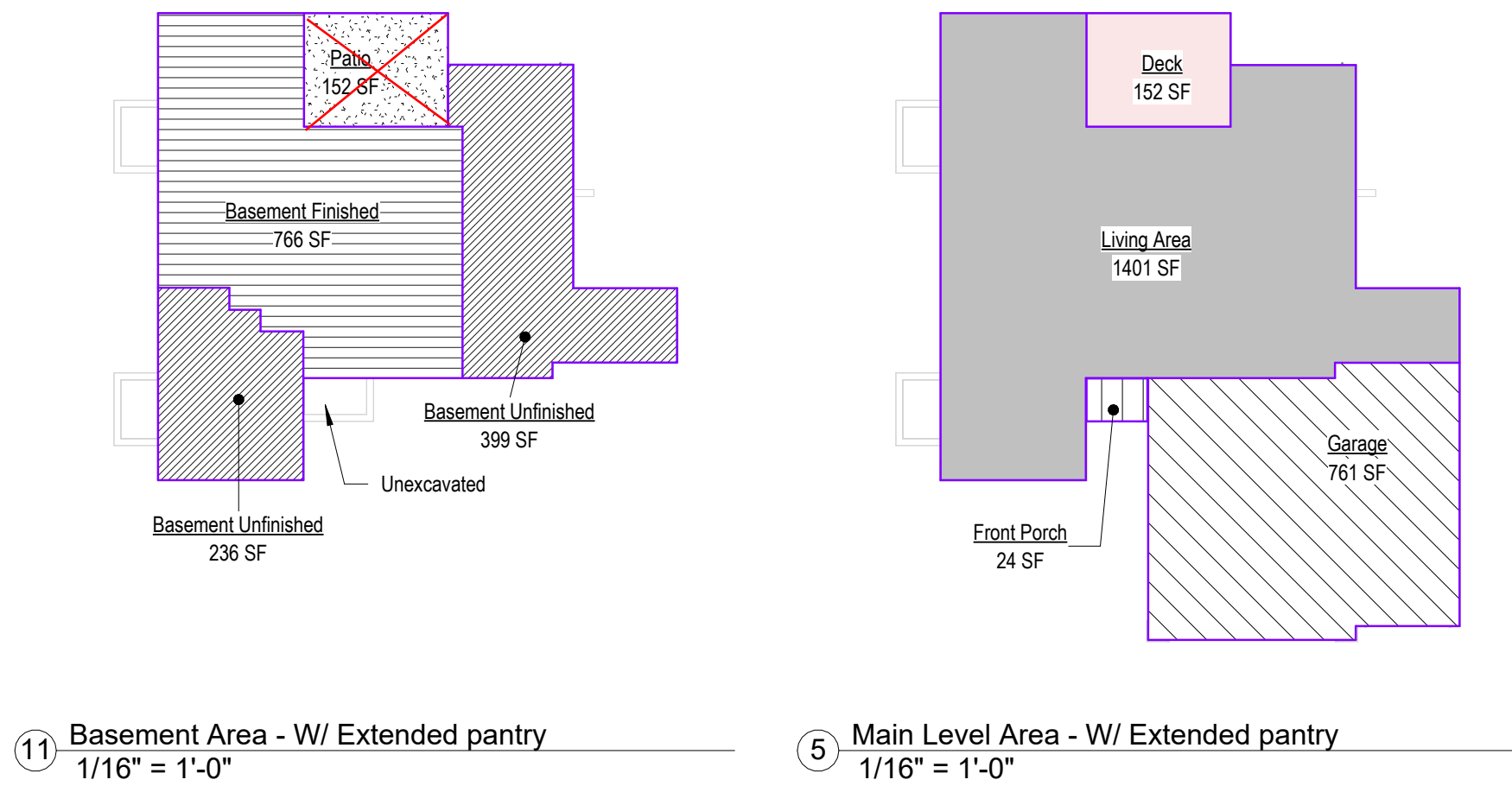
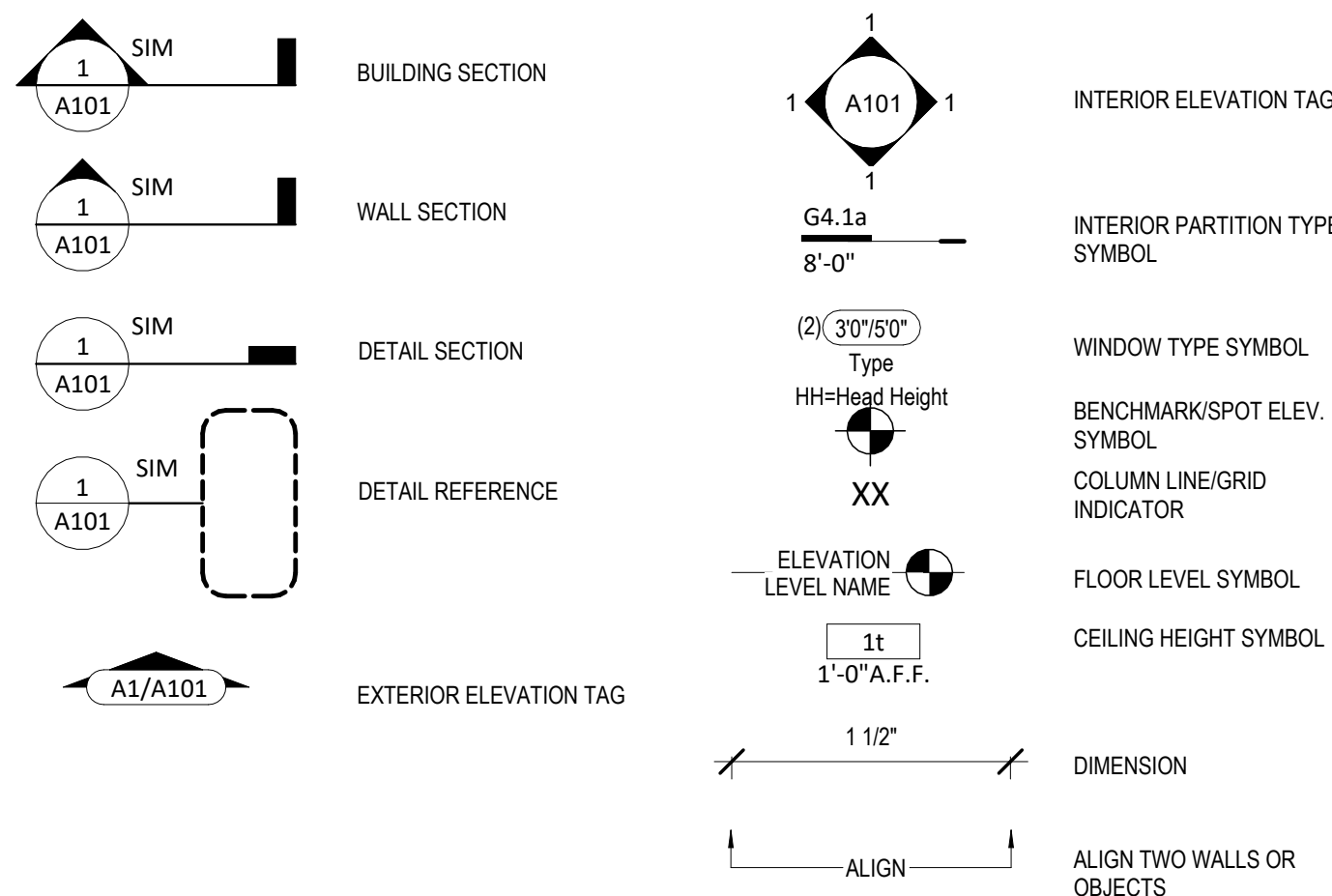
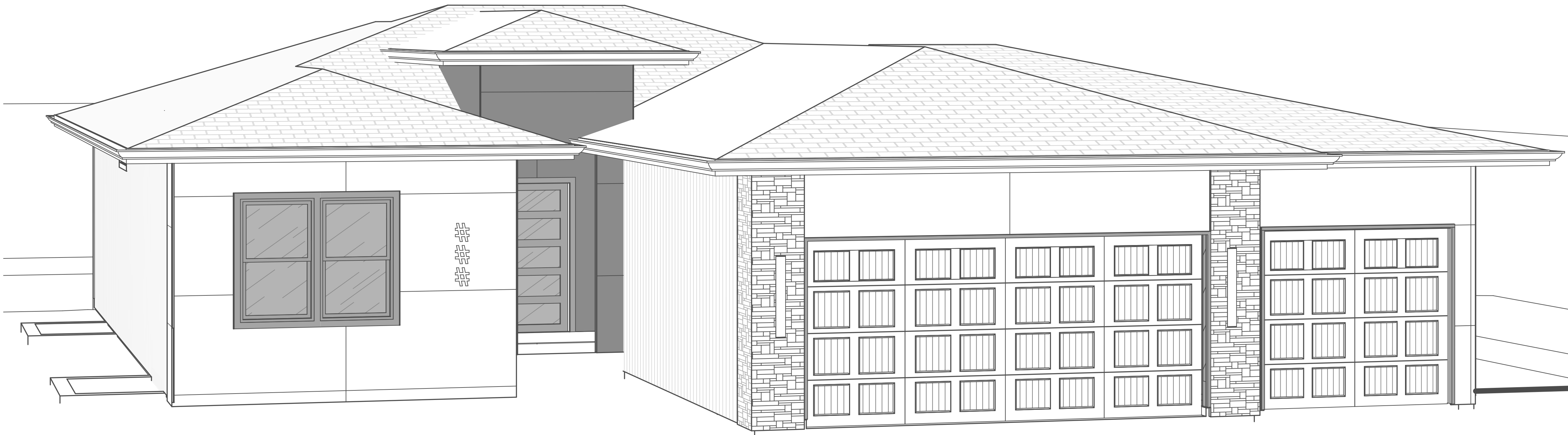


