GENERAL NOTES KEY PLAN DOGGY MAINTAIN ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER CONSTRUCTION TO REMAIN SO THAT IT MEETS THE AESTHETIC AND HAVING JURISDICTION FUNCTIONAL STANDARD OF QUALITY FOR NEW CONSTRUCTION. BLEND AND ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT 18. THE CONTRACTOR MUST TAKE ADEQUATE CARE TO PROTECT ALL AREAS OF WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT MATCH EXISTING CONSTRUCTION WITH NEW CONSTRUCTION PRIOR TO BID, THE BUILDING WHERE THE WORK OF THIS PROJECT IS LOCATED AS WELL AS PERMISSION FROM TENANT AND LANDLORD. ADVISE TENANT OF ANY CONDITIONS WHICH CANNOT BE REPAIRED OR RECONDITIONED, BLENDED AND MATCHED. NOTE CONTRACT DOCUMENT THE AREAS ADJACENT TO THE AREA OF THE WORK OF THIS PROJECT SO AS TO PREVENT DAMAGE TO LIFE OR PROPERTY AS A RESULT OF THIS 2. DEFINITIONS: REQUIREMENTS FOR EXISTING CONSTRUCTION AND INCLUDE COSTS FOR THIS REMOVE AND DISCARD: DETACH ITEMS FROM EXISTING CONSTRUCTION WORK IN BID PROPOSAL CONSTRUCTION PROJECT ND LEGALLY DISPOSE OF THEM OFF-SITE. STYLZ GROOMING THE GENERAL CONTRACTOR SHALL, IN THE BIDDING PROCESS, REQUIRE THAT ONLY MATERIALS THAT ARE NEW, UNUSED, FREE FROM DEFECTS, AND THE REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION ND TURN OVER TO TENANT UNDAMAGED. BEST OF THEIR RESPECTIVE KINDS SHALL BE USED. THE BASIS OF QUALITY MECHANICAL AND ELECTRICAL SUBCONTRACTORS MAKE A THOROUGH FIELD RELOCATE: DETACH ITEMS FROM EXISTING CONSTRUCTION, MOVE ITEMS INSPECTION OF AS-BUILT CONDITIONS OF EXISTING SYSTEMS. AFTER SUCH SHALL BE THE LATEST STANDARDS OF ASTM, ASA OR ASHRA NTACT AND UNDAMAGED, AND REINSTALL THEM WHERE INDICATED. FIELD VERIFICATION HAS BEEN COMPLETED, THE GENERAL CONTRACTOR AND EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT SUBCONTRACTORS SHALL PROVIDE IN THEIR BIDS, ANY MODIFICATIONS TO 20. THE CONTRACTOR SHALL COORDINATE HIS MORK MITH ALL OTHER TRADES O BE REMOVED, BUT ARE TO REMAIN IN PLACE AND BE UNDAMAGED. THE EXISTING SYSTEMS WHICH MAY BE REQUIRED TO ACCOMMODATE THE INCLUDING THOSE OF THE TENANT WHO MAY BE ENGAGED UNDER A SEPARATE REMOVE AND RECLAIM: DETACH ITEMS FROM EXISTING CONSTRUCTION. PROPOSED REQUIREMENTS FOR THIS TENANT. IF A DETERMINATION OF SUCH AT CONTRACTORS OPTION ITEM MAY BE REUSED AS PART OF NEW WORK MODIFICATIONS CANNOT BE MADE, THE GENERAL CONTRACTOR SHALL NOTIFY THE TENANT, AND AT THE DIRECTION OF THE TENANT, PROVIDE AN INSTALL ALL WORK IN SUCH A MANNER AS TO BE READILY ACCESSIBLE FOR IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INVENTORY ITEMS OPERATION, MAINTENANCE AND/OR REPAIRS TO DETERMINE IF ITEMS WILL FUNCTION AND APPEAR LIKE THE NEW ITEMS AGREED UPON ALLOWANCE TO COVER SUCH WORK. 3524 SW MARKET STREET, LEES SUMMIT, MO 64082 SPECIFIED AND CALLED OUT ON THESE DOCUMENTS. IF ITEMS ARE 22. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE REUSED, CONTRACTOR IS TO CLEAN, REPAIR, OR OTHERWISE BRING COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES TENANT BEFORE BEING TURNED OVER FOR USE ITEMS TO LIKE NEW CONDITION. MODIFY REUSED ITEMS AS REQUIRED ACCEPTANCE OF THE UNDERLYING CONDITIONS AND SURFACES. PRIOR TO PROCEEDING WITH THE WORK, PREPARE EXISTING AND NEW UNDERLYING AND SUPPLEMENT WITH MATERIALS, AND INCIDENTALS NECESSARY TO 23. A COPY OF THE LATEST SET OF CONSTRUCTION DOCUMENTS SHALL BE KEPT CONDITIONS AND SUBSTRATE TO COMPLY WITH THE CONTRACT DOCUMENTS, EXECUTE A COMPLETE WORKMANLIKE JOB. IF CONTRACTOR CHOOSES CODE NOTES AT THE JOB SITE AT ALL TIMES INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATION. TO NOT REUSE ITEM, LEGALLY DISPOSE OF ITEM OFF-SITE AND REPLACE WITH NEW TO MATCH EXISTING. 24. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL KEEP ACCURATE PROVIDE: THE MEANING OF THE WORD "PROVIDED" INCLUDES, BUT IS FIELD VERIFY ALL ROUGH OPENINGS AND WALL WIDTHS PRIOR TO ORDERING A. TENANT FINISH H.2. M - MERCANTILE = 359 ÷ 60 = 5.98 ≈ 6 OCCUPANTS RECORDS OF ANY MODIFICATION OR DEVIATIONS FROM THE CONTRACT NOT LIMITED TO, FURNISHED, DELIVERED, INSTALLED, FINISHED, MADE OR FABRICATION OF MATERIALS. H.3. TOTAL = 20 OCCUPANTS FULLY OPERABLE AND COMPLETE. UNLESS SPECIFICALLY NOTED B. ALL CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO THE 10. DIMENSIONS ARE NOMINAL AND TO THE FACE OF PARTITIONS OTHERWISE, ALL WORK DESCRIBED IN THESE DOCUMENTS IS TO BE FOLLOWING BUILDING CODES AND REQUIREMENTS ADOPTED AND AS I. PLUMBING REQUIREMENTS: 25. PROJECT CLOSE OUT DOCUMENTS SHALL BE PROVIDED TO THE TENANT. PROVIDED BY THE CONTRACTOR. AMENDED BY THE CITY OF LEE'S SUMMIT, MISSOURI; I.1. B OCCUPANCIES: SEPARATE FACILITIES NOT REQUIRED FOR - AREA OF WORK CLEAN-UP OF RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND NEW INCLUDE AS-BUILT DRAWINGS, WARRANTY/MAINTENANCE MANUALS AND 2018 INTERNATIONAL BUILDING CODE OCCUPANT LOADS ≤ 25 TESTING AND SUPERVISION AS REQUIRED. PRESERVE ALL PRINTED WORK SHALL BE COLLECTED REGULARLY FROM PROJECT SITE AND LEGALLY 3. CONTRACTOR IS TO INCLUDE AS PART OF HIS SCOPE ALL CUTTING AND 2018 INTERNATIONAL PLUMBING CODE 1.1.1. WATER CLOSETS = 14/25 = 0.560 INSTRUCTIONS AND WARRANTIES THAT ARE PROVIDED WITH EQUIPMENT OR DISPOSED PATCHING REQUIRED THROUGH CAREFUL EVALUATION OF THE EXISTING SITE 2018 INTERNATIONAL MECHANICAL CODE 1.1.2. LAVATORIES = 14/40 = 0.350 MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE TENANT AT THE AND THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL COORDINATE THE I.2. M OCCUPANCIES: SEPARATE FACILITIES NOT REQUIRED FOR 2018 INTERNATIONAL FUEL GAS CODE TIME OF SUBSTANTIAL COMPLETION. IF REQUESTED BY THE TENANT, INSTRUCT ALL MEATHER EXPOSED SURFACES SHALL HAVE A MEATHER RESISTIVE CUTTING AND PATCHING OF EXISTING CONSTRUCTION NECESSARY TO PERMIT B.5. 2018 INTERNATIONAL RESIDENTIAL CODE OCCUPANT LOADS ≤ 100 BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR THE MANAGEMENT IN THE PROPER USE AND MAINTENANCE OF ALL ITEMS OF INSTALLATION OR PERFORMANCE OF THE WORK INDICATED IN THESE B.6. 2018 INTERNATIONAL FIRE CODE I.2.1. WATER CLOSETS = 6/500 = 0.012 OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM MORK PROVIDED. CONSTRUCTION DOCUMENTS. SAW-CUT CONC. SLAB AS REQUIRED FOR 2017 NATIONAL ELECTRICAL CODE 1.2.2. LAVATORIES (MEN) = 6/750 = 0.008 **MEATHERPROOF** UTILITIES, FOR EQUIPMENT AND SINKS. VERIFY ROUTE AND TRENCH DEPTH IN ICC/ANSI A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND I.3. BUILDING TOTALS: 26. PROVIDE WORK IN ACCORDANCE WITH THE MANUFACTURE'S FIELD. PATCH BACK WITH MATCHING SLAB THICKNESS OVER SAME MATERIAL **FACILITIES** I.3.1. WATER CLOSETS = 0.560 + 0.012 = 0.572 ≈ 1 PROVIDED RECOMMENDATION, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT AND STREET COMPACT UNDERLYING MATERIALS TO MEET BEST PRACTICES. DOWEL NEW 1.3.2. LAVATORIES = 0.350 + 0.008 = 0.358 ≈ 1 PROVIDED SIDE OF THE BUILDING. SAID NUMBERS