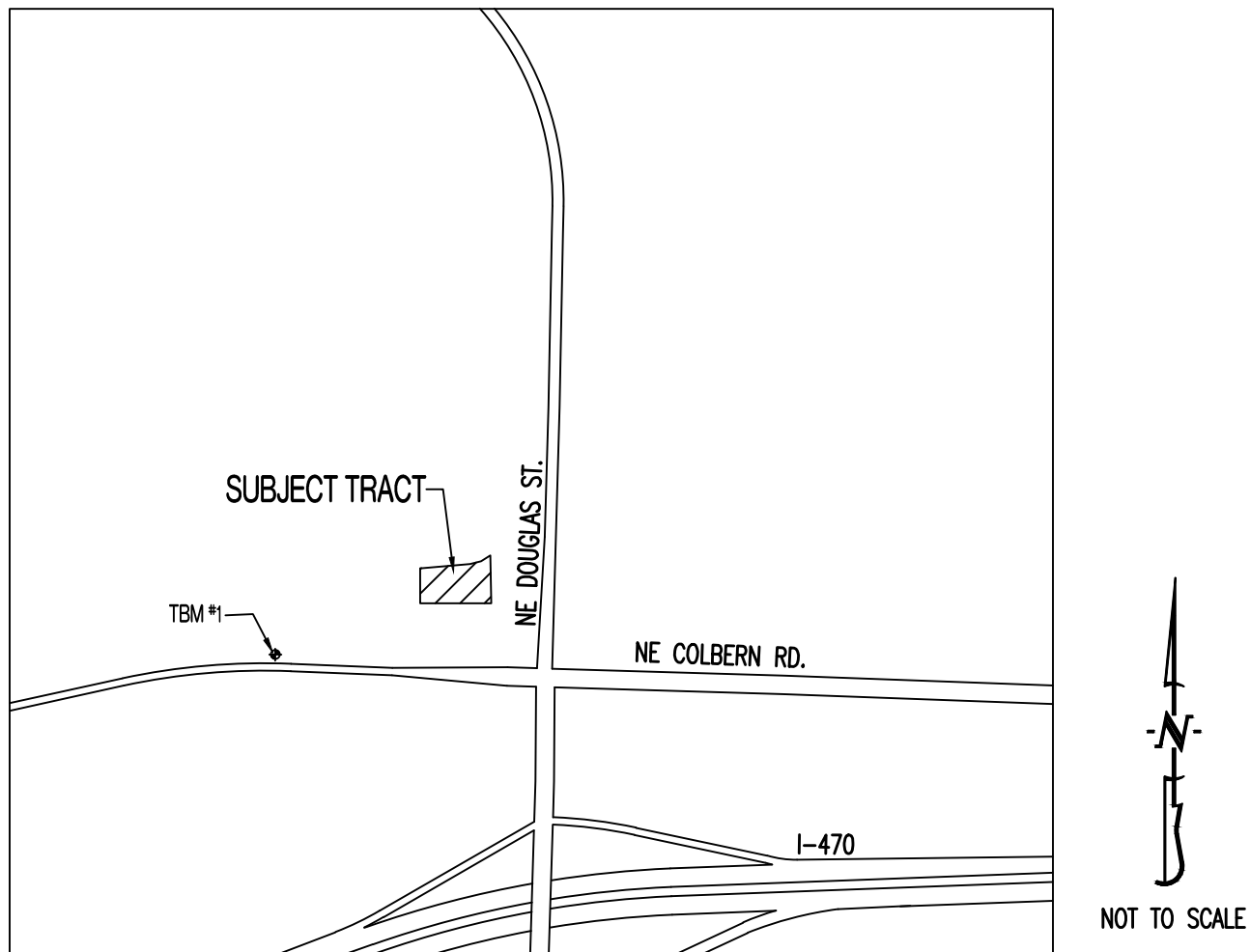


THE VILLAGE AT DISCOVERY PARK

LOT 4

LOCATION MAP



PROJECT BENCHMARK:

TBM #1 – CONTROL POINT #50 SET BY OLSSON. 1/2" IMBEDDED CAP ON NORTH SIDE OF NW COLBERN RD. LOCATED AT 1ST FIELD ENTRANCE.
NORTHING = 1012389.819
EASTING = 2822108.784
ELEVATION = 990.810
REFER TO "PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1" PLANS BY OLSSON DATED 10/18/2023 FOR MORE INFORMATION.

FLOOD PLAIN STATEMENT:

THIS LOT IS LOCATED IN ZONE X UNSHADED – AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEMA F.I.R.M. PANEL #290950C0409G, DATED JANUARY 20, 2017.

LEGAL DESCRIPTION:

VILLAGE AT DISCOVERY PARK, LOT 4. A SUBDIVISION IN JACKSON COUNTY, LEE'S SUMMIT, MISSOURI.

UTILITY COMPANIES:

LOCATES:

MISSOURI ONE CALL INC.
1022 B NORTHEAST DRIVE
JEFFERSON CITY, MO 65109
1-800-344-7483



ELECTRIC:

EVERGY
816-524-3223

TELEPHONE:

AT&T
800-286-8313

NATURAL GAS:

SPIRE
314-342-0500

CABLE TELEVISION:

SPECTRUM
877-772-2253

WATER/SANITARY SEWER:

CITY OF LEE'S SUMMIT
WATER UTILITIES DEPARTMENT
1200 S HAMLEN RD
LEE'S SUMMIT, MO 64081
816-969-1900

FIBER:

GOOGLE FIBER
877-454-6959

GENERAL NOTES:

ALL STREET, STORM DRAIN, AND SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT "DESIGN AND CONSTRUCTION MANUAL" (CURRENT EDITION).

ANY CITY DETAILS SHOWN ON THIS SET OF PLANS ARE FOR REFERENCE ONLY. CONTRACTOR TO HAVE A COPY OF THE CITY'S LATEST EDITION OF SPECIFICATIONS AND STANDARDS FOR ALL STREET, STORM, AND SANITARY CONSTRUCTION ON SITE AT ALL TIMES DURING CONSTRUCTION. REFER TO <https://cityofls.net/development-services/design/design-criteria/design-construction-manual-infrastructure>

CONTRACTOR WILL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TRAFFIC CONTROL DEVICES NECESSARY TO COMPLETE THEIR PORTION OF WORK. THE DEVICES AND METHODS EMPLOYED WILL COMPLY WITH THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ALL CONCRETE MATERIALS SHALL CONFORM TO KCMMB STANDARDS AND SPECIFICATIONS.

THIS PLAT CONTAINS APPROXIMATELY 1.49 ACRES.

THIS TRACT IS ZONED PMIX.

THE STORM SEWER NETWORK DESIGN FOR THIS PROJECT IS BASED ON OPEN CHANNEL FLOW; THEREFORE THE HYDRAULIC GRADE LINE IS AT OR LESS THAN THE CROWN OF THE PIPE.

EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION.

ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTIONS 319.010-319.050, REVISED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.

A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, GROUNDWATER CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL SATISFY THEMSELVES OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.

ALL LAND DISTURBANCE ACTIVITIES SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES. REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR NARRATIVE REPORT AND BMP DESCRIPTIONS AND DETAILS.

ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE MDNR CLEAN WATER COMMISSION.

ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEEDED, AND MULCHED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.

ALL HDPE PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL FOR PIPE BEDDING REQUIREMENTS.

IN ORDER TO TERMINATE A STATE OPERATING PERMIT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) REQUIRES THAT THE PERMITTEE SUBMIT A COMPLETED FORM H (INCLUDED WITH THE APPROVAL PERMIT) TO THE MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHALL BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. A COPY OF FORM H SHOULD BE SUBMITTED TO THE CITY AT WHICH TIME THE CITY WILL REMOVE THE PROJECT FROM ITS INSPECTION SCHEDULE.

LAND DISTURBANCE SITES SHOULD BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 48 HOURS AFTER ANY STORM EVENT EQUAL TO OR GREATER THAN A 2-YEAR, 24-HOUR STORM HAS CEASED DURING A NORMAL WORK DAY OR WITHIN 72 HOURS IF THE RAIN EVENT CEASES DURING A NON-WORK DAY SUCH AS A WEEKEND OR HOLIDAY. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT. CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THEIR INSPECTION REPORTS REQUIRED BY THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON A MONTHLY BASIS IF REQUESTED.

NO OIL AND GAS WELLS EXIST ON THIS TRACT ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMIT DATABASE.

THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.

TOTAL DISTURBED AREA ON SITE = 1.82 AC.

MISSOURI DNR LAND DISTURBANCE PERMIT NUMBER MORA23630.

DEVELOPER :

DISCOVERY PARK LEE'S SUMMIT, LLC.
4220 PHILLIPS FARM RD.
COLUMBIA, MO 65201
573-615-2252

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE	ORIGINAL 06/14/24	REVISION 1 07/26/24	REVISION 2 08/30/24	ESI #1 10/15/24	ADD 004 01/23/25
CE 1.0	COVER SHEET	X	X			
CE 1.1	CIVIL SPECIFICATIONS	X				
CE 2.1	EROSION CONTROL PLAN	X				
CE 2.2	EROSION CONTROL DETAILS	X				
CE 3.0	OVERALL GRADING PLAN	X				
CE 3.1	GRADING PLAN SHEET 1	X				X
CE 3.2	GRADING PLAN SHEET 2	X				
CE 3.3	GRADING PLAN SHEET 3	X				
CE 3.4	GRADING PLAN SHEET 4	X				
CE 4.1	UTILITY PLAN	X	X	X		
CE 5.1	STORM PROFILE & DETAILS	X	X		X	
CE 5.2	STORM DETAILS CONTD	X	X			
CE 5.3	25-YR STORM CALCULATIONS	X	X			
CE 5.4	100-YR STORM CALCULATIONS	X	X			
CE 6.1	SITE PLAN	X	X			X
CE 7.1	DETAILS SHEET 1	X				
CE 7.2	DETAILS SHEET 2	X	X			
CE 7.3	DETAILS SHEET 3	X	X			
CE 7.4	LEE'S SUMMIT DETAILS SHEET 1	X				
CE 7.5	LEE'S SUMMIT DETAILS SHEET 2	X				
CE 8.1	LANDSCAPING PLAN		X			

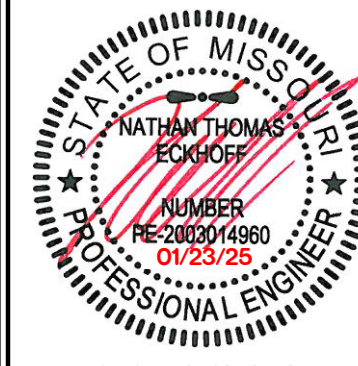
LEGEND OF SYMBOLS:

---	EXISTING CURB	FF-XXXX	FINISHED FLOOR OF STRUCTURE
=====	PROPOSED CURB	XXXX.XX TC	PROPOSED TOP OF CURB ELEVATION
[Pattern]	RIP RAP	XXXX.XX TP	PROPOSED TOP OF PAVEMENT ELEVATION
[Pattern]	EXISTING STRUCTURE	XXXX.XX FG	PROPOSED FINISHED GRADE ELEVATION
[Pattern]	EXISTING TREELINE	XXXX.XX TW	PROPOSED TOP OF WALL
-----	PROPOSED TREELINE	XX	LOT NUMBER
---o---o---	EDGE OF WATERWAY	X	STORM SEWER STRUCTURE LABEL
---W---	EXISTING WATERLINE	X	SANITARY SEWER STRUCTURE LABEL
---W---	PROPOSED WATERLINE	HP.	HIGH POINT
---G---	EXISTING GAS LINE	LP.	LOW POINT
---G---	PROPOSED GAS LINE	[Symbol]	EXISTING SIGNS
---T---	EXISTING TELEPHONE	[Symbol]	EXISTING POWER POLE
---FO---	EXISTING FIBER OPTIC	[Symbol]	EXISTING GAS VALVE
---OE---	EXISTING OVERHEAD ELECTRIC	[Symbol]	EXISTING WATER VALVE
---UE---	EXISTING UNDERGROUND ELECTRIC	[Symbol]	EXISTING GAS METER
---UE---	PROPOSED UNDERGROUND ELECTRIC	[Symbol]	EXISTING WATER METER
---OETV---	EXISTING OVERHEAD ELEC. & TV	[Symbol]	EXISTING FIRE HYDRANT
---OETV---	EXISTING OVERHEAD ELEC., TV & TELE.	[Symbol]	MANHOLE
---S---	EXISTING SANITARY SEWER	[Symbol]	EXISTING SANITARY SEWER LATERAL
---S---	PROPOSED SANITARY SEWER	[Symbol]	PROPOSED SANITARY SEWER LATERAL
.....XXX.....	EXISTING MINOR CONTOUR	[Symbol]	PROPOSED TRACER WIRE TEST STATION BOX
---XXX---	EXISTING MAJOR CONTOUR	[Symbol]	EXISTING AIR CONDITIONER
---XXX---	PROPOSED MINOR CONTOUR	[Symbol]	EXISTING TELEPHONE PEDESTAL
---XXX---	PROPOSED MAJOR CONTOUR	[Symbol]	EXISTING ELECTRICAL TRANSFORMER
	100 YEAR FLOOD PLAIN	[Symbol]	EXISTING ELECTRIC METER
	FLOODWAY	[Symbol]	EXISTING LIGHT POLE
---	ORDINARY HIGH WATER MARK	[Symbol]	EXISTING GUY WIRE
---	STREAM SIDE BUFFER		
-----	OUTER STREAM BUFFER		
[Pattern]	PROPOSED CONCRETE PAVEMENT	[Pattern]	PROPOSED BUILDING FOOTPRINT
[Pattern]	PROPOSED CONCRETE PAVEMENT IN PARKING GARAGE	[Pattern]	PROPOSED HEAVY DUTY PAVEMENT

REVISIONS:

NO.	DATE
ORIGINAL	06/14/2024
REV. 1	07/26/2024

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY



NATHAN THOMAS ECKHOFF
MO LICENSE 2003014960



OWNER:
DISCOVERY PARK LEE'S SUMMIT LLC
4220 PHILLIPS FARM RD
COLUMBIA, MO 65201

THE VILLAGE AT DISCOVERY

LOT 4

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

COVER SHEET

DESIGNED: NTE

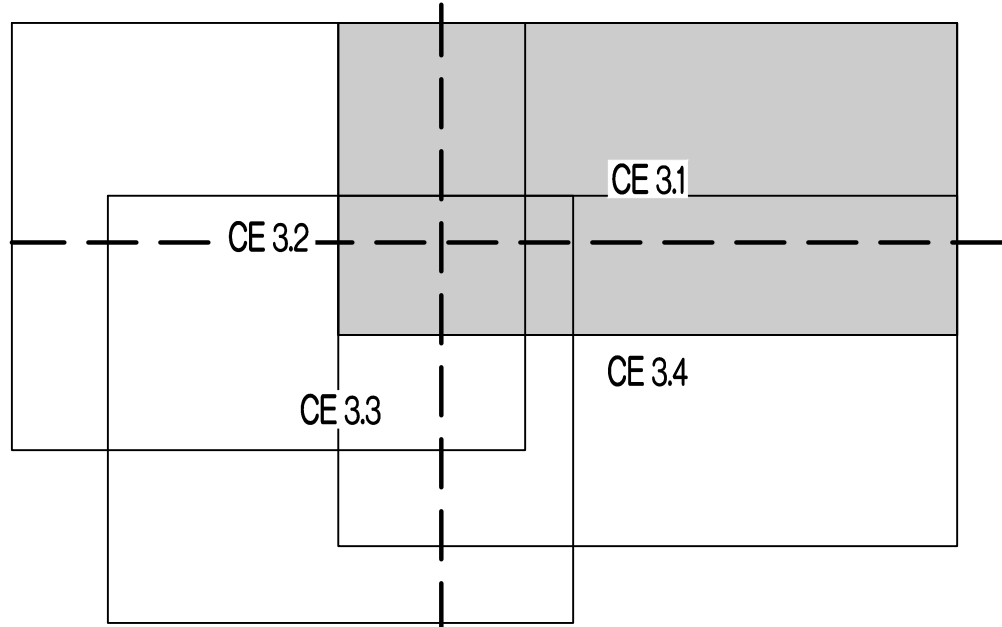
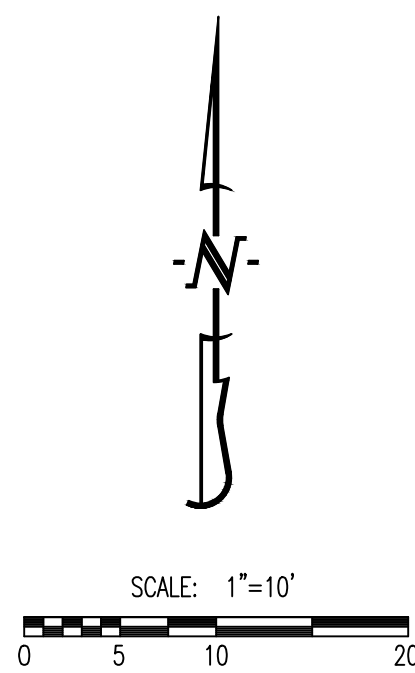
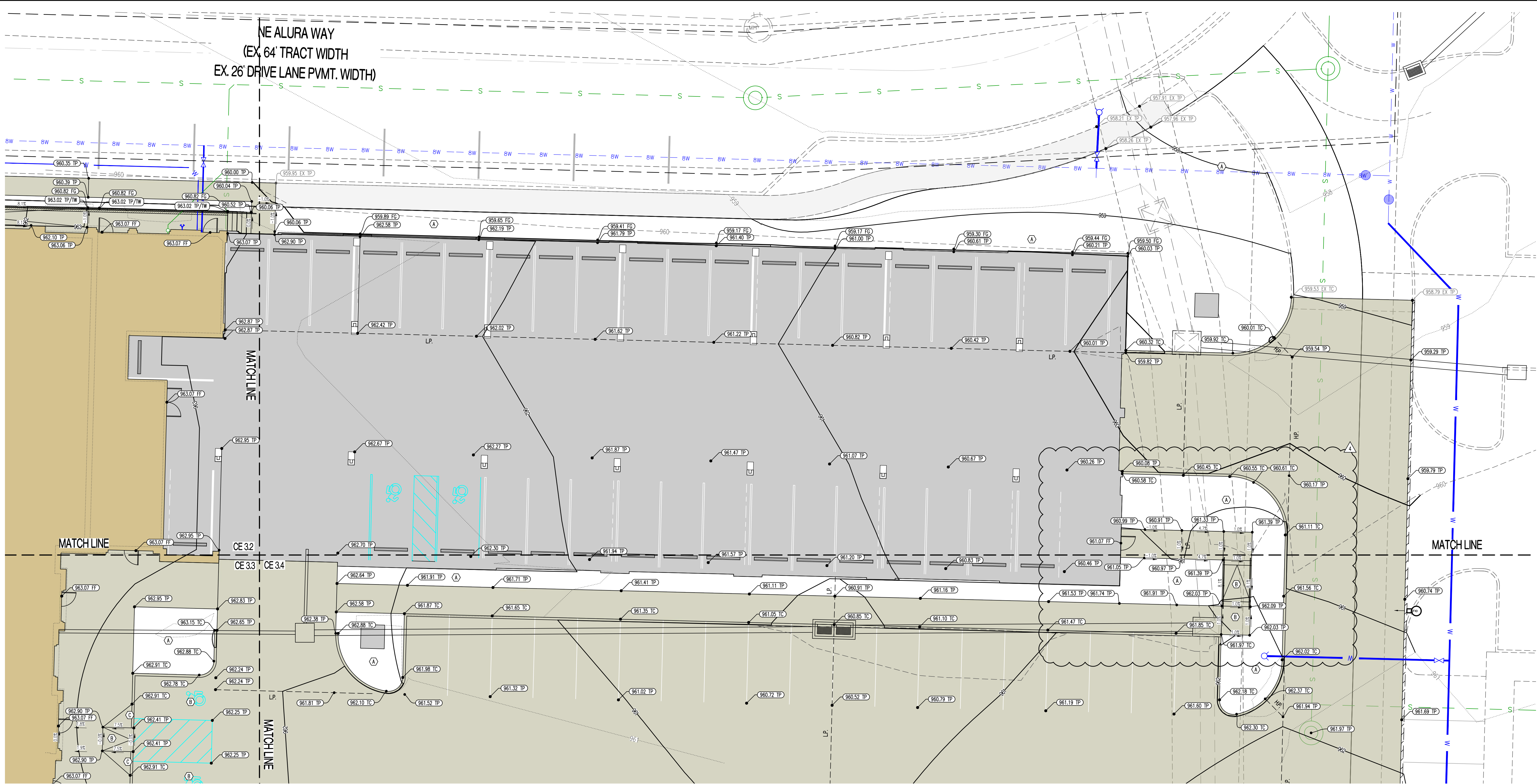
DRAWN: NMD

PROJECT NO.: 230286

SHEET:

CE 10

Y:\2023\230286 - Discovery Park Lees Summit\Zone 1 Lot 4\LOAD Files\Construction Plans\230286 Zone 1 Lot 4 Grading Base.dwg



LEGEND OF LABELS	
(A)	FINE GRADE AS SHOWN BY PROPOSED CONTOURS. PLACE MINIMUM OF 6" TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS.
(B)	GRADE ACCESSIBLE PARKING STALLS AND ROUTES AS SHOWN. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS. ALL ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
(C)	TRANSITION FROM 6" CURB TO 0" CURB.

LEGEND OF SYMBOLS:

-----XXX-----	EXISTING MINOR CONTOUR
- - - - -XXX- - - - -	EXISTING MAJOR CONTOUR
-----XXX-----	PROPOSED MINOR CONTOUR
-----XXX-----	PROPOSED MAJOR CONTOUR
FF-XXXX	FINISHED FLOOR OF STRUCTURE
(XXX.XX TC)	PROPOSED TOP OF CURB ELEVATION TC = (TP+6") UNLESS NOTED OTHERWISE
(XXX.XX TP)	PROPOSED TOP OF PAVEMENT ELEVATION
(XXX.XX FG)	PROPOSED FINISHED GRADE ELEVATION
(XXX.XX TW)	PROPOSED FINISHED GRADE AT TOP OF WALL
(XXX.XX FF)	PROPOSED FINISHED FLOOR AT DOOR

REVISIONS:

NO.	DATE
ORIGINAL	06/14/2024
1 ADD. 004	01/23/2025

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY.