Greystone

LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane, Lee's Summit, MO

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
02/13/2025



General Information

2018 Interior Energy Cons. Code (Table N1102.1.2)	
Doors & Windows:	U-0.32 MAX
Glazing SHGF:	0.40
Skylights:	U-0.55 MAX
Roof	
Attic Ceilings:	R-49 MIN
Vaults:	R-38 MIN
Vaults < 500sf:	R-30 MIN
Wood Frame Walls:	R-20 or R-13 + 5 MIN
Basement Walls:	R-13 or R-10 Continuous
Floor (over unconditioned):	R-19 MIN
Slab on Grade:	R-10 for 24" MIN
Ductwork:	R-8 MIN
Fuel Fired Furnace:	90% AFUE MIN
Electric Furnace:	No Minimum
Cooling System:	13 SEER MIN
Water Heater	
Gas Fired Storage:	0.67 EF MIN
Gas Fired Instant:	0.62 EF MIN
Electric Storage:	0.97 EF MIN
Electric Instant:	0.93 EF MIN

An energy efficient certificate is required to be posted in or on the electrical panel before the final inspection. The certificate will be provided with all new residential permits. It is the permit holder/contractor's responsibility to ensure the certificate has accurate information and is posted before final inspection - Owner/Contractor is responsible for meeting the prescriptive requirements of IRC chapter 11 unless a HER Index Analysis for Performance Compliance based on the plans is submitted to the AHJ for approval.

IRC 2018	
Ground Snow Load:	20PSF
Wind Speed:	115mph
Topography Effects:	No
Seismic Design Category:	A
Damage From Weather:	Severe
Frost Line Depth:	36 inches
Termite:	Moderate to Heavy
Winter Design Temperature:	6 F
Ice Barrier Underlayment:	Yes
Flood Hazard:	
Air Freezing Index:	927 or less
Mean Annual Temperature:	55.5 F

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315)
- Steel columns shall be minimum schedule 40 (R507.2)
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
- Programmable thermostat required (N1103.1.1)
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
- Certain hot water pipes shall be insulated (N1103.4)
- All exhaust fans shall terminate to the building exterior. (M1507.2)
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
- An air handling system shall not serve both the living space and the garage (M1601.6)
- A concrete-Encased grounding electrode (UFER Ground) connection complies with the requirements of the 2018 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
- Garage Door Rating: DASMA 115 MPH Rated



Greystone - Masterplan

HF145 : 2610 SW Firefly Lane, Lee's Summit, MO

Bill & Deanna Gleason

Original Issue Date: 10/1/2021
Permit Set
REVISIONS

Number Description Date



JANUARY 26, 2025

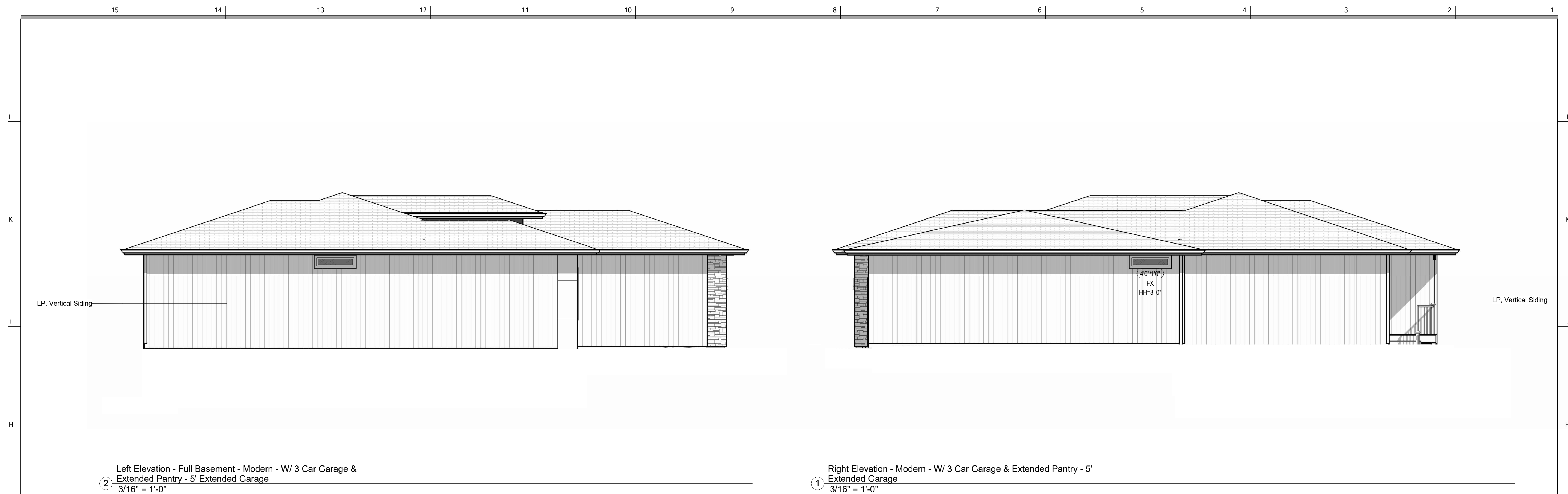
Permit Set

PLAN DESCRIPTION: Cover Sheet

00

Project No.

Greystone - Masterplan



2 Left Elevation - Full Basement - Modern - W/ 3 Car Garage & Extended Pantry - 5' Extended Garage
3/16" = 1'-0"

Right Elevation - Modern - W/ 3 Car Garage & Extended Pantry - 5'
Extended Garage
① $3/16" = 1'-0"$



5 Back Elevation - Full Basement - Modern - Dependent 1
3/16" = 1'-0"

3 Front Elevation - Modern - W/ 3 Car Garage & Extended Pantry - 5' Extended Garage
3/8" = 1'-0"

Note : LP Siding inside Entry / Porch

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



JANUARY 26, 2025

[illegible]

PROJECT
LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane,
Lee's Summit, MO

DRAWING TITLE
Elevations - W/ 3 Car Garage &
Extended Pantry - 5' Extended
Garage
DATE ISSUED

DRAWING NUMBER

A707.3

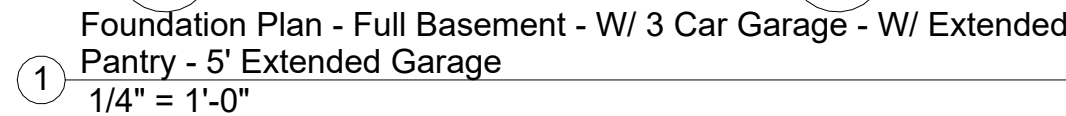
Structural Foundation Schedule						
Type	Width	Length	Depth	Reinforcing		Comments
Footing						
F1	3'-0"	3'-0"	1'-0"	Reinf w/ (6) #4's, rebar count is each way, equal centers		GARAGE PEDISTAL
F2	4'-0"	4'-0"	1'-4"	Reinf w/ (8) #4's, rebar count is each way, equal centers. (8) #4's, vertical rebar count in ped column. Hold ped down 12" Min below gar. door block-down and/or bottom of slab.		
Wall Foundation						
FTG-1	1'-4"	<varies>	0'-8"	Reinf w/ (2) #4 bot. eq. spaced. Dowel into wall w/ (1) #4 turned up @ 12" o.c.		<varies>
Foundation Wall Schedule						
Type	Width	Reinforcing				Comments
C8	0'-8"	Reinf. w/ #4 vert. @ 12" oc/(3)#4 hor. equally spaced.				<varies>