SHALL BE A MIN. OF 7" HIGH WITH 1" ARE MORE STRINGENT. PROVIDE ANY MISCELLANEOUS ITEMS OR MATERIALS TO EXISTING WITH #4 REBAR AT 30" OC. C. OCCUPANCY GROUP 1.3.3. JANITOR SINK = ONE REQUIRED ≈ 1 PROVIDED WIDE STROKES CONTRASTING WITH THEIR BACKGROUND NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION OF THE B - BUSINESS = ANIMAL GROOMING 1.3.4. DRINKING FOUNTAIN = ACCESSIBLE BREAK ROOM SINK PROVIDED 4. WHERE WALLS, CASEWORK, FINISHES, EQUIPMENT OR OTHER ITEMS AND M - MERCANTILE = MARKET FOR SALE OF NON-ALCOHOLIC PER CITY ORDINANCE. CONTRACTORS ARE RESPONSIBLE FOR ALL MATERIALS AND QUANTITIES CONSTRUCTIONS HAVE BEEN REMOVED EXPOSING UNDERLYING WALL AND/OR BEVERAGES 27. ALL WORK SHALL BE WARRANTED BY THE CONTRACTOR TO BE SHOWN IN THESE DRAWINGS GRAPHICALLY AS WELL AS THOSE CALLED FOR FLOOR SURFACES, SUCH SURFACES ARE TO BE PATCHED AND REPAIRED AS SATISFACTORY, IN MATERIALS AND WORKMANSHIP, FOR A MINIMUM PERIOD BY NOTE REQUIRED TO ACCEPT NEW FINISHES. ALL HOLES, DAMAGES, DEFECTS, ETC. IN D. NONSEPARATED OCCUPANCIES. MERCANTILE IS MORE RESTRICTIVE AND OF ON (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, SPECIFIED EXISTING SURFACES ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS. IS THE TYPICAL OCCUPANCY FOR THIS BUILDING. 15. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE FOR, THE TRADE, CRAFT OR PRODUCT, WHICHEVER IS LONGER. THE PROPOSED WORK AND SHALL COMPLY WITH ALL LOCAL, STATIC, AND 5. EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED UPON BASE E. CONSTRUCTION TYPE: (5B) 28. SUBMIT REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS IN WRITING, FEDERAL REGULATIONS BUILDING OR OTHER CONSTRUCTION DOCUMENTS MADE AVAILABLE TO THE ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE TENANT. DESIGNER BY THE BUILDING MANAGEMENT. ALL AS-BUILT ARCHITECTURAL F. FIRE PROTECTION: THE TENANT OR THE TENANT'S DESIGNATED REPRESENTATIVE WILL PROVIDE SUBSTITUTIONS MAY BE CONSIDERED ONLY IF THEY DO NOT SACRIFICE CONDITIONS HAVE NOT BEEN FIELD VERIFIED AND MAY VARY FROM THOSE F.1. FULLY SPRINKLED BUILDING (NFPA 13) QUALITY. APPEARANCE AND FUNCTION. ACCEPTANCE OF SUBSTITUTIONS IS AT SERVICES IN CONNECTION WITH ADMINISTRATION OF THE CONTRACT F.2. FIRE ALARM TO BE PROVIDED THE SOLE DISCRETION OF THE TENANT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL LAWS, PRIOR TO BID: FIELD VERIFY ALL EXISTING CONSTRUCTION TO REMAIN AND G. SQUARE FOOTAGE TENANT INFILL = 2,436 SF ORDINANCES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES INCLUDE COSTS FOR REPAIR AND RECONDITION OF ALL EXISTING H. OCCUPANT LOAD: H.1. B - BUSINESS = 2077 ÷ 150 SF/P = 13.85 ≈ 14 OCCUPANTS PLUMBING NOTES ELECTRICAL NOTES ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT FOR F. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A PLUMBING CONTRACTOR TO DETERMINE EXACT ROUTING AND LOCATIONS OF ALL PIPING ON JOB SITE IN COMPLETE COORDINATION WORK ON A DESIGN BUILD BASIS, ALL MIRE, MIREMAY, CONDUIT, DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF WITH ALL OTHER TRADES INVOLVED. HE SHALL ALSO VERIFY WITH CONNECTORS, OUTLETS. ETC. NECESSARY TO ACHIEVE A COMPLETE STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE TENANT EXACT FLOOR PLAN LAYOUT, LOCATIONS OF FIXTURES, AND INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ELECTRICAL INSTALLATION. EXACT LOCATIONS AND QUANTITIES OF STRUCTURAL CONDITIONS. ELECTRICAL OUTLETS AND