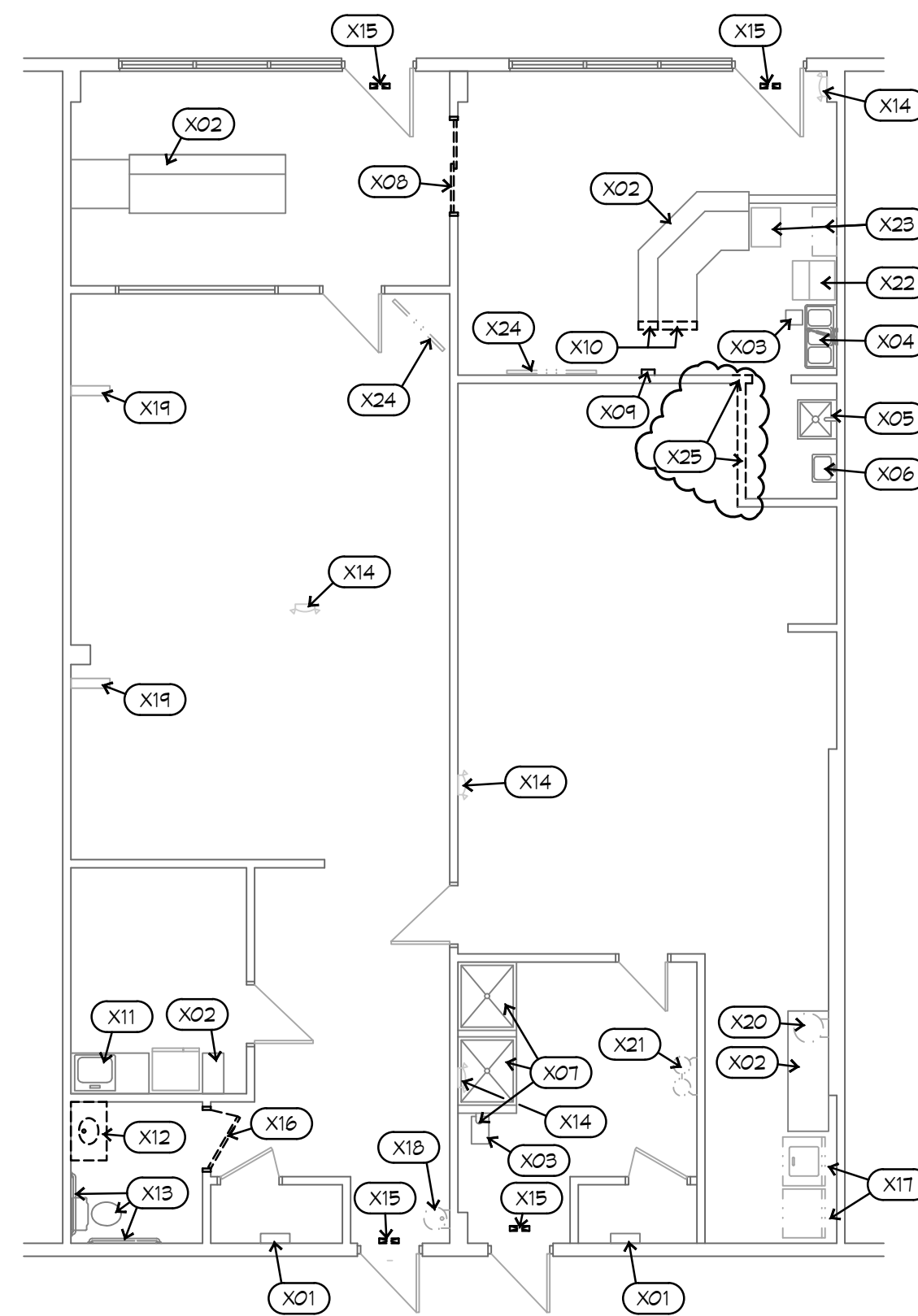


1. PROVIDE WATER CLOSET WITH SEAT HEIGHT BETWEEN 17 AND 19 INCHES MEASURED TO TOP OF THE SEAT. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET. CENTERLINE OF WATER CLOSET SHALL BE 16" TO 18" FROM THE SIDE WALL.
2. PROVIDE LAVATORY WITH RIM MOUNTED AT 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. BOTTOM OF ARBON TO BE 24 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. TAPKET SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY. THE CENTERLINE OF THE LAVATORY SHALL BE A MINIMUM OF 15" FROM THE SIDE WALL.
3. PROVIDE MIRROR MOUNTED 40" MAXIMUM TO BOTTOM OF REFLECTIVE SURFACE.
4. PROVIDE TOILET PAPER DISPENSER. TOILET PAPER DISPENSER TO BE 7 INCHES FROM RIM OF TOILET TO CENTER OF TOILET PAPER ROLL (IN PLAN HORIZONTAL). TOILET PAPER TO BE 1" MINIMUM ABOVE FINISHED FLOOR.
5. PROVIDE GRAB BARS AS FOLLOWS: 6"X4 HORIZONTAL GRAB BAR TO BE 42" MIN LONG, 12" FROM BACK WALL, AND 33"-36" AFF. SIDE VERTICAL GRAB BAR TO BE 18" MIN LONG, 40" FROM BACK WALL, AND 40" AFF TO BOTTOM OF BAR. REAR HORIZONTAL GRAB BAR TO BE 36" MIN LONG, 6" MAX FROM SIDE WALL, AND 33"-36" AFF. ALL GRAB BARS TO HAVE 1½" MAX DIA. AND 1½" OFFSET FROM WALL.
6. SOAP AND PAPER TOWEL DISPENSERS (IF PROVIDED) TO BE INSTALLED AT 34" AFF TO SOAP SPOUT OR TOWEL DISPENSING LOCATION.
7. PROVIDE ON EXTERIOR LATCH SIDE OF DOOR MATTE FINISH TOILET ROOM SIGN 60" A.F.F. WITH BRAILLE AND WITH RAISED CONTRASTING LETTERS ¾" TO 2" TALL WITHOUT SERIF.
8. ALL WALL SURFACES ARE TO BE SCRUBABLE. PAINT WALLS WITH TWO PART EPOXY PAINT, OR PROVIDE OTHER SCRUBABLE SURFACE.



1 DEMO AND EXISTING FLOOR PLAN
1/8"=1'-0"