FOOTING FOUNDATION & CONCRETE NOTES

- 1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BARRING AND EXTERIOR BARRING SHALL BE PLACED IN THE TOP 12" OF THE CONCRETE. DO NOT UNDISTURB NATURAL SOIL.
- 2. INTERIOR BARRING TO BE PLACED MIN. 36" BELOW GRADE. STRENGTH
- 3. DESIGN IS BASED ON MOD. OF 2,500 PSI FORT. CONCRETE. GRADES TO ACHIEVE THE FOLLOWING BENDING MOMENTS:
 - 3.000 PSF FOR CONCRETE FOUND. WALLS & 1/2" SLOPE
 - 3.000 PSF FOR GARAGE FLOOR
- 4. CONC. EXPOSED TO WEATHER SHALL HAVE 6%+1% AIR ENTRAINMENT
- 5. 100% TOP REINFORCING SHALL BE USED FOR ALL CONCRETE. TOP REINFORCING FOR PEDESTALS AS INDICATED (4# X 17" @ 4' ON E.W. PLACE OVER 8" V. BARR. LABOR BARRIER)
- 6. PROVIDE EXTERIOR FOOTINGS WITH 2# @ 24" E.W. REINFORCE W/ #2 @ 48" ON INT. BARRING
- 7. PROVIDE 4# X 17" @ 4' ON REEFS/RES. @ REINVENT CORNERS
- 8. 12"X17"1/2" ASTM A367 ANCHOR BOLTS @ 48" ON C. @ EXT. WALLS
- 9. 12"X17"1/2" ANCHOR BOLTS TREATED PLATE @ INT. BEARING WALLS 1/2" @ 48" ON C. @ EXT. WALLS
- 10. PROVIDE 2" LAP SINS. INCLUDING CORNERS
- 11. INSTALL HOLDDOWN BOLT ANCHORAGE AS INDICATED ON PLAN
- 12. PROVIDE BATTING MIN. 1" THICK FOR ALL CONCRETE
- 13. SOIL BEARING CAPACITY NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE SUBGRADE
- 14. FOR FOUNDATION DESIGN, ALL COMPLETED FILL AREAS REQUIRE A SPECIAL INSPECTION

Diagram illustrating the placement of a partition within a wall section. The partition is labeled **G4.1a** and is 8'-0" high. The diagram shows the partition material type, nominal stud/partition thickness, fire rating or other modifier, and partition height.

- Partition Material Type
- Nominal Stud/Partition Thickness
- Fire Rating or other modifier
- G4.1a**
- 8'-0"
- Partition Height. Omitted at walls spanning full height



Greystone - Masterplan

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REVISIONS

[illegible]

DRAWING TITLE
Foundation Plan - Full Basement -
W/ 3 Car Garage - W/ Extended
Pantry - 5' Extended Garage

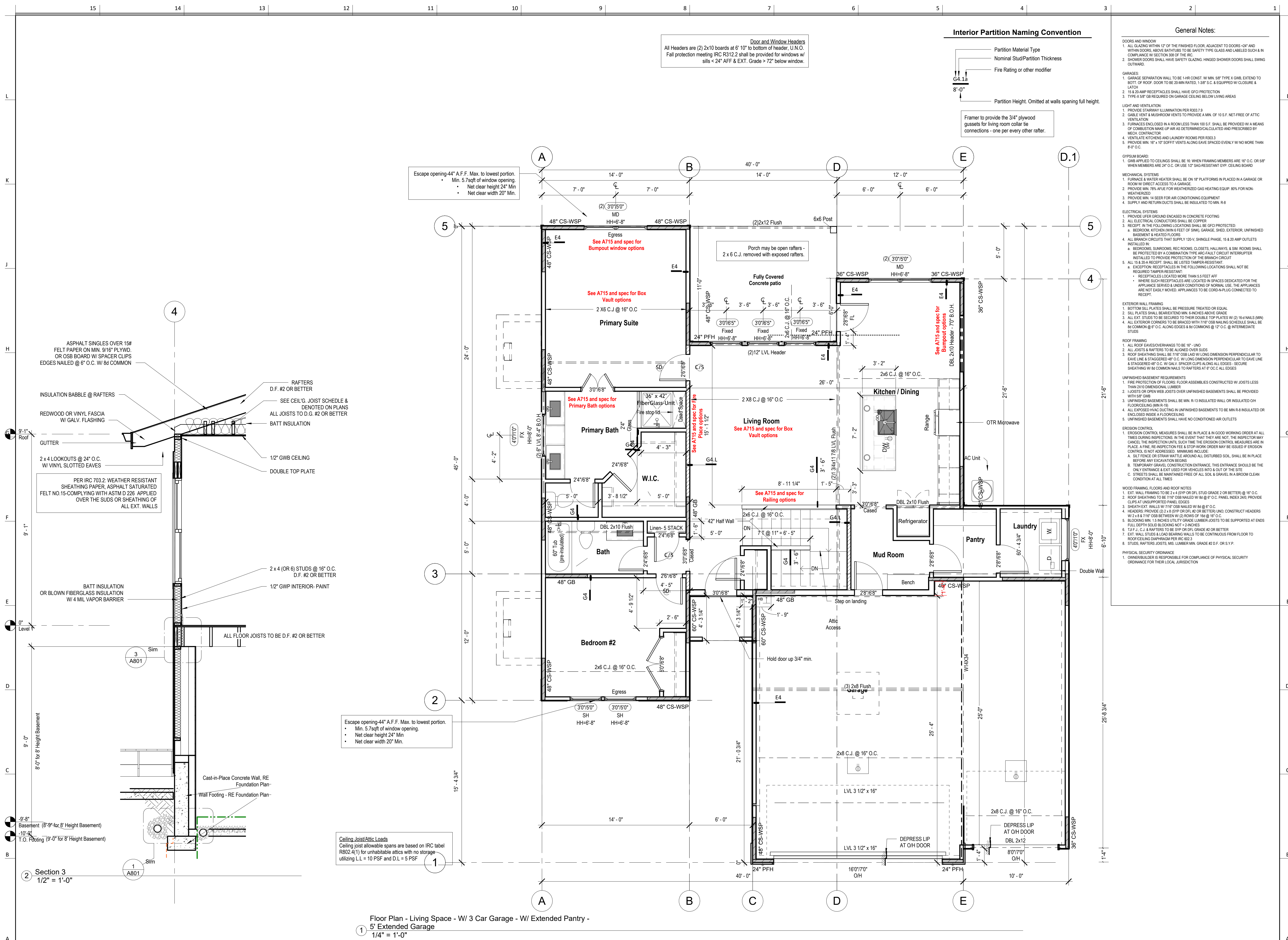
DATE ISSUED

A708.1



DRAWING TITLE
Floor Plan - Main Level - W/ 3 Car
Garage - W/ Extended Pantry - 5'
Extended Garage
DATE ISSUED

A708.3



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PROJECT
LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane,
Lee's Summit, MO

DRAWING NUMBER

A708.4



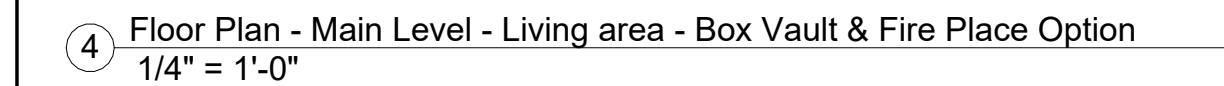
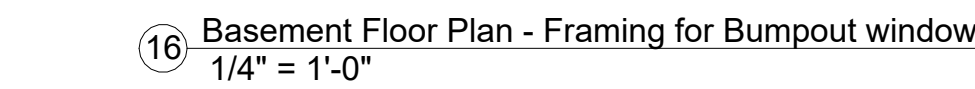
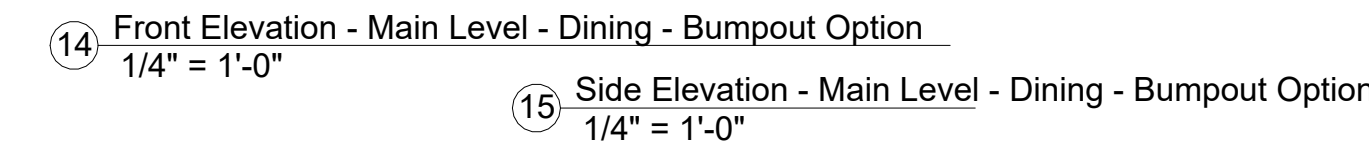
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PROJECT
LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane,
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DATE ISSUED

A715



Greystone - Masterplan

architect:
Elevate Design + Build
1040 SW Luttrell Road
Blue Springs, MO 64015
816.622.8826 voice
www.elevatedesignbuildkc.com