STATE OF MISSOURI

NATHAN THOMAS ECKHOFF

0123-25

NUMBER

FE-2003014960

0123-25

PROFESSIONAL ENGINEER

NATHAN THOMAS ECKHOFF
MO LICENSE 2003014960

PREPARED BY:

CROCKETT

ENGINEERS & ARCHITECTS

1000 W. Kings Blvd., Suite 1000
Columbia, Missouri 65203
(314) 487-0592

www.crockettingeering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000000001

OWNER:

DISCOVERY PARK LEES SUMMIT LLC
4220 PHILLIPS FARM RD
COLUMBIA, MO 65201

THE VILLAGE AT DISCOVERY

LOT 4

LEES SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

GRADING PLAN SHEET 1

DESIGNED:

NTE

DRAWN:

NMD

PROJECT NO.:

230286

SHEET:

CE 3.1

Y:\2023\230286 - Discovery Park Lees Summit\Zone 1 Lot 4\AAD Files\Construction Plans\230286 Zone 1 Lot 4 Site Base.dwg

PARKING CALCULATIONS

PARKING SUMMARY (LOT 4):	
SPACES REQUIRED:	
COMMERCIAL (9,845 SQ. FT.):	
OFFICES	40 SPACES
- 4 PER 1,000 SQ. FT.	
(NOT MEDICAL, DENTAL, OR VETERINARY)	
RESIDENTIAL (46 UNITS):	
- 1.17 SPACES/UNIT PLUS 0.15 VISITOR SPACES/UNIT	61 SPACES
STANDARD SPACES REQUIRED:	
HANDICAP SPACES REQUIRED:	101 SPACES
5 SPACES	
SPACES PROVIDED:	
STANDARD SPACES PROVIDED:	98 SPACES
HANDICAP SPACES PROVIDED:	4 SPACES
EXISTING ADJACENT SPACES (TRACT B) PROVIDED:	14 SPACES
EXISTING ADJACENT HANDICAP SPACES (TRACT B) PROVIDED:	2 SPACES
TOTAL SPACES PROVIDED:	112 SPACES

LEGEND OF LABELS

- (A) CONSTRUCT LIGHT DUTY CONCRETE W/ INTEGRAL CURB AS SHOWN. REFER TO DETAIL 1 & 2 ON CE 7.1.

(B) TRANSITION FROM 6" CURB TO 0" CURB. REFER TO CE 3.0-CE 3.4.

(C) DUMPSTER PAD AREA W/ INTEGRAL CURB AS SHOWN. REFER DETAIL 7 ON CE 7.1. REFER TO ARCHITECTURAL PLANS FOR PROPOSED DUMPSTER ENCLOSURE DETAILS. POUR DUMPSTER PAD APPROACH FOR LOT 3 AND LOT 4 CONCURRENTLY.

(D) PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE (TYPICAL) ALL STALLS EXCEPT ADA ACCESSIBLE STALLS. REFER TO PLAN FOR WIDTH AND DEPTH OF STALLS.

(E) CONSTRUCT ADA ACCESSIBLE PARKING AREA WITH SIGNAGE AND ADA RAMPS. PAINT 4" STRIPE AND ACCESSIBLE SYMBOL, COLOR BLUE. PAINT HATCH AREA AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE STALLS SHALL NOT EXCEED 1:50. REFER TO DETAIL 10 ON CE 7.2.

(F) CONSTRUCT 4" THICK, PCC WALK PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER DETAIL 5 ON CE 7.1.

(G) CONSTRUCT THICKENED EDGE SIDEWALK/PAVEMENT ABUTTING BUILDING PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER TO DETAIL 4 ON CE 7.1.

(H) CONSTRUCT THICKENED EDGE SIDEWALK WALK AT BACK OF CURB PER PLAN DIMENSIONS AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE AT 1:50). REFER TO DETAIL 3 ON CE 7.1.

(I) CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP AT BACK OF CURB. REFER TO DETAIL 8 ON CE 7.1.

(J) CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP WITH FLARE AT BACK OF CURB. REFER TO DETAIL 9 ON CE 7.1.
- (K) CONSTRUCT ADA ACCESSIBLE SIDEWALK RAMP WITH HANDRAIL. REFER TO DETAIL 11 ON CE 7.2.

(L) INSTALL PCC STAIRS WITH HANDRAIL IN SIDEWALK. REFER TO DETAIL 12 ON CE 7.2 REFER TO CE 3.0-CE 3.4 FOR ELEVATIONS.

(M) INSTALL TYPE A OR TYPE A ALTERNATE EXPANSION JOINT IN PAVING. REFER TO DETAIL 6 ON CE 7.1.

(N) INSTALL TYPE B CONSTRUCTION JOINT WHERE PROPOSED CONCRETE PAVING ABUTS EXISTING CONCRETE PAVING. REFER TO DETAIL 6 ON CE 7.1.

(O) INSTALL TYPE C SAW JOINT IN PAVEMENT, MAXIMUM 12'X12" SQUARES (TYPICAL). REFER TO DETAIL 6 ON CE 7.1.

(P) PROPOSED TRANSFORMER PAD. COORDINATE WITH M.E.P. FOR EXACT SIZE AND LOCATION.

(Q) 5' STREET-SIDE SIDEWALK TO BE CONSTRUCTED. REFER TO OLSSON PLANS TITLED "PRIVATE SITE DEVELOPMENT PLANS FOR THE VILLAGE AT DISCOVERY PARK ZONE 1" DATED 10/18/2023.

(R) CONSTRUCT RETAINING WALL WITH GUARDRAIL PRIOR TO SIDEWALK CONSTRUCTION AS SHOWN. REFER TO CE 3.0-CE 3.4 FOR WALL HEIGHT. REFER TO DETAILS 14 & 15 ON CE 7.3.

(S) INSTALL PIPE BOLLARD AS SHOWN. REFER TO DETAIL 13 ON CE 7.3.

(T) CONSTRUCT TEMPORARY ASPHALTIC CURB AS NECESSARY. CONTRACTOR TO COORDINATE WITH OWNER AND CITY OF LEE'S SUMMIT FOR DEVELOPMENT OF ADJACENT PARKING LOT TO THE SOUTH.

(U) INSTALL FIRE LANE SIGN. SIGN SPACING SHALL NOT EXCEED 50 LF. SIGN SHALL BE 12"W X 18"H AND READ "FIRE LANE NO PARKING". REFER TO DETAIL 16 ON CE 7.3.

(V) INSTALL REINFORCING AT EXISTING DRAINAGE STRUCTURE IN SIDEWALK. REFER TO DETAIL 17 ON CE 7.3.

GENERAL NOTES:

- 1) ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL AMERICANS WITH DISABILITIES ACT.
- 2) THE PAVEMENT JOINTS SHOWN ARE A GRAPHICAL REPRESENTATION OF A POSSIBLE JOINT CONTRACTOR TO PROVIDE SHOP DRAWINGS WITH JOINT LAYOUT FOR APPROVAL BY ENGINEER PRIOR TO POURING OF PAVEMENT.
- 3) REFER TO ARCHITECTURAL PLANS FOR PARKING GARAGE LAYOUT. PARKING GARAGE PAVEMENT SHALL MATCH CROSS SECTION OF EXTERIOR PARKING LOTS.

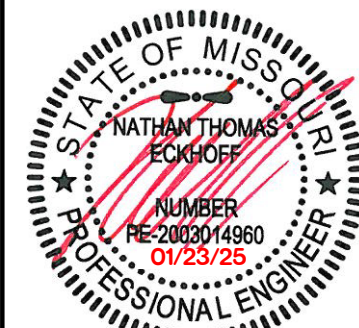
CALCULATIONS: LOT 7

LAND AREA:	
TOTAL LAND AREA:	1.49 AC
BUILDING DETAILS:	
1ST FLOOR:	9,845 SQ.FT.
2ND FLOOR:	24,285 SQ.FT.
3RD FLOOR:	24,285 SQ.FT.
TOTAL S.F. (3-STORIES)	58,415 SQ.FT.
LOT COVERAGES:	
NET LAND AREA:	64,774 SQ.FT. 100%
TOTAL IMPERVIOUS SURFACE AREA:	54,694 SQ.FT. 84%
TOTAL OPEN SPACE:	10,080 SQ.FT. 16%
FLOOR AREA RATIO:	90%

REVISIONS:

NO.	DATE
ORIGINAL	06/14/2024
REV. 1	07/25/2024
ADD. 004	01/23/2025

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY



NATHAN THOMAS ECKHOFF
MO LICENSE: 200304960

PREPARED BY:
CROCKETT
ENGINEERS & ARCHITECTS
1000 W. Illinois St., Ste. 100
Columbia, Missouri 65203
(314) 487-0292
www.crockettingeering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000000001

OWNER:

DISCOVERY PARK LEES SUMMIT LLC
4020 PHILLIPS FARM RD
COLUMBIA, MO 65201

THE VILLAGE AT DISCOVERY
LOT 4
LEES SUMMIT, JACKSON COUNTY, MISSOURI

DRAWING INCLUDES:

SITE PLAN

DESIGNED: NTE

DRAWN: NMD

PROJECT NO.: 230286

SHEET:
CE 6.1

THE VILLAGE AT DISCOVERY -

LOT 4

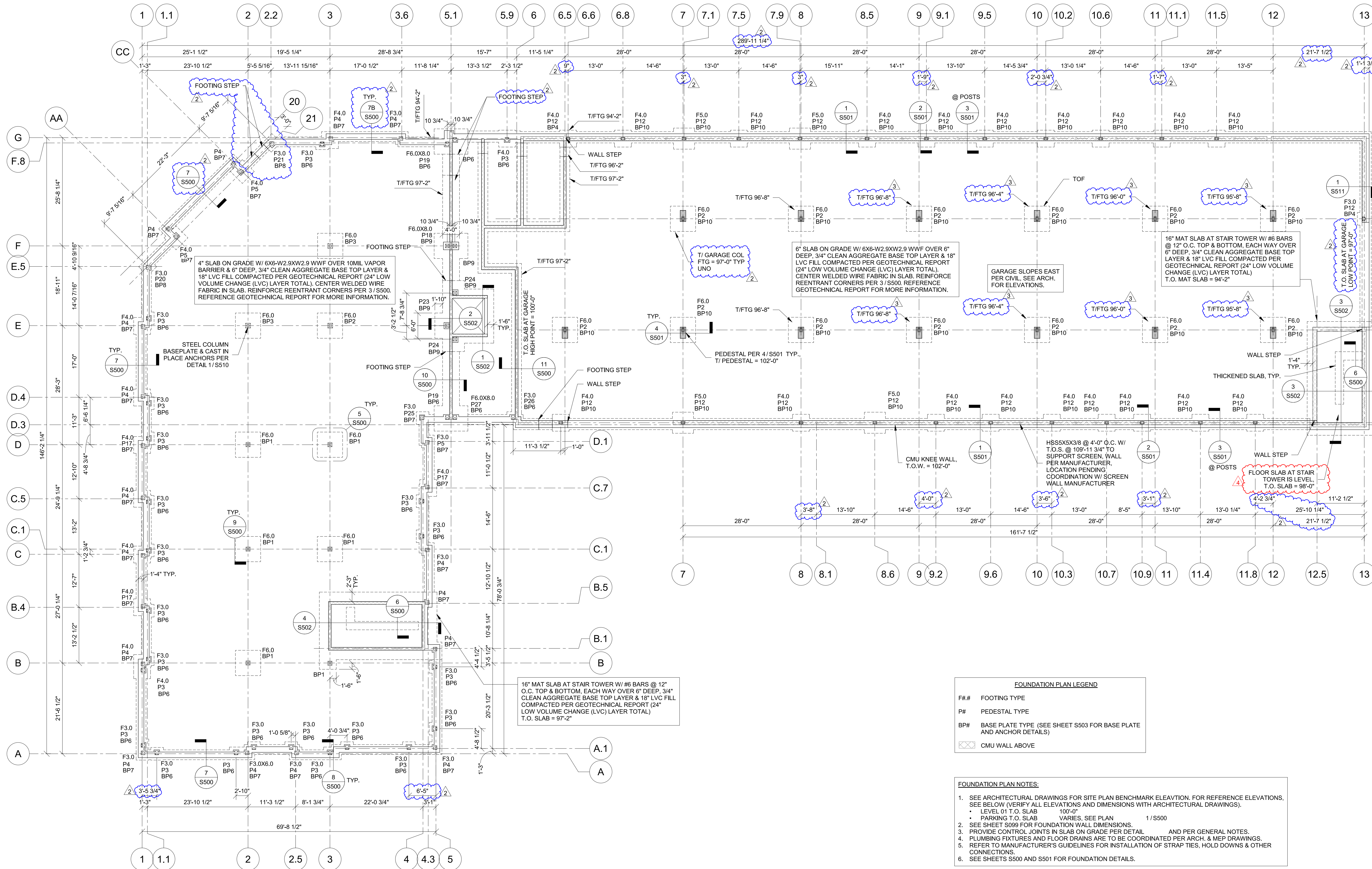
1921 NE DISCOVERY AVE.
LEE'S SUMMIT, MO 64064

SHEET TITLE
FOUNDATION PLAN

PROJECT NUMBER: 2023000333

SHEET NUMBER:

S100

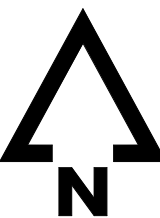


FOUNDATION PLAN LEGEND		
F#	FOOTING TYPE	
P#	PEDESTAL TYPE	
BP#	BASE PLATE TYPE (SEE SHEET S503 FOR BASE PLATE AND ANCHOR DETAILS)	
CMU	CMU WALL ABOVE	

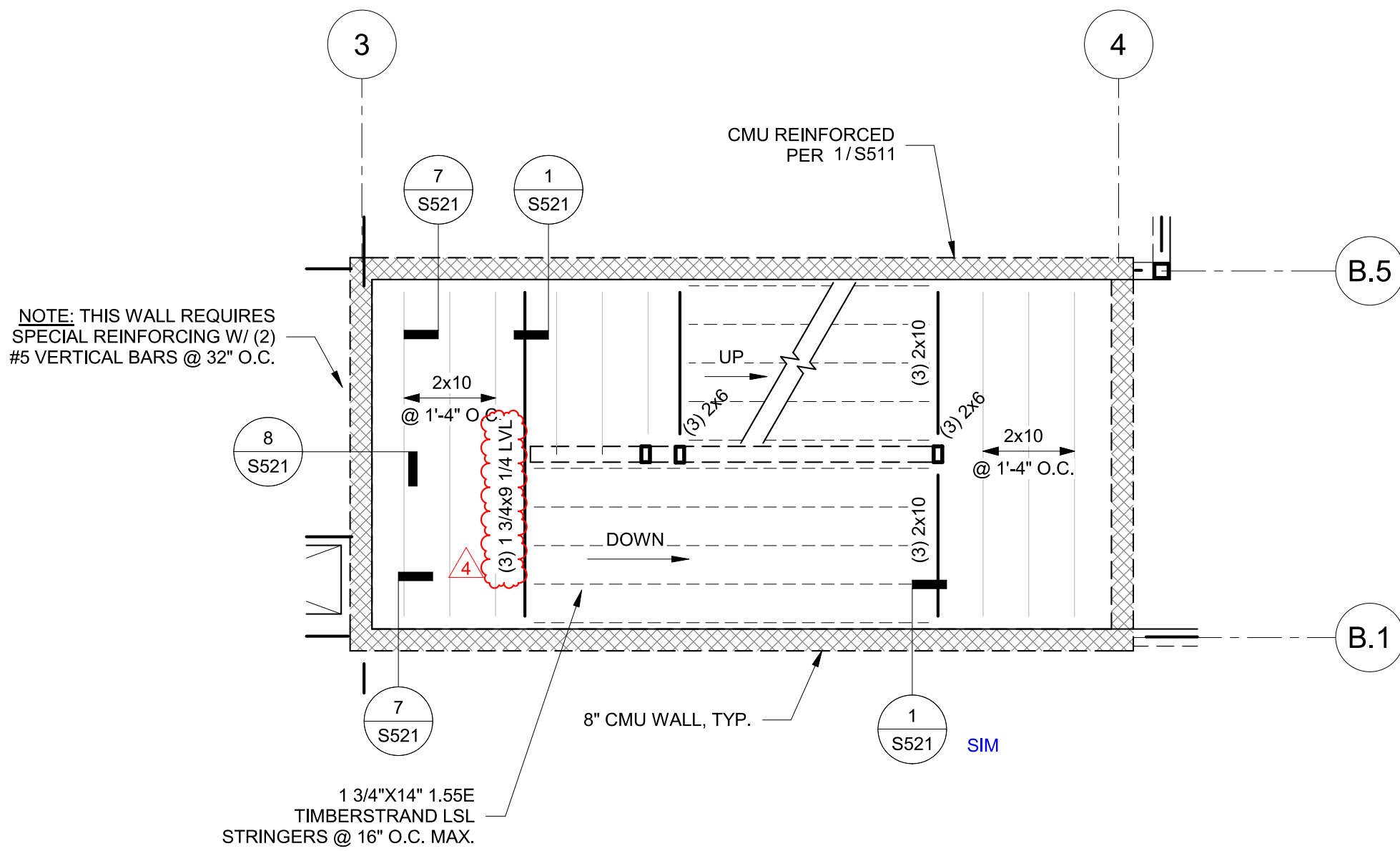
- FOUNDATION PLAN NOTES:
- SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN BENCHMARK ELEVATION. FOR REFERENCE ELEVATIONS, SEE BELOW (VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS).
 - LEVEL 01 T.O. SLAB 100'-0"
 - PARKING T.O. SLAB VARIES, SEE PLAN 1/S500
 - SEE SHEET S099 FOR FOUNDATION WALL DIMENSIONS.
 - PROVIDE CONTROL JOINTS IN SLAB ON GRADE PER DETAIL AND PER GENERAL NOTES.
 - PLUMBING FIXTURES AND FLOOR DRAINS ARE TO BE COORDINATED PER ARCH. & MEP DRAWINGS.
 - REFER TO MANUFACTURER'S GUIDELINES FOR INSTALLATION OF STRAP TIES, HOLD DOWNS & OTHER CONNECTIONS.
 - SEE SHEETS S500 AND S501 FOR FOUNDATION DETAILS.

FOOTING SCHEDULE		
Mark	Size	Reinforcing
F3.0	3'-0"X3'-0"X1'-0"	(3) #5 BARS, BOTTOM EACH WAY
F4.0	4'-0"X4'-0"X1'-0"	(4) #5 BARS, BOTTOM EACH WAY
F5.0	5'-0"X5'-0"X1'-0"	(5) #5 BARS, BOTTOM EACH WAY
F6.0	6'-0"X6'-0"X1'-4"	(6) #5 BARS, BOTTOM EACH WAY
F3.0X6.0	3'-0"X6'-0"X1'-0"	(6) #5 BARS, BOTTOM SHORT (3) #5 BARS, BOTTOM LONG
F4.0X6.0	4'-0"X6'-0"X1'-0"	(6) #5 BARS, BOTTOM SHORT (4) #5 BARS, BOTTOM LONG
F6.0X8.0	4'-0"X6'-0"X1'-0"	(8) #5 BARS, BOTTOM SHORT (6) #5 BARS, BOTTOM LONG

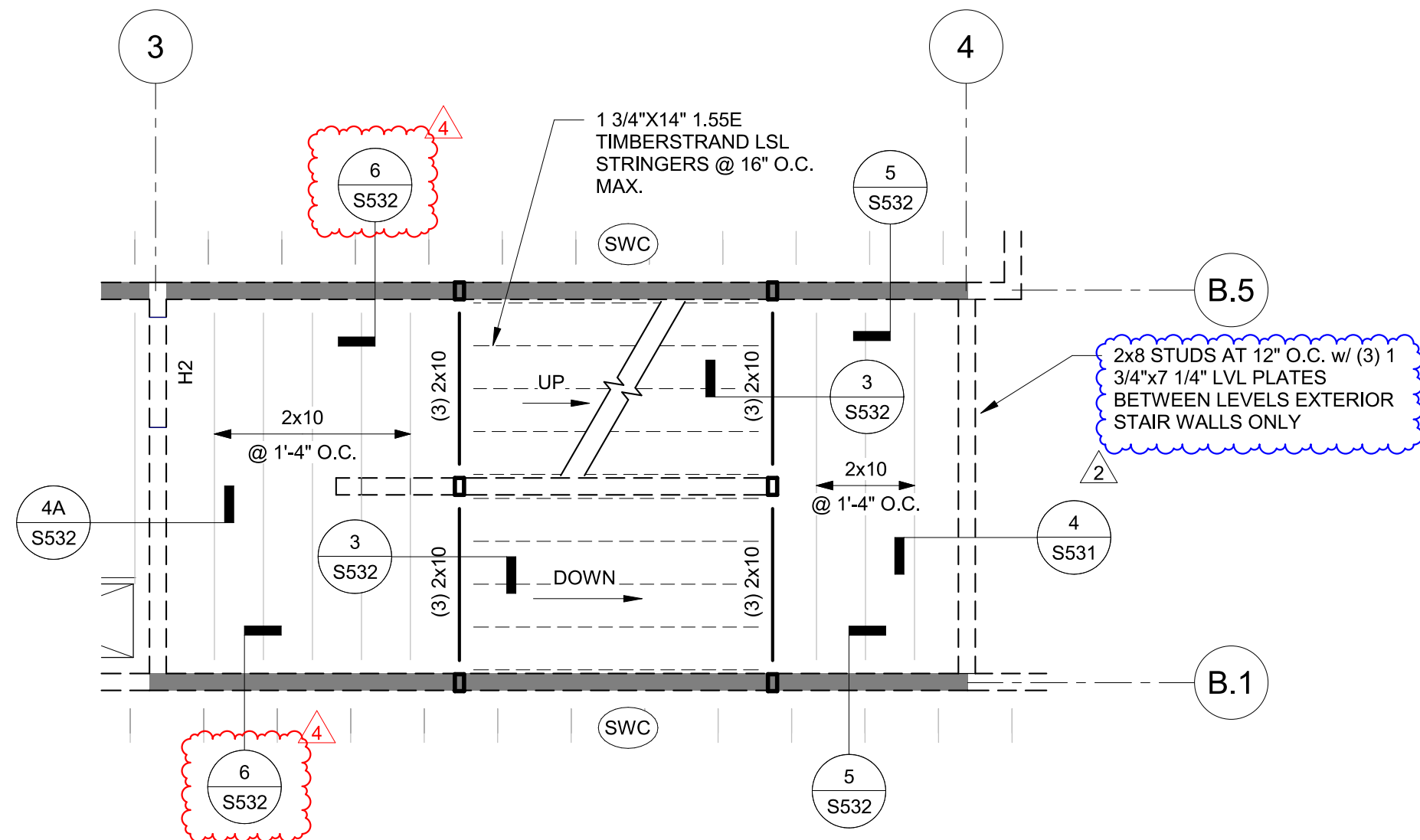
Notes:
1. All footings must be centered on walls and columns U.N.O.