(X01) EXISTING TO REMAIN ELECTRICAL PANEL.

(X02) EXISTING TO REMAIN CASEWORK AND COUNTERTOPS.

(X03) EXISTING TO REMAIN FLOOR SINK.

(X04) EXISTING TO REMAIN THREE COMPARTMENT SINK. SINK HAS EXISTING TO REMAIN DRAIN WITH OPEN AIR GAP TO FLOOR SINK.

(X05) EXISTING TO REMAIN SERVICE SINK.

(X06) EXISTING TO REMAIN HAND SINK.

(X07) EXISTING TO REMAIN DOG WASH BASINS. BASINS HAVE EXISTING TO REMAIN DRAIN WITH OPEN AIR GAP TO FLOOR SINK.

(X08) REMOVE AND DISCARD SLIDING GLASS DOOR AND FRAME

(X09) REMOVE AND DISCARD GYPSUM BOARD COVERED LOW FURR-OUT

(X10) REMOVE AND DISCARD PORTION OF COUNTERTOP AND LOW KNEE WALL AS REQUIRED TO PROVIDE MINIMUM OF 32" CLEARANCE BETWEEN WALL AND COUNTERTOP.

(X11) FIELD VERIFY EXISTING TO REMAIN SINK TO BE ADA ACCESSIBLE. RM OF SINK IS TO BE MAXIMUM OF 34" ABOVE FINISHED FLOOR. DEPTH OF SINK TO BE MAXIMUM OF 6.5" DEEP. FACET SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. NON-CONFORMING ITEMS ARE TO BE PROVIDED AND/OR CORRECTED AS PART OF THE WORK.

(X12) REMOVE AND SALVAGE VANITY CASEWORK, SINK, AND COUNTERTOP.

(X13) EXISTING TO REMAIN TOILET, ACCESSORIES, AND GRAB BARS TO BE FIELD VERIFIED TO CONFORM TO REQUIREMENTS OF ADA TYPICAL TOILET ROOM NOTES THIS SHEET. ANY ITEMS FOUND TO NOT BE IN CONFORMANCE ARE TO BE REMOVED AND MODIFIED OR REPLACED WITH NEW ITEMS TO CONFORM TO THE REQUIREMENTS.

(X14) EXISTING TO REMAIN EMERGENCY LIGHT.

(X15) REMOVE AND DISCARD EXIT SIGN. REPLACE WITH NEW EXIT SIGN AS INDICATED BY NEW YORK PLAN NOTE.

(X16) REMOVE AND REINSTALL DOOR AND FRAME AS INDICATED BY NEW YORK PLAN NOTE.

(X17) EXISTING TO REMAIN WASHER AND DRYER AND HOOK-UPS.