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JANUARY 26, 2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT
LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane,
Lee's Summit, MO

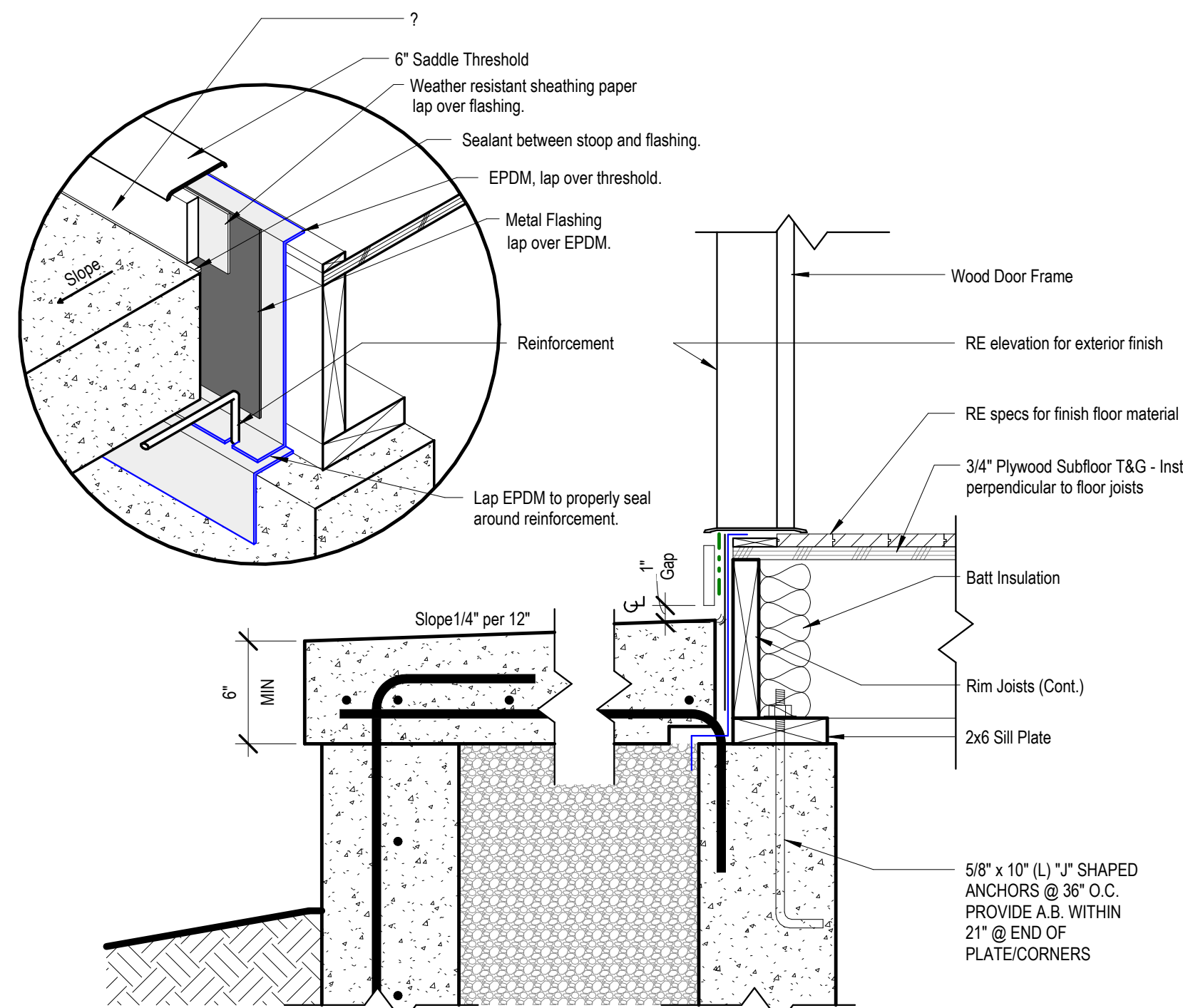
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Details

DATE ISSUED

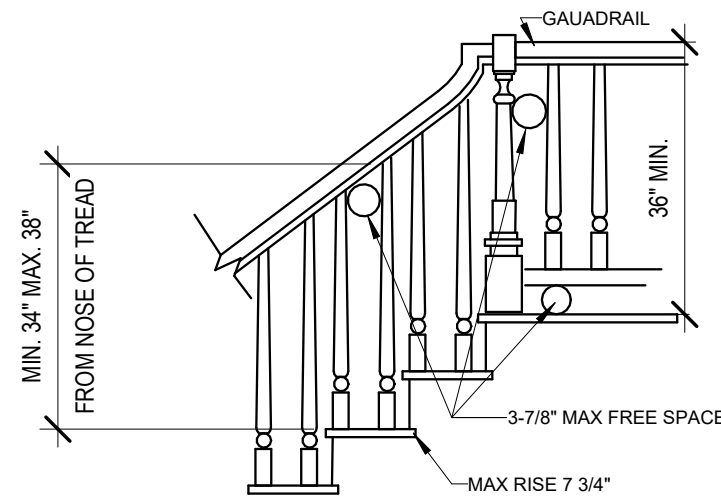
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A801