JUNCTION BOXES ARE TO BE COORDINATED WITH ACCORDANCE WITH SECTION 604. THE EQUIPMENT AND ACCESSORY SCHEDULE, THE TENANT'S EQUIPMENT PROVIDE ALL FIXTURES SHOWN ON THE DRAWINGS, COMPLETE WITH HOT ILLUMINATION LEVEL UNDER EMERGENCY POWER, EMERGENCY LIGHTING SUPPLIER AND WITH TENANT. WHERE AN ELECTRICAL DEVICE IS REQUIRED BY FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT AND COLD WATER, WASTE AND VENT CONNECTIONS. EACH FIXTURE CODE BUT NOT REQUESTED BY TENANT, IT SHALL BE FURNISHED AND NORTH SHALL HAVE SHUTOFF VALVES FOR HOT AND COLD WATER. HOT AND LEAST AN AVERAGE OF 1 FOOTCANDLE (11LUX) AND A MINIMUM AT ANY POINT INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE AND PROVIDE COLD WATER SUPPLIES TO EACH FIXTURE TO HAVE WATER HAMMER ELECTRICAL WORK REQUIRED BY OTHER TRADES. ALL LABOR, TOOLS, OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT DEVICE. PIPING SHALL BE INSTALLED PROPERLY TO ELIMINATE CROSS MATERIALS, EQUIPMENT SHALL BE PROVIDED AS NECESSARY TO PROVIDE FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO AND INSTALL A COMPLETE SYSTEM. ALL WORK SHALL BE PER 2011 NEC. CONTAMINATION OR SIPHONING OF WASTE MATERIAL INTO THE SUPPLY 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 WATER SYSTEM. PIPING SHALL BE PITCHED TO VENT AND/OR DRAIN. FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME CODE PLAN AREA MAP VERIFY EXACT LOCATIONS AND REQUIREMENTS BEFORE BEGINNING THE ALL ELECTRICAL, LIGHT AND POWER WIRE SHALL NOT BE SMALLER THAN 12 DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO INSTALLATION. AMG. ALL LIGHTING AND POWER MIRING 10 AMG AND SMALLER SHALL BE 1 SHALL NOT BE EXCEEDED. SOLID. ALL CONDUCTORS SHALL BE COPPER ONLY. NO ALUMINUM IS THOROUGHLY CLEAN ALL ITEMS BEFORE INSTALLATION. CAP PIPE 11. LOW VOLTAGE WIRING AND DEVISES ARE TO BE PROVIDED UNDER SEPARATE OPENINGS TO EXCLUDE DIRT UNTIL FIXTURES ARE INSTALLED AND FINAL CONTRACT BY TENANT'S VENDOR. ELECTRICAL CONTRACTOR SHALL FURNISH ALL CONDUITS SHALL BE SIZED IN ACCORDANCE WITH THE LATEST NEC CONNECTIONS HAVE BEEN MADE. SET FIXTURES LEVEL AND IN PROPER AND INSTALL AS PART OF HIS MORK EMPTY DATA JUNCTION BOXES WITH $\frac{3}{4}$ " TABLES. MINIMUM CONDUIT SIZE SHALL BE 1/2". ALL CONDUIT IN AND UNDER ALIGNMENT. INSTALL SILICONE SEALANT BETWEEN FIXTURES ADJACENT CONDUIT AND PULL-STRING TO ACCESSIBLE AREAS. EXACT LOCATIONS AND MATERIAL FOR SANITARY JOINT. FLOOR SLAB SHALL BE SCHEDULE 40 PVC. QUANTITIES OF DATA JUNCTION BOXES ARE TO BE COORDINATED WITH THE EQUIPMENT AND ACCESSORY SCHEDULE, THE TENANT'S EQUIPMENT SUPPLIER 4. TEST WATER SYSTEM UNDER 150 PSIG HYDROSTATIC PRESSURE FOR 4. ALL POWER WIRING IN EXPOSED AREAS AND ABOVE ACCESSIBLE CIELINGS AND WITH THE TENANT. FOUR HOURS MINIMUM. SHALL BE IN EMT CONDUIT. MC CABLE AND ARMORED CABLE ARE ALSO ALLOWABLE IN WALLS WHERE CONDUITS ARE NOT EXPOSED. ELECTRICAL CONTRACTOR SHALL CIRCUIT FIXTURES AND SHALL PROVIDE -MERCANTILE AND INSTALL CIRCUIT DIRECTORY WITH TYPED CIRCUIT DESIGNATION CARD UNDER PLASTIC COVER ON THE INSIDE OF EACH PANEL DOOR, ELECTRICAL AREA = 359 SF CONTRACTOR SHALL ALSO FURNISH AND INSTALL NAMEPLATES ON ALL DISCONNECT SWITCHES AND PANELBOARDS. PIPING MATERIALS MECHANICAL NOTES ALL CONDUIT, JUNCTION BOXES, ETC. ABOVE CEILINGS SHALL BE SUPPORTED FROM STRUCTURE. MECHANICAL CONTRACTOR SHALL ON A DESIGN BUILD BASIS MODIFY EXISTING LIGHTING IS TO BE CIRCUITED SEPARATE FROM ALL OTHER DEVICES. ALL