(X18) EXISTING TO REMAIN WALL MOUNTED VACUUM WITH PIPING TO REMOTE HOSE DROP LOCATIONS.

(X19) EXISTING TO REMAIN VACUUM HOSE DROP LOCATION.

(X20) EXISTING TO REMAIN WALL MOUNTED VACUUM WITH HOSE.

(X21) EXISTING TO REMAIN WALL MOUNTED FUR DRYER.

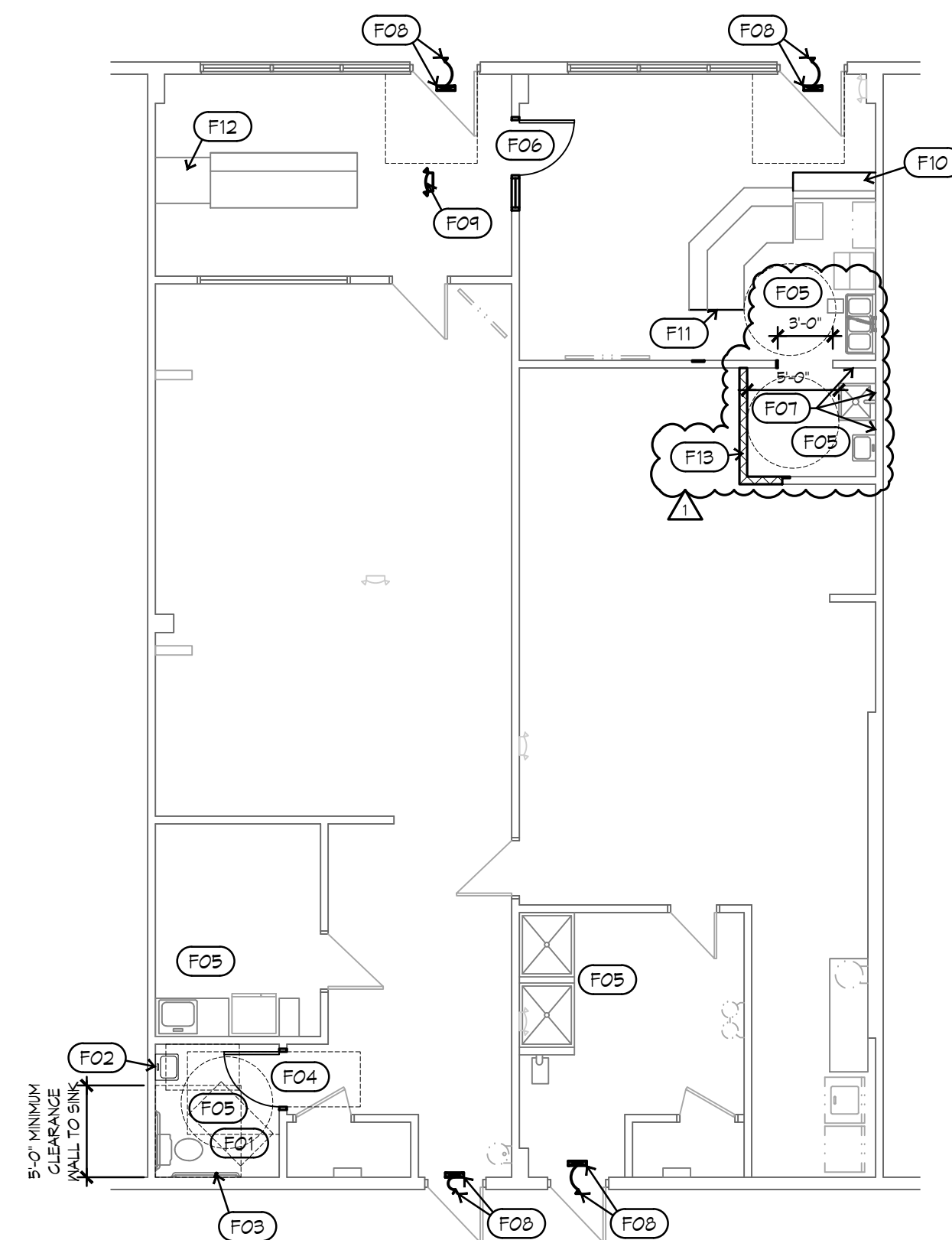
(X22) EXISTING TO REMAIN ICE MACHINE WITH DRAIN WITH AIR GAP TO FLOOR SINK.

(X23) EXISTING TO REMAIN SODA DISPENSING/REFRIGERATION UNIT.