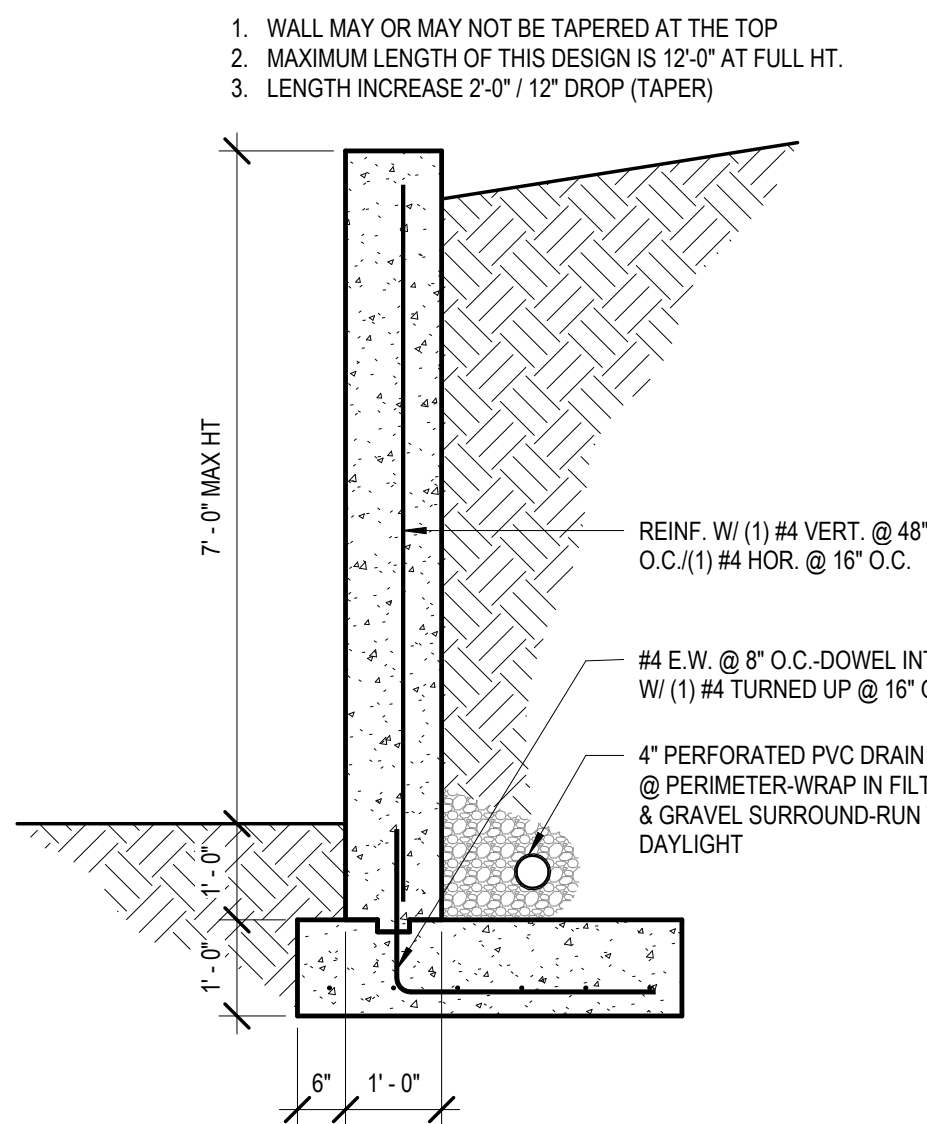
02/13/2025



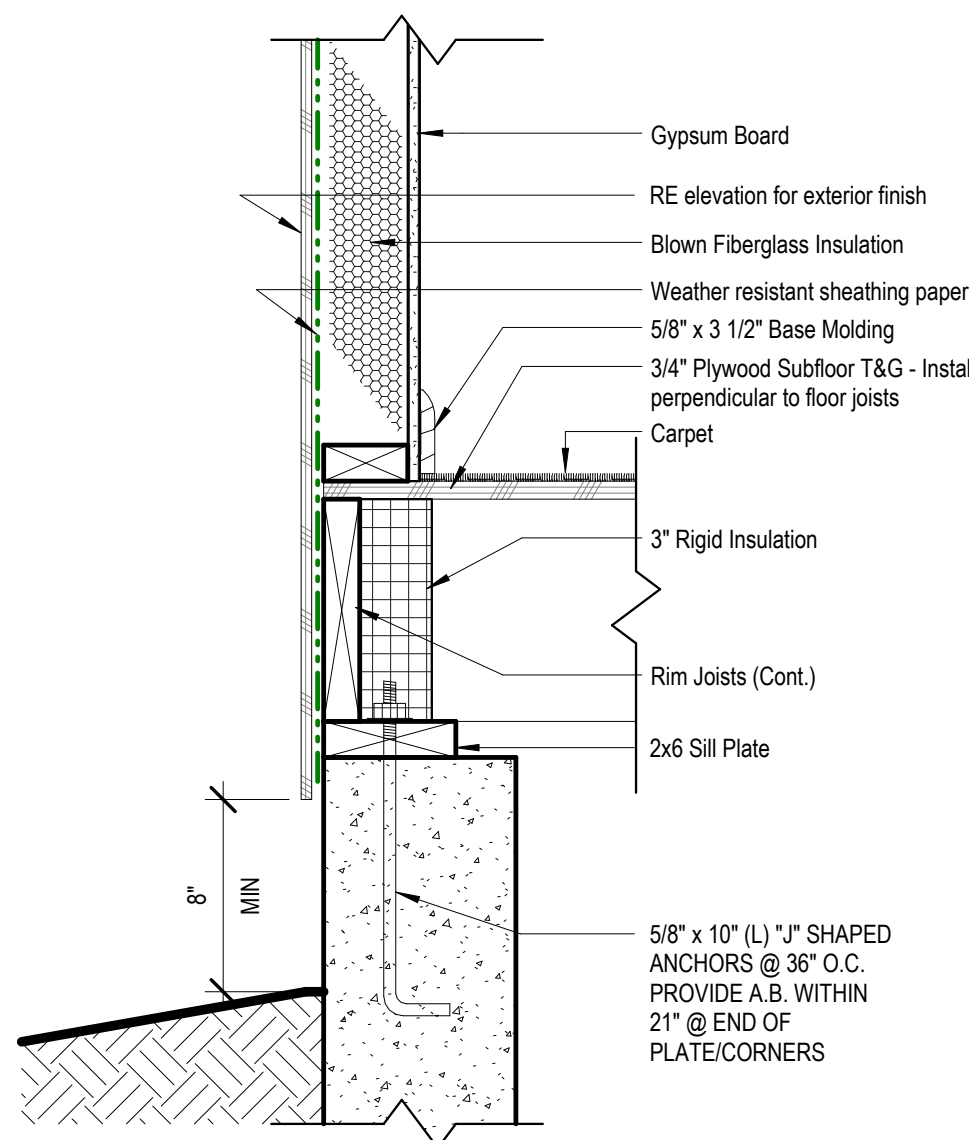
5 Detail - Front Stoop
1 1/2" = 1'-0"



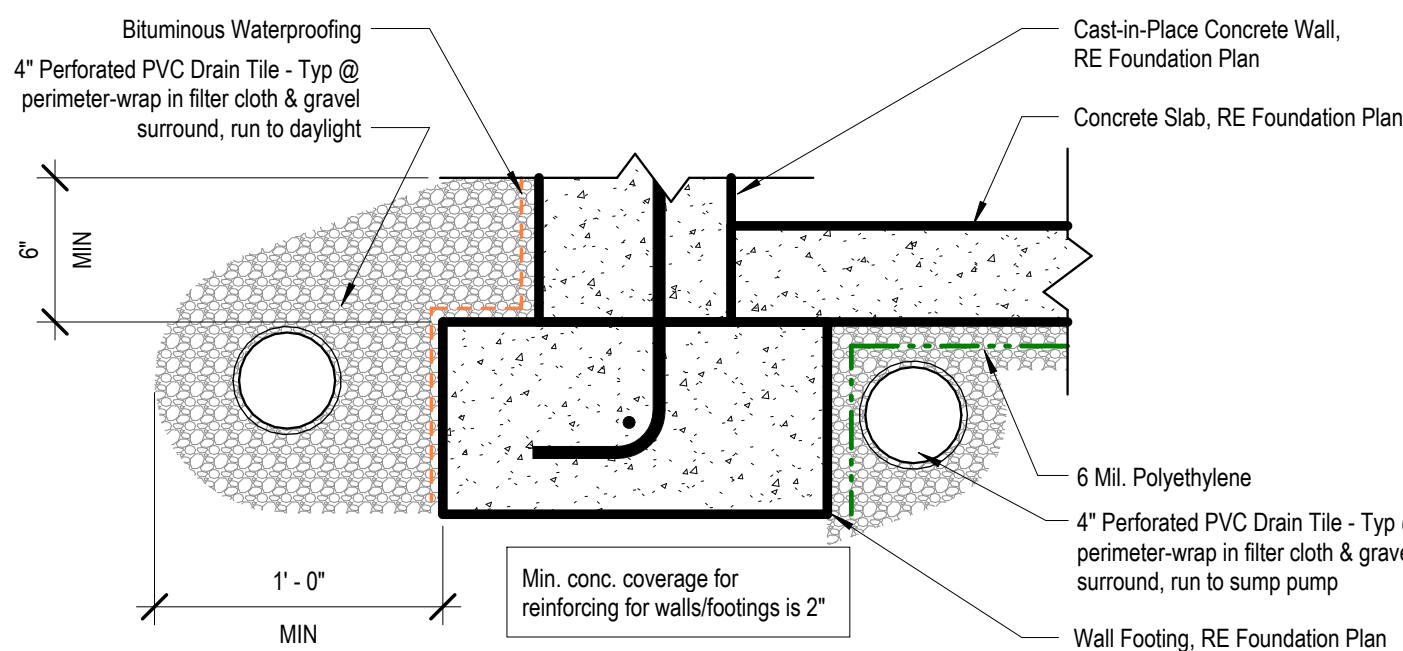
6 TYP STAIR SECTION/REQUIREMENTS1
3/8" = 1'-0"



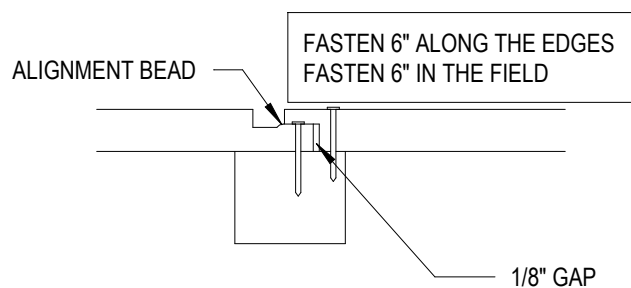
4 RETAINING WALL DESIGN1
1/2" = 1'-0"



