

# LEE'S SUMMIT JOINT OPERATIONS FACILITY

2 NE TUDOR RD  
LEE'S SUMMIT, MISSOURI 64086

## HOEFER WELKER

HW PROJECT NO: 138191



### OWNER

CITY OF LEE'S SUMMIT  
220 SE GREEN  
LEE'S SUMMIT, MO 64083  
P: 816.969.1000

### ARCHITECT

HOEFER WELKER  
4622 PENNSYLVANIA AVENUE, SUITE 1400  
KANSAS CITY, MO 64112  
P: 913.307.3700

### CONSTRUCTION MANAGER

TITAN BUILT  
8207 MELROSE DRIVE, SUITE 200  
LENEXA, KANSAS 66214  
P: 913.782.6700

### MEPT ENGINEER

HOEFER WELKER  
4622 PENNSYLVANIA AVENUE, SUITE 1400  
KANSAS CITY, MO 64112  
P: 913.307.3700

### FIRE PROTECTION ENGINEER

SMITH & BOUCHER  
26618 W 103RD STREET  
OLATHE, KS 66061  
P: 913.345.2127

### STRUCTURAL ENGINEER

J&S STRUCTURAL ENGINEERS, PA  
6640 WEST 143RD STREET #250  
OVERLAND PARK, KS 66223  
P: 913.549.4701

### CIVIL ENGINEER

BHC  
7101 COLLEGE BLVD SUITE 400  
OVERLAND PARK, KANSAS 66210  
P: 913.663.1900

### LANDSCAPE ARCHITECT

LANDWORKS STUDIO  
102 S. CHERRY STREET, 2ND FLOOR  
OLATHE, KS 66061  
P: 913.780.6707

PACKAGE 2: CONSTRUCTION SET

NOVEMBER 1, 2024

REVISION DATES:

NO.	DATE	DESCRIPTION



PROFESSIONAL SEAL

**G-001**  
ISSUE DATE: NOVEMBER 1, 2024  
HOEFER WELKER # 138191

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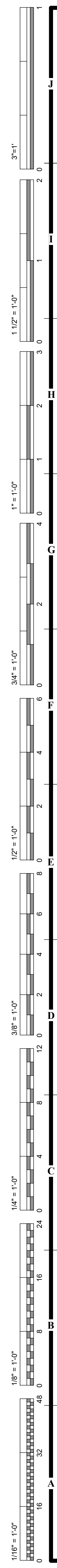
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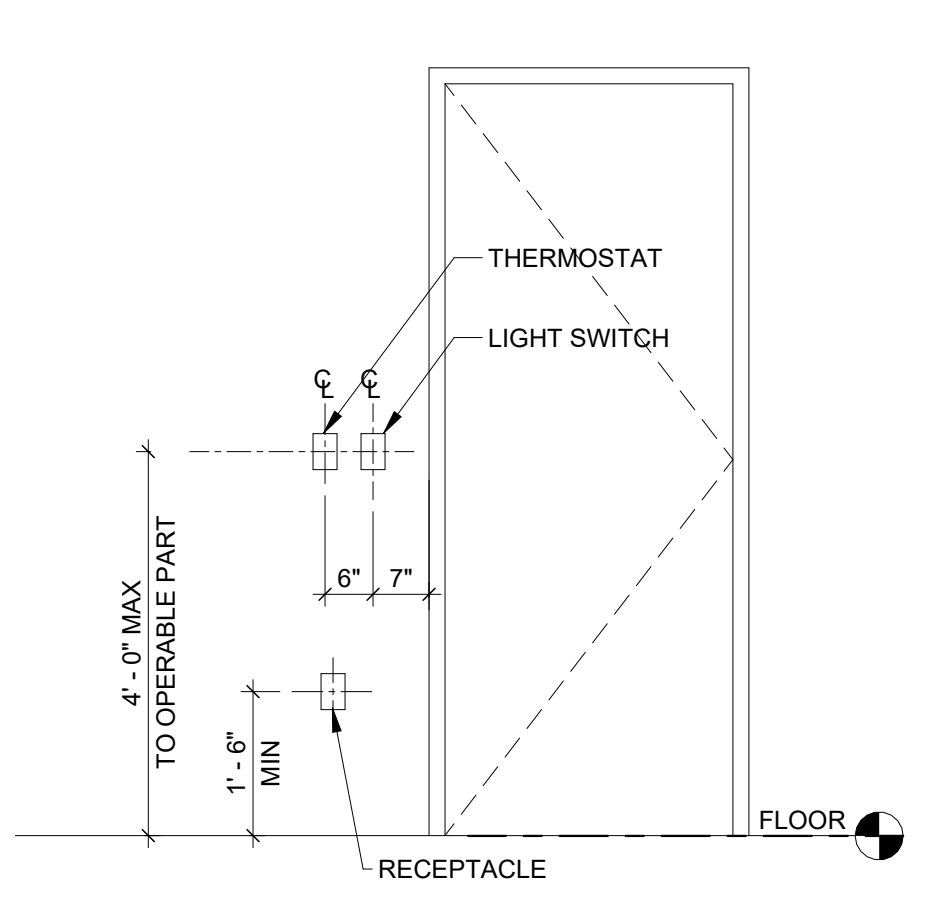
- GENERAL NOTES - ACCESSIBILITY GUIDELINES:**
- NOTE: ALL DIMENSIONS ARE MEASURED FROM FLOOR UNLESS NOTED OR SHOWN OTHERWISE.
  - ADA UNOBSTRUCTED REACH RANGES: FORWARD REACH = 48" MAX & 15" MIN SIDE REACH = 48" MAX & 15" MIN.
  - ELEVATORS: STD CALL BUTTONS: 35" TO 48" TO CL. & PROTRUDE 1" MAX. ADA CALL BUTTONS: 42" TO CL. (TYP) & 48" MAX (2" SMALLEST DIM). ADA VISIBLE SIGNALS: 72" MIN. TO CL. (2 1/2" SMALLEST DIM). TACTILE SIGNAL ON HOISTWAY: 60" TO BASE OF CHARACTERS W/ TACTILE STAR & 2" HIGH CHARACTERS.
  - DOOR HARDWARE: (TO CENTER OF HARDWARE): STD MOUNTING HEIGHTS: PUSH PLATES = 42", PULL HANDLES = 42", KNOBS/LEVERS = 40", PANIC EXIT = 42" CENTERLINE OF BAR. KICKPLATES: WIDTH = DOOR WIDTH MINUS 2"; CENTER HEIGHT = 16" FROM B.O. DOOR. THRESHOLDS: STD = 1/2" MAX. AT EXT SLIDING DOORS = 3/4" MAX. ADA HARDWARE = 34" MIN TO 48" MAX.
  - DRINKING FOUNTAINS & EWCS (TO SPOUT): STD = 40" TYP. ADA = 36" MAX. ADA = 36" MAX (27" MIN CLEAR KNEE SPACE).
  - COUNTERTOPS (TO SINK RIM/COUNTERTOP): ADA = 28" MIN TO 34" MAX.
  - WATER CLOSETS (TO TOP OF SEAT): STD = 14" TO 15". ADA (TO TOP OF SEAT) = 17" TO 18". ADA FLUSH CONTROLS = 44" MAX.
  - URINALS (TO RIM): STD = 24" MAX. ADA = 17" MAX. ADA FLUSH CONTROLS = 44" MAX.
  - LAVATORIES (TO SINK RIM/COUNTERTOP): STD = 35" MAX. ADA = 34" MAX (27" MIN CLEAR KNEE SPACE).
  - MIRRORS (TO B.O. REFLECTIVE SURFACE): STD = VARIES. ADA = 40" MAX.
  - GRAB BARS: ADA (TO T.O. OF BAR): WATER CLOSETS = 33" MIN TO 38" MAX. SHOWERS = 33" MIN TO 38" MAX (FROM B.O. SHOWER). BATHTUBS: TOP BAR = 33" MIN TO 36" MAX. B.O. BAR = 9" ABOVE TOP OF TUB. SHOWER HEADS (FROM FLOOR TO HEAD): STD = 72" TO 84". ADA = SPRAY UNIT W/ HOSE 60" LONG MIN.
  - ADA FIXED SHOWER HEAD = 48" AFF.
  - SHOWER ROD (FROM FLOOR TO C.L.): STD = 78" MIN.
  - TOILET ROOM PARTITIONS: TOILETS = 12" TO BOT & 70" TO TOP. URINALS = 18" TO BOT & 60" TO TOP.
  - TOILET PAPER DISPENSERS (TO OUTLET): STD = 24". ADA = 15" MIN TO 48" MAX.
  - WALL MOUNTED SOAP DISPENSERS (TO C.L. OF PUSH BUTTON): STD = 40". ADA = VARIES. RE: UNOBSTRUCTED AND UNOBSTRUCTED REACH RANGES: ADA SIDE REACH = 46" MAX ABOVE SINK ENCOUNTER.
  - PAPER TOWEL DISPENSER (TO TOWEL SLOT): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN. RE: UNOBSTRUCTED AND UNOBSTRUCTED REACH RANGES: ADA SIDE REACH = 46" MAX ABOVE SINK ENCOUNTER.
  - WARM AIR HAND DRYER (TO PUSH SWITCH): STD = 44" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SANITARY NAPKIN DISPENSER (TO C.L. OF COIN SLOT): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SANITARY NAPKIN DISPOSAL (TO TOP OF UNIT): STD = 28" MAX. ADA = 19" MIN TO 24" MAX (TO OPEN).
  - TOILET SEAT COVER DISPENSERS (TO OPEN): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SHelves: ADA = 48" MAX.
  - COAT HOOKS: STD = 68". ADA = 48" MAX.
  - CHALKBOARDS, TACKBOARDS & MARKERBOARDS: STD = 32" TO 39" (TO B.O. BOARD OR CHALKTRAY). STD = 89" (RECOMMENDED, TO TOP OF BOARD).
  - THERMOSTATS & CONTROL DEVICES (TO TOP): ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
  - LIGHT SWITCHES & CARD READERS (TO C.L.): LOCATE 6" FROM DOOR LAMB. ADA = 48" MAX.
  - CONVENIENCE RECEPTACLES - ELECT/ TELEPHONE/DATA (TO C.L.): STD = 18". ADA = 15" MIN.
  - EXIT LIGHTS - WALL MOUNTED: 2" MIN BELOW CLG. 2" MIN ABOVE DOOR FRAME. EQUAL SPACE FROM CLG TO TOP OF FRAME.
  - FIRE EXTINGUISHERS (TO TOP, UNO): GROSS WT 40 LBS OR LESS = 60" MAX. GROSS WT MORE THAN 40 LBS = 42" MAX. ADA = 40" MAX (B.O. CABINET).
  - FIRE ALARM PULL STATIONS (TO LEVER): STD = 48" MAX. ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
  - SMOKE AND/OR HEAT DETECTORS: STD = CLG HT.
  - HORN/ SPEAKER/ VISUAL SIGNALS: STD = 80" AFF OR 6" BELOW CLG - WHICHEVER IS LOWER.
  - ROOM SIGNAGE (TO C.L.): STD = 60" HIGH AFF & WITHIN 18" OF LATCH SIDE OF DOOR.
  - ALL MINIMUM AND MAXIMUM DIMENSIONS ARE MEASURED FROM THE FACE OF FINISHED WALL, NOT THE FACE OF THE SUBSTRATE.
  - WHEN MAX. MIN OR DIMENSIONAL RANGE IS GIVEN, THE CONSTRUCTION TOLERANCE DURING INSTALLATION MUST FIT WITHIN THE GIVEN RANGE. MAX OR MIN DIMENSION, NO EXCEPTIONS.
  - PROVIDE KNEE PROTECTION ON EXPOSED WATER SUPPLIES, P-TRAP AND DRAIN PIPING.
  - PROVIDE BLOCKING INSIDE WALL FOR ALL HORIZONTAL AND VERTICAL GRAB BARS EVEN WHEN THEY ARE NOT INSTALLED AS PART OF PROJECT SCOPE OF WORK (TYP.)

REVISION DATES:

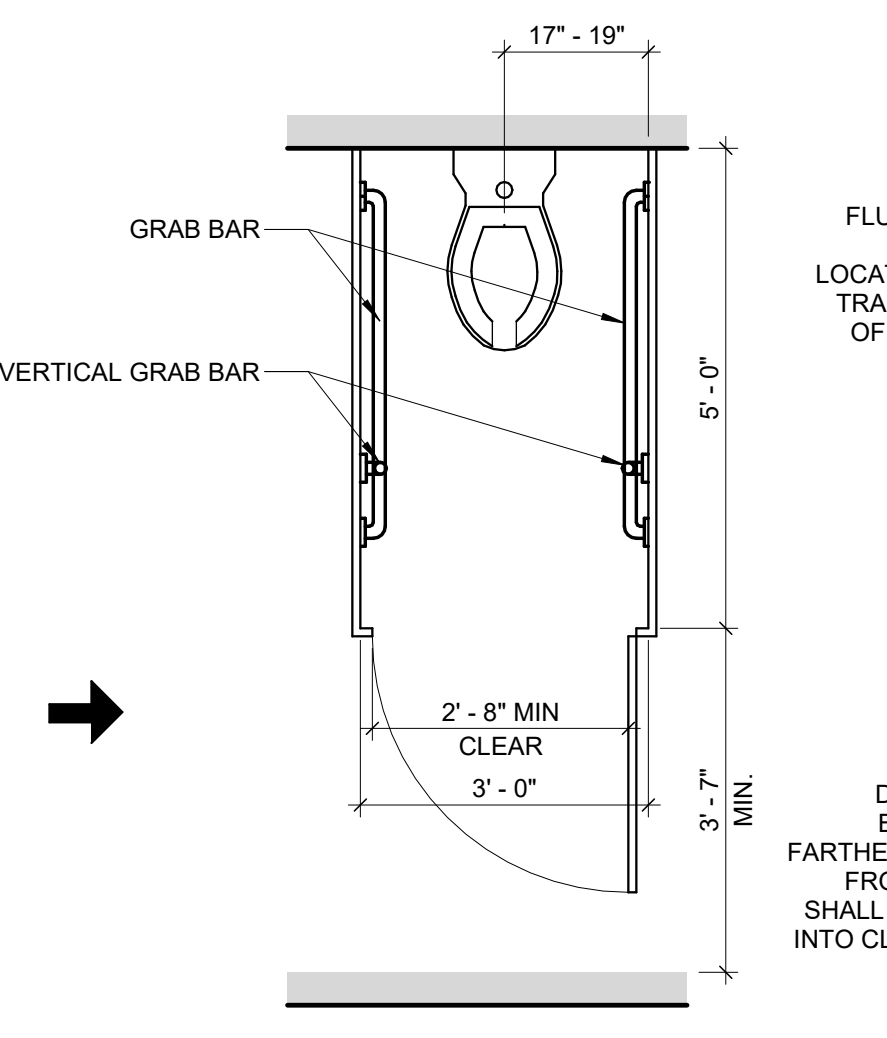



PROFESSIONAL SEAL

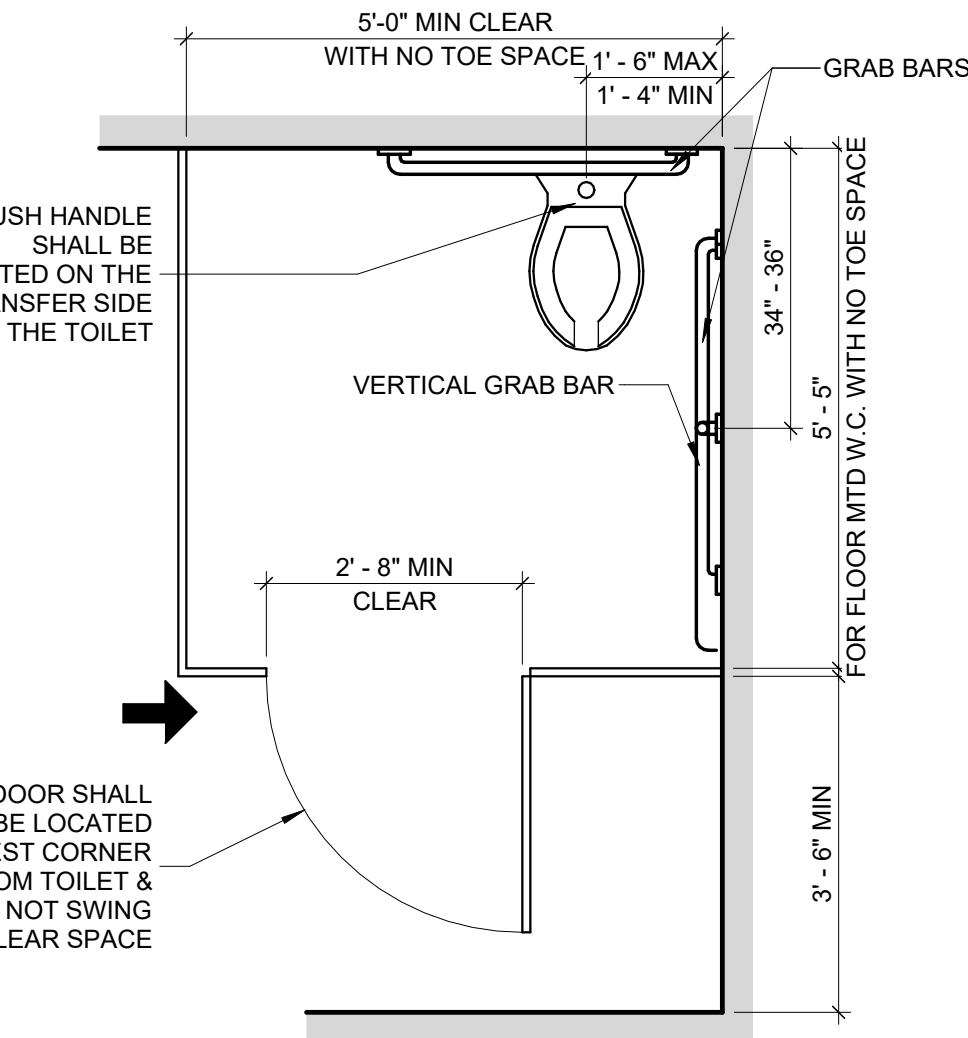
**G-021**  
ISSUE DATE: NOVEMBER 1, 2024  
HOEFER WELKER # 138191



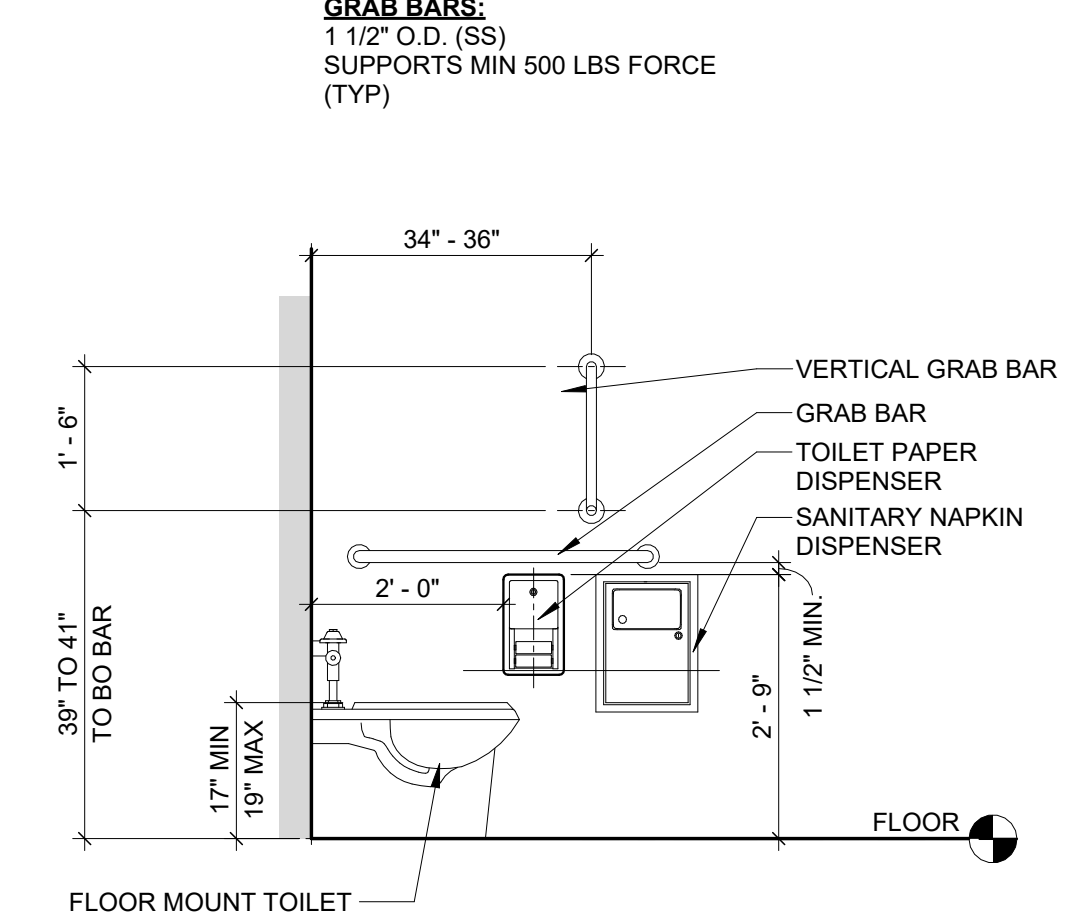
**H8 SWITCH @ DOOR**  
1/2" = 1'-0"



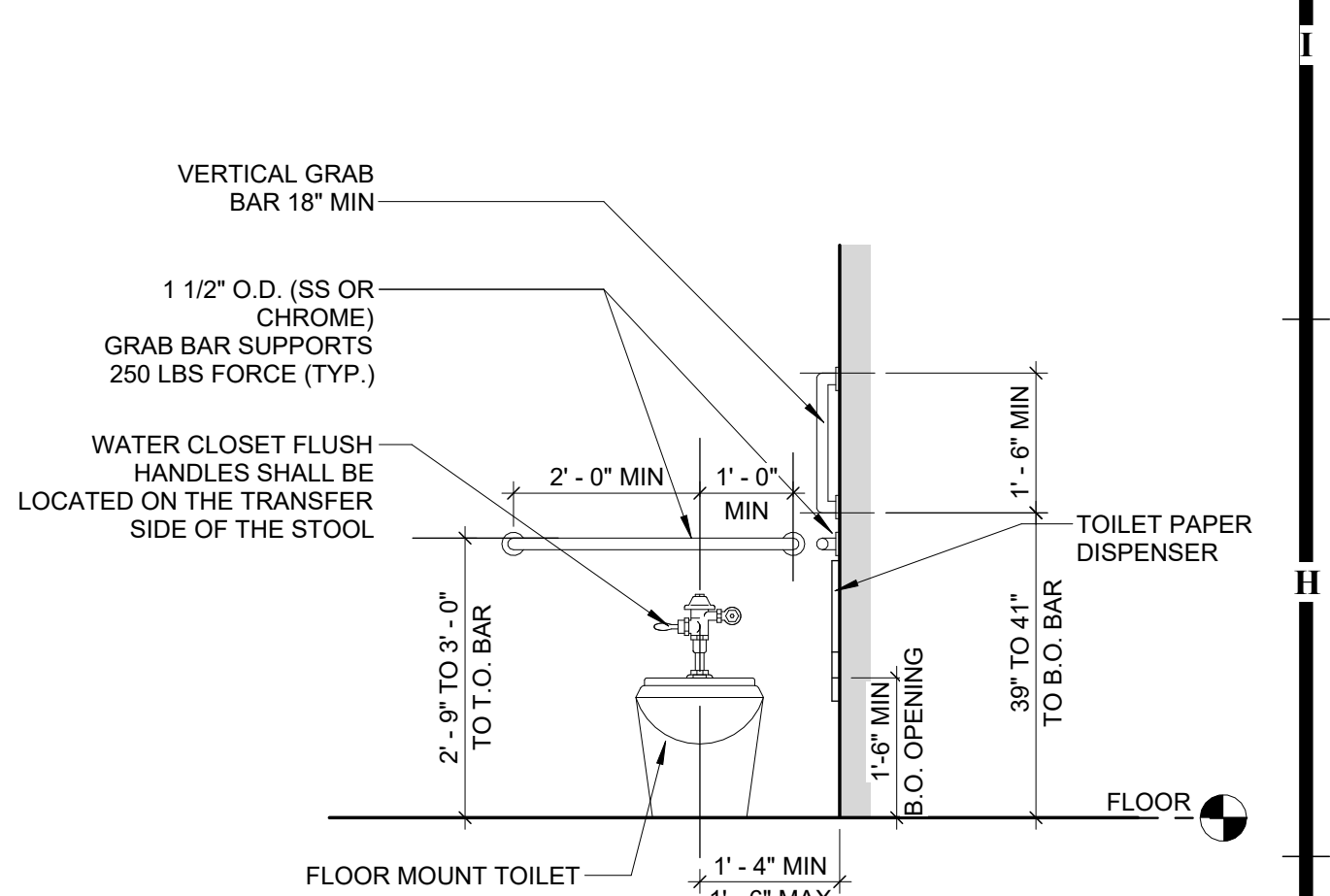
**AMBULATORY ACCESSIBLE TOILET**



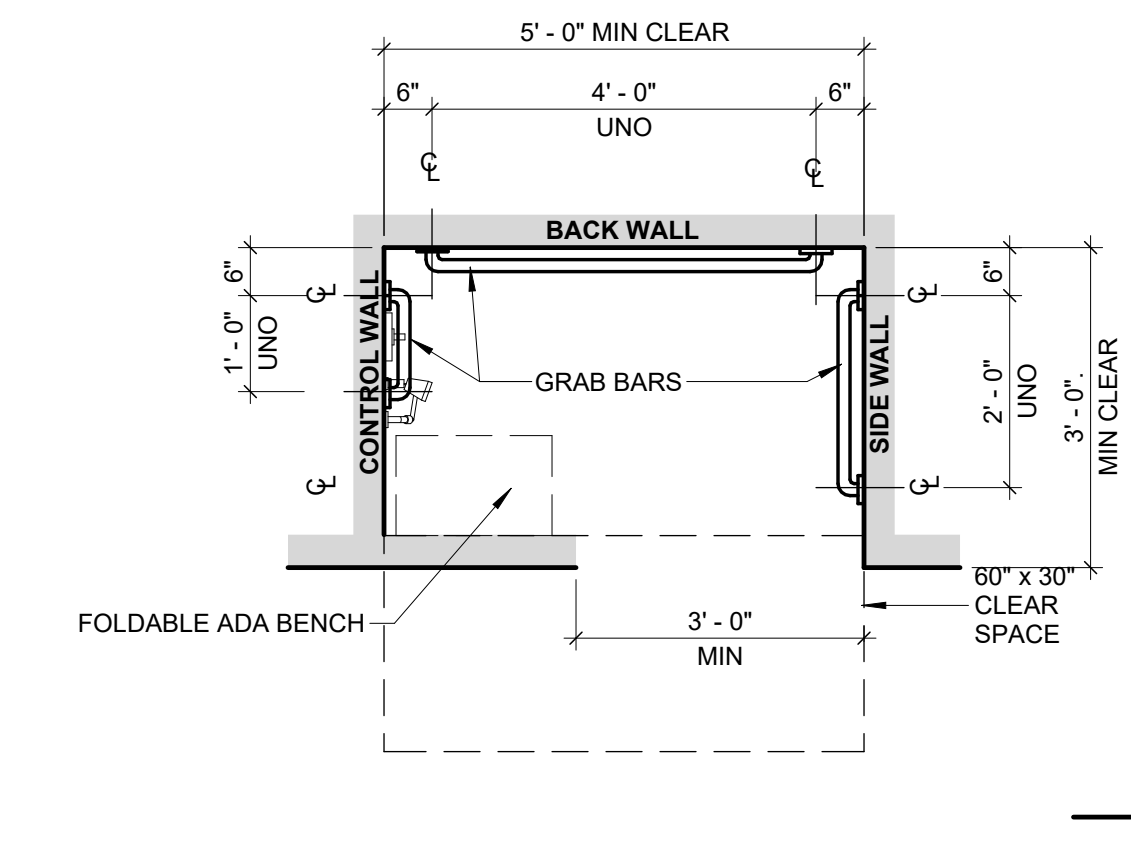
**ACCESSIBLE TOILET @ PARTITIONS**



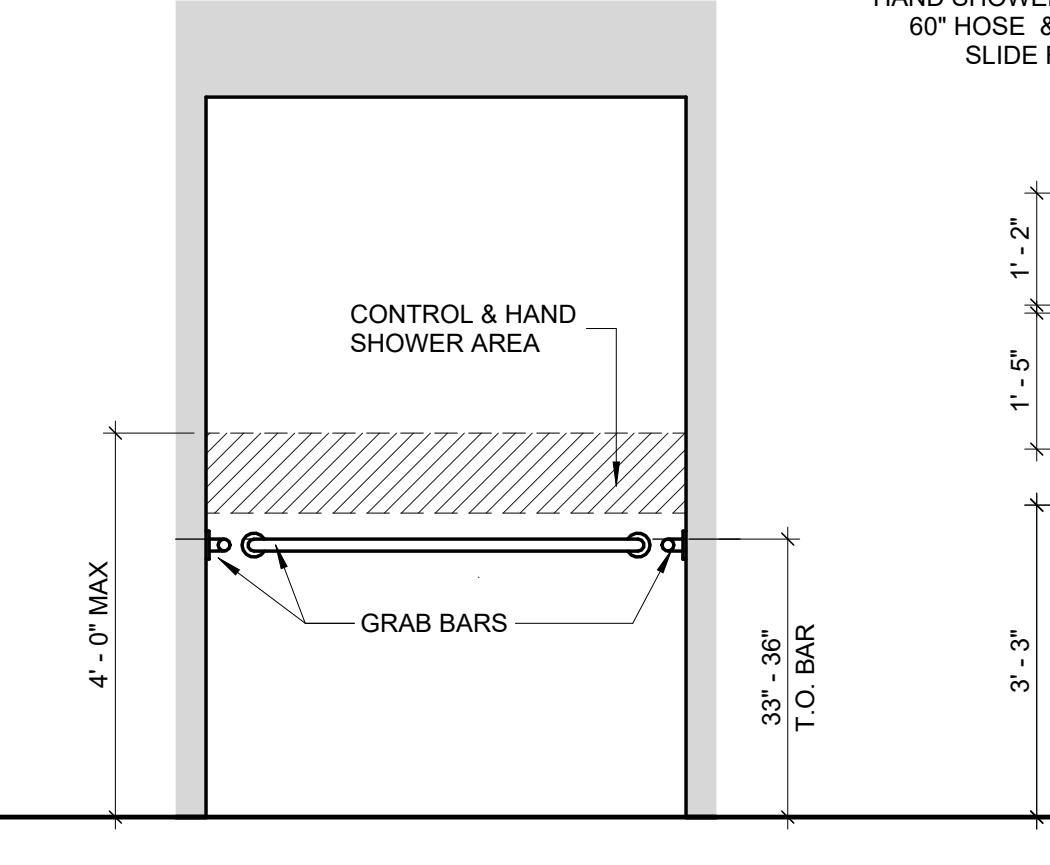
**FLOOR MOUNT TOILET**



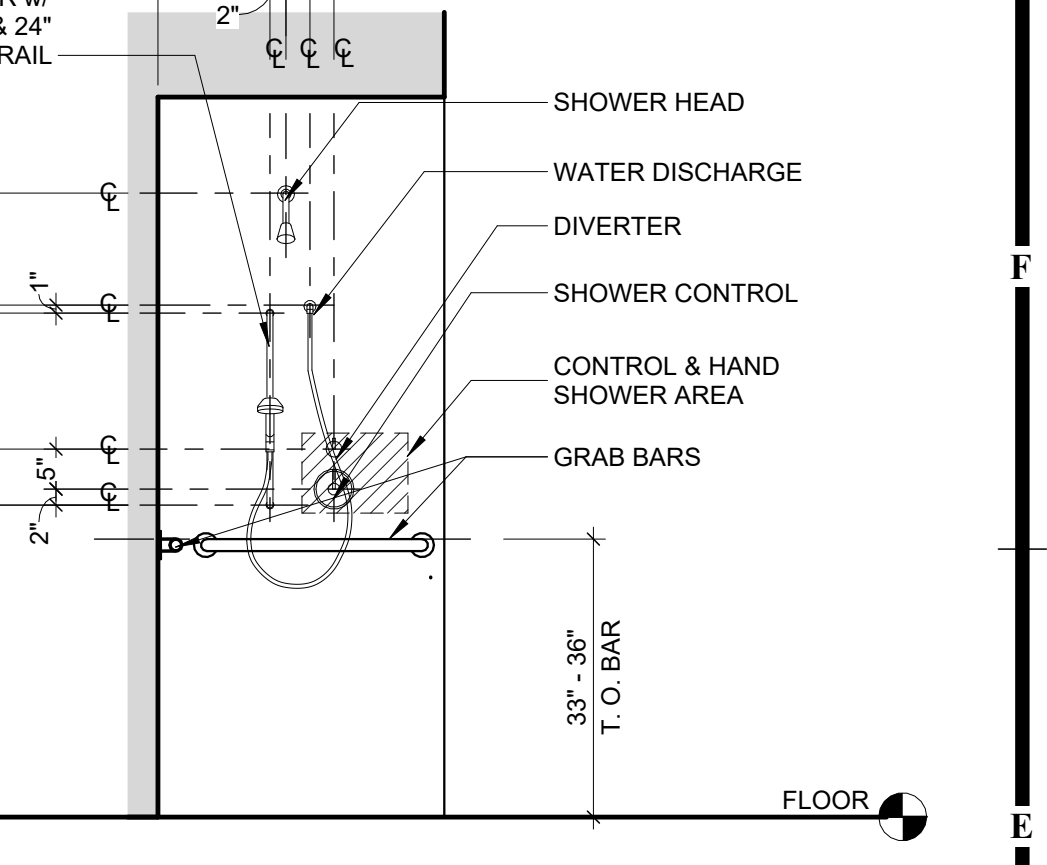
**H1 WATER CLOSET & GRAB BARS**  
1/2" = 1'-0"



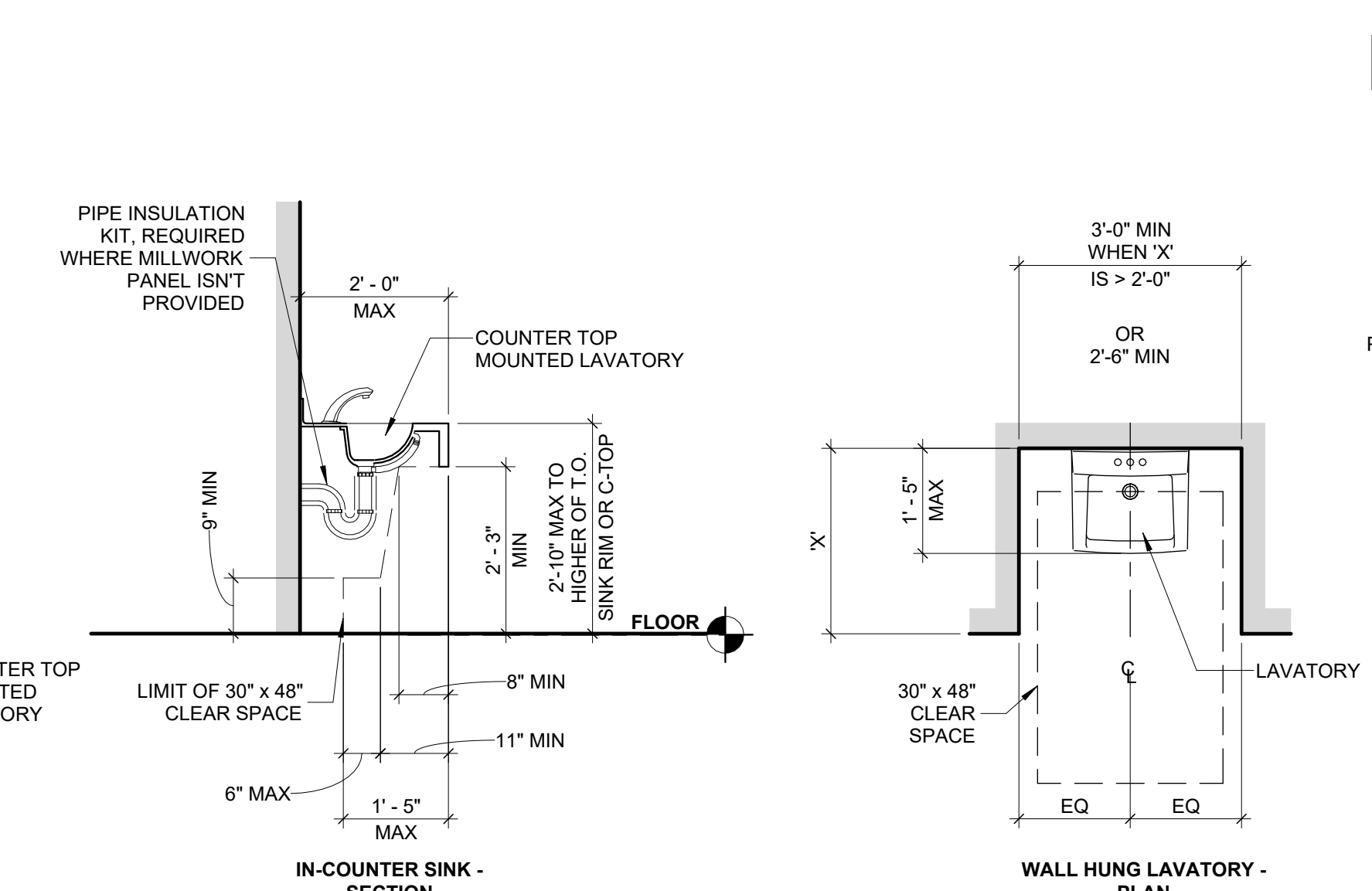
**FOLDABLE ADA BENCH**



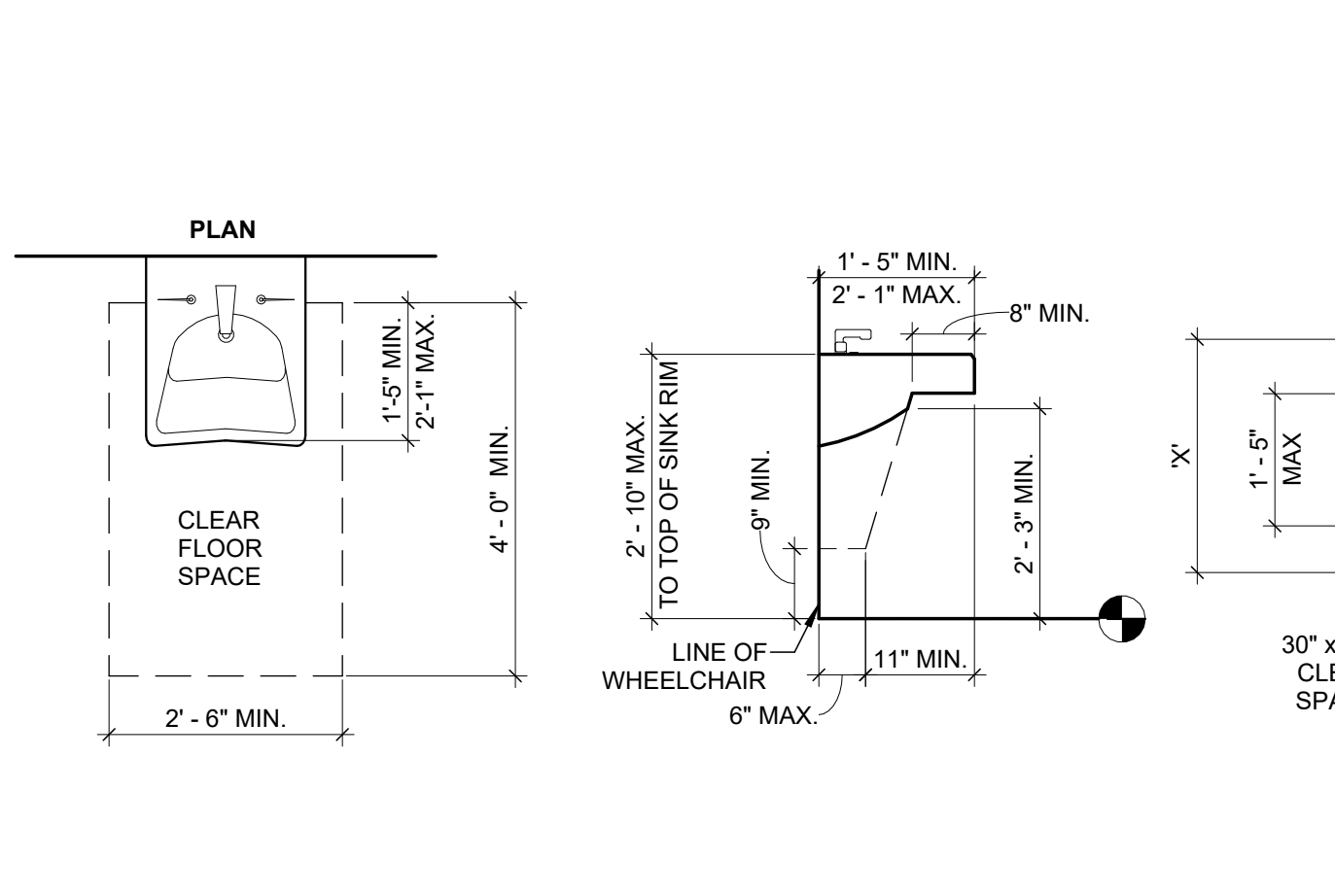
**BACK WALL ELEVATION**



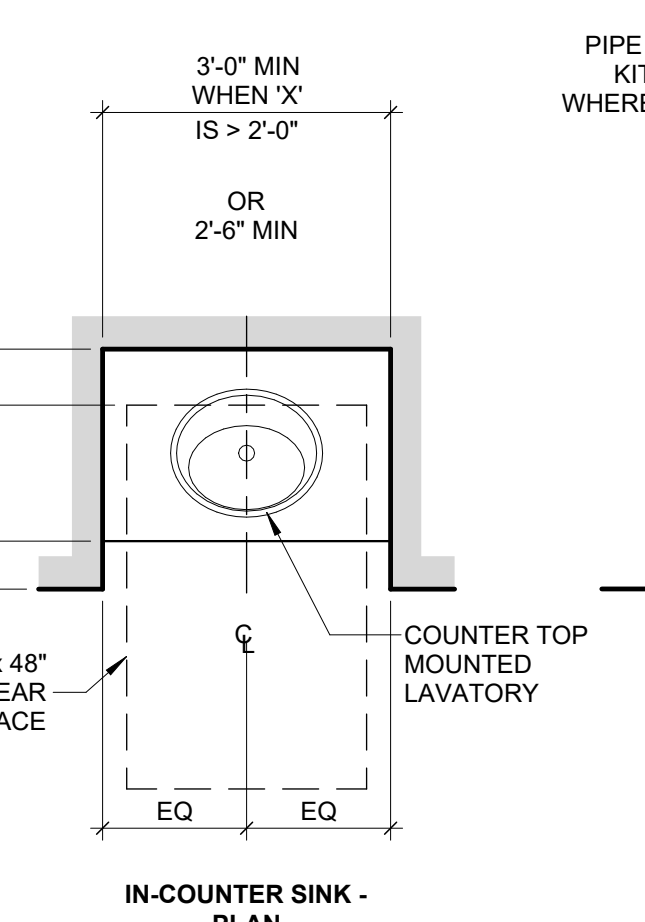
**CONTROL WALL ELEVATION**



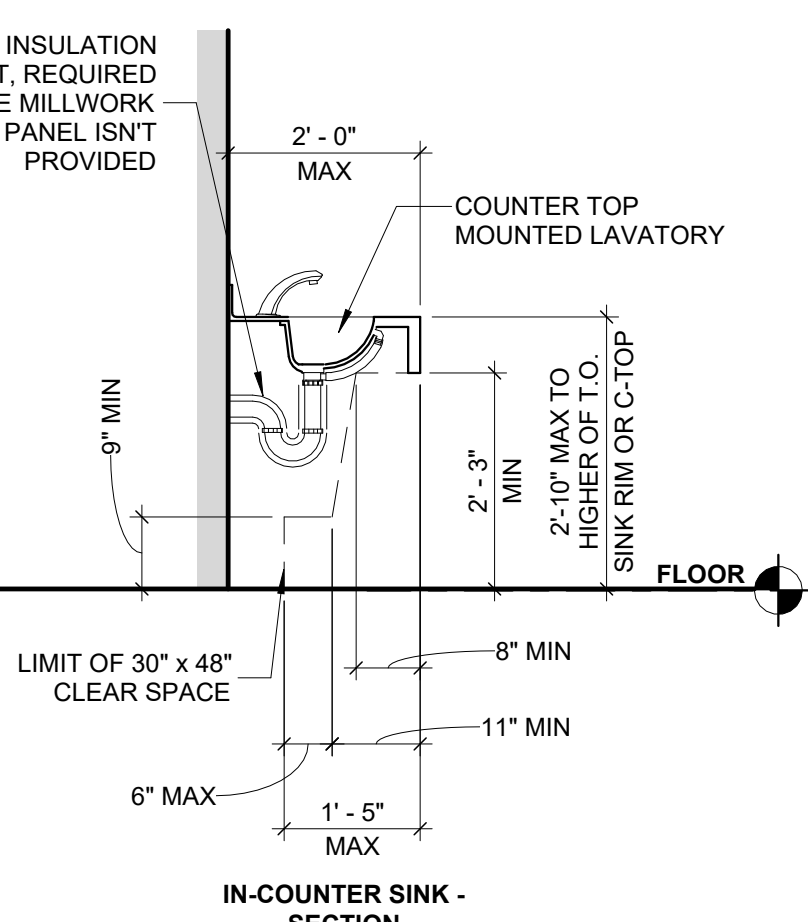
**F1 ALTERNATE ROLL-IN SHOWER**  
1/2" = 1'-0"



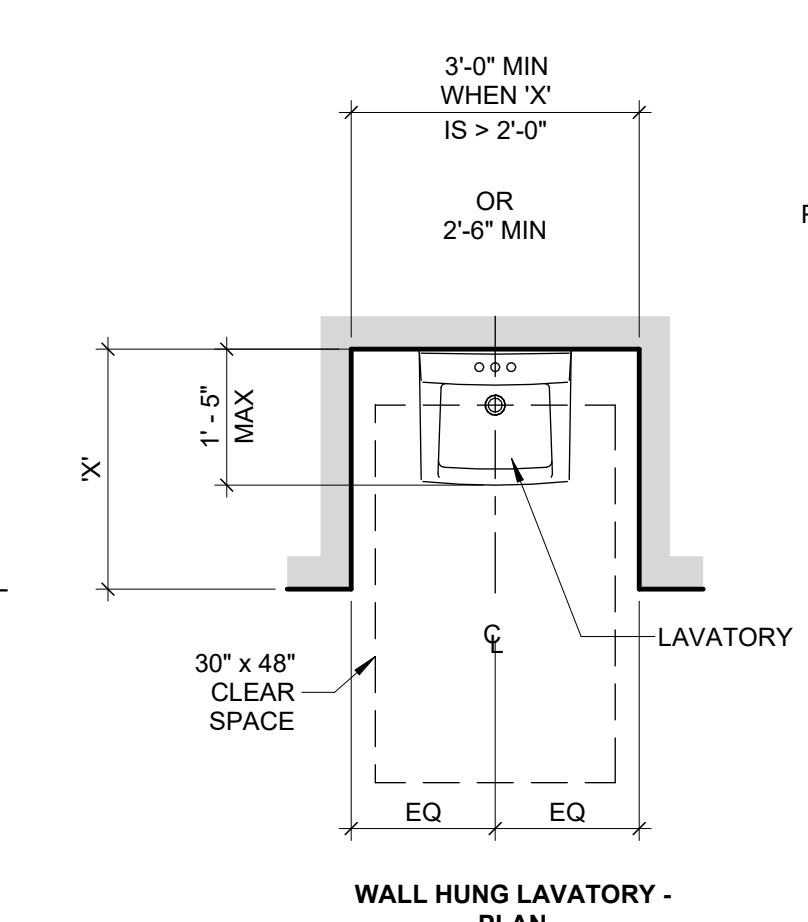
**C8 WALL HUNG LAVATORY CLEARANCES**  
1/2" = 1'-0"



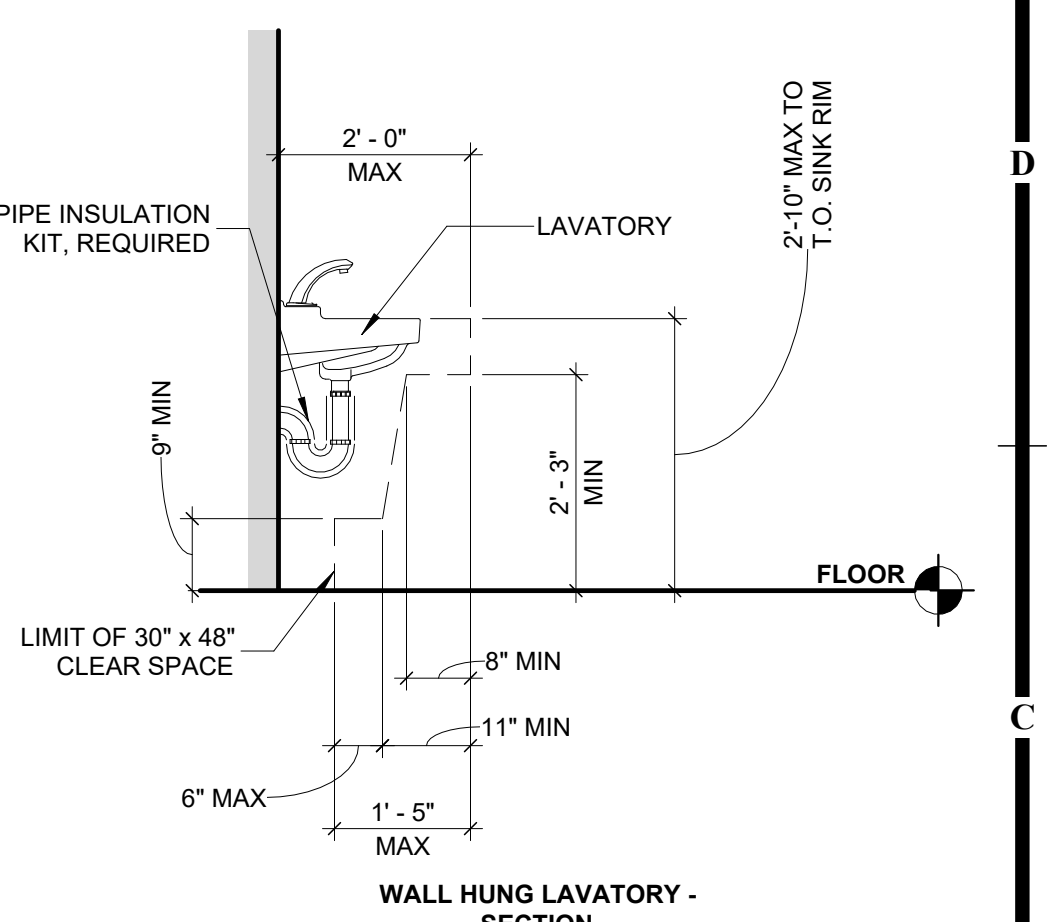
**IN-COUNTER SINK - PLAN**



**IN-COUNTER SINK - SECTION**

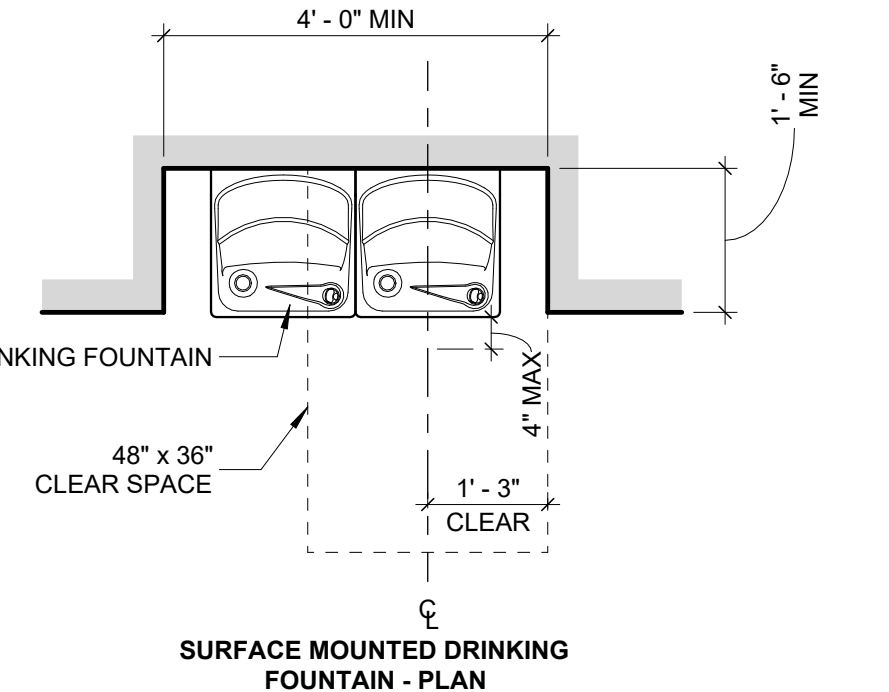


**WALL HUNG LAVATORY - PLAN**

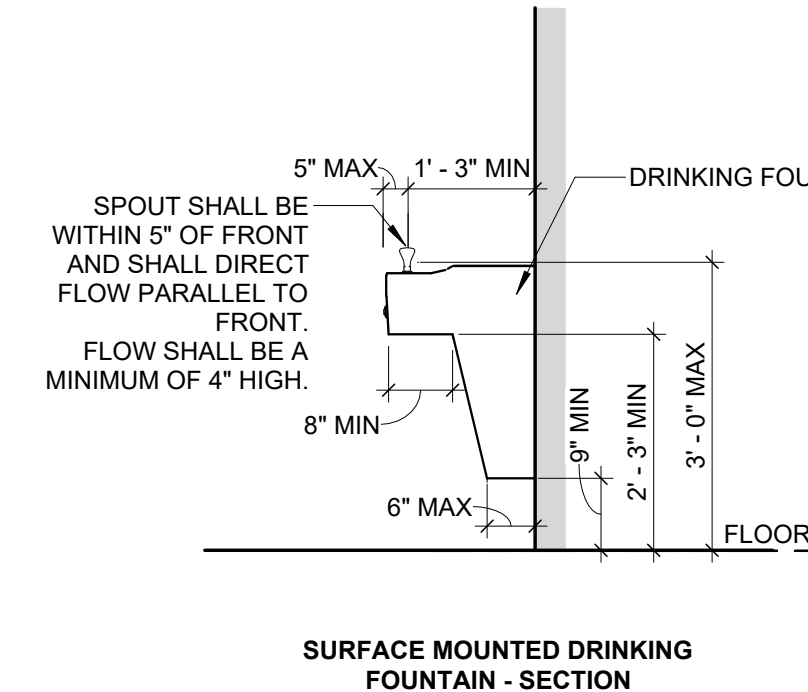


**WALL HUNG LAVATORY - SECTION**

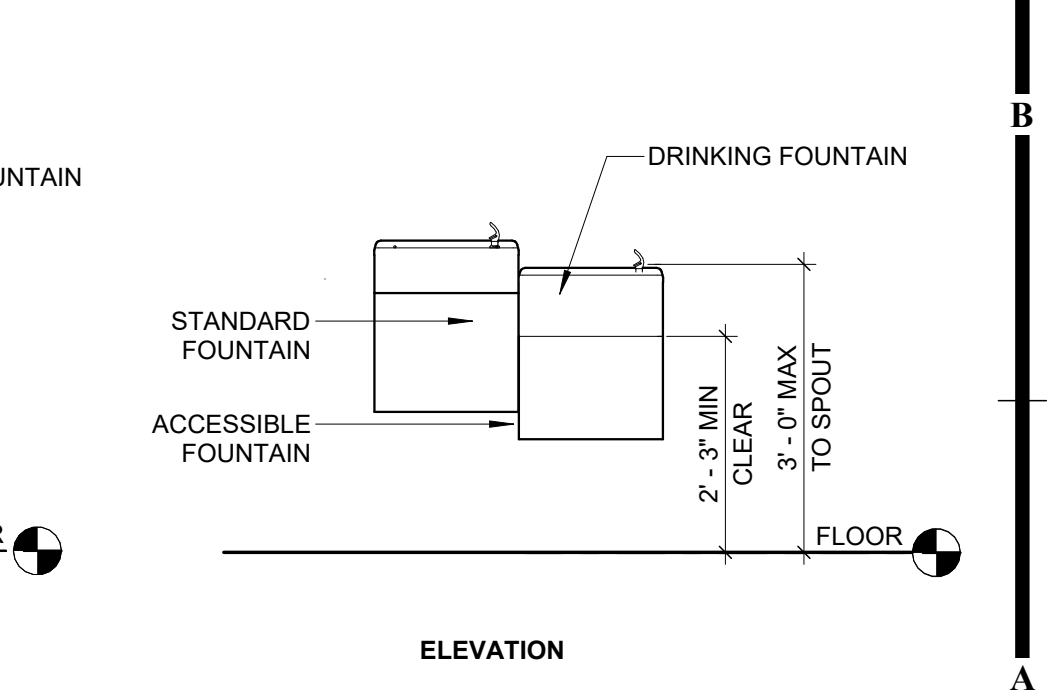
**C1 LAVATORIES**  
1/2" = 1'-0"