- TO REMAIN MECHANICAL SYSTEMS. MODIFY, FURNISH, INSTALL AND CONNECT FOR WORK, ALL DUCTWORK, DIFFUSERS, GRILLS ETC. NECESSARY TO ACHIEVE A COMPLETE MECHANICAL INSTALLATION. ALL LABOR, TOOLS, MATERIALS, EQUIPMENT SHALL BE PROVIDED AS NECESSARY TO PROVIDE AND INSTALL A COMPLETE SYSTEM. MECHANICAL CONTRACTOR IS TO DESIGN DUCTWORK SIZES AND COMPONENTS AS REQUIRED TO PROVIDE A COMPLETE BALANCED
- MECHANICAL SYSTEM IS TO BE REBALANCED THROUGH OUT ENTIRE AREA OF WORK TO PROVIDE EVEN TEMPERATURES AT ALL SPACES.

SYSTEM.

NEW LIGHTING IS TO BE UL LISTED. ALL LIGHTING IS TO BE SWITCHED.

IN THE LOCATIONS SPECIFIED IN 210.8(B)(1) THROUGH (8) SHALL HAVE

GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL.

(5) SINKS - WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE

(8) GARAGES, SERVICE BAYS, AND SIMILAR AREAS WHERE ELECTRICAL

ILLUMINATION REQUIRED. THE MEANS OF EGRESS, INCLUDING THE EXIT

DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE

SERVED BY THE MEANS OF EGRESS IS OCCUPIED. IN THE EVENT OF POWER

a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES

PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. C. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVELS OF EXIT

DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS

DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE

d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1027.1,

DIAGNOSTIC EQUIPMENT, ELECTRICAL HAND TOOLS, OR PORTABLE

(7) LOCKER ROOMS WITH ASSOCIATED SHOWERING FACILITIES

SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL

AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:

THAT REQUIRE TWO OR MORE MEANS OF EGRESS.

REQUIRED TO HAVE TWO OR MORE EXITS.

b. CORRIDORS, INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT

IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

e. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1008.1.6 FOR EXIT

ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED

COORDINATE SMITCH LOCATIONS MITH TENANT.

(1) BATHROOMS

(2) KITCHENS

(3) ROOFTOPS

(4) OUTDOORS

OUTSIDE EDGE OF THE SINK.

LIGHTING EQUIPMENT ARE TO BE USED.

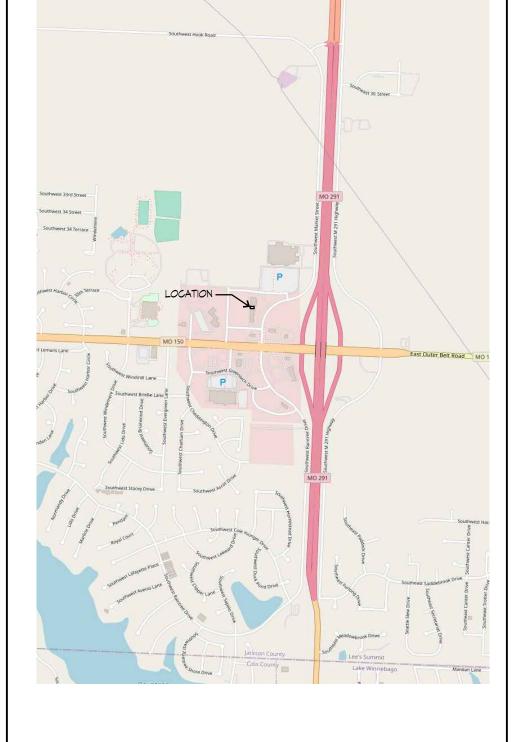
(6) INDOOR WET LOCATIONS

- OPPER WITH FLARE FITTING CONNECTIONS. EXCEPT NO FITTINGS TO BE USE BELOW FLOOR SLAB. USE LONG RADIUS BENDS ONLY.
- SMEAT SOLDER CONNECTIONS. USE NO-LEAD TYPE SOLDER. ALL WATER LINES ABOVE SLAB SHALL BE INSULATED WITH EXPANDED CELL OR MOLDED SECTIONAL FIBEROUS GLASS WITH FACTORY APPLIED UL LISTED VAPOR BARRIER JACKET. FLAME SPREAD FOR INSULATION SHALL BE 25 OR LESS.
- CONTRACTOR OPTION IN LIEU OF COPPER INDICATED IN ITEMS 1 AND 2 ABOVE: PEX, HIGH-DENSITY CROSS-LINKED POLYETHYLENE TUBING SHALL BE MANUFACTURED TO THE REQUIREMENTS OF ASTM F876 AND MEET THE STANDARD GRADE HYDROSTATIC PRESSURE RATINGS FROM PLASTIC PIPE INSTITUTE IN ACCORDANCE WITH TR-4/03. a) PEX-A AND PEX-B MEETING ANSI/NSF61 AND ANSI/NSF372 STANDARDS FOR POTABLE WATER SAFETY AND LEAD-FREE STANDARDS AND MUST BE MARKED WITH "PW-G", "NSF-61-G" OR OTHER NSF-APPROVED MARKING. ASTM F2023 FOR USE WITH CHLORINATED WATER. PEX MECHANICAL. CRIMP/INSERT OR EXPANSION FITTINGS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PIPE SIZES GIVEN ON THE DRAWINGS ARE NOMINAL COPPER PIPE SIZE. IF PEX PIPING IS USED, INCREASE PEX PIPING ONE SIZE ABOVE LISTED SIZES AS REQUIRED TO EQUAL OR EXCEED COPPER PIPE INSIDE DIAMETER.
- SANITARY WASTE AND VENT: SCHEDULE 40 PVC DWV SOLVENT JOINT. HOWEVER, PVC MAY NOT BE USED IN ABOVE CEILING PLENUM RETURN AREAS. IN PLENUM AREAS USE CAST IRON NO-HUB CONNECTIONS.