3 Detail - Top of Foundation Wall1
1 1/2" = 1'-0"

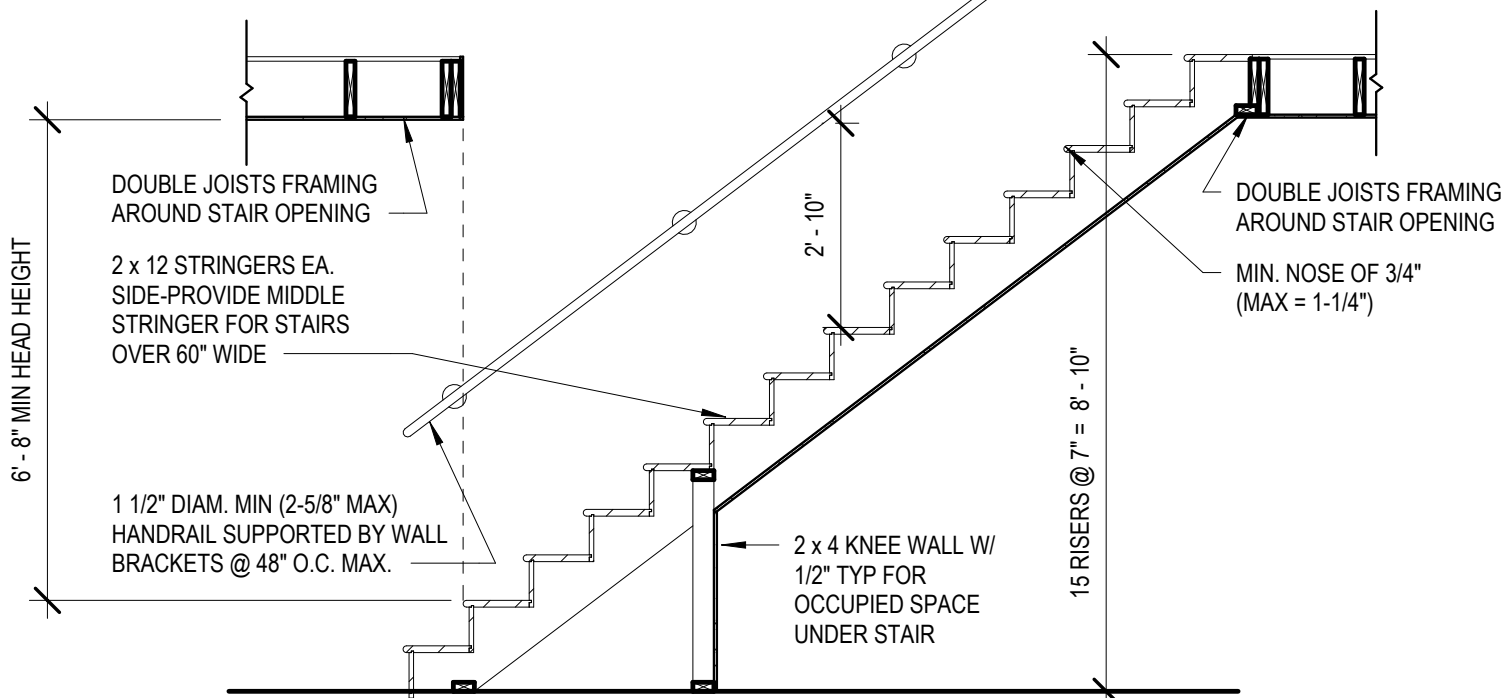


1 Detail - Footing
1 1/2" = 1'-0"

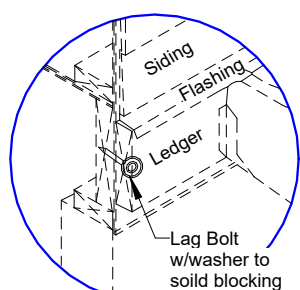


2 SMARTSIDE PANEL NAILING PATTERN1
3" = 1'-0"

PER IRC: THE MAX. RISE ALLOWED IS 7.75 INCHES AND THE MIN TEAD IS 10 INCHES MEASURED NOSE TO NOSE



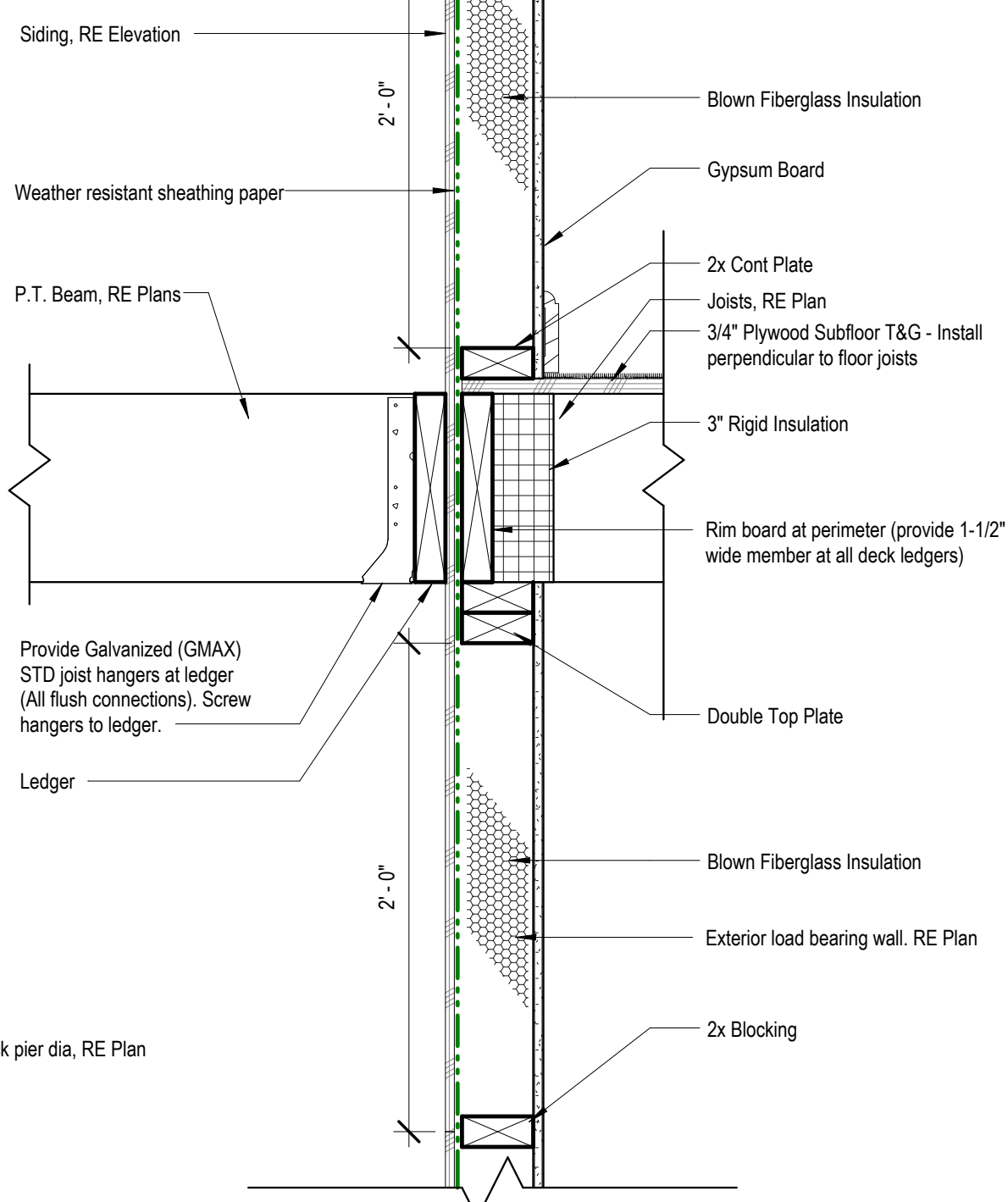
6 TYP STAIR SECTION/REQUIREMENTS1
3/8" = 1'-0"



Deck Ledger Attachment

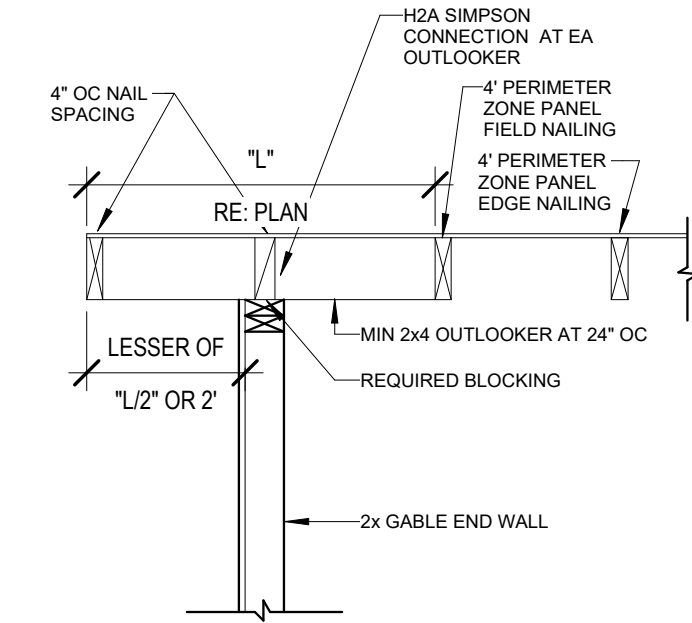
- (2) Lags required at EA. end 2" from ends.
- Provide 1 X 4 treated spaced behind EA. lag.
- Provide lags in EA. joist space w/ (2) every other space, 2" from edges
- MIN size lag is 1/2" diam x 6" length
- Provide flashing between rim joists & ledger.

Sheathing shall be continuous at floor with no splices within 2' of top and bottom plates.