**SURFACE MOUNTED DRINKING FOUNTAIN - PLAN**

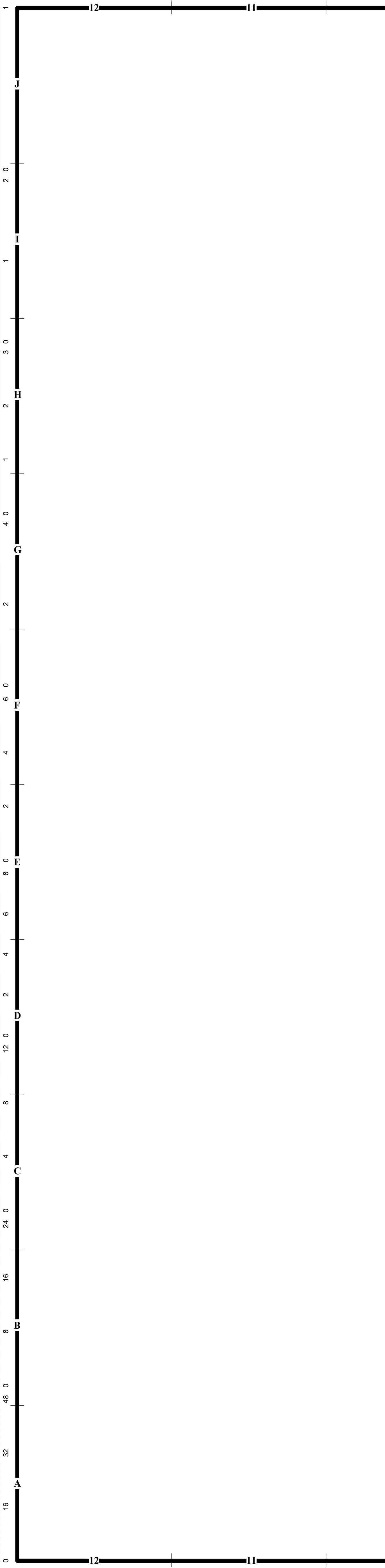


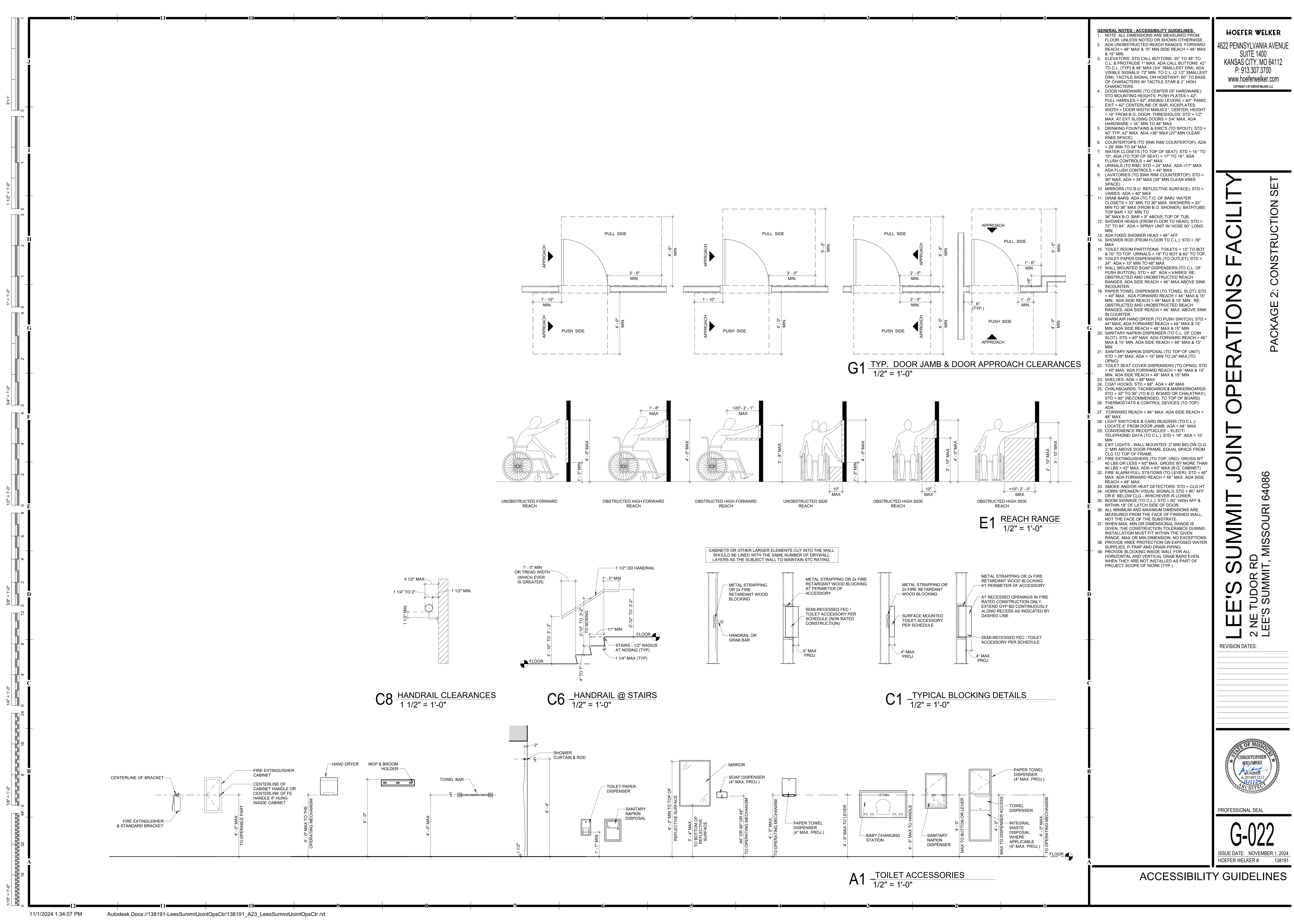
**SURFACE MOUNTED DRINKING FOUNTAIN - SECTION**



**STANDARD AND ACCESSIBLE FOUNTAIN ELEVATION**

**A1 DRINKING FOUNTAINS**  
1/2" = 1'-0"





- GENERAL NOTES - ACCESSIBILITY GUIDELINES:**
- NOTE: ALL DIMENSIONS ARE MEASURED FROM FLOOR, UNLESS NOTED OR SHOWN OTHERWISE.
  - ADA UNOBSTRUCTED REACH RANGES: FORWARD REACH = 48" MAX & 15" MIN SIDE REACH = 48" MAX & 15" MIN.
  - ELEVATORS: STD CALL BUTTONS: 36" TO 48" TO C.L. & PROTRUDE 1" MAX. ADA CALL BUTTONS: 42" TO C.L. (TYP) & 48" MAX (3/4" SMALLEST DIM). ADA VISIBLE SIGNALS: 72" MIN. TO C.L. (2 1/2" SMALLEST DIM). TACTILE SIGNAL ON HOISTWAY: 60" TO BASE OF CHARACTERS W/ TACTILE STAR & 2" HIGH CHARACTERS.
  - DOOR HARDWARE (TO CENTER OF HARDWARE): STD MOUNTING HEIGHTS: PUSH PLATES = 42"; PULL HANDLES = 42"; KNOBS/ LEVERS = 40"; PANIC EXIT = 42" CENTERLINE OF BAR; KICKPLATES: WIDTH = DOOR WIDTH MINUS 2"; CENTER HEIGHT = 16" FROM B.O. DOOR THRESHOLDS: STD = 1/2" MAX AT EXT SLIDING DOORS = 3/4" MAX; ADA HARDWARE = 34" MIN TO 48" MAX.
  - DRINKING FOUNTAINS & EWCS (TO SPOUT): STD = 40" TYP. 42" MAX. ADA = 36" MAX (27" MIN CLEAR KNEE SPACE).
  - COUNTERTOPS (TO SINK RIMI COUNTERTOP): ADA = 28" MIN TO 34" MAX.
  - WATER CLOSETS (TO TOP OF SEAT): STD = 14" TO 15"; ADA (TO TOP OF SEAT) = 17" TO 19". ADA FLUSH CONTROLS = 44" MAX.
  - URINALS (TO RIM): STD = 24" MAX. ADA = 17" MAX. ADA FLUSH CONTROLS = 44" MAX.
  - LAVATORIES (TO SINK RIMI COUNTERTOP): STD = 36" MAX. ADA = 34" MAX (29" MIN CLEAR KNEE SPACE).
  - MIRRORS (TO B.O. REFLECTIVE SURFACE): STD = VARIES. ADA = 40" MAX.
  - GRAB BARS: ADA (TO T.O. OF BAR): WATER CLOSETS = 33" MIN TO 36" MAX; SHOWERS = 33" MIN TO 36" MAX (FROM B.O. SHOWER); BATHTUBS: TOP BAR = 33" MIN TO 36" MAX; B.O. BAR = 9" ABOVE TOP OF TUB.
  - SHOWER HEADS (FROM FLOOR TO HEAD): STD = 72" TO 84". ADA = SPRAY UNIT W/ HOSE 60" LONG MIN.
  - ADA FIXED SHOWER HEAD = 48" AFF.
  - SHOWER ROD (FROM FLOOR TO C.L.): STD = 78" & 70" TO TOP; URINALS = 18" TO BOT & 60" TO TOP.
  - TOILET PAPER DISPENSERS (TO OUTLET): STD = 24". ADA = 15" MIN TO 48" MAX.
  - WALL MOUNTED SOAP DISPENSERS (TO C.L. OF PUSH BUTTON): STD = 40". ADA = VARIES. RE OBSTRUCTED AND UNOBSTRUCTED REACH RANGES. ADA SIDE REACH = 46" MAX ABOVE SINK IN COUNTER.
  - PAPER TOWEL DISPENSER (TO TOWEL SLOT): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN. RE OBSTRUCTED AND UNOBSTRUCTED REACH RANGES. ADA SIDE REACH = 46" MAX. ABOVE SINK IN COUNTER.
  - WARM AIR HAND DRYER (TO PUSH SWITCH): STD = 44" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SANITARY NAPKIN DISPENSER (TO C.L. OF COIN SLOT): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SANITARY NAPKIN DISPOSAL (TO TOP OF UNIT): STD = 28" MAX. ADA = 19" MIN TO 24" MAX (TO OPNG).
  - TOILET SEAT COVER DISPENSERS (TO OPNG): STD = 40" MAX. ADA FORWARD REACH = 48" MAX & 15" MIN. ADA SIDE REACH = 48" MAX & 15" MIN.
  - SHELVES: ADA = 48" MAX.
  - COAT HOOKS: STD = 88". ADA = 48" MAX.
  - CHALKBOARDS, TACKBOARDS & MARKERBOARDS: STD = 32" TO 36" (TO B.O. BOARD OR CHALKTRAY). STD = 80" (RECOMMENDED, TO TOP OF BOARD).
  - THERMOSTATS & CONTROL DEVICES (TO TOP): ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
  - FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
  - LIGHT SWITCHES & CARD READERS (TO C.L.): LOCATE 8" FROM DOOR JAMB. ADA = 48" MAX.
  - CONVENIENCE RECEPTACLES - ELECT/ TELEPHONE/ DATA (TO C.L.): STD = 18". ADA = 15" MIN.
  - EXIT LIGHTS - WALL MOUNTED: 2" MIN BELOW CLG. 2" MIN ABOVE DOOR FRAME. EQUAL SPACE FROM CLG TO TOP OF FRAME.
  - FIRE EXTINGUISHERS (TO TOP, UNO): GROSS WT 40 LBS OR LESS = 60" MAX. GROSS WT MORE THAN 40 LBS = 42" MAX. ADA = 40" MAX (B.O. CABINET).
  - FIRE ALARM PULL STATIONS (TO LEVER): STD = 48" MAX. ADA FORWARD REACH = 48" MAX. ADA SIDE REACH = 48" MAX.
  - SMOKE AND/OR HEAT DETECTORS: STD = CLG HT.
  - HORN/ SPEAKER/ VISUAL SIGNALS: STD = 80" AFF OR 6" BELOW CLG, WHICHEVER IS LOWER.
  - ROOM SIGNAGE (TO C.L.): STD = 60" HIGH AFF & WITHIN 18" OF LATCH SIDE OF DOOR.
  - ALL MINIMUM AND MAXIMUM DIMENSIONS ARE MEASURED FROM THE FACE OF FINISHED WALL, NOT THE FACE OF THE SUBSTRATE.
  - WHEN MAX. MIN OR DIMENSIONAL RANGE IS GIVEN, THE CONSTRUCTION TOLERANCE DURING INSTALLATION MUST FIT WITHIN THE GIVEN RANGE. MAX OR MIN DIMENSION, NO EXCEPTIONS.
  - PROVIDE KNEE PROTECTION ON EXPOSED WATER SUPPLIES, P-TRAP AND DRAIN PIPING.
  - PROVIDE BLOCKING INSIDE WALL FOR ALL HORIZONTAL AND VERTICAL GRAB BARS EVEN WHEN THEY ARE NOT INSTALLED AS PART OF PROJECT SCOPE OF WORK (TYP.)

**G1 TYP. DOOR JAMB & DOOR APPROACH CLEARANCES**  
 1/2" = 1'-0"

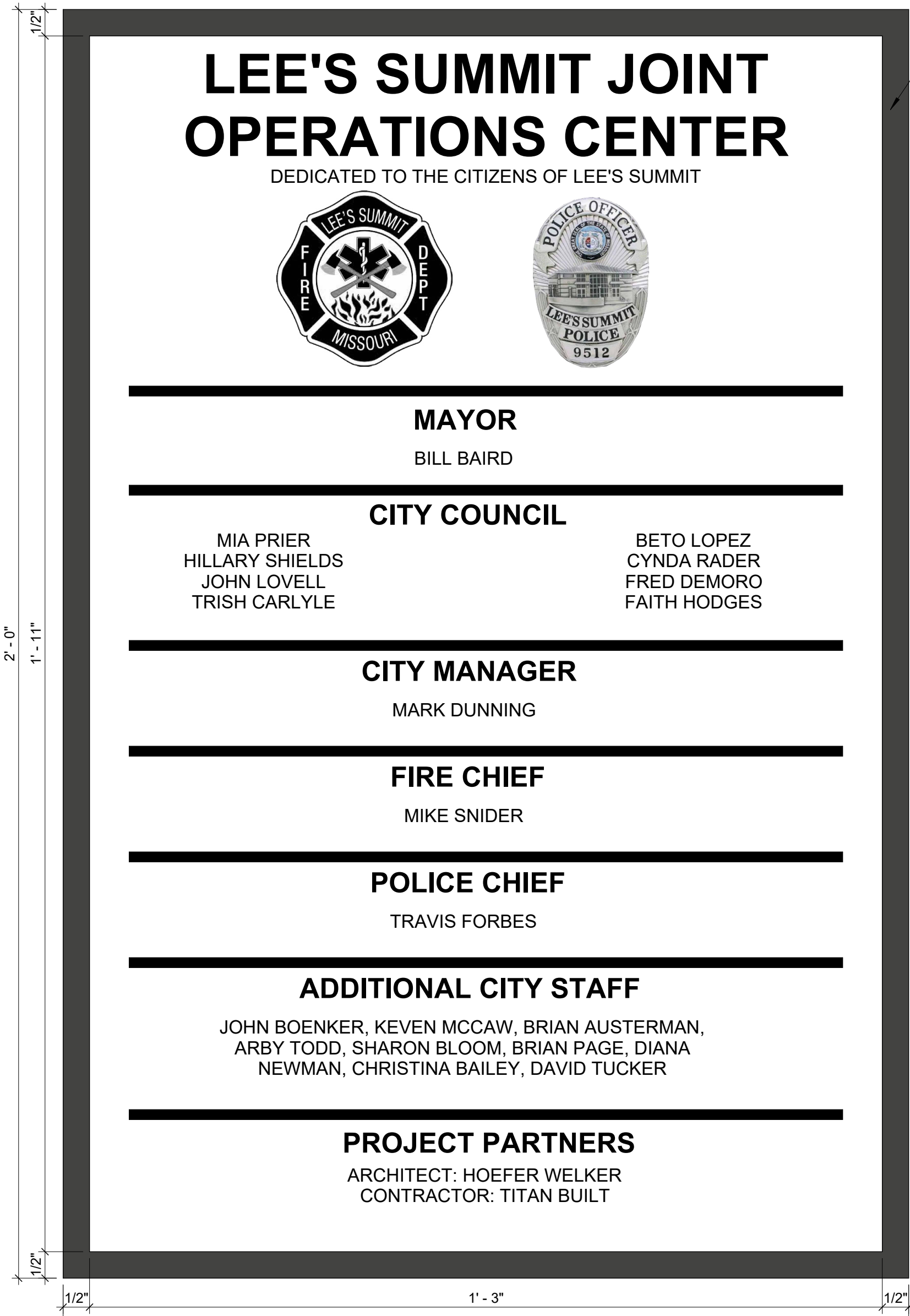
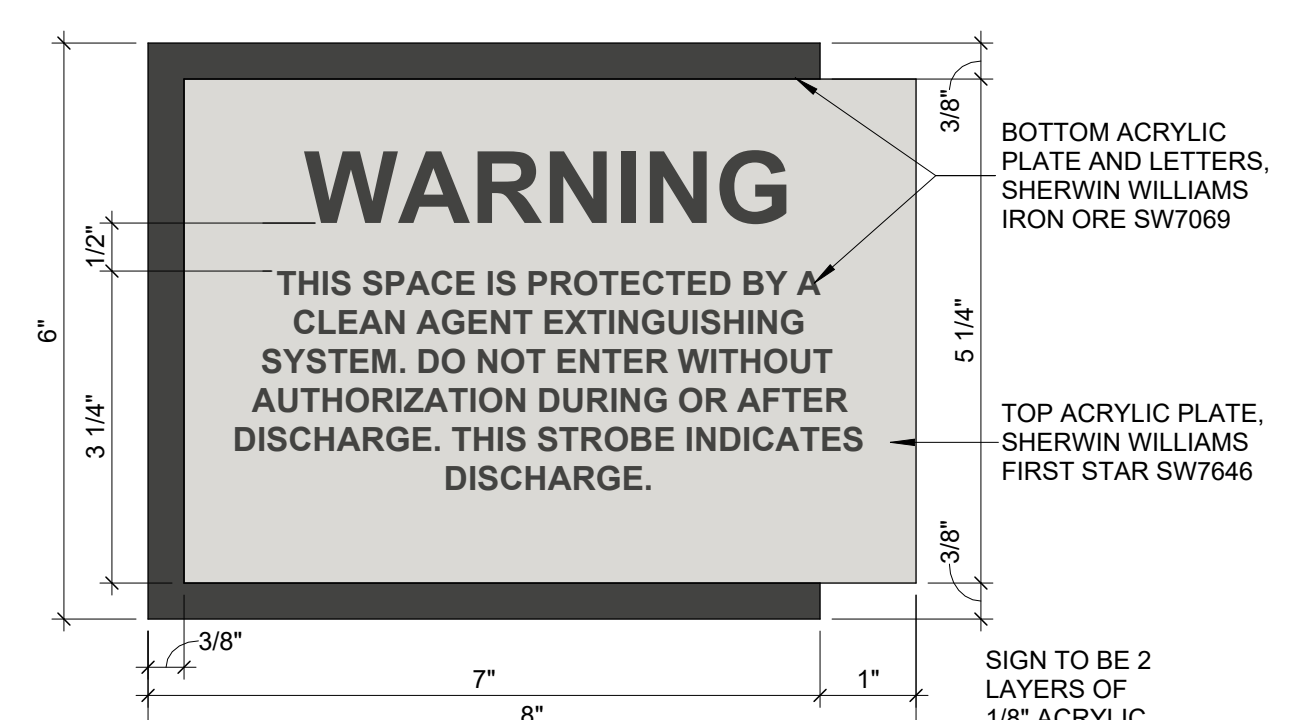
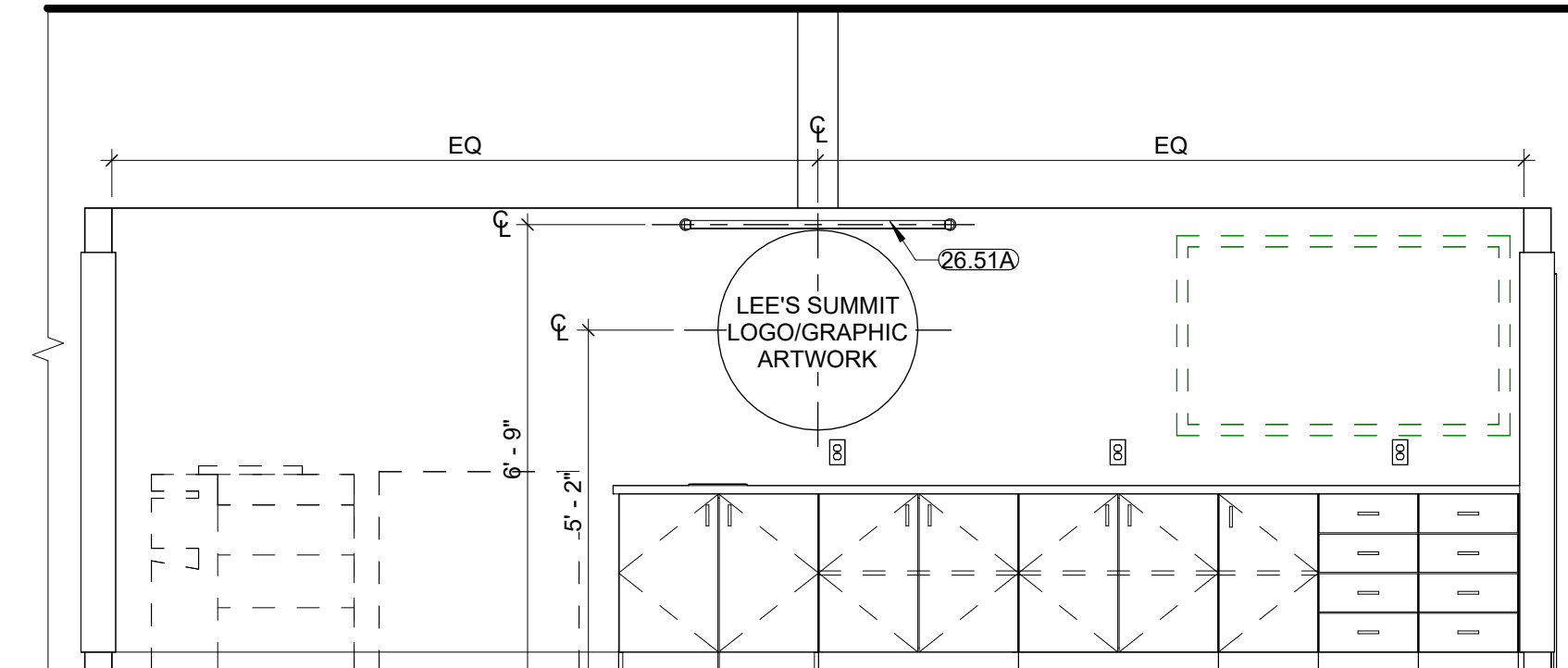
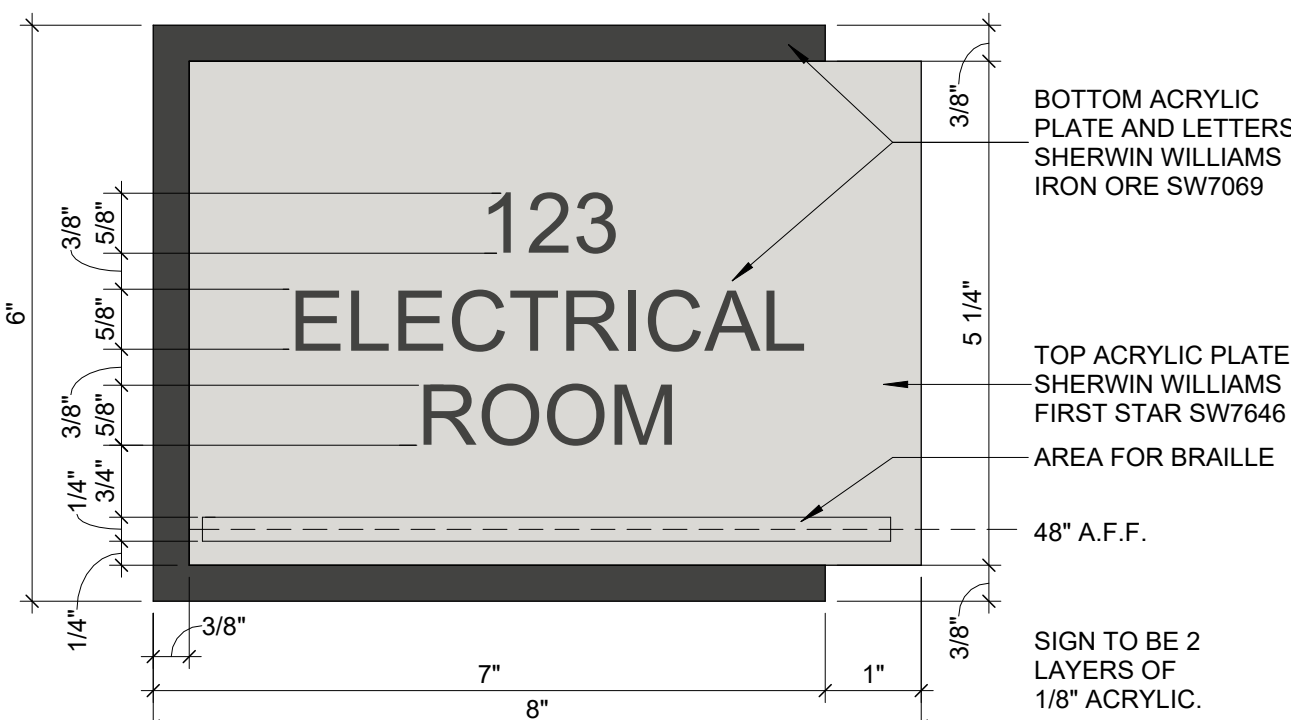
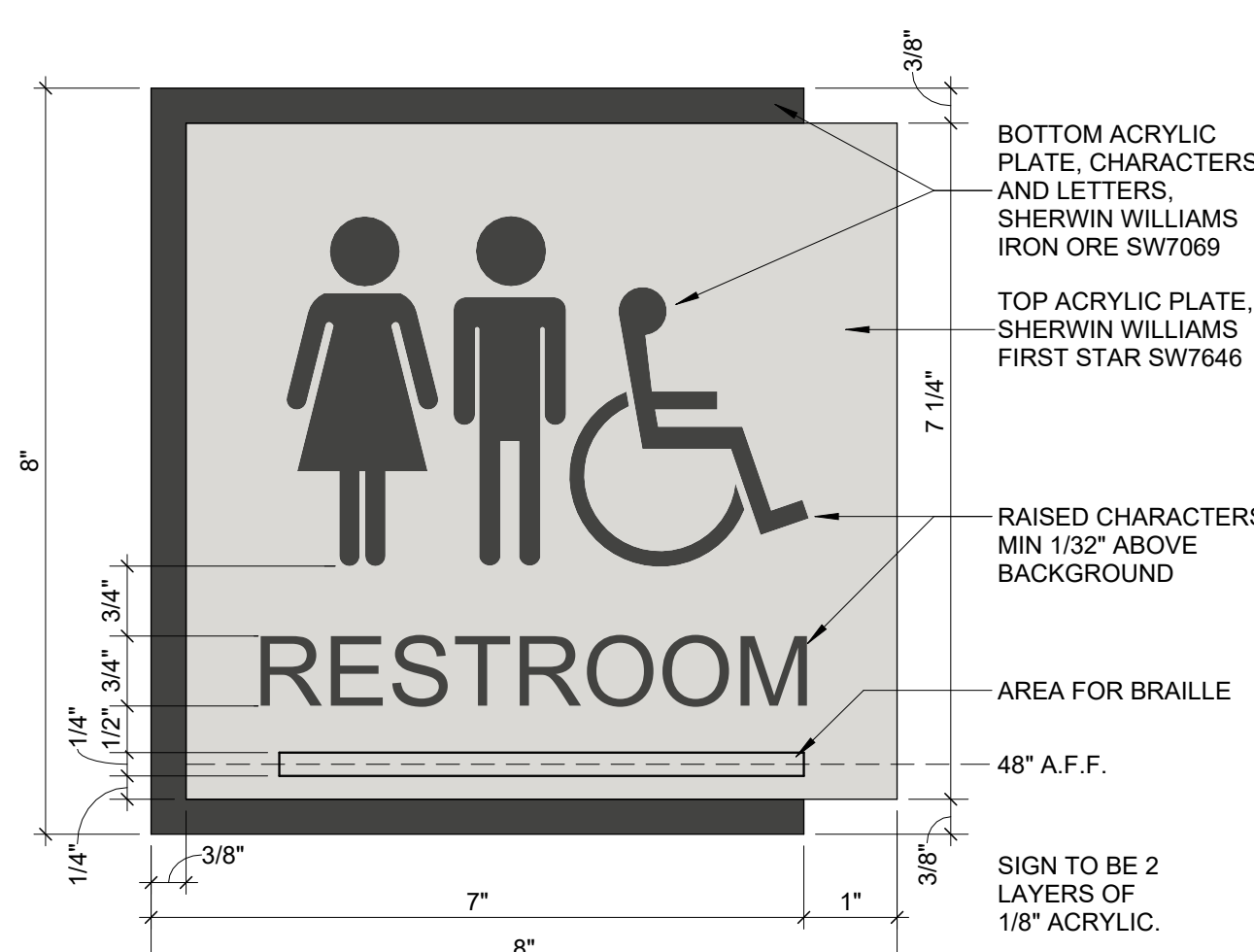
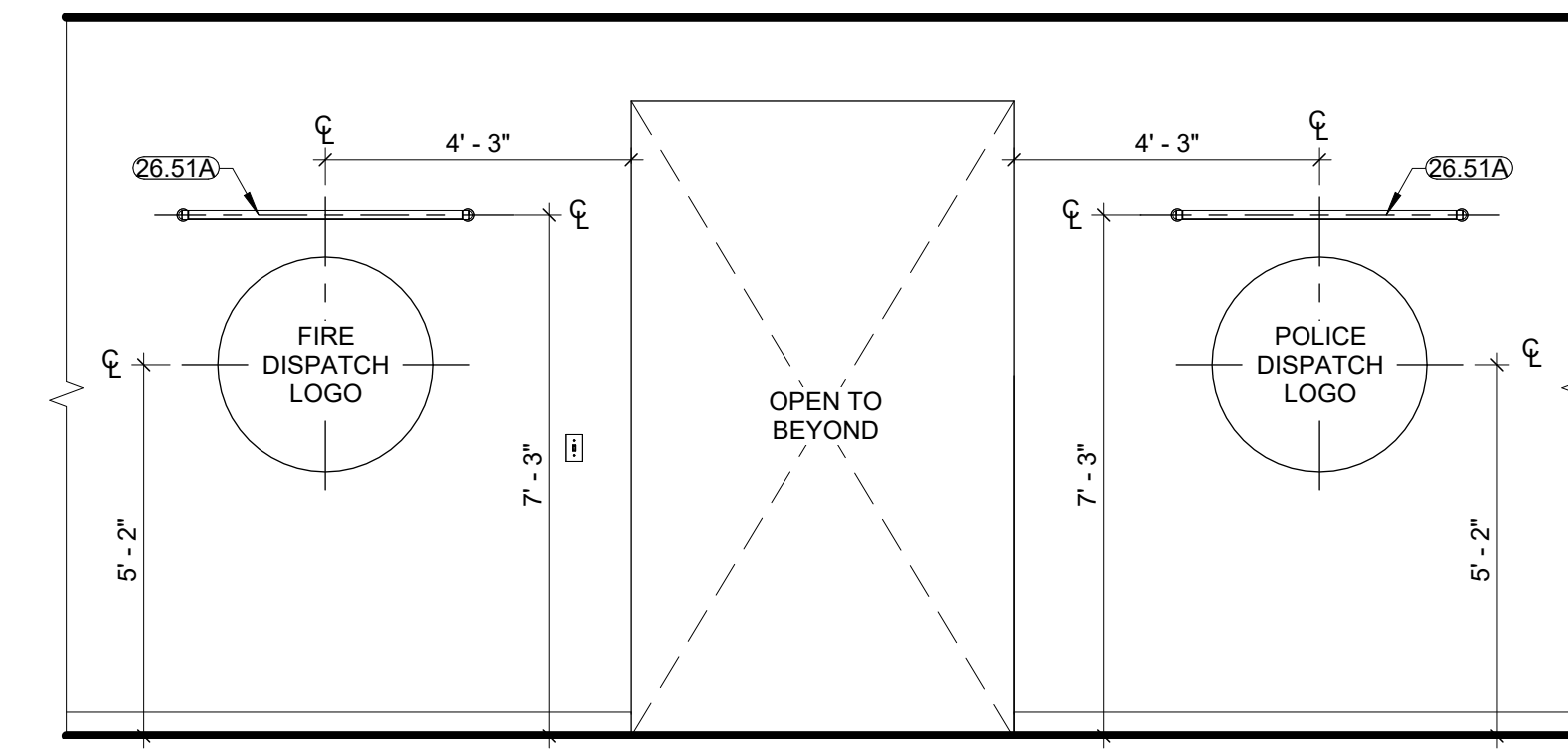
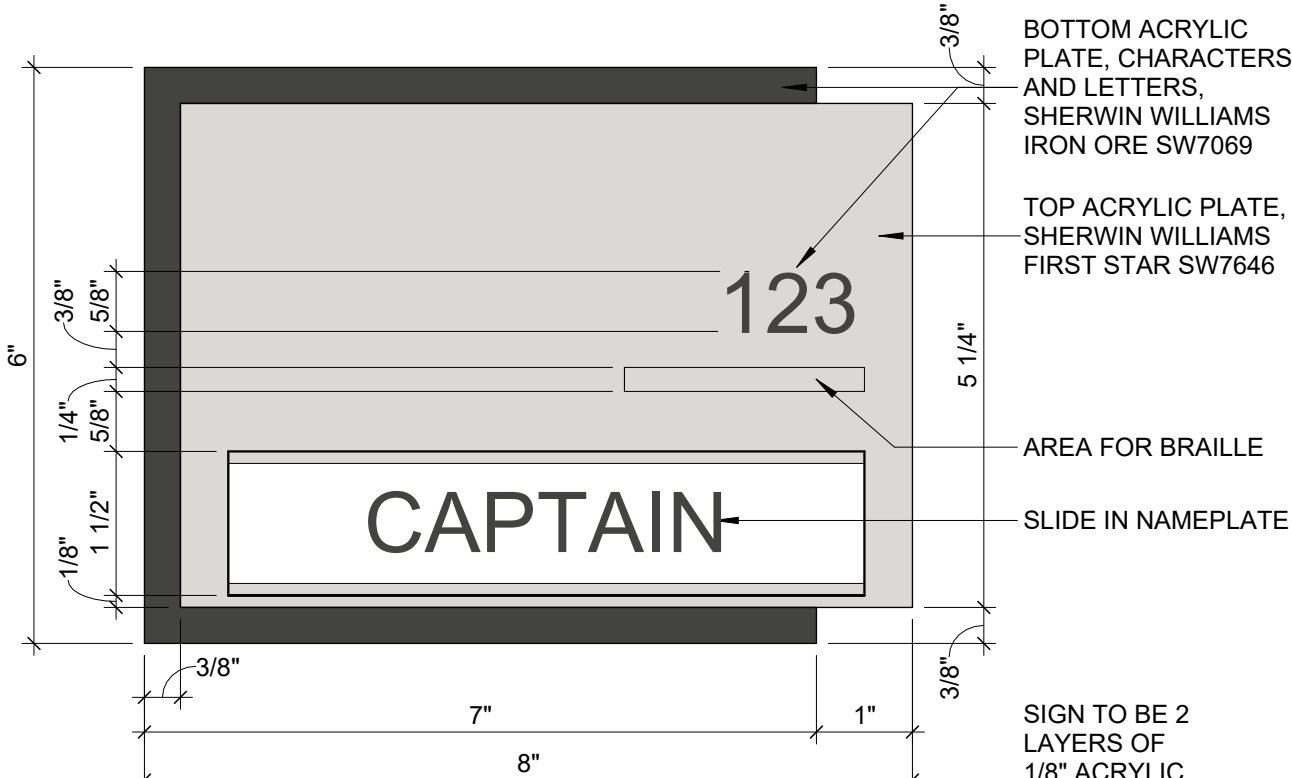
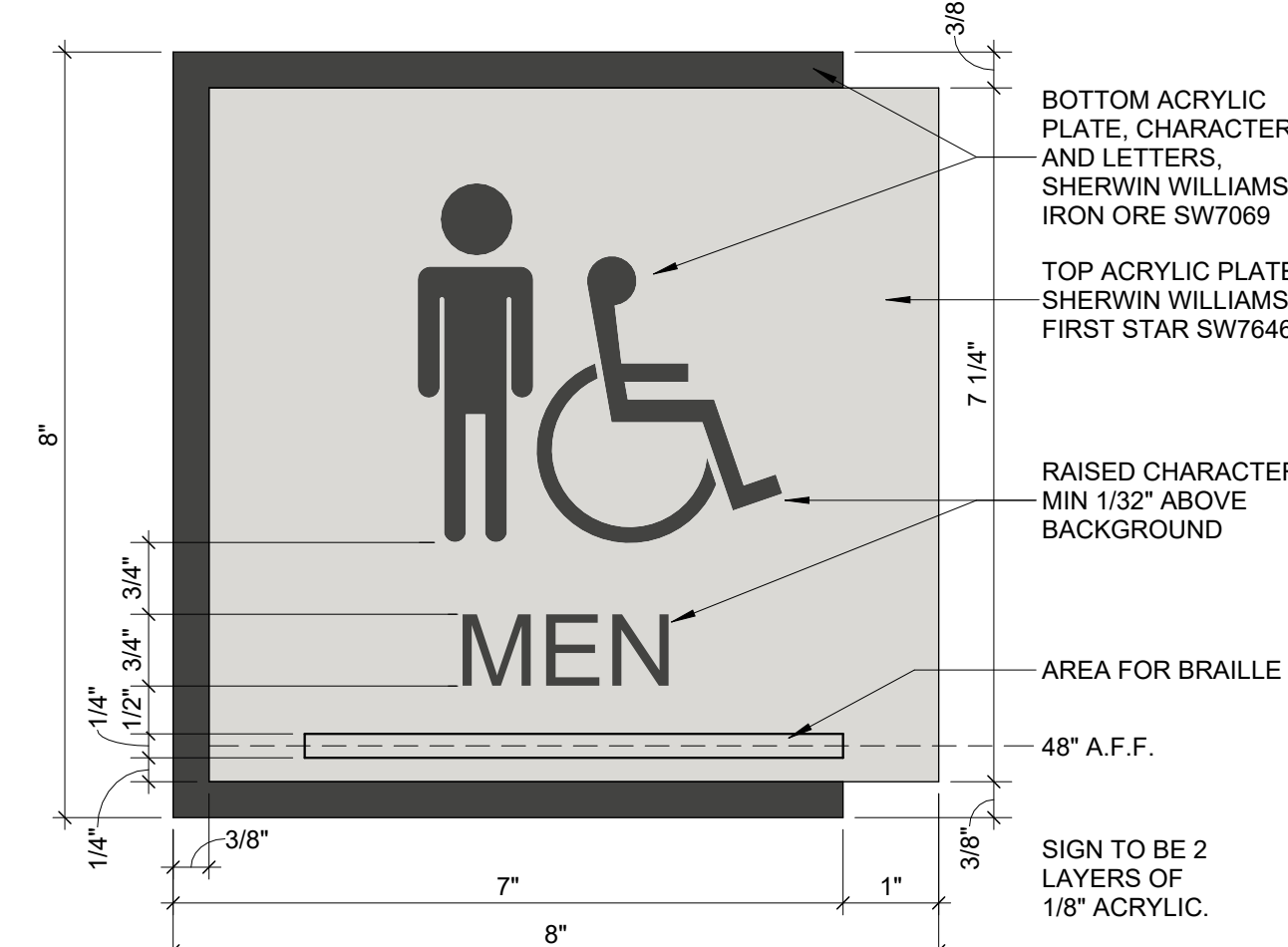
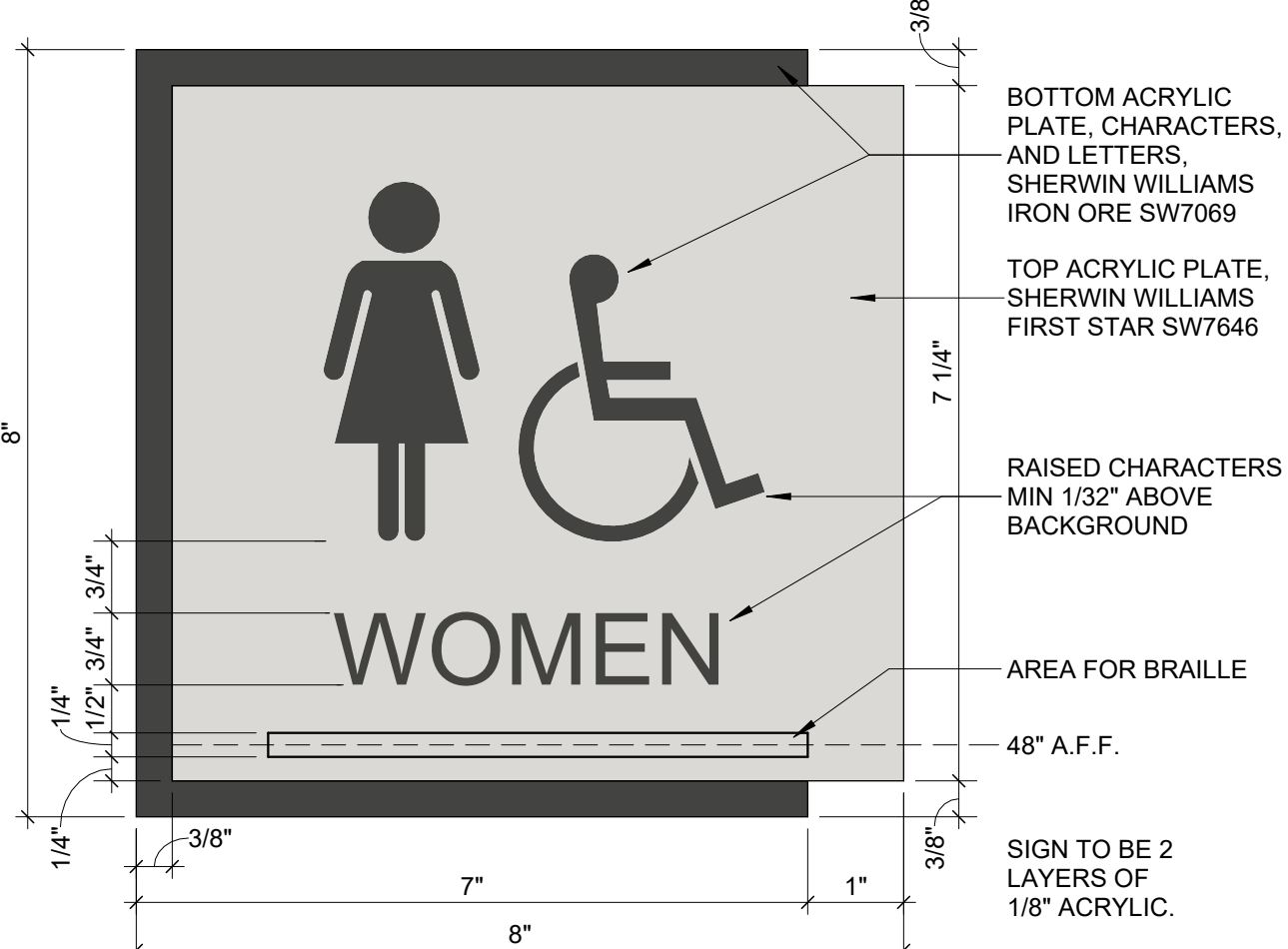
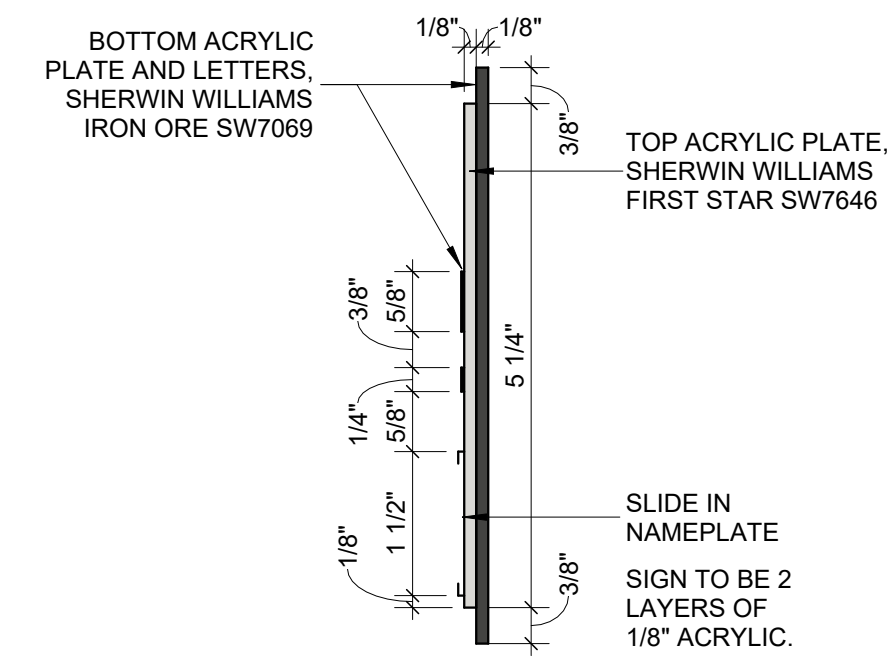
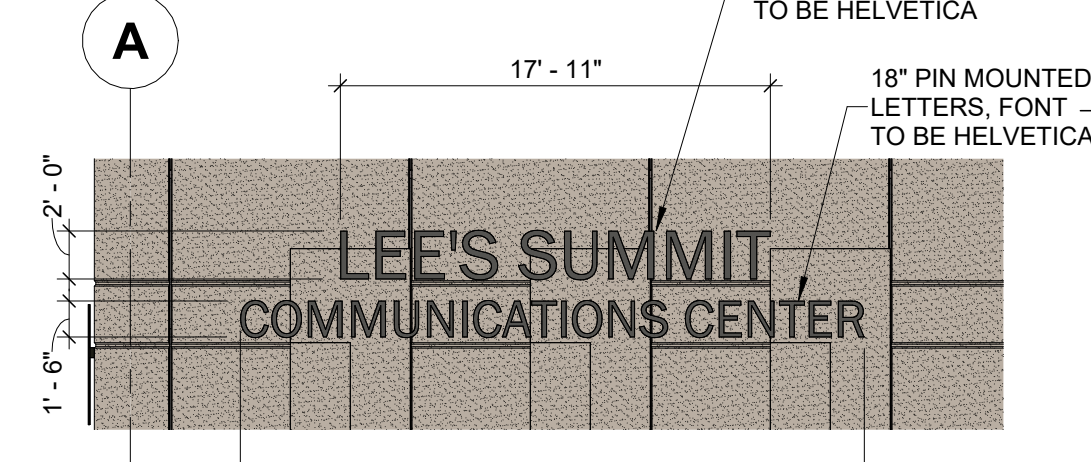
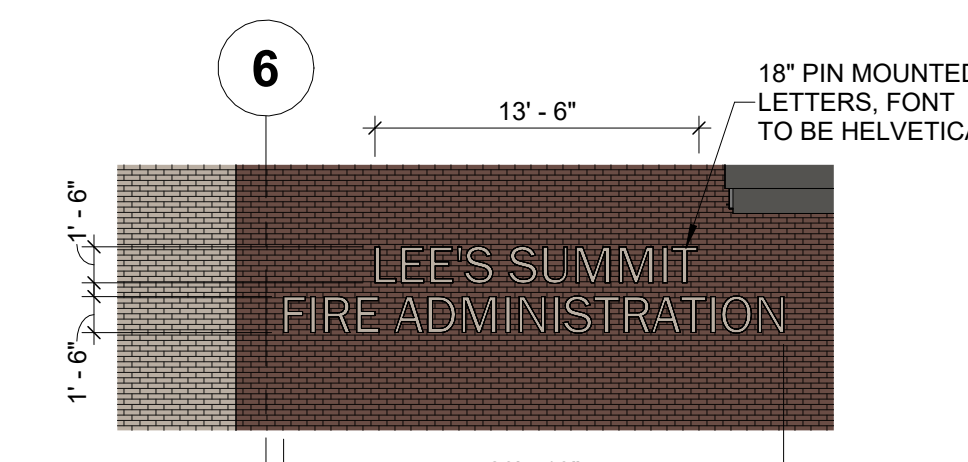
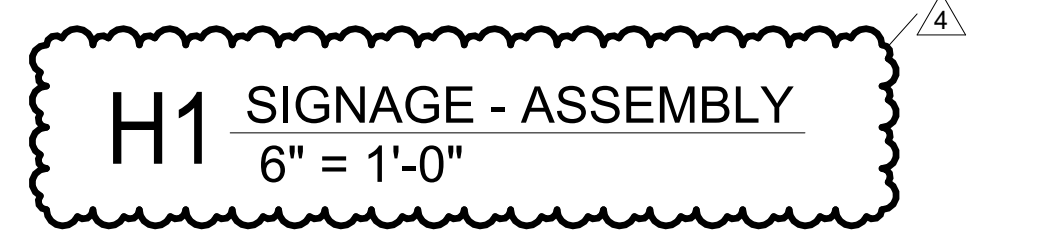
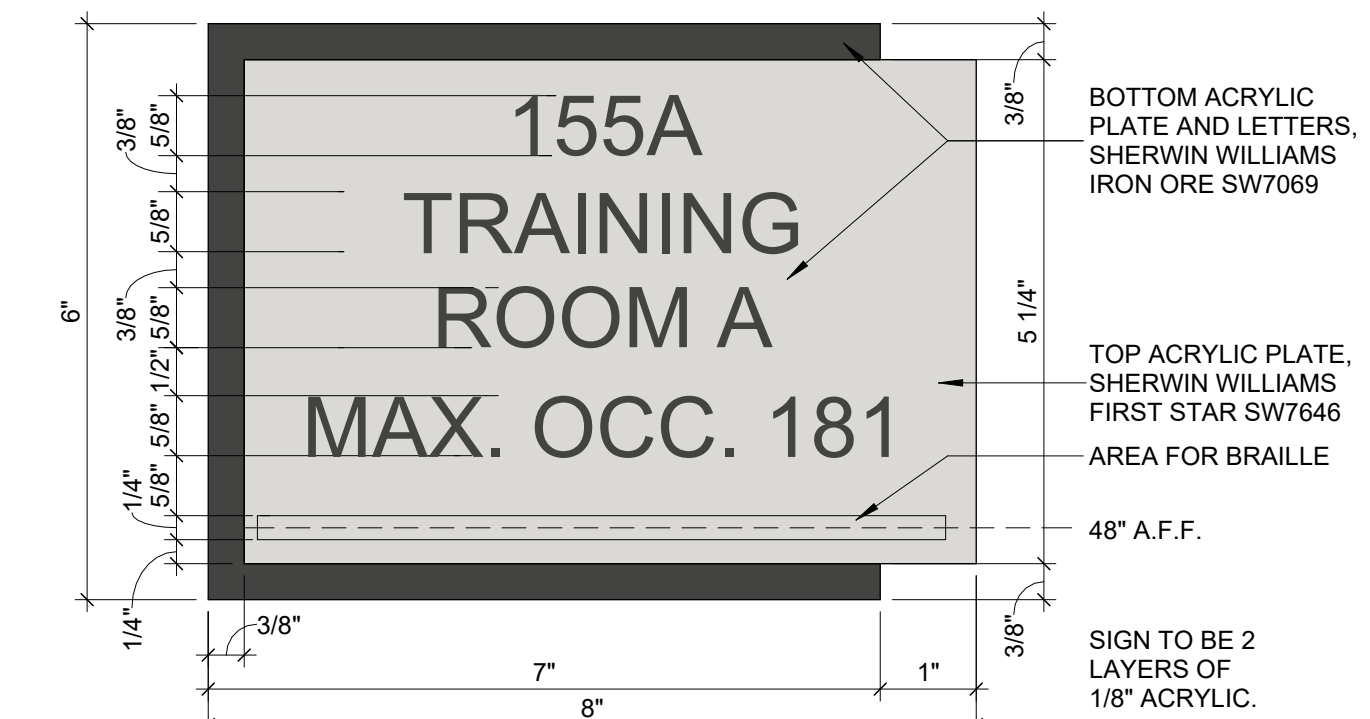
**E1 REACH RANGE**  
 1/2" = 1'-0"

**C8 HANDRAIL CLEARANCES**  
 1 1/2" = 1'-0"

**C6 HANDRAIL @ STAIRS**  
 1/2" = 1'-0"

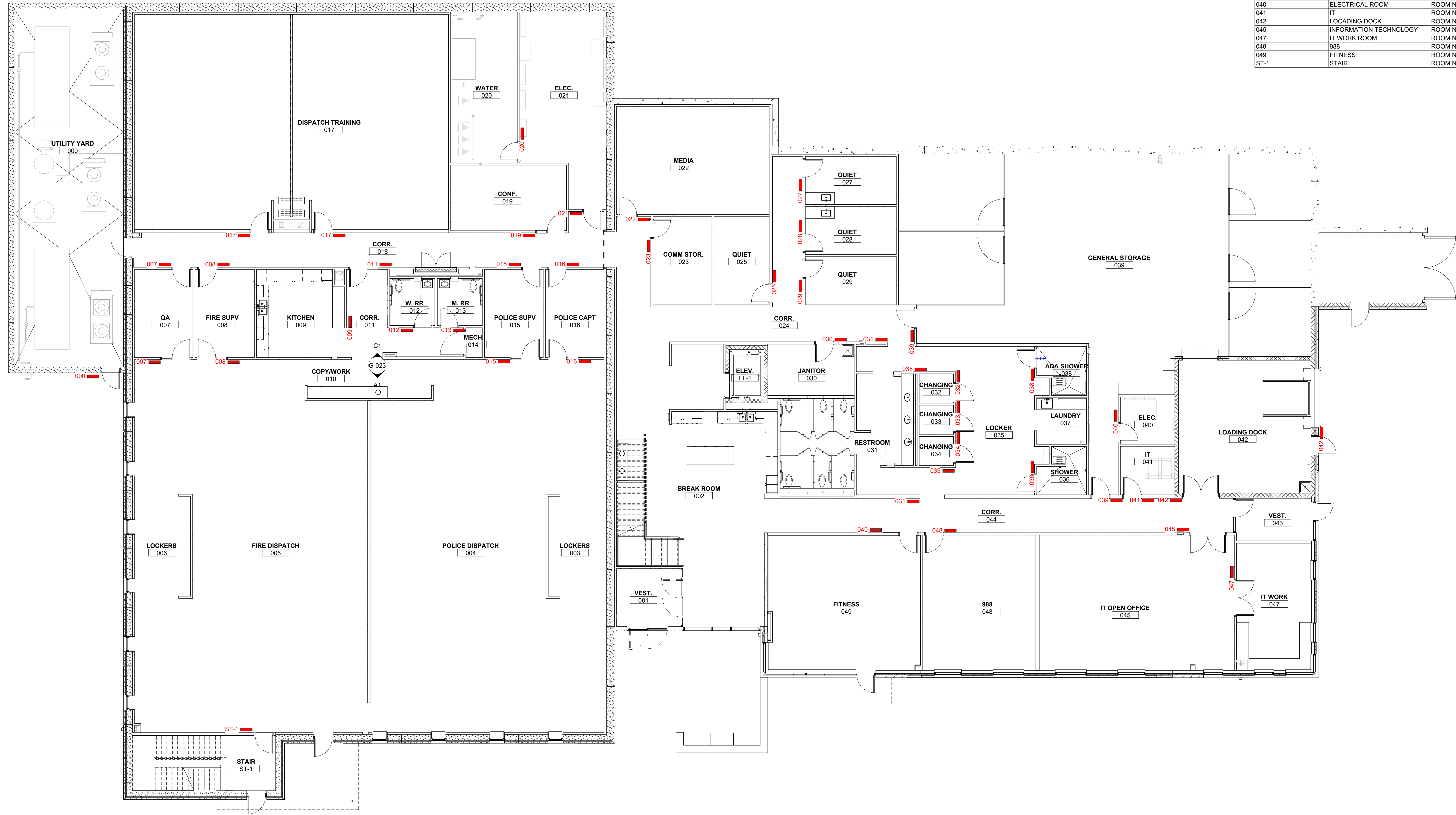
**C1 TYPICAL BLOCKING DETAILS**  
 1/2" = 1'-0"

**A1 TOILET ACCESSORIES**  
 1/2" = 1'-0"



1/16" = 1'-0"  
 1/8" = 1'-0"  
 1/4" = 1'-0"  
 3/8" = 1'-0"  
 1/2" = 1'-0"  
 5/8" = 1'-0"  
 3/4" = 1'-0"  
 7/8" = 1'-0"  
 1" = 1'-0"  
 1 1/8" = 1'-0"  
 1 1/4" = 1'-0"  
 1 1/2" = 1'-0"  
 1 3/4" = 1'-0"  
 2" = 1'-0"  
 2 1/4" = 1'-0"  
 2 1/2" = 1'-0"  
 2 3/4" = 1'-0"  
 3" = 1'-0"  
 3 1/4" = 1'-0"  
 3 1/2" = 1'-0"  
 3 3/4" = 1'-0"  
 4" = 1'-0"  
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 6 3/4" = 1'-0"  
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 7 1/4" = 1'-0"  
 7 1/2" = 1'-0"  
 7 3/4" = 1'-0"  
 8" = 1'-0"  
 8 1/4" = 1'-0"  
 8 1/2" = 1'-0"  
 8 3/4" = 1'-0"  
 9" = 1'-0"  
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 9 1/2" = 1'-0"  
 9 3/4" = 1'-0"  
 10" = 1'-0"  
 10 1/4" = 1'-0"  
 10 1/2" = 1'-0"  
 10 3/4" = 1'-0"  
 11" = 1'-0"  
 11 1/4" = 1'-0"  
 11 1/2" = 1'-0"  
 11 3/4" = 1'-0"  
 12" = 1'-0"