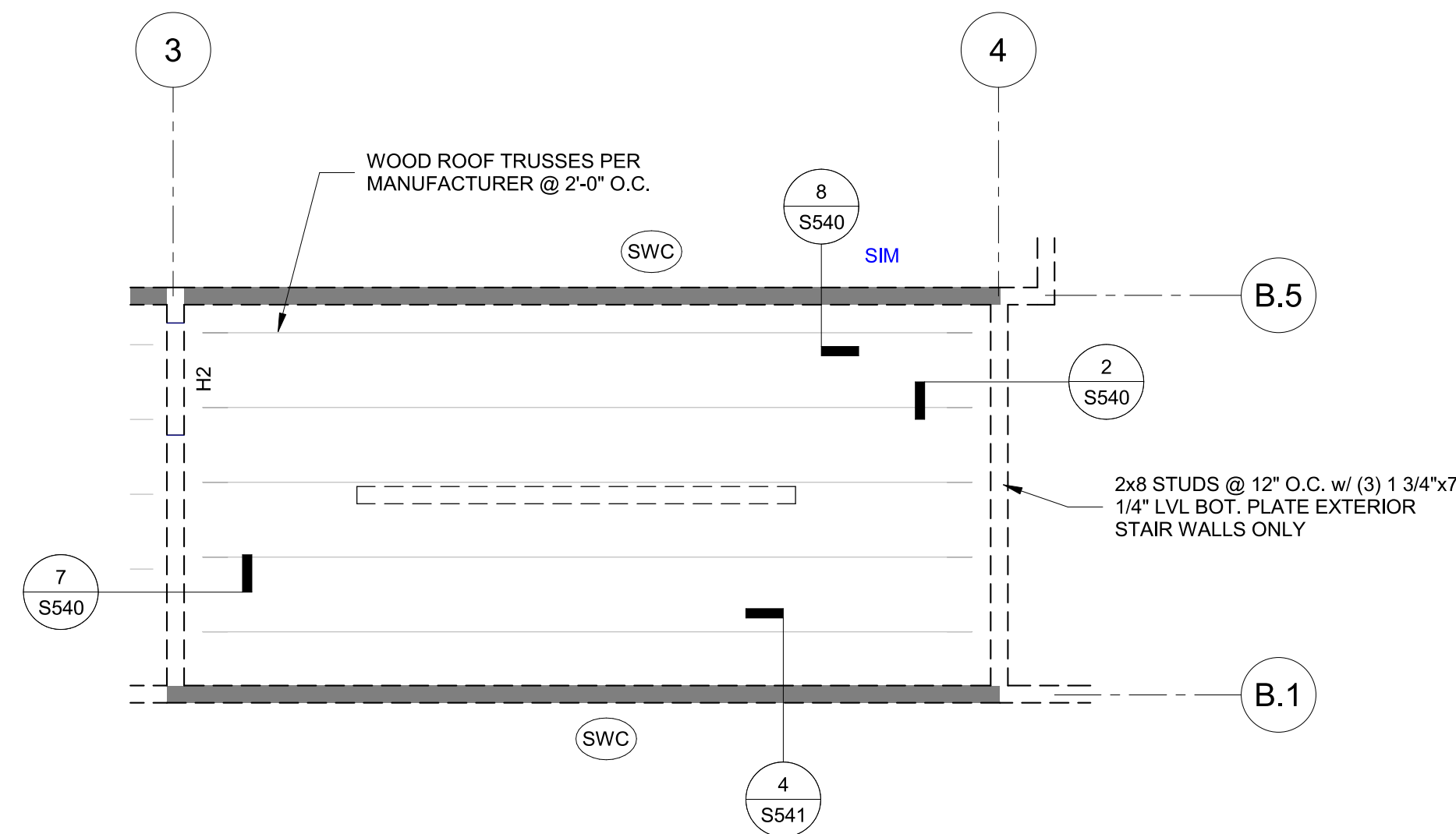
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Audrey Lutz 1023000333
Discovery Park Lutz Summit 1023000333 - Residential - Lot 4, 1023-14



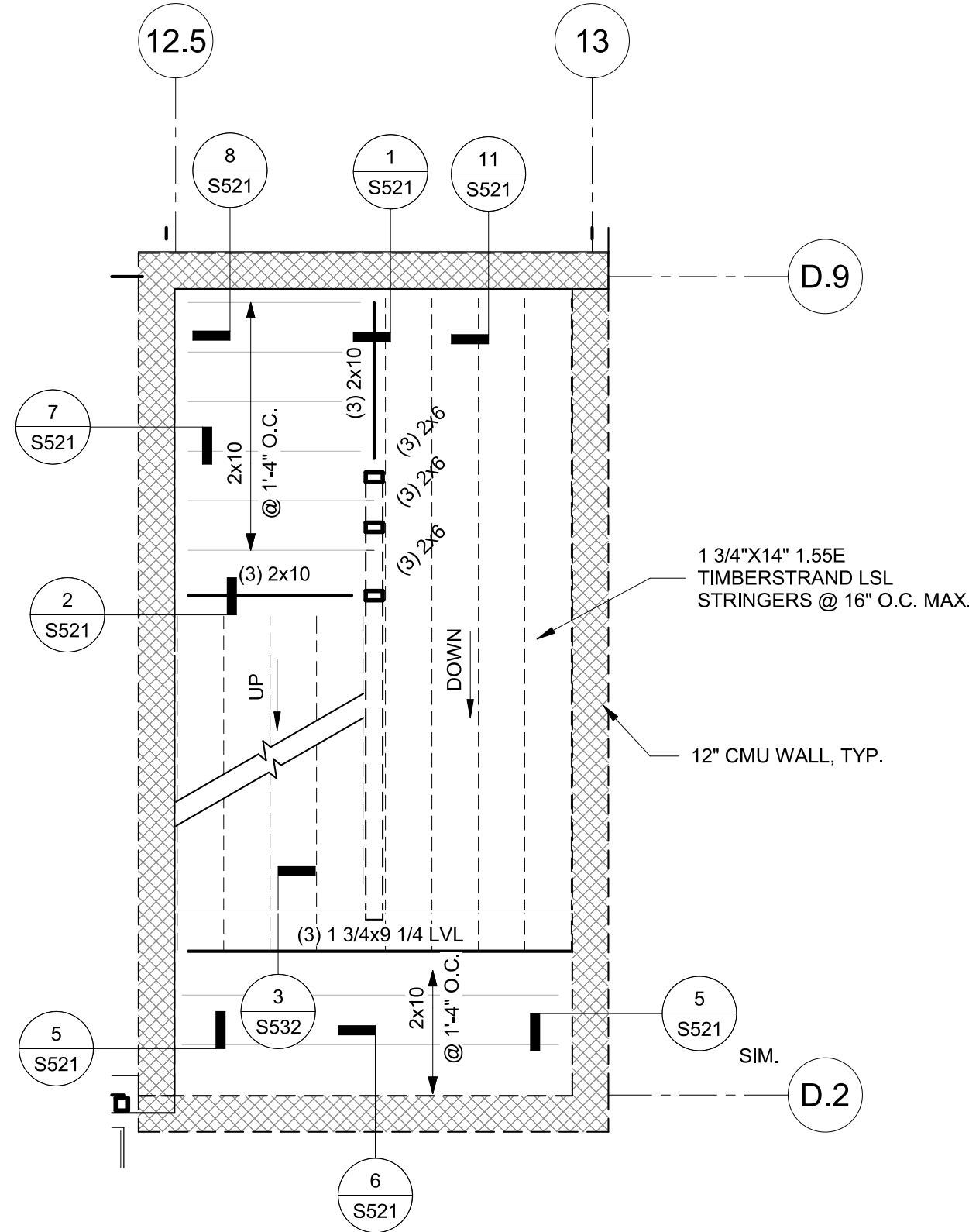
1 SOUTH STAIR TOWER AT LEVEL 2
S400 1/4" = 1'-0"



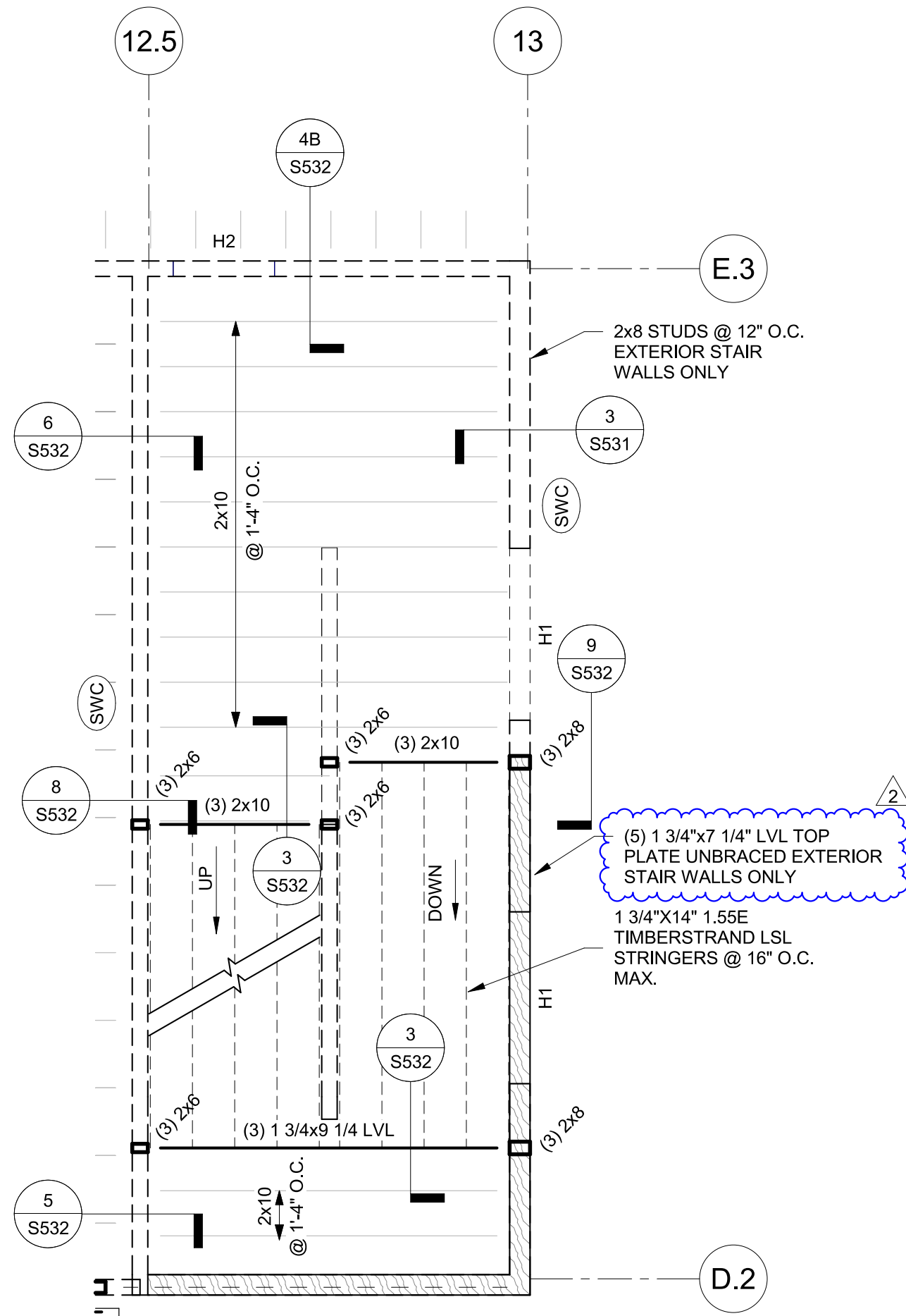
2 SOUTH STAIR TOWER AT LEVEL 3
S400 1/4" = 1'-0"



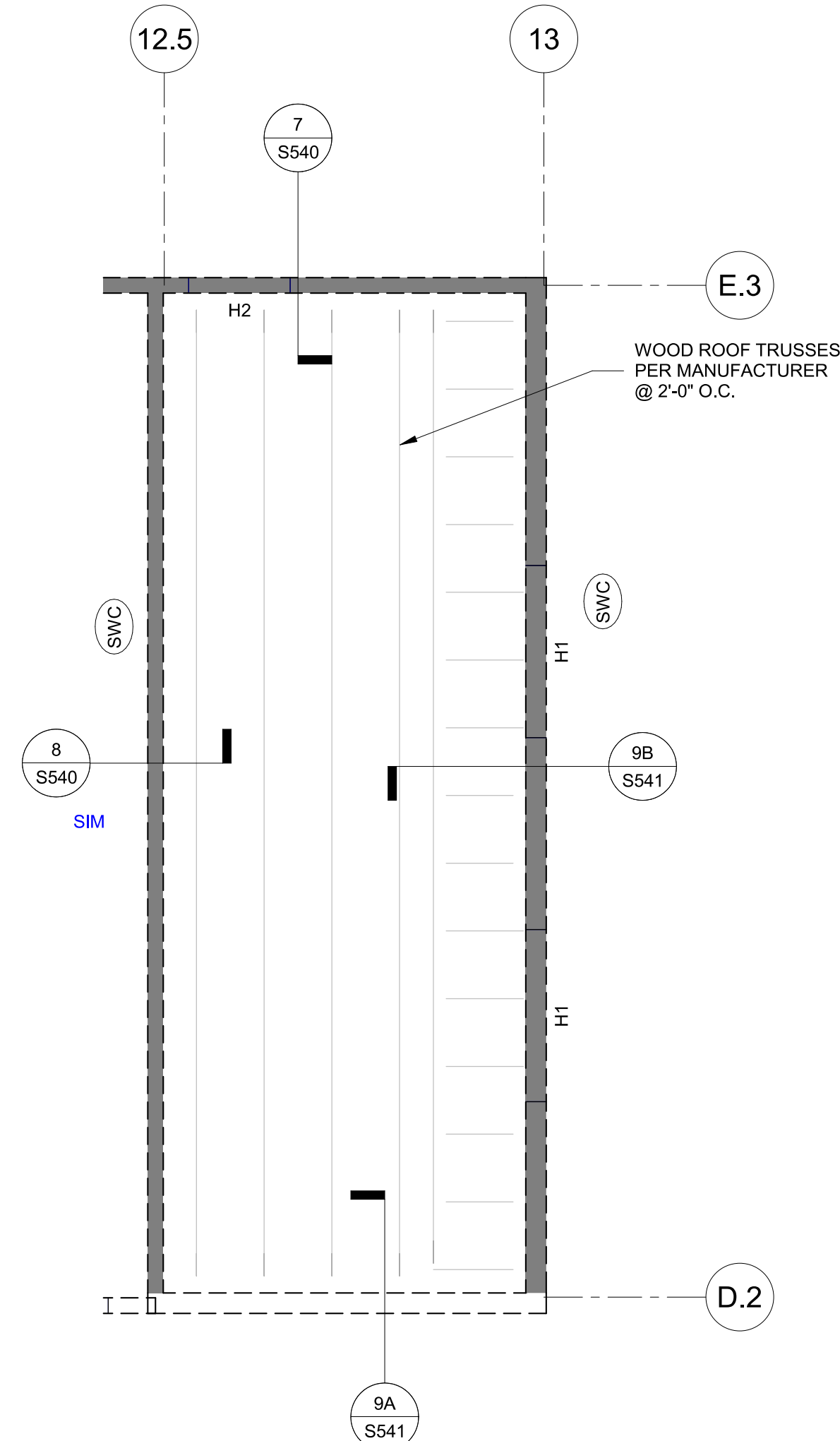
3 SOUTH STAIR TOWER AT ROOF
S400 1/4" = 1'-0"



4 EAST STAIR TOWER AT LEVEL 2
S400 1/4" = 1'-0"



5 EAST STAIR TOWER AT LEVEL 3
S400 1/4" = 1'-0"



6 EAST STAIR TOWER AT ROOF
S400 1/4" = 1'-0"

- SECTIONS 7 AND 8 MOVED TO SHEET S532
- SEE SECTION SHEETS S521 AND S532, MAJORITY OF SECTIONS UPDATED
- STAIR 2 MIRRORED AND FRAMING ADJUSTED

- BALCONY PLANS MOVED TO NEW S560 SERIES SHEETS
- ENLARGED STAIR PLANS MOVED TO THIS SHEET (S400)
- STAIR FRAMING MODIFIED
- SHEET S401 REMOVED

PRINTS ISSUED

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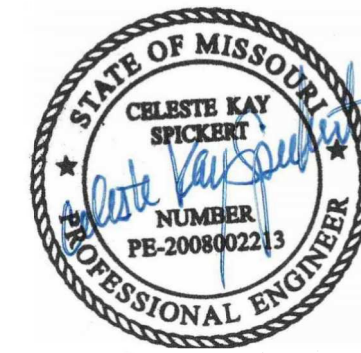
- 1 10/21/2024 Addendum #1
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- 4 01/23/2025 Addendum #4 Stair Elevation Coordination