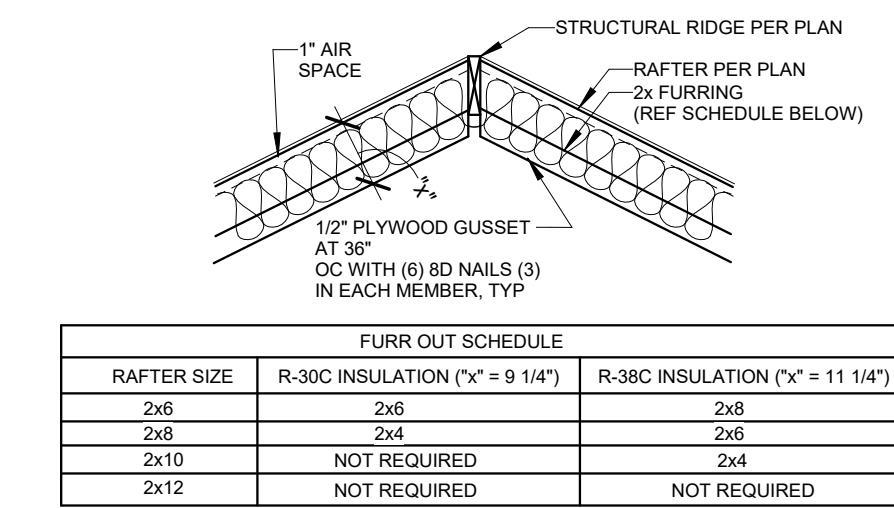


10 Lateral Deck Connection
1 1/2" = 1'-0"

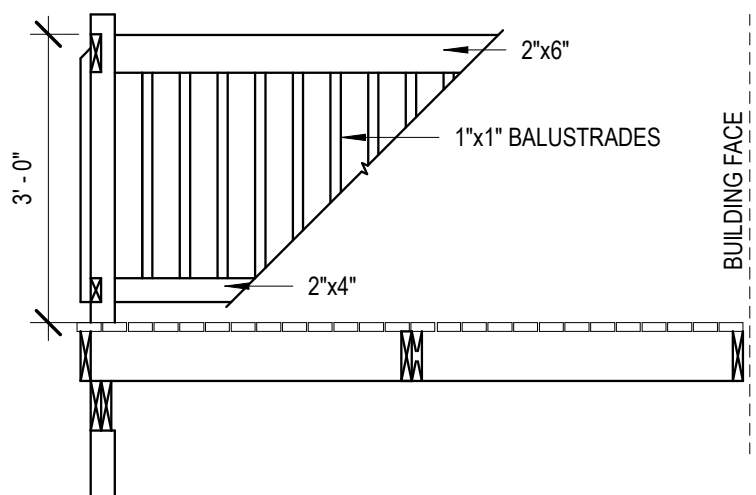
7 Gable Framing Requirements
1" = 1'-0"



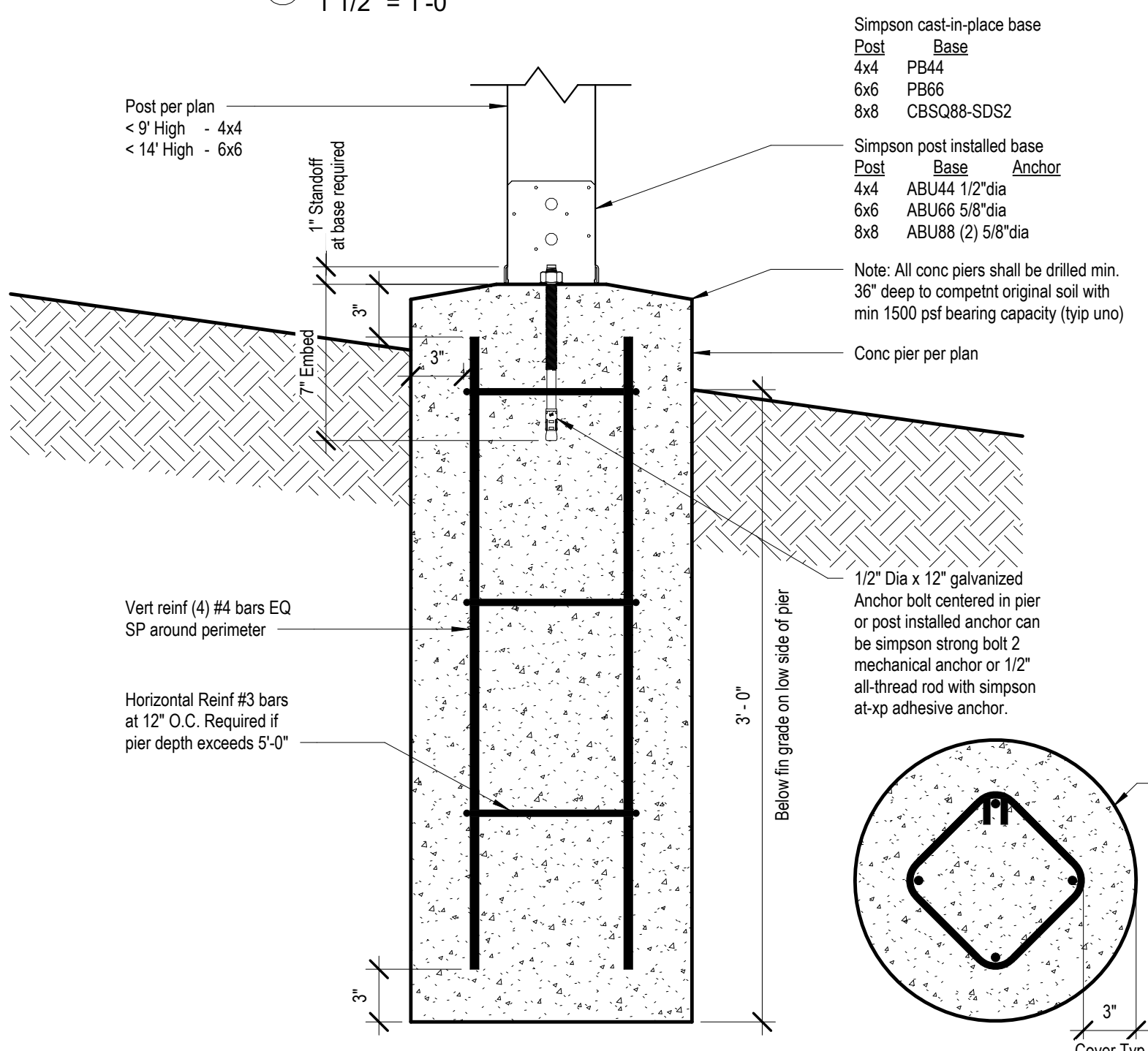
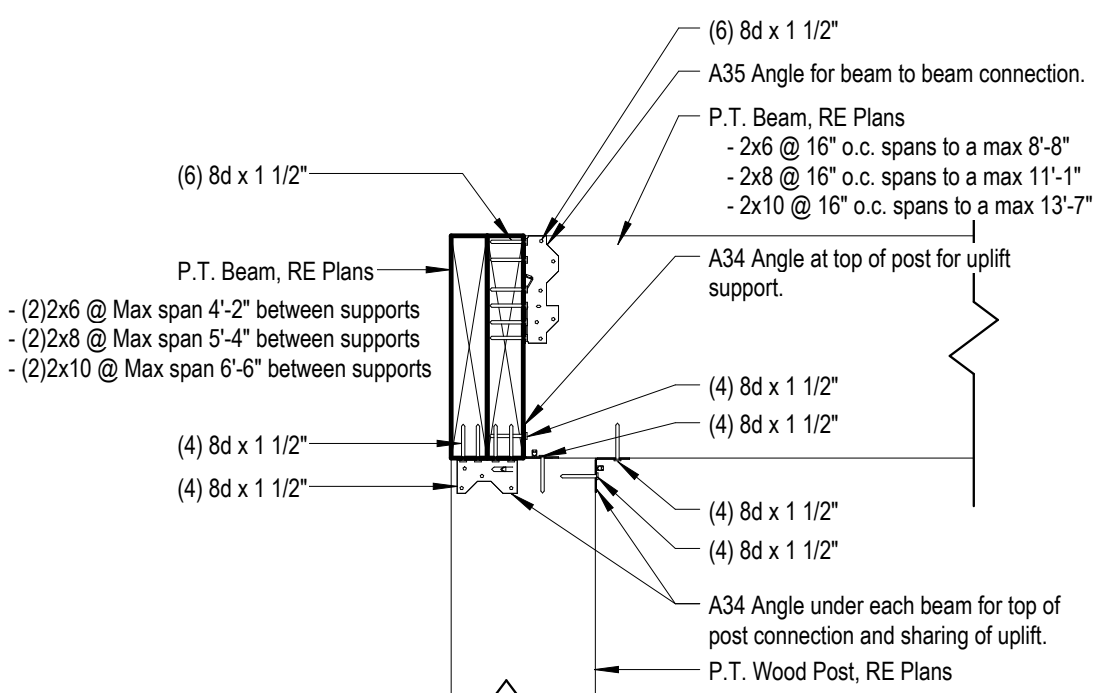
12 Rafter Furr Down Requirements
1" = 1'-0"