BUSINESS AREA =

DOMESTIC WATER ABOVE SLAB: TYPE 'L' HARD TEMPER COPPER WITH

- GAS PIPING: TO BE TYPE 'S' SEAMLESS GRADE B SCHEDULE 40 BLACK OR ASTM A53 STEEL PIPE. TYPE 'E' ELECTRIC RESISTANT WELDED. WHERE INSTALLED BELOW GRADE, PIPE MUST BE COATED AND WRAPPED AND HAVE CATHODIC PROTECTION. ALL CAST IRON PIPE THAT IS OVER 3" DIAMETER AND NOT EXPOSED, MUST BE WELDED PIPE

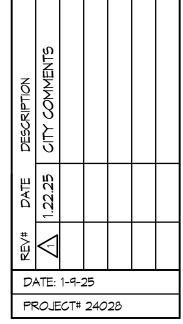


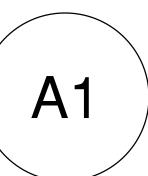
NORTH



5 GUY GRONBERG ARCHITECTS, P.

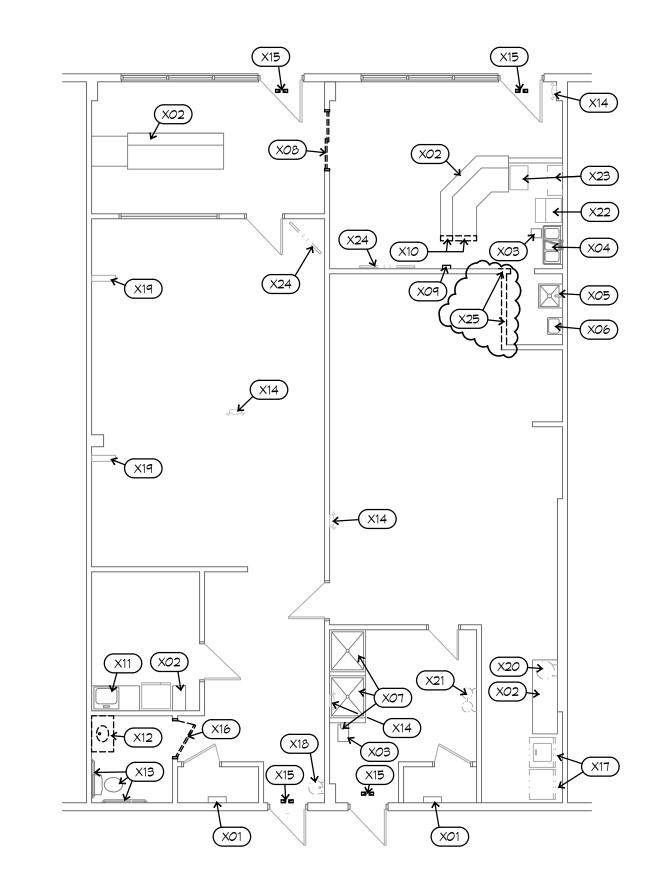






ADA TOILET ROOM TYPICAL NOTES

- PROVIDE WATER CLOSET WITH SEAT HEIGHT BETWEEN 17 AND 19 INCHES MEASURED TO TOP OF THE SEAT. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET. CENTERLINE OF WATER CLOSET SHALL BE 16" TO 18" FROM THE SIDE WALL.
- 2. PROVIDE LAVATORY WITH RIM MOUNTED AT 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. BOTTOM OF APRON TO BE 29 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. FAUCET SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OF ABRASIVE SURFACES UNDER LAVATORY. THE CENTERLINE OF THE LAVATORY SHALL BE A MINIMUM OF 15" FROM THE SIDE WALL.
- PROVIDE MIRROR MOUNTED 40" MAXIMUM TO BOTTOM OF REFLECTIVE
- PROVIDE TOILET PAPER DISPENSER. TOILET PAPER DISPENSER TO BE 7 INCHES FROM RIM OF TOILET TO CENTER OF TOILET PAPER ROLL (IN PLAN HORIZONTAL.) TOILET PAPER TO BE 19" MINIMUM ABOVE FINISHED FLOOR.
- . PROVIDE GRAB BARS AS FOLLOWS; SIDE HORIZONTAL GRAB BAR TO BE 42" MIN LONG, 12" FROM BACK WALL, AND 33"-36" AFF. SIDE VERTICAL GRAB BAR TO BE 18" MIN. LONG, 40" FROM BACK WALL, AND 40" AFF TO BOTTOM OF BAR. REAR HORIZONTAL GRAB BAR TO BE 36" MIN LONG, 6" MAX FROM SIDE WALL, AND 33"-36" AFF. ALL GRAB BARS TO HAVE $1\frac{1}{2}$ " MAX DIA. AND 1½" OFFSET FROM WALL.
- 6. SOAP AND PAPER TOWEL DISPENSERS (IF PROVIDED) TO BE INSTALLED AT 34" AFF TO SOAP SPOUT OR TOWEL DISPENSING LOCATION.
- PROVIDE ON EXTERIOR LATCH SIDE OF DOOR MATTE FINISH TOILET ROOM SIGN 60" A.F.F. WITH BRAILLE AND WITH RAISED CONTRASTING LETTERS 3/8" TO 2" TALL WITHOUT SERIFS.
- 8. ALL WALL SURFACES ARE TO BE SCRUBABLE. PAINT WALLS WITH TWO PART EPOXY PAINT, OR PROVIDE OTHER SCUBABLE SURFACE.



DEMO AND EXISTING FLOOR PLAN

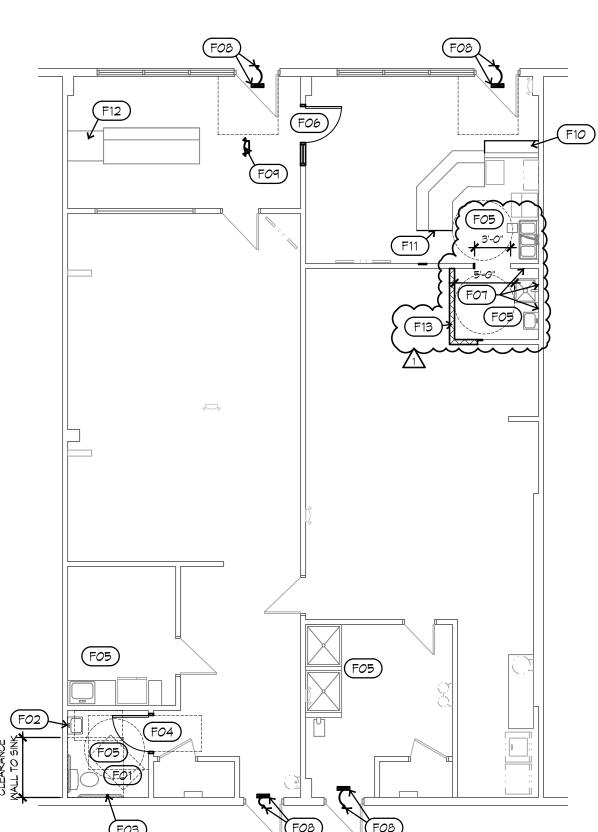


PLAN

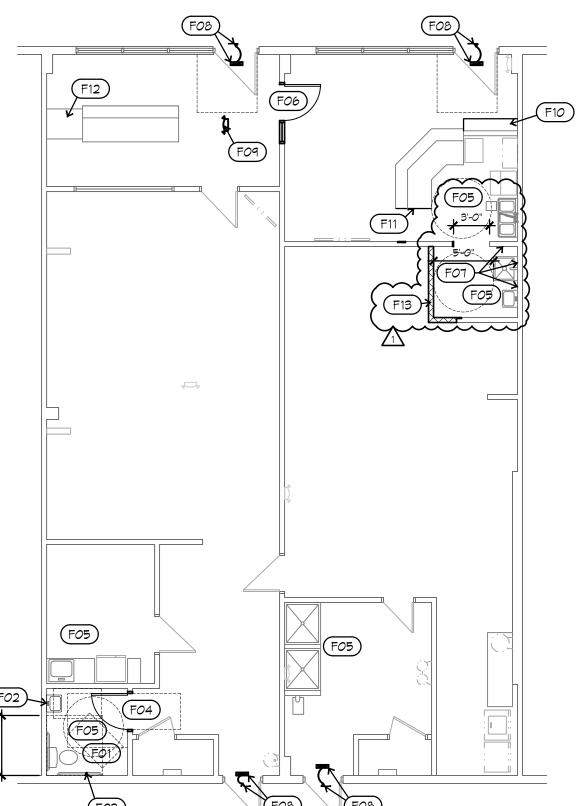




- FINAL SELECTION OF ALL FINISHES ARE TO BE CONFIRMED BY TENANT OR TENANT'S INTERIOR DESIGNER.
- 2. ALL FLOORING AND BASE FINISHES ARE EXISTING TO REMAIN. ALL EXISTING SURFACES ARE WASHABLE AND SCRUBABLE.
- 3. ALL WALL SURFACES ARE EXISTING TO REMAIN.
- 4. ALL CEILINGS ARE EXISTING TO REMAIN ACOUSTICAL TILE CEILINGS.







DEMO AND EXISTING PLAN NOTES

- (X01) EXISTING TO REMAIN ELECTRICAL PANEL.
- (XO2) EXISTING TO REMAIN CASEMORK AND COUNTERTOPS.
- (XO3) EXISTING TO REMAIN FLOOR SINK.
- EXISTING TO REMAIN THREE COMPARTMENT SINK. SINK HAS EXISTING TO REMAIN DRAIN WITH OPEN AIR GAP TO FLOOR SINK.
- (XO5) EXISTING TO REMAIN SERVICE SINK.
- (XO6) EXISTING TO REMAIN HAND SINK.
- EXISTING TO REMAIN DOG WASH BASINS. BASINS HAVE EXISTING TO REMAIN DRAIN WITH OPEN AIR GAP TO FLOOR SINK.
- (XO8) REMOVE AND DISCARD SLIDING GLASS DOOR AND FRAME
- (XO9) REMOVE AND DISCARD GYPSUM BOARD COVERED LOW FURR-OUT
- X10 REMOVE AND DISCARD PORTION OF COUNTERTOP AND LOW KNEE WALL AS REQUIRED TO PROVIDE MINIMUM OF 321/2" CLEARANCE BETWEEN WALL AND COUNTERTOP.
- (X11) FIELD VERIFY EXISTING TO REMAIN SINK TO BE ADA ACCESSIBLE. RIM OF SINK IS TO BE MAXIMUM OF 34" ABOVE FINISHED FLOOR. DEPTH OF SINK TO BE MAXIMUM OF 6.5" DEEP. FAUCET SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. NON-CONFORMING ITEMS ARE TO BE PROVIDED AND/OR CORRECTED AS PART OF THE WORK.
- (X12) REMOVE AND SALVAGE VANITY CASEMORK, SINK, AND COUNTERTOP.
- EXISTING TO REMAIN TOILET, ACCESSORIES, AND GRAB BARS TO BE FIELD VERIFIED TO CONFORM TO REQUIREMENTS OF ADA TYPICAL TOILET ROOM NOTES THIS SHEET. ANY ITEMS FOUND TO NOT BE IN CONFORMANCE ARE TO BE REMOVED AND MODIFIED OR REPLACED WITH NEW ITEMS TO CONFORM TO THE REQUIREMENTS.
- (X14) EXISTING TO REMAIN EMERGENCY LIGHT.
- (X15) REMOVE AND DISCARD EXIT SIGN. REPLACE WITH NEW EXIT SIGN AS INDICATED BY NEW WORK PLAN NOTE.
- REMOVE AND REINSTALL DOOR AND FRAME AS INDICATED BY NEW WORK PLAN NOTE.
- (X17) EXISTING TO REMAIN WASHER AND DRYER AND HOOK-UPS.
- EXISTING TO REMAIN WALL MOUNTED VACUUM WITH PIPING TO REMOTE HOSE DROP LOCATIONS.
- (X19) EXISTING TO REMAIN VACUUM HOSE DROP LOCATION.
- (X20) EXISTING TO REMAIN WALL MOUNTED VACUUM WITH HOSE.
- (X21) EXISTING TO REMAIN WALL MOUNTED FUR DRYER.
- (X22) EXISTING TO REMAIN ICE MACHINE WITH DRAIN WITH AIR GAP TO FLOOR SINK.
- (X23) EXISTING TO REMAIN SODA DISPENSING/REFRIGERATION UNIT.

- X24) EXISTING TO REMAIN TV

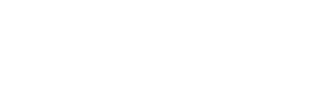
 X25) REMOVE AND DISCARD PORTION WALL AND FRAMING.

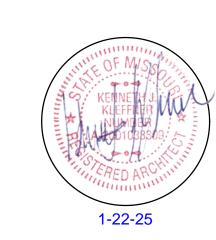
NEW WORK PLAN NOTES

FOI) EXISTING TO REMAIN TOILET ROOM IS TO BE FIELD VERIFY THAT EXISTING FIXTURES AND ACCESSORIES CONFORM TO THE REQUIREMENTS OF THE TOILET ROOM TYPICAL NOTES THIS SHEET. ANY MISSING OR NON-CONFORMING FIXTURES OR ACCESSORIES ARE TO BE PROVIDED AND/OR CORRECTED AS PART OF THE WORK.

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- PROVIDE NEW ADA ACCESSIBLE SINK AND FAUCET AS INDICATED BY TOILET ROOM TYPICAL NOTES THIS SHEET.
- PROVIDE NEW 18" VERTICAL GRAB BAR AS INDICATED BY TOILET ROOM TYPICAL NOTES THIS SHEET.
- REINSTALL DOOR AND FRAME INDICATED TO BE RELOCATED BY DEMO AND EXISTING PLAN NOTE X16. DOOR IS TO SWING INTO ROOM AND NOT HAVE A
- FIELD VERIFY ELECTRICAL OUTLETS IN ROOM OR AREAS NEAR PLUMBING FIXTURES CONFORM TO GFCI REQUIREMENTS INDICATED BY ELECTRICAL NOTES PARAGRAPH 8 ON SHEET A1.
- (FO6) NEW 3'-O" X 6'-8" DOOR, MOOD FRAME, SIDE LITE AND CASINGS TO MATCH EXISTING DOORS. SIDELITE GLASS 1/4" TEMPERED GLASS. PROVIDE COMPLETE HARDWARE INCLUDING ADA LEVER PASSAGE LATCHSET. DOOR IS TO NOT HAVE A THRESHOLD.
- FOT AT EXISTING TO REMAIN SERVICE SINK PROVIDE FRP PANEL FROM FLOOR TO 48" AFF. EXTENDING 24" BEYOND EDGE OF SINK EACH WAY.
- (FO8) INSTALL NEW EXIT SIGN WITH EXTERIOR REMOTE EMERGENCY LIGHTING HEAD.
- FO9 PROVIDE CEILING MOUNTED EMERGENCY LIGHT.
- PROVIDE NEW 12" DEEP ACCESSIBLE COUNTER IN ACCORDANCE WITH ICC A117.1 SECTION 904.3. A PORTION OF THE COUNTER SURFACE SHALL BE 36" MINIMUM IN LENGTH AND 36" MAXIMUM IN HEIGHT. A 30"X48" CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED.
- PATCH AND REPAIR EXSTING TO REMAIN COUNTER AND KNEE WALL TO PROVIDE MINIMUM  $32\frac{1}{2}$ " CLEARANCE TO WALL.
- F12 FIELD VERIFY EXISTING SALES AND SERVICE COUNTER PROVIDES AN ACCESSIBLE COUNTER IN ACCORDANCE WITH ICC A117.1 SECTION 904.3. A PORTION OF THE COUNTER SURFACE SHALL BE 36" MINIMUM IN LENGTH AND 36" MAXIMUM IN HEIGHT. A 30"X48" CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED. NON-CONFORMING COUNTERS ARE TO BE CORRECTED AND/OR PROVIDED NEW AS PART OF THE WORK.
- (F13) CONSTRUCT WALL FROM TO UNDERSIDE OF CEILING ABOVE WITH GYPSUM BOARD ON EACH SIDE OF STUD FRAMING AT 16" O.C.





GUY GRONBERG ARCHITECTS, P.





