECTION REPORT SHALL BE SIGNED BY THE PERMITTEE OR BY THE PERSON PERFORMING THE INSPECTION IF

Professional Registration Engineering 2005002186-D Surveying 2005008319-D Kansas Engineering E-1695 Surveying LS-218 Oklahoma Engineering 6254 Nebraska Engineering CA2821

S 2 **E** ng Su

Matthew J. Schlicht MO PE 2006019708 KS PE 19071 OK PE 25226 NE PE E-14335

REVISIONS REV. 3/7/2024

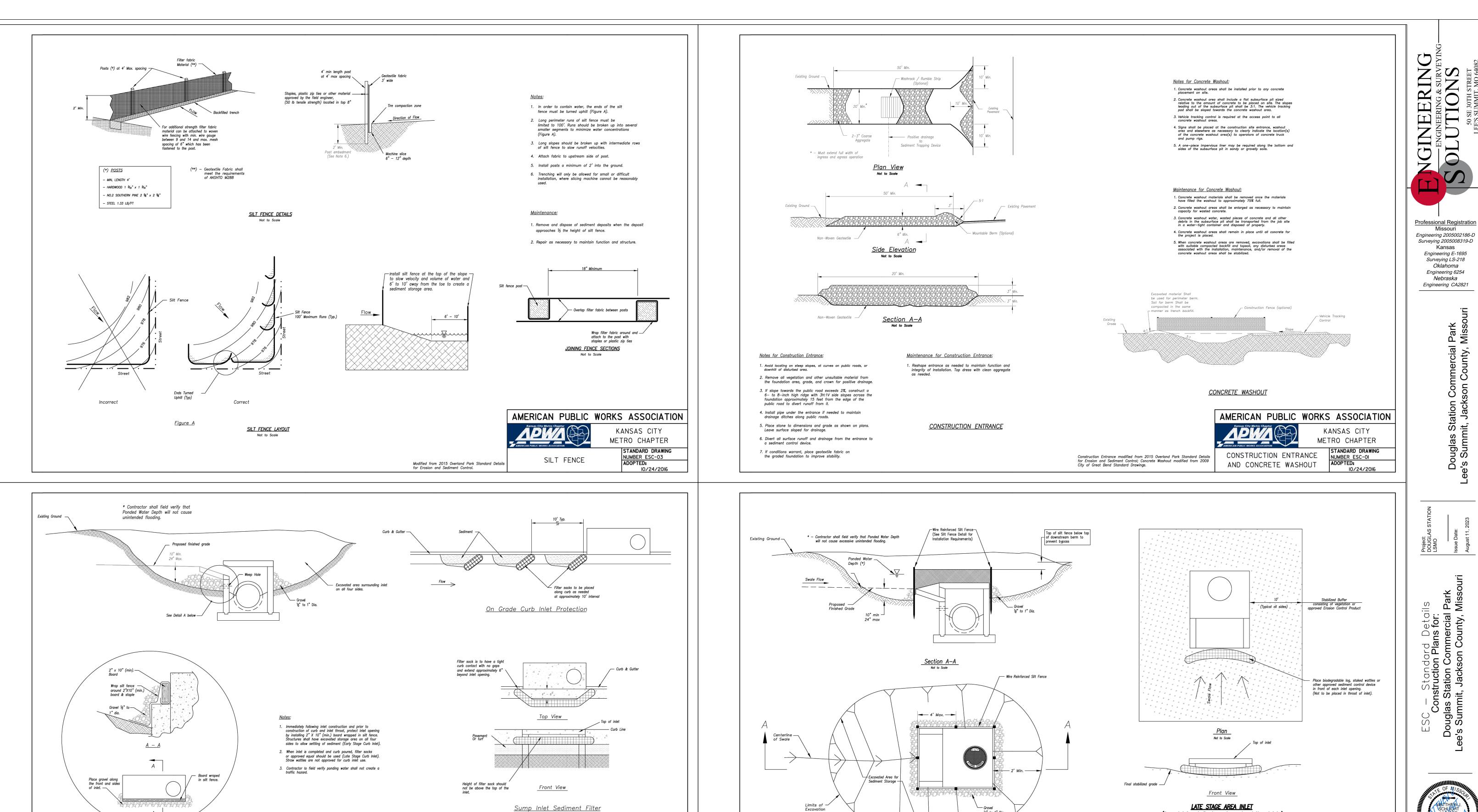


Professional Registration
Missouri Engineering 2005002186-D Surveying 2005008319-D Kansas Engineering E-1695 Surveying LS-218 Oklahoma Engineering 6254 Nebraska Engineering CA2821