11 Deck Railing
1/2" = 1'-0"



8 Post to Beam Connection
1 1/2" = 1'-0"



9 Typ Details for Post/Pier
1 1/2" = 1'-0"

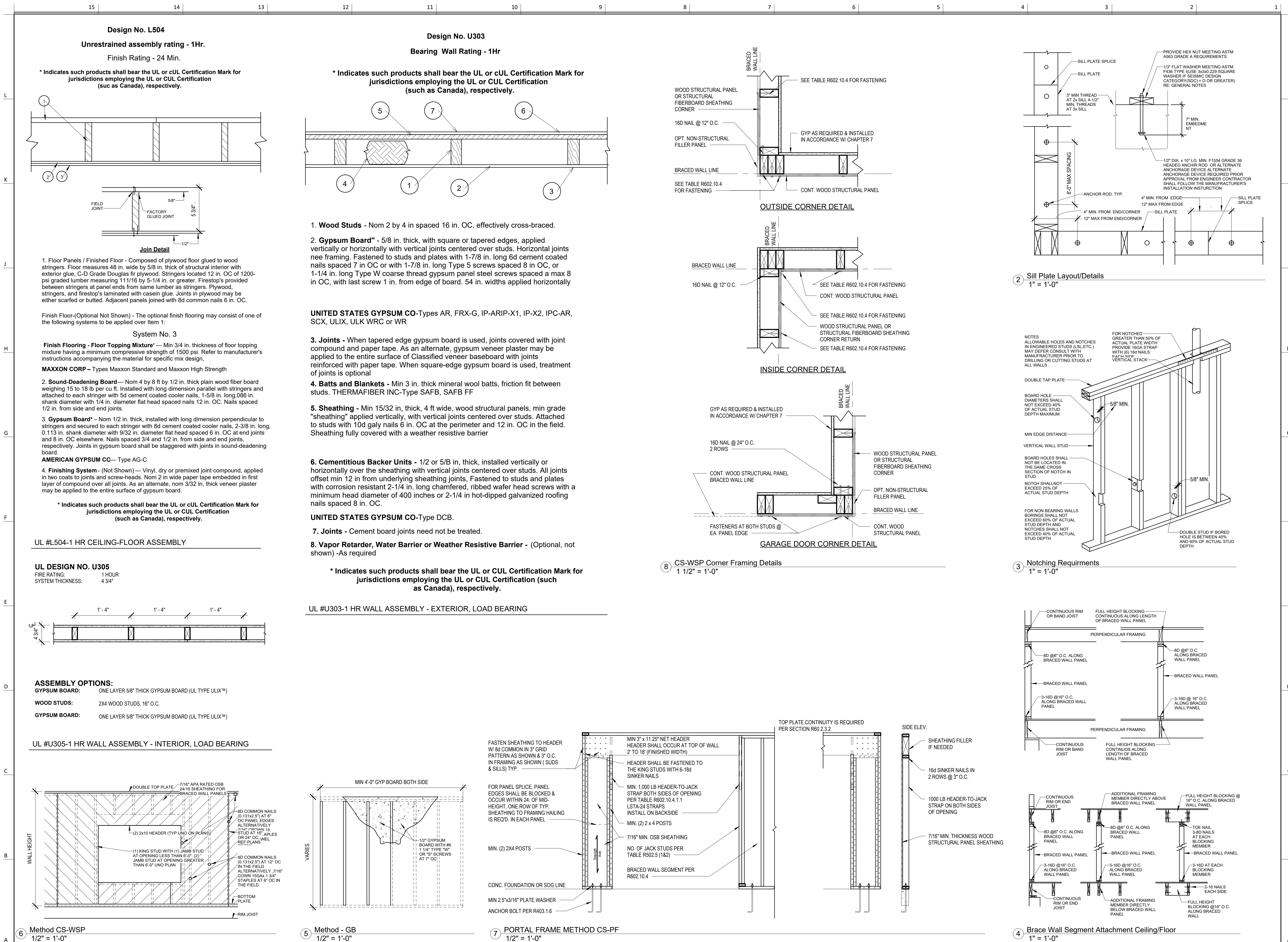


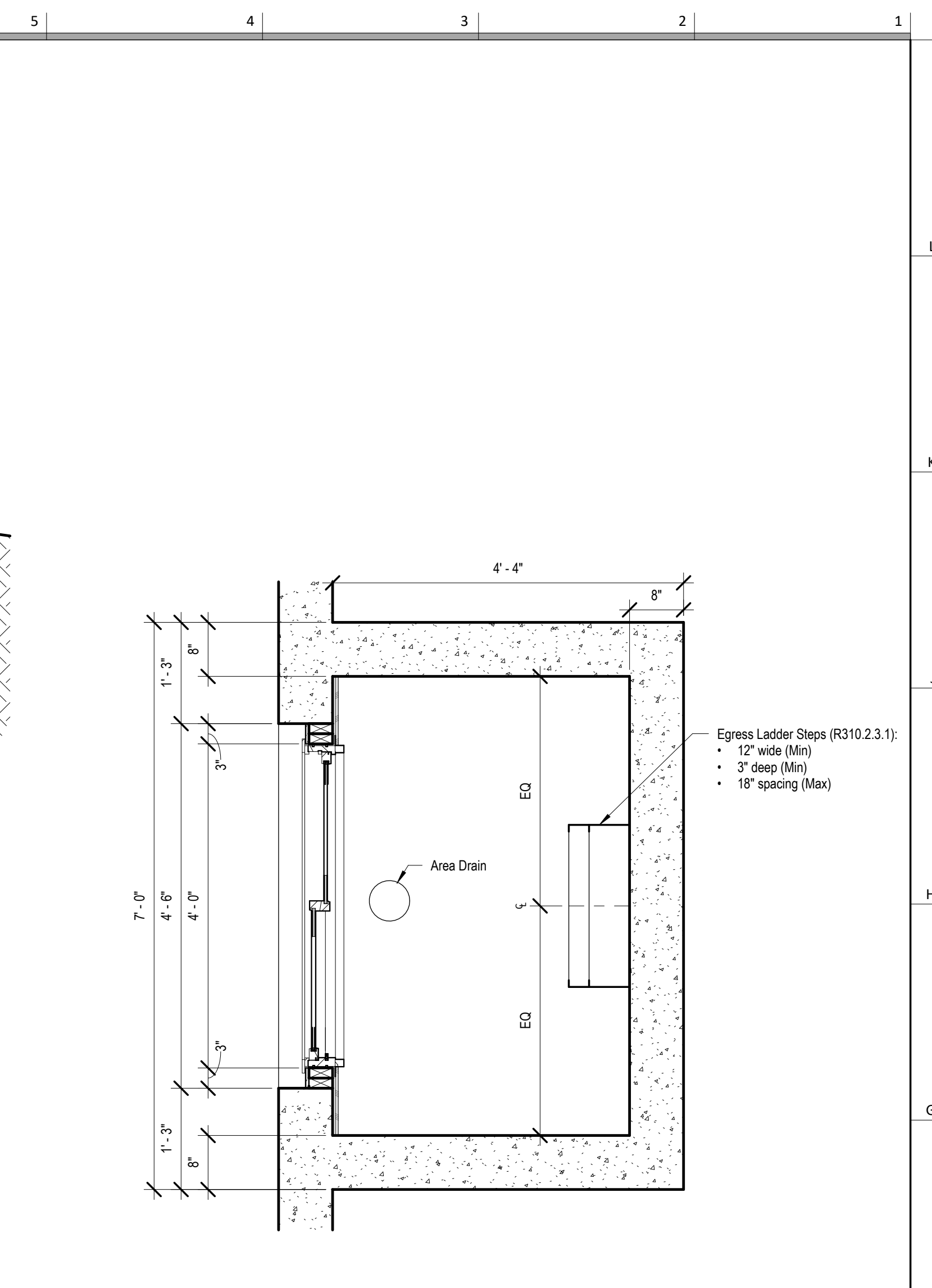
PROJECT
LOT: 145 Hook Farms 2nd Plat
ADDRESS: 2610 SW Firefly Lane,
Lee's Summit, MO

DATE ISSUED

DRAWING NUMBER

A802





- 12" wide (Min)
- 3" deep (Min)
- 18" spacing (Max)

A803