SIGNAGE SCHEDULE - LOWER LEVEL		
ROOM NUMBER	SIGN NAME	SIGNAGE TYPE
000	UTILITY YARD	ROOM NAME
007	QUALITY ASSURANCE	OFFICE
008	FIRE SUPERVISOR	OFFICE
009	KITCHEN	ROOM NAME
011	COMMUNICATIONS CENTER	ROOM NAME
012	WOMEN	TOILET WOMEN (W-RR)
013	MEN	TOILET MEN (M-RR)
015	POLICE SUPERVISOR	OFFICE
016	POLICE CAPTAIN	OFFICE
017	DISPATCH TRAINING	OFFICE
019	CONFERENCE	ROOM NAME
020	WATER ROOM	ROOM NAME
021	ELECTRICAL ROOM	ROOM NAME
022	MEDIA ROOM	ROOM NAME
023	COMMUNICATIONS STORAGE	ROOM NAME
025	QUIET ROOM	ROOM NAME
027	QUIET ROOM	ROOM NAME
028	QUIET ROOM	ROOM NAME
029	QUIET ROOM	ROOM NAME
030	JANITOR	ROOM NAME
031	RESTROOM	TOILET UNISEX (RR)
032	CHANGING	ROOM NAME
033	CHANGING	ROOM NAME
034	CHANGING	ROOM NAME
035	LOCKER ROOM	ROOM NAME
036	SHOWER	ROOM NAME
038	ADA SHOWER	ROOM NAME
039	GENERAL STORAGE	ROOM NAME
040	ELECTRICAL ROOM	ROOM NAME
041	IT	ROOM NAME
042	LOADING DOCK	ROOM NAME
045	INFORMATION TECHNOLOGY	ROOM NAME
047	IT WORK ROOM	ROOM NAME
048	988	ROOM NAME
049	FITNESS	ROOM NAME
ST-1	STAIR	ROOM NAME



REVISION DATES:

NO.	DATE	DESCRIPTION



PROFESSIONAL SEAL

**G-024**

ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

**A1 LOWER LEVEL SIGNAGE PLAN**  
 1/8" = 1'-0"

**LOWER LEVEL - SIGNAGE PLAN**

LEE'S SUMMIT JOINT OPERATIONS FACILITY  
 2 NE TUDOR RD  
 LEE'S SUMMIT, MISSOURI 64086

PACKAGE 2: CONSTRUCTION SET

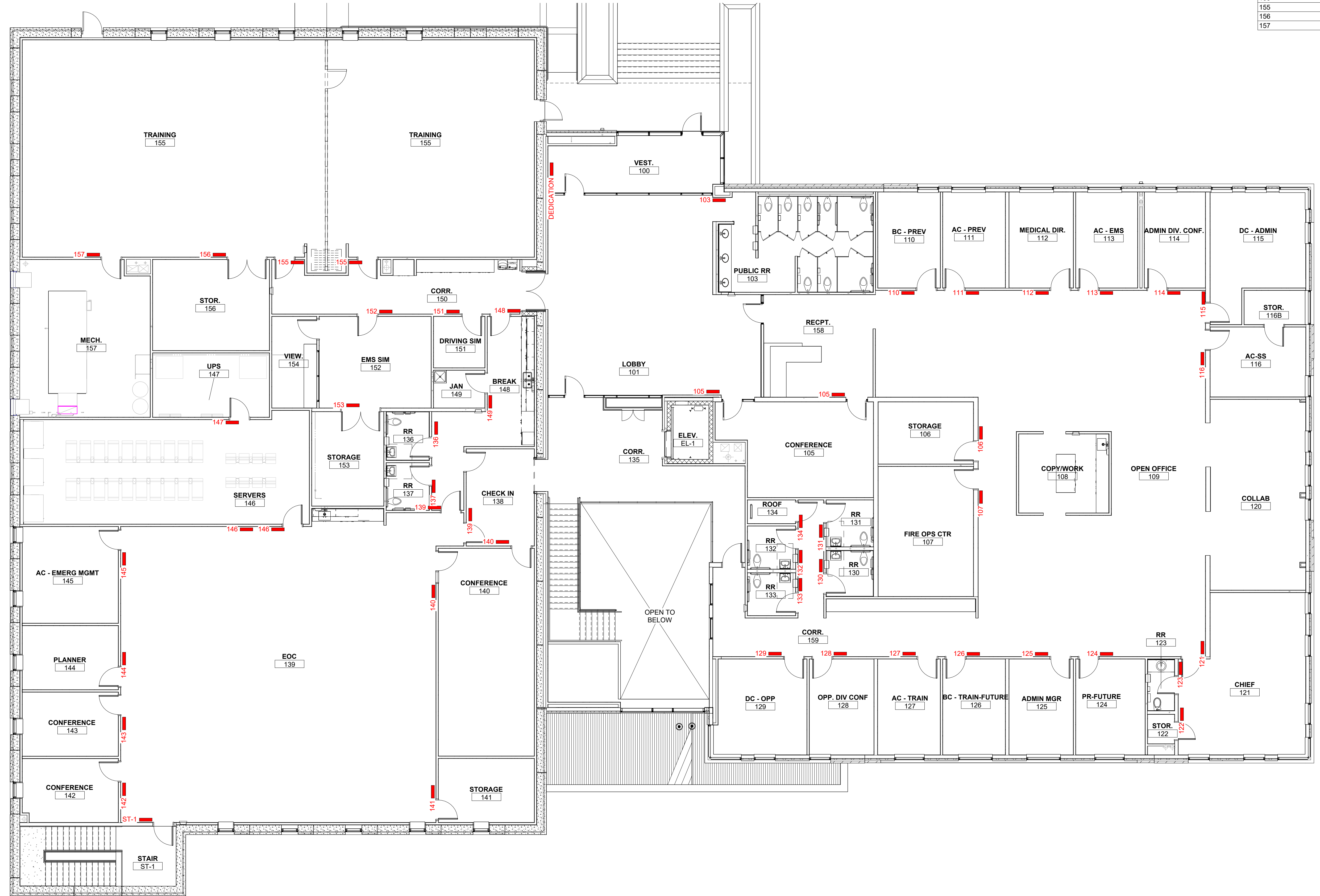
REVISION DATES:  
 4 ADDENDUM 4 11/26/2024



PROFESSIONAL SEAL

**G-025**  
 ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

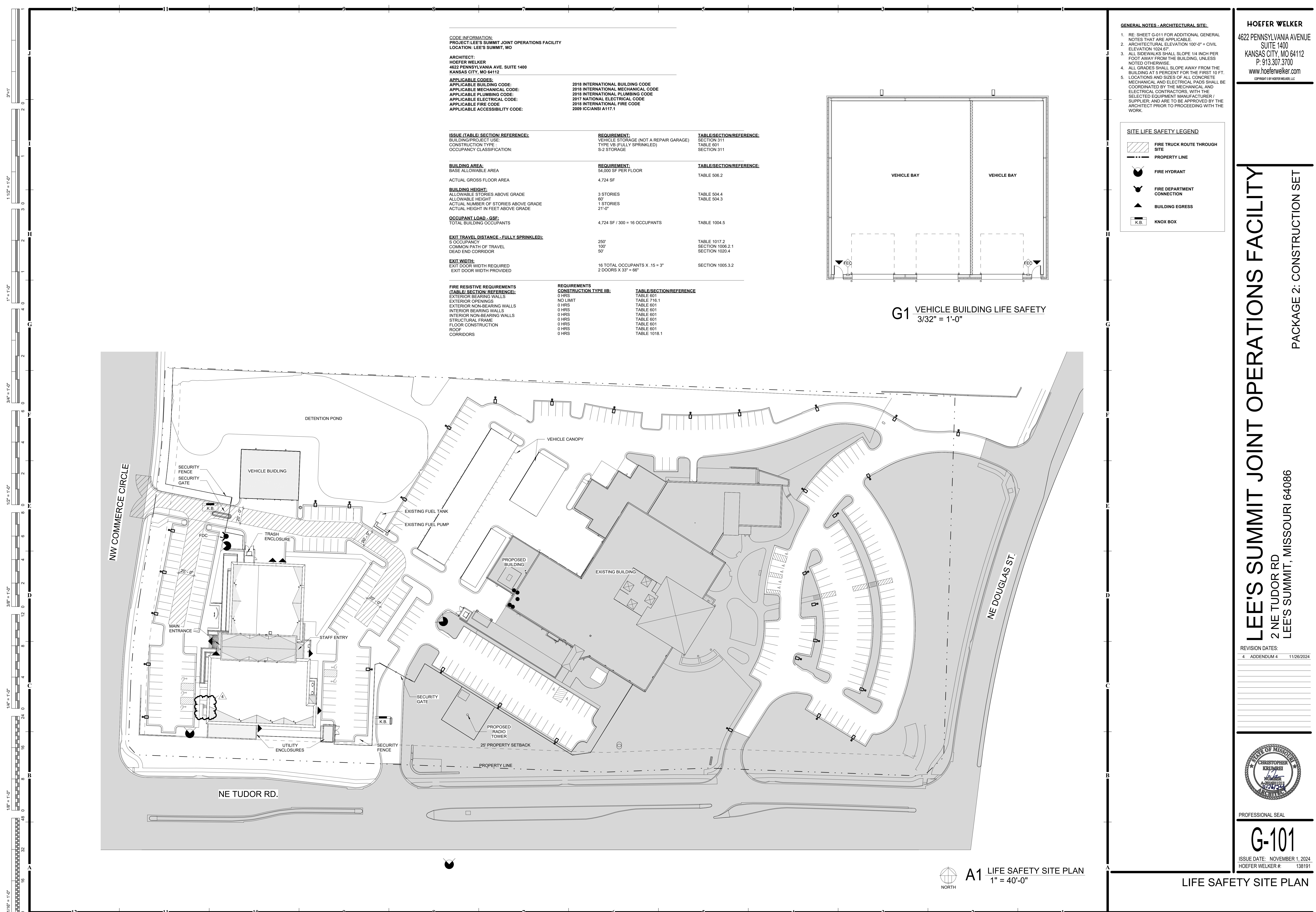
SIGNAGE SCHEDULE - MAIN LEVEL			SIGNAGE SCHEDULE - MAIN LEVEL		
ROOM NUMBER	SIGN NAME	SIGNAGE TYPE	ROOM NUMBER	SIGN NAME	SIGNAGE TYPE
103	PUBLIC RESTROOM	TOILET UNISEX (RR)	126	BATTALION CHIEF TRAINING	OFFICE
105	CONFERENCE	ROOM NAME	127	ASSISTANT CHIEF TRAINING	OFFICE
106	STORAGE	OFFICE	128	OPERATIONS DIVISION	ROOM NAME
107	FIRE OPERATIONS CENTER	ROOM NAME	129	DEPUTY CHIEF OPERATIONS	OFFICE
110	BATTALION CHIEF	OFFICE	130	RESTROOM	TOILET UNISEX (RR)
111	ASSISTANT CHIEF	OFFICE	131	RESTROOM	TOILET UNISEX (RR)
112	MEDICAL DIRECTOR	OFFICE	132	RESTROOM	TOILET UNISEX (RR)
113	ASSISTANT CHIEF EMS	OFFICE	133	RESTROOM	TOILET UNISEX (RR)
114	ADMINISTRATIVE	ROOM NAME	134	ROOF ACCESS	ROOM NAME
115	DEPUTY CHIEF	OFFICE	139	EMERGENCY OPERATIONS	ROOM NAME
116	ADMINISTRATION	OFFICE	140	CONFERENCE	ROOM NAME
116B	STORAGE	ROOM NAME	141	STORAGE	ROOM NAME
121	FIRE CHIEF	OFFICE	142	CONFERENCE	ROOM NAME
122	STORAGE	ROOM NAME	143	CONFERENCE	ROOM NAME
123	RESTROOM	TOILET UNISEX (RR)	144	PLANNER	OFFICE
124	PUBLIC RELATIONS	OFFICE	145	ASSISTANT CHIEF	OFFICE
125	ADMINISTRATION MANAGER	OFFICE	146	SERVER ROOM	ROOM NAME/FM200
			147	UPS	ROOM NAME
			148	BREAK ROOM	ROOM NAME
			149	JANITOR	ROOM NAME
			151	DRIVING SIMULATOR	ROOM NAME
			152	EMS SIMULATOR	ROOM NAME
			153	STORAGE	ROOM NAME
			155	TRAINING ROOM	ROOM NAME
			156	STORAGE	ROOM NAME
			157	MECHANICAL	ROOM NAME



**A1 MAIN LEVEL SIGNAGE PLAN**  
 1/8" = 1'-0"

MAIN LEVEL - SIGNAGE PLAN





**CODE INFORMATION:**  
**PROJECT:** LEE'S SUMMIT JOINT OPERATIONS FACILITY  
**LOCATION:** LEE'S SUMMIT, MO  
**ARCHITECT:**  
 HOEFER WELKER  
 4622 PENNSYLVANIA AVE, SUITE 1400  
 KANSAS CITY, MO 64112  
**APPLICABLE CODES:**  
 APPLICABLE BUILDING CODE: 2019 INTERNATIONAL BUILDING CODE  
 APPLICABLE MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE  
 APPLICABLE PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE  
 APPLICABLE ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE  
 APPLICABLE FIRE CODE: 2019 INTERNATIONAL FIRE CODE  
 APPLICABLE ACCESSIBILITY CODE: 2009 ICC/ANSI A117.1

ISSUE (TABLE/SECTION/REFERENCE):	REQUIREMENT:	TABLE/SECTION/REFERENCE:
BUILDING PROJECT USE:	VEHICLE STORAGE (NOT A REPAIR GARAGE)	SECTION 311
CONSTRUCTION TYPE:	TYPE VB (FULLY SPRINKLED)	TABLE 601
OCCUPANCY CLASSIFICATION:	S-2 STORAGE	SECTION 311

BUILDING AREA:	REQUIREMENT:	TABLE/SECTION/REFERENCE:
BASE ALLOWABLE AREA	54,000 SF PER FLOOR	
ACTUAL GROSS FLOOR AREA	4,724 SF	TABLE 506.2

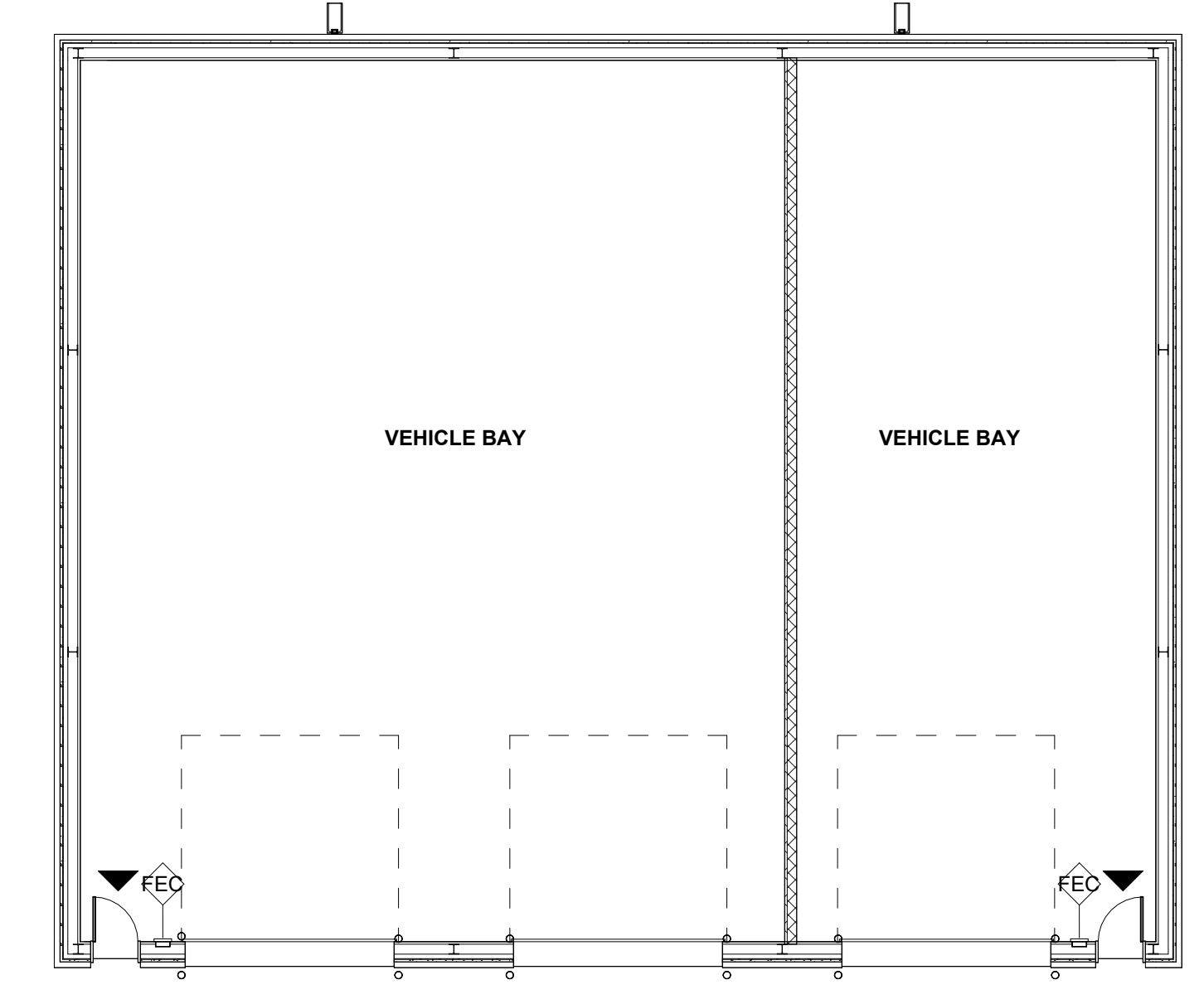
BUILDING HEIGHT:	REQUIREMENT:	TABLE/SECTION/REFERENCE:
ALLOWABLE STORIES ABOVE GRADE	3 STORIES	TABLE 504.4
ALLOWABLE HEIGHT	60'	TABLE 504.3
ACTUAL NUMBER OF STORIES ABOVE GRADE	1 STORIES	
ACTUAL HEIGHT IN FEET ABOVE GRADE	21'-0"	

OCCUPANT LOAD - GSE:	REQUIREMENT:	TABLE/SECTION/REFERENCE:
TOTAL BUILDING OCCUPANTS	4,724 SF / 300 = 16 OCCUPANTS	TABLE 1004.5

EXIT TRAVEL DISTANCE - FULLY SPRINKLED:	REQUIREMENT:	TABLE/SECTION/REFERENCE:
S OCCUPANCY	250'	TABLE 1017.2
COMMON PATH OF TRAVEL	100'	SECTION 1006.2.1
DEAD END CORRIDOR	50'	SECTION 1020.4

EXIT WIDTH:	REQUIREMENT:	TABLE/SECTION/REFERENCE:
EXIT DOOR WIDTH REQUIRED	16 TOTAL OCCUPANTS X .15 = 3"	SECTION 1005.3.2
EXIT DOOR WIDTH PROVIDED	2 DOORS X 33" = 66"	

FIRE RESISTIVE REQUIREMENTS (TABLE/SECTION/REFERENCE):	REQUIREMENTS CONSTRUCTION TYPE IIB:	TABLE/SECTION/REFERENCE:
EXTERIOR BEARING WALLS	0 HRS	TABLE 601
EXTERIOR OPENINGS	NO LIMIT	TABLE 716.1
EXTERIOR NON-BEARING WALLS	0 HRS	TABLE 601
INTERIOR BEARING WALLS	0 HRS	TABLE 601
INTERIOR NON-BEARING WALLS	0 HRS	TABLE 601
STRUCTURAL FRAME	0 HRS	TABLE 601
FLOOR CONSTRUCTION	0 HRS	TABLE 601
ROOF	0 HRS	TABLE 601
CORRIDORS	0 HRS	TABLE 1016.1



**G1 VEHICLE BUILDING LIFE SAFETY**  
 3/32" = 1'-0"

**GENERAL NOTES - ARCHITECTURAL SITE:**  
 1. RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.  
 2. ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION 1024.87'.  
 3. ALL SIDEWALKS SHALL SLOPE 1/4 INCH PER FOOT AWAY FROM THE BUILDING, UNLESS NOTED OTHERWISE.  
 4. ALL GRADES SHALL SLOPE AWAY FROM THE BUILDING AT 5 PERCENT FOR THE FIRST 10 FT. LOCATIONS AND SIZES OF ALL CONCRETE MECHANICAL AND ELECTRICAL PADS SHALL BE COORDINATED BY THE MECHANICAL AND ELECTRICAL CONTRACTORS, WITH THE SELECTED EQUIPMENT MANUFACTURER / SUPPLIER, AND ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

**SITE LIFE SAFETY LEGEND**

- FIRE TRUCK ROUTE THROUGH SITE
- PROPERTY LINE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- BUILDING EGRESS
- K.B. KNOX BOX

**HOEFER WELKER**  
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**LEE'S SUMMIT JOINT OPERATIONS FACILITY**  
 2 NE TUDOR RD  
 LEE'S SUMMIT, MISSOURI 64086  
 PACKAGE 2: CONSTRUCTION SET

REVISION DATES:  
 4 ADDENDUM 4 11/26/2024



PROFESSIONAL SEAL  
**G-101**  
 ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

**A1 LIFE SAFETY SITE PLAN**  
 1" = 40'-0"

**LIFE SAFETY SITE PLAN**



**LIFE SAFETY LEGEND**

- ▲ DIRECTION OF EGRESS TRAVEL
- FECD FIRE EXTINGUISHER CABINET
- RFAAP REMOTE FIRE ALARM ANNUNCIATOR PANEL
- FACP FIRE ALARM CONTROL PANEL
- FD FIRE DEPARTMENT CONNECTION
- K.B. KNOX BOX
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL
- STORM SHELTER
- A-3 ASSEMBLY
- S-2 STORAGE
- B-EXERCISE/LOCKER ROOMS

- CODE REQUIRED SIGNAGE NOTE:**
- CODE REQUIRED SIGNAGE PER ALL APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITING TO IBC, IFC, NFPA, ICC A117.1, ADAGA, FGI, AND AHJ REGULATIONS SHALL BE PROVIDED.
  - CODE REQUIRED SIGNAGE IS DESIGNED, SPECIFIED, AND INSTALLED BY CONTRACTOR.
  - CODE REQUIRED SIGNAGE IS REQUIRED TO BE INSTALLED PRIOR TO REQUESTING FINAL INSPECTION IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
  - CODE REQUIRED SIGNAGE MUST BE VERIFIED PER PROJECT. SOME EXAMPLES OF CODE REQUIRED SIGNAGE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
    - REQUIRED ACCESSIBLE SIGNAGE:
      - ADA PARKING SPACES
      - ACCESSIBLE PASSENGER LOADING ZONES
      - ACCESSIBLE TOILETS
      - FAMILY OR ASSISTED-USE TOILET AND BATHING ROOMS
      - ACCESSIBLE DRESSING ROOMS
    - DIRECTIONAL SIGNAGE INCLUDING:
      - AT EACH SEPARATE SEX TOILET AND BATHING ROOM INDICATING THE LOCATION OF THE NEAREST FAMILY/ASSISTED USE TOILET OR BATHING ROOM
      - ALL EXITS AND EXIT STAIRWAYS SERVING A REQUIRED ACCESSIBLE SPACE
      - DIRECTIONAL SIGNAGE AT ELEVATOR LANDINGS TO SHOW EXIT LOCATIONS
    - OTHER CODE SIGNAGE INCLUDING:
      - ELEVATOR TWO-WAY COMMUNICATING SYSTEMS
      - INTERIOR EXIT STAIRWAYS AND RAMPS, FLOOR LEVEL SIGNAGE INCLUDING STAIR WITH ROOF ACCESS
      - ELECTRICAL ROOMS
      - COMMUNICATION DATA ROOMS
      - MAXIMUM CAPACITY AT ASSEMBLY AREAS

**EGRESS (MAXIMUM TRAVEL...)**

TYPE	DISTANCE
Egress Path A	134' - 0"
Egress Path B	127' - 1"
Egress Path C	174' - 5"
Egress Path D	208' - 8"

**CODE INFORMATION:**  
 PROJECT: LEE'S SUMMIT JOINT OPERATIONS FACILITY  
 LOCATION: LEE'S SUMMIT, MO

**ARCHITECT:**  
 HOEFER WELKER  
 4622 PENNSYLVANIA AVE. SUITE 1400  
 KANSAS CITY, MO 64112

**APPLICABLE CODES:**  
 APPLICABLE BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE  
 APPLICABLE MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE  
 APPLICABLE PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE  
 APPLICABLE ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE  
 APPLICABLE FIRE CODE: 2018 INTERNATIONAL FIRE CODE  
 APPLICABLE ACCESSIBILITY CODE: 2009 ICC/ANSI A117.1  
 APPLICABLE STORM SHELTER CODE: 2014 ICC 500

**ISSUE (TABLE/SECTION/REFERENCE):**  
 BUILDING/PROJECT USE: BUSINESS  
 CONSTRUCTION TYPE: TYPE IIB (FULLY SPRINKLED)  
 OCCUPANCY CLASSIFICATION: A-3 - ASSEMBLY  
 USE CLASSIFICATION: B - BUSINESS

**BUILDING AREA:**  
 BASE ALLOWABLE AREA - NON SEPARATED MIXED USE: 28,500 SF PER FLOOR  
 ACTUAL GROSS FLOOR AREA: 21,817 SF  
 LOWER LEVEL: 21,822 SF  
 TOTAL: 43,639 SF

**BUILDING HEIGHT:**  
 ALLOWABLE STORIES ABOVE GRADE: 3 STORIES  
 ALLOWABLE HEIGHT: 75'  
 ACTUAL NUMBER OF STORIES ABOVE GRADE: 2 STORIES  
 ACTUAL HEIGHT IN FEET ABOVE GRADE: 40'-0"

**OCCUPANT LOAD - GSE:**  
 LOWER LEVEL: 18,550 SF / 150 = 124 OCCUPANTS  
 B OCCUPANCY - EXERCISE/LOCKER ROOMS: 935 SF / 50 = 19 OCCUPANTS  
 S-2 OCCUPANCY: 2,332 SF / 300 = 8 OCCUPANTS  
 LOWER LEVEL TOTAL OCCUPANTS: 151 TOTAL LOWER LEVEL OCCUPANTS  
 MAIN LEVEL: 19,111 SF / 150 = 128 OCCUPANTS  
 A-3 OCCUPANCY: 2,711 SF / 15 = 181 OCCUPANTS  
 MAIN LEVEL TOTAL OCCUPANTS: 309 TOTAL MAIN LEVEL OCCUPANTS  
 TOTAL BUILDING OCCUPANTS: 460 TOTAL BUILDING OCCUPANTS

**EXIT TRAVEL DISTANCE - FULLY SPRINKLED:**  
 A OCCUPANCY: 250'  
 COMMON PATH OF TRAVEL: 75'  
 DEAD END CORRIDOR: 20'  
 B OCCUPANCY: 300'  
 COMMON PATH OF TRAVEL: 100'  
 DEAD END CORRIDOR: 50'

**EXIT WIDTH:**  
 LOWER LEVEL EXIT DOOR WIDTH REQUIRED: 15' TOTAL OCCUPANTS X .15 = 23"  
 EXIT DOOR WIDTH PROVIDED: 4 DOORS X 33" = 132"  
 MAIN LEVEL EXIT DOOR WIDTH REQUIRED: 309 TOTAL OCCUPANTS X .15 = 47"  
 EXIT DOOR WIDTH PROVIDED: 2 DOORS X 33" = 66"

**EXIT STAIR WIDTH REQUIRED:** 309/4 OCCUPANTS X .20 = 16" @ EACH STAIR  
**EXIT STAIR WIDTH PROVIDED:** 2 STAIRS 47" + 55" = 102"

**FIRE RESISTIVE REQUIREMENTS (TABLE/SECTION/REFERENCE):**

REQUIREMENTS	CONSTRUCTION TYPE IIB:	TABLE/SECTION/REFERENCE
EXTERIOR BEARING WALLS	0 HRS	TABLE 601
EXTERIOR OPENINGS	NO LIMIT	TABLE 716.1
EXTERIOR NON-BEARING WALLS	0 HRS	TABLE 601
INTERIOR BEARING WALLS	0 HRS	TABLE 601
INTERIOR NON-BEARING WALLS	0 HRS	TABLE 601
STRUCTURAL FRAME	0 HRS	TABLE 601
FLOOR CONSTRUCTION	0 HRS	TABLE 601
ROOF	0 HRS	TABLE 601
CORRIDORS	0 HRS	TABLE 1018.1
SHAFT WALLS	1 HRS	TABLE 713.4
EXIT ACCESS STAIRWAYS	0 HRS	TABLE 1019.3
STORM SHELTER	2 HRS	2014 ICC 500 601.1

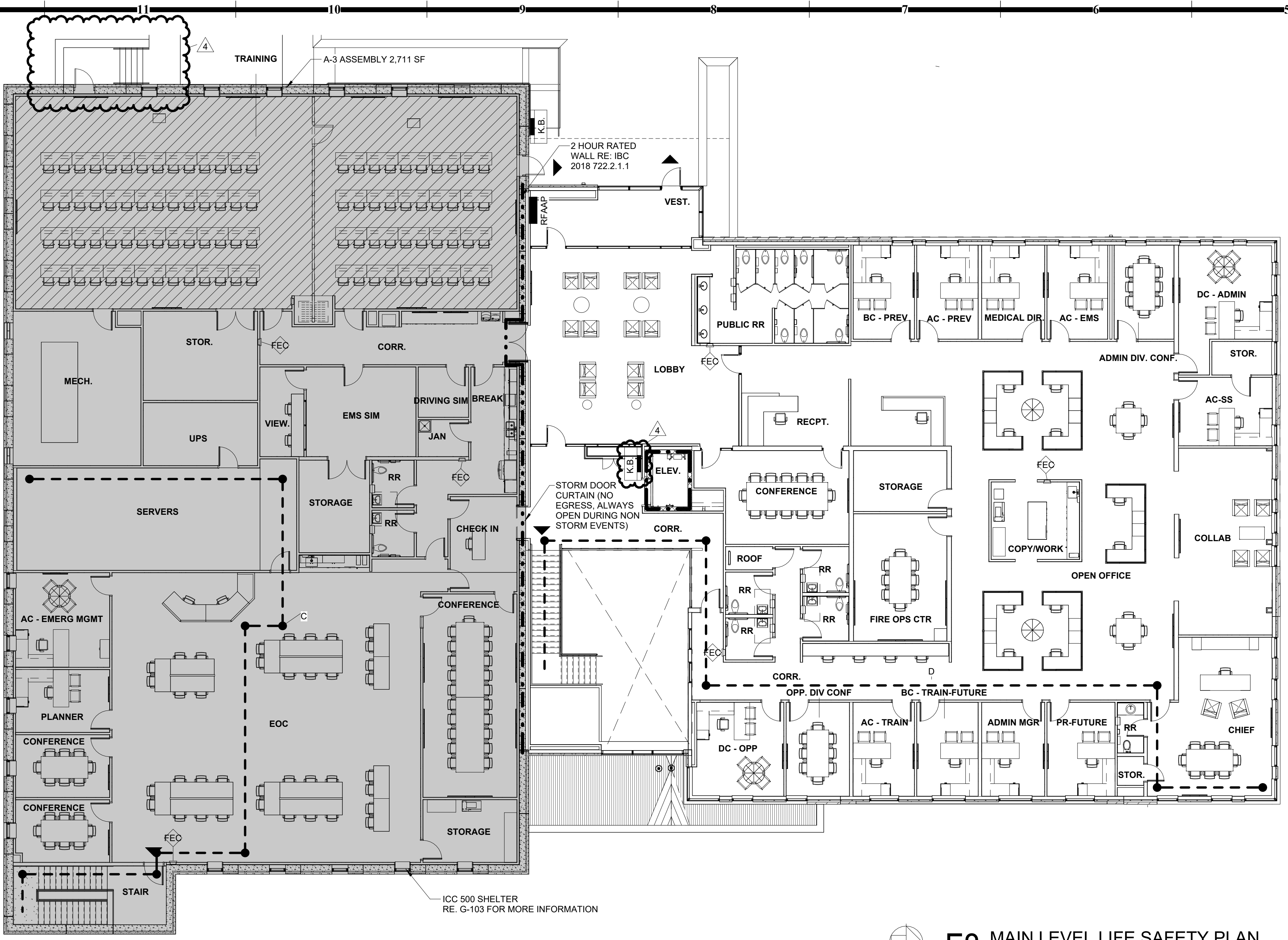
**PLUMBING FIXTURES REQUIRED CHART (IBC 2018 TABLE 2902.1):**

**OCCUPANT LOADS:**  
 B - TOTAL OCCUPANT LOAD = 305 OCCUPANTS  
 A - TOTAL OCCUPANT LOAD = 181 OCCUPANTS

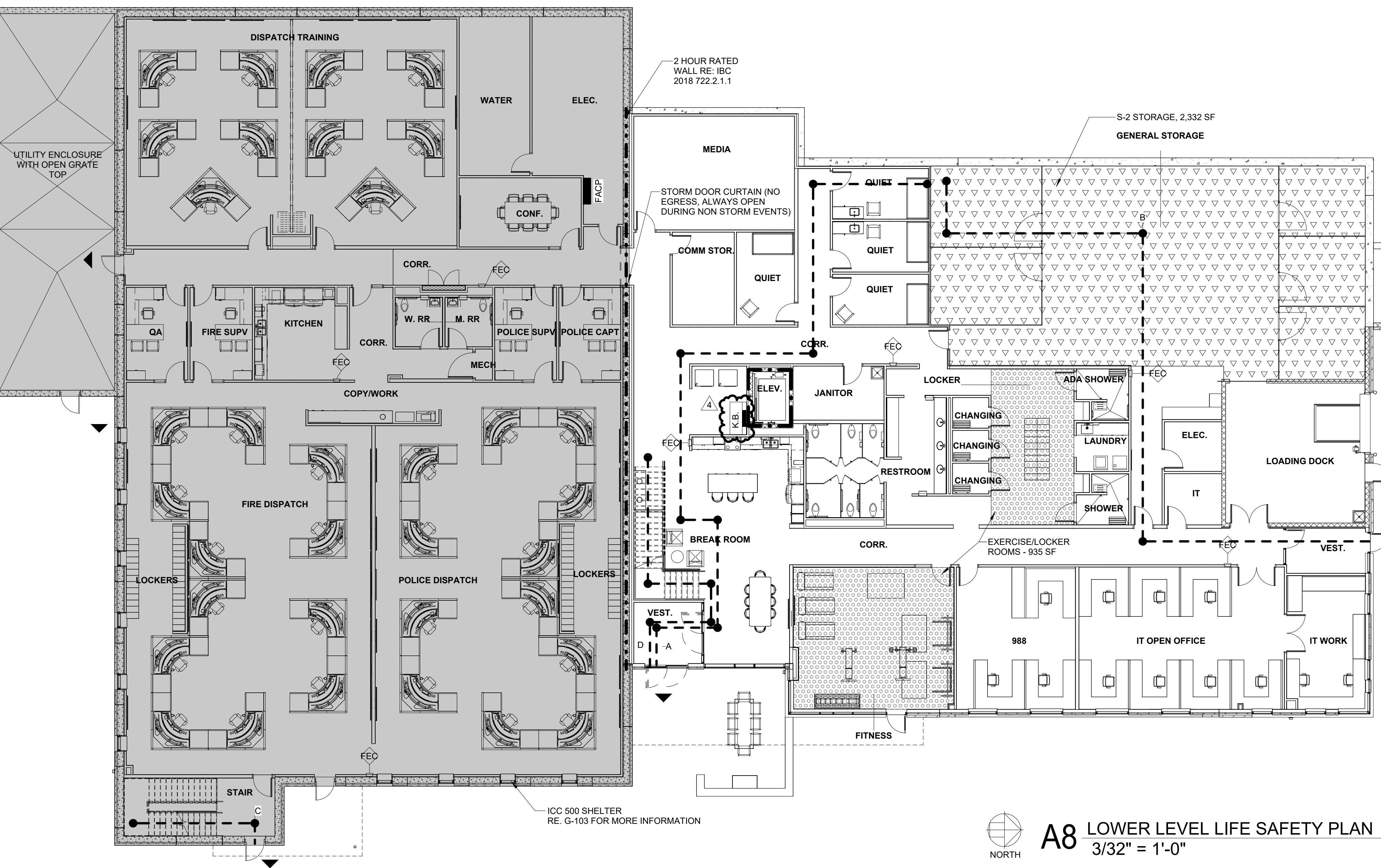
**WATER CLOSETS (IBC 2018 TABLE 2902.1):**  
 B - OCCUPANT WATER CLOSETS REQUIRED (1 PER 25 FOR THE FIRST 50 & 1 PER 50 FOR THE REMAINDER EXCEEDING 50)  
 A - OCCUPANT WATER CLOSETS REQUIRED (1 PER 125 MALE, 1 PER 65 FEMALE)  
 TOTAL WATER CLOSETS REQUIRED: 6  
 TOTAL WATER CLOSETS PROVIDED: 1

**LAVATORIES (IBC 2018 TABLE 2902.1):**  
 B - OCCUPANT LAVATORIES REQUIRED (1 PER 40 FOR THE FIRST 80 & 1 PER 80 FOR THE REMAINDER EXCEEDING 80)  
 A - OCCUPANT LAVATORIES REQUIRED (1 PER 200)  
 TOTAL LAVATORIES REQUIRED: 4  
 LAVATORIES PROVIDED: 1

**DRINKING FOUNTAINS (IBC 2018 TABLE 2902.1):**  
 B - OCCUPANTS - (1 PER 100 TOTAL OCCUPANTS)  
 A - OCCUPANTS - (1 PER 500 TOTAL OCCUPANTS)  
 TOTAL DRINKING FOUNTAINS REQUIRED: 5  
 TOTAL DRINKING FOUNTAINS PROVIDED: 5 (2 DF + 3 FW)  
 SERVICE SINK (1 PER FLOOR): 2



**F8 MAIN LEVEL LIFE SAFETY PLAN**  
 3/32" = 1'-0"



**A8 LOWER LEVEL LIFE SAFETY PLAN**  
 3/32" = 1'-0"

REVISION DATES:

NO.	DATE	DESCRIPTION



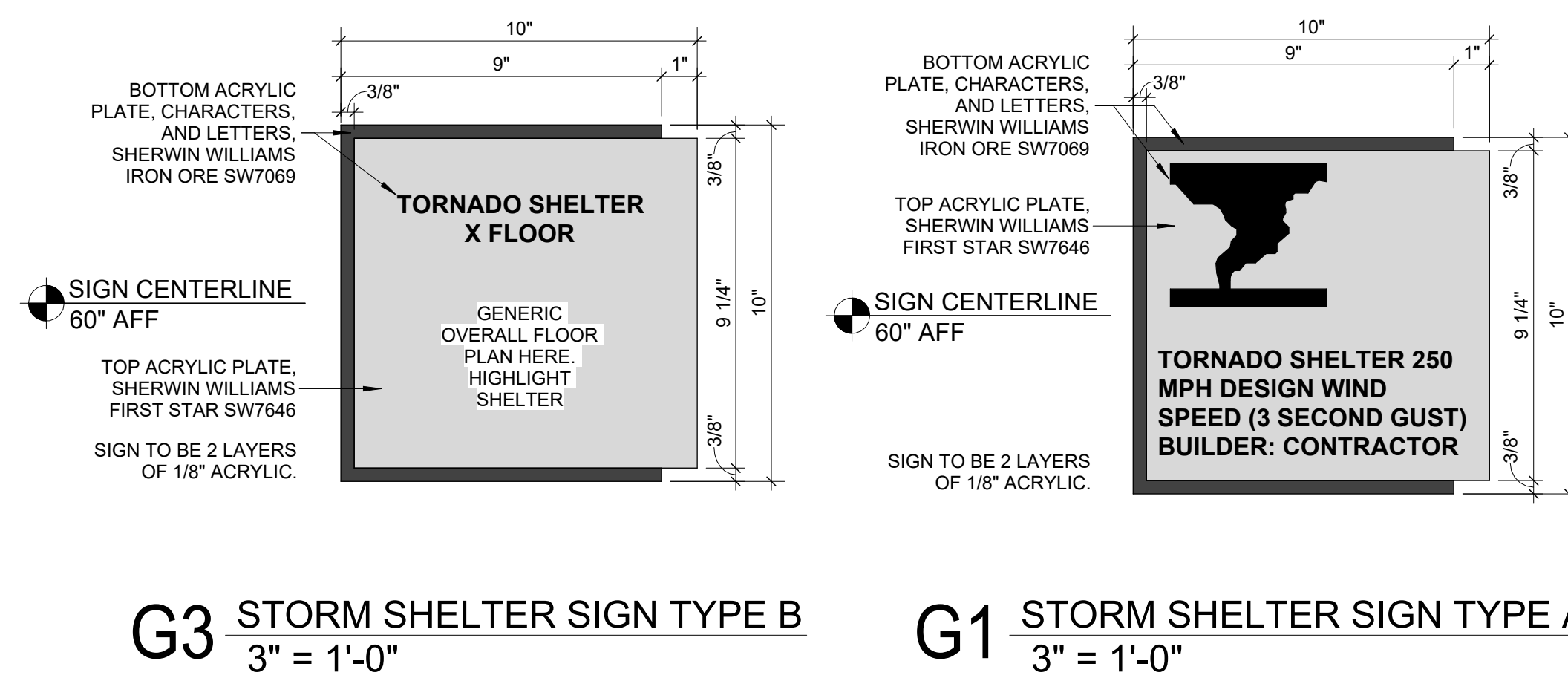
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**G-103**  
 ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

STORM SHELTER COMPLIANCE

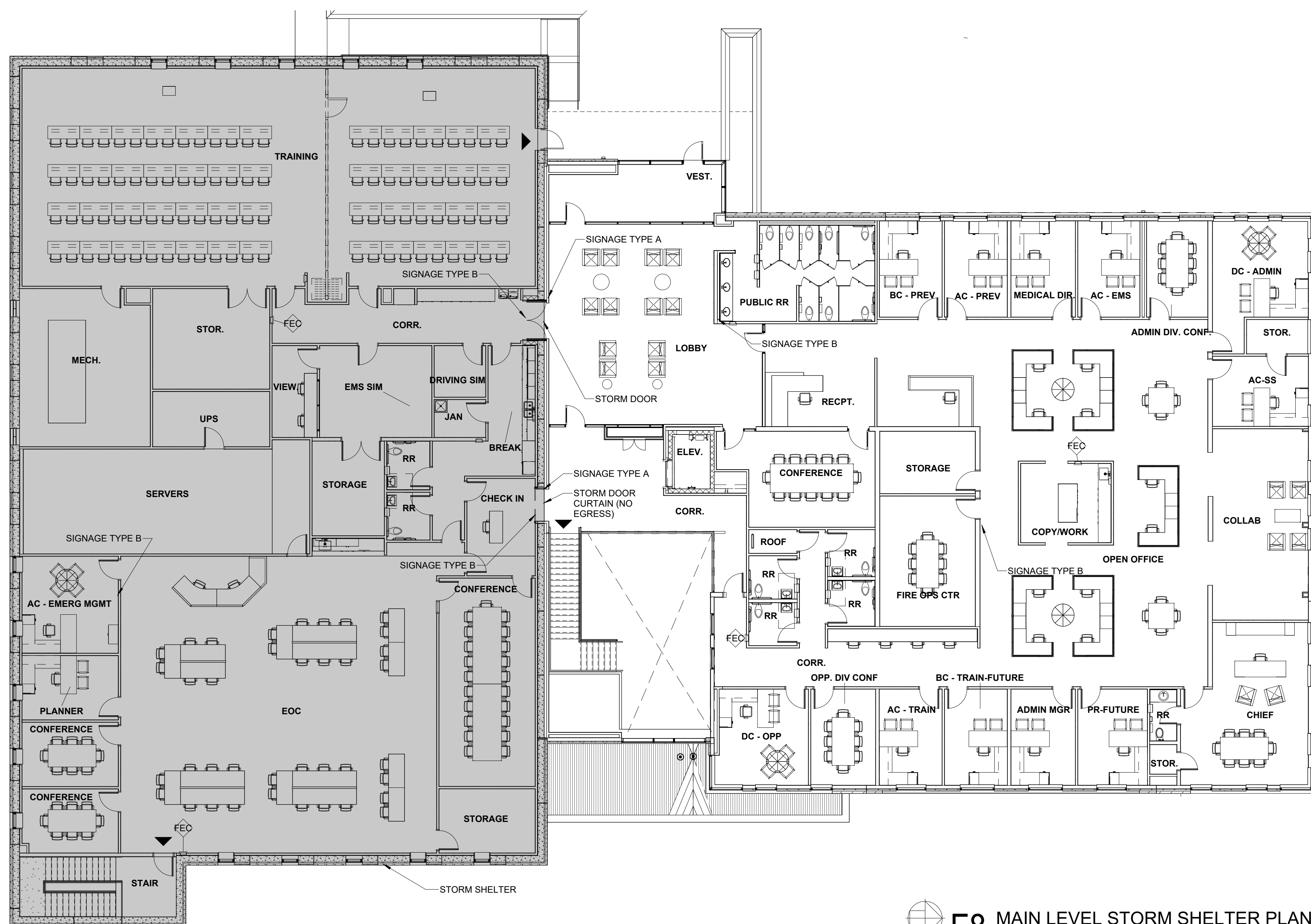
PACKAGE 2: CONSTRUCTION SET

SHELTER OCCUPANCY	REQUIRED DESIGN INFORMATION
<b>OCCUPANCY OF SHELTER:</b> THE OCCUPANCY OF THE SHELTER IS BASED ON THE TOTAL STAFF OCCUPANCY OF ALL BUILDINGS ON THE SITE. TOTAL SHELTER OCCUPANCY = 100 OCCUPANTS  SHELTER AREA REQUIRED: 99 STANDING/SEATED x 5 OLF = 495 SF 1 WHEELCHAIRS x 10 OLF = 10 SF TOTAL = 505 SF  STORM SHELTER AREA PROVIDED = 11,767 SF	1. SHELTER TYPE: COMMUNITY 2. WIND DESIGN CONFORMS TO THE PROVISIONS OF ICC 500-2014, ICC/NSA STANDARD FOR THE DESIGN AND CONSTRUCTION OF STORM SHELTERS. 3. SHELTER DESIGN WIND SPEED: 250 MPH 4. WIND EXPOSURE CATEGORY: REFER TO STRUCTURAL DOCUMENTS 5. INTERNAL PRESSURE COEFFICIENT: REFER TO STRUCTURAL DOCUMENTS 6. TOPOGRAPHIC FACTOR: REFER TO STRUCTURAL DOCUMENTS 7. DIRECTIONAL FACTOR: REFER TO STRUCTURAL DOCUMENTS 8. THE SHELTER IS NOT WITHIN AN AREA SUSCEPTIBLE TO FLOODING IN ACCORDANCE WITH ICC-500 2014 CHAPTER 4. 9. CLOSEST 500 YR (1%) FLOOD ELEVATION: 936 SHELTER ELEVATION: 1010 10. SHELTER ENVELOPE MEETS THE PRESSURE AND MISSILE IMPACT TEST REQUIREMENTS IDENTIFIED IN 2014 ICC 500, CHAPTERS 3 AND 9. REFERENCE STRUCTURAL DOCUMENTS FOR WALL AND FLOOR SLAB CONSTRUCTION. REFERENCE MECHANICAL DOCUMENTS FOR LOUVERS. REFERENCE ARCHITECTURAL DOCUMENTATION FOR DOORS AND OVERHEAD COILING DOOR INFORMATION. 11. REFERENCE THIS SHEET FOR STORM SHELTER PLANS. 12. REFERENCE A-301 FOR STORM SHELTER ELEVATIONS 13. LOWEST SHELTER FLOOR ELEVATION: 1010' 14. REQUIRED OCCUPANT LOAD OF SHELTER: 100 15. USABLE STORM SHELTER FLOOR AREA: 11,767 SF 16. VENTING AREA PROVIDED AND LOCATIONS WITHIN SHELTER: REFER TO MECHANICAL DOCUMENTS. 17. CALCULATIONS FOR NUMBER OF SANITATION FACILITIES IN COMMUNITY SHELTER (PER 2014 ICC 500, TABLE 702.2) REFERENCE "REQUIRED SHELTER PLUMBING FIXTURES" CALCULATION ABOVE. 4 TOILETS AND 2 LAVATORIES ARE REQUIRED. 18. MINIMUM FOUNDATION CAPACITY: RE STRUCTURAL DOCUMENTS. 19. SHELTER INSTALLATION REQUIREMENTS, INCLUDING ANCHOR LOCATIONS AND MINIMUM REQUIRED CAPACITY AT EACH ANCHOR, REF STRUCTURAL DOCUMENT
<b>REQUIRED SHELTER SANITATION FACILITIES:</b> <b>TOILETS REQUIRED:</b> 1 TOILETS REQUIRED PER 50 OCCUPANTS = 2 PROVIDED = 4 TOILETS  <b>HANDWASHING REQUIRED:</b> 1 PER 100 OCCUPANTS (TABLE 702.2) = 1 PROVIDED = 4 LAVATORIES	

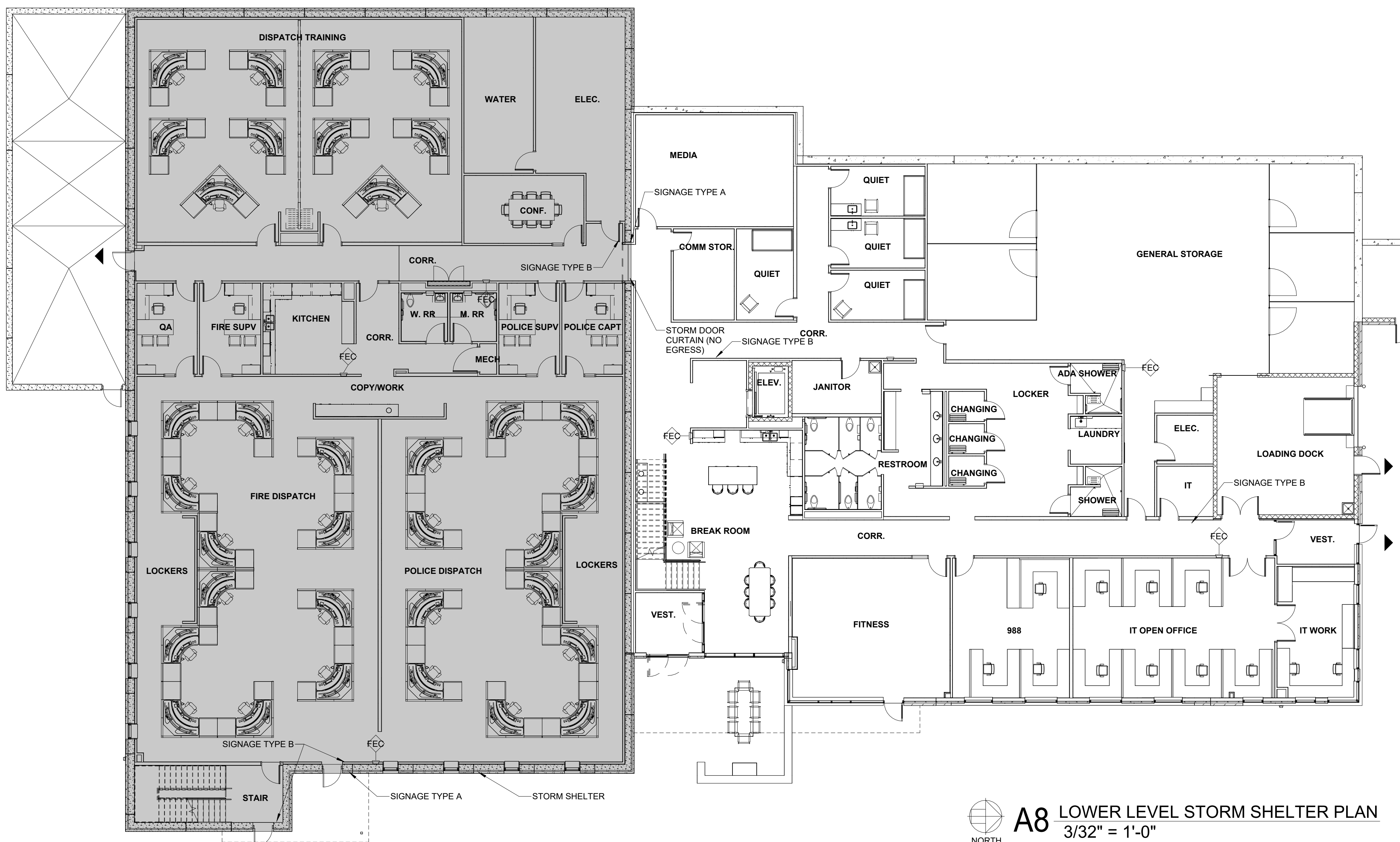


**G3 STORM SHELTER SIGN TYPE B**  
 3" = 1'-0"

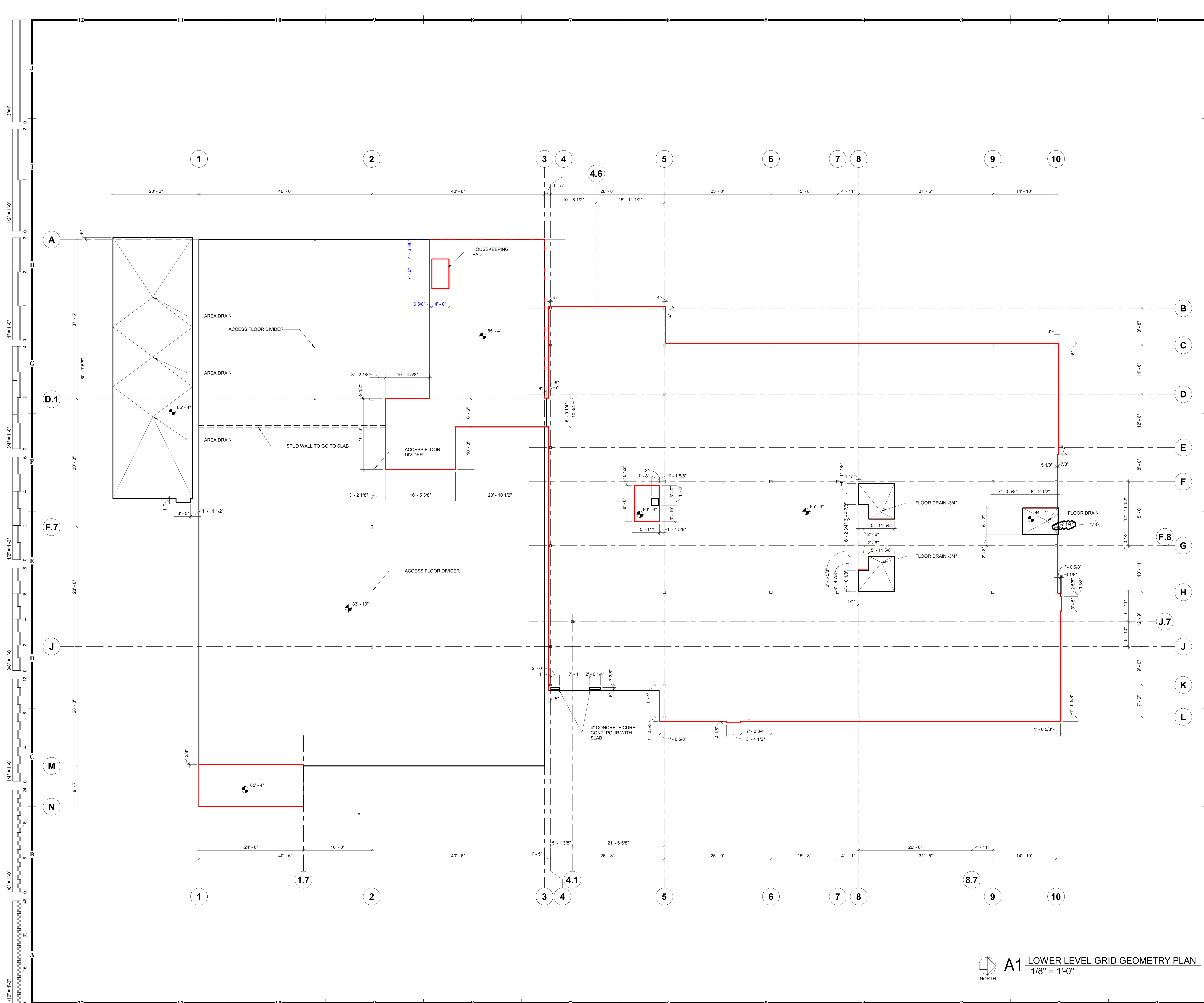
**G1 STORM SHELTER SIGN TYPE A**  
 3" = 1'-0"



**F8 MAIN LEVEL STORM SHELTER PLAN**  
 3/32" = 1'-0"



**A8 LOWER LEVEL STORM SHELTER PLAN**  
 3/32" = 1'-0"



- GENERAL NOTES - GRID GEOMETRY PLANS:**
1. RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
  2. DIMENSIONS FOR EDGE OF SLAB, SLAB OPENINGS, SLAB DEPRESSIONS, AND/OR THICKENED SLABS ARE SHOWN ON THE STRUCTURAL DRAWINGS.
  3. W/P = WORK POINTS.
  4. CONTRACTOR IS TO START THE BUILDING LAYOUT FROM THE FIRST WORK POINT, THEN THE NEXT, ETC. - TO ESTABLISH THE GRID GEOMETRY FOR THE BUILDING.
  5. WORK POINTS ARE TO BE COORDINATED FROM THE (G-11111 SHEETS) ARCHITECTURAL GRID GEOMETRY PLAN(S) - FOR THE CIVIL AND STRUCTURAL DRAWINGS.
  6. WORK POINTS ON CIVIL DRAWINGS SHOW THEIR ASSOCIATED LONGITUDE AND LATITUDE - FOR CORRECT PLACEMENT OF THE BUILDING ON THE SITE.
  7. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CIVIL OR STRUCTURAL DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR RESOLUTION, PRIOR TO PROCEEDING WITH THE WORK.

**HOEFER WELKER**  
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**LEE'S SUMMIT JOINT OPERATIONS FACILITY**  
 2 NE TUDOR RD  
 LEE'S SUMMIT, MISSOURI 64086

**PACKAGE 2: CONSTRUCTION SET**

REVISION DATES:

3	ADDENDUM 3	11/18/2024
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**G-111**  
 ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

**A1 LOWER LEVEL GRID GEOMETRY PLAN**  
 1/8" = 1'-0"  
 NORTH

**GRID GEOMETRY PLAN**

- GENERAL NOTES - GRID GEOMETRY PLANS:**
1. RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
  2. DIMENSIONS FOR EDGE OF SLAB, SLAB OPENINGS, SLAB DEPRESSIONS, AND/OR THICKENED SLABS ARE SHOWN ON THE STRUCTURAL DRAWINGS.
  3. WP = WORK POINTS.
  4. CONTRACTOR IS TO START THE BUILDING LAYOUT FROM THE FIRST WORK POINT, THEN THE NEXT, ETC. - TO ESTABLISH THE GRID GEOMETRY FOR THE BUILDING.
  5. WORK POINTS ARE TO BE COORDINATED FROM THE (G-1111 SHEETS) ARCHITECTURAL GRID GEOMETRY PLAN(S) - FOR THE CIVIL AND STRUCTURAL DRAWINGS.
  6. WORK POINTS ON CIVIL DRAWINGS SHOW THEIR ASSOCIATED LONGITUDE AND LATITUDE - FOR CORRECT PLACEMENT OF THE BUILDING ON THE SITE.
  7. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CIVIL OR STRUCTURAL DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR RESOLUTION, PRIOR TO PROCEEDING WITH THE WORK.

**LEE'S SUMMIT JOINT OPERATIONS FACILITY**  
 2 NE TUDOR RD  
 LEE'S SUMMIT, MISSOURI 64086

REVISION DATES:

NO.	DATE	DESCRIPTION

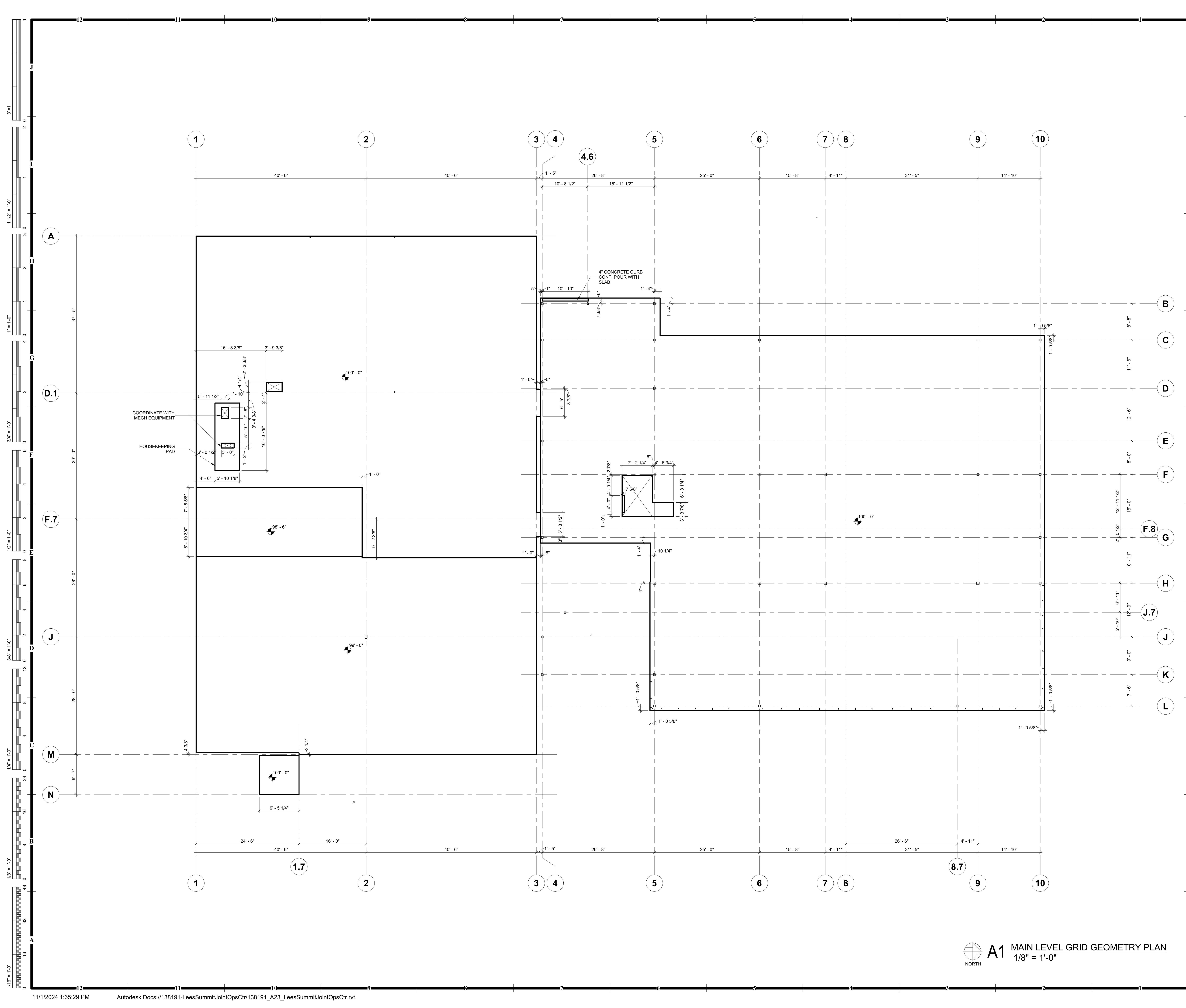


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 ISSUE DATE: NOVEMBER 1, 2024  
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GRID GEOMETRY PLAN

PACKAGE 2: CONSTRUCTION SET



**A1 MAIN LEVEL GRID GEOMETRY PLAN**  
 1/8" = 1'-0"

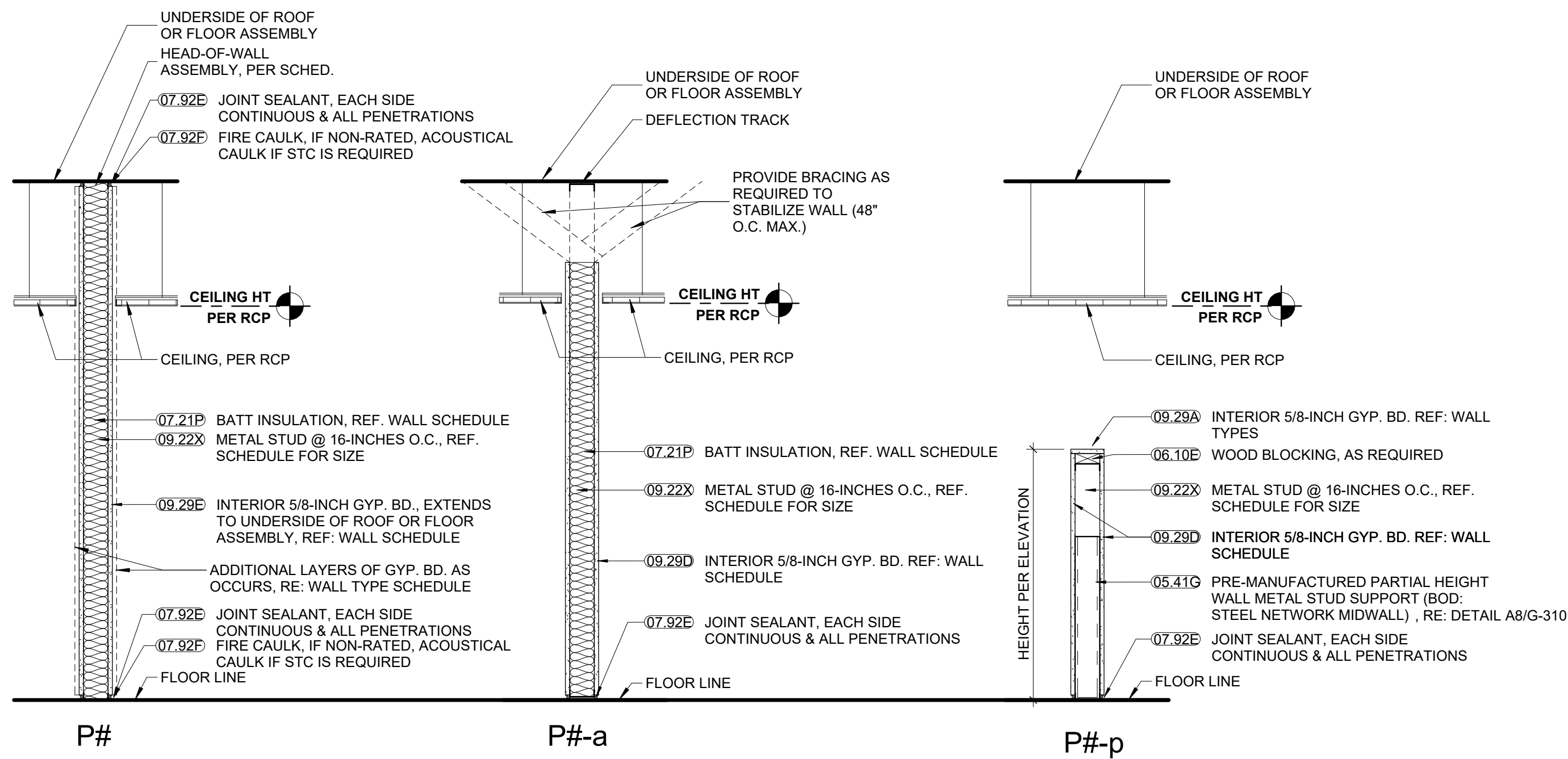



MATERIAL KEYNOTES	
04.20G	CONCRETE MASONRY UNIT (CMU) BOND BEAM GROUTED FULL
04.20J	CONCRETE MASONRY UNIT (CMU) DOUBLE BULL NOSE
04.20M	CONCRETE MASONRY UNIT, RE WALL SCHEDULE
05.41G	PRE-MANUFACTURED PARTIAL HEIGHT WALL METAL STUD SUPPORT (BOD: STEEL NETWORK MIDWALL)
06.10E	WOOD BLOCKING, AS REQUIRED
07.21P	BATT INSULATION, REF. WALL SCHEDULE
07.92E	JOINT SEALANT, EACH SIDE CONTINUOUS & ALL PENETRATIONS
07.92F	FIRE CAULK, IF NON-RATED, ACOUSTICAL CAULK IF STC IS REQUIRED
09.22X	METAL STUD @ 16-INCHES O.C., REF. SCHEDULE FOR SIZE
09.29A	INTERIOR 5/8-INCH GYP. BD. REF. WALL TYPES
09.29D	INTERIOR 5/8-INCH GYP. BD. REF. WALL SCHEDULE
09.29E	INTERIOR 5/8-INCH GYP. BD., EXTENDS TO UNDERSIDE OF ROOF OR FLOOR ASSEMBLY, REF. WALL SCHEDULE

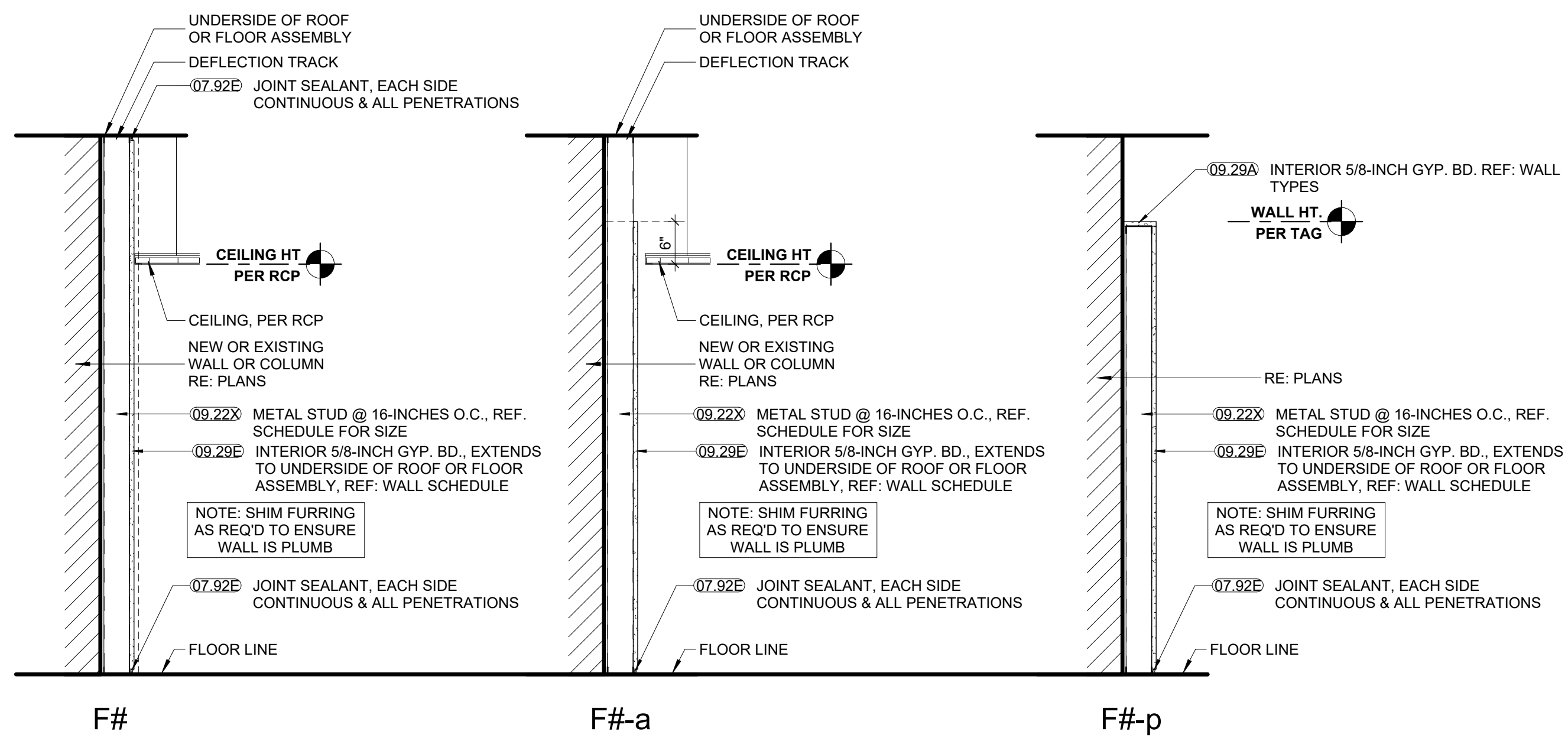
PARTITION TYPE LEGEND:	
P3-1w	MODIFIER EXAMPLE: w = 2 LAYERS GYPSUM BOARD ON BOTH SIDES
	FIRE RATING/WALL EXTENT FIRE RATING (ONE-DIGIT CODE) WILL ONLY SHOW IN THE TAG, IF A RATING IS REQUIRED 1 = 1-HR RATING a = WALL EXTENDS 6" (RE. ELEVATIONS) p = PARTIAL HEIGHT WALL (RE. ELEVATIONS)
	STUD SIZE EXAMPLE: 3 = 3 5/8" METAL STUD
	PARTITION TYPE DESIGNATION EXAMPLE: P = GYP BD PARTITION

GENERAL WALL TYPE NOTES:

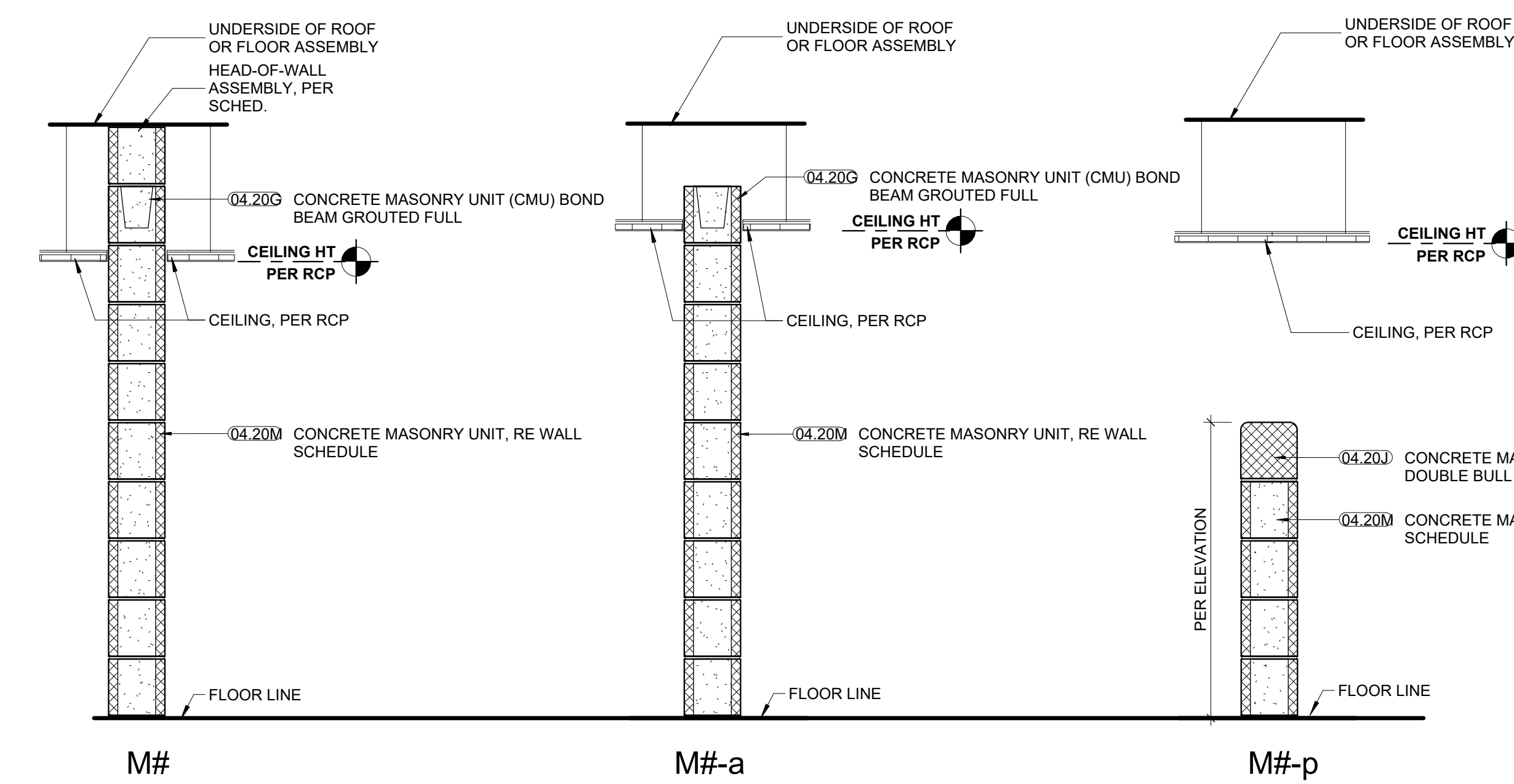
- RE: SHEET G-011 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
- RE: LIFE SAFETY PLANS FOR RATED WALL LOCATIONS.
- RE: WALL TYPE DETAIL SHEET FOR TYPICAL WALL DETAILS, HEAD-OF-WALL DETAILS, AND ADDITIONAL WALL TYPE INFORMATION.
- COORDINATE METAL STUD GAUGE WITH PRE-APPROVED EQUIPMENT ANCHORAGE. WHERE A DISCREPANCY OCCURS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- WHERE "ACOUSTIC SEALANT" IS INDICATED ON WALL TYPES, PROVIDE ACOUSTIC (SOUND) SEALANT ABOVE TOP TRACK, UNDER BOTTOM TRACK, AND AT ALL PENETRATIONS (BOTH SIDES).
- WHERE "FIRE CAULK" IS INDICATED ON WALL TYPES, PROVIDE FIRE-RATED SEALANT ABOVE TOP TRACK, UNDER BOTTOM TRACK, AT ALL PENETRATIONS (BOTH SIDES), AND AS REQUIRED BY FIRE RATING UL NUMBER.
- EXTEND FIRE-RATED WALL CONSTRUCTION BEHIND NON-RATED RECESSED OR BUILT-IN EQUIPMENT, SUCH AS FIRE EXTINGUISHER CABINETS (FEC), ELECTRICAL WATER COOLERS (EWC), ELECTRICAL PANELS, ETC., UNLESS NOTED OTHERWISE. REFER TO THE S-SIDED BOX DETAIL ON THE WALL TYPE DETAILS SHEET.
- PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL FLOOR MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR LABORATORY EQUIPMENT.
- WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL AND PLUMBING ITEMS PENETRATE PARTITIONS, STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH ACOUSTICAL AND FIRE RATED WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE, AND/OR ACOUSTICAL ISOLATION OF SPACES WITH APPROPRIATE ACOUSTICAL FIRESTOP MATERIAL.
- THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS, EXCEPT WHERE SPECIFICALLY SHOWN.
- WALL BASE IS NOT SHOWN ON ALL WALL TYPES FOR CLARITY, REFER TO FINISH SCHEDULE.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
- EXCEPT AT FIRE-RATED PARTITIONS, ALL WALL AND COLUMN GYPSUM BOARD FACING SHALL BE HELD AT 5/8 INCH BELOW STRUCTURE, UNLESS NOTED OR SHOWN OTHERWISE.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT THE INTERIOR SIDE OF ALL EXTERIOR WALLS.
- STC AND STC TEST NUMBERS ASSUME 20 GA STUDS AT 16" O.C. AT COLD FORMED METAL FRAMING. WOOD FRAMING IS ALSO ASSUMED TO BE AT 16" O.C. CMU TEST REPORTS ASSUME HOLLOW UNITS (NO GROUT OR SAND).



P = PARTITION TYPE									
MARK	TOTAL THICKNESS	STUD SIZE	FIRE RATING (HR) OR EXTENTS	MODIFIER	GYPSUM BOARD	INSULATION THICKNESS	UL #		
P3	4 7/8"	3 5/8"	-	-	1 LAYER OF 5/8", BOTH SIDES	3 1/2"			
P3-a	4 7/8"	3 5/8"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", BOTH SIDES	3 1/2"			
P3-b	5 3/8"	3 5/8"	-	b = BALLISTIC RATED LEVEL III	1 LAYER OF 5/8", BOTH SIDES	3 1/2"			
P3-p	4 7/8"	3 5/8"	p = PARTIAL HEIGHT WALL (RE. ELEVATIONS)	-	1 LAYER OF 5/8", BOTH SIDES	-			
P3-v	5 1/2"	3 5/8"	-	v = 2 LAYERS GYPSUM BOARD ON FITNESS SIDE, 1 LAYER ON OTHER	2 LAYERS 5/8 ONE SIDE, 1 LAYER 5/8 ONE SIDE	3 1/2"			
P6	7 1/4"	6"	-	-	1 LAYER OF 5/8", BOTH SIDES	6"			
P6-a	7 1/4"	6"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", BOTH SIDES	6"			
P6-v	7 7/8"	6"	-	v = 2 LAYERS GYPSUM BOARD ON FITNESS SIDE, 1 LAYER ON OTHER	2 LAYERS 5/8 ONE SIDE, 1 LAYER 5/8 ONE SIDE	6"			
P8	9 1/4"	8"	-	-	1 LAYER OF 5/8", BOTH SIDES	6"			



F = FURRING PARTITION TYPE									
MARK	TOTAL THICKNESS	STUD SIZE	FIRE RATING (HR) OR EXTENTS	MODIFIER	GYPSUM BOARD	INSULATION THICKNESS	UL #		
F0-a	1 1/2"	7/8"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", ONE SIDE	-			
F1-a	2 1/4"	1 5/8"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", ONE SIDE	-			
F1-av	2 7/8"	1 5/8"	a = PARTIAL HEIGHT WALL (RE. ELEVATIONS)	v = 2 LAYERS GYPSUM BOARD ON FITNESS SIDE, 1 LAYER ON OTHER	1 LAYER OF 5/8", ONE SIDE	-			
F3	4 1/4"	3 5/8"	-	-	1 LAYER OF 5/8", ONE SIDE	3 1/2"			
F3-a	4 1/4"	3 5/8"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", ONE SIDE	3 1/2"			
F3-av	4 7/8"	3 5/8"	a = PARTIAL HEIGHT WALL (RE. ELEVATIONS)	v = 2 LAYERS GYPSUM BOARD ON FITNESS SIDE, 1 LAYER ON OTHER	1 LAYER OF 5/8", ONE SIDE	3 1/2"			
F3-p	4 1/4"	3 5/8"	p = PARTIAL HEIGHT WALL (RE. ELEVATIONS)	-	1 LAYER OF 5/8", ONE SIDE	-			
F6	6 5/8"	6"	-	-	1 LAYER OF 5/8", ONE SIDE	6"			
F6-a	6 5/8"	6"	a = EXTEND GYP 6" MIN ABOVE CEILING	-	1 LAYER OF 5/8", ONE SIDE	6"			



M = MASONRY PARTITION TYPE				
MARK	TOTAL THICKNESS	FIRE RATING (HR) OR EXTENTS	MODIFIER	UL #
M8	7 5/8"	-	-	
M8-1	7 5/8"	1 HOUR	-	U905
M8-2	7 5/8"	2 HOUR	-	U905

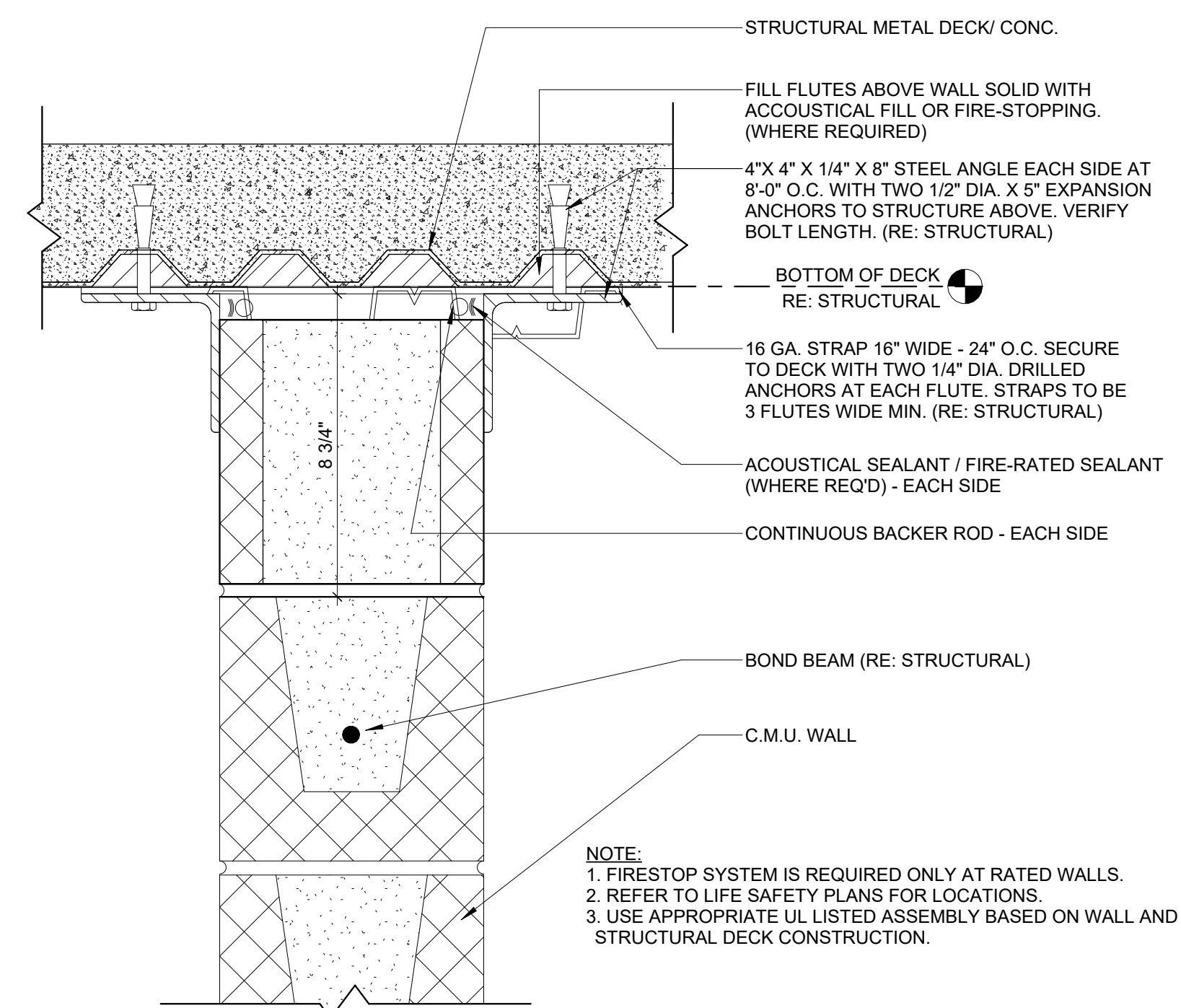
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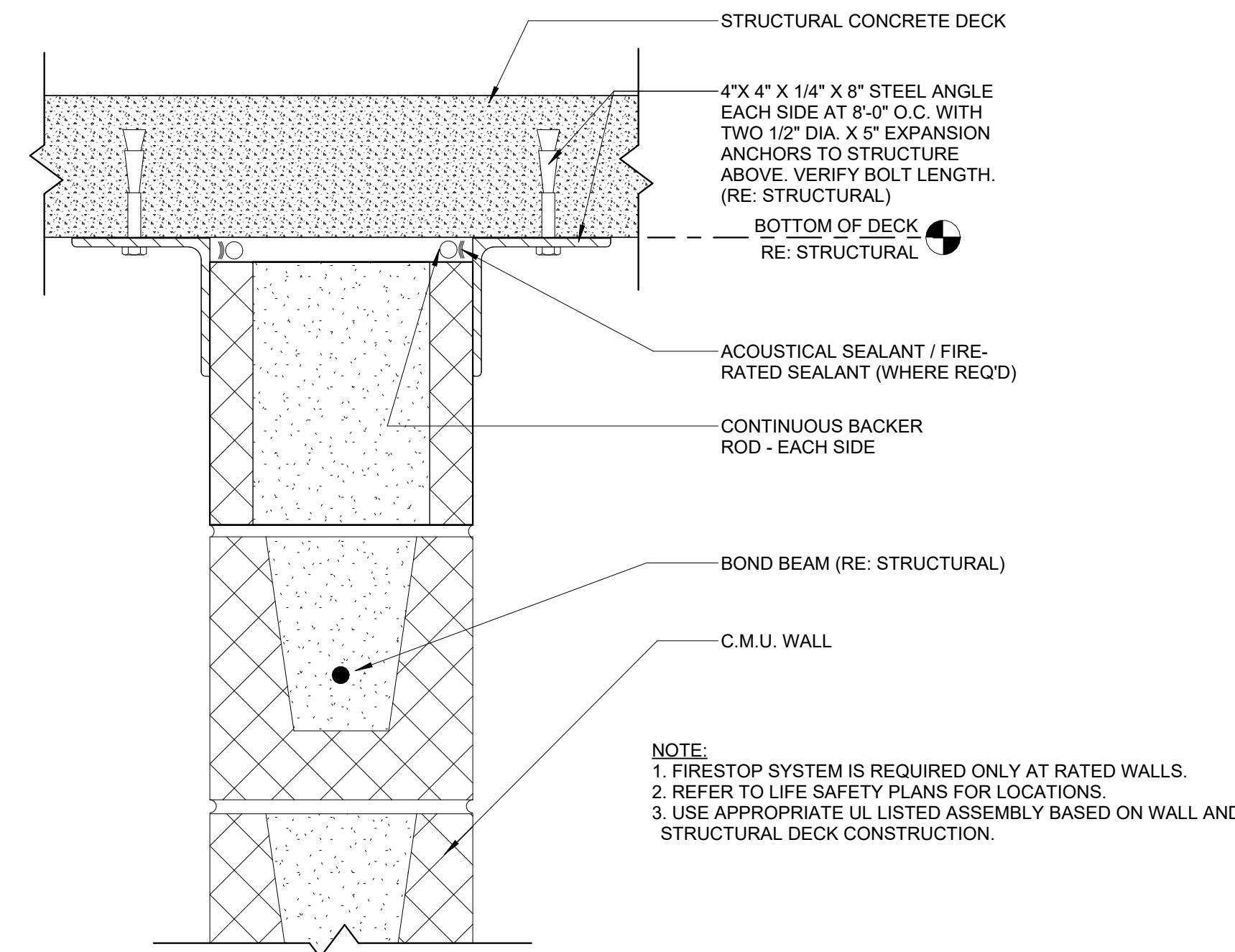
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**G-310**

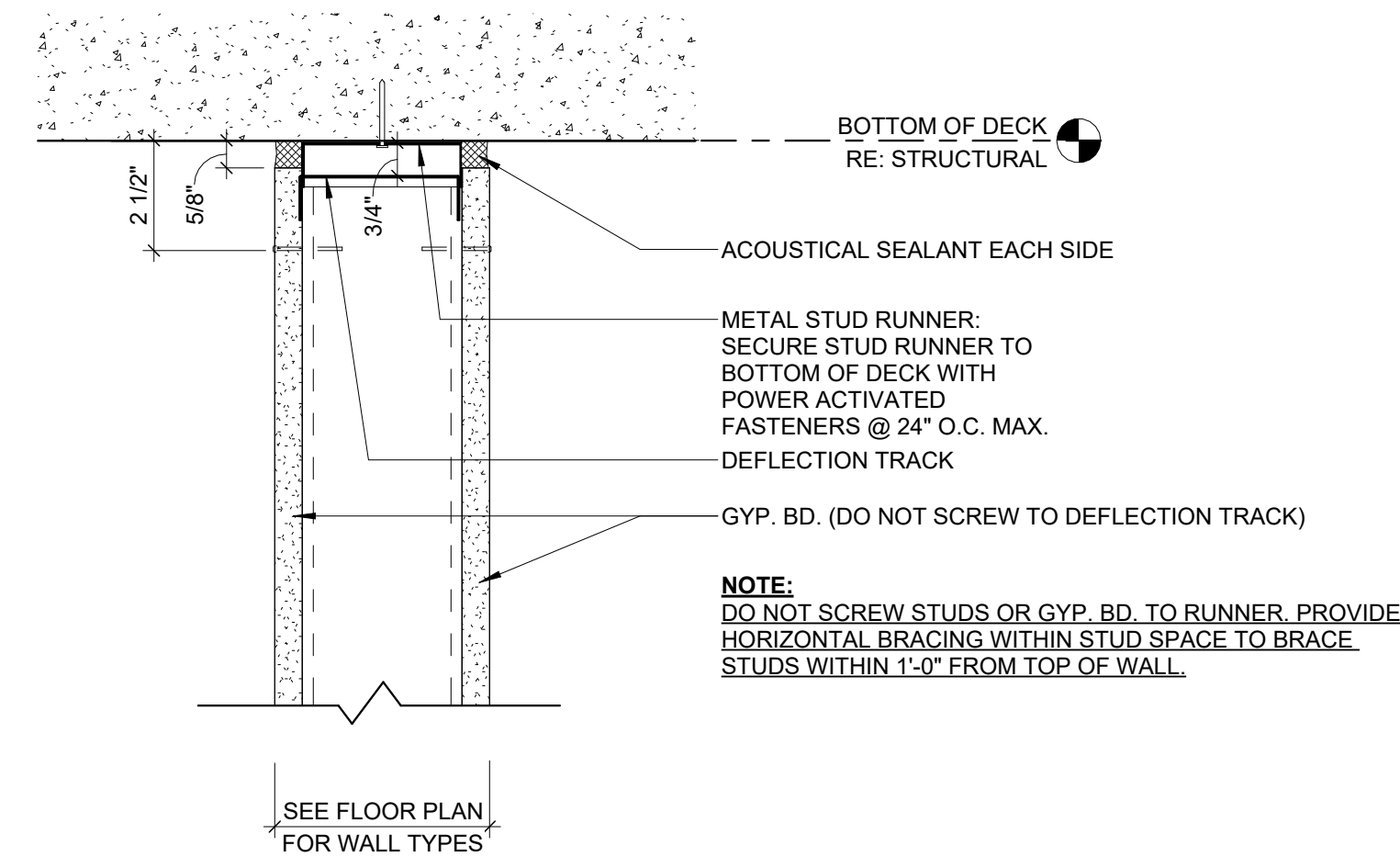
ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191



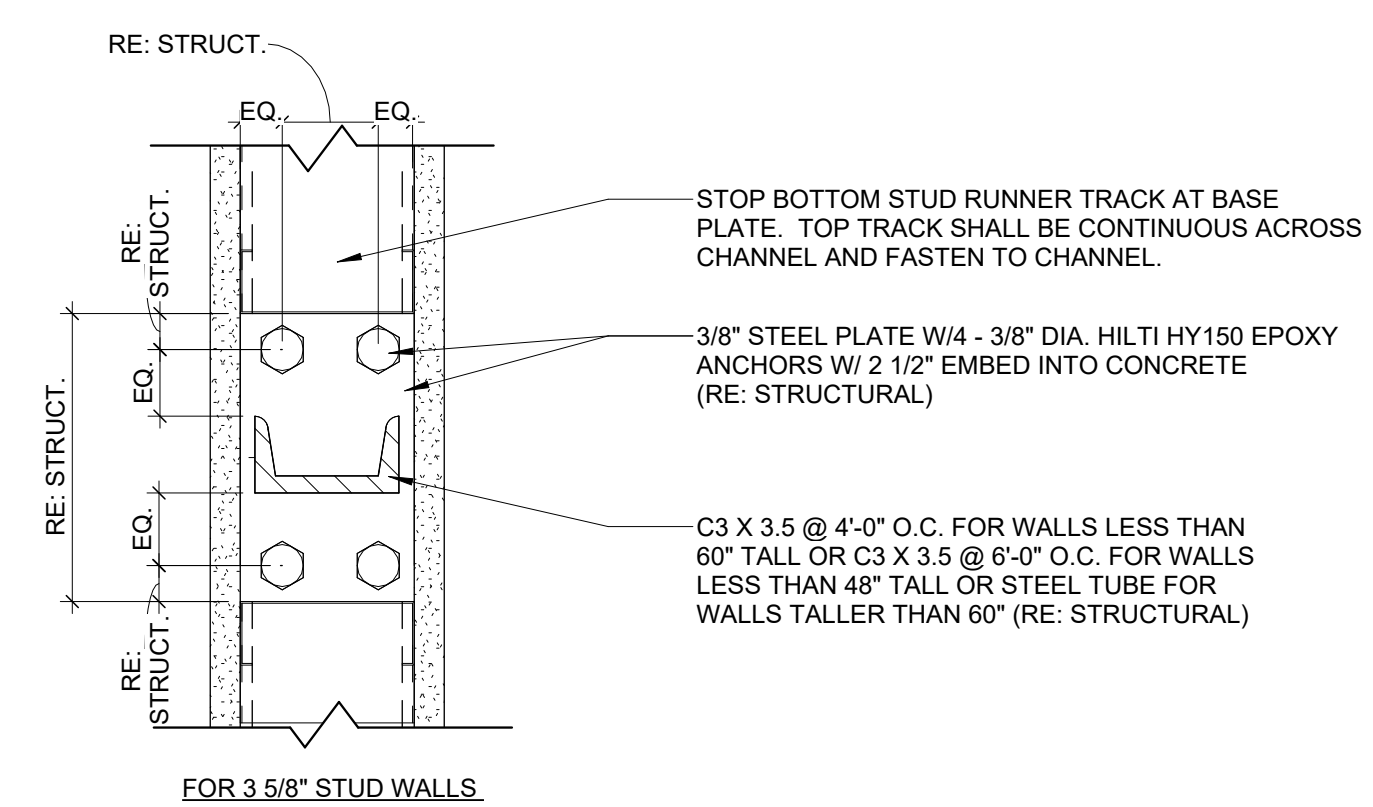
**E8 TOP OF MASONRY WALL AT METAL DECK.**  
 3" = 1'-0"



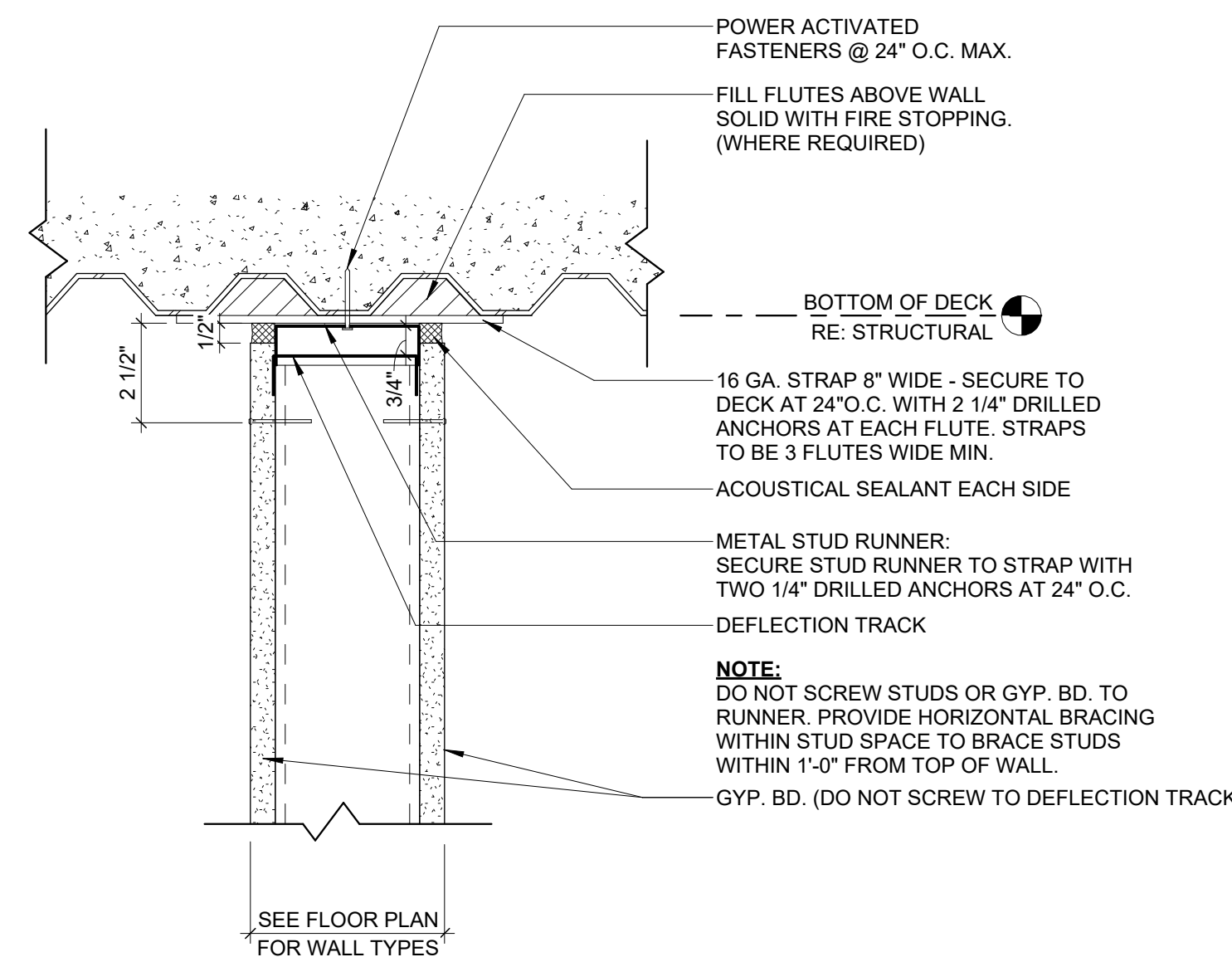
**E5 TOP OF MASONRY WALL AT CONCRETE DECK**  
 3" = 1'-0"



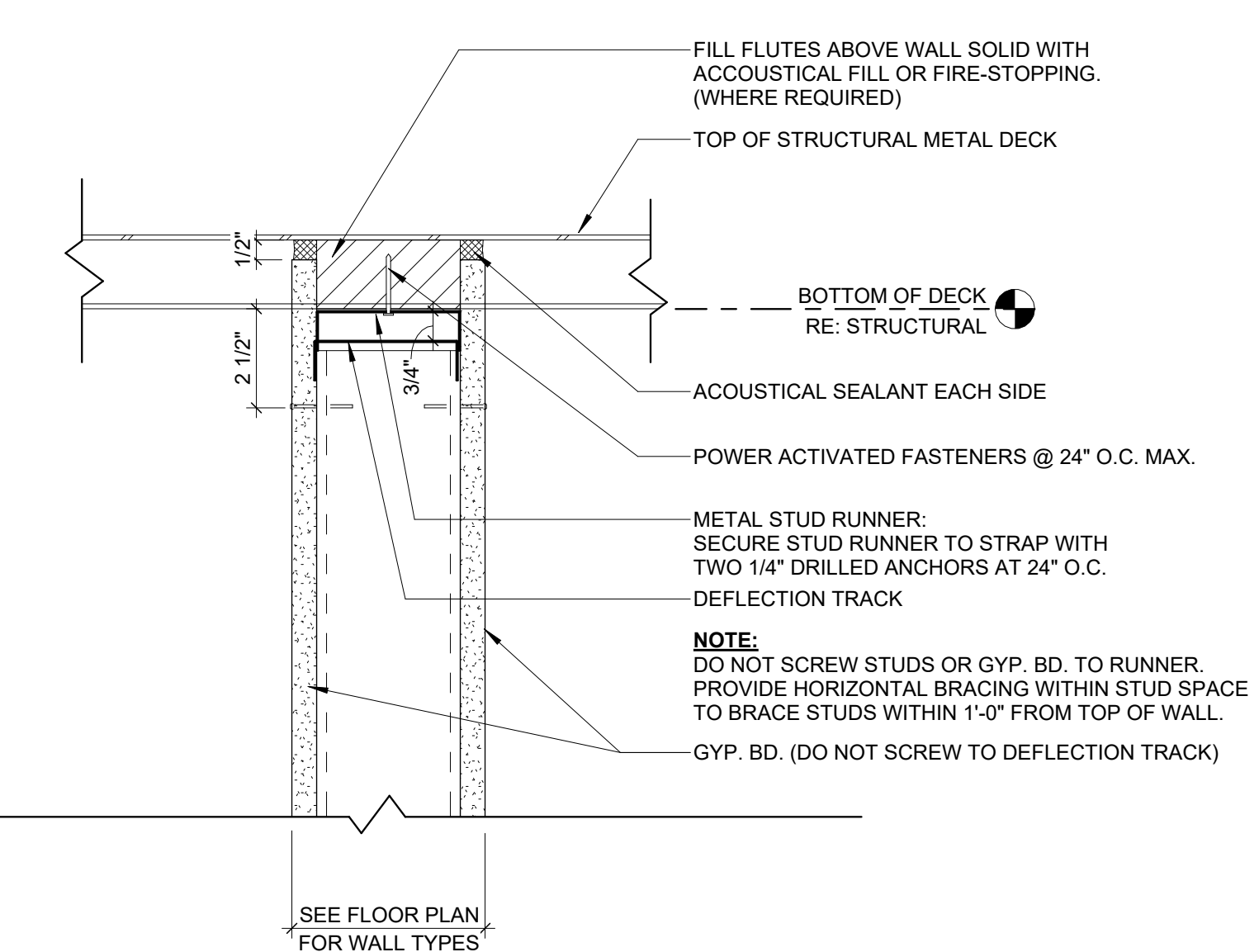
**E1 HEAD OF STUD WALL AT CONC. DECK**  
 3" = 1'-0"



**A8 BASE PLATE & ANCHORAGE PLAN DTLS. @ WALL TYPE 'F'**  
 3" = 1'-0"



**A5 TOP OF WALL - PARALLEL TO METAL DECK**  
 3" = 1'-0"



**A1 TOP OF WALL - PERP. TO METAL DECK**  
 3" = 1'-0"

Design No. U905

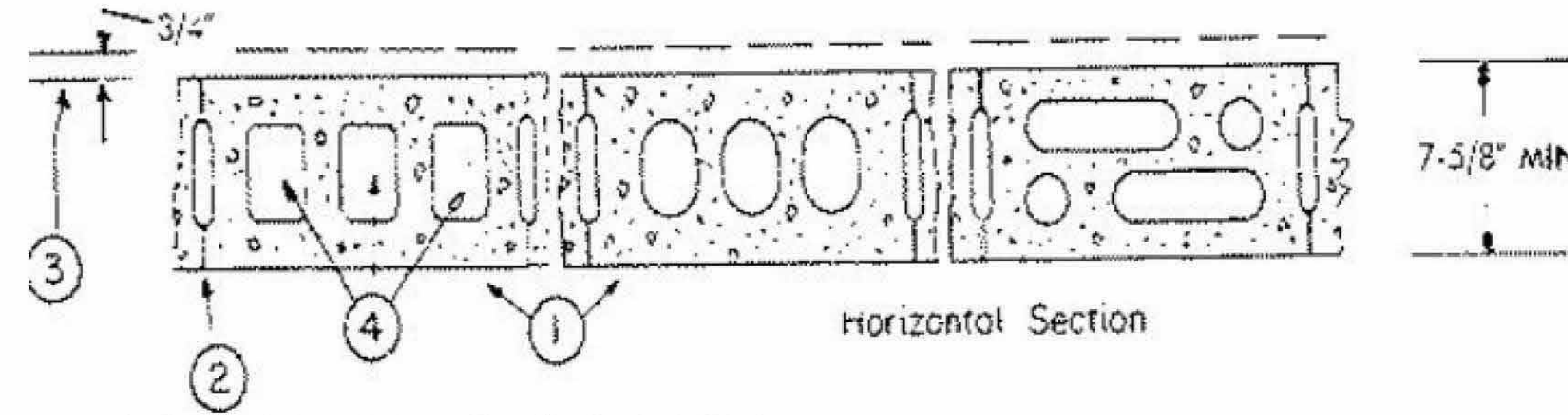
November 09, 2020

Bearing Wall Rating — 2 HR.

Nonbearing Wall Rating — 2 HR

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



1. Concrete Blocks\* — Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers.

2. Mortar — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.

3. Portland Cement Stucco or Gypsum Plaster — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).

4. Loose Masonry Fill — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.

5. Foamed Plastic\* — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1). ATLAS ROOFING CORP — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", EnergyShield CGF Pro and EnergyShield Ply Pro

CARLISLE COATINGS & WATERPROOFING INC — Type R2+ SHEATHE

DUPONT DE NEMOURS, INC. — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax ci Exterior Insulation, Thermax XARMOR ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP), TUFF-R™ ci Insulation, Thermax Butler Stylwall Insulation Board and Thermax Morton Heavy Duty Insulation Board

FIRESTONE BUILDING PRODUCTS CO L L C — "Enverge™ CI Foil Exterior Wall Insulation" and "Enverge™ CI Glass Exterior Wall Insulation"

HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC — Types "Xci-Class A", "Xci Foil (Class A)", "Xci 286"

RMAX, A BUSINESS UNIT OF SIKA CORPORATION — Types "TSX-8500", "ECOMAXci FR", "TSX-8510", "ECOMAX xi FR White", "ECOMAXci", "ECOMAXci FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3".

JOHNS MANVILLE — Type "AP Foil-Faced Foam Sheathing"

5A. Building Units\* — As an alternate to Items 5, min. 1-in thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in.

HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC — "Xci NB", "Xci Ply"

RMAX, A BUSINESS UNIT OF SIKA CORPORATION — "Thermasheath-SI", "ECOBASEci", "ThermaBase-CI", "ECOMAXci FR Ply", "ECOMAXci Ply".

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2020-11-09

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G-311

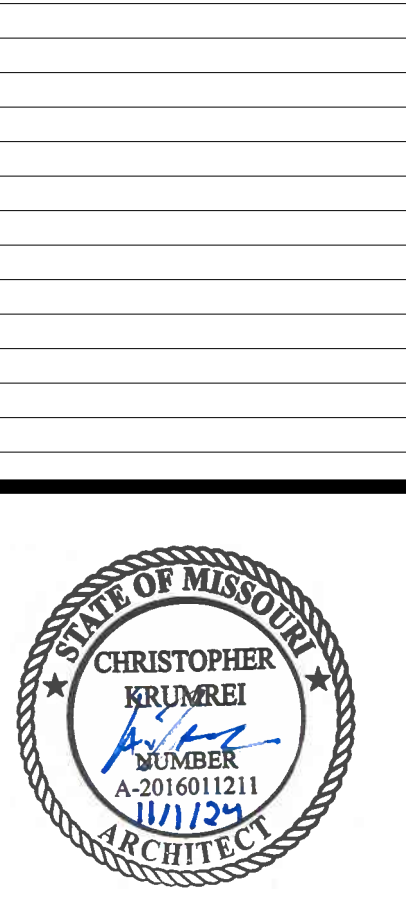
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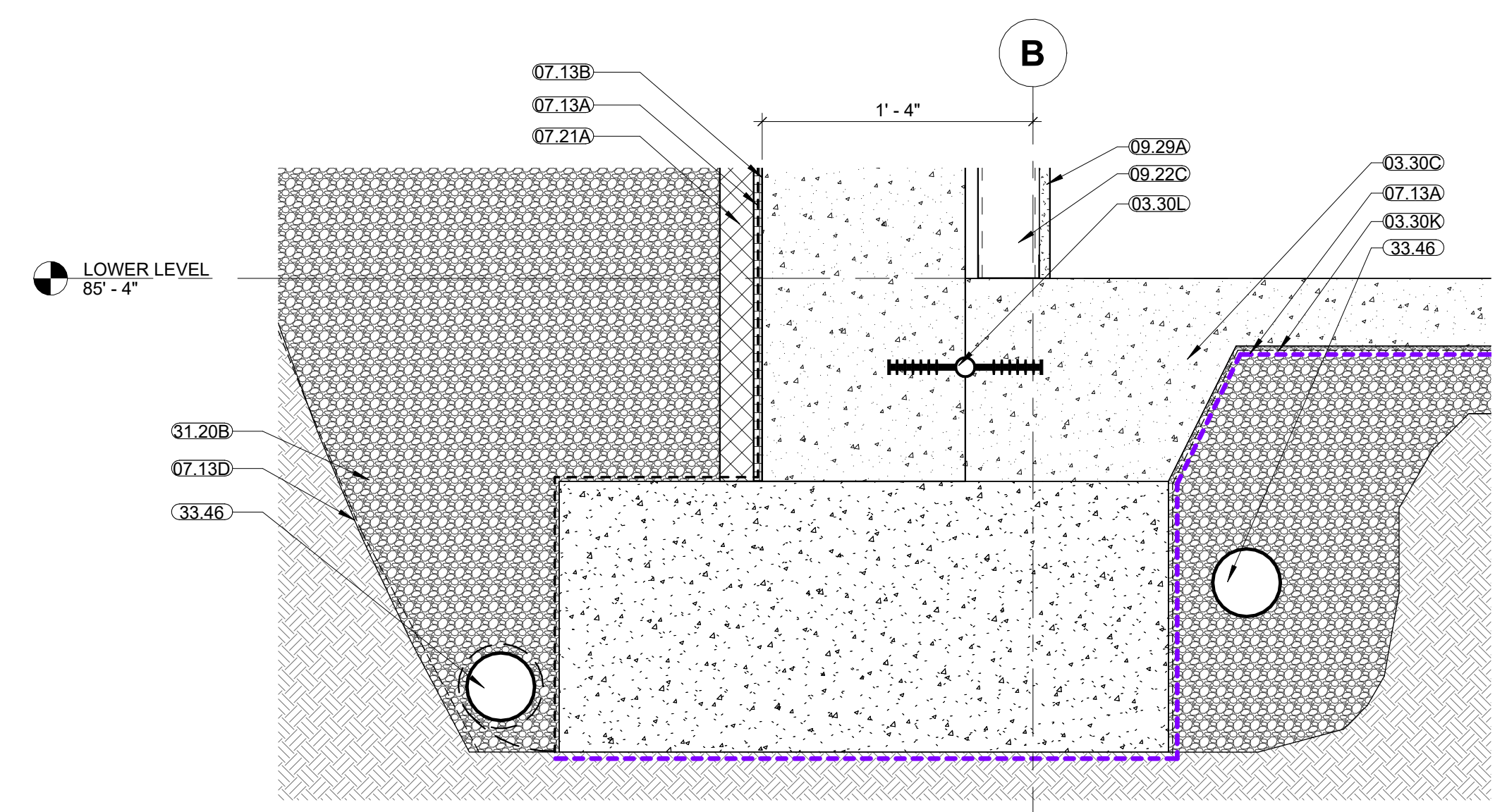
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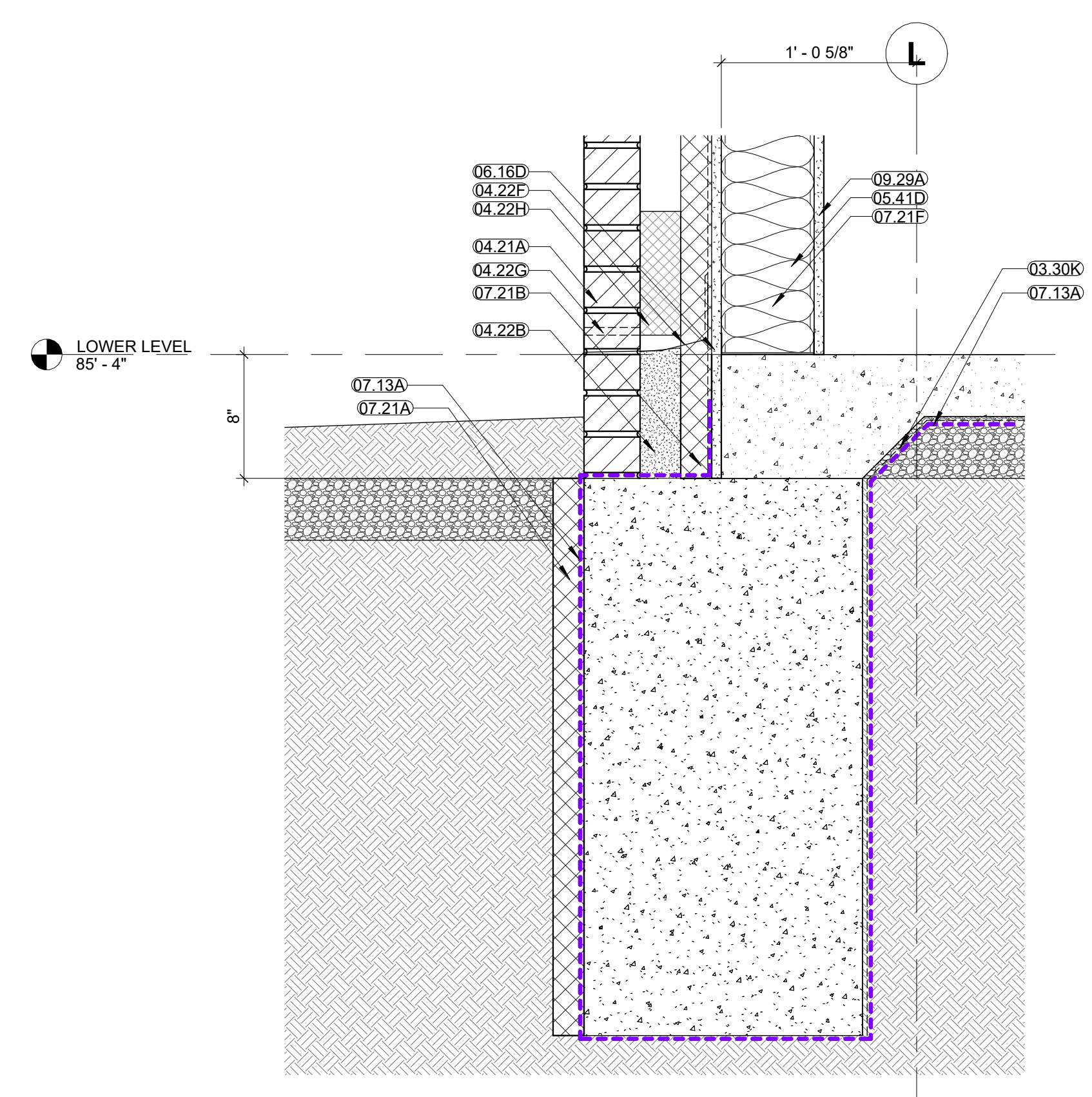
ALTERNATES

ALTERNATES LEGEND	
ALT #	DESCRIPTION
1	REFERENCE NOTES FOR ADDED CARD READER IN HARDWARE SETS 17.0, 18.0, 19.0, 20.0, 22.0, 24.0, 25.0, 26.0, 27.0 FOR DOORS SHOWN IN ALTERNATE #1 DOOR SCHEDULE
2	PROVIDE VEHICLE BUILDING RE-SHEETS A-104 AND A-105
3	PROVIDE SOUND MASKING IN OPEN OFFICE 109. RE A1/G-411 FOR LOCATIONS.
4	ADD PRINT #51777. COLOR V908 ON SURFACE #2 TO ALL GLASS IN WINDOW TYPES A1, A2, B1, B2, C1, C2, C3, C4, C5, C6, C7, AND C8
5	ADD UNDER SLAB WATERPROOFING TO LOWER LEVEL FOUNDATIONS AND SLAB ON GRADE. RE A7/G-411 AND E7/G-411.

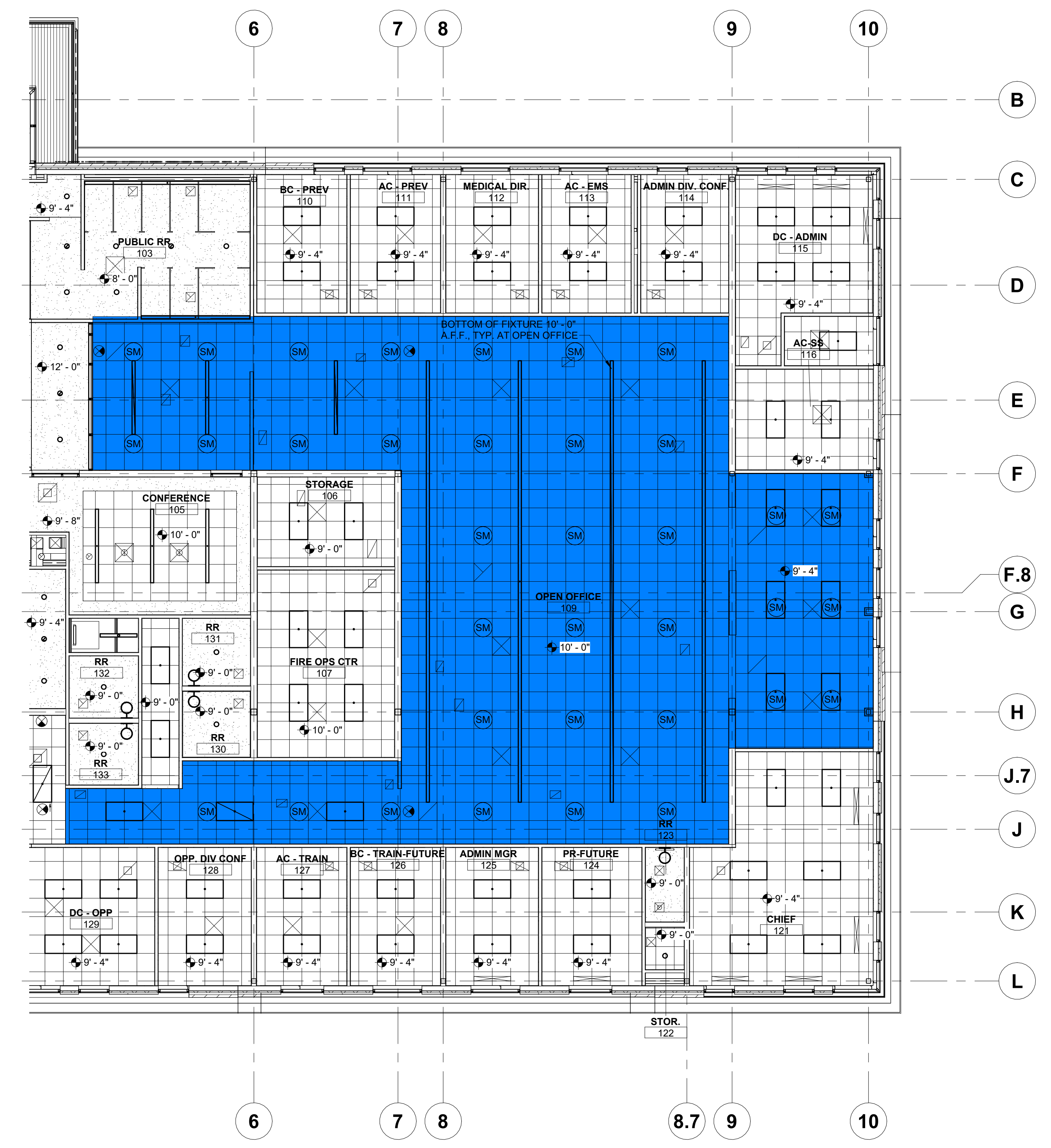
ALTERNATE #1 DOOR SCHEDULE												
DOOR #	ROOM: NAME	WIDTH	HEIGHT	DOOR MATERIAL	DOOR TYPE	FRAME MATERIAL	FRAME TYPE	FIRE RATING	AAOS Project HW Set	HEAD	JAMB	REMARKS
020	WATER	3'-0"	7'-0"	HM	F	HM	F1		20.0	J12 / A-601	J10 / A-601	
021	ELEC.	3'-0"	7'-0"	HM	F	HM	F1		24.0	J12 / A-601	J10 / A-601	
022	MEDIA	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
023	COMM STOR.	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
039B	GENERAL STORAGE	3'-0"	7'-0"	HM	F	HM	F1		18.0	J12 / A-601	J10 / A-601	
039C	GENERAL STORAGE	3'-0"	7'-0"	HM	F	HM	F1		18.0	J12 / A-601	J10 / A-601	
040	ELEC.	3'-0"	7'-0"	HM	F	HM	F1		22.0	J12 / A-601	J10 / A-601	
042A	LOADING DOCK	3'-0"	8'-0"	HM	DF	HM	F2		25.0	J9 / A-601	J7 / A-601	
048	988	3'-0"	7'-0"	WD	F	HM	F1		27.0	J12 / A-601	J10 / A-601	
106	STORAGE	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
110	BC - PREV	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
111	AC - PREV	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
112	MEDICAL DIR.	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
113	AC - EMS	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
114	ADMIN DIV. CONF.	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
115	DC - ADMIN	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
116	OPEN OFFICE	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
121	CHIEF	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
124	PR-FUTURE	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
125	ADMIN MGR	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
126	BC - TRAIN-FUTURE	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
127	AC - TRAIN	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
128	OPP. DIV CONF	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
129	DC - OPP	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
134	ROOF	3'-0"	7'-0"	WD	F	HM	F1		19.0	J12 / A-601	J10 / A-601	
141	STORAGE	3'-0"	7'-0"	WD	F	HM	F1		17.0	J12 / A-601	J10 / A-601	
142	CONFERENCE	3'-0"	7'-0"	WD	V	HM	F1		17.0	J12 / A-601	J10 / A-601	
143	CONFERENCE	3'-0"	7'-0"	WD	V	HM	F1		17.0	J12 / A-601	J10 / A-601	
144	PLANNER	3'-0"	7'-0"	WD	V	HM	F1		17.0	J12 / A-601	J10 / A-601	
145	AC - EMERG MGMT	3'-0"	7'-0"	WD	V	HM	F1		17.0	J12 / A-601	J10 / A-601	
149	JAN	3'-0"	7'-0"	WD	F	HM	F1		22.0	J12 / A-601	J10 / A-601	
153	STORAGE	3'-0"	7'-0"	WD	F	HM	F1		20.0	J12 / A-601	J10 / A-601	
156	STOR.	3'-0"	7'-0"	WD	DF	HM	F1		26.0	J12 / A-601	J10 / A-601	
157	MECH.	3'-0"	7'-0"	HM	F	HM	F1		22.0	J12 / A-601	J10 / A-601	



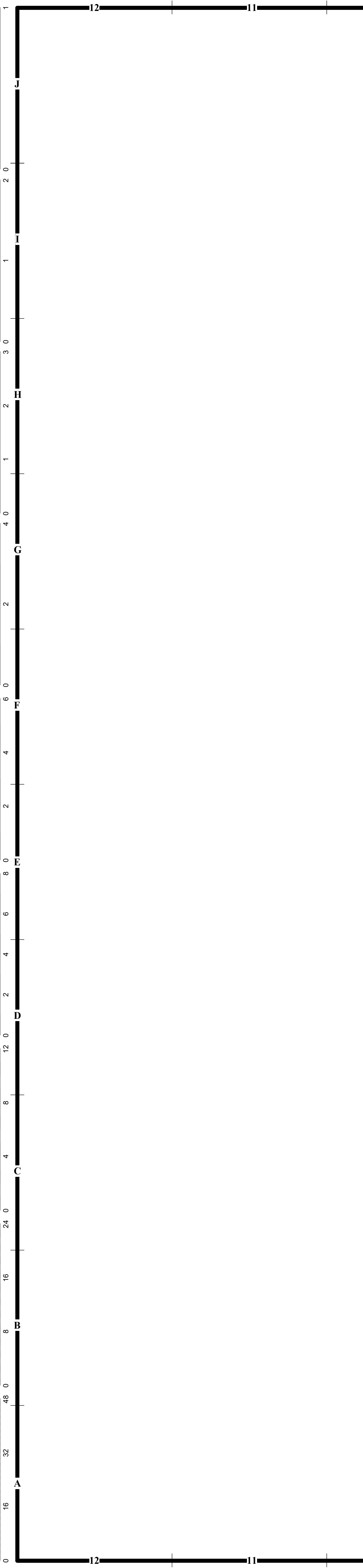
**E7** FOUNDATION SECTION @ CONCRETE WALL - ALTERNATE #5  
1 1/2" = 1'-0"



**A7** FOUNDATION SECTION @ METAL STUD - ALTERNATE #5  
1 1/2" = 1'-0"



**A1** ALTERNATE #3 RCP  
1/8" = 1'-0"



### BOUNDARY AND TOPOGRAPHIC SURVEY LOT 1-A, NEW LEE'S POLICE AND COURT FACILITY, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

DOUGLAS STATION COMMERCIAL PARK  
 LOTS 10A AND 10B

DOUGLAS STATION COMMERCIAL PARK  
 LOTS 3A, 4A AND 5A



Rev.	Date	Description	Checked

**LEGEND**

- Set Survey Monument
- 1/2" Reinforcing Rod w/cap
- Found Survey Monument
- Center Line
- Right-of-Way
- Monumented
- Platted
- Calculated from Record Dimensions
- Book
- Page
- Instrument Number
- Warranty Deed
- Not To Scale

**OWNERSHIP AND ENCUMBRANCE REPORT**  
 Issuing Office File Number: SKC0078199C  
 Effective Date: February 9, 2024 at 8:00 AM

Scoured Title of Kansas City  
 1465 NE Douglas Street  
 Lee's Summit, MO 64086  
 (816)-471-1560

**OWNERSHIP AND ENCUMBRANCE REPORT DESCRIPTION**

**TRACT 1:**  
 Lot 1-A, NEW LEE'S POLICE AND COURT FACILITY, a subdivision in Lee's Summit, Jackson County, Missouri

**TRACT 2:**  
 All that part of the Southeast Quarter of Section 31, Township 48, Range 31, described as follows:  
 Beginning at a point 1450 feet west of the northeast corner of the southeast quarter of said Section 31;  
 thence west 75 feet, more or less to the northeast corner of Lot 1, SUMMIT PARK, a subdivision in  
 Lee's Summit, as recorded in Plat Book 6, at Page 38, at the Recorder's Office of said County; thence  
 south along the east line of said Lot 1, 230 feet more or less to the intersection with the westerly right  
 of way line of County Highway 10-E, aka N. Douglas Street; thence northeasterly along said westerly  
 right of way line to the Point of Beginning.  
 (Legal description for TRACT 2 is shown for convenience only)

**GENERAL NOTES**

- Basis of Bearings: South 87° 53' 23" East along the North line of Lot 1A, LEE'S SUMMIT POLICE AND COURT FACILITY as shown on the recorded plat of LEE'S SUMMIT POLICE AND COURT FACILITY.
- This survey is based on field work completed on or before the date shown in the title block or the following survey or plats:  
 -An ALTA/NSPS survey performed by PHELPS ENGINEERING, INC. on April 27, 2022 as project number 220231  
 -The plat of "SUMMIT PARK" recorded June 23, 1914 and filed as Instrument Number 19140096399 in Book 6, Page 38.  
 -The plat of "LEE'S SUMMIT POLICE AND COURT FACILITY" recorded April 10, 1997 and filed as Instrument Number 199720462 in Book 1-60, Page 53.  
 -The plat of "DOUGLAS STATION COMMERCIAL PARK, LOTS 3A, 4A, AND 5A" recorded January 21, 2003 and filed as Instrument Number 20030000766 in Book 174, Page 55.  
 -The plat of "DOUGLAS CORNER, 2ND PLAT" recorded July 25, 2006 and filed as Instrument Number E0063942 in Book 196, Page 1.  
 -The plat of "DOUGLAS STATION COMMERCIAL PARK, LOTS 10A, AND 10B" recorded August 14, 2008 and filed as Instrument Number 200800087576 in Book 122, Page 17.  
 -The plat of "LEE'S SUMMIT LOGISTICS LOTS 1-3" recorded March 22, 2022, and filed as Instrument Number 2022E0027423 in Book 199, Page 92.
- This Tract contains 504,419 square feet or 11.5799 acres.
- Accuracy standard of this survey: Urban.

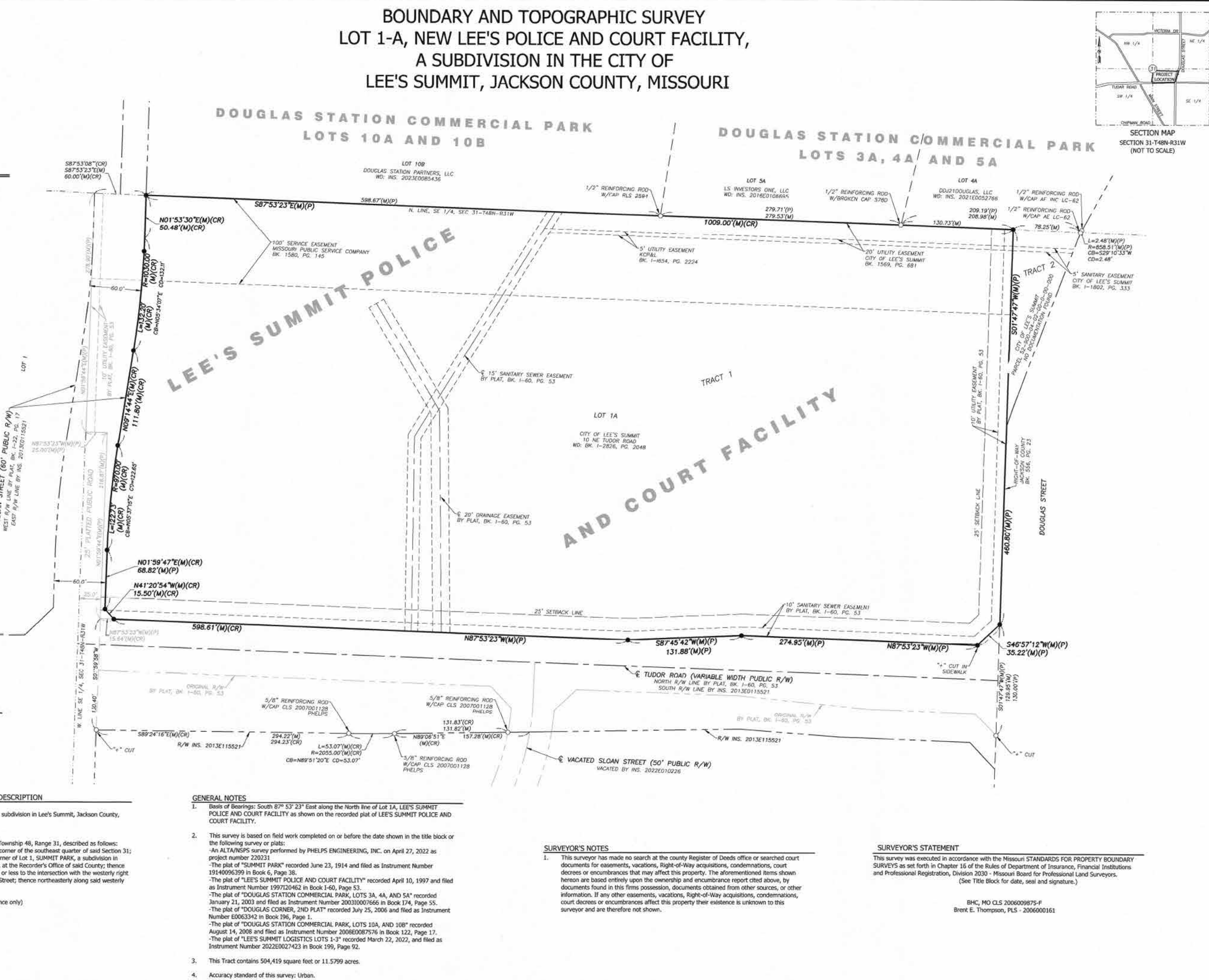
**SURVEYOR'S NOTES**

1. This surveyor has made no search at the county Register of Deeds office or searched court documents for encumbrances, easements, Right-of-Way acquisitions, condemnations, court decrees or encumbrances that may affect this property. The aforementioned items shown herein are based entirely upon the ownership and encumbrance report cited above, or documents found in this firm's possession, documents obtained from other sources, or other information. If any other encumbrances, easements, Right-of-Way acquisitions, condemnations, court decrees or encumbrances affect this property their existence is unknown to this surveyor and are therefore not shown.

**SURVEYOR'S STATEMENT**

This survey was executed in accordance with the MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS as set forth in Chapter 16 of the Rules of Department of Insurance, Financial Institutions and Professional Registration, Division 2030 - Missouri Board for Professional Land Surveyors. (See Title Block for date, seal and signature.)

BHC, MO CLS 2006009875-F  
 Brent E. Thompson, PLS - 2006000161



**BHC**  
 CIVIL ENGINEERING / SURVEYING / UTILITIES  
 712 State Avenue, Kansas City, KS 66101  
 Phone: (913) 371-5300  
BHC is a trademark of Hoefer, Welker & Associates, L.P.

CITY OF LEE'S SUMMIT  
 220 SE GREEN  
 LEE'S SUMMIT, MO 64063

Project: **BOUNDARY AND TOPOGRAPHIC SURVEY**  
**LOT 1-A,**  
**NEW LEE'S POLICE AND COURT FACILITY,**  
**A SUBDIVISION IN THE CITY OF**  
**LEE'S SUMMIT, JACKSON COUNTY, MISSOURI**

Project No.:	041470
Field Crew:	ZLTH
Field Date:	2024/03/13
Drawn By:	GSW
Issue Date:	2024/04/02
Sheet:	1 OF 7

## LEE'S SUMMIT JOINT OPERATIONS FACILITY

2 NE TUDOR RD  
 LEE'S SUMMIT, MISSOURI 64086

PACKAGE 2: CONSTRUCTION SET

**REVISION DATES:**

No.	Date	Description

**INTERIM REVIEW ONLY**  
 (Document Incomplete)  
 Not to be used for regulatory approval, permit, or construction.  
 Architect Of Record:  
 Hoefer Welker

PROFESSIONAL SEAL

# V1.0

ISSUE DATE: NOVEMBER 1, 2024  
 HOEFER WELKER # 138191

**LEGAL DESCRIPTION**

Lot 1-A, NEW LEE'S POLICE AND COURT FACILITY, a subdivision in Lee's Summit, Jackson County, Missouri

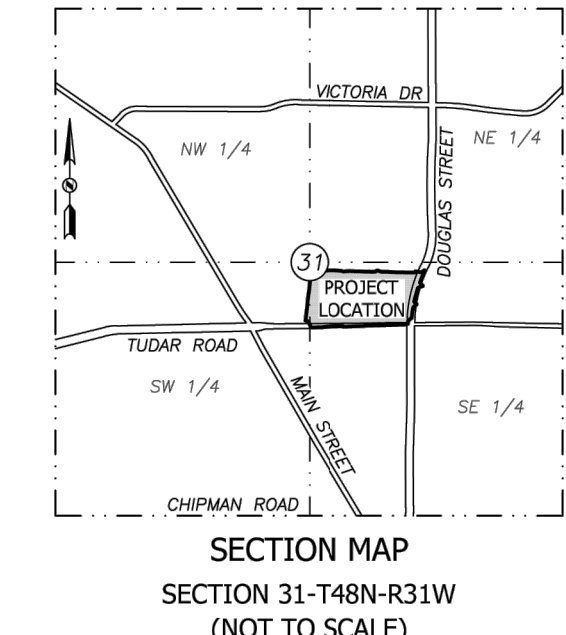
TRACT 2:  
 All that part of the Southeast Quarter of Section 31, Township 48, Range 31, described as follows: Beginning at a point 1450 feet west of the northeast corner of the southeast quarter of said Section 31; thence west 75 feet, more or less to the northeast corner of Lot 1, SUMMIT PARK, a subdivision in Lee's Summit, as recorded in Plat Book 6, at Page 38, at the Recorder's Office of said County; thence south along the east line of said Lot 1, 230 feet more or less to the intersection with the westerly right of way line of County Highway 10-E, aka N. Douglas Street; thence northeasterly along said westerly right of way line to the Point of Beginning.

**OIL AND GAS WELLS**

According to the "Oil and Gas Permits" database published by the Missouri Department of Natural Resources, as of November 13, 2024, no oil or gas wells (of any status) are listed within subject property site.

**GENERAL NOTES**

- All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Lee's Summit, Missouri.
- All existing topographic, survey, and utility information shown was provided to BHC in the form of an Topographic Survey prepared by BHC and dated April 2, 2024. BHC makes no guarantees as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
- The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
- Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
- The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
- The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owner's satisfaction at the Contractor's expense.
- Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
- All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
- All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
- Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
- Coordinate with facility representative as to when construction activities may be performed to work with the operations of the facility.
- Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.
- Unless specified otherwise, all construction shall meet the requirements of the Missouri Department of Transportation (MoDOT) Standard Specifications, except as modified by these plans.
- Third party inspection of the storm sewer is required, after inspection, provide documentation to the City of Lee's Summit, Missouri.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit, Missouri with reports and documentation.
- A Right-of-Way permit is required from the City of Lee's Summit, Missouri Public Works Department for any work within the public right-of-way.



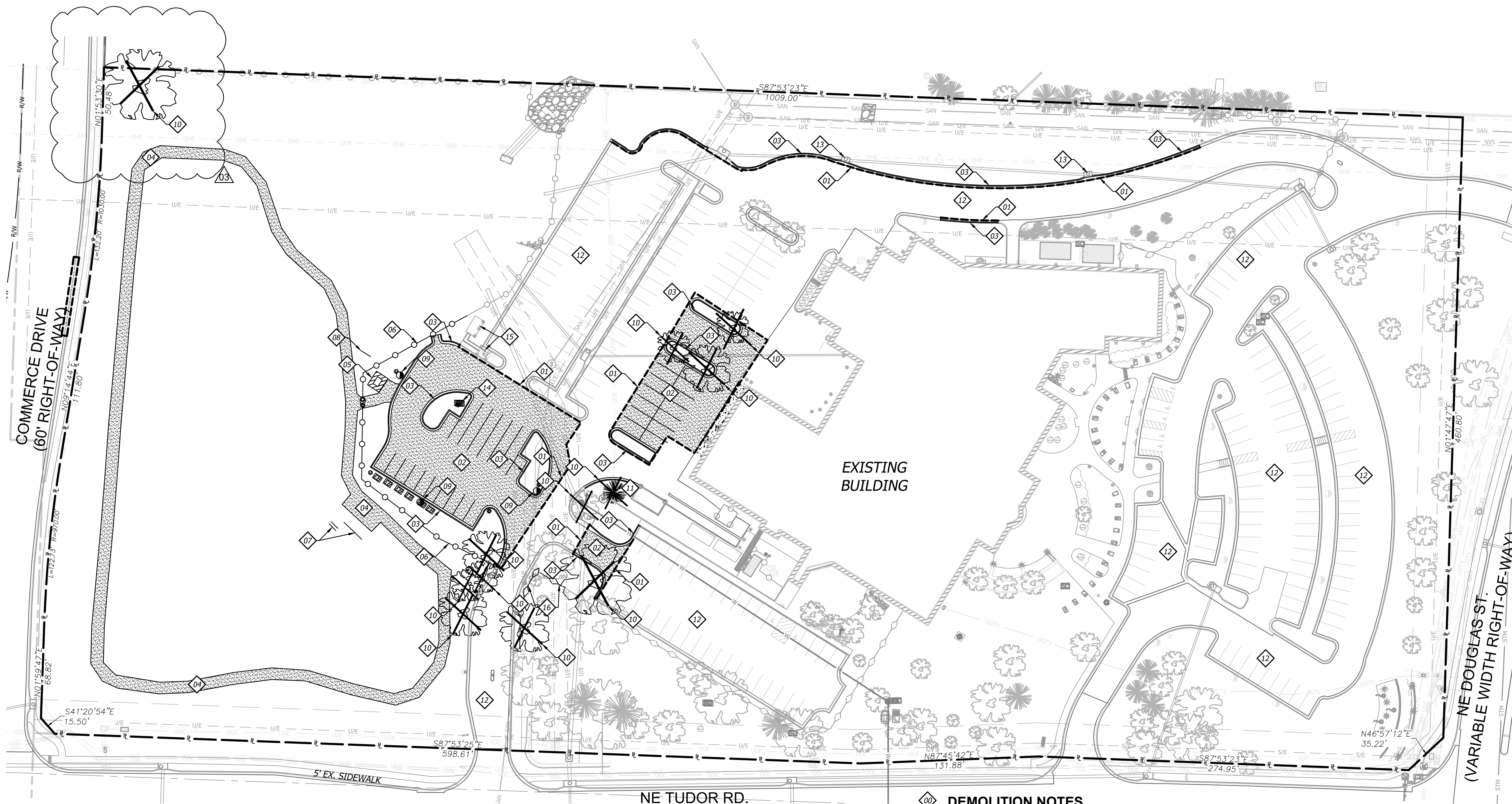
PROJECT CONTROL TABLE (NAD83 MISSOURI STATE PLANE, WEST ZONE, US SURVEY FOOT)				
POINT NO.	CONTROL POINT/ BENCHMARK DESCRIPTION	NORTHING COORDINATE	EASTING COORDINATE	ELEV.
1	CP1 /B4 WITH CP CAP	1006378.56	282286.48	1029.44'
2	CP2 /CUT PLUS BACK OF WALK	1006378.62	2821916.33	1011.43'
3	CP3 /CHISEL PLUS ON W. EDGE OF WALK	1006849.13	2821878.06	1010.62'
4	CP4 /B4 WITH CP CAP	1006865.95	2823140.23	1023.26'
5	CP5 /B4 W CP CAP	1006971.51	2822049.11	1009.85'
10	CPO /B4 WITH CP CAP	1006274.88	2823059.46	1031.60'

- BENCHMARKS** (NAVD88 Datum)
- BM1 Chiseled square on the North face of a grate inlet, located on the South side of Tudor Road, approximately 425 feet East of the intersection of Tudor Road and Sloan Street.  
Elevation: 1015.01
  - BM2 Chiseled square on the Northwest corner of a pedestrian crossing signal, located on the Southwest corner of the intersection of Tudor Road and Douglas Street.  
Elevation: 1031.01

**LEGEND**

*Proposed Line Types and Symbols shown. Existing Line Types and Symbols shall be the same, but screened, unless designated otherwise by the inclusion of a survey by others.*

<ul style="list-style-type: none"> <li>Set Survey Monument</li> <li>Set Survey Monument (in concrete)</li> <li>Found Survey Monument</li> <li>Found Survey Monument in Box</li> <li>Origin Unknown</li> <li>Found Right-of-Way Marker</li> <li>Control Point</li> <li>Benchmark</li> <li>Set Hub</li> </ul>	<ul style="list-style-type: none"> <li>Overhead Utility Line(s)</li> <li>Underground Electric Line Marker</li> <li>Underground Electric Line</li> <li>Underground KCP&amp;L Line (e.g.)</li> <li>Utility Pole</li> <li>Utility Pole with Transformer</li> <li>Guy Anchor</li> <li>Utility Pole w/Light &amp; arm</li> <li>Street Light Pole w/ arm</li> <li>Street Light Pole (14')</li> <li>Electric Pedestal (above ground)</li> <li>Electric Meter</li> <li>Electric Access Vault (underground)</li> <li>Electric Access Box (mounted)</li> <li>Electric Manhole</li> <li>Electric Pull Box (underground)</li> <li>Transformer (pad mounted)</li> <li>Yard Light</li> <li>Air Conditioner Unit</li> </ul>	<ul style="list-style-type: none"> <li>Water Line</li> <li>Water Service Line</li> <li>Underground Water Line Marker</li> <li>Water Valve</li> <li>Fire Hydrant</li> <li>Fire Hydrant Assembly</li> <li>Water Meter</li> <li>Water Manhole</li> <li>Water Vault (underground)</li> <li>Sprinkler Control Box</li> <li>Sprinkler Head</li> <li>Yard Hydrant</li> <li>Backflow Valve (BFV)</li> <li>Backflow Preventer (BFP)</li> <li>Blow-Off Assembly</li> </ul>	<ul style="list-style-type: none"> <li>Gas Line</li> <li>Gas Service Line</li> <li>Underground Spire Line (e.g.)</li> <li>Underground Gas Line Marker</li> <li>Gas Manhole or Access Lid</li> <li>Gas Valve</li> <li>Regulator Unit</li> <li>Gas Meter</li> <li>Casing Vent</li> <li>Underground Pipe Line (High Capacity)</li> <li>Underground Pipe Line Marker</li> </ul>	<ul style="list-style-type: none"> <li>Underground Telephone Line</li> <li>Underground AT&amp;T Line (e.g.)</li> <li>Underground Telephone Line Marker</li> <li>Telephone Pedestal (above ground)</li> <li>Telephone Manhole</li> <li>Telephone Access Vault (underground)</li> <li>Telephone Access Box (mounted)</li> <li>Underground Fiber Optic Line</li> <li>Underground Fiber Optic Line Marker</li> <li>Fiber Optic Pedestal</li> <li>Fiber Optic Manhole</li> <li>Fiber Optic Vault (underground)</li> <li>Fiber Optic Pedestal on top of Vault</li> </ul>	<ul style="list-style-type: none"> <li>Traffic Signal Post w/ Mast Arm</li> <li>Pedestrian Signal Pole</li> <li>Traffic Control Manhole</li> <li>Traffic Control Cabinet</li> <li>Traffic Control Vault (underground)</li> </ul>	<ul style="list-style-type: none"> <li>Underground Cable TV Line</li> <li>Underground Spectrum Line (e.g.)</li> <li>Underground Cable TV Marker</li> <li>Cable TV Pedestal (above ground)</li> </ul>	<ul style="list-style-type: none"> <li>Manhole-Unknown Purpose</li> <li>Grease Trap Access Lid</li> <li>Monitoring Well</li> <li>Bore Hole</li> <li>Fill Lid (for Underground Tank)</li> <li>Sanitary Sewer Line</li> <li>Sanitary Sewer Service Line</li> <li>Sanitary Sewer Manhole</li> <li>Clean-out</li> <li>Vitrified Clay Pipe</li> <li>Ductile Iron Pipe</li> <li>Polyvinyl Chloride Pipe</li> <li>Cast Iron Pipe</li> </ul>	<ul style="list-style-type: none"> <li>Underground Utility Line Marker</li> <li>Metal Guard Rail or Handrail</li> <li>Flag Pole</li> <li>Satellite Dish</li> <li>Hailbox</li> <li>Concrete or Metal Bollard</li> <li>Wood Bollard or Wood Post</li> </ul>	<ul style="list-style-type: none"> <li>Storm Sewer Line</li> <li>Storm Sewer Manhole</li> <li>Curb Inlet</li> <li>Field Inlet</li> <li>Junction Box</li> <li>Grate Inlet</li> <li>Grate Inlet (Round/Domed)</li> <li>End Section</li> <li>Headwall</li> <li>Down Spout</li> <li>Roof Drain</li> <li>Corrugated Metal Pipe</li> <li>Corrugated Metal Arch Pipe</li> <li>Corrugated Plastic Pipe</li> <li>High Density Polyethylene Pipe</li> <li>Reinforced Concrete Pipe</li> <li>Reinforced Concrete Arch Pipe</li> <li>Reinforced Concrete Box</li> <li>Flared End Section</li> <li>Pipe Continues-Outlet or Source Not Found or Not Surveyed</li> </ul>	<ul style="list-style-type: none"> <li>Wood Fence</li> <li>Chain Link Fence</li> <li>Wire Fence (with or without barbs)</li> <li>Barbed Wire Fence</li> <li>Plastic Fence</li> <li>Iron or Metal Fence</li> <li>Gate Post</li> <li>Retaining Wall</li> </ul>	<ul style="list-style-type: none"> <li>Single Pole Sign</li> <li>Double Pole Sign</li> <li>Railroad Crossing Gate</li> <li>Railroad Switch Machine</li> <li>Railroad Tracks</li> <li>Wheel Stop</li> <li>ADA Parking Stall</li> <li>ADA Detection Warning Pad</li> <li>Bush</li> <li>Deciduous Tree and Size (Scaled for Size)</li> <li>Coniferous Tree and Size (Scaled for Size)</li> <li>Tree Stump</li> <li>Foliage Drip Line/Edge of Timber Hedge</li> </ul>	<ul style="list-style-type: none"> <li>Center Line</li> <li>Property Line</li> <li>Right-of-Way Line</li> <li>Radius</li> <li>Arc Length</li> <li>Chord Bearing</li> <li>Chord Distance</li> <li>Interior Angle (Delta)</li> <li>Initial Tangent Bearing</li> <li>Right-of-Way</li> <li>Monumented</li> <li>Measured</li> <li>Deeded</li> <li>Platted</li> <li>Calculated</li> <li>Calculated from Record Dimensions</li> <li>Calculated from Found Monuments</li> <li>Proportioned</li> <li>Book</li> <li>Page</li> <li>Document Number</li> <li>Instrument Number</li> <li>Volume</li> <li>Easement</li> <li>Building Setback Line</li> <li>Utility Easement</li> <li>Drainage Easement</li> <li>Storm Sewer Easement</li> <li>Sanitary Sewer Easement</li> <li>Ingress/Egress Easement</li> <li>Temporary Construction Easement</li> <li>Square Feet</li> <li>Acres</li> <li>Cubic Yard</li> <li>Linear Feet</li> <li>Company</li> <li>Landscaping (Bushes, Trees, Flowers, Border, Mulch, any or all of them)</li> <li>Asphalt</li> <li>Concrete</li> <li>Corner</li> <li>Retaining Wall</li> <li>Station</li> <li>Left</li> <li>Right</li> <li>Point of Intersection</li> <li>Point of Curve</li> <li>Point of Tangent</li> <li>Not To Scale</li> <li>Not To Scale</li> </ul>
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**DEMOLITION GENERAL NOTES**

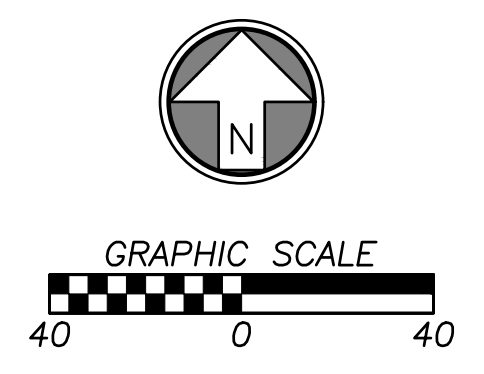
1. Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
2. All materials shall be removed and disposed of off-site. It is the contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
3. The contractor shall ensure that any structures to remain which are damaged during demolition operations shall be repaired to meet current code, at no additional cost to the owner.
4. The contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
5. It shall be the contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
6. The contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
7. All protection fencing shall be installed prior to demolition/construction activity. The contractor shall provide a 6-foot security fence around the entire job site with locked gated access points, if required by the owner or the City.
8. All existing utilities removed during construction shall have their trenches backfilled with structural fill and be compacted to the requirements for structural fill.
9. All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the contractor at no additional cost to the owner.

**DEMOLITION NOTES**

- 01 SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- 02 REMOVE & DISPOSE OF EXISTING ASPHALT.
- 03 REMOVE & DISPOSE OF EXISTING CURB AND GUTTER.
- 04 REMOVE & DISPOSE OF ASPHALT TRAIL.
- 05 REMOVE & DISPOSE OF EXISTING SHED.
- 06 REMOVE & DISPOSE OF EXISTING CHAIN LINK FENCE.
- 07 REMOVE & DISPOSE OF EXISTING PULL UP BARS.
- 08 REMOVE & DISPOSE OF EXISTING WOODEN WINDOW.
- 09 REMOVE & DISPOSE OF EXISTING LIGHT POLES.
- 10 REMOVE & DISPOSE OF EXISTING TREES.
- 11 RELOCATE WATER VAULT TO ALLOW FOR PROPOSED TRASH ENCLOSURE.
- 12 MILL EXISTING PARKING LOT 2", OVERLAY ASPHALT AND RESTRIPE TO MATCH EXISTING. CONTRACTOR TO COORDINATE OVERLAY WORK SEQUENCE WITH OWNER TO MINIMIZE DISRUPTION TO FACILITY OPERATIONS.
- 13 STRUCTURE TO MODIFIED TO FROM CURB INLET TO GRATE TOP INLET.
- 14 REMOVE & RELOCATE EXISTING SHUT-OFF FOR FUEL PUMP
- 15 EXISTING FUEL STATION TO REMAIN. TO BE PROTECTED DURING CONSTRUCTION.
- 16 REMOVE & DISPOSE OF EXISTING CHAIN IRON FENCE.

**LEGEND**

-  RIGHT - OF - WAY LINE
-  PROPERTY LINE
-  EXISTING OVERHEAD UTILITY LINES
-  EXISTING UNDERGROUND ELECTRICAL LINE
-  EXISTING GAS LINE
-  EXISTING WATER LINE
-  SAW CUT LINE
-  ASPHALT PAVEMENT TO BE REMOVED
-  EXISTING TREE LINE
-  EXISTING TREE TO BE REMOVED



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEE'S SUMMIT, MO 64086

REVISION DATES:

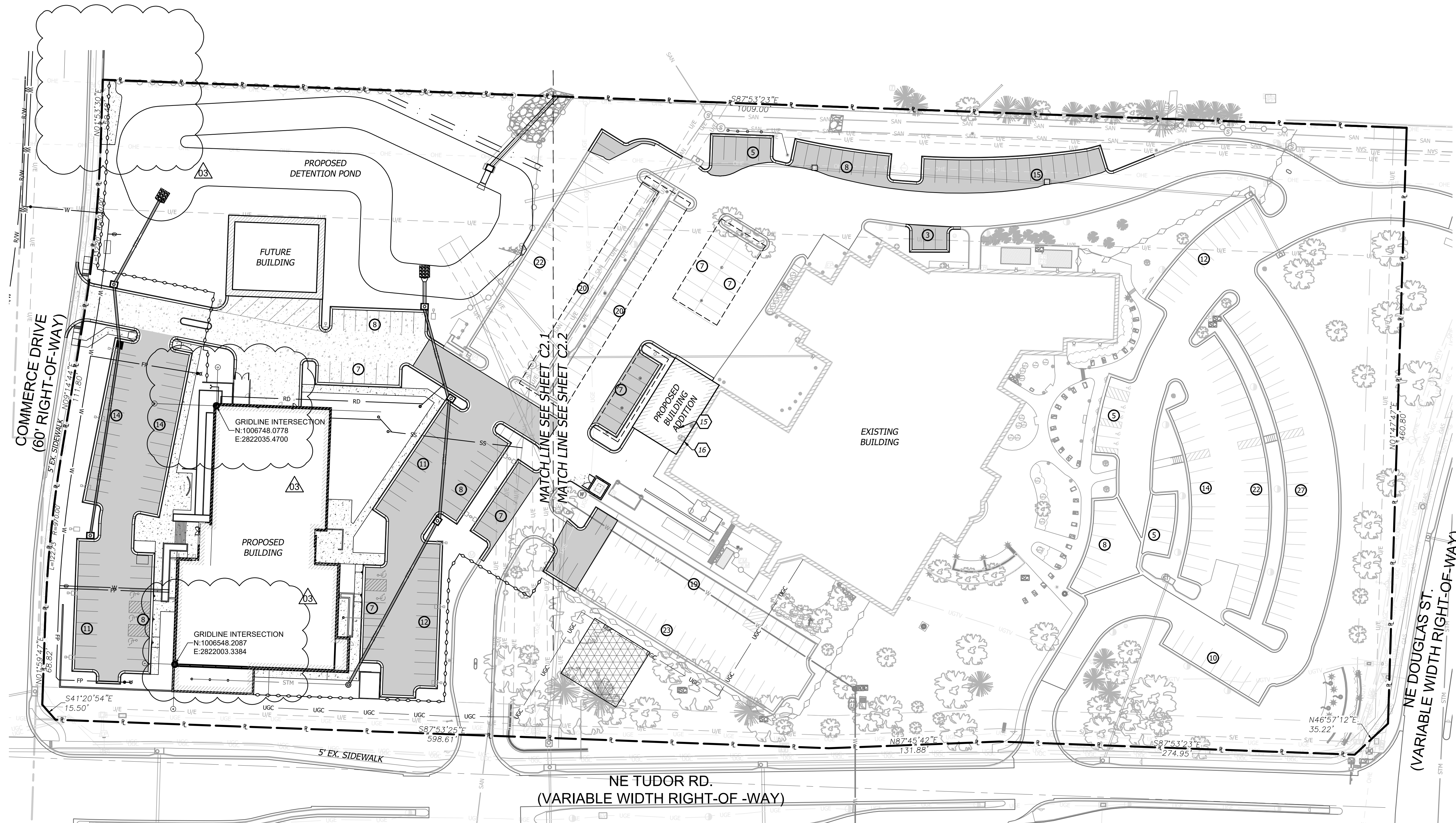
01	ADDENDUM 01	2024-08-20
02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18



MICHAEL T. MAKRIS, PE  
 MO PE-202103286

**C2.0**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

OVERALL SITE PLAN



**SITE DATA**

<b>SITE</b>	
SITE AREA:	11.58 AC 504,417 SF
<b>IMPERVIOUS AREA:</b>	
EXISTING:	228,818 SF (45.4%)
PROPOSED:	296,228 SF (58.7%)
<b>BUILDING</b>	
EXISTING BUILDING (INCLUDING ADDITION) AREA:	93,507 SF (18.5)
PROPOSED BUILDING AREA:	43,639 SF (8.7%)
PROPOSED FUTURE BUILDING AREA:	4,724 SF (0.9%)
FLOOR AREA RATIO (FAR):	0.28:1
<b>PARKING</b>	
PARKING PROVIDED:	366 STANDARD
ADA PARKING SPACES:	13 HANDICAP (6 VAN)

**ZONING**  
 PO (PLANNED OFFICE)

**OWNERSHIP:**  
 PARCEL NO. 52-900-04-237-00-0-00-000  
 CITY OF LEE'S SUMMIT, MO  
 LEE'S SUMMIT POLICE AND COURT FACILITY  
 INSTRUMENT NO. 199710020462, BOOK 60, PAGE 53

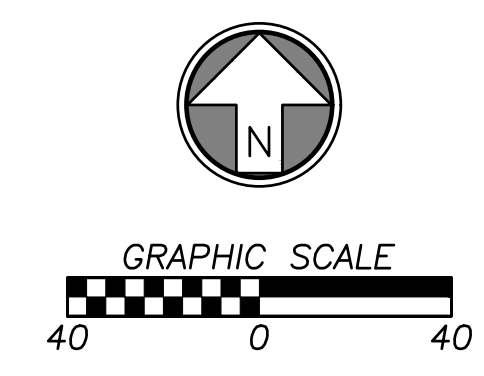
**DIMENSIONAL STANDARDS:**

BUILDING SET-BACKS	FRONT YARD	15 FT
	REAR YARD	20 FT
PARKING SET-BACKS	RIGHT OF WAY	20 FT
	RESIDENTIAL DISTRICT	20 FT
	SIDE AND REAR P/L	6 FT
DRIVEWAY AISLE MINIMUM		24 FT
PARKING SPACE DIMENSIONS	LENGTH	19 FT
	WIDTH	9 FT

- GENERAL NOTES:**
- MINIMUM CURB RADIUS OF 3 FEET (UNLESS OTHERWISE SPECIFIED).
  - ALL NEW ON-SITE WIRING AND CABLES SHALL BE INSTALLED UNDERGROUND.
  - ALL ABOVE GROUND ELECTRICAL AND/OR TELEPHONE CABINETS MUST BE PLACED WITHIN THE INTERIOR SIDE OR REAR BUILDING SETBACK YARDS.
  - ALL CONCRETE MATERIALS (ASPHALTIC AND PORTLAND) SHALL MEET KANSAS CITY METROPOLITAN MATERIALS BOARD (KCMMB) SPECIFICATIONS.
  - ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS, SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
  - ALL EXTERIOR MOUNTED AND ROOFTOP BUILDING HVAC AND MECHANICAL EQUIPMENT, VENTS, PIPING, ROOF ACCESS LADDERS AND UTILITY METERS MUST BE LOCATED OUT OF VIEW OR OTHERWISE SCREENED FROM PUBLIC VIEW FROM ALL ADJACENT STREETS AND RESIDENTIALLY ZONED OR DEVELOPED PROPERTIES. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE METHODS.
  - BUILDING FOOTPRINT AS SHOWN REPRESENTS THE MOST EXTERIOR LINE WORK FOR BUILDING AS PROVIDED BY HOEFER WELKER. REFERENCE DRAWING DATED 2024-10-08.

**SITE LEGEND**

	PARKING STALL COUNT
	PROPOSED BUILDING
	EXISTING BUILDING
	LIGHT DUTY ASPHALT PAVEMENT
	LIGHT DUTY PCC PAVEMENT
	CONCRETE SIDEWALK
	STRAIGHT BACK CURB & GUTTER (TYPE CG-1)
	RETAINING WALL
	STRAIGHT BACK DRY CURB & GUTTER (TYPE CG-1 DRY)
	ZERO HEIGHT CURB
	TRANSITION CURB



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

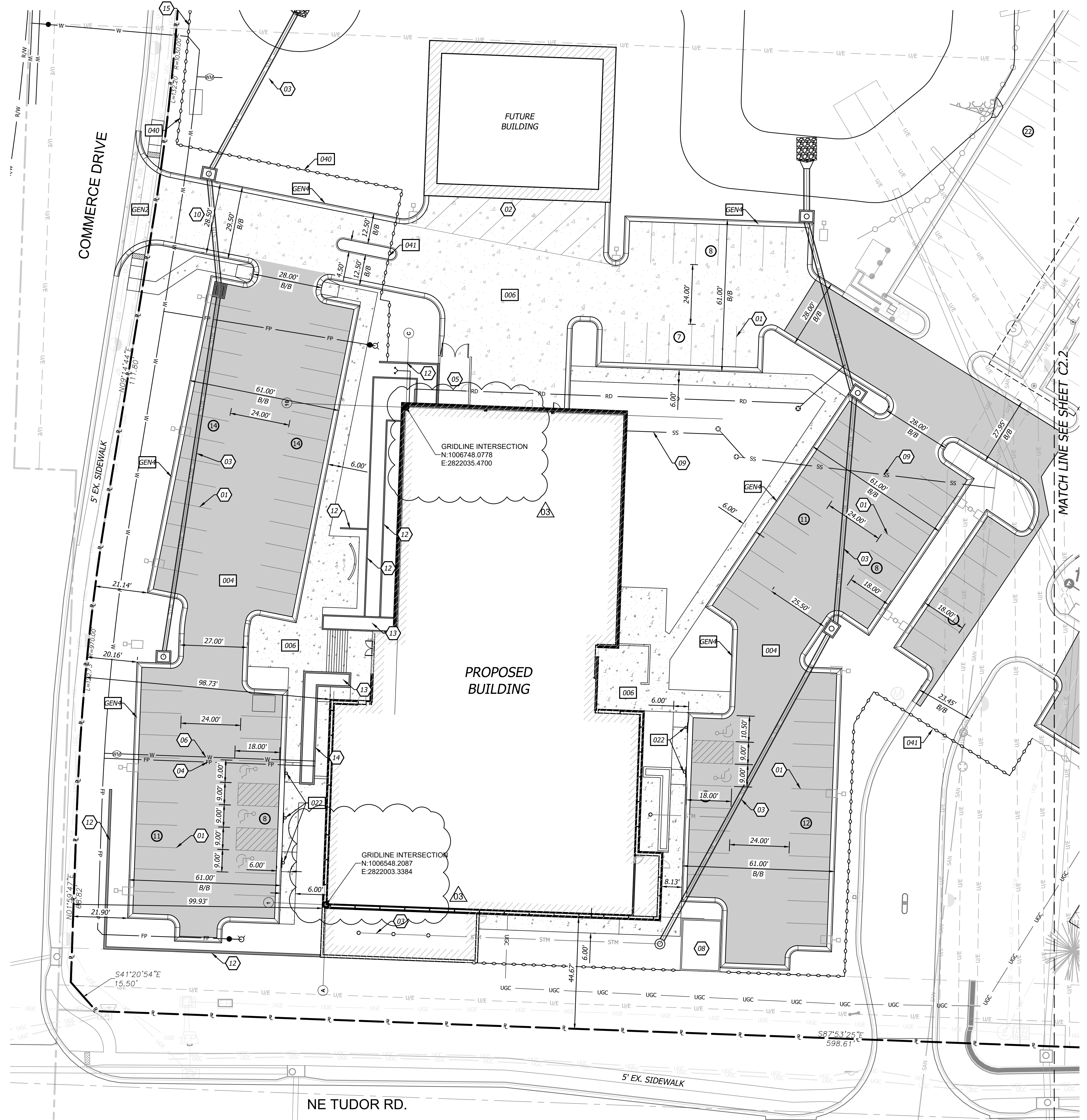
REVISION DATES:  
 01 ADDENDUM 01 2024-08-20  
 02 ADDENDUM 02 2024-10-30  
 03 ADDENDUM 03 2024-11-18



MICHAEL T. MAKRIS, PE  
 MO PE-2021033286

**C2.1**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

**SITE PLAN**



**ZONING**

PO (PLANNED OFFICE)

**GENERAL NOTES:**

- MINIMUM CURB RADIUS OF 3 FEET (UNLESS OTHERWISE SPECIFIED).
- ALL NEW ON-SITE WIRING AND CABLES SHALL BE INSTALLED UNDERGROUND.
- ALL ABOVE GROUND ELECTRICAL AND/OR TELEPHONE CABINETS MUST BE PLACED WITHIN THE INTERIOR SIDE OR REAR BUILDING SETBACK YARDS.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS AND COOLERS, SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- ALL EXTERIOR-MOUNTED AND ROOFTOP BUILDING HVAC AND MECHANICAL EQUIPMENT, VENTS, PIPING, ROOF ACCESS LADDERS AND UTILITY METERS MUST BE LOCATED OUT OF VIEW OR OTHERWISE SCREENED FROM PUBLIC VIEW FROM ALL ADJACENT STREETS AND RESIDENTIALLY ZONED OR DEVELOPED PROPERTIES. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE METHODS.
- BUILDING FOOTPRINT AS SHOWN REPRESENTS THE MOST EXTERIOR LINE WORK FOR BUILDING AS PROVIDED BY HOEFER WELKER.

**CONSTRUCTION NOTES**

- LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON ASPHALT & YELLOW ON CONCRETE).
- PROPOSED NO PARKING STRIPING
- PROPOSED STORM SEWER SYSTEM
- PROPOSED FIRE PROTECTION SYSTEM
- PROPOSED TRASH ENCLOSURE. (REF. TO ARCHITECTURAL PLANS)
- PROPOSED WATER SERVICE SYSTEM
- PROPOSED GENERATOR
- PROPOSED TRANSFORMER PAD LOCATION
- PROPOSED SANITARY SEWER SYSTEM
- CITY OF LEE'S SUMMIT COMMERCIAL DRIVE ENTRANCE (GEN-1)
- PROPOSED COMMUNICATIONS TOWER LOCATION. PENDING FURTHER DESIGN.
- SITE RETAINING WALLS ARE DELEGATED DESIGN. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER/ARCHITECT REVIEW. PRODUCT - VERSA-LOK MOSAIC, COLOR BY ARCHITECT.
- PLANTER WALLS SPECIFIED BY ARCHITECT.
- HANDRAILS REQUIRED FOR ADA RAMP SPECIFIED BY ARCHITECT.
- PROPOSED FENCE TO CONNECT TO EXISTING FENCE ALONG NORTHERN PROPERTY LINE.

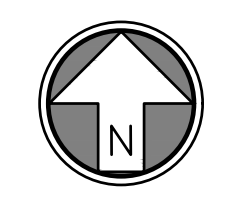
**SITE LEGEND**

- PARKING STALL COUNT
- PROPOSED BUILDING
- EXISTING BUILDING
- LIGHT DUTY ASPHALT PAVEMENT
- LIGHT DUTY PCC PAVEMENT
- CONCRETE SIDEWALK
- STANDARD CURB & GUTTER
- RETAINING WALL
- DRY CURB & GUTTER
- ZERO HEIGHT CURB
- TRANSITION CURB

**DETAILS**

SEE CONSTRUCTION DETAILS - SHEETS C7.0 - C7.3

- GEN-1 CONCRETE DRIVEWAY DETAIL
- GEN-4 CONCRETE CURB & GUTTER
- 004 MEDIUM DUTY ASPHALT PAVEMENT
- 006 MEDIUM DUTY PCC PAVEMENT
- 014 CONCRETE SIDEWALK SECTION
- 022 ADA PARKING SIGNAGE
- 040 AMERISTAR FENCE DETAIL
- 041 AMERISTAR GATE DETAIL



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEE'S SUMMIT, MO 64086

REVISION DATES:

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03	ADDENDUM 03	2024-11-18
04	ADDENDUM 04	2024-11-26

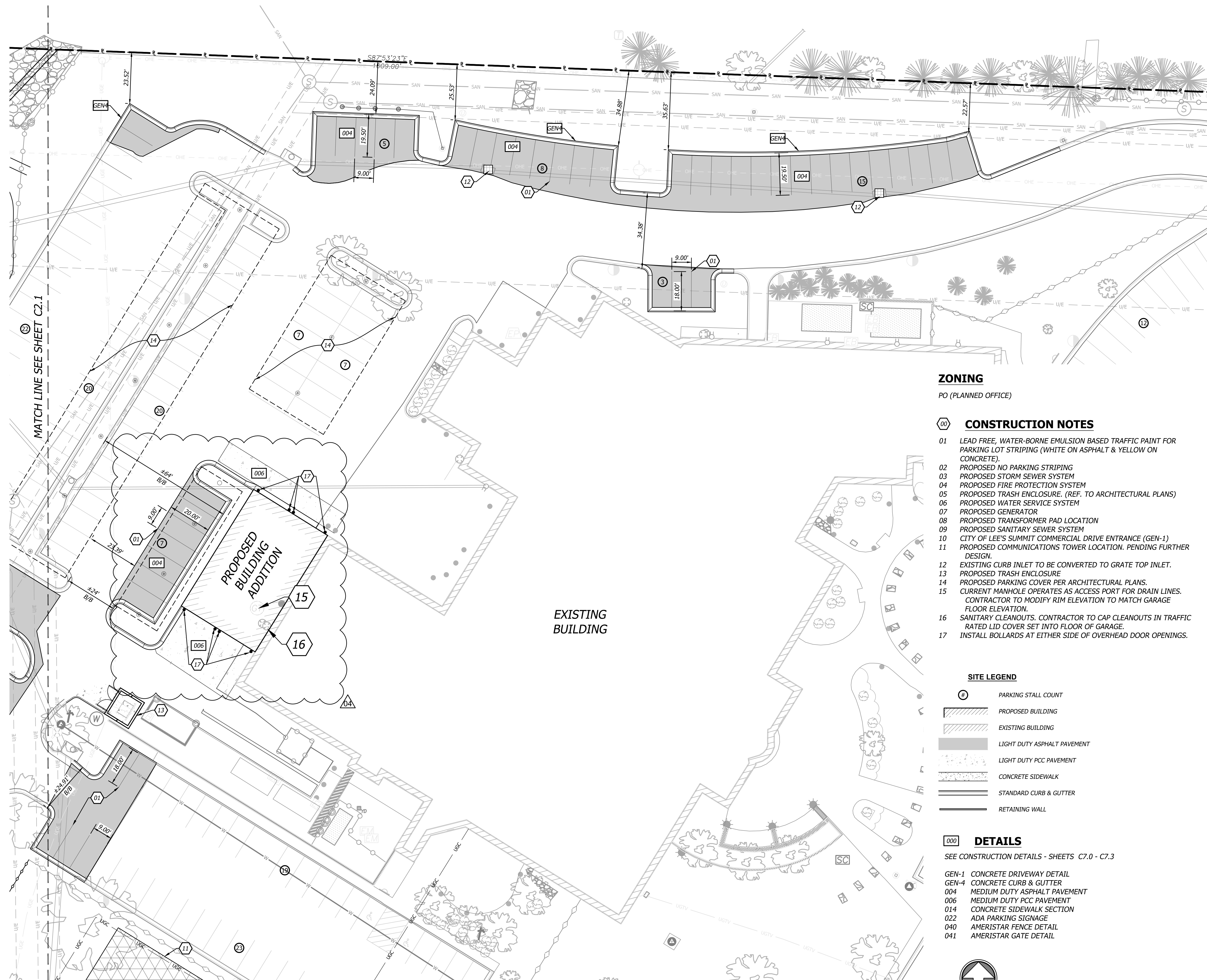


MICHAEL T. MAKRIS, PE  
 MO PE-2021033286

**C2.2**

ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

SITE PLAN



**ZONING**

PO (PLANNED OFFICE)

**CONSTRUCTION NOTES**

- 01 LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON ASPHALT & YELLOW ON CONCRETE).
- 02 PROPOSED NO PARKING STRIPING
- 03 PROPOSED STORM SEWER SYSTEM
- 04 PROPOSED FIRE PROTECTION SYSTEM
- 05 PROPOSED TRASH ENCLOSURE. (REF. TO ARCHITECTURAL PLANS)
- 06 PROPOSED WATER SERVICE SYSTEM
- 07 PROPOSED GENERATOR
- 08 PROPOSED TRANSFORMER PAD LOCATION
- 09 PROPOSED SANITARY SEWER SYSTEM
- 10 CITY OF LEE'S SUMMIT COMMERCIAL DRIVE ENTRANCE (GEN-1)
- 11 PROPOSED COMMUNICATIONS TOWER LOCATION. PENDING FURTHER DESIGN.
- 12 EXISTING CURB INLET TO BE CONVERTED TO GRATE TOP INLET.
- 13 PROPOSED TRASH ENCLOSURE
- 14 PROPOSED PARKING COVER PER ARCHITECTURAL PLANS.
- 15 CURRENT MANHOLE OPERATES AS ACCESS PORT FOR DRAIN LINES. CONTRACTOR TO MODIFY RIM ELEVATION TO MATCH GARAGE FLOOR ELEVATION.
- 16 SANITARY CLEANOUTS. CONTRACTOR TO CAP CLEANOUTS IN TRAFFIC RATED LID COVER SET INTO FLOOR OF GARAGE.
- 17 INSTALL BOLLARDS AT EITHER SIDE OF OVERHEAD DOOR OPENINGS.

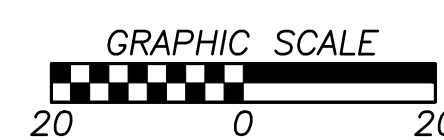
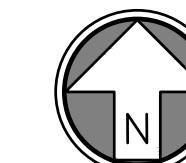
**SITE LEGEND**

- (P) PARKING STALL COUNT
- [Hatched Box] PROPOSED BUILDING
- [Solid Box] EXISTING BUILDING
- [Dotted Box] LIGHT DUTY ASPHALT PAVEMENT
- [Dotted Box] LIGHT DUTY PCC PAVEMENT
- [Dotted Box] CONCRETE SIDEWALK
- [Line] STANDARD CURB & GUTTER
- [Line] RETAINING WALL

**DETAILS**

SEE CONSTRUCTION DETAILS - SHEETS C7.0 - C7.3

- GEN-1 CONCRETE DRIVEWAY DETAIL
- GEN-4 CONCRETE CURB & GUTTER
- 004 MEDIUM DUTY ASPHALT PAVEMENT
- 006 MEDIUM DUTY PCC PAVEMENT
- 014 CONCRETE SIDEWALK SECTION
- 022 ADA PARKING SIGNAGE
- 040 AMERISTAR FENCE DETAIL
- 041 AMERISTAR GATE DETAIL



MATCH LINE SEE SHEET C2.1

PROPOSED BUILDING ADDITION

EXISTING BUILDING



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**  
 10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

REVISION DATES:  
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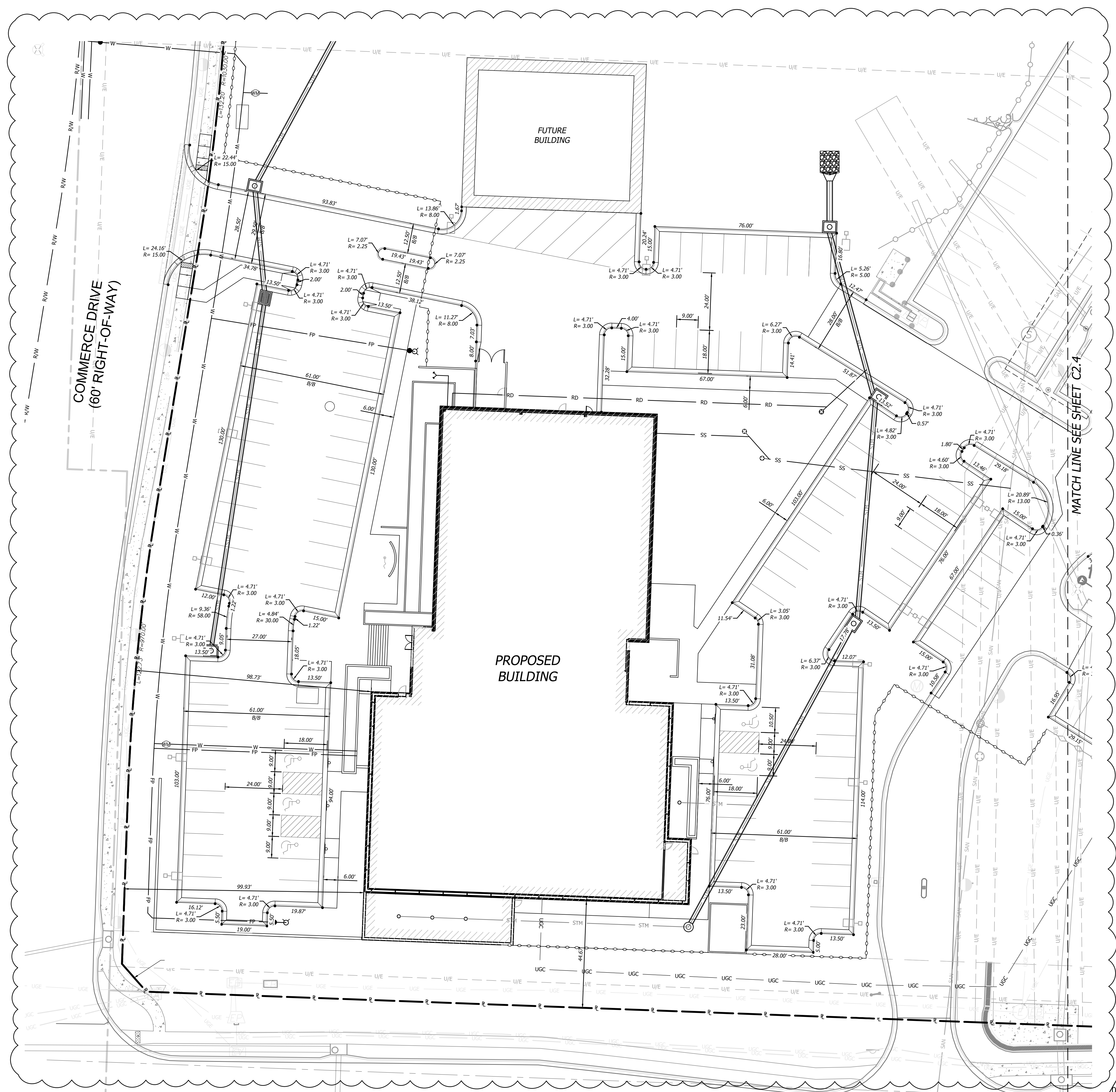
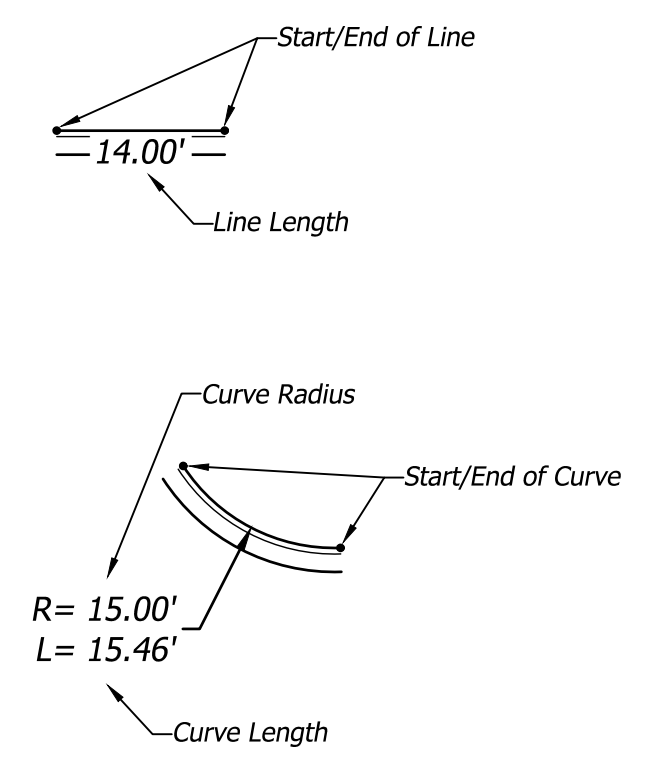
MICHAEL T. MAKRIS, PE  
 MO PE-2021033286

**C2.3**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

**DIMENSION NOTES**

- All dimensions are to/along back of curb unless otherwise noted.
- All dimensions are to bottom of wall unless otherwise noted.

**DIMENSION LEGEND**



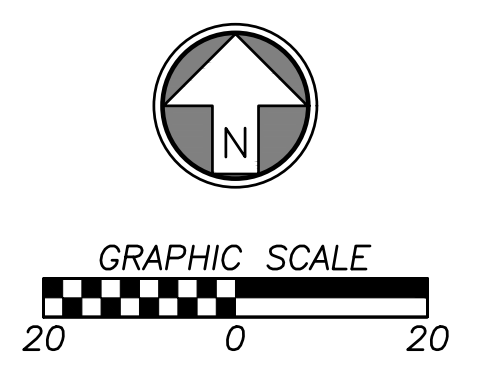
COMMERCE DRIVE  
 (60' RIGHT-OF-WAY)

FUTURE BUILDING

PROPOSED BUILDING

NE TUDOR RD.  
 (VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE SEE SHEET C2.4



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

REVISION DATES:

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02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18



MICHAEL T. MAKRIS, PE  
 MO PE-202103286

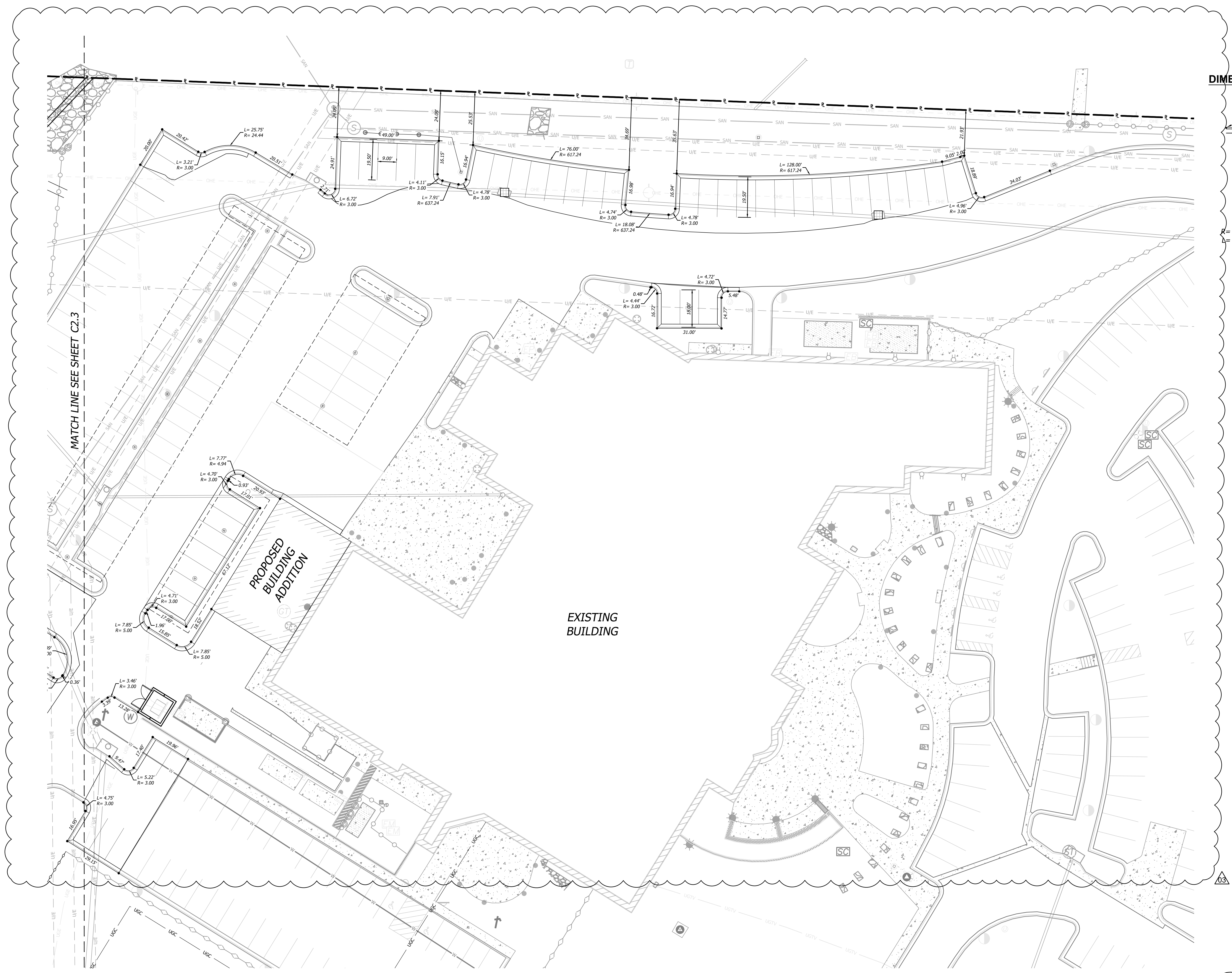
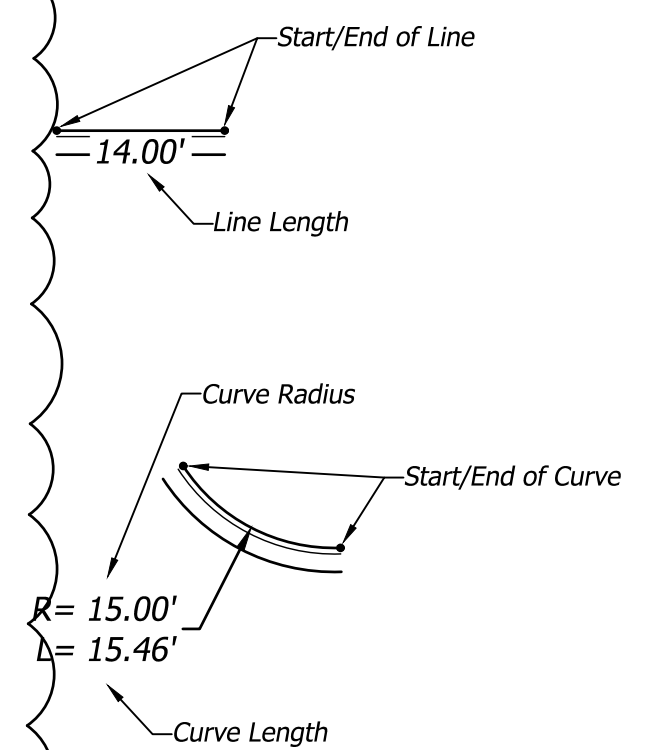
**C2.4**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

DIMENSION PLAN

**DIMENSION NOTES**

- All dimensions are to/along back of curb unless otherwise noted.
- All dimensions are to bottom of wall unless otherwise noted.

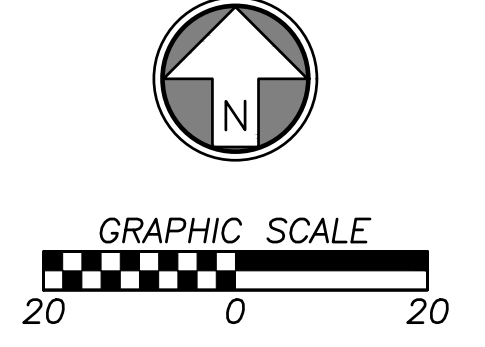
**DIMENSION LEGEND**



MATCH LINE SEE SHEET C2.3

PROPOSED BUILDING ADDITION

EXISTING BUILDING



REVISION DATES:

01	ADDENDUM 01	2024-08-20
02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18

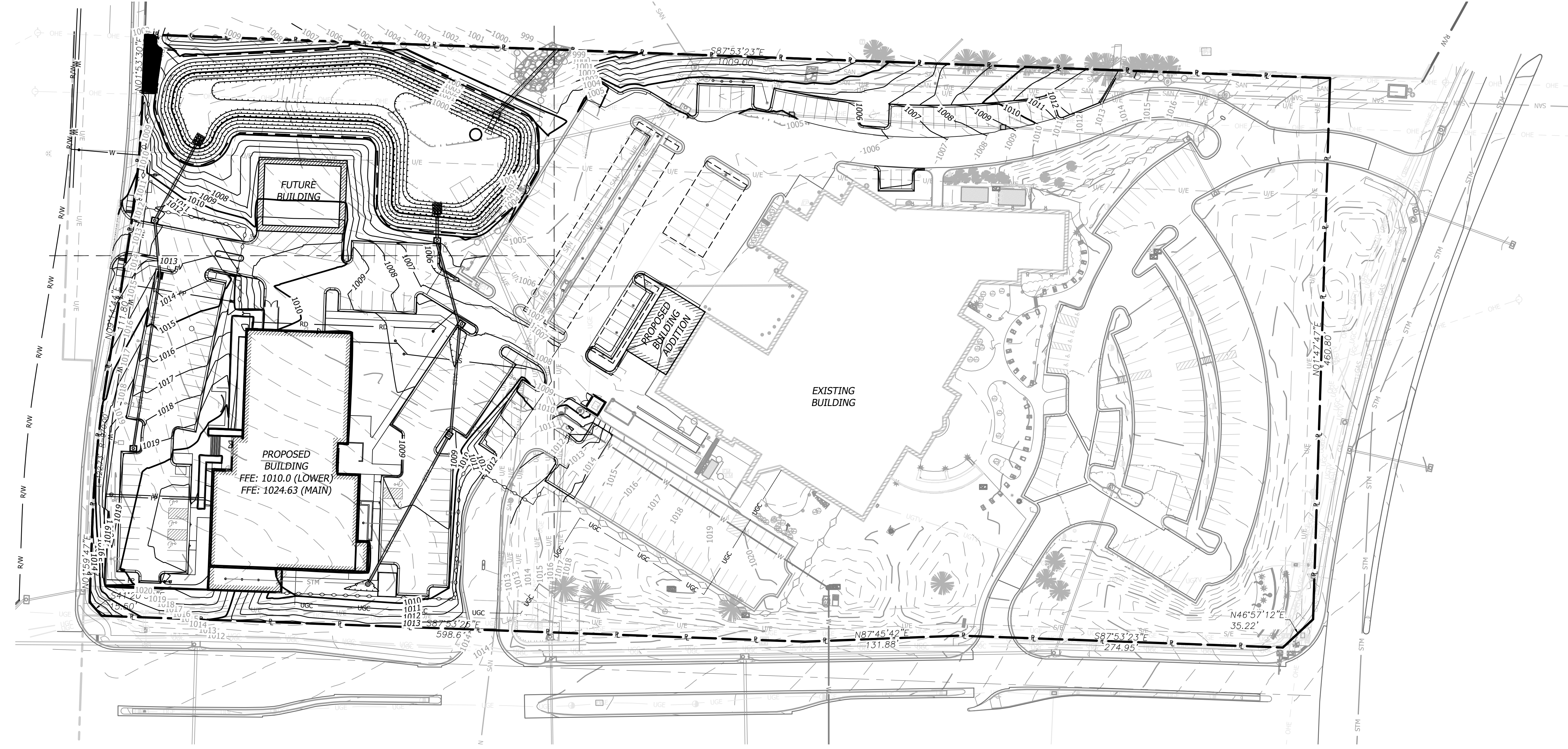


MICHAEL T. MAKRIS, PE  
 MO PE-202103286

**C3.0**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

**GRADING GENERAL NOTES**

- Contractor shall obtain a copy of the *Geotechnical Services Report*, prepared for the project and satisfy himself as to the existing conditions and recommendations contained in the report.
- As discussed in the Geotechnical Report, over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Missouri. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the on-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the geotechnical engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the Engineer and the on-site geotechnical representative. Areas that display rutting or pumping that are unsatisfactory to the engineer shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2.0% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.



**BENCHMARKS** (DATUM: NAVD88)

BENCHMARK NUMBER: 1  
 ELEVATION= 1015.01

CHISELED SQUARE ON THE NORTH FACE OF A GRATE INLET, LOCATED ON THE SOUTH SIDE OF TUDOR ROAD, APPROXIMATELY 425 FEET EAST OF THE INTERSECTION OF TUDOR ROAD AND SLOAN STREET.

BENCHMARK NUMBER: 2  
 ELEVATION= 1031.01

CHISELED SQUARE ON THE NORTHWEST CORNER OF A PEDESTRIAN CROSSING SIGNAL, LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF TUDOR ROAD AND DOUGLAS STREET.

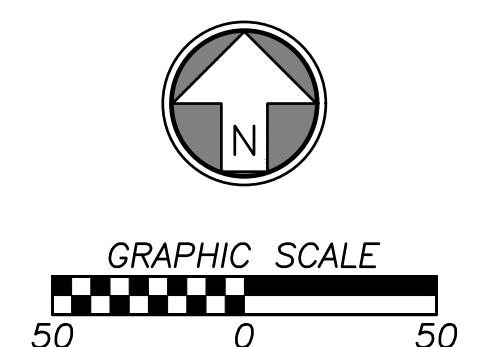
**FLOOD STATEMENT**

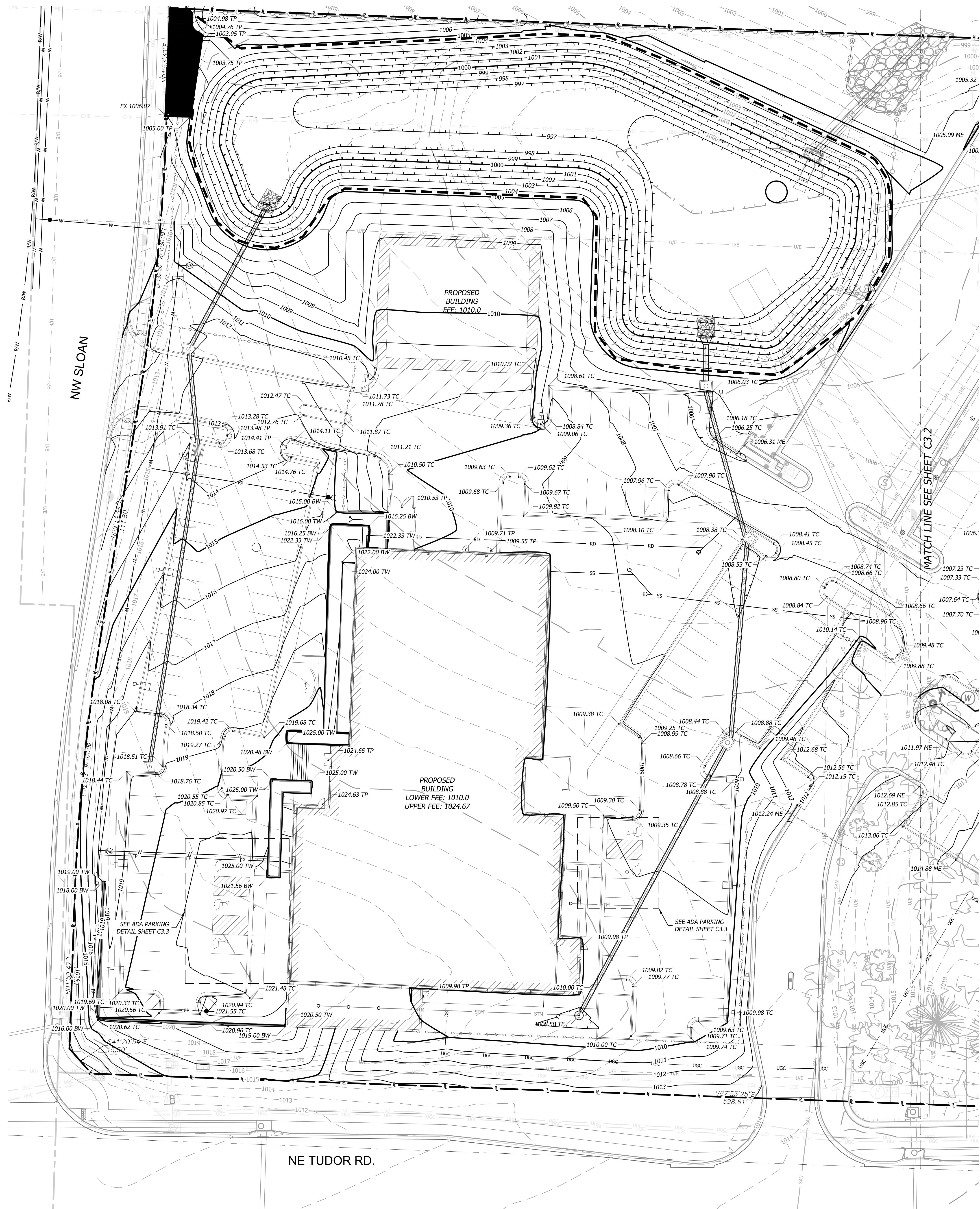
The subject property lies within Flood Zone "X" (unshaded) (Areas determined to be outside the 0.2% annual chance floodplain), as shown on the Jackson County, Missouri and Incorporated Areas Flood Insurance Rate Map (F.I.R.M.).  
 Map Number: 29095C0417G  
 Panel No: 417 of 625  
 Map Revised Date: January 20, 2017

**NOTE:** This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information was derived by scaling the subject property on the above referenced map.

**GRADING LEGEND**

	980	FINISH GRADE MAJOR CONTOURS
	982	FINISH GRADE MINOR CONTOURS
	980	EXISTING GRADE MAJOR CONTOURS
	982	EXISTING GRADE MINOR CONTOURS
	P	PROPERTY LINE
	R/W	RIGHT-OF-WAY LINE
		STANDARD CURB & GUTTER
		DRY CURB & GUTTER
		ZERO HEIGHT CURB
		TRANSITION CURB
		RETAINING WALL





**DETAILED GRADING LEGEND**

- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT AT SPECIFIC CALLOUT
- 0000.00 XX LOW POINT AT SPECIFIC CALLOUT
- 1.00% SLOPE INDICATOR

**HOEFER WELKER**  
 4622 PENNSYLVANIA AVENUE  
 SUITE 1400  
 KANSAS CITY, MO 64112  
 P: 913.307.3700  
 www.hoeferwelker.com  
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**RHC**  
CIVIL ENGINEERING / SURVEYING / UTILITIES  
 7101 College Blvd., Suite 400  
 Overland Park, Kansas 66210  
 p. (913) 663-1900  
RHC is a member of the Regener Group of Companies, PA

**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

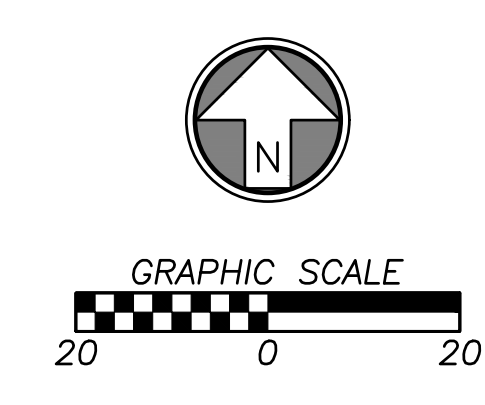
REVISION DATES:

01	ADDENDUM 01	2024-08-20
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03	ADDENDUM 03	2024-11-18



MICHAEL T. MAKRIS, PE  
 MO PE-20241032986

**C3.1**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161



**DETAILED GRADING PLAN**

**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

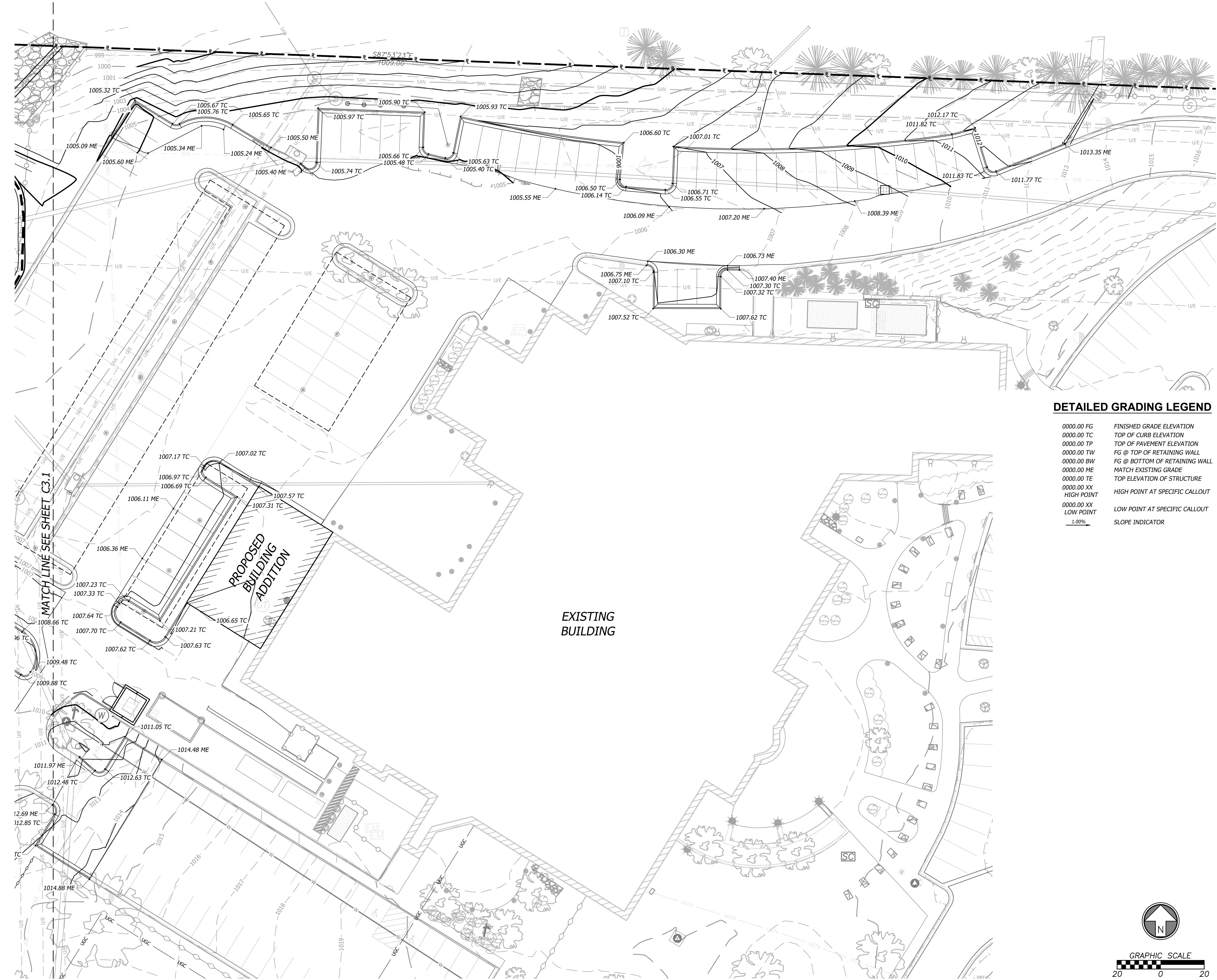
REVISION DATES:  
 01 ADDENDUM 01 2024-08-20  
 02 ADDENDUM 02 2024-10-30  
 03 ADDENDUM 03 2024-11-18



MICHAEL T. MAKRIS, PE  
 MO PE-202103286

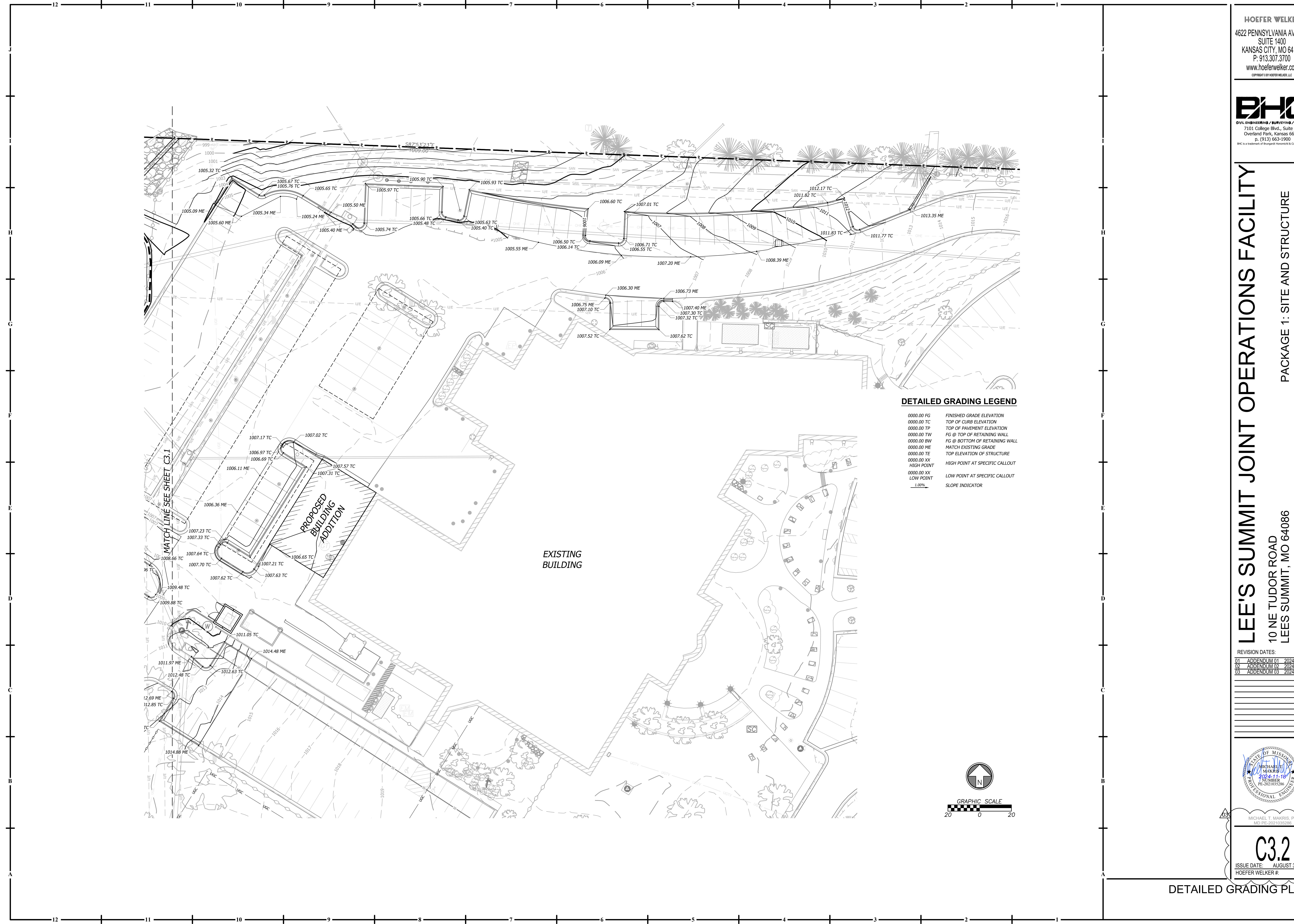
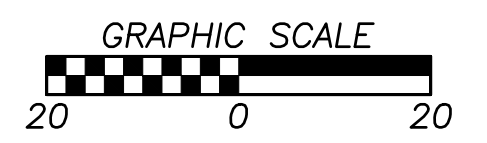
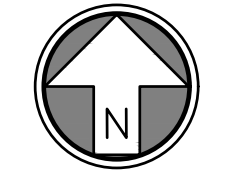
**C3.2**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

DETAILED GRADING PLAN



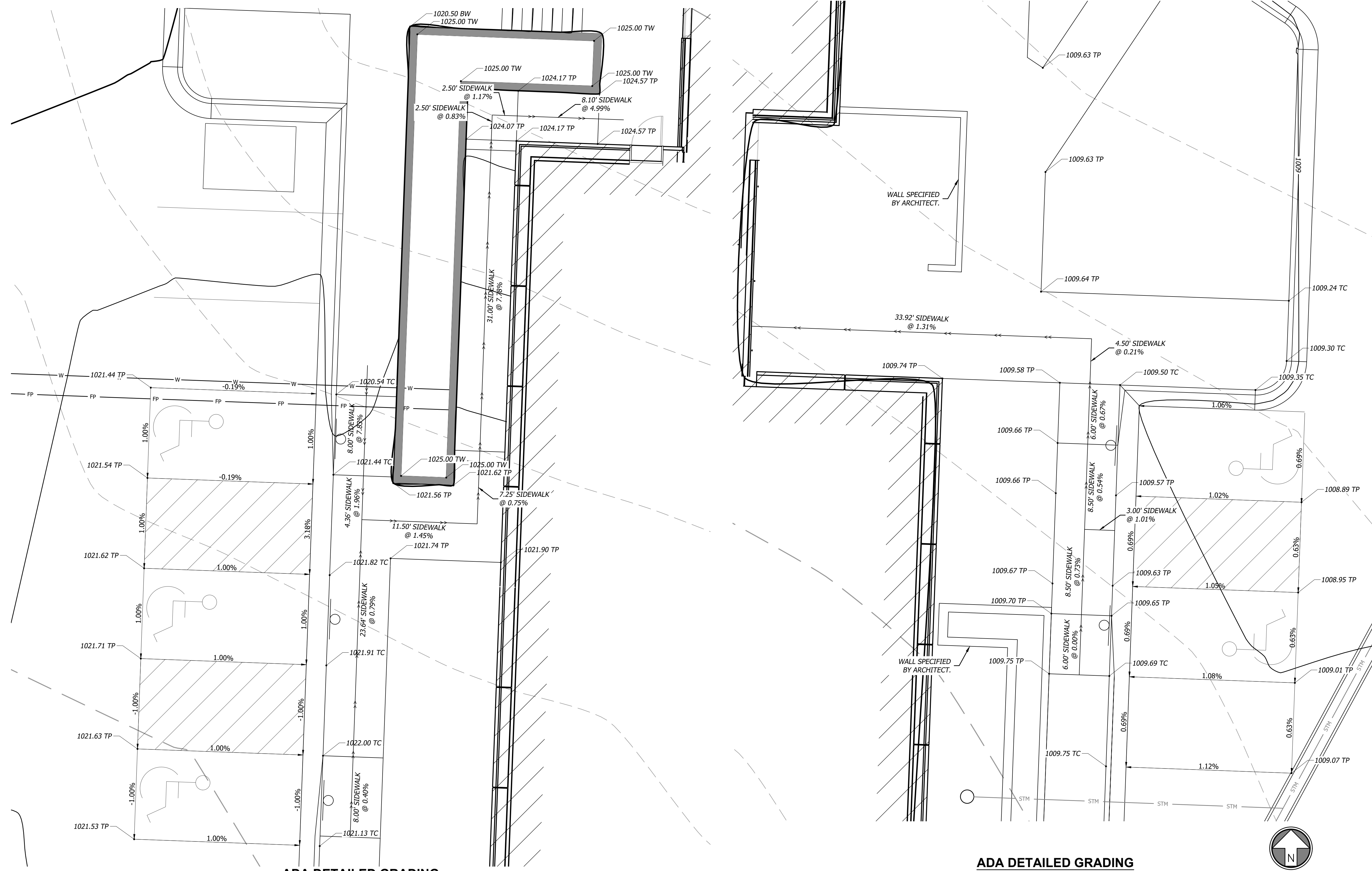
**DETAILED GRADING LEGEND**

- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TW FG @ TOP OF RETAINING WALL
- 0000.00 BW FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT
- 0000.00 XX LOW POINT
- 1.00% SLOPE INDICATOR



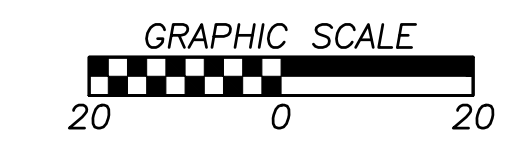
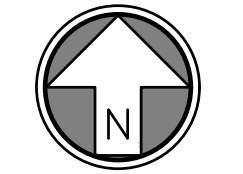
**DETAILED GRADING LEGEND**

0000.00 FG	FINISHED GRADE ELEVATION
0000.00 TC	TOP OF CURB ELEVATION
0000.00 TP	TOP OF PAVEMENT ELEVATION
0000.00 TW	FG @ TOP OF RETAINING WALL
0000.00 BW	FG @ BOTTOM OF RETAINING WALL
0000.00 ME	MATCH EXISTING GRADE
0000.00 TE	TOP ELEVATION OF STRUCTURE
0000.00 XX	HIGH POINT AT SPECIFIC CALLOUT
0000.00 YY	LOW POINT AT SPECIFIC CALLOUT
1.00%	SLOPE INDICATOR



**ADA DETAILED GRADING**

**ADA DETAILED GRADING**



REVISION DATES:

01	ADDENDUM 01	2024-08-20
02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18

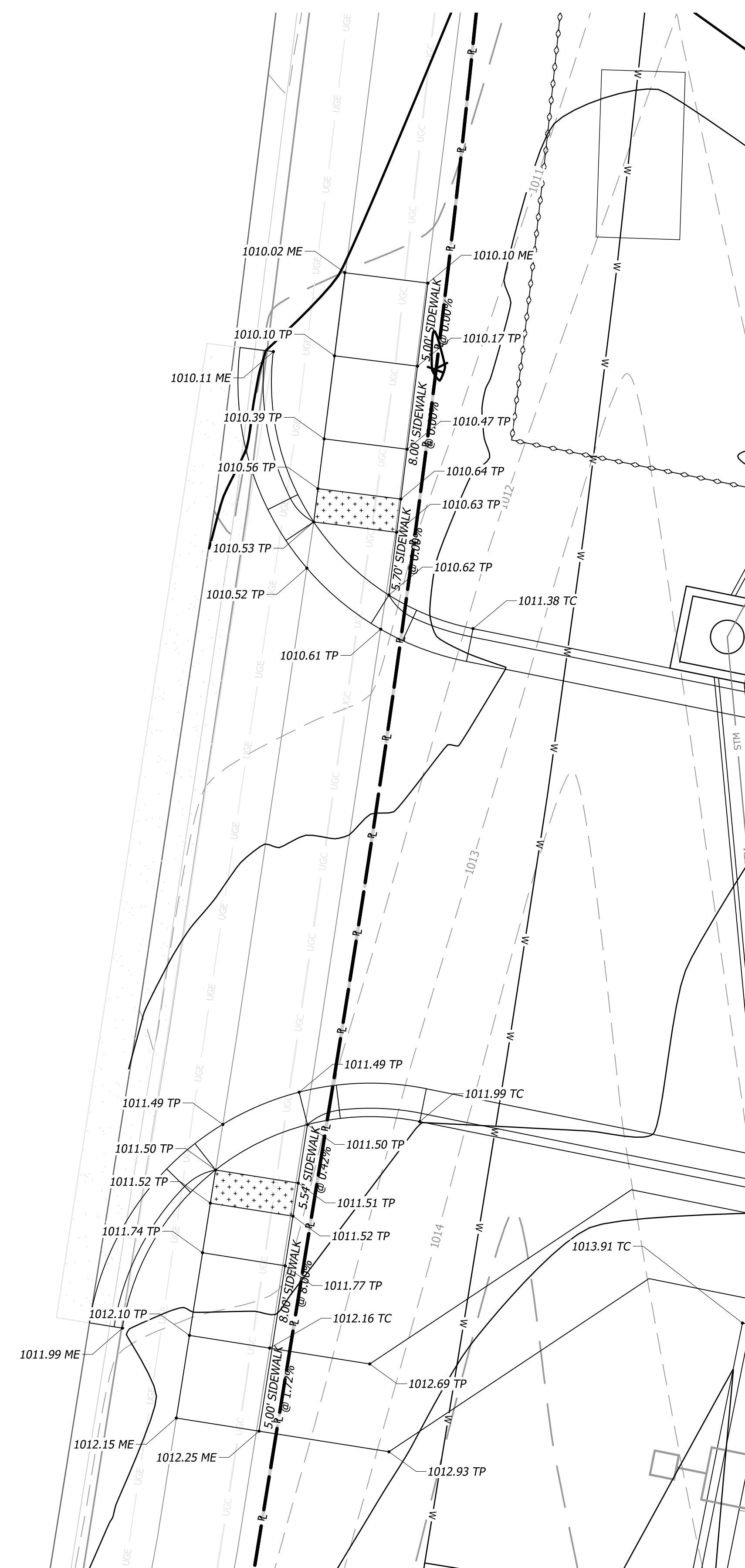



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 MO PE-2021032386

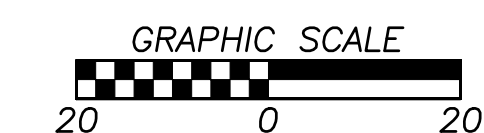
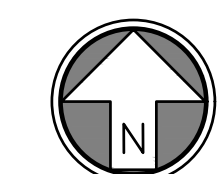
**C3.3**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

**DETAILED GRADING LEGEND**

- 0000.00 FG FINISHED GRADE ELEVATION
- 0000.00 TC TOP OF CURB ELEVATION
- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 TIV TOP OF RETAINING WALL
- 0000.00 BV FG @ BOTTOM OF RETAINING WALL
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 TE TOP ELEVATION OF STRUCTURE
- 0000.00 XX HIGH POINT
- 0000.00 XX LOW POINT
- 1.00% SLOPE INDICATOR



**ADA DETAILED GRADING - CROSSWALK**



**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

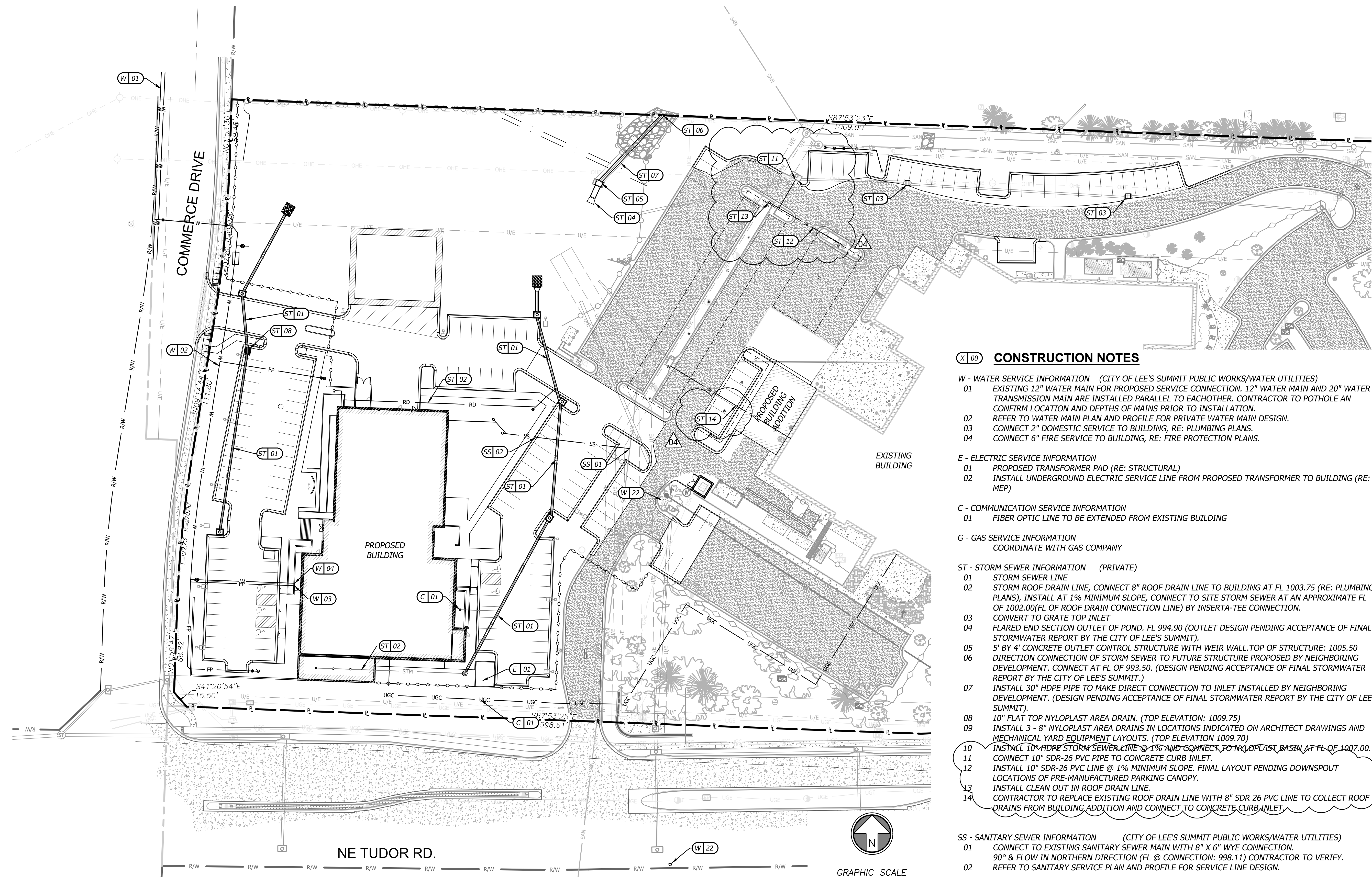
REVISION DATES:

01	ADDENDUM 01	2024-08-20
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03	ADDENDUM 03	2024-11-18



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**C3.4**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161



**CONSTRUCTION NOTES**

- W - WATER SERVICE INFORMATION (CITY OF LEE'S SUMMIT PUBLIC WORKS/WATER UTILITIES)**
- 01 EXISTING 12" WATER MAIN FOR PROPOSED SERVICE CONNECTION. 12" WATER MAIN AND 20" WATER TRANSMISSION MAIN ARE INSTALLED PARALLEL TO EACH OTHER. CONTRACTOR TO POTHOLE AN CONFIRM LOCATION AND DEPTHS OF MAINS PRIOR TO INSTALLATION.
  - 02 REFER TO WATER MAIN PLAN AND PROFILE FOR PRIVATE WATER MAIN DESIGN.
  - 03 CONNECT 2" DOMESTIC SERVICE TO BUILDING, RE: PLUMBING PLANS.
  - 04 CONNECT 6" FIRE SERVICE TO BUILDING, RE: FIRE PROTECTION PLANS.
- E - ELECTRIC SERVICE INFORMATION**
- 01 PROPOSED TRANSFORMER PAD (RE: STRUCTURAL)
  - 02 INSTALL UNDERGROUND ELECTRIC SERVICE LINE FROM PROPOSED TRANSFORMER TO BUILDING (RE: MEP)
- C - COMMUNICATION SERVICE INFORMATION**
- 01 FIBER OPTIC LINE TO BE EXTENDED FROM EXISTING BUILDING
- G - GAS SERVICE INFORMATION**
- COORDINATE WITH GAS COMPANY
- ST - STORM SEWER INFORMATION (PRIVATE)**
- 01 STORM SEWER LINE
  - 02 STORM ROOF DRAIN LINE, CONNECT 8" ROOF DRAIN LINE TO BUILDING AT FL 1003.75 (RE: PLUMBING PLANS), INSTALL AT 1% MINIMUM SLOPE, CONNECT TO SITE STORM SEWER AT AN APPROXIMATE FL OF 1002.00 (FL OF ROOF DRAIN CONNECTION LINE) BY INSERTA-TEE CONNECTION.
  - 03 CONVERT TO GRATE TOP INLET
  - 04 FLARED END SECTION OUTLET OF POND, FL 994.90 (OUTLET DESIGN PENDING ACCEPTANCE OF FINAL STORMWATER REPORT BY THE CITY OF LEE'S SUMMIT).
  - 05 5' BY 4' CONCRETE OUTLET CONTROL STRUCTURE WITH WEIR WALL, TOP OF STRUCTURE: 1005.50
  - 06 DIRECTION CONNECTION OF STORM SEWER TO FUTURE STRUCTURE PROPOSED BY NEIGHBORING DEVELOPMENT. CONNECT AT FL OF 993.50. (DESIGN PENDING ACCEPTANCE OF FINAL STORMWATER REPORT BY THE CITY OF LEE'S SUMMIT.)
  - 07 INSTALL 30" HDPE PIPE TO MAKE DIRECT CONNECTION TO INLET INSTALLED BY NEIGHBORING DEVELOPMENT. (DESIGN PENDING ACCEPTANCE OF FINAL STORMWATER REPORT BY THE CITY OF LEE'S SUMMIT).
  - 08 10" FLAT TOP NYLOPLAST AREA DRAIN. (TOP ELEVATION: 1009.75)
  - 09 INSTALL 3 - 8" NYLOPLAST AREA DRAINS IN LOCATIONS INDICATED ON ARCHITECT DRAWINGS AND MECHANICAL YARD EQUIPMENT LAYOUTS. (TOP ELEVATION 1009.70)
  - 10 INSTALL 10" HDPE STORM SEWER LINE @ 1% AND CONNECT TO NYLOPLAST BASIN AT FL OF 1007.00.
  - 11 CONNECT 10" SDR-26 PVC PIPE TO CONCRETE CURB INLET.
  - 12 INSTALL 10" SDR-26 PVC LINE @ 1% MINIMUM SLOPE. FINAL LAYOUT PENDING DOWNSPOUT LOCATIONS OF PRE-MANUFACTURED PARKING CANOPY.
  - 13 INSTALL CLEAN OUT IN ROOF DRAIN LINE.
  - 14 CONTRACTOR TO REPLACE EXISTING ROOF DRAIN LINE WITH 8" SDR 26 PVC LINE TO COLLECT ROOF DRAINS FROM BUILDING ADDITION AND CONNECT TO CONCRETE CURB INLET.
- SS - SANITARY SEWER INFORMATION (CITY OF LEE'S SUMMIT PUBLIC WORKS/WATER UTILITIES)**
- 01 CONNECT TO EXISTING SANITARY SEWER MAIN WITH 8" X 6" WYE CONNECTION.
  - 02 90° & FLOW IN NORTHERN DIRECTION (FL @ CONNECTION: 998.11) CONTRACTOR TO VERIFY. REFER TO SANITARY SERVICE PLAN AND PROFILE FOR SERVICE LINE DESIGN.

**UTILITY NOTES**

1. Contractor shall refer to all specifications, guidelines, and installation drawings from utility contacts for the installation of all service lines.
2. The information shown on these plans concerning the type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation and for making his own verification as to type and location of underground utilities as may be necessary to avoid damage thereto.
3. Contractor to ensure 18" minimum separation between utilities at crossings. Contractor to call engineer if any conflicts between utilities are found.
4. Fire Line Notes:
  - 4.1. All private fire lines shall be installed in accordance with NFPA 24, and other applicable codes and standards.
  - 4.2. Contact the Fire Department to schedule inspections prior to private fire lines being backfilled.
  - 4.3. Contact the Fire Department to witness scheduled hydrostatic tests and flushes of private fire lines.
5. Stub all connections to within 5' of the building to provide connection into the building by mechanical/plumbing contractor.

**ROOF DRAIN LEGEND**

- RD PROPOSED ROOF LINE DRAIN
- SS PROPOSED STORM SEWER LINE
- R/W RIGHT-OF-WAY LINE
- PL PROPERTY LINE
- W PROPOSED WATER LINE
- SS PROPOSED SANITARY SEWER LINE
- GAS PROPOSED NATURAL GAS LINE



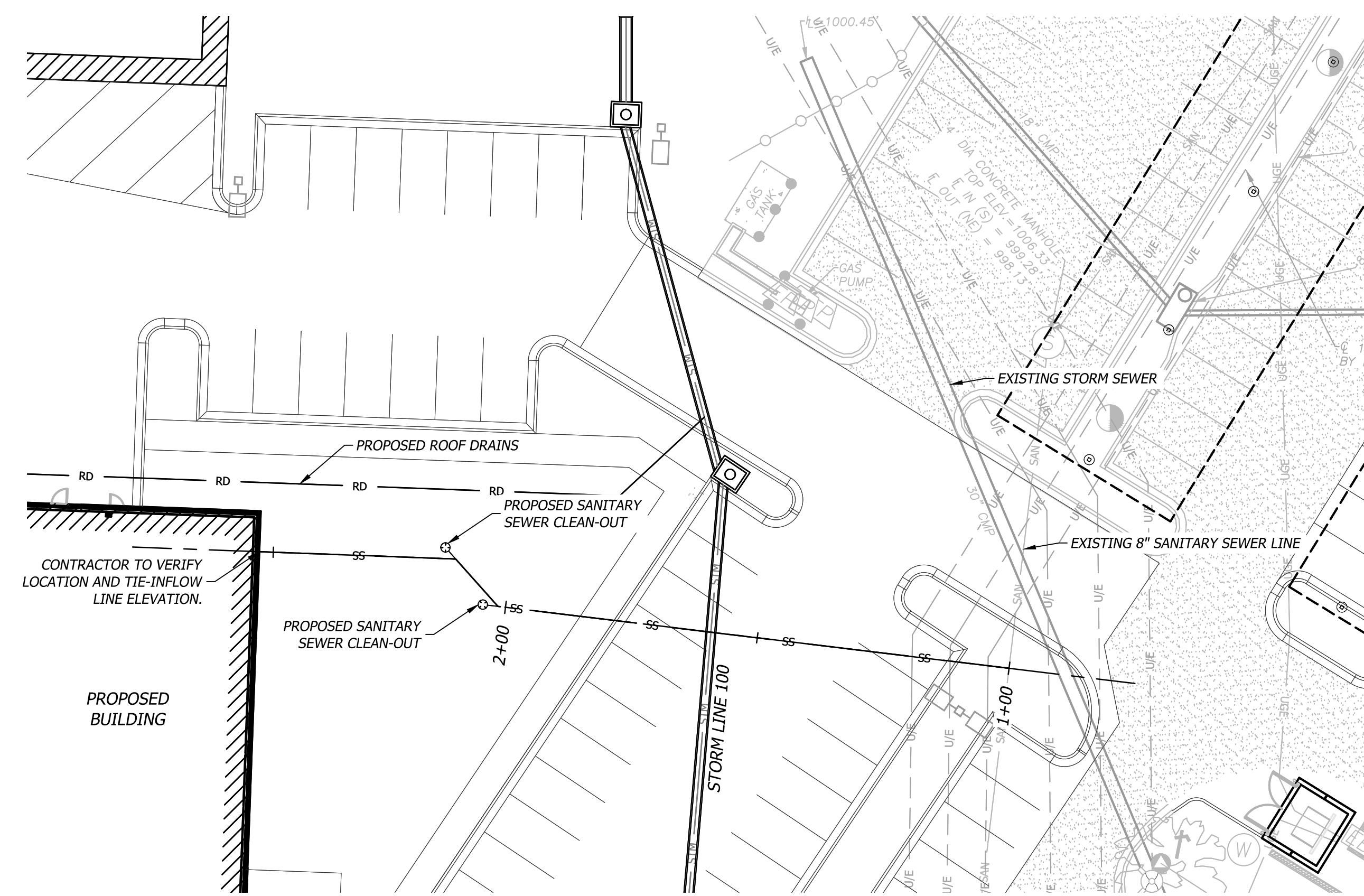
REVISION DATES:

01	ADDENDUM 01	2024-08-20
02	ADDENDUM 02	2024-10-30
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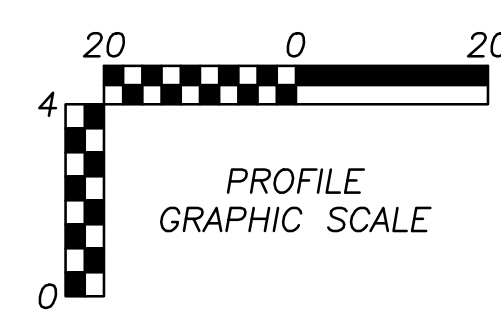
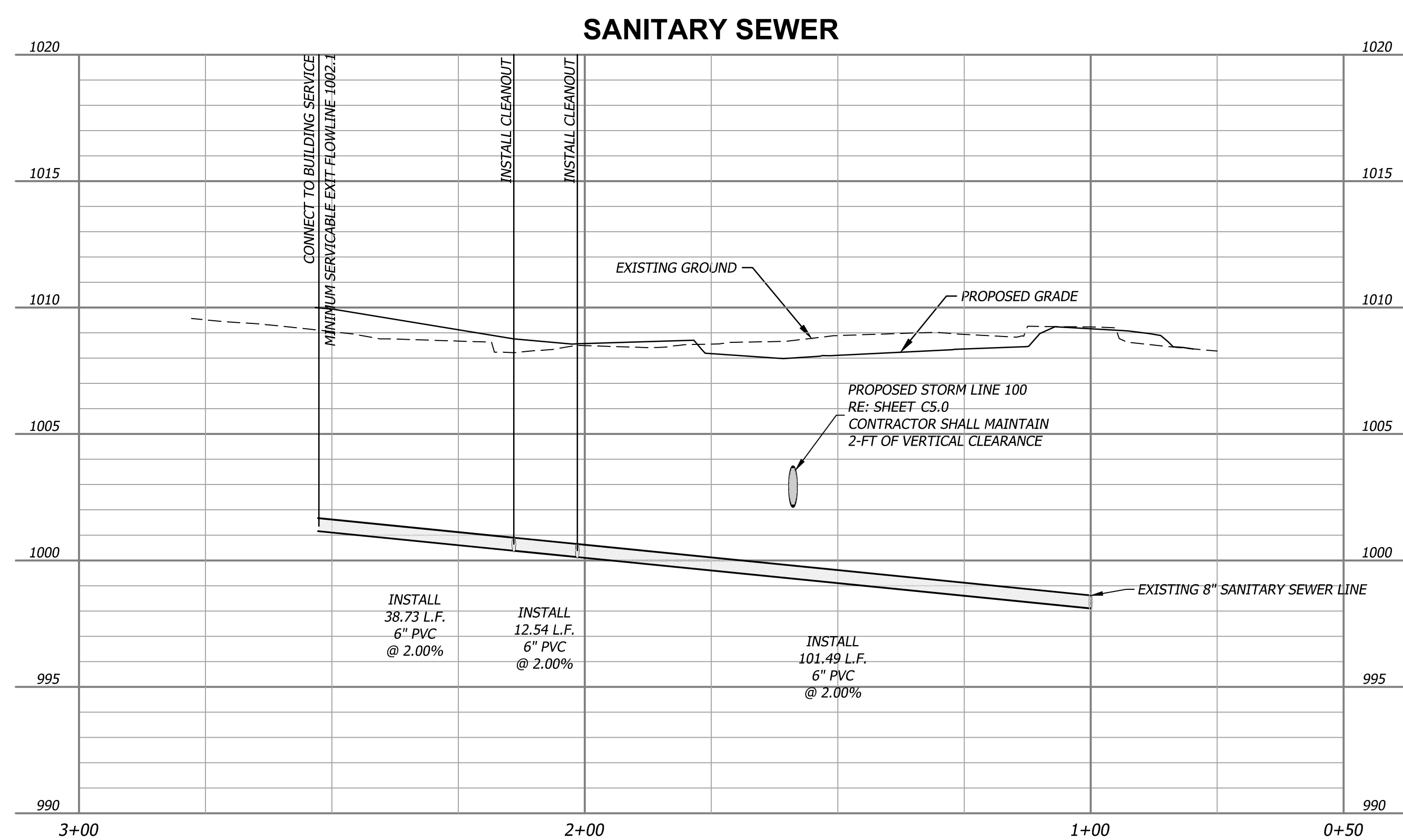
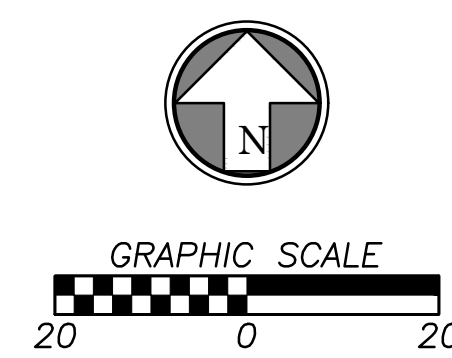
MICHAEL T. MAKRIS, PE  
 MO PE-2021033286

**C4.1**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161



**STORM NOTE**

All Northings, Eastings, and alignment stationing for storm structures are to center of structure unless stated otherwise.



**SANITARY PROFILE NOTE**

SANITARY PROFILE IS BASED ON MINIMUM SERVICEABLE ELEVATION FOR EXIT OF BUILDING SERVICE. CONTRACTOR SHALL MAINTAIN FIELD REDLINES OF CONSTRUCTED ELEVATIONS.

**LEE'S SUMMIT JOINT OPERATIONS FACILITY**

PACKAGE 1: SITE AND STRUCTURE

10 NE TUDOR ROAD  
 LEES SUMMIT, MO 64086

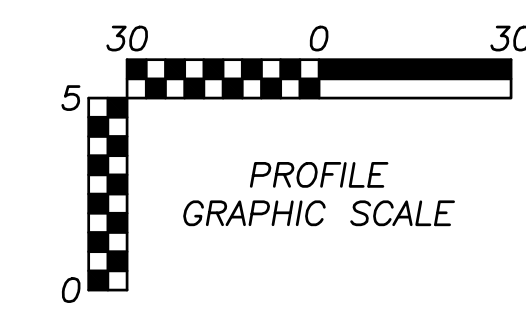
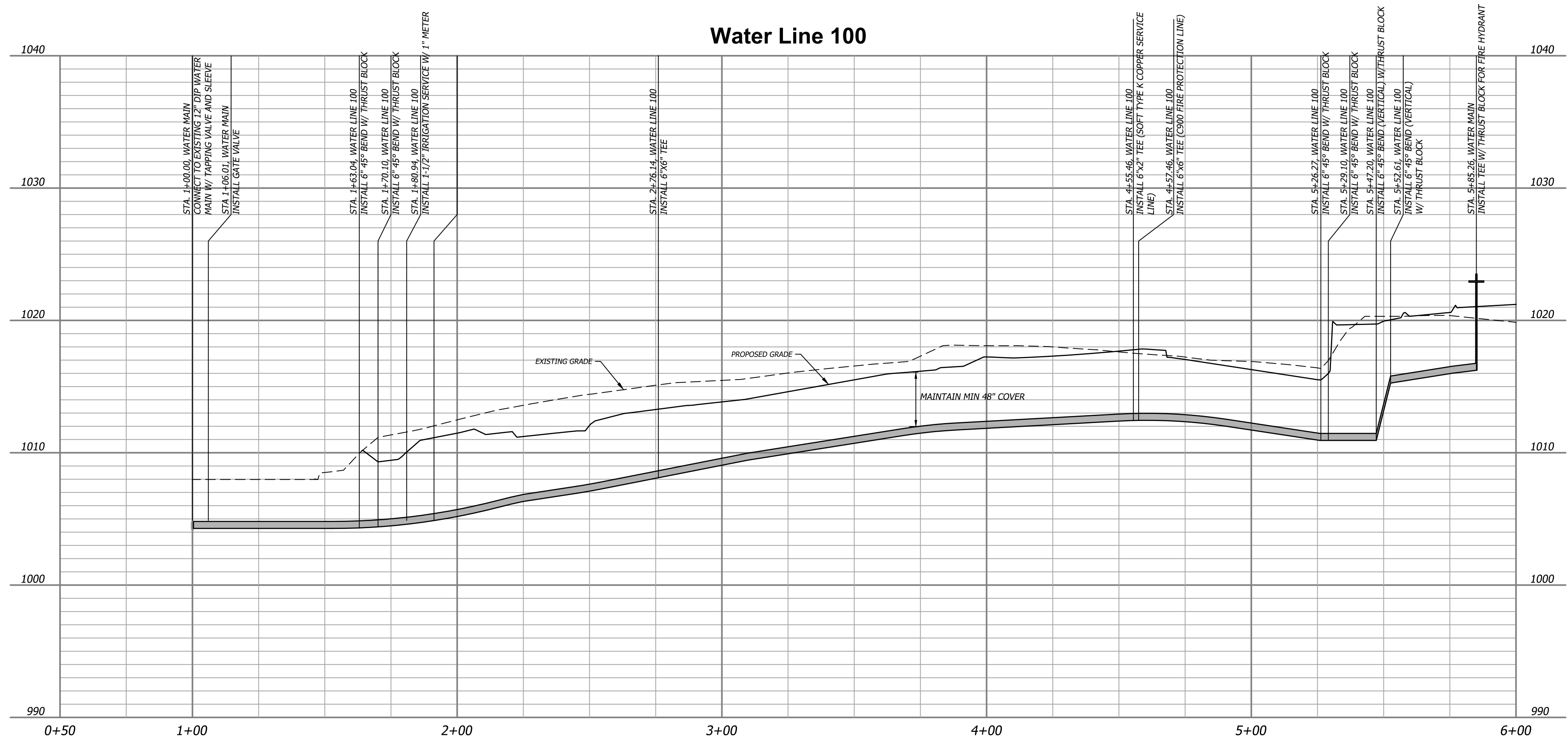
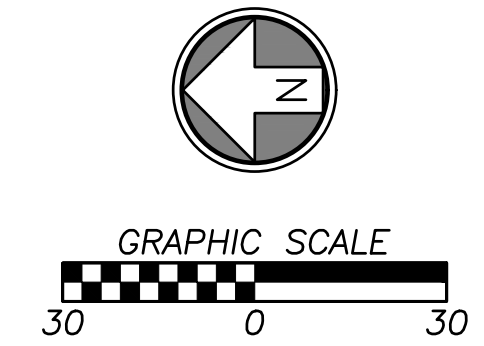
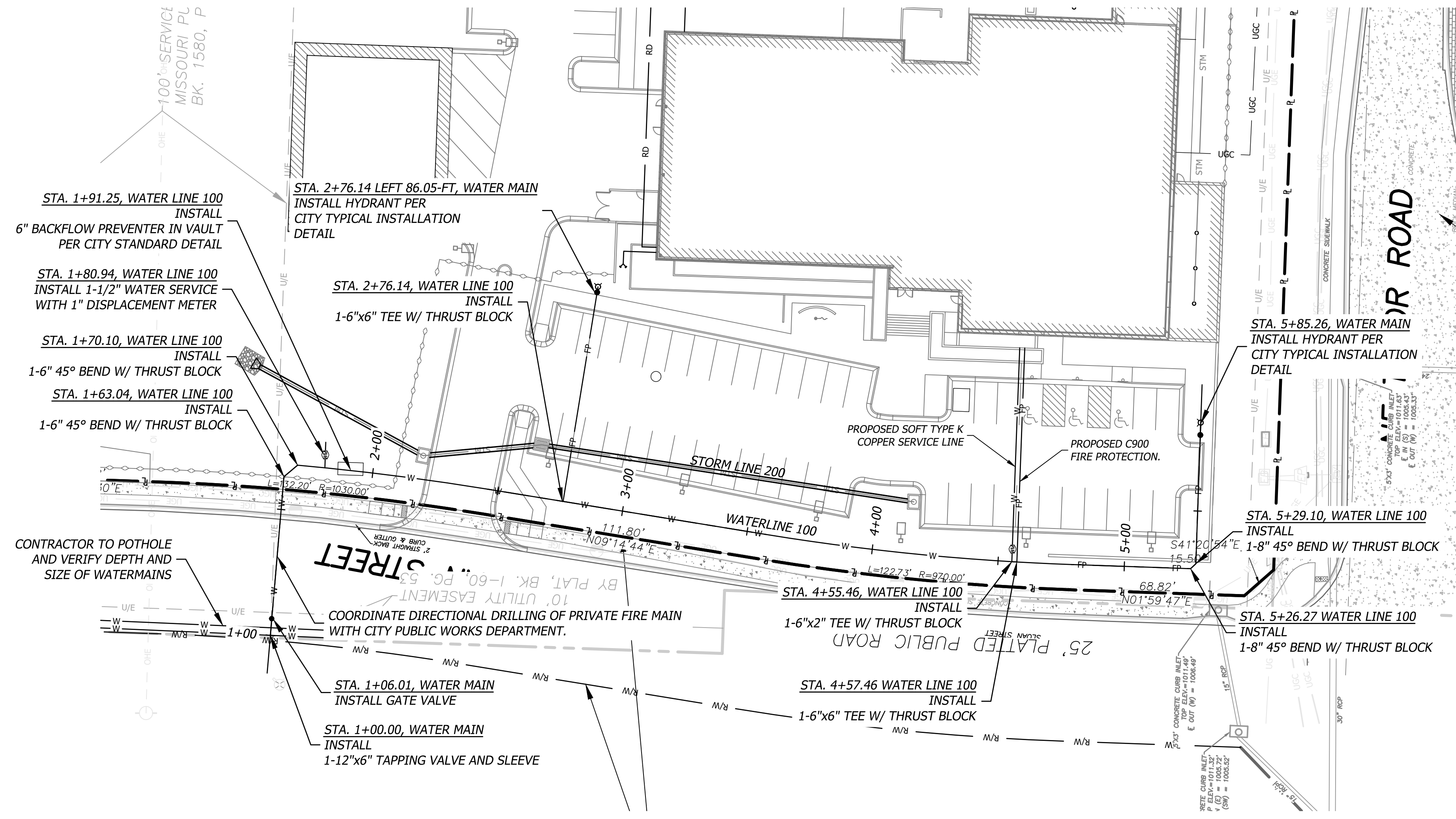
REVISION DATES:

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03	ADDENDUM 03	2024-11-18



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 MO PE-202401033286

**C4.2**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161



REVISION DATES:

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02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18



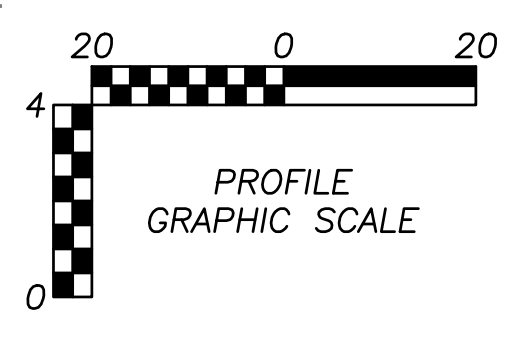
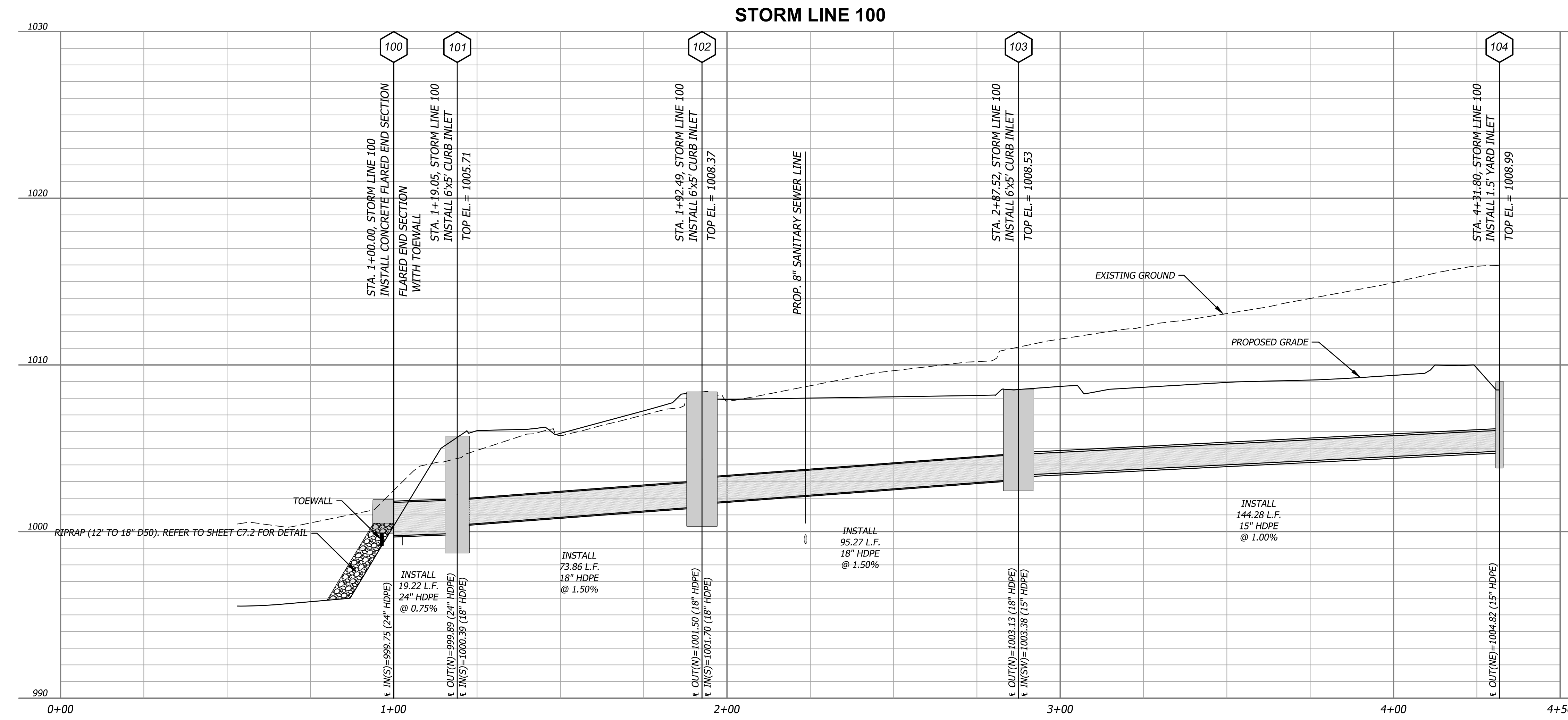
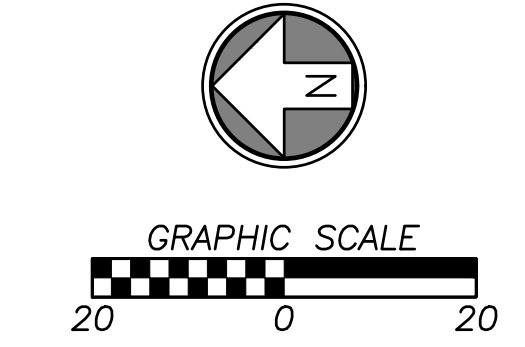
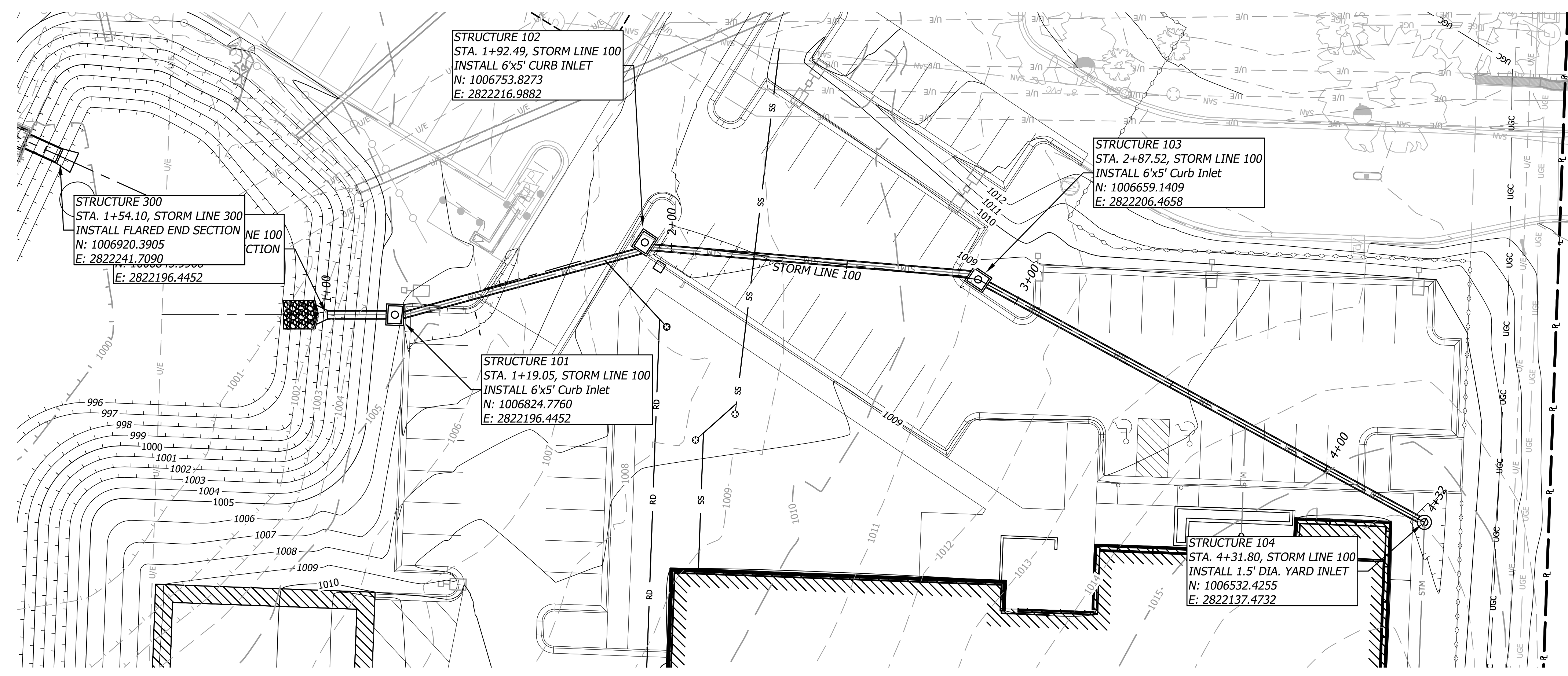
MICHAEL T. MAKRIS, PE  
 MO PE-2021033286

**C5.0**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

PACKAGE 1: SITE AND STRUCTURE

**STORM NOTE**

All Northings, Eastings, and alignment stationing for storm structures are to center of structure unless stated otherwise.



REVISION DATES:

01	ADDENDUM 01	2024-08-20
02	ADDENDUM 02	2024-10-30
03	ADDENDUM 03	2024-11-18

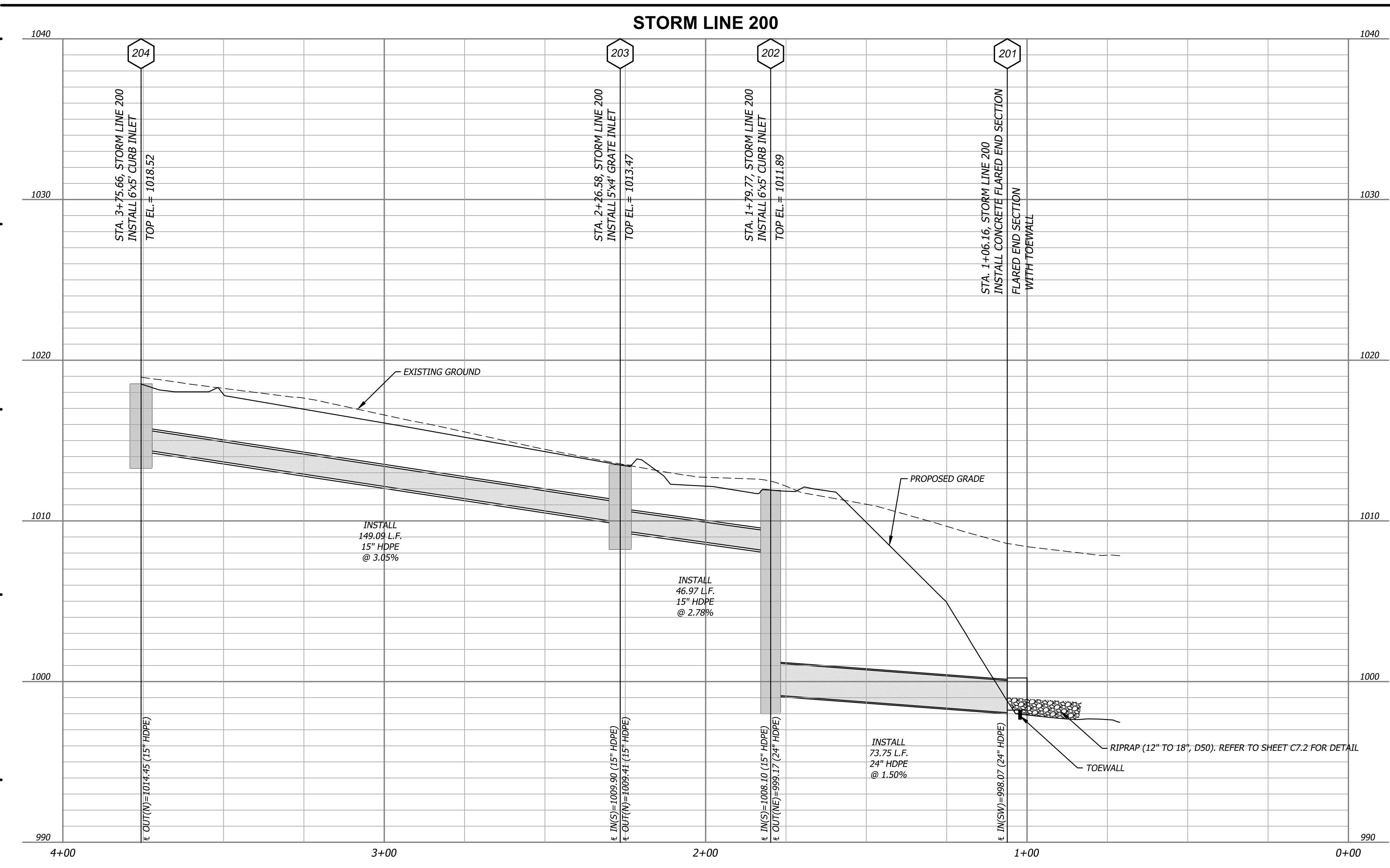
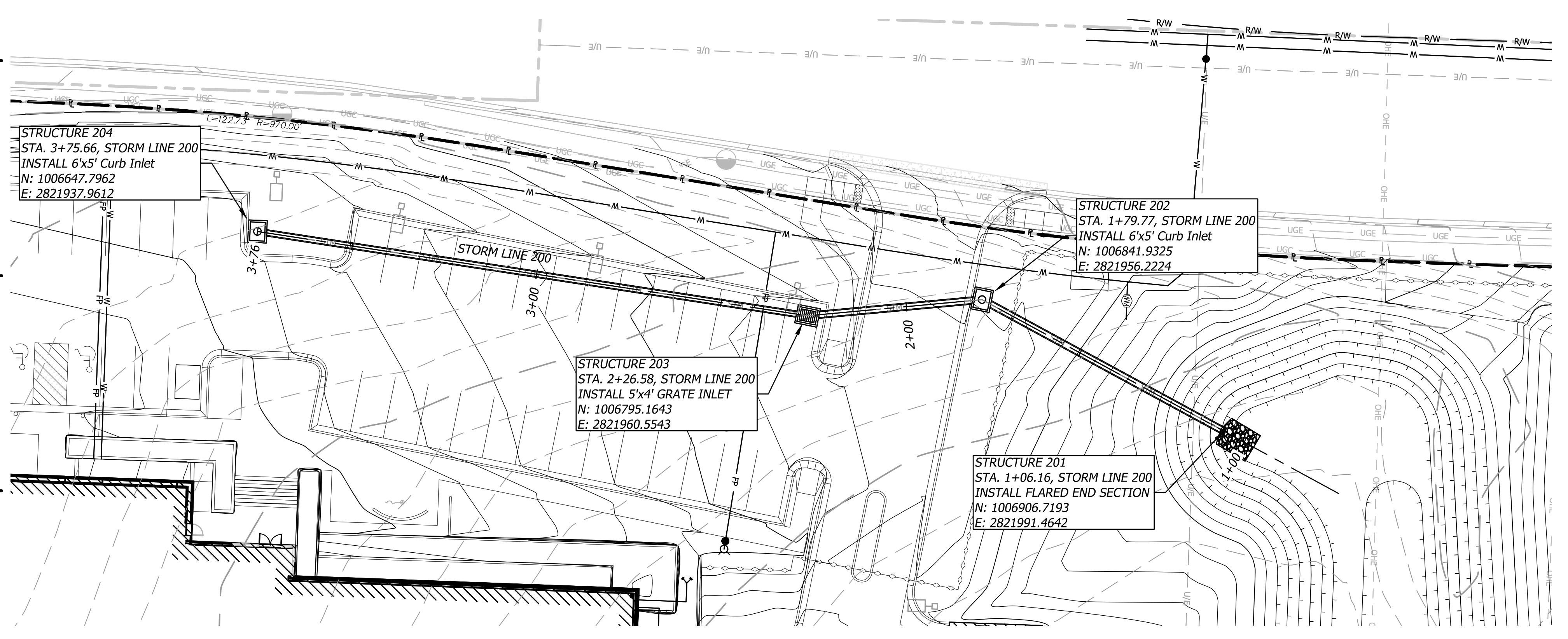
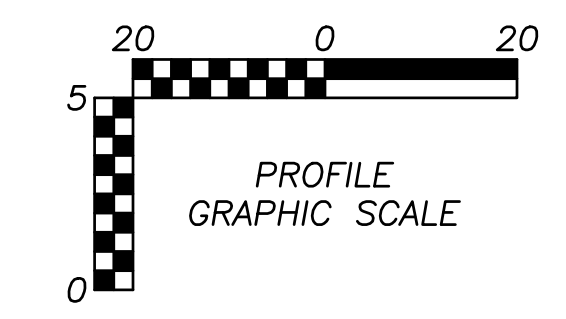
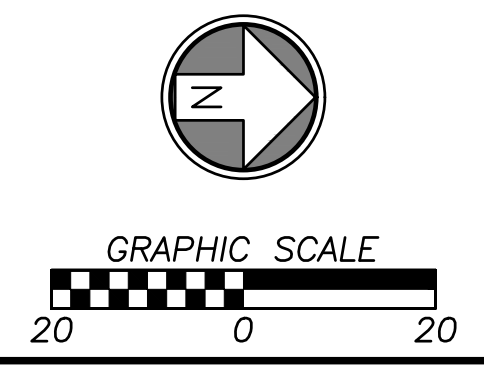
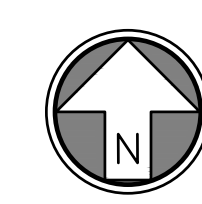


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 MO PE-2021033286

**C5.1**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

**STORM NOTE**

All Northings, Eastings, and alignment stationing for storm structures are to center of structure unless stated otherwise.



LEE'S SUMMIT JOINT OPERATIONS FACILITY

PACKAGE 1: SITE AND STRUCTURE

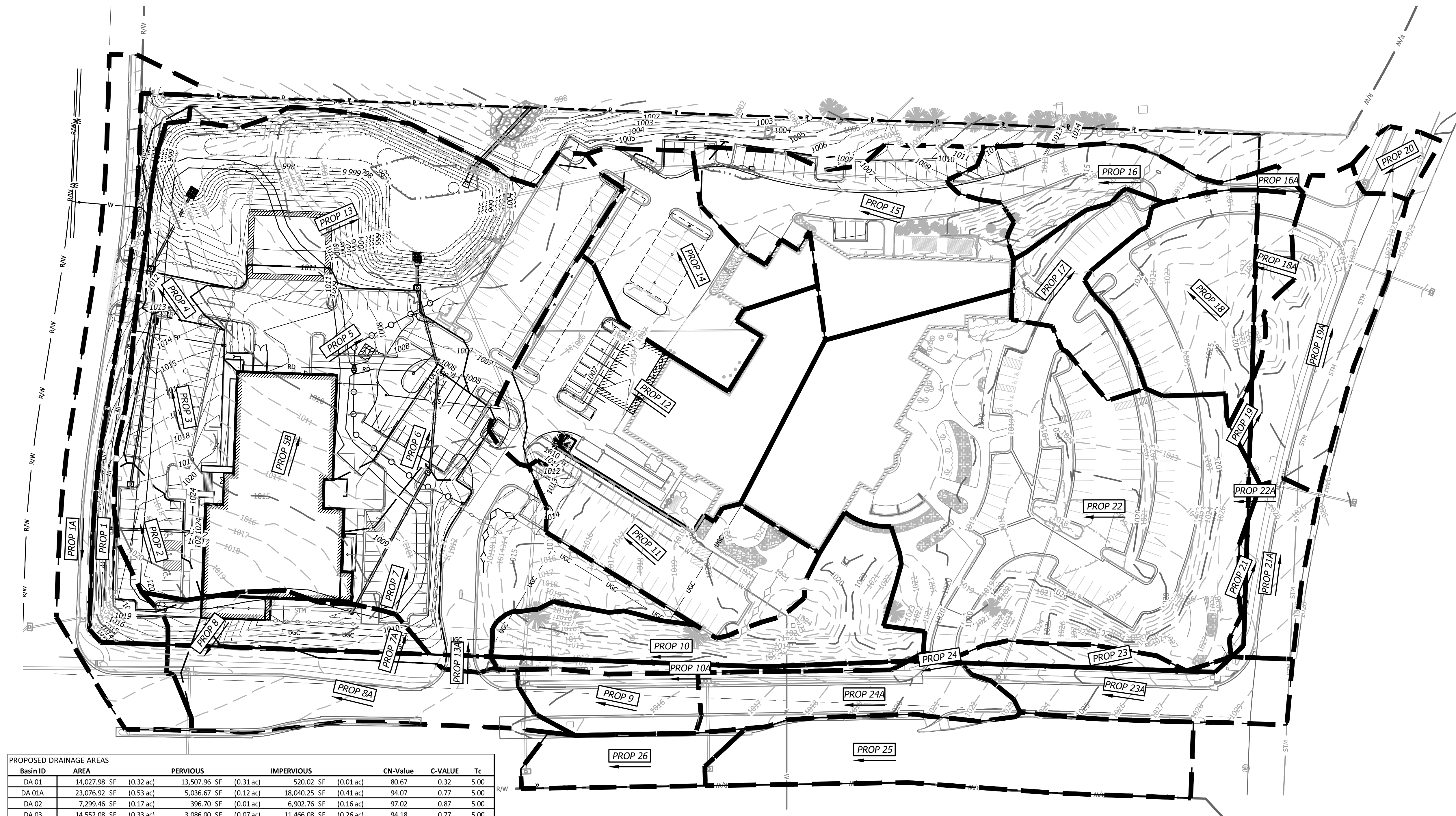
10 NE TUDOR ROAD  
 LEE'S SUMMIT, MO 64086

REVISION DATES:  
 01 ADDENDUM 01 2024-08-20  
 02 ADDENDUM 02 2024-10-30  
 03 ADDENDUM 03 2024-11-18



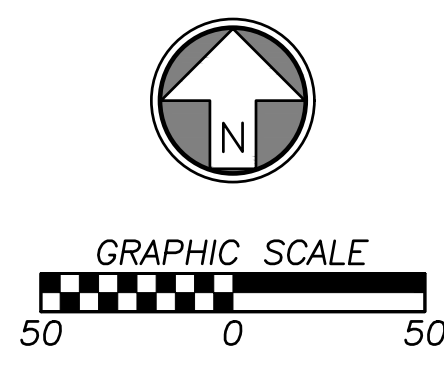
MICHAEL T. MAKRIS, PE  
 MO PE-20241032386

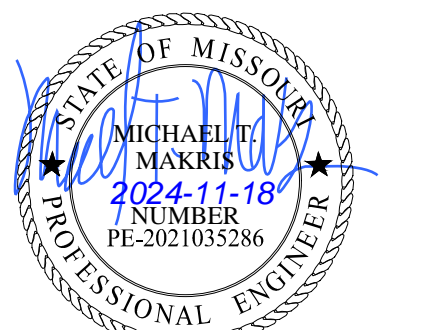
**C5.2**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161



PROPOSED DRAINAGE AREAS						
Basin ID	AREA	PERVIOUS	IMPERVIOUS	CN-Value	C-VALUE	Tc
DA 01	14,077.98 SF (0.32 ac)	13,507.96 SF (0.31 ac)	520.02 SF (0.01 ac)	80.67	0.32	5.00
DA 01A	23,076.90 SF (0.53 ac)	5,086.67 SF (0.12 ac)	18,040.23 SF (0.41 ac)	94.07	0.77	5.00
DA 02	7,299.46 SF (0.17 ac)	396.70 SF (0.01 ac)	6,902.76 SF (0.16 ac)	97.02	0.87	5.00
DA 03	14,552.08 SF (0.33 ac)	3,086.00 SF (0.07 ac)	11,466.08 SF (0.26 ac)	94.18	0.77	5.00
DA 04	1,957.19 SF (0.04 ac)	254.42 SF (0.01 ac)	1,702.77 SF (0.04 ac)	95.66	0.82	5.00
DA 05	22,611.15 SF (0.52 ac)	6,936.70 SF (0.16 ac)	15,674.45 SF (0.36 ac)	92.48	0.72	5.00
DA 05B	22,976.29 SF (0.53 ac)	0.00 SF (0.00 ac)	22,976.29 SF (0.53 ac)	98.00	0.90	5.00
DA 06	9,306.97 SF (0.21 ac)	925.83 SF (0.02 ac)	8,381.14 SF (0.19 ac)	96.21	0.84	5.00
DA 07	16,975.86 SF (0.39 ac)	8,267.40 SF (0.20 ac)	8,708.46 SF (0.19 ac)	88.89	0.60	5.00
DA 07A	970.05 SF (0.02 ac)	970.05 SF (0.02 ac)	0.00 SF (0.00 ac)	80.00	0.30	5.00
DA 08	352.15 SF (0.01 ac)	352.15 SF (0.01 ac)	0.00 SF (0.00 ac)	80.00	0.30	5.00
DA 08A	19,121.21 SF (0.44 ac)	4,941.76 SF (0.11 ac)	14,179.45 SF (0.33 ac)	93.35	0.74	5.00
DA 09	8,360.61 SF (0.19 ac)	3,141.70 SF (0.07 ac)	5,218.90 SF (0.12 ac)	91.24	0.67	5.00
DA 10	21,721.11 SF (0.50 ac)	21,110.87 SF (0.48 ac)	610.24 SF (0.01 ac)	80.51	0.32	5.00
DA 10A	2,957.19 SF (0.07 ac)	2,957.19 SF (0.07 ac)	0.00 SF (0.00 ac)	80.00	0.30	5.00
DA 11	20,767.36 SF (0.48 ac)	4,447.32 SF (0.10 ac)	16,320.04 SF (0.37 ac)	94.15	0.77	5.00
DA 12	36,472.72 SF (0.84 ac)	2,383.86 SF (0.05 ac)	34,088.86 SF (0.78 ac)	96.82	0.86	5.00
DA 13	79,271.39 SF (1.82 ac)	55,914.99 SF (1.28 ac)	23,356.41 SF (0.54 ac)	85.30	0.48	5.00
DA 13A	585.81 SF (0.01 ac)	194.90 SF (0.00 ac)	390.91 SF (0.01 ac)	92.01	0.70	5.00
DA 14	23,415.46 SF (0.54 ac)	1,575.29 SF (0.04 ac)	21,840.17 SF (0.50 ac)	96.79	0.86	5.00
DA 15	32,909.54 SF (0.76 ac)	5,014.71 SF (0.12 ac)	27,894.84 SF (0.64 ac)	95.26	0.81	5.00
DA 16	12,282.50 SF (0.28 ac)	4,615.27 SF (0.11 ac)	7,667.23 SF (0.18 ac)	91.24	0.67	5.00
DA 16A	641.15 SF (0.01 ac)	452.19 SF (0.01 ac)	188.96 SF (0.00 ac)	85.30	0.48	5.00
DA 17	11,909.74 SF (0.27 ac)	3,189.25 SF (0.07 ac)	8,720.49 SF (0.20 ac)	93.18	0.74	5.00
DA 18	21,451.70 SF (0.49 ac)	12,963.09 SF (0.30 ac)	8,488.61 SF (0.19 ac)	87.12	0.54	5.00
DA 18A	3,825.88 SF (0.09 ac)	2,920.72 SF (0.07 ac)	905.16 SF (0.02 ac)	84.26	0.44	5.00
DA 19	729.59 SF (0.02 ac)	729.59 SF (0.02 ac)	0.00 SF (0.00 ac)	80.00	0.30	5.00
DA 19A	23,442.66 SF (0.54 ac)	10,216.32 SF (0.23 ac)	13,226.33 SF (0.30 ac)	90.16	0.64	5.00
DA 20	3,384.09 SF (0.08 ac)	573.85 SF (0.01 ac)	2,810.23 SF (0.06 ac)	94.95	0.80	5.00
DA 21	754.26 SF (0.02 ac)	650.90 SF (0.01 ac)	103.36 SF (0.00 ac)	82.47	0.38	5.00
DA 21A	8,206.78 SF (0.19 ac)	1,960.56 SF (0.05 ac)	6,246.22 SF (0.14 ac)	93.70	0.76	5.00
DA 22	101,945.41 SF (2.34 ac)	36,942.36 SF (0.85 ac)	65,003.06 SF (1.49 ac)	91.48	0.68	5.00
DA 22A	274.53 SF (0.01 ac)	274.53 SF (0.01 ac)	0.00 SF (0.00 ac)	80.00	0.30	5.00
DA 23	3,573.43 SF (0.08 ac)	3,519.34 SF (0.08 ac)	54.09 SF (0.00 ac)	80.27	0.31	5.00
DA 23A	12,813.96 SF (0.29 ac)	2,626.09 SF (0.06 ac)	10,187.87 SF (0.23 ac)	94.31	0.78	5.00
DA 24	247.27 SF (0.01 ac)	039.97 SF (0.00 ac)	207.29 SF (0.00 ac)	95.09	0.80	5.00
DA 24A	12,671.21 SF (0.29 ac)	2,758.35 SF (0.06 ac)	9,912.86 SF (0.23 ac)	94.08	0.77	5.00
DA 25	26,742.33 SF (0.61 ac)	559.28 SF (0.01 ac)	26,183.05 SF (0.60 ac)	97.62	0.89	5.00
DA 26	8,119.49 SF (0.19 ac)	145.86 SF (0.00 ac)	7,973.63 SF (0.18 ac)	97.68	0.89	5.00

- DRAINAGE LEGEND**
- DRAINAGE AREA BOUNDARY
  - AREA/DIRECTION OF DRAINAGE BOUNDARY
  - Field
  - PROPOSED FINISH GRADE MAJOR CONTOUR
  - PROPOSED FINISH GRADE MINOR CONTOUR
  - EXISTING GRADE MAJOR CONTOUR
  - EXISTING GRADE MINOR CONTOUR
  - PROPOSED STORM SEWER LINE
  - PROPOSED ROOF LINE DRAIN
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE





MICHAEL T. MAKRIS, PE  
 MO PE-202103286

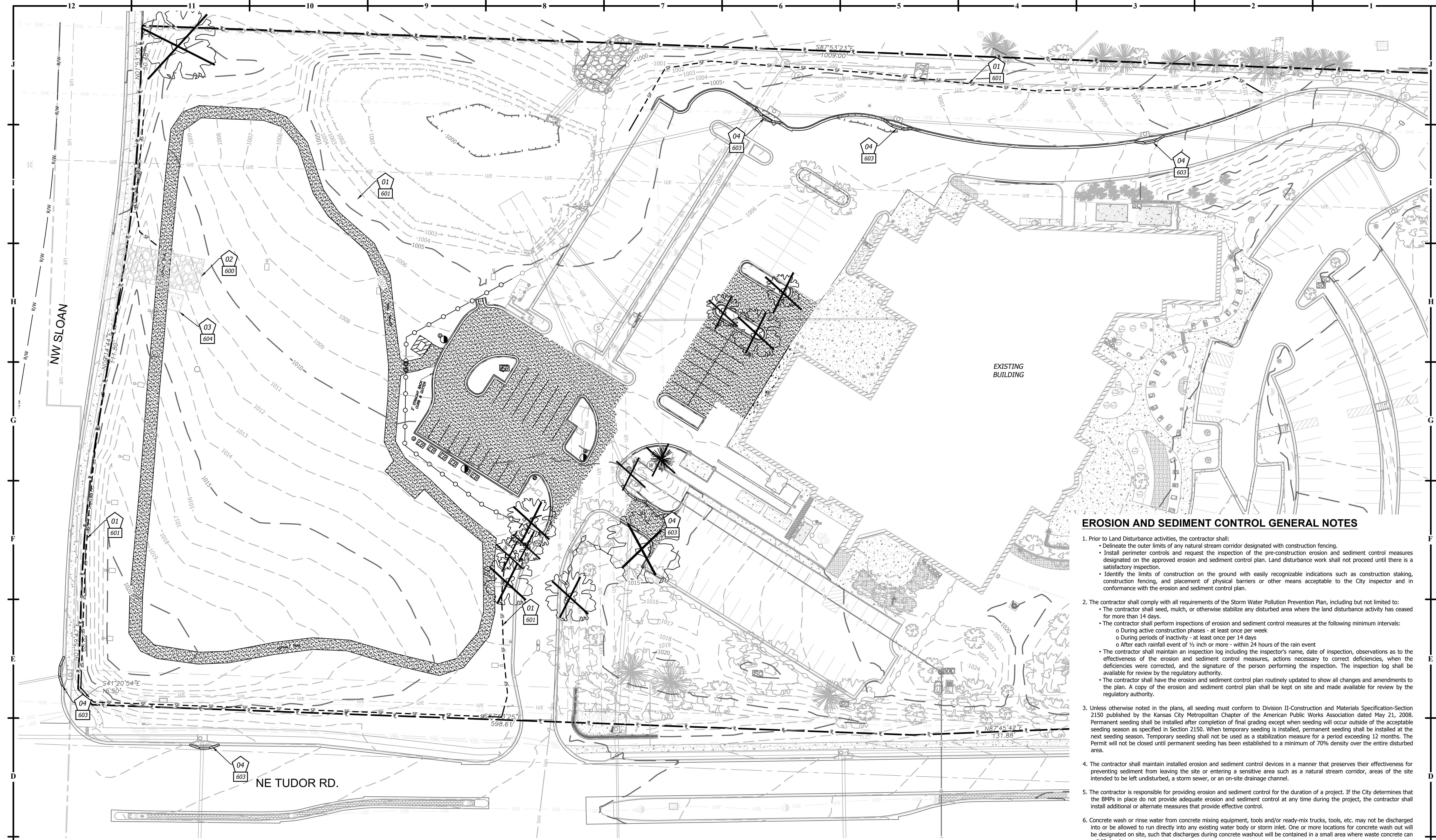
**C5.3**  
 ISSUE DATE: AUGUST 30, 2024  
 HOEFER WELKER #: 138161

10-YEAR STORM CALCULATIONS

Runoff Calculations		Pipe Properties														Design Checks																			
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlets	Up Piped Inlets	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Pipe Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.	Pipe Depth Check	Head-Water Check	Station						
Design Storm: 10		"K" Value: 1.00		"F" Factor: 1.00																															
DS TAILWATER @ STR # 1002.75																																			
LINE 100																																			
101	1.05	0.81	1.65	1.26	5.1	7.33	6.23	9.24	21.22	6.76			0.00	0.00	101		PEP	0.012	24	19.22	0.75	0.50	999.89	999.75	1005.71	1002.85	3.57	Ok	19.22						
102	0.21	0.84	0.60	0.41	5.1	7.34	1.29	3.01	13.94	7.89			0.00	0.00	102	101	PEP	0.012	18	10.00	1.50	0.50	1000.54	1000.39	1008.37	1002.88	5.58	Ok	29.22						
103	0.20	0.60	0.39	0.23	5.0	7.34	0.88	1.72	13.94	7.89			0.00	0.00	103	102	PEP	0.012	18	10.00	1.50	0.50	1001.19	1001.04	1008.53	1002.89	5.34	Ok	39.22						
104	0.19	0.60	0.19	0.11	5.0	7.35	0.84	0.84	7.00	5.70			0.00	0.00	104	103	PEP	0.012	15	10.00	1.00	N/A	1001.79	1001.69	1008.99	1002.89	5.70	Ok	49.22						
DS TAILWATER @ STR # 1002.75																																			
LINE 200																																			
201	0.04	0.82	0.54	0.43	5.6	7.18	0.24	3.12	30.02	9.55			0.00	0.00	201		PEP	0.012	24	73.75	1.50	0.75	999.18	998.07	1011.89	1002.77	10.46	Ok	73.75						
202	0.33	0.77	0.50	0.40	5.4	7.22	1.83	2.90	7.00	5.70			0.00	0.00	202	201	PEP	0.012	15	46.97	1.00	0.50	1000.40	999.93	1013.47	1002.90	11.07	Ok	120.72						
203	0.17	0.87	0.17	0.15	5.0	7.35	1.09	1.09	7.00	5.70			0.00	0.00	203	202	PEP	0.012	15	149.09	1.00	N/A	1002.39	1000.90	1018.52	1002.94	14.63	Ok	269.81						

100-YEAR STORM CALCULATIONS

Runoff Calculations		Pipe Properties														Design Checks																			
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlets	Up Piped Inlets	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Pipe Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.	Pipe Depth Check	Head-Water Check	Station						
Design Storm: 100		"K" Value: 1.25		"F" Factor: 1.00																															
DS TAILWATER @ STR # 1002.75																																			
LINE 100																																			
101	1.05	0.81	1.65	1.26	5.1	10.29	10.94	16.22	21.22	6.76			0.00	0.00	101		PEP	0.012	24	19.22	0.75	0.50	999.89	999.75	1005.71	1003.05			1003.05						
102	0.21	0.84	0.60	0.41	5.1	10.30	2.27	5.28	13.94	7.89			0.00	0.00	102	101	PEP	0.012	18	10.00	1.50	0.50	1000.54	1000.39	1008.37	1003.14			1003.14						
103	0.20	0.60	0.39	0.23	5.0	10.31	1.55	3.02	13.94	7.89			0.00	0.00	103	102	PEP	0.012	18	10.00	1.50	0.50	1001.19	1001.04	1008.53	1003.17			1003.17						
104	0.19	0.60	0.19	0.11	5.0	10.32	1.47	1.47	7.00	5.70			0.00	0.00	104	103	PEP	0.012	15	10.00	1.00	N/A	1001.79	1001.69	1008.99	1003.18			1003.18						
DS TAILWATER @ STR # 1002.75																																			
LINE 200																																			
201	0.04	0.82	0.54	0.43	5.6	10.09	0.41	5.48	30.02	9.55			0.00	0.00	201		PEP	0.012	24	73.75	1.50	0.75	999.18	998.07	1011.89	1002.81			1002.81						
202	0.33	0.77	0.50	0.40	5.4	10.14	3.22	5.10	7.00	5.70			0.00	0.00	202	201	PEP	0.012	15	46.97	1.00	0.50	1000.40	999.93	1013.47	1003.20			1003.20						
203	0.17	0.87	0.17	0.15	5.0	10.32	1.91	1.91	7.00	5.70			0.00	0.00	203	202	PEP	0.012	15	149.09	1.00	N/A	1002.39	1000.90	1018.52	1003.32			1003.32						



**EROSION AND SEDIMENT CONTROL GENERAL NOTES**

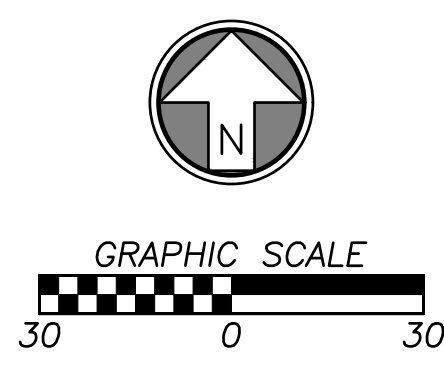
- Prior to Land Disturbance activities, the contractor shall:
  - Delineate the outer limits of any natural stream corridor designated with construction fencing.
  - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
  - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City Inspector and in conformance with the erosion and sediment control plan.
- The contractor shall comply with all requirements of the Storm Water Pollution Prevention Plan, including but not limited to:
  - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
  - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
    - During active construction phases - at least once per week
    - During periods of inactivity - at least once per 14 days
    - After each rainfall event of 1/8 inch or more - within 24 hours of the rain event
  - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
  - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
- Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
- The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
- Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
- Interior Silt Fence as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
- Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Lee's Summit with reports and documentation.

**EROSION CONTROL LEGEND**

- DISTURBED AREA
- SILT/SEDIMENT FENCE
- INLET PROTECTION FILTER BAGS
- CONSTRUCTION ENTRANCE
- STAGING AREA
- CONCRETE CLEANOUT
- EXISTING TREE TO BE REMOVED

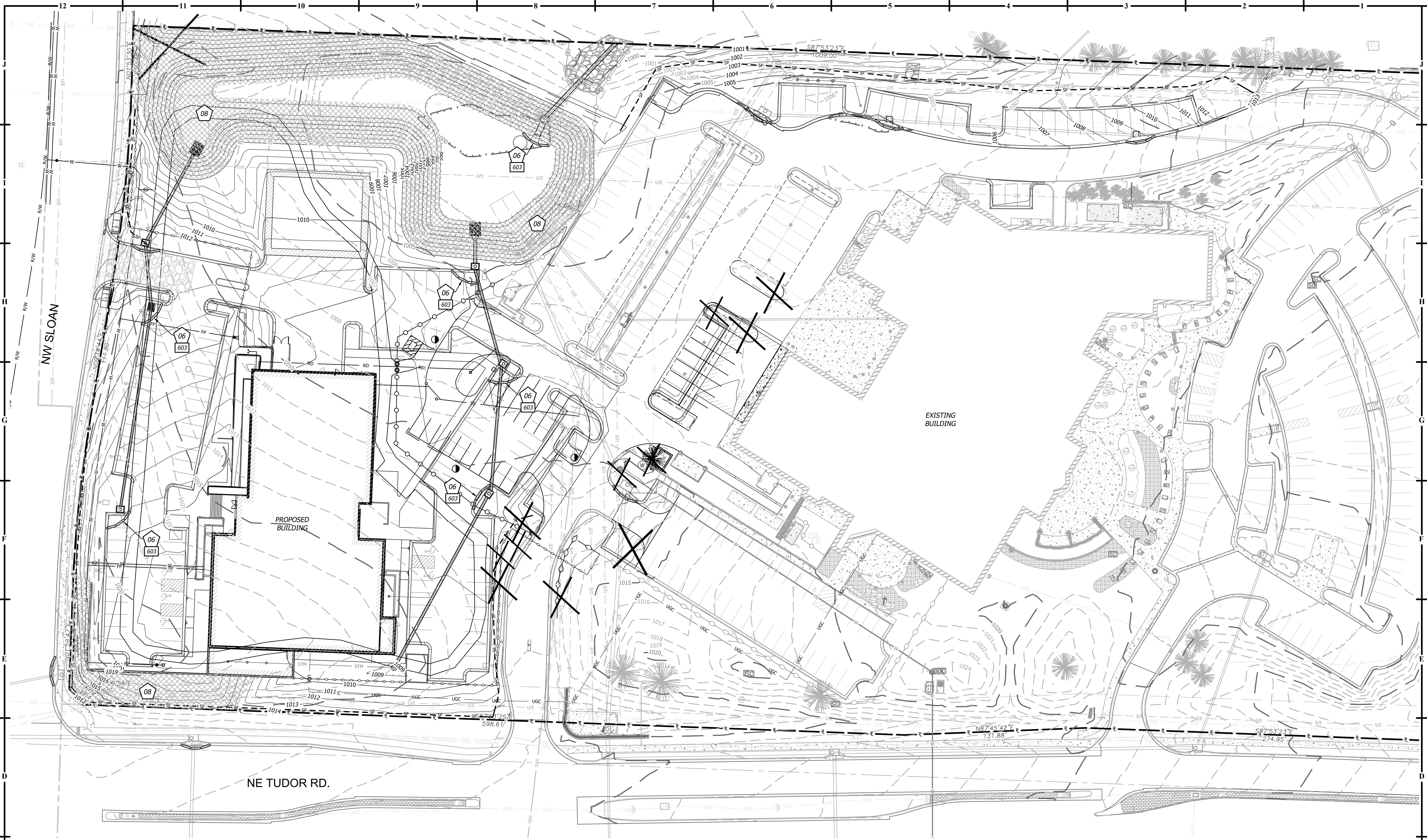
**DETAILS**

- SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING
- 600 TEMPORARY CONSTRUCTION ENTRANCE
- 601 FILTER FABRIC SILT FENCE
- 603 STORM INLET PROTECTION
- 604 CONCRETE WASH-OUT



**EROSION & SEDIMENT CONTROL STAGING CHART**

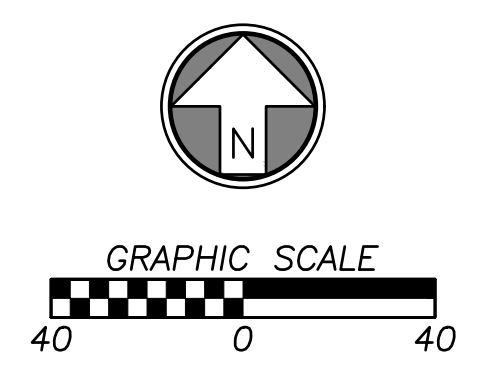
Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMPs Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Concrete Entrance & Staging Area	D	Place as shown on plan
		03	Concrete Wash-Out	D	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence	E	Place as shown on plan
	C - After Utility Storm Sewer Construction	06	Storm Inlet Protection	D	Place as shown on plan
Phase III (POST-CON)	D - After Construction of Building and Parking Lot	07	Storm Inlet Protection	E	Place as shown on plan
	E - Final Grading, Paving & Landscaping	08	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site. (RE: L1.1 Landscape Plan for the stormwater treatment facility)



**EROSION CONTROL LEGEND**

- DISTURBED AREA
- - - SF - SILT/SEDIMENT FENCE
- INLET PROTECTION FILTER BAGS
- [Pattern] CONSTRUCTION ENTRANCE
- [Pattern] STAGING AREA
- [Pattern] CONCRETE CLEANOUT
- [Pattern] STEEP SLOPE PROTECTION

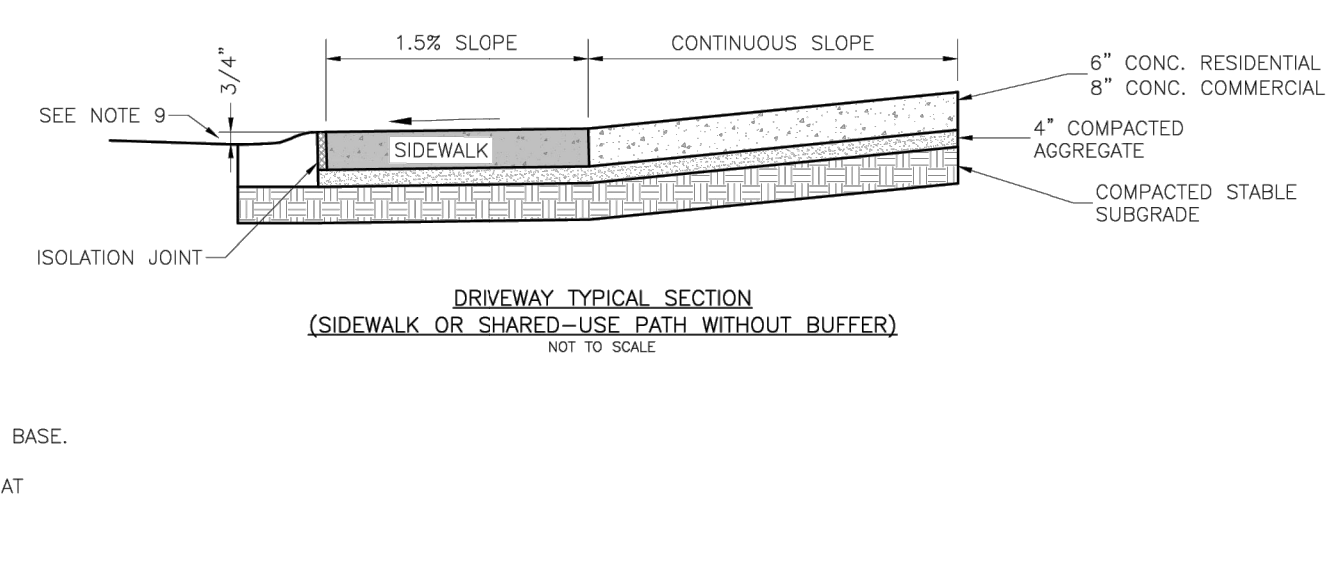
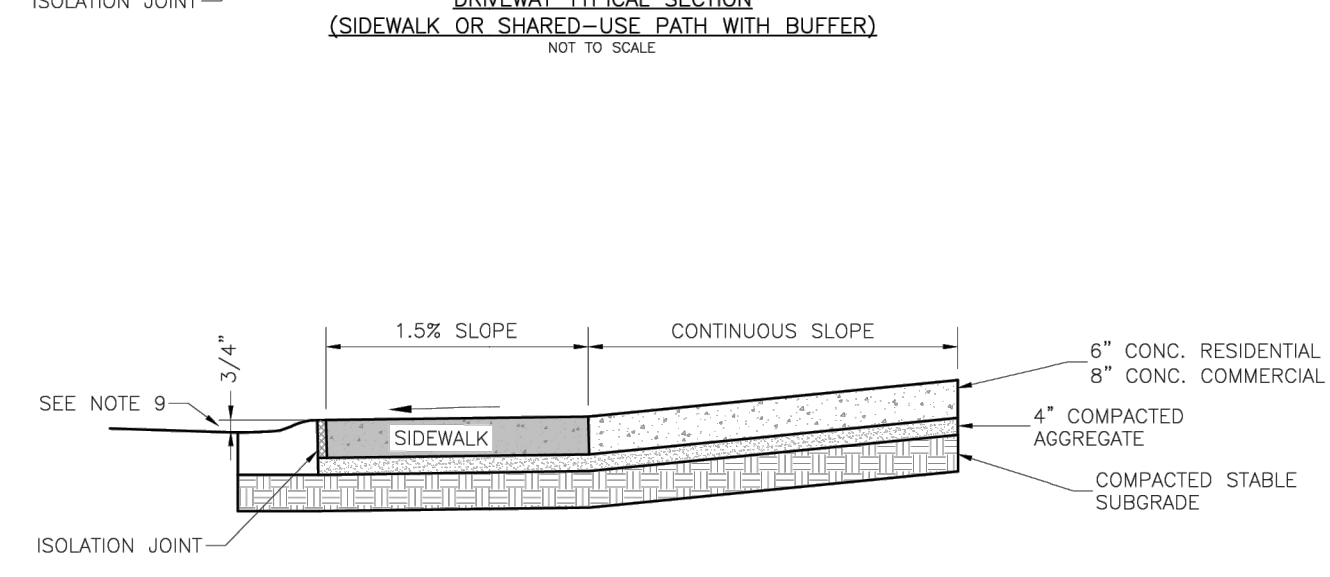
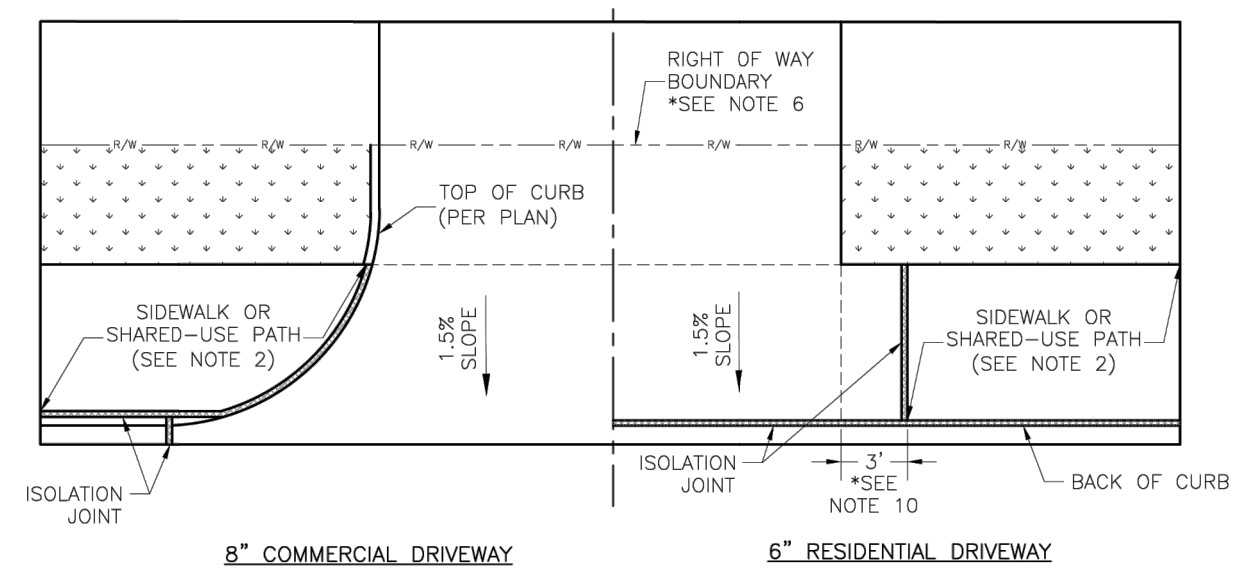
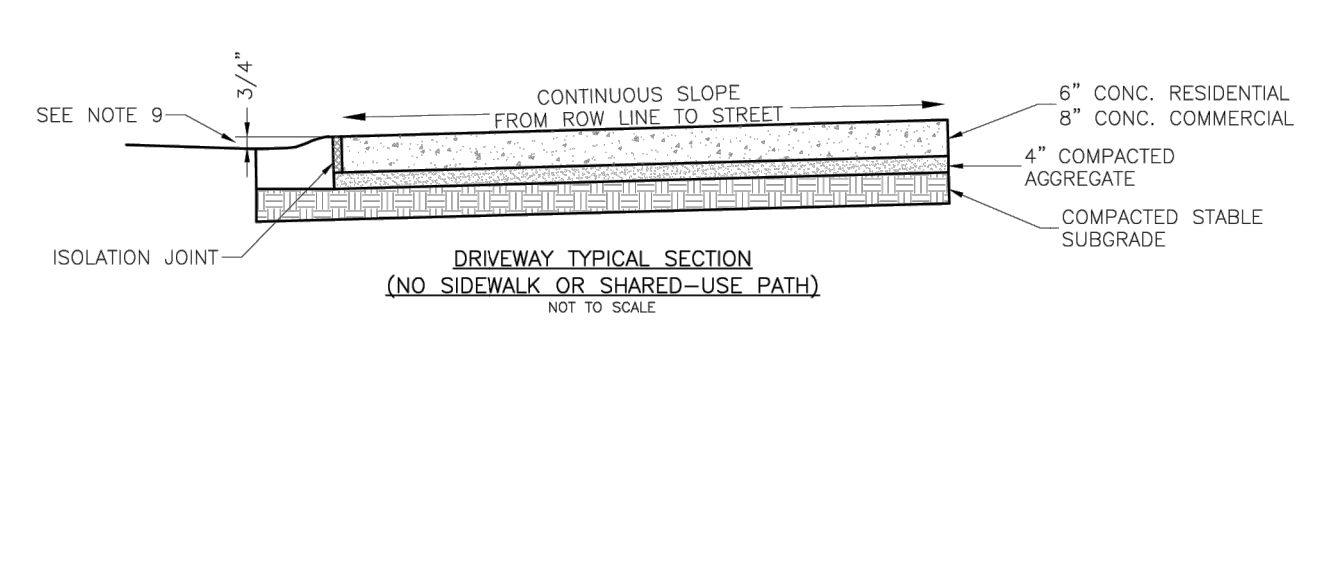
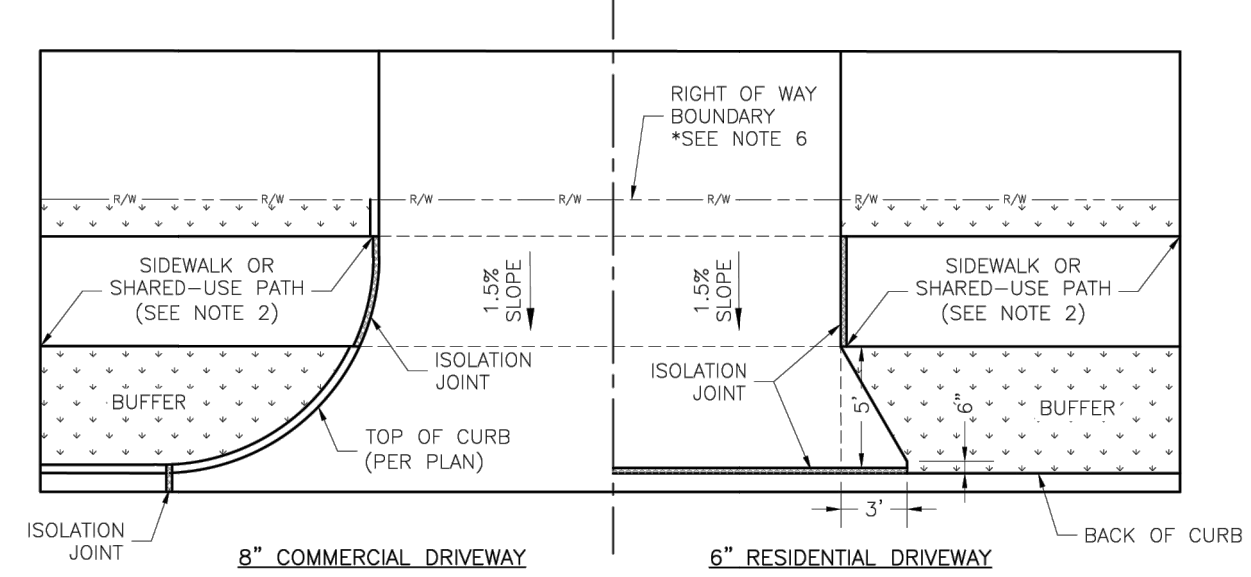
- 000 DETAILS**  
 SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING
- 600 TEMPORARY CONSTRUCTION ENTRANCE
  - 601 FILTER FABRIC SILT FENCE
  - 603 STORM INLET PROTECTION
  - 604 CONCRETE WASH-OUT



**EROSION & SEDIMENT CONTROL STAGING CHART**

Phase	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage:	Notes:
Phase I (PRE-CON)	A - Place BMP's Prior to Land Disturbance	01	Perimeter Silt Fence	E	Place as shown on plan
		02	Concrete Entrance & Staging Area	D	Place as shown on plan
		03	Concrete Wash-Out	D	Place as shown on plan
		04	Existing Inlet Protection	E	Place as shown on plan
Phase II (MID-CON)	B - After Stripping, Grubbing, & Mass Grading	05	Interior Silt Fence	E	Place as shown on plan
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Phase III (POST-CON)	D - After Construction of Building and Parking Lot	07	Storm Inlet Protection	E	Place as shown on plan
	E - Final Grading, Paving & Landscaping	08	Final Seeding, Sod, and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site. (RE: L1.1 Landscape Plan for the stormwater treatment facility)

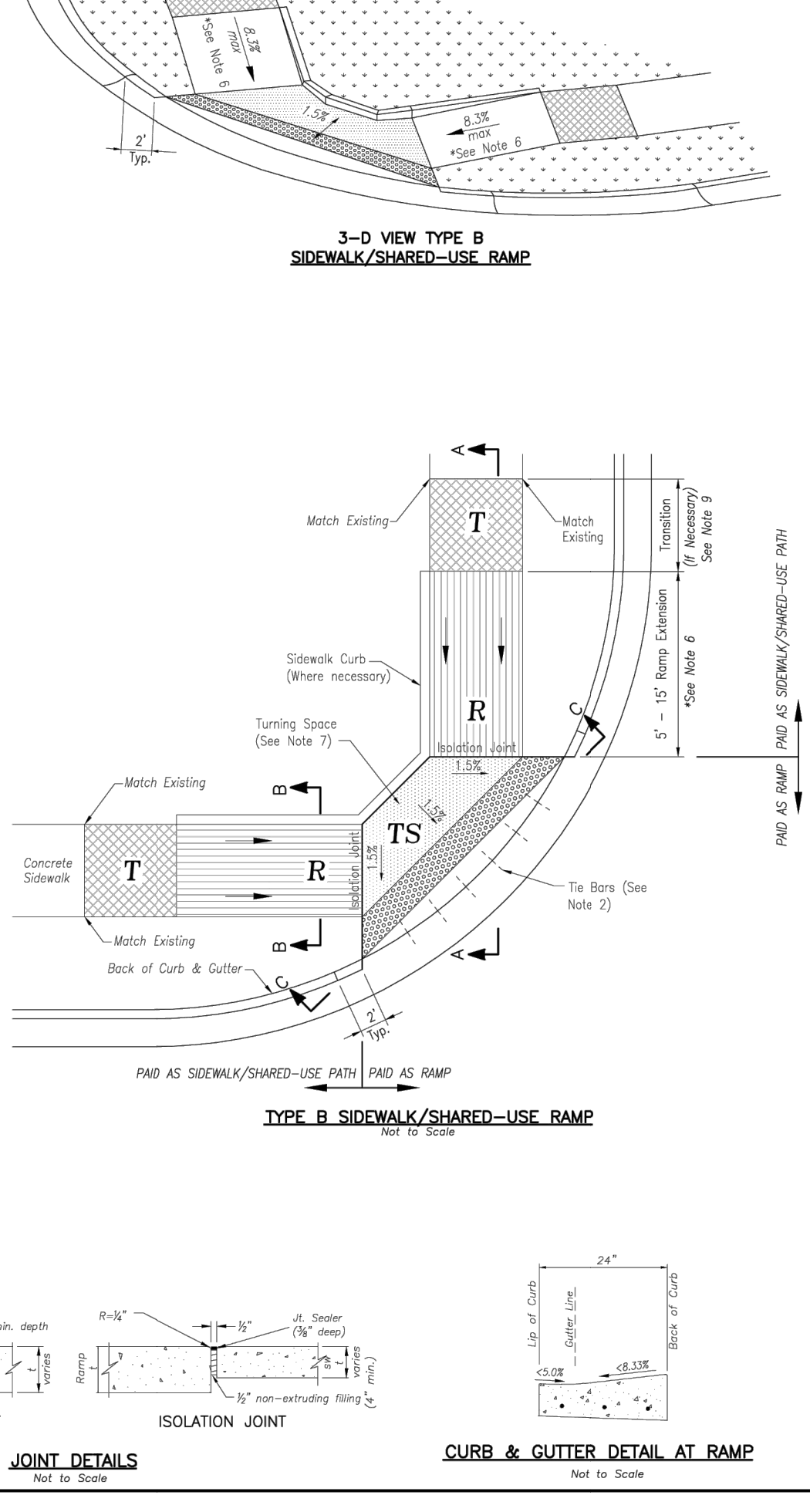
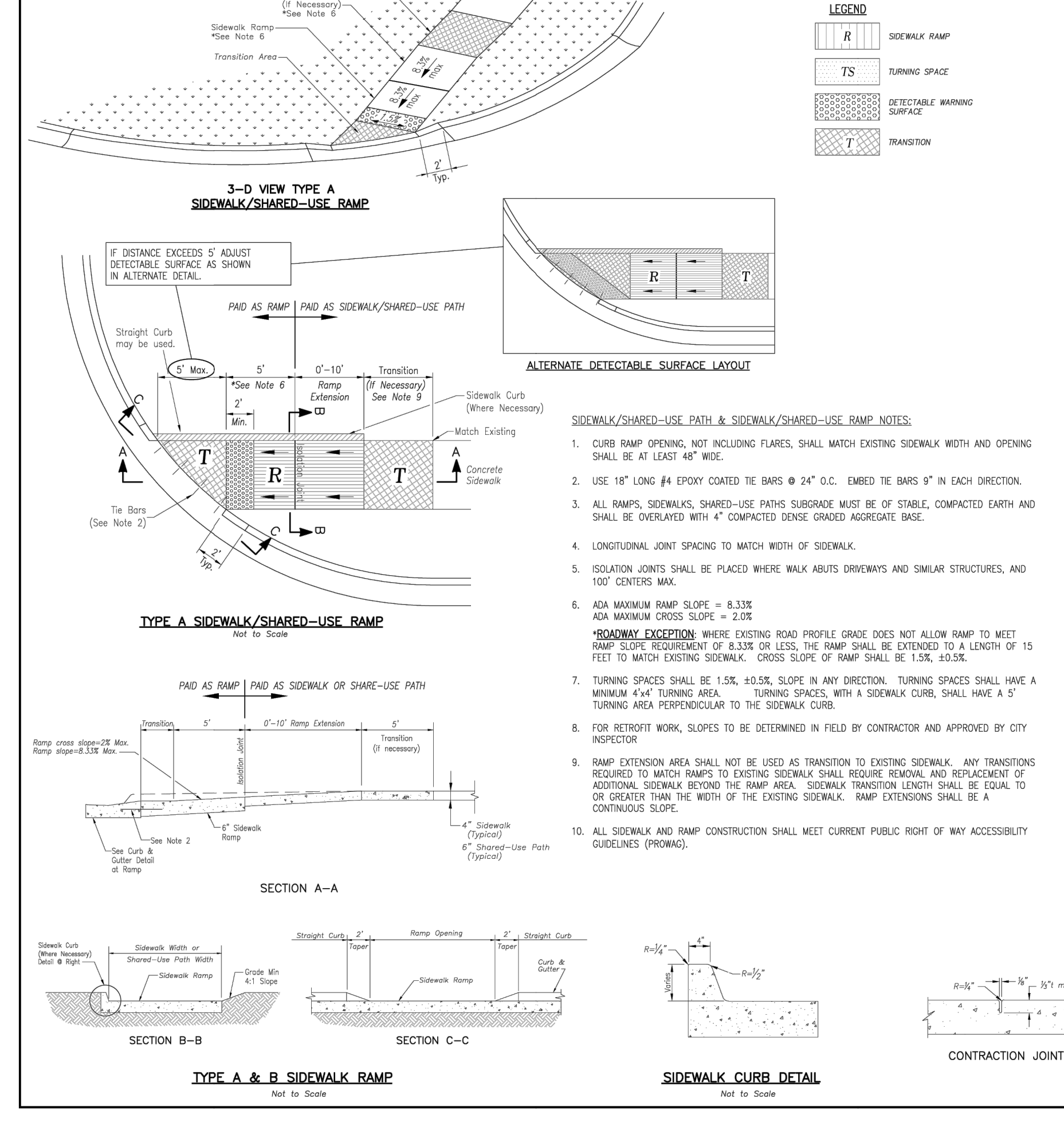




- GENERAL NOTES
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL GEN-3B, SIDEWALK/SHARED USE PATH RAMP AT DRIVEWAY DETAIL).
  - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
  - KOMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
  - COMMERCIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, SHALL BE KOMMB 4K CONCRETE MIX IS RECOMMENDED, OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
  - RESIDENTIAL DRIVEWAYS, IN THE PUBLIC RIGHT OF WAY, KOMMB 4K CONCRETE MIX IS RECOMMENDED, OTHER CONCRETE MIXES NEED TO BE APPROVED BY CITY INSPECTOR.
  - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
  - 3" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
  - SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
  - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITH THE RIGHT OF WAY.

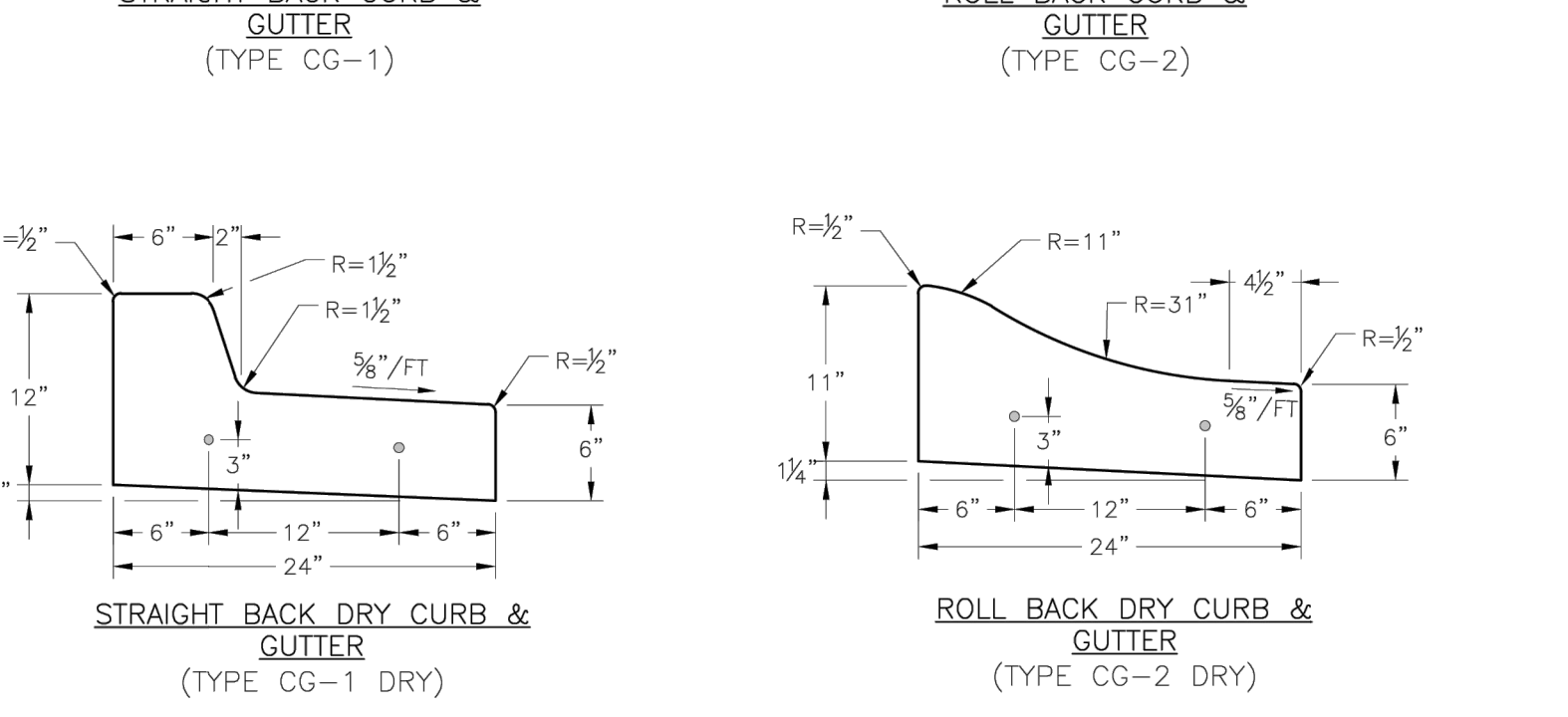
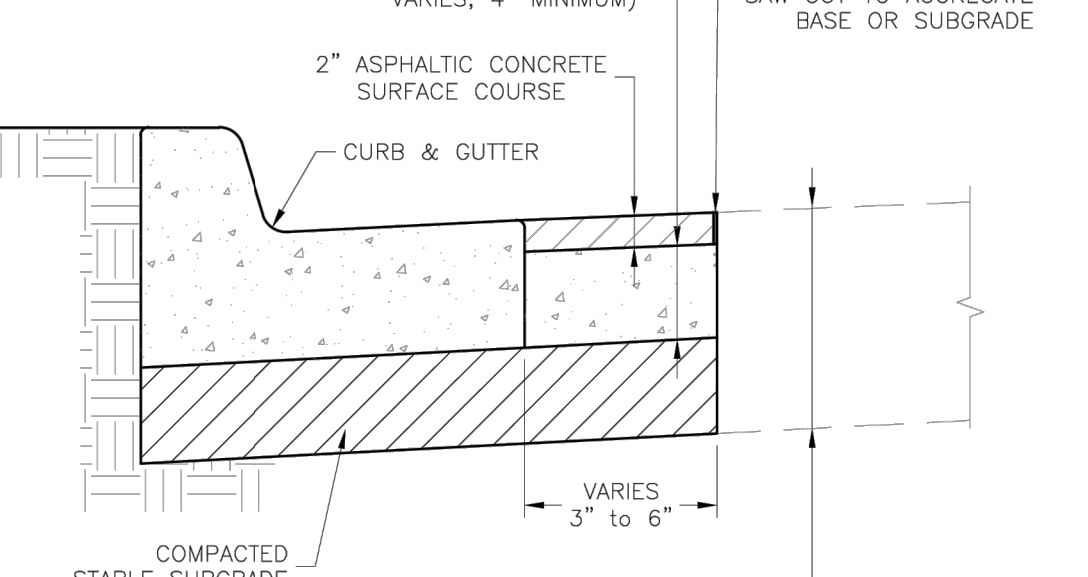
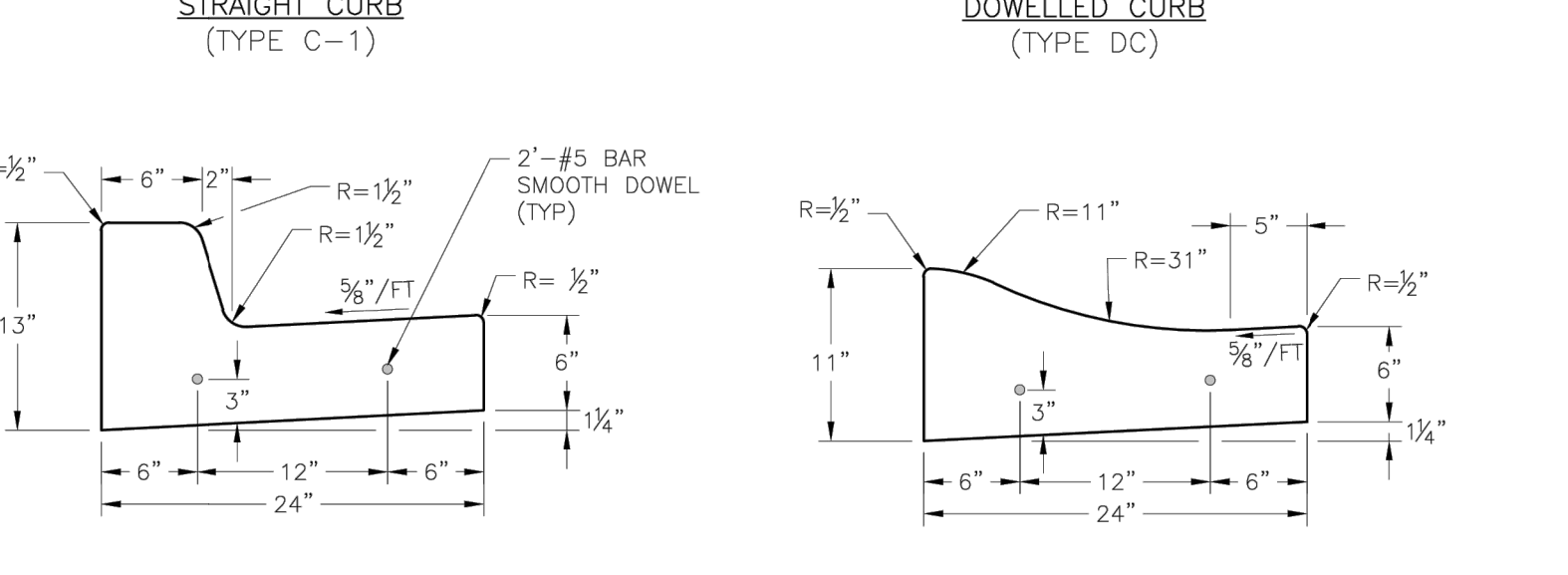
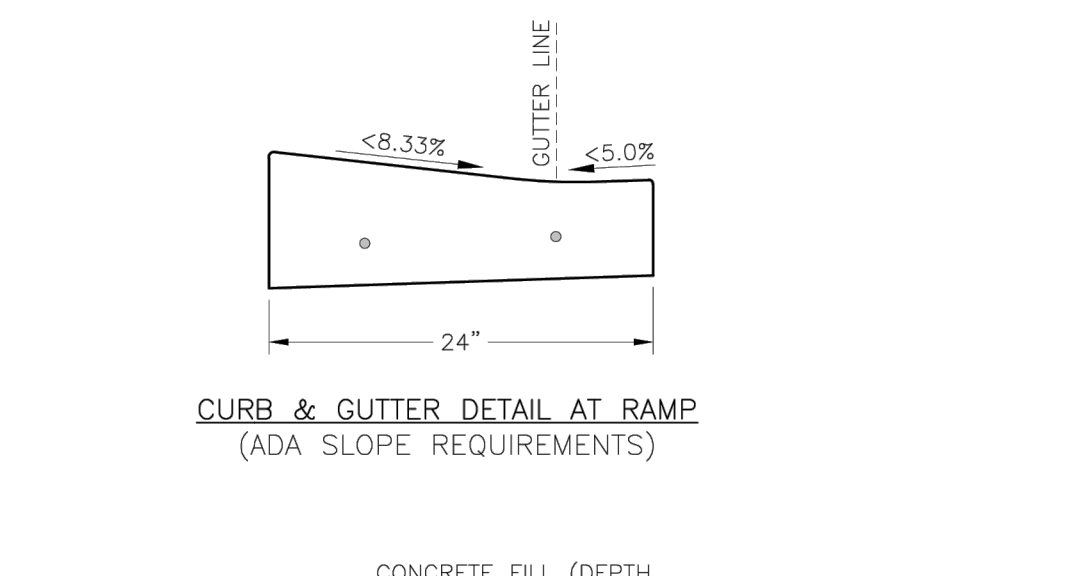
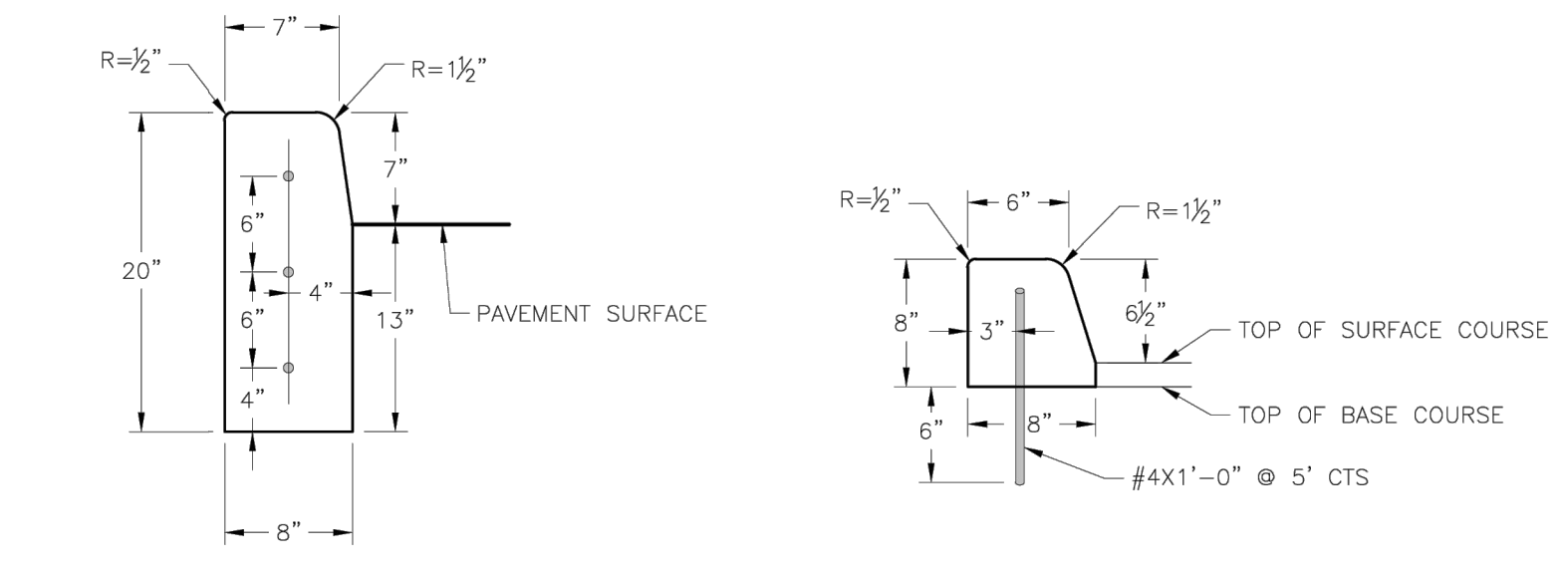
LEE'S SUMMIT MISSOURI  
PUBLIC WORKS ENGINEERING DIVISION 1205 GIBBS STREET, LEE'S SUMMIT, MO 64086

STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
GEN-1  
DRIVEWAY DETAIL



LEE'S SUMMIT MISSOURI  
PUBLIC WORKS ENGINEERING DIVISION 1205 GIBBS STREET, LEE'S SUMMIT, MO 64086

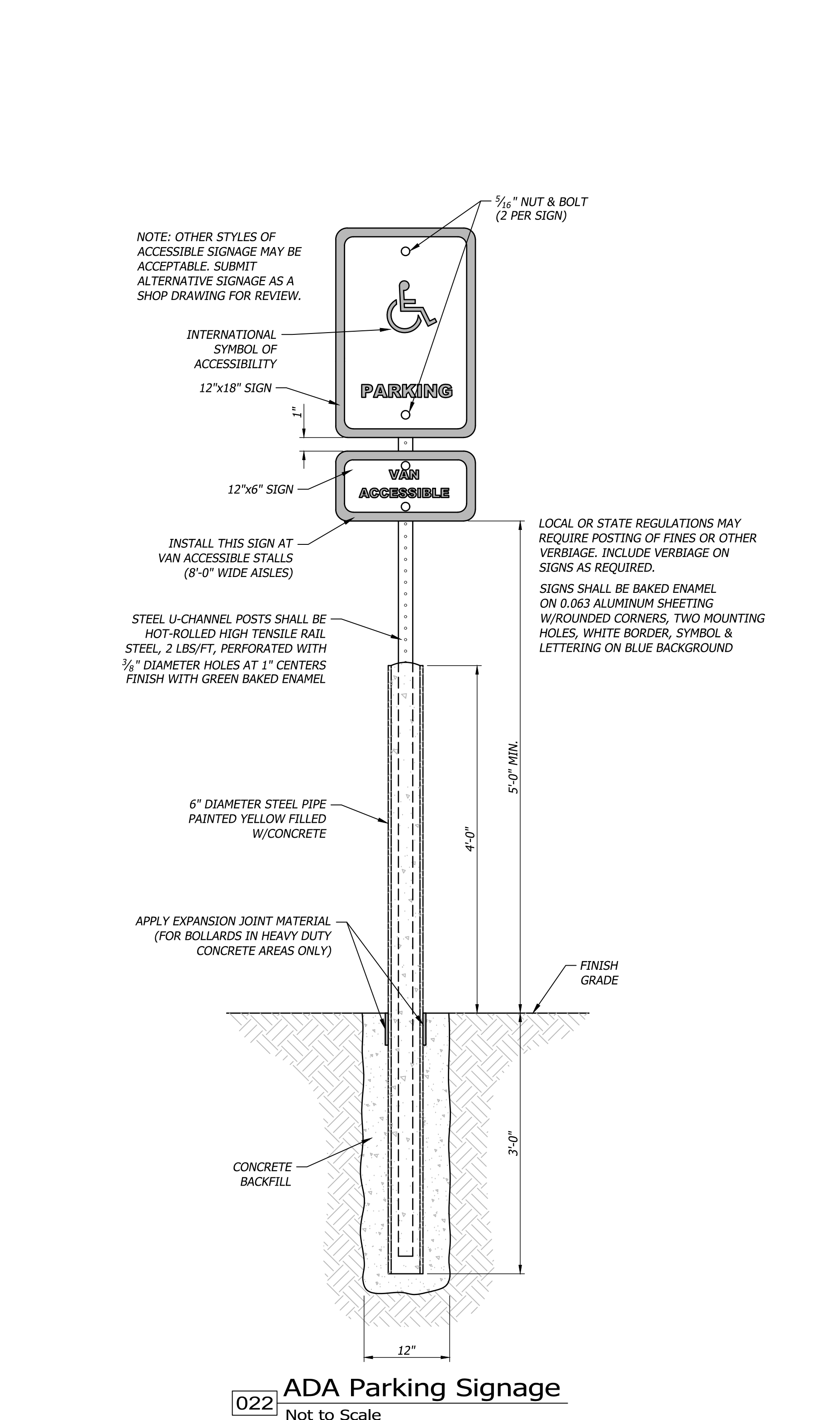
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
GEN-3A  
ADA RAMP RETROFIT DETAIL

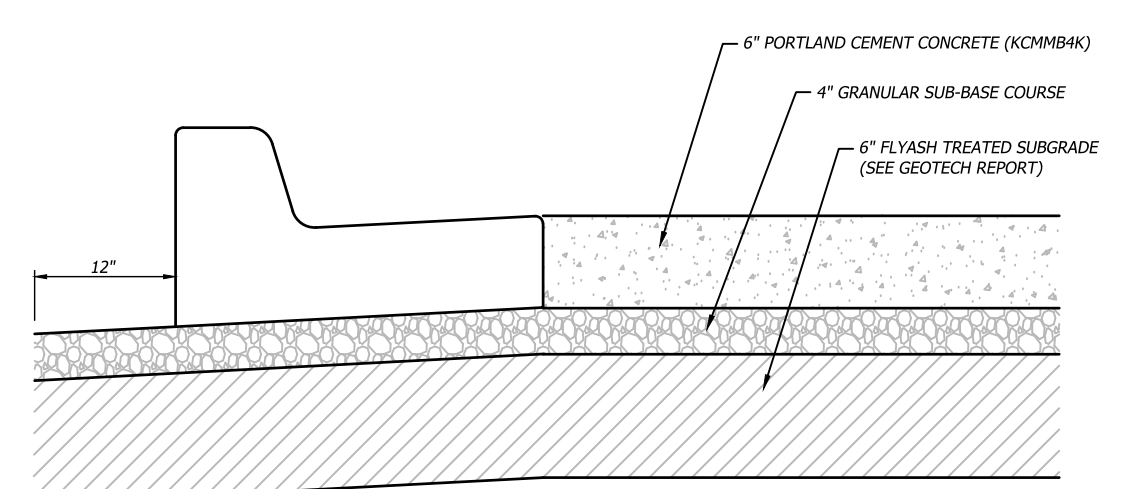
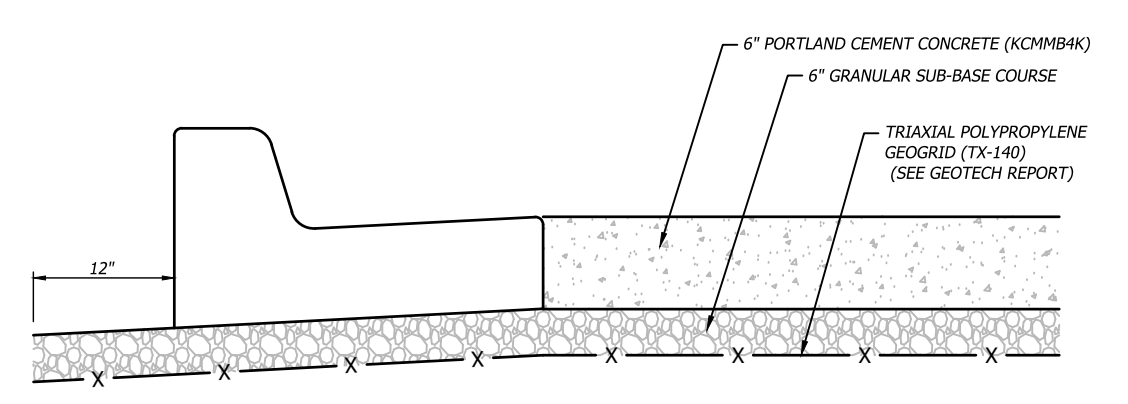
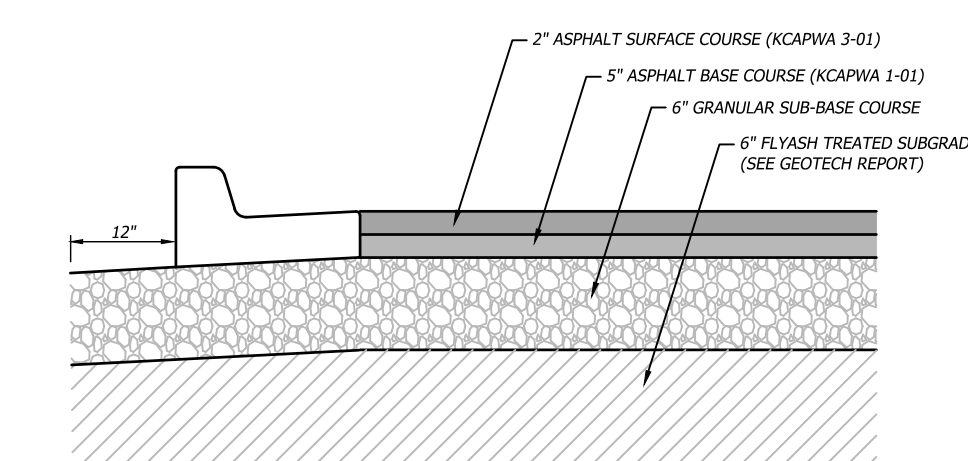
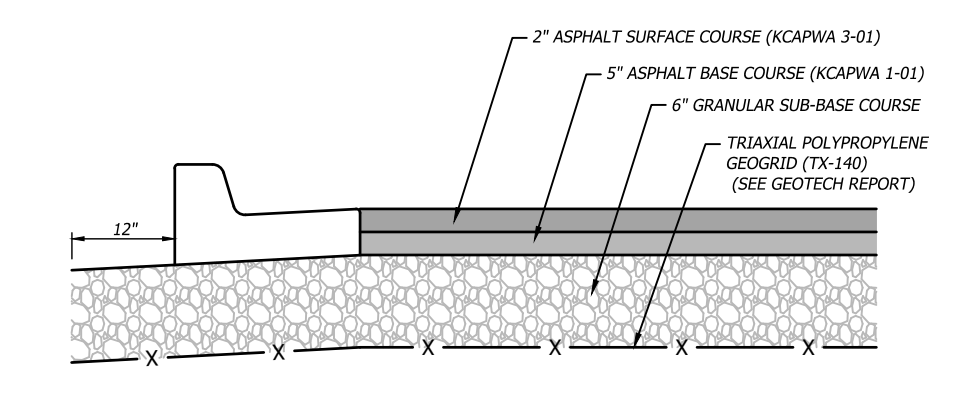
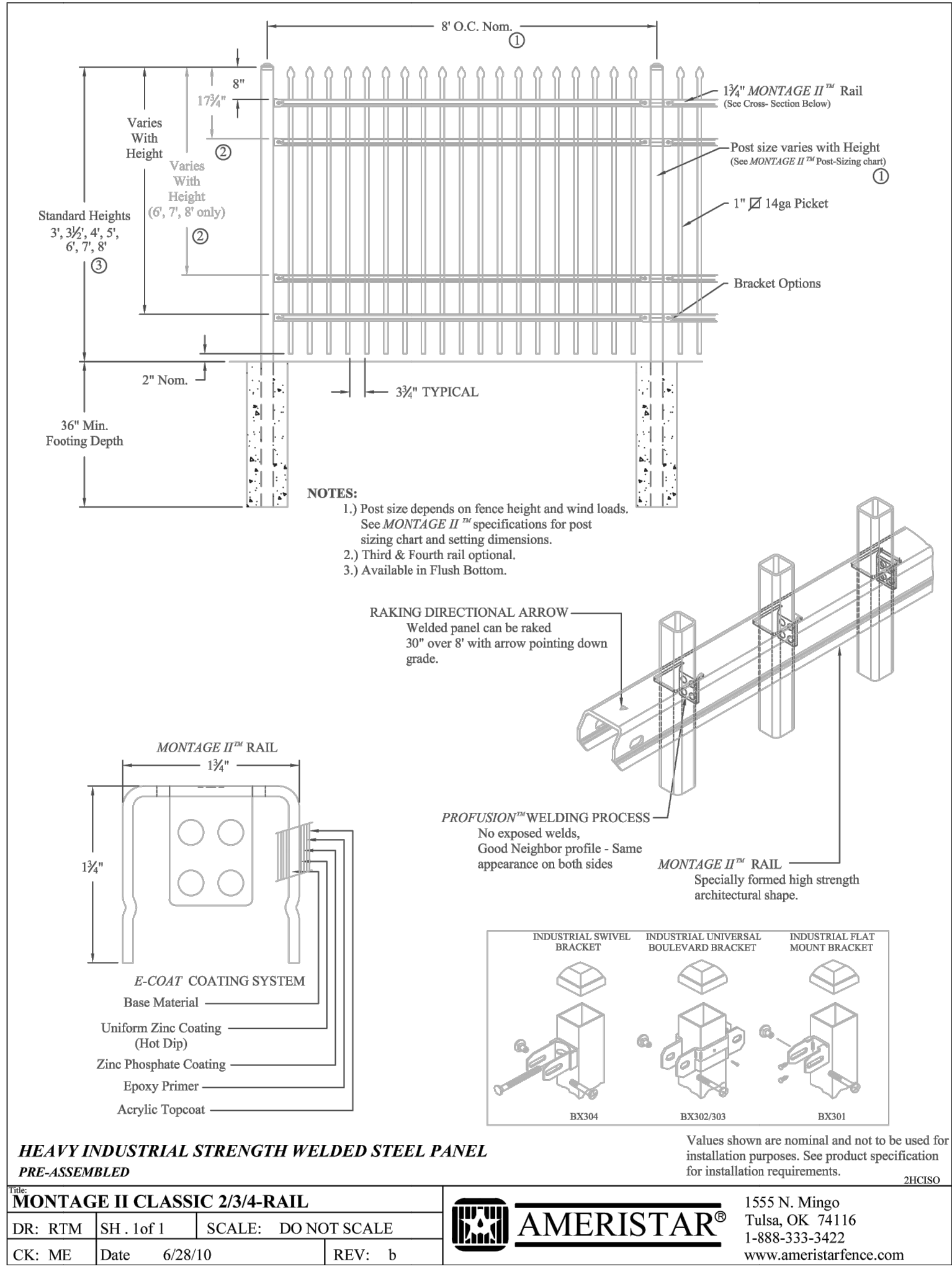
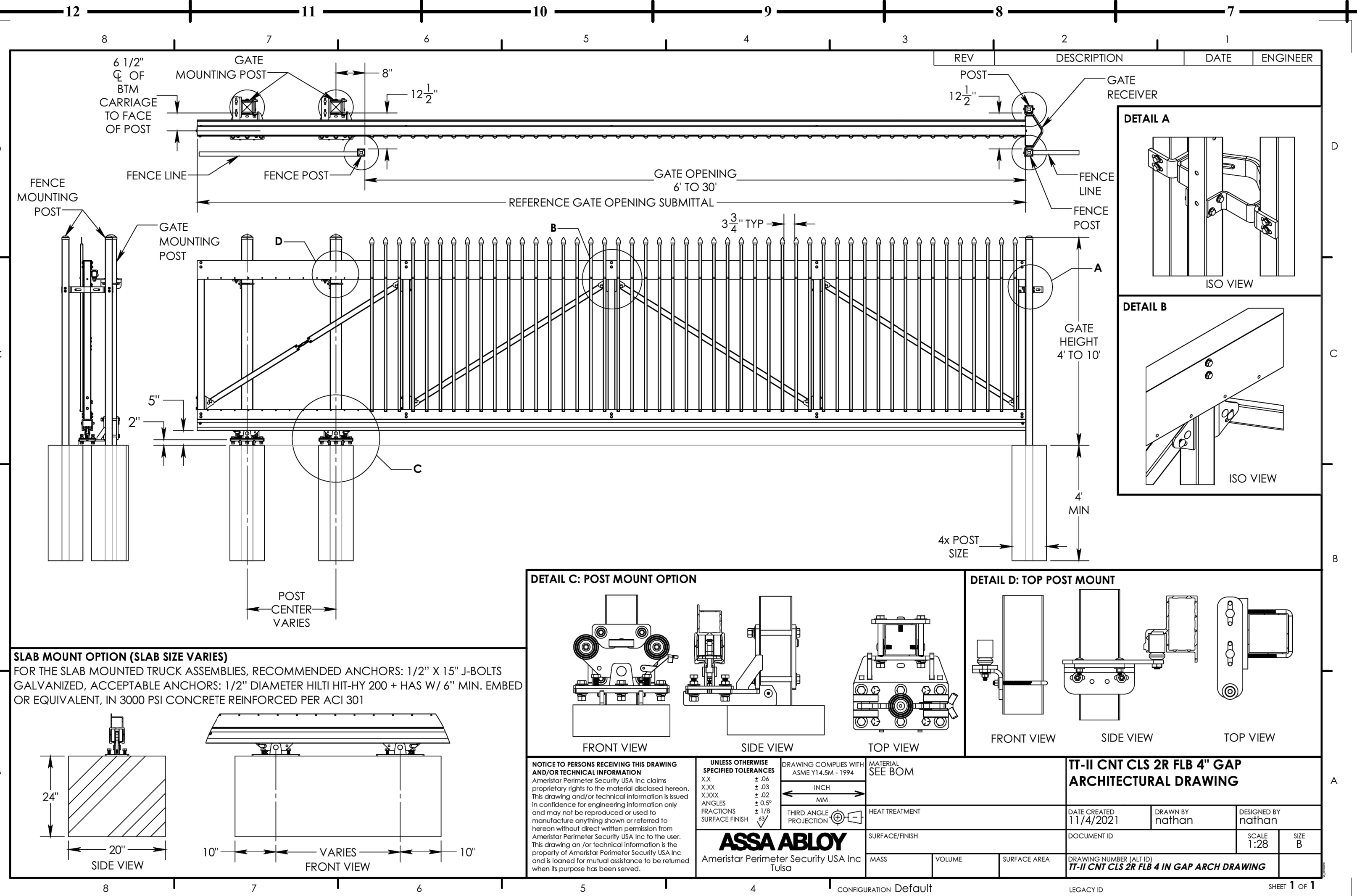


- GENERAL NOTES
- 3/4" ISOLATION JOINTS WITH 2 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
  - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
  - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
  - KOMMB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
  - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
  - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
  - ALL DOWELS & TIE BARS SHALL BE EPOXY COATED.

LEE'S SUMMIT MISSOURI  
PUBLIC WORKS ENGINEERING DIVISION 1205 GIBBS STREET, LEE'S SUMMIT, MO 64086

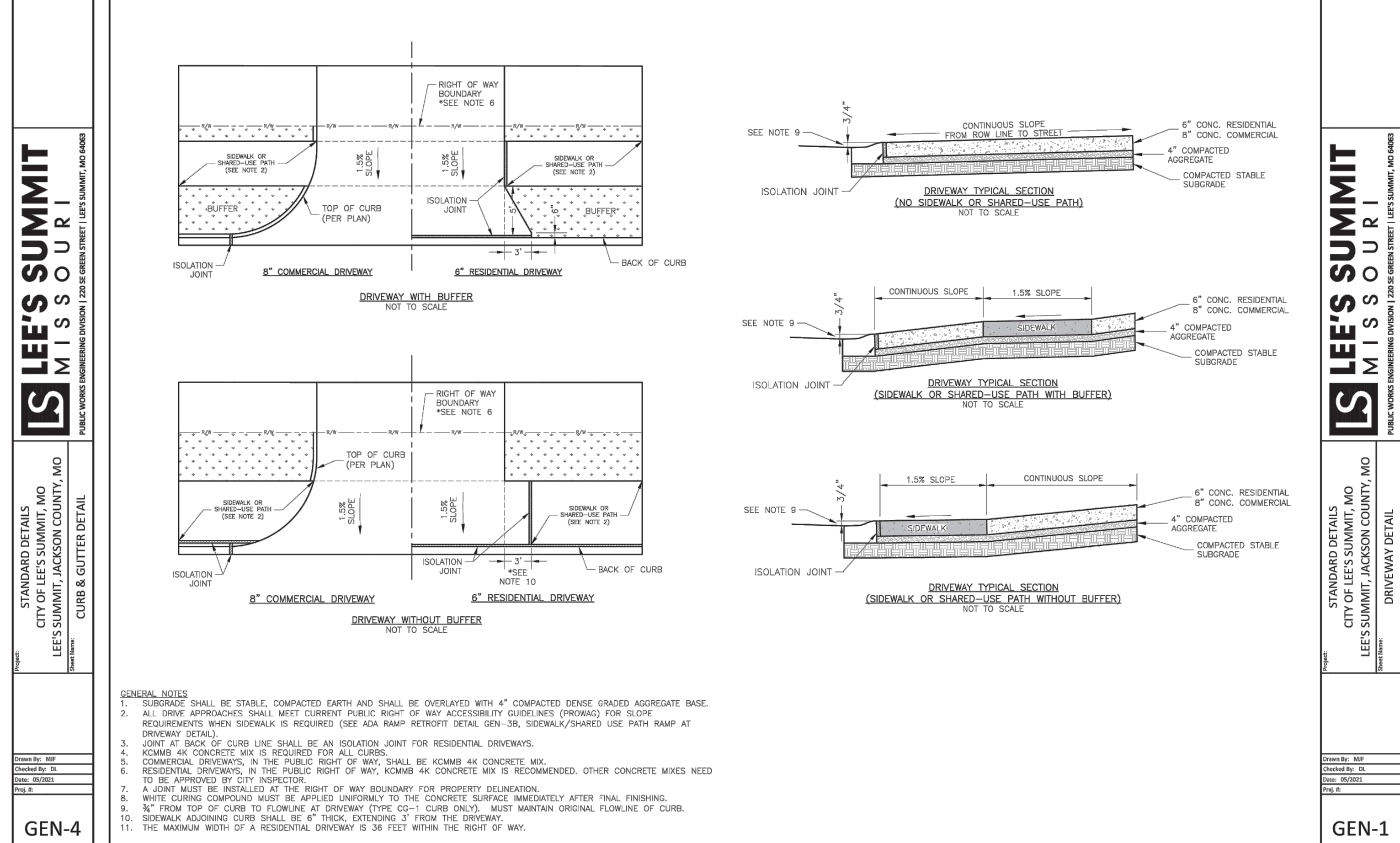