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MISSOURI CERTIFICATE OF AUTHORITY
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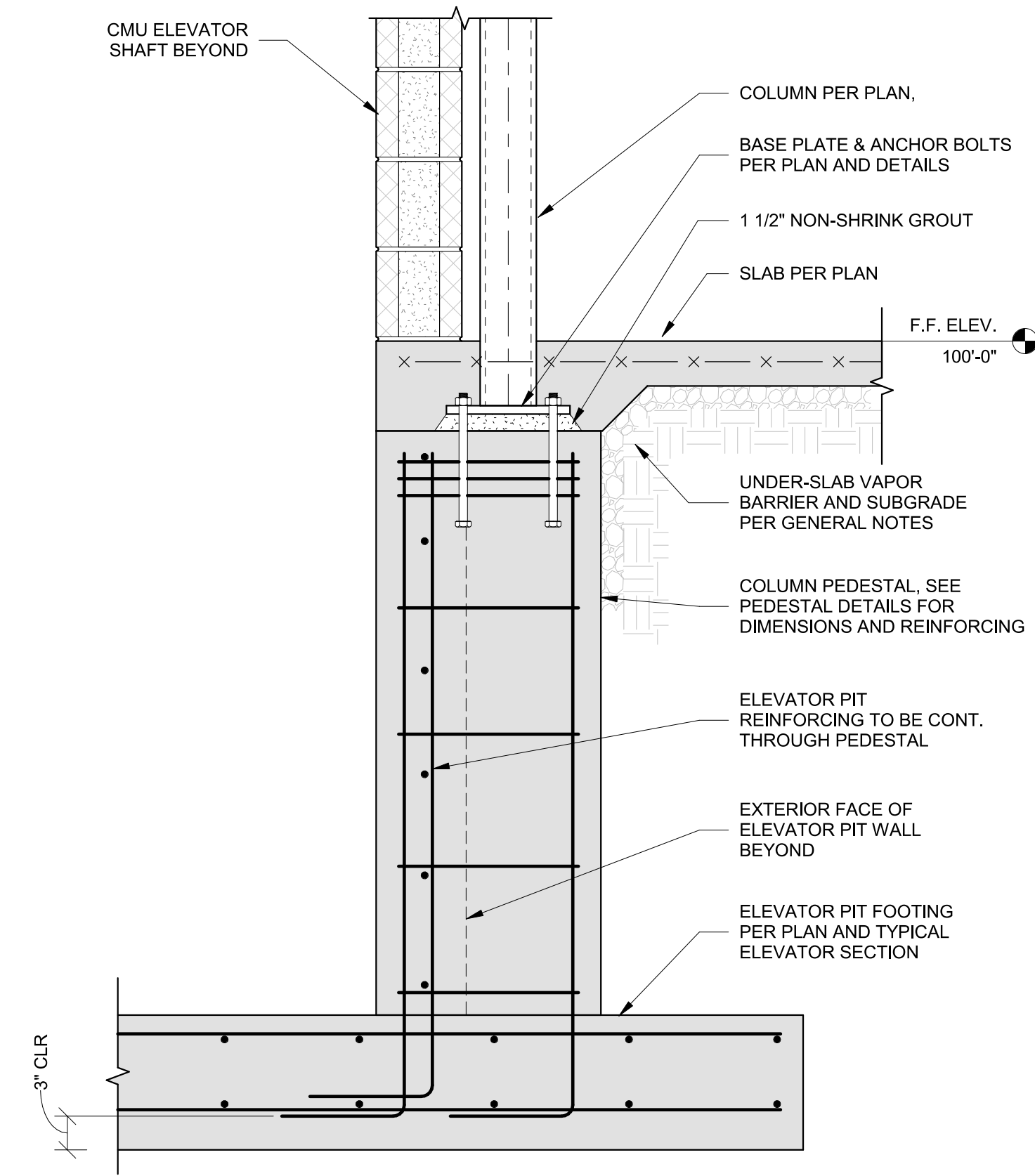
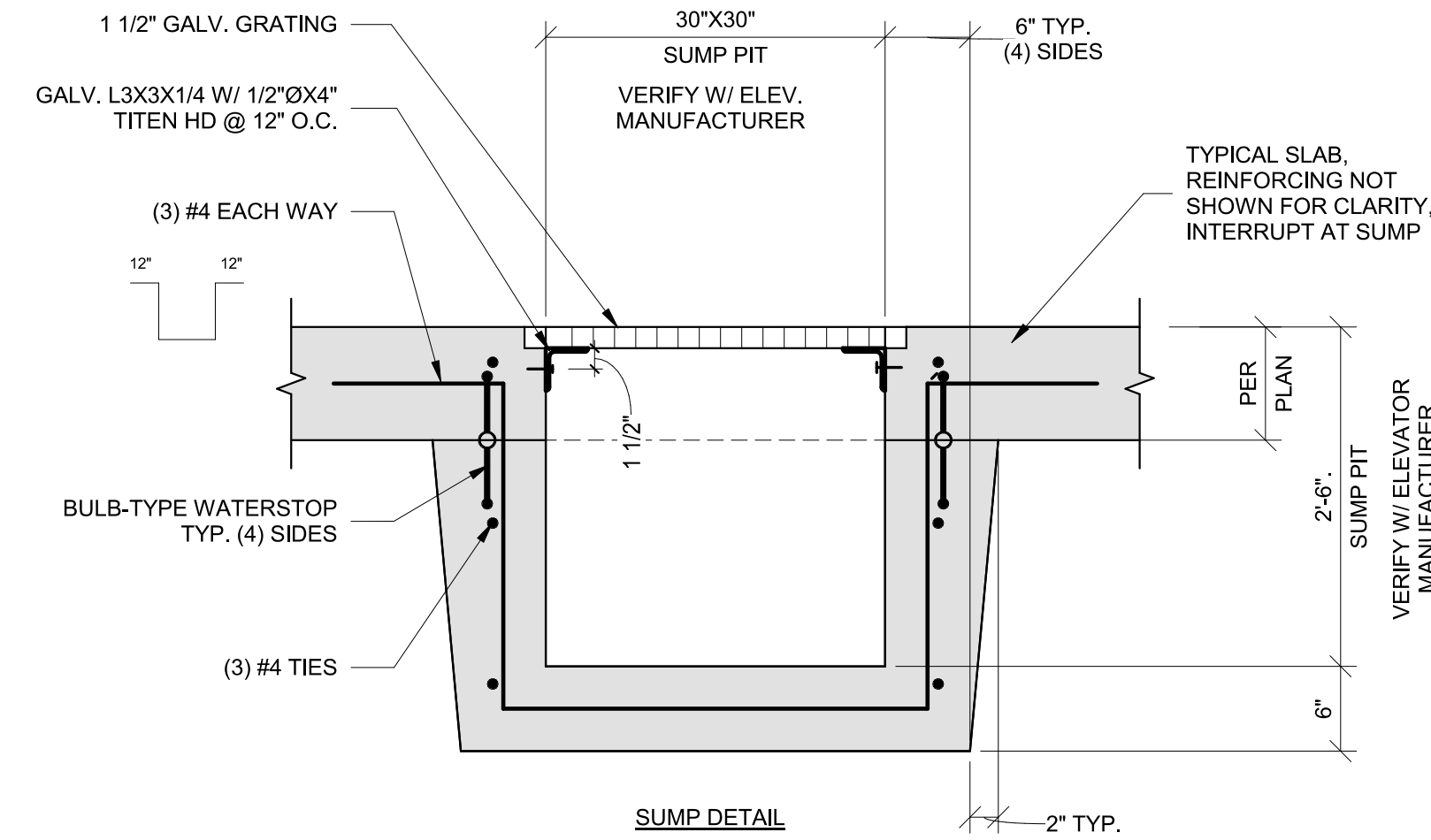
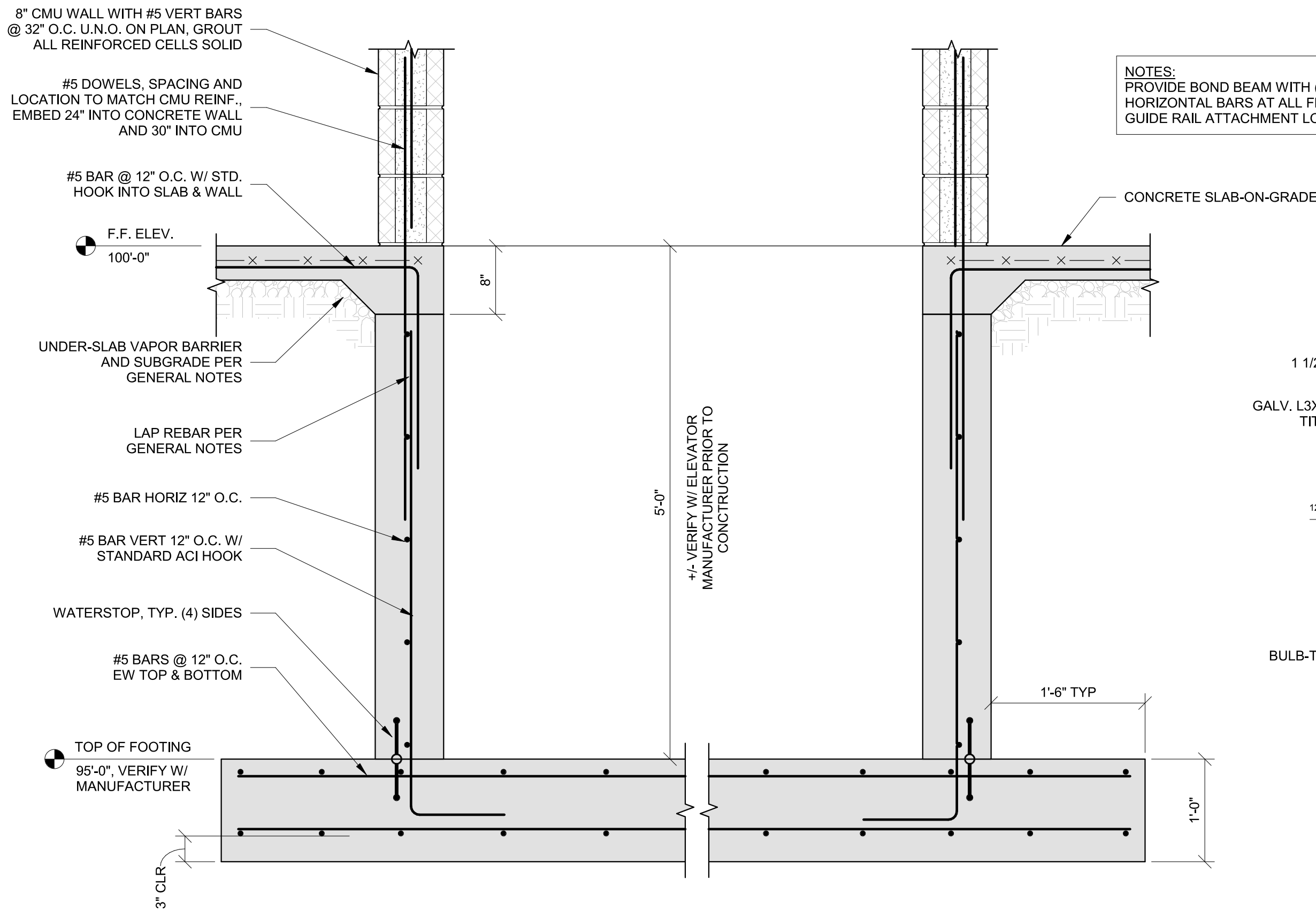
THE VILLAGE AT DISCOVERY -
LOT 4
1921 NE DISCOVERY AVE.
LEE'S SUMMIT, MO 64064

SHEET TITLE
ENLARGED VIEWS

PROJECT NUMBER: 2023000333

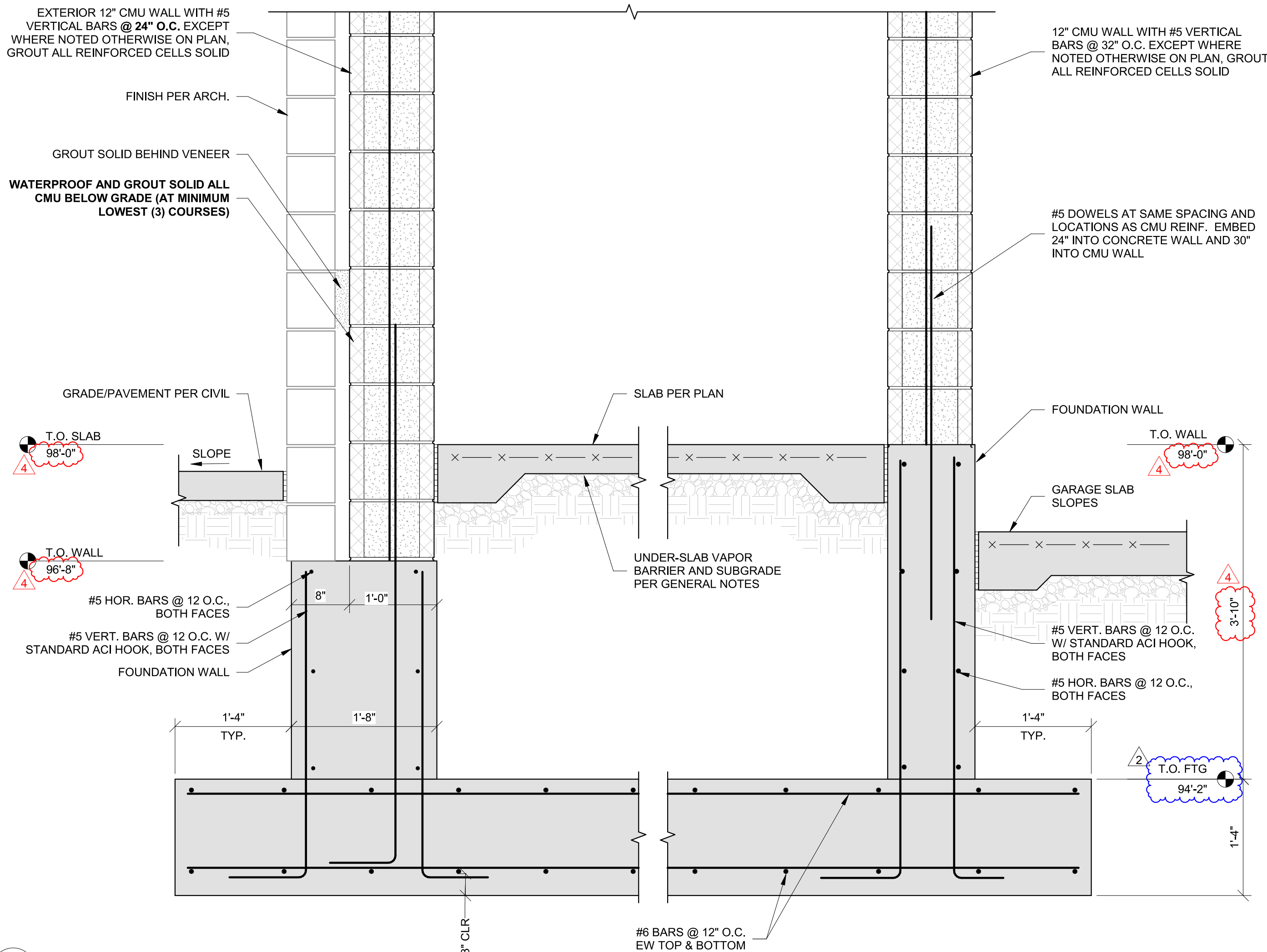
SHEET NUMBER:

S400

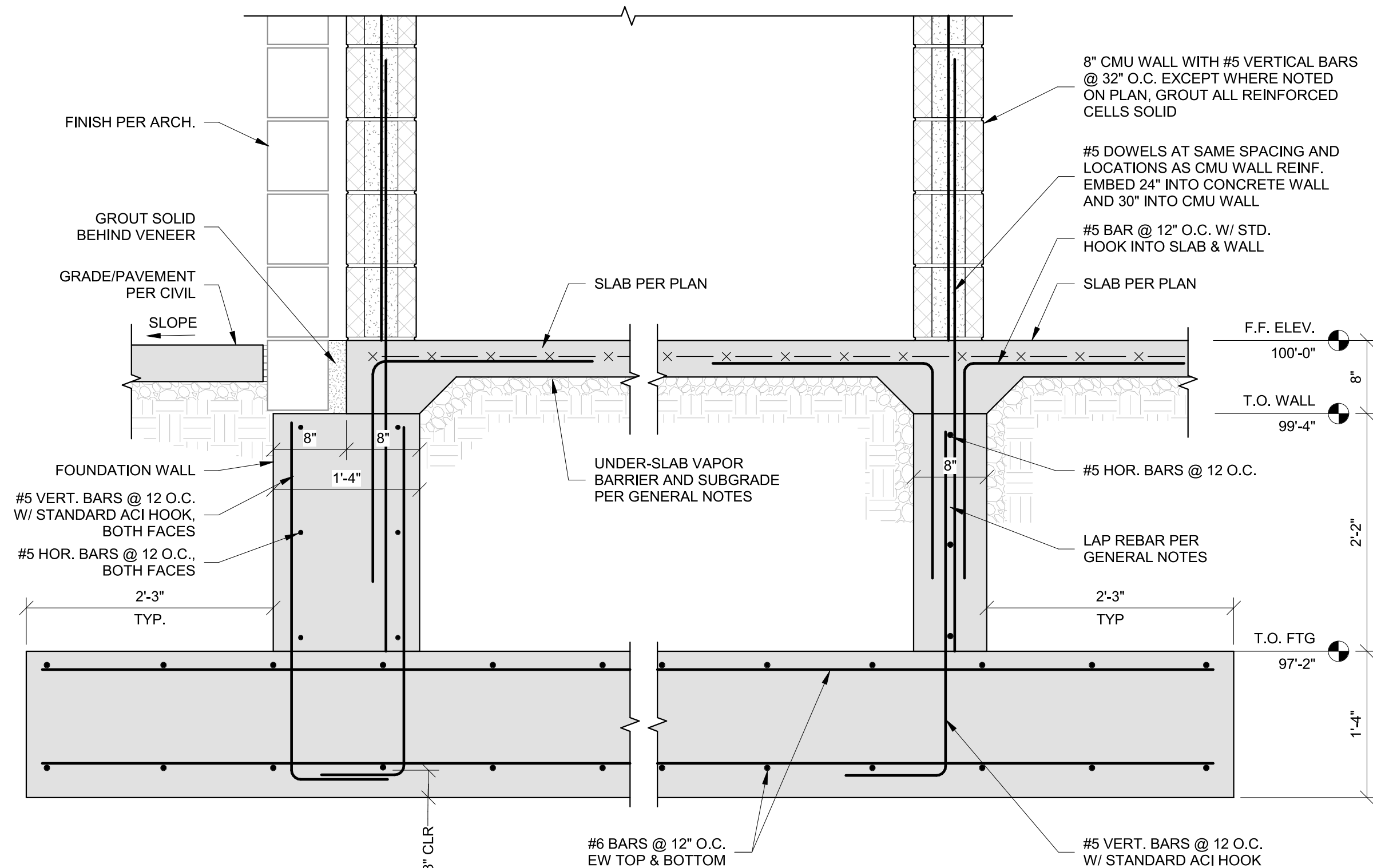


1 ELEVATOR PIT DETAIL
S502 1" = 1'-0"

2 COLUMN PEDESTAL AT ELEVATOR
S502 1" = 1'-0"



3 SECTION AT EAST STAIR FOUNDATION
S502 1" = 1'-0"



4 SECTION AT WEST STAIR FOUNDATION
S502 1" = 1'-0"

DEEP FOUNDATION DETAILS
REPLACE WITH NEW SHALLOW
FOUNDATION DETAILS

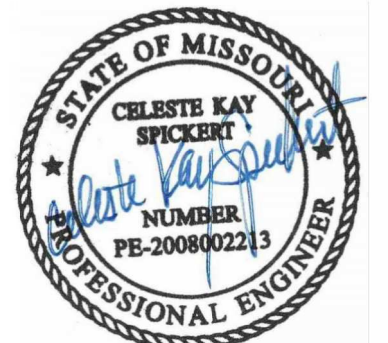
PRINTS ISSUED
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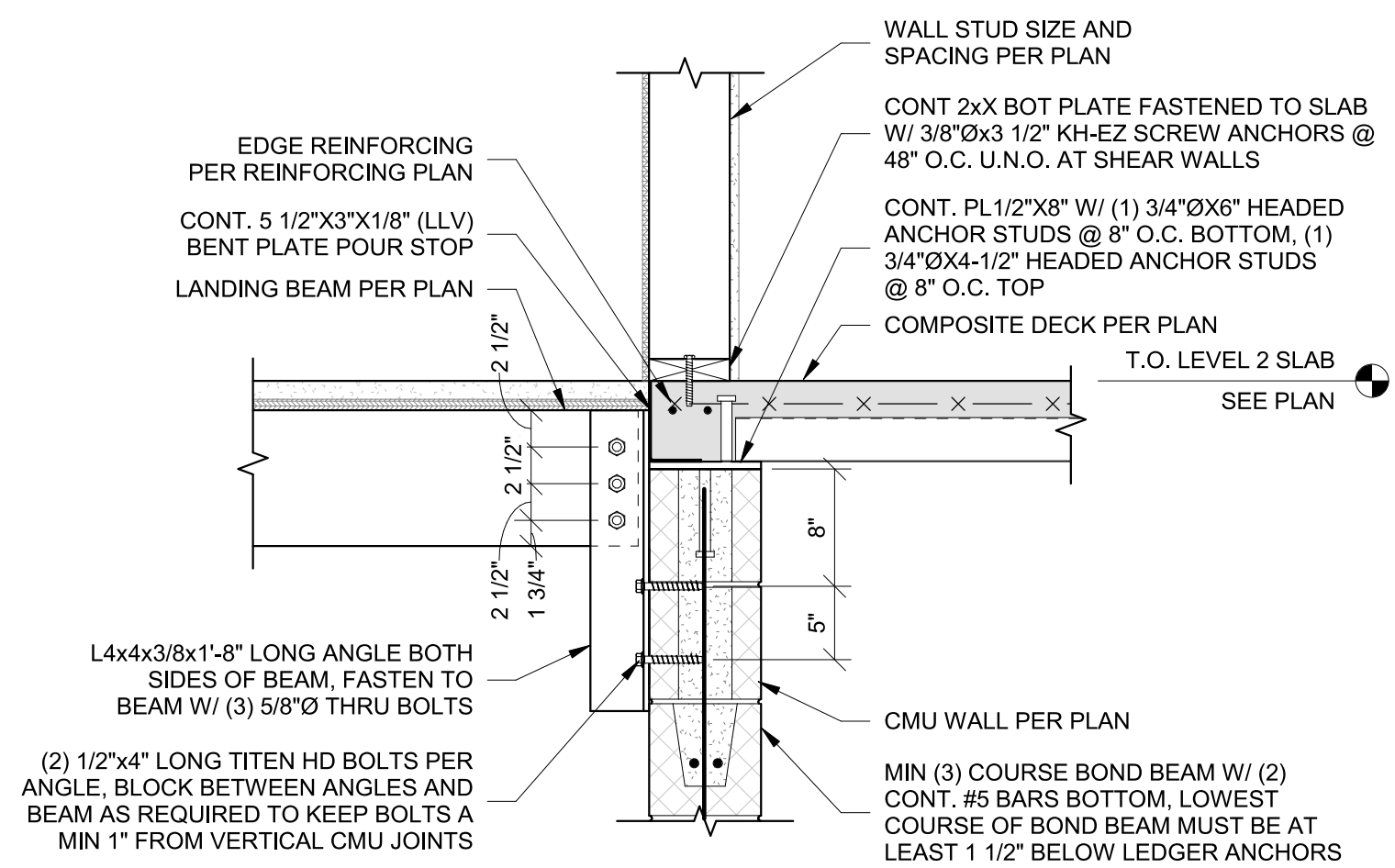
THE VILLAGE AT DISCOVERY -
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SHEET TITLE
FOUNDATION DETAILS