for: for: rcial nty, Plans to mercent 00 S-c

Matthew J. Schlicht MO PE 2006019708 KS PE 19071 OK PE 25226 NE PE E-14335

REVISIONS /\ulder REV. 3/7/2024



<u> Maintenance:</u>

<u>Detail A</u>

EARLY STAGE CURB INLET

(Open Box and Prior to Pouring

Curb and Inlet Throat)

been reduced by 20%.

sediment is visible.

1. Remove deposited sediment from excavated storage areas when available storage has

for Erosion and Sediment Control.

2. Remove deposited sediment from filter socks or similar when any accumulation of

3. Repair or replace as necessary to maintain function and integrity

LATE STAGE CURB INLET

(After Pouring Curb and Inlet Throat)

CURB INLET PROTECTION

AMERICAN PUBLIC WORKS ASSOCIATION

KANSAS CITY

METRO CHAPTER

STANDARD DRAWING NUMBER ESC-06
ADOPTED:

½" to 1" Dia.

Not to Scale

EARLY STAGE AREA INLET

(All open boxes and inlets not at final grade)

RELEASED FOR CONSTRUCTION

Development Services Department Lee's Summit, Missouri

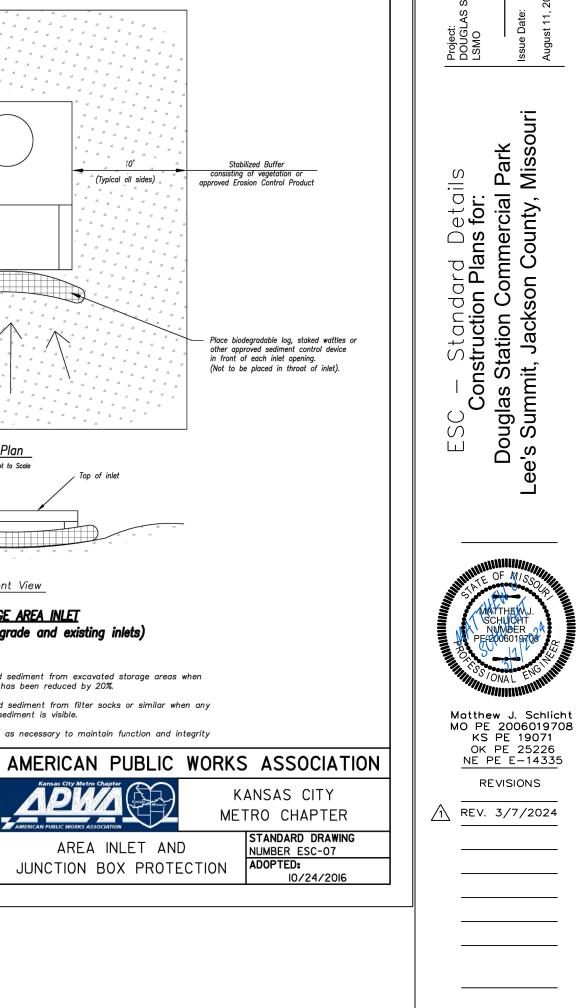
03/26/2025

Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is

Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.

Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.

Wire reinforced silt fence may be used in place of silt fence attached to wood frame.



C.053

(Area inlets at final grade and existing inlets

accumulation of sediment is visible.

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.

2. Remove deposited sediment from filter socks or similar when any

3. Repair or replace as necessary to maintain function and integrity

AREA INLET AND