(X24) EXISTING TO REMAIN TV

(X25) REMOVE AND DISCARD PORTION WALL AND FRAMING.

1. FINAL SELECTION OF ALL FINISHES ARE TO BE CONFIRMED BY TENANT OR TENANT'S INTERIOR DESIGNER.
2. ALL FLOORING AND BASE FINISHES ARE EXISTING TO REMAIN. ALL EXISTING SURFACES ARE WASHABLE AND SCRUBABLE.
3. ALL WALL SURFACES ARE EXISTING TO REMAIN.
4. ALL CEILINGS ARE EXISTING TO REMAIN ACOUSTICAL TILE CEILINGS.



1 NEW WORK FLOOR PLAN
1/8"=1'-0"



(F01) EXISTING TO REMAIN TOILET ROOM IS TO BE FIELD VERIFY THAT EXISTING FIXTURES AND ACCESSORIES CONFORM TO THE REQUIREMENTS OF THE TOILET ROOM TYPICAL NOTES THIS SHEET. ANY MISSING OR NON-CONFORMING FIXTURES OR ACCESSORIES ARE TO BE PROVIDED AND/OR CORRECTED AS PART OF THE WORK.

(F02) PROVIDE NEW ADA ACCESSIBLE SINK AND FAUCET AS INDICATED BY TOILET ROOM TYPICAL NOTES THIS SHEET.

(F03) PROVIDE NEW 18" VERTICAL GRAB BAR AS INDICATED BY TOILET ROOM TYPICAL NOTES THIS SHEET.

(F04) REINSTALL DOOR AND FRAME INDICATED TO BE RELOCATED BY DEMO AND EXISTING PLAN NOTE X18. DOOR IS TO SWING INTO ROOM AND NOT HAVE A CLOSURE.

(F05) FIELD VERIFY ELECTRICAL OUTLETS IN ROOM OR AREAS NEAR PLUMBING FIXTURES CONFORM TO GFCI REQUIREMENTS INDICATED BY ELECTRICAL NOTES PARAGRAPH 3 ON SHEET A1.

(F06) NEW 3'-0" X 6'-0" DOOR, WOOD FRAME, SIDE LITE AND CASINGS TO MATCH EXISTING DOORS. SIDE LITE GLASS 1/2" TEMPERED GLASS. PROVIDE COMPLETE HARDWARE INCLUDING ADA LEVER PASSAGE LATCHSET. DOOR IS TO NOT HAVE A THRESHOLD.

(F07) AT EXISTING TO REMAIN SERVICE SINK PROVIDE FRP PANEL FROM FLOOR TO 48" AFF. EXTENDING 24" BEYOND EDGE OF SINK EACH WAY.

(F08) INSTALL NEW EXT SIGN WITH EXTERIOR REMOTE EMERGENCY LIGHTING FEED.

(F09) PROVIDE CEILING MOUNTED EMERGENCY LIGHT.

(F10) PROVIDE NEW 12" DEEP ACCESSIBLE COUNTER IN ACCORDANCE WITH ICC A111.1 SECTION 404.3. A PORTION OF THE COUNTER SURFACE SHALL BE 36" MINIMUM IN LENGTH AND 36" MAXIMUM IN HEIGHT. A 30"x48" CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED.

(F11) PATCH AND REPAIR EXISTING TO REMAIN COUNTER AND KNEE WALL TO PROVIDE MINIMUM 32% CLEARANCE TO WALL.

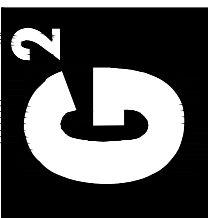
(F12) FIELD VERIFY EXISTING SALES AND SERVICE COUNTER PROVIDES AN ACCESSIBLE COUNTER IN ACCORDANCE WITH ICC A111.1 SECTION 404.3. A PORTION OF THE COUNTER SURFACE SHALL BE 36" MINIMUM IN LENGTH AND 36" MAXIMUM IN HEIGHT. A 30"x48" CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED. NON-CONFORMING COUNTERS ARE TO BE CORRECTED AND/OR PROVIDED NEW AS PART OF THE WORK.

(F13) CONSTRUCT WALL FROM TO UNDERPINEMENT OF CEILING ABOVE NTH SYMBUIM BOOM ON EACH SIDE OF STUD FRAMING AT 16" O.C.



-22-25

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DOGGY STYLZ GROOMING

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NEW	DATE	DESCRIPTION
<input checked="" type="checkbox"/>	1.22.25	CITY COMMENTS
DATE: 1-9-25		
PROJECT# 24028		

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