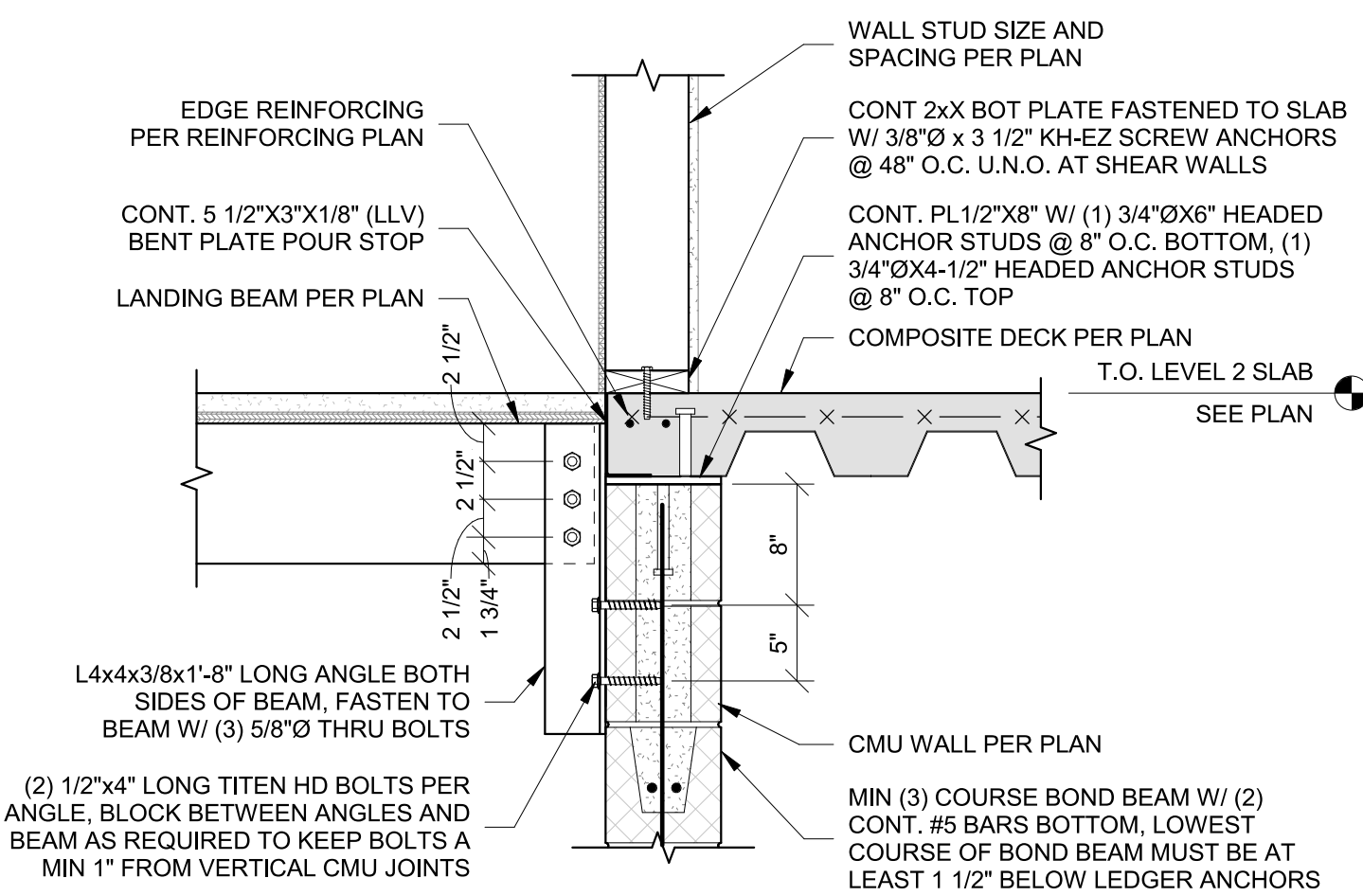
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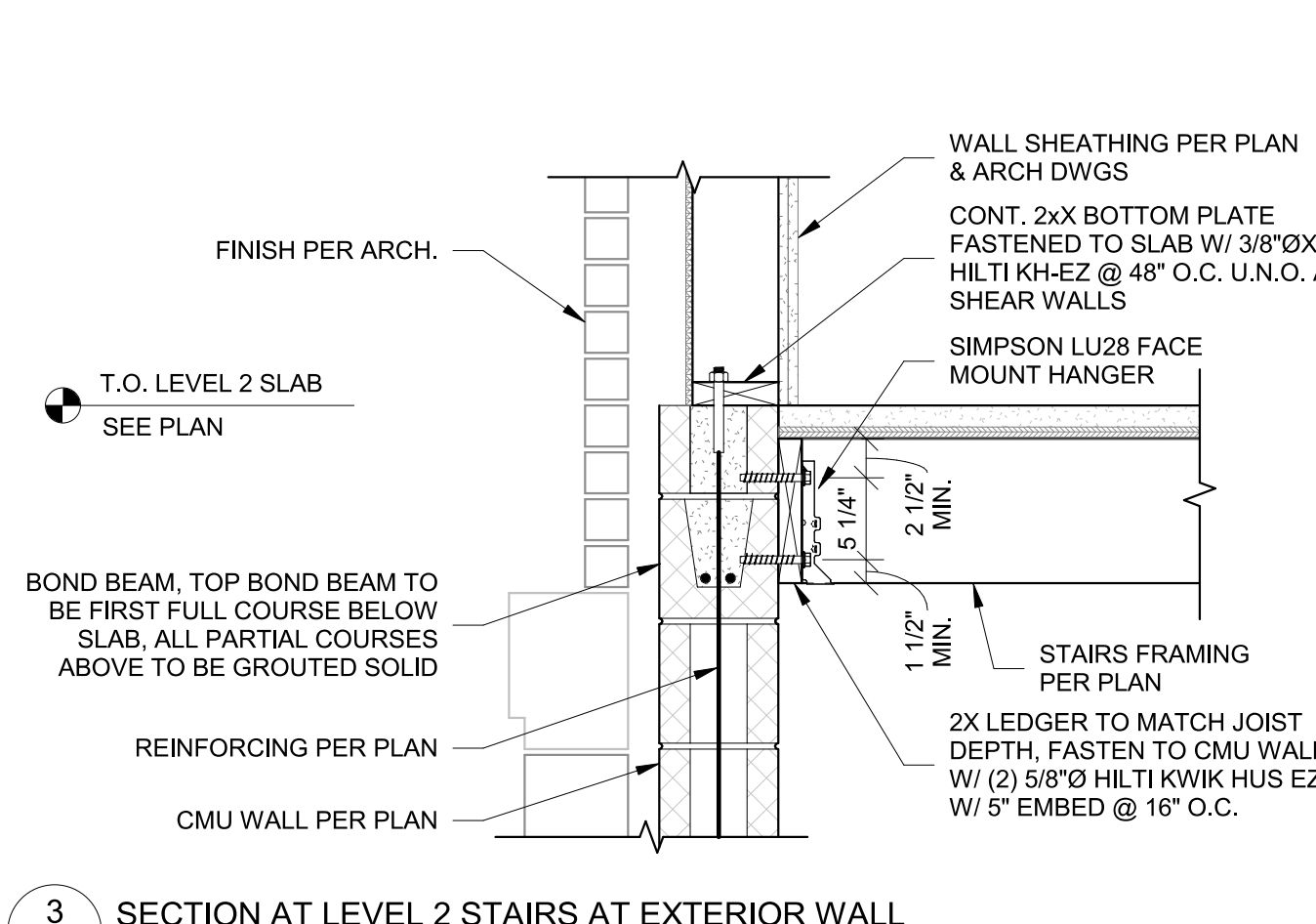
S502



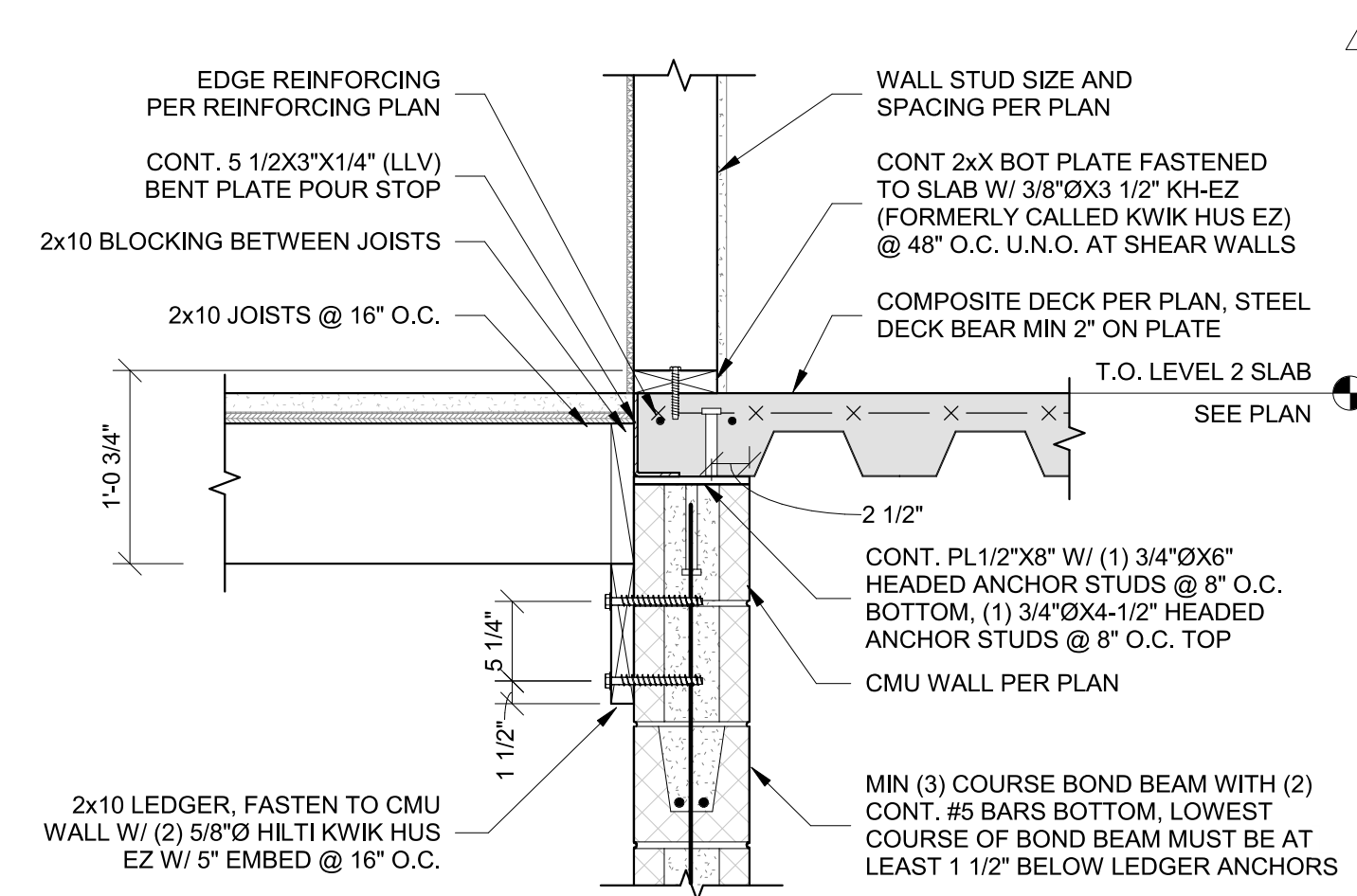
1 STAIR LANDING BEAM ATTACHMENT TO CMU
1" = 1'-0"



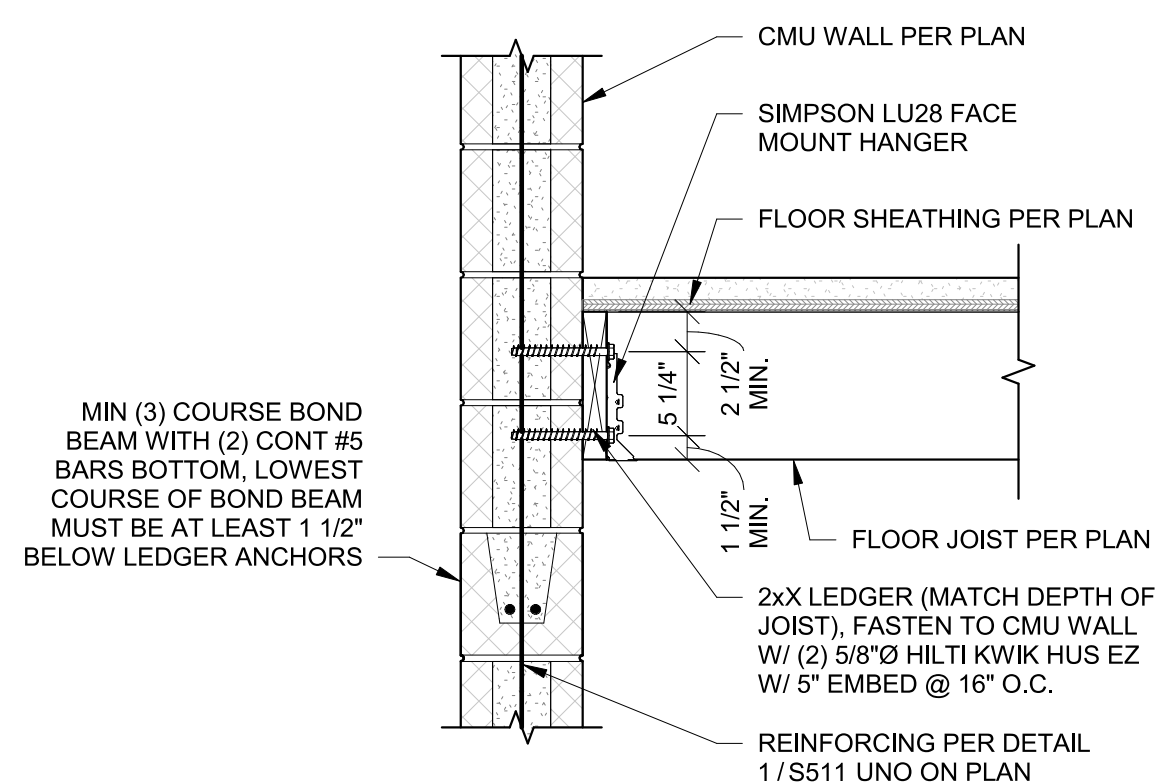
2 STAIR LANDING BEAM ATTACHMENT TO CMU
1" = 1'-0"



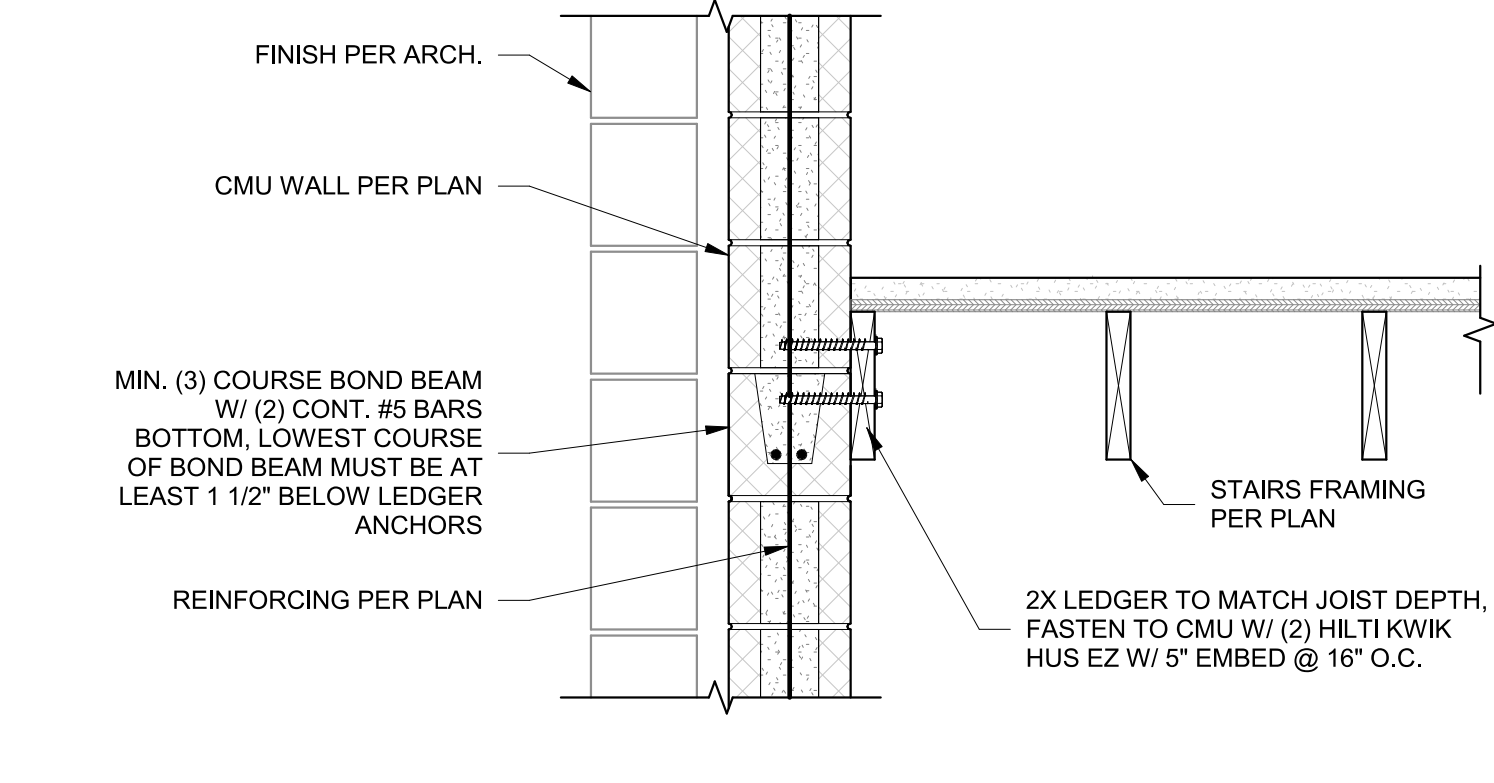
3 SECTION AT LEVEL 2 STAIRS AT EXTERIOR WALL
1" = 1'-0"



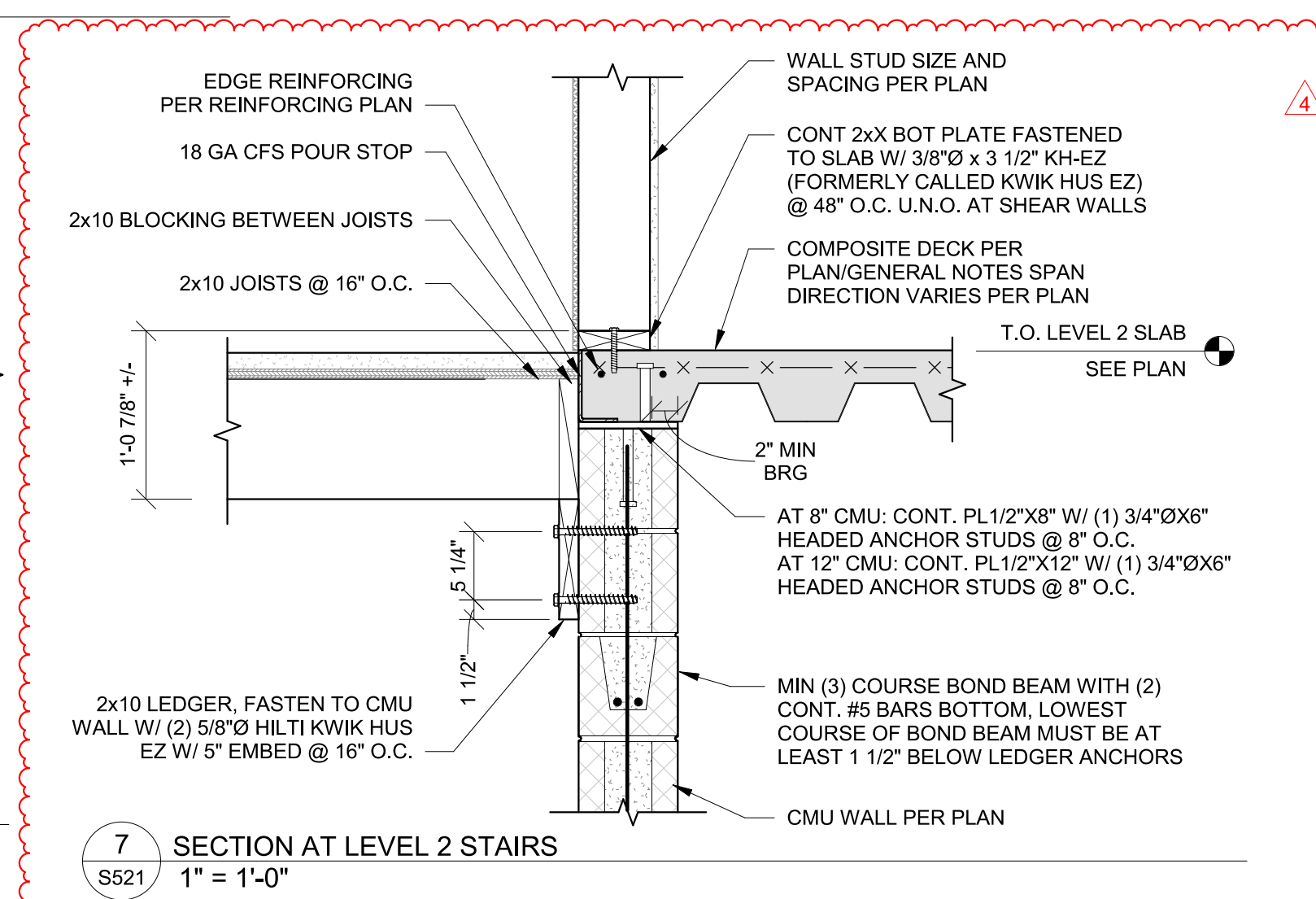
4 SECTION AT LEVEL 2 STAIRS
1" = 1'-0"



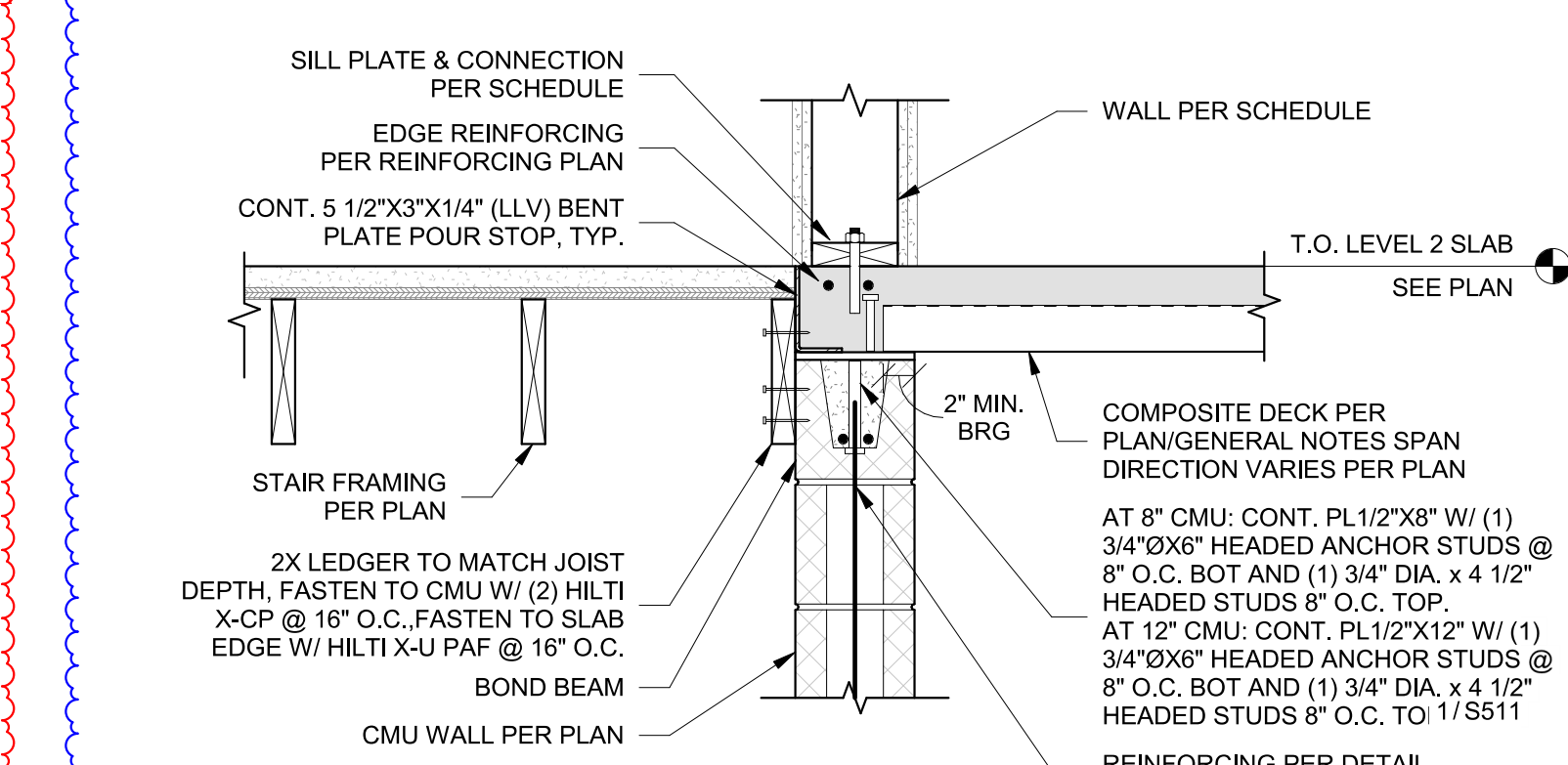
5 SECTION AT STAIR LANDING AT EXTERIOR WALL
1" = 1'-0"



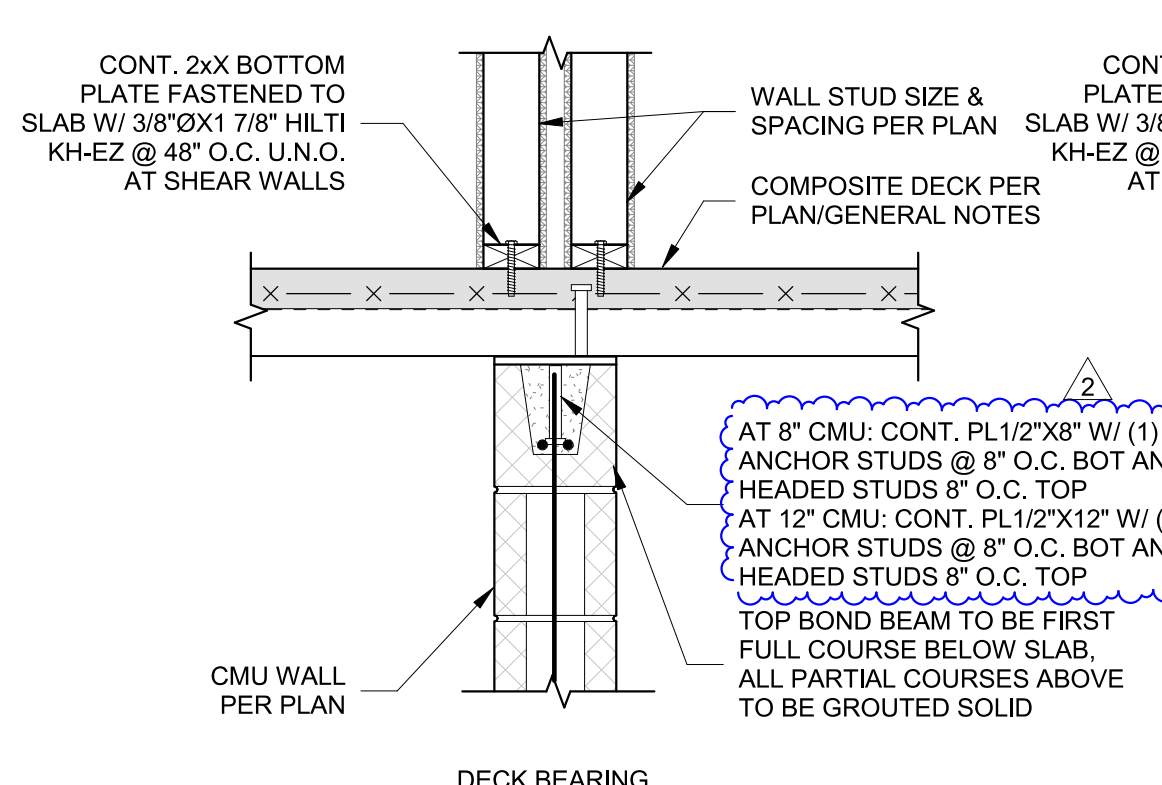
6 SECTION AT STAIR LANDING AT EXTERIOR WALL
1" = 1'-0"



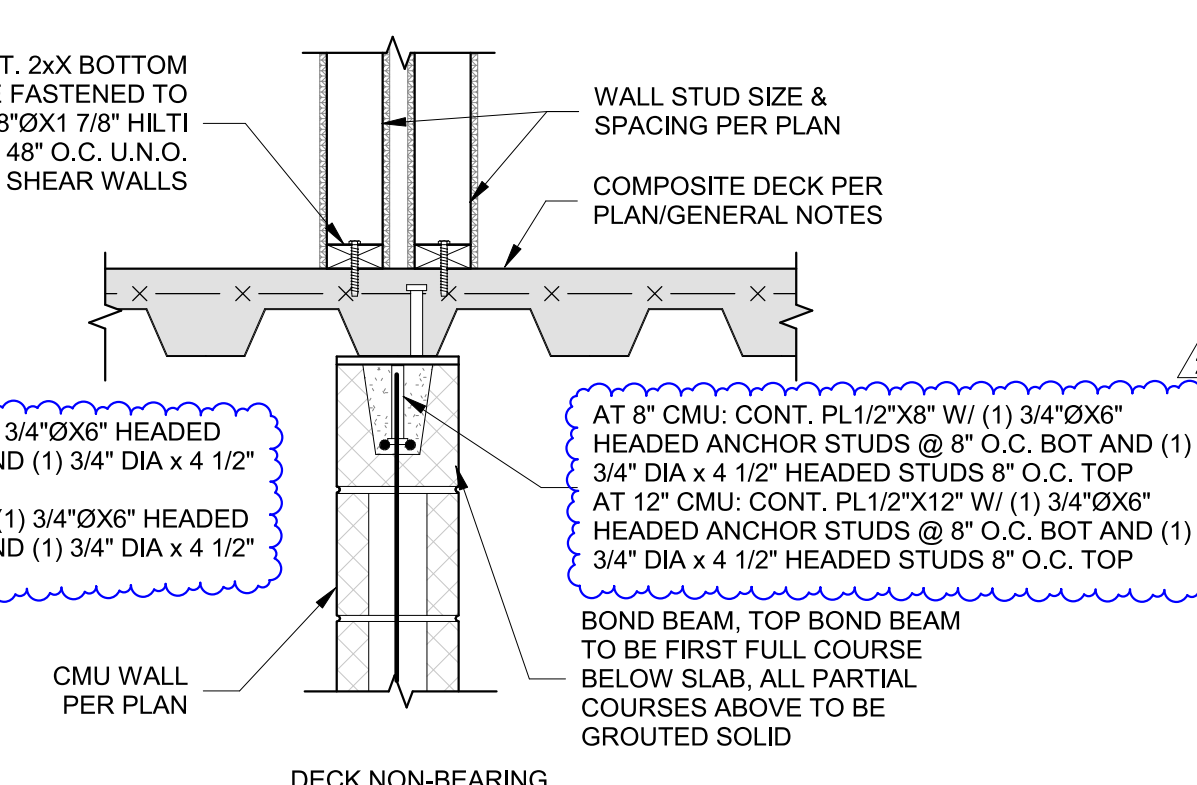
7 SECTION AT LEVEL 2 STAIRS
1" = 1'-0"



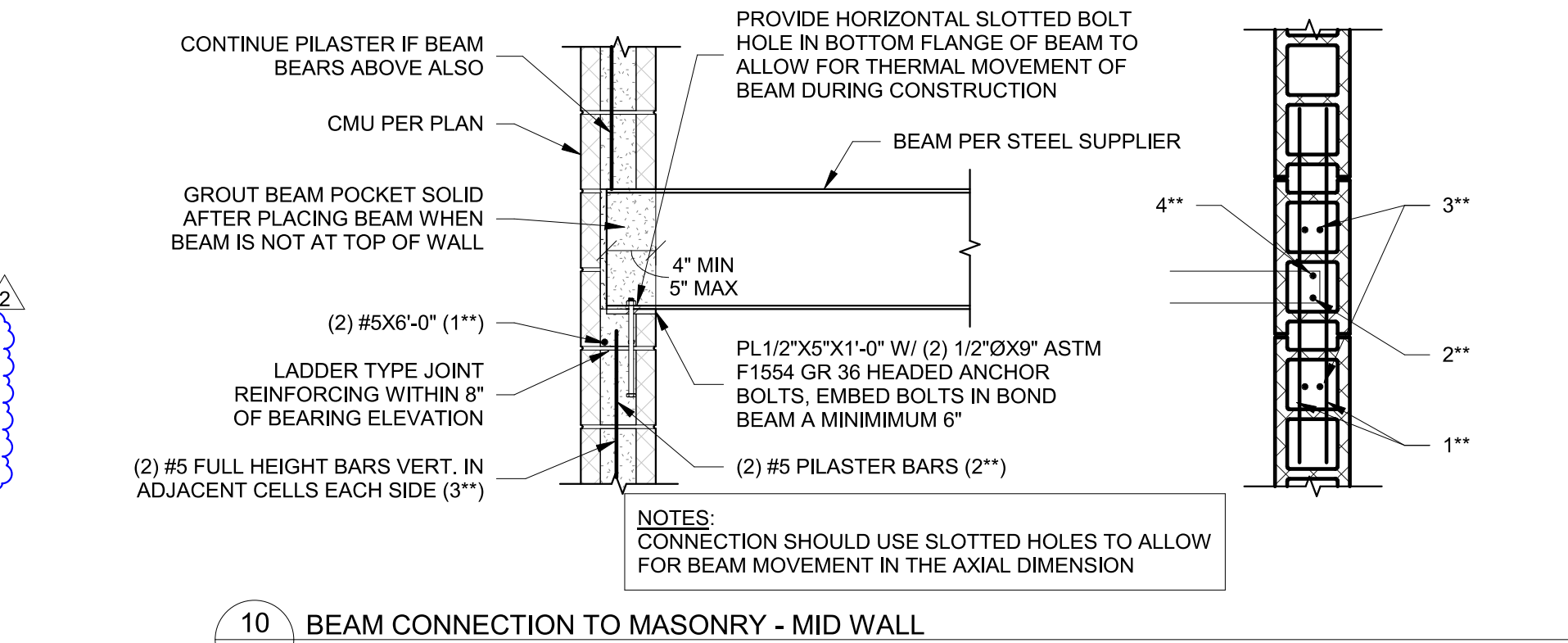
8 SECTION AT LEVEL 2 STAIRS JOISTS PARALLEL
1" = 1'-0"



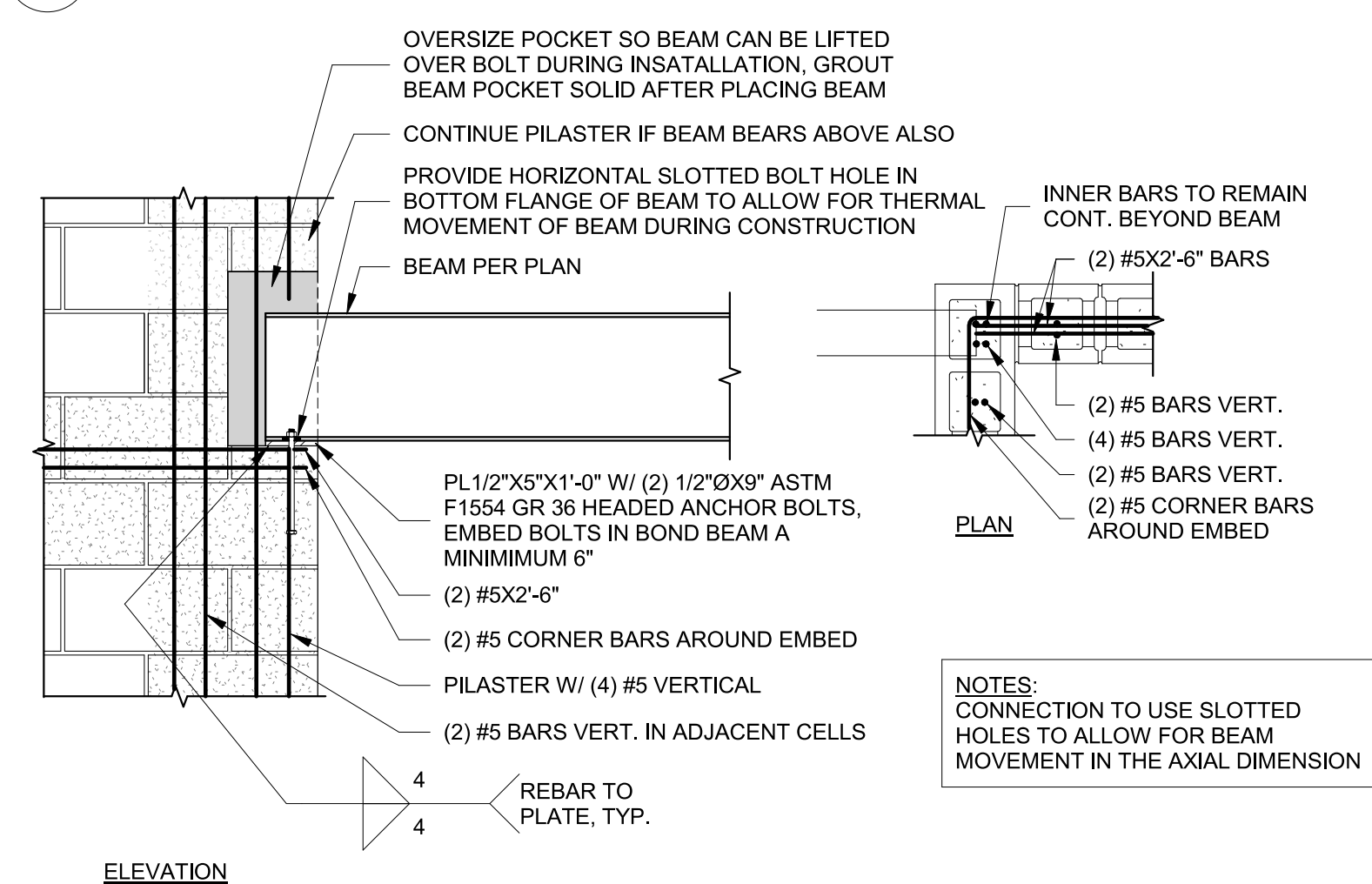
9 COMPOSITE DECK AT MASONRY
1" = 1'-0"



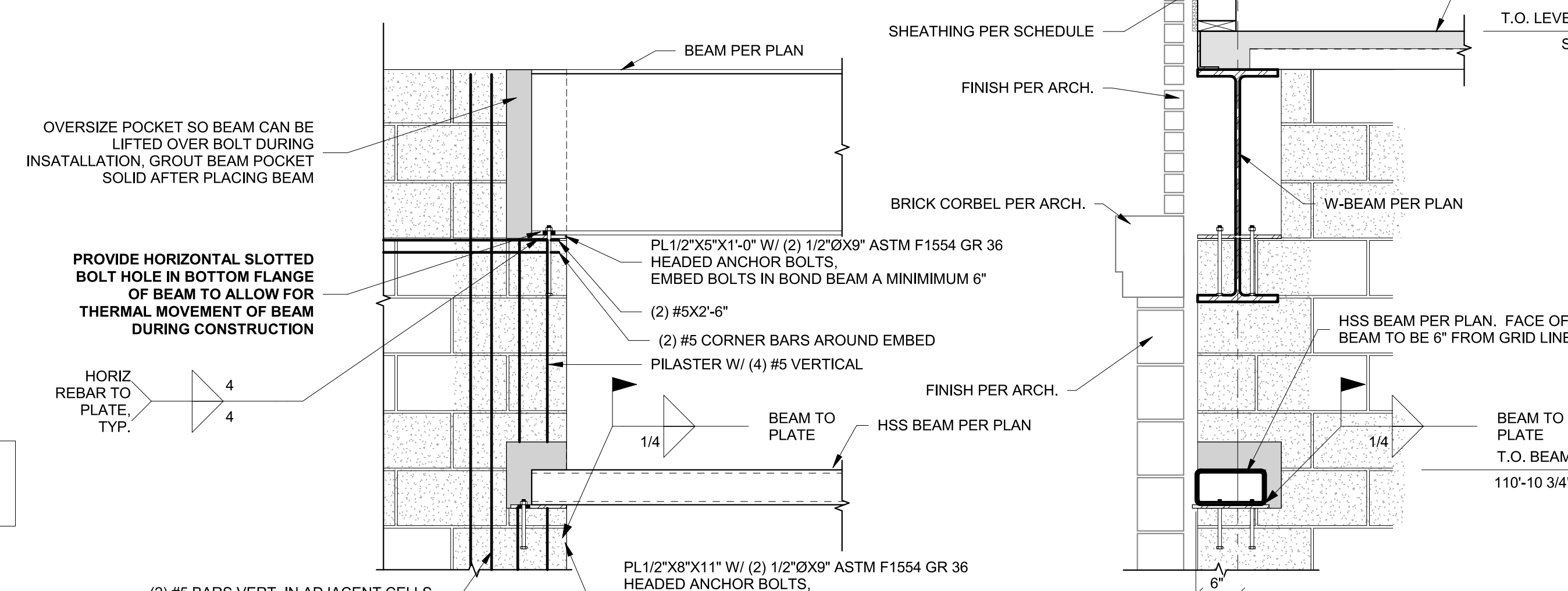
10 BEAM CONNECTION TO MASONRY - MID WALL
3/4" = 1'-0"



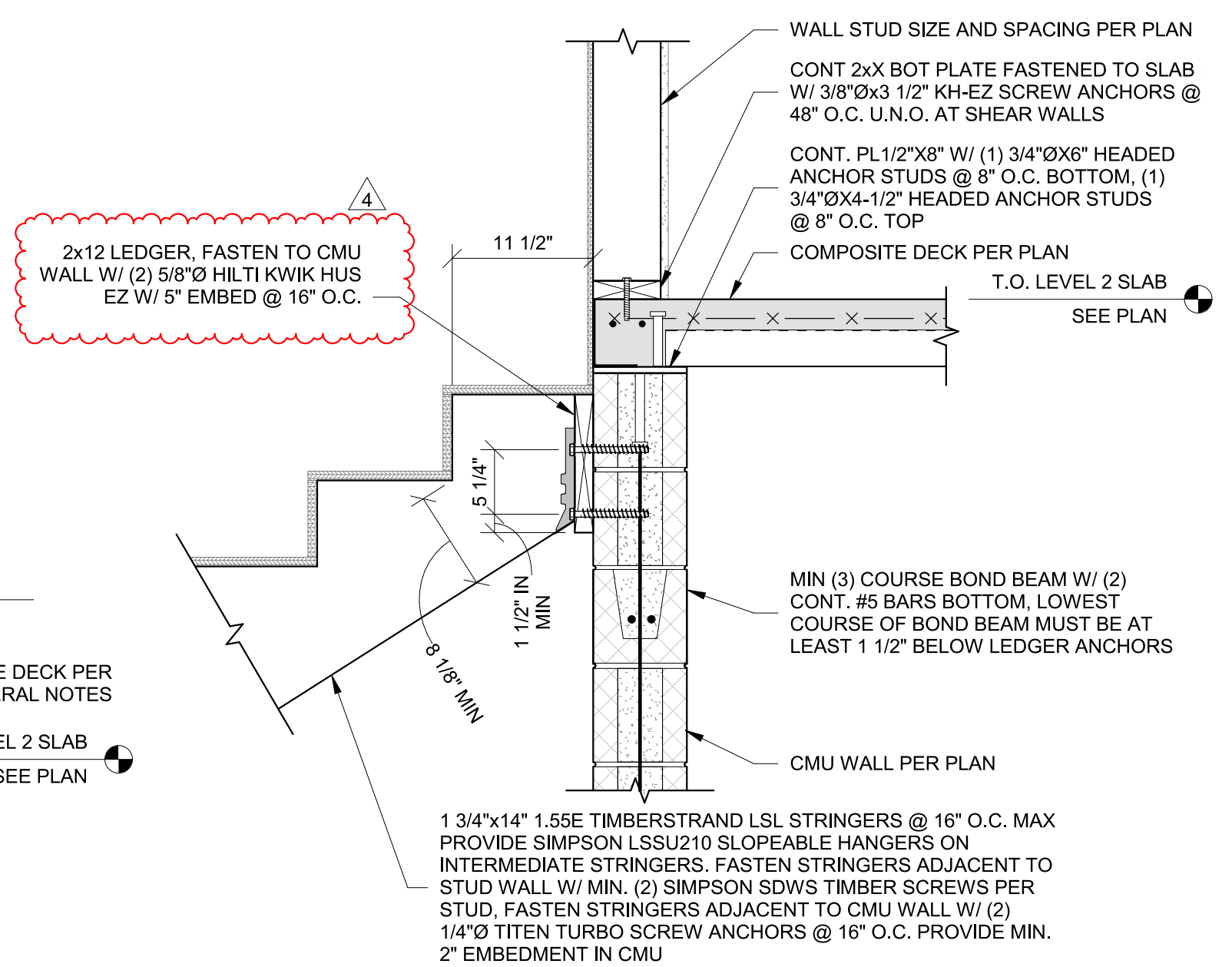
11 STAIR STRINGER CONNECTION TO CMU WALL
1" = 1'-0"



12 BEAM CONNECTION TO MASONRY AT CORNER
3/4" = 1'-0"



13 CMU WALL BEAM SUPPORT
3/4" = 1'-0"



14 SECTION AT LEVEL 2 STAIRS
1" = 1'-0"

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THE VILLAGE AT DISCOVERY -

LOT 4

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LEE'S SUMMIT, MO 64064

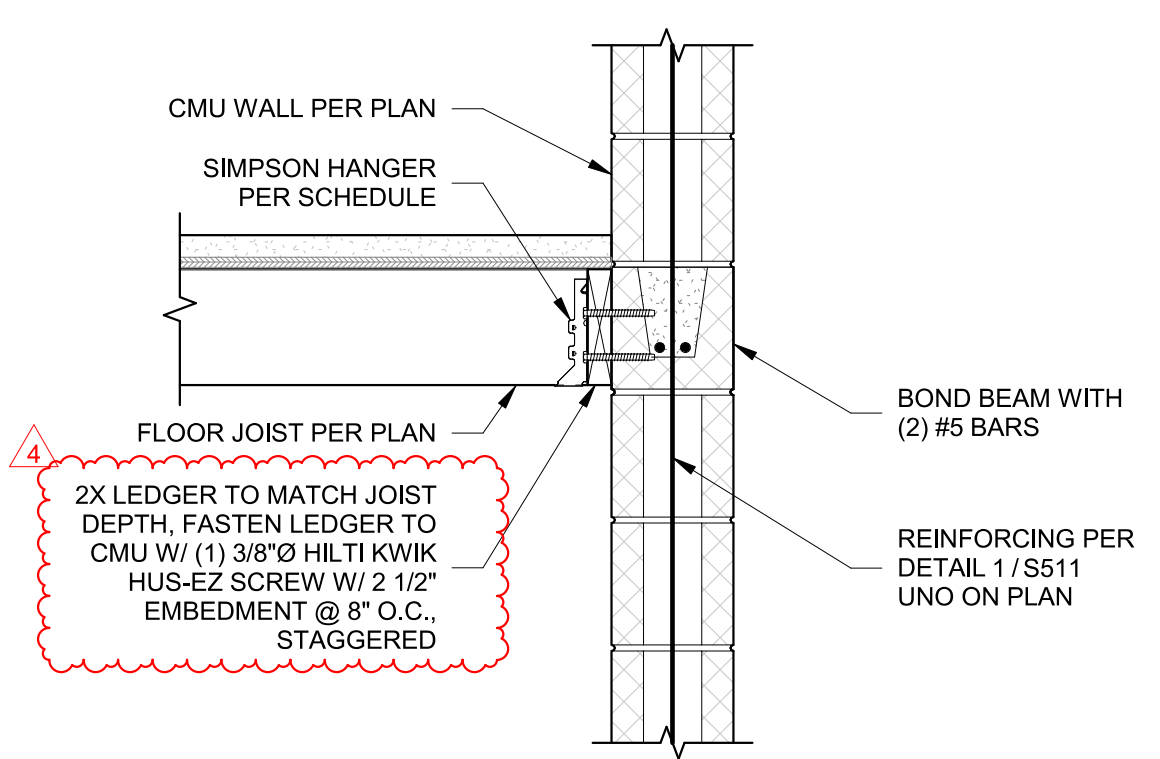
SHEET TITLE
PODIUM FRAMING DETAILS

PROJECT NUMBER: 2023000333

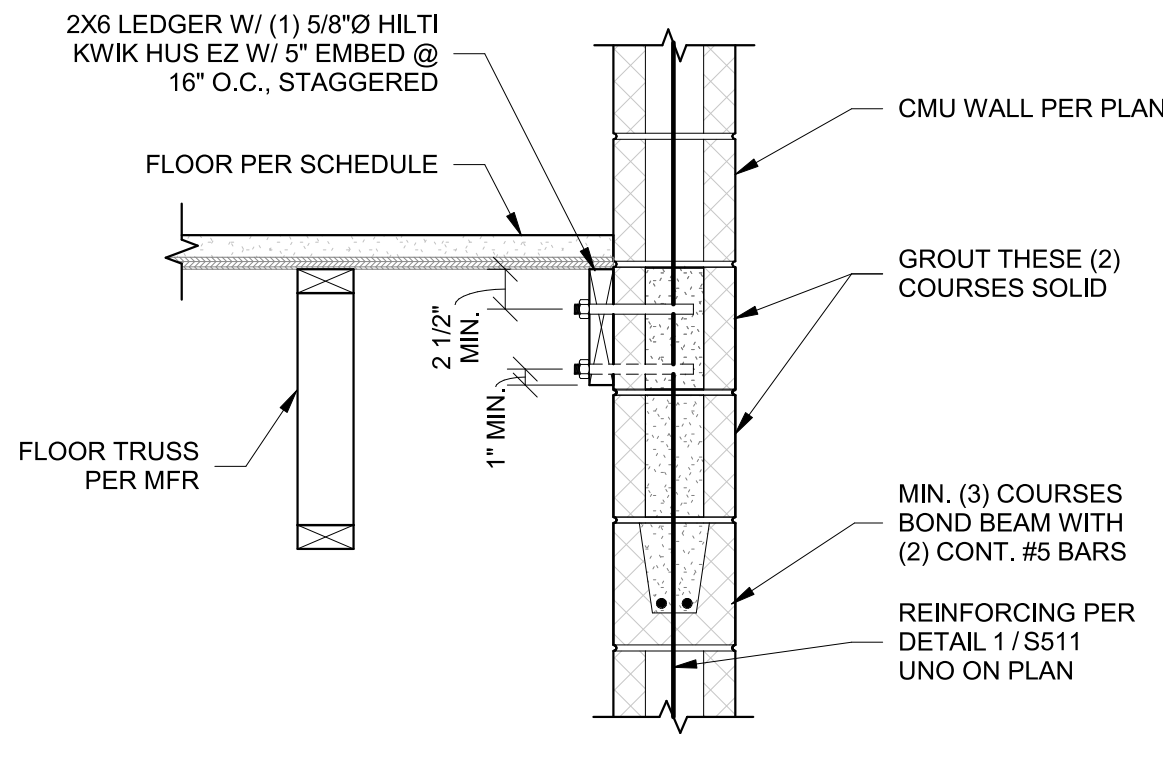
SHEET NUMBER:

S521

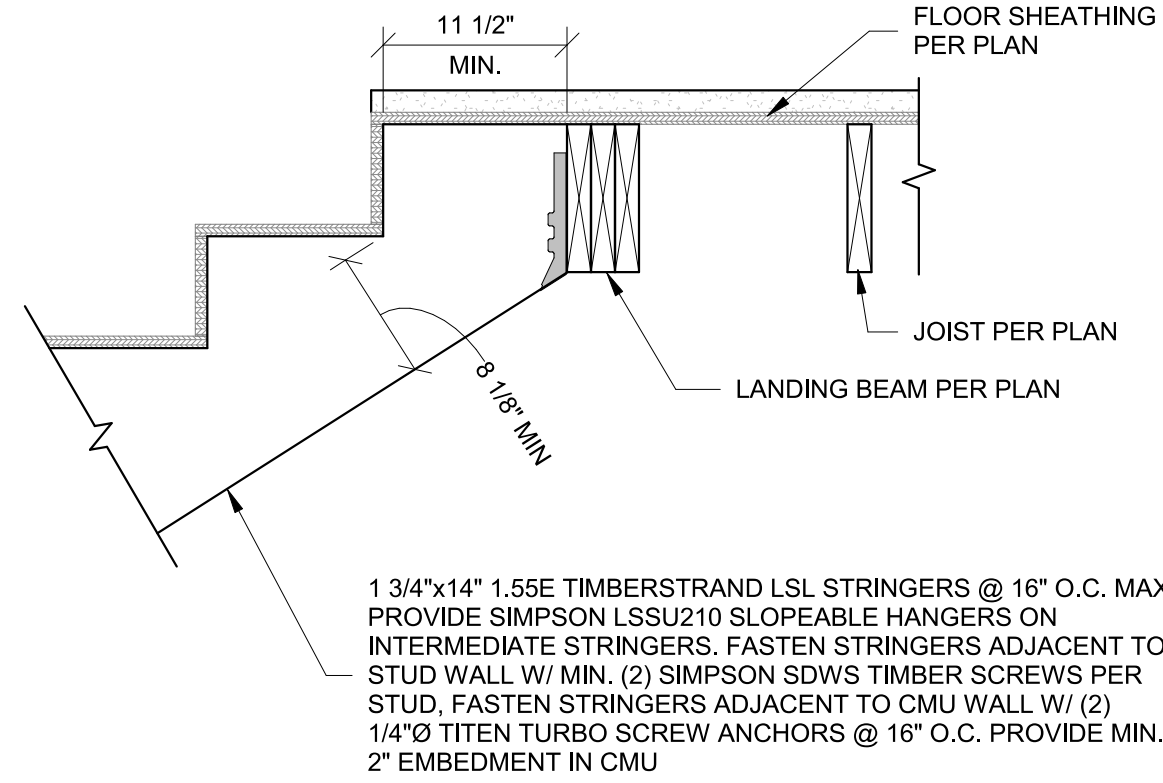
- WOOD ROOF DETAILS MOVED TO S540 SERIES SHEETS
- PODIUM FRAMING DETAILS MOVED TO THIS SHEET FROM S505, S506, S507



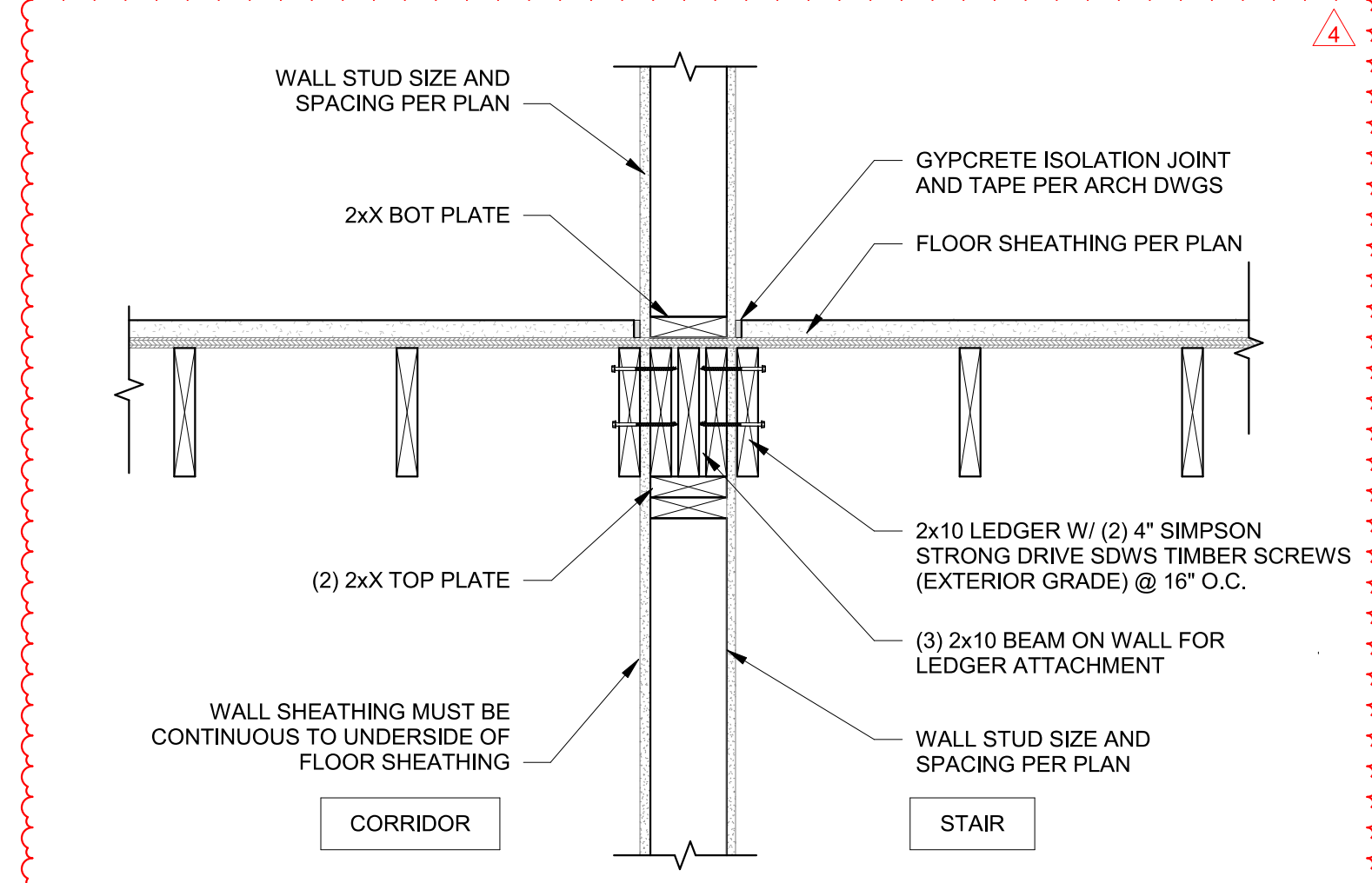
1
S532 FLOOR JOIST BEARING AT CMU
1" = 1'-0"



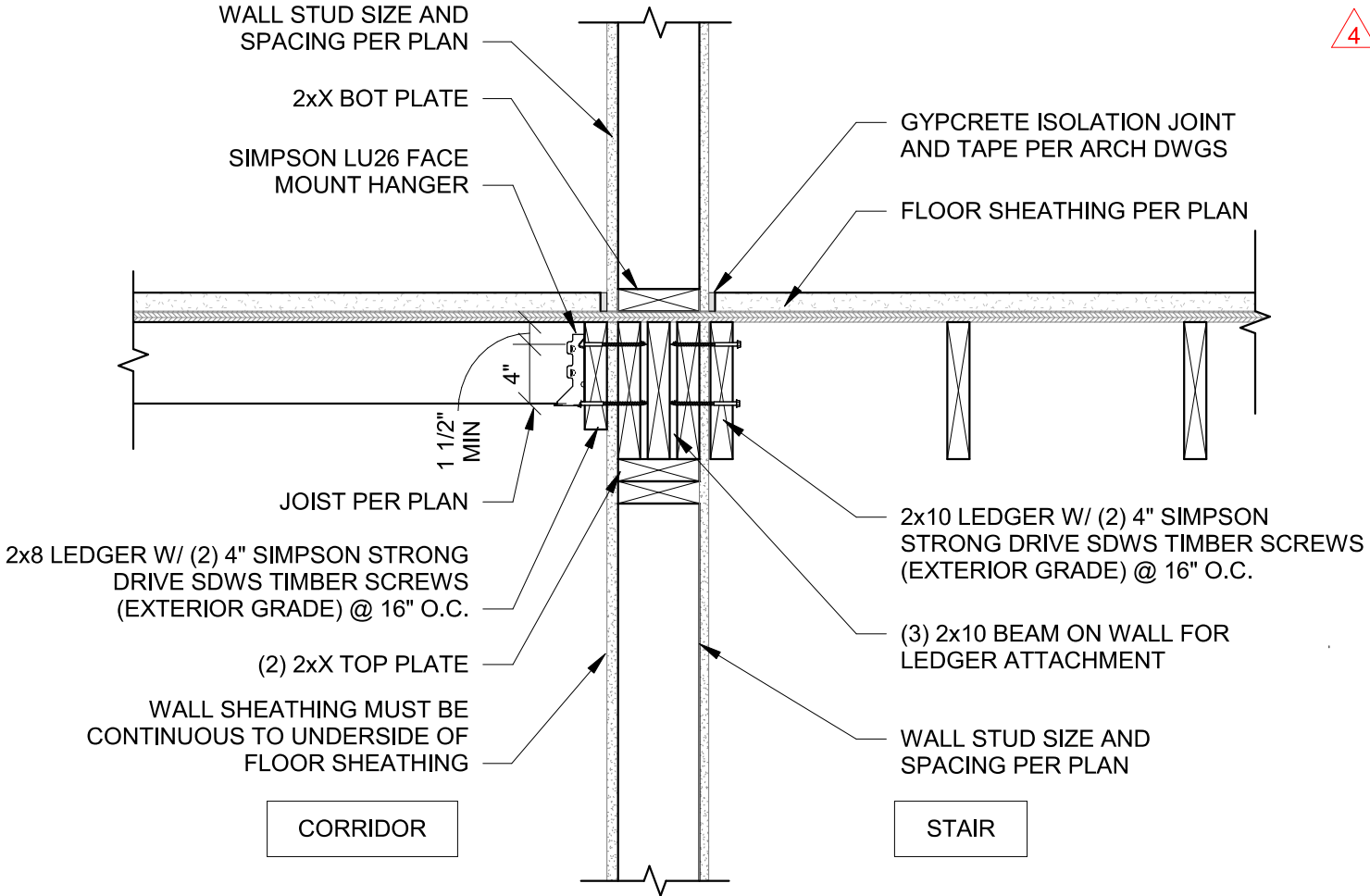
2
S532 FLOOR TRUSS PARALLEL TO CMU
1" = 1'-0"



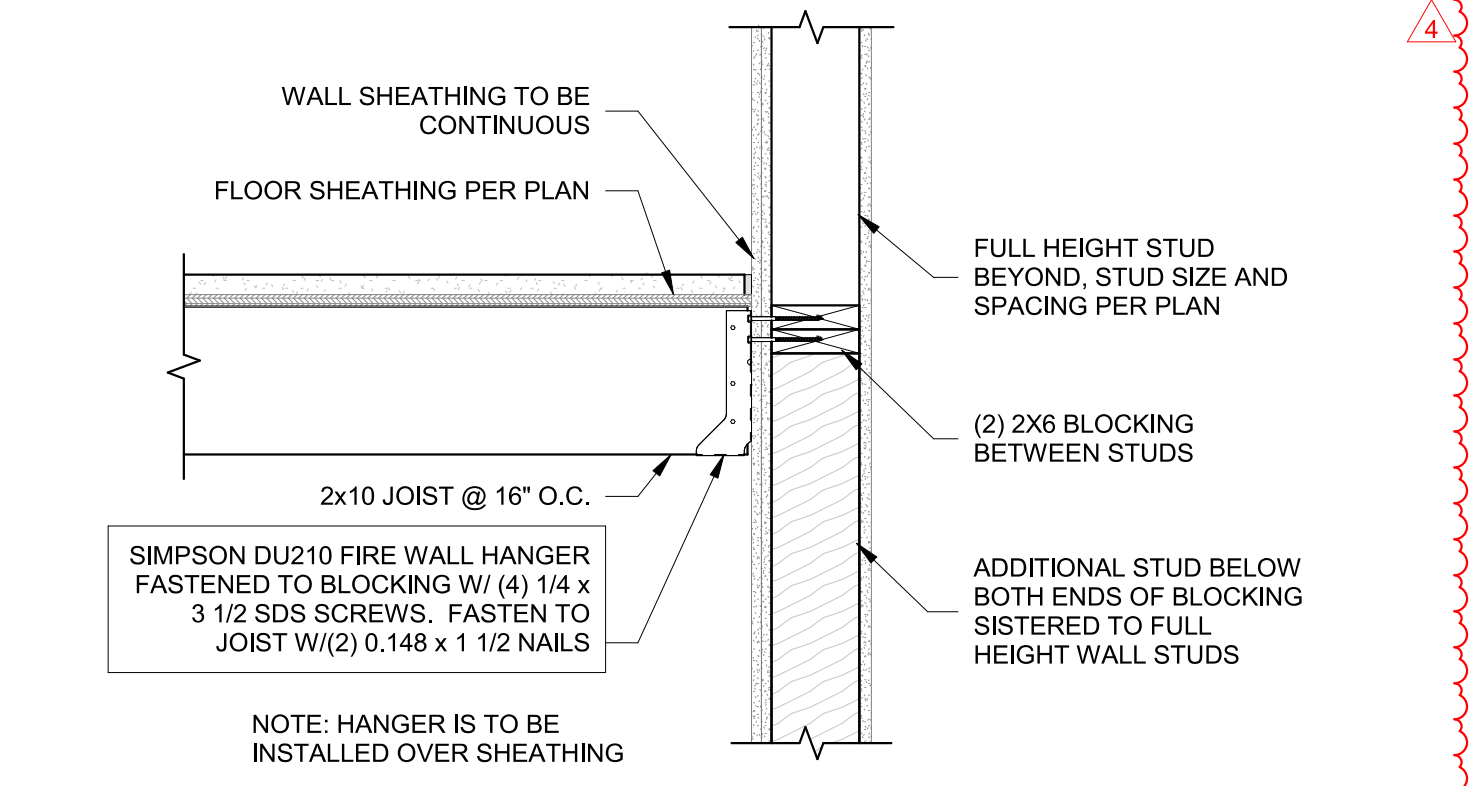
3
S532 LANDING AT FLOOR JOIST
1" = 1'-0"



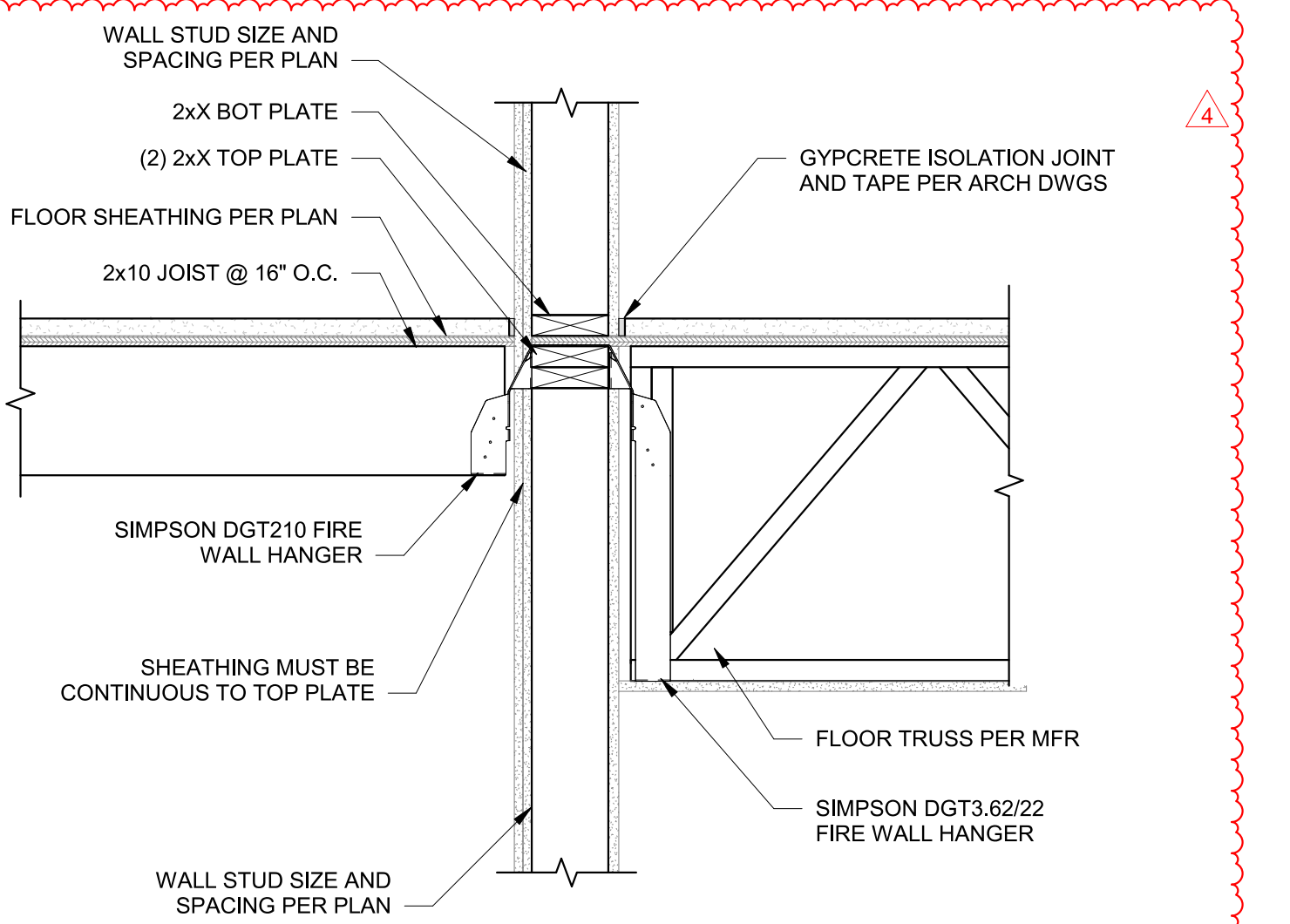
4A
S532 FRAMING AT CORRIDOR
1" = 1'-0"



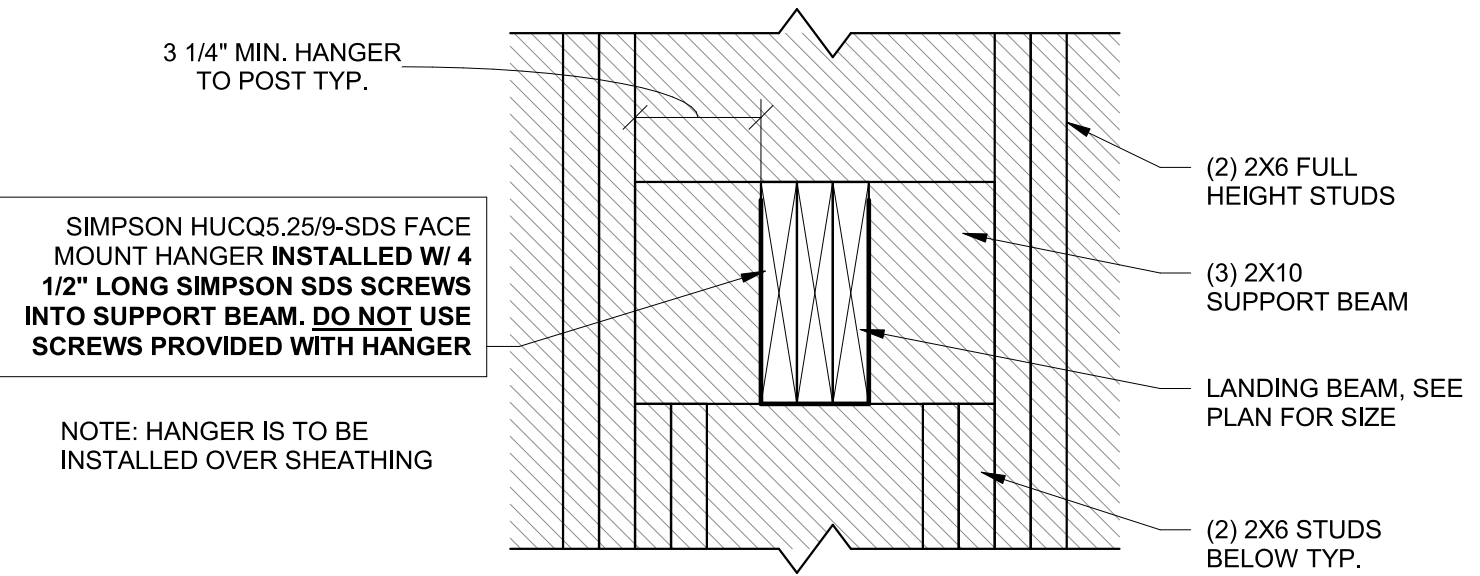
4B
S532 CORRIDOR FRAMING AT STAIR
1" = 1'-0"



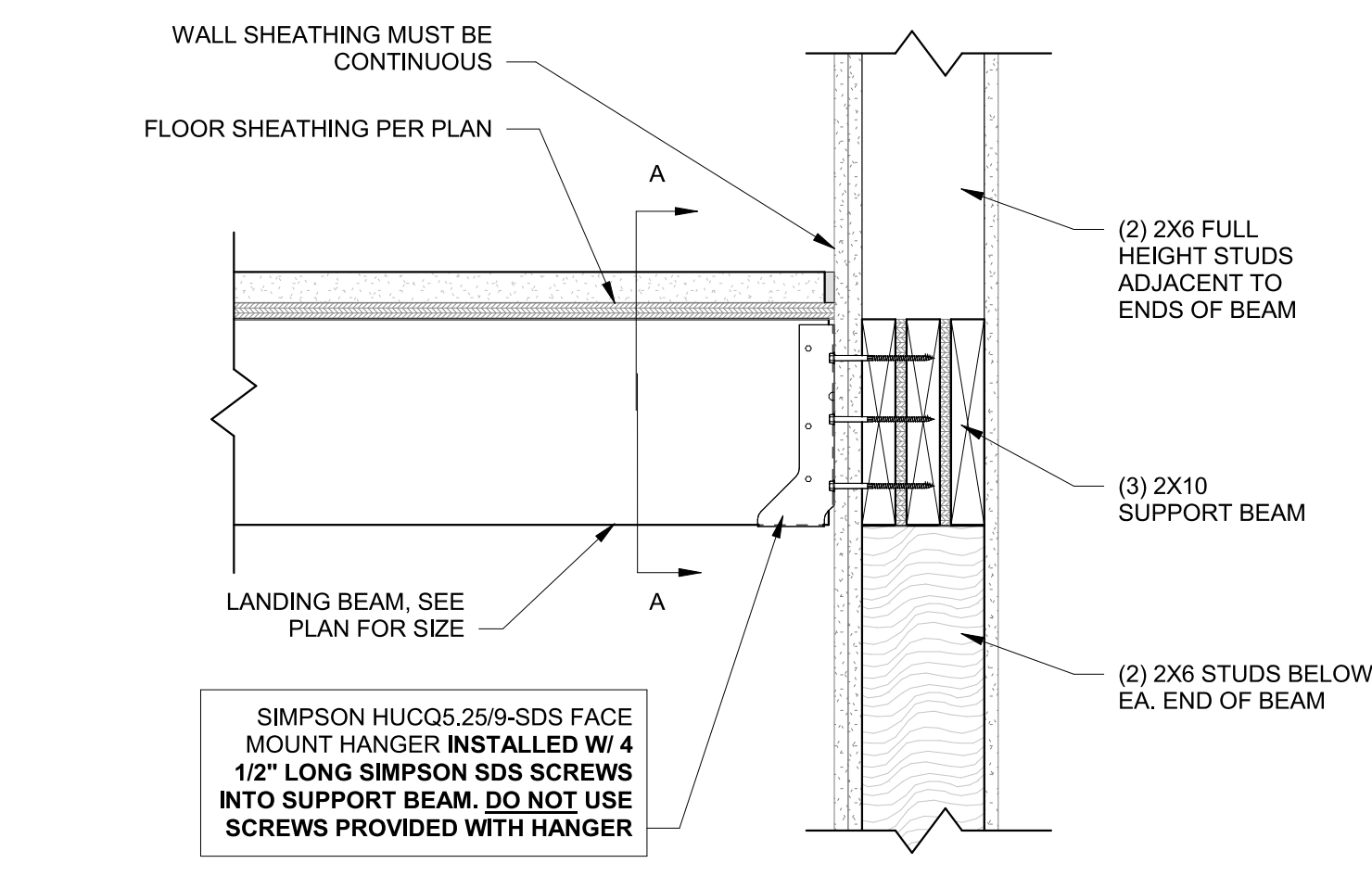
5
S532 SECTION AT STAIR WALL
1" = 1'-0"



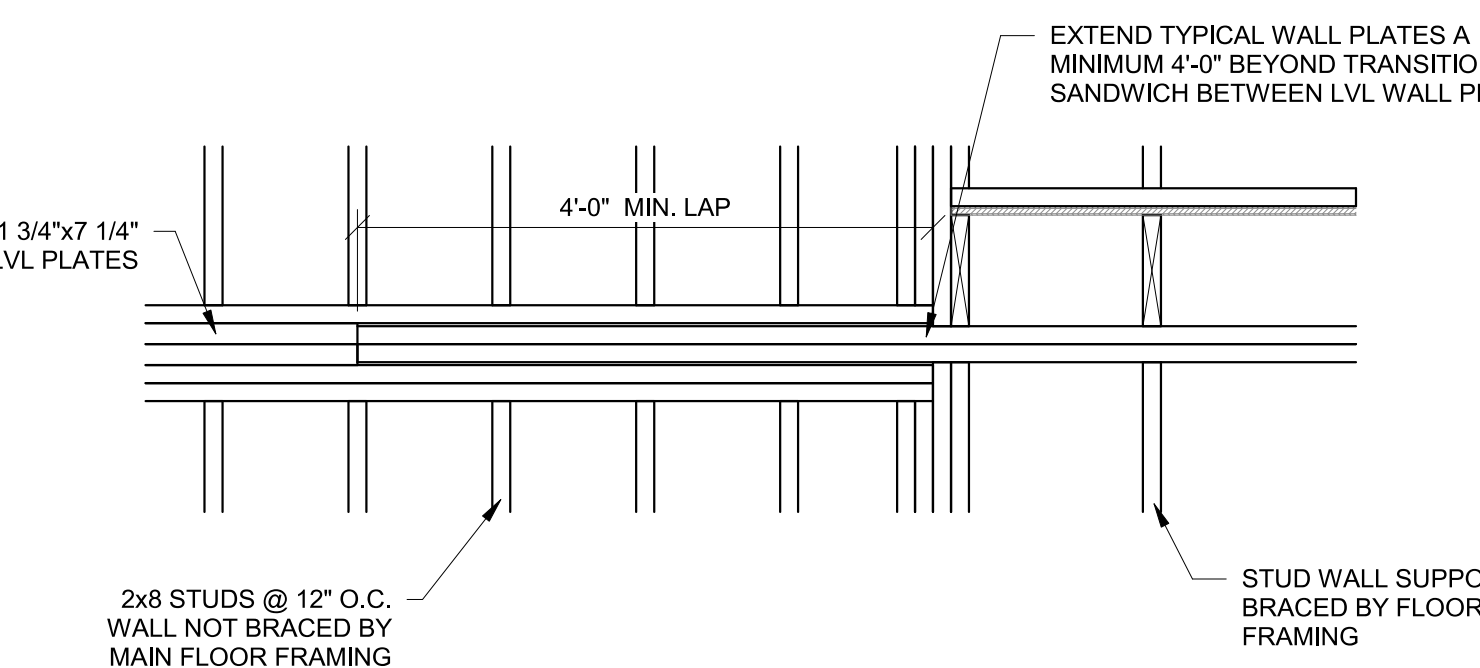
6
S532 SECTION AT STAIR WALL - TRUSS BEARING
1" = 1'-0"



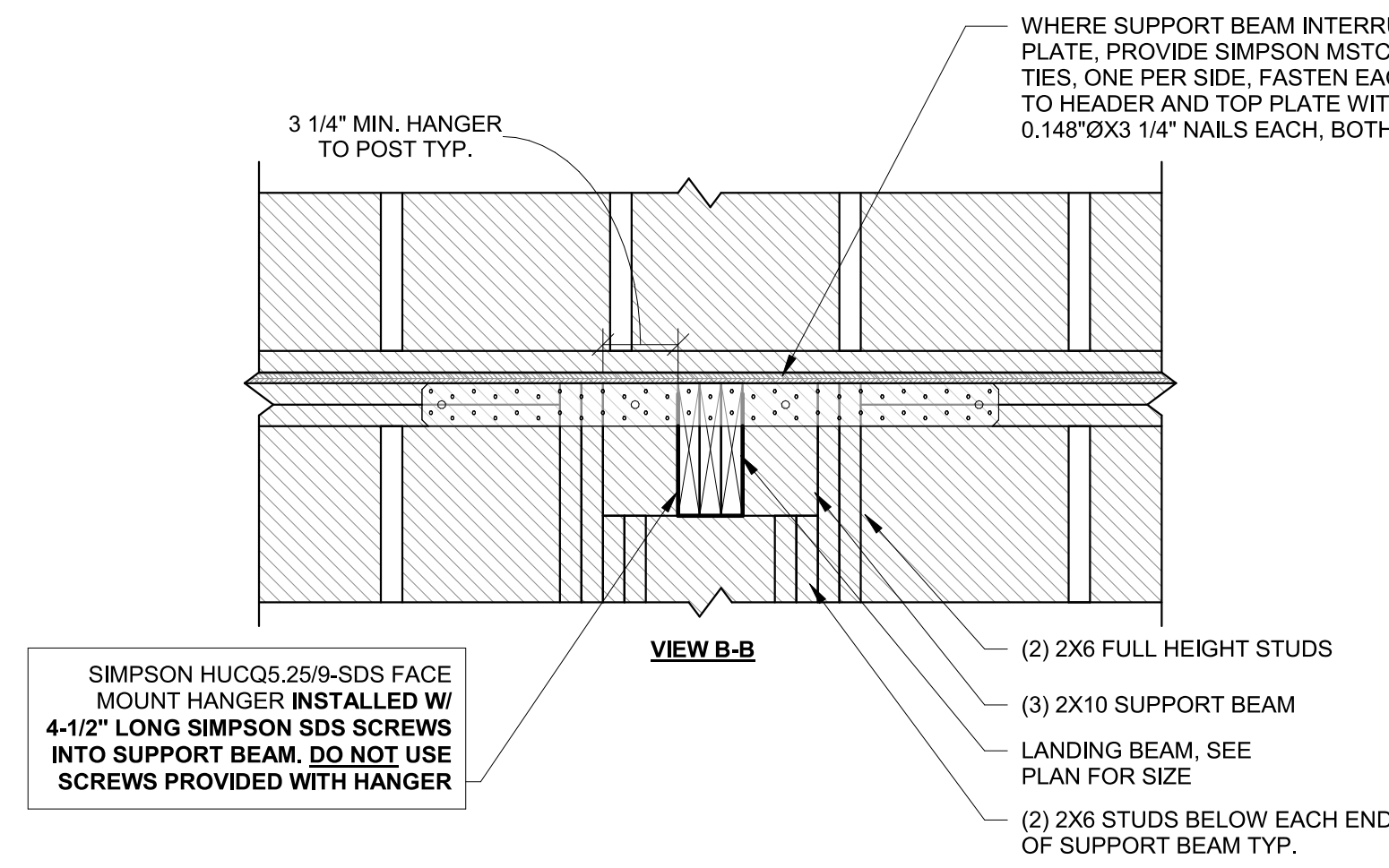
7
S532 STAIR INTERMEDIATE LANDING BEAM TO SUPPORT BEAM1
1 1/2" = 1'-0"



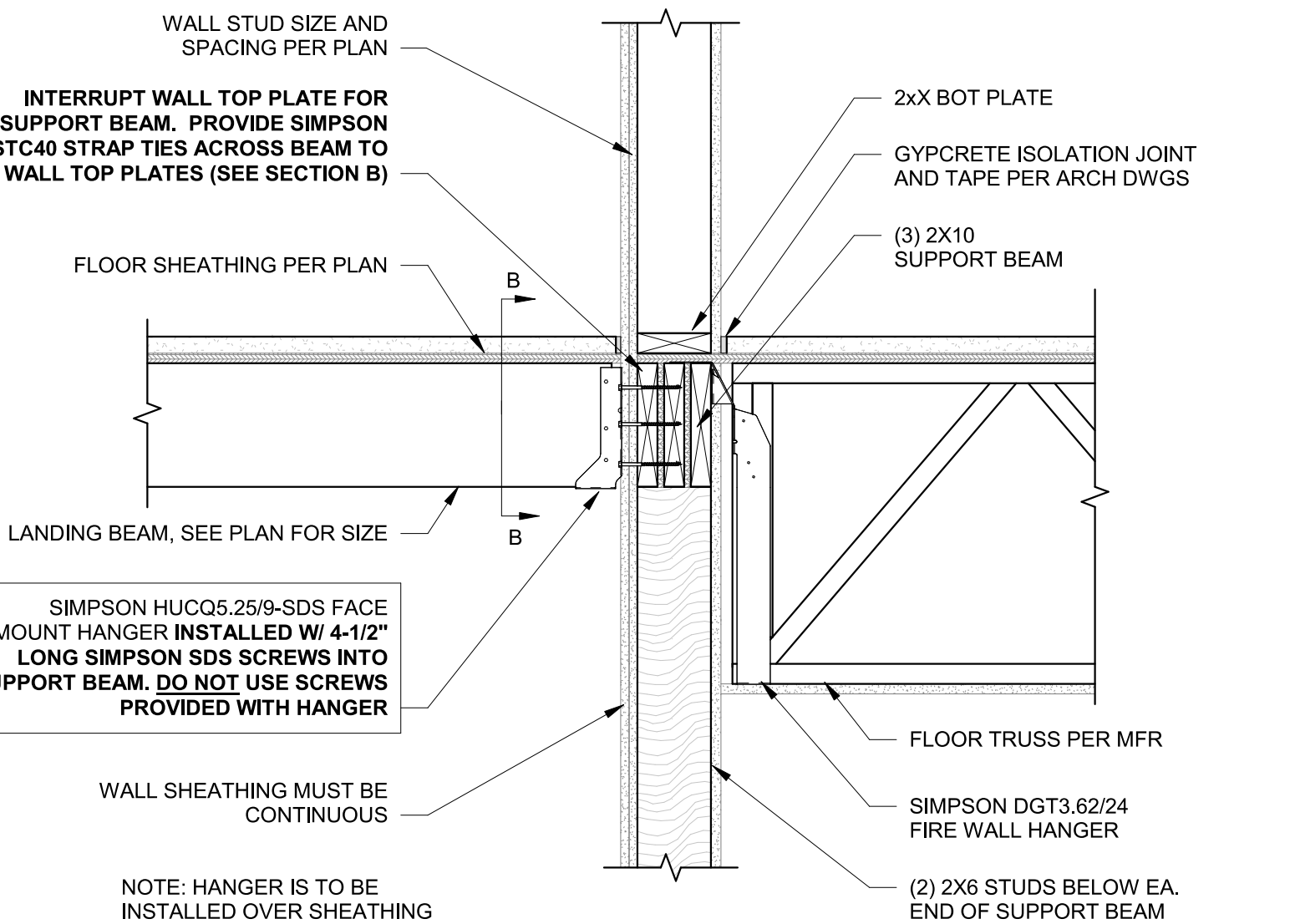
7
S532 STAIR INTERMEDIATE LANDING BEAM TO SUPPORT BEAM1
1 1/2" = 1'-0"



9
S532 STAIR FRAMING SECTION
3/4" = 1'-0"



8
S532 SECTION AT STAIR WALL - UPPER LANDING BEAM BEARING
1" = 1'-0"



8
S532 SECTION AT STAIR WALL - UPPER LANDING BEAM BEARING
1" = 1'-0"

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EXPIRES: DECEMBER 31, 2024

STATE OF MISSOURI
CELESTE KAY SPICKERT
Professional Engineer
NUMBER PE-200802213
01/23/2025

THE VILLAGE AT DISCOVERY -
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1921 NE DISCOVERY AVE.
LEE'S SUMMIT, MO 64064

SHEET TITLE
WOOD FLOOR FRAMING DETAILS

PROJECT NUMBER: 2023000333

SHEET NUMBER:

S532
RENUMBERED SHEET
(FORMERLY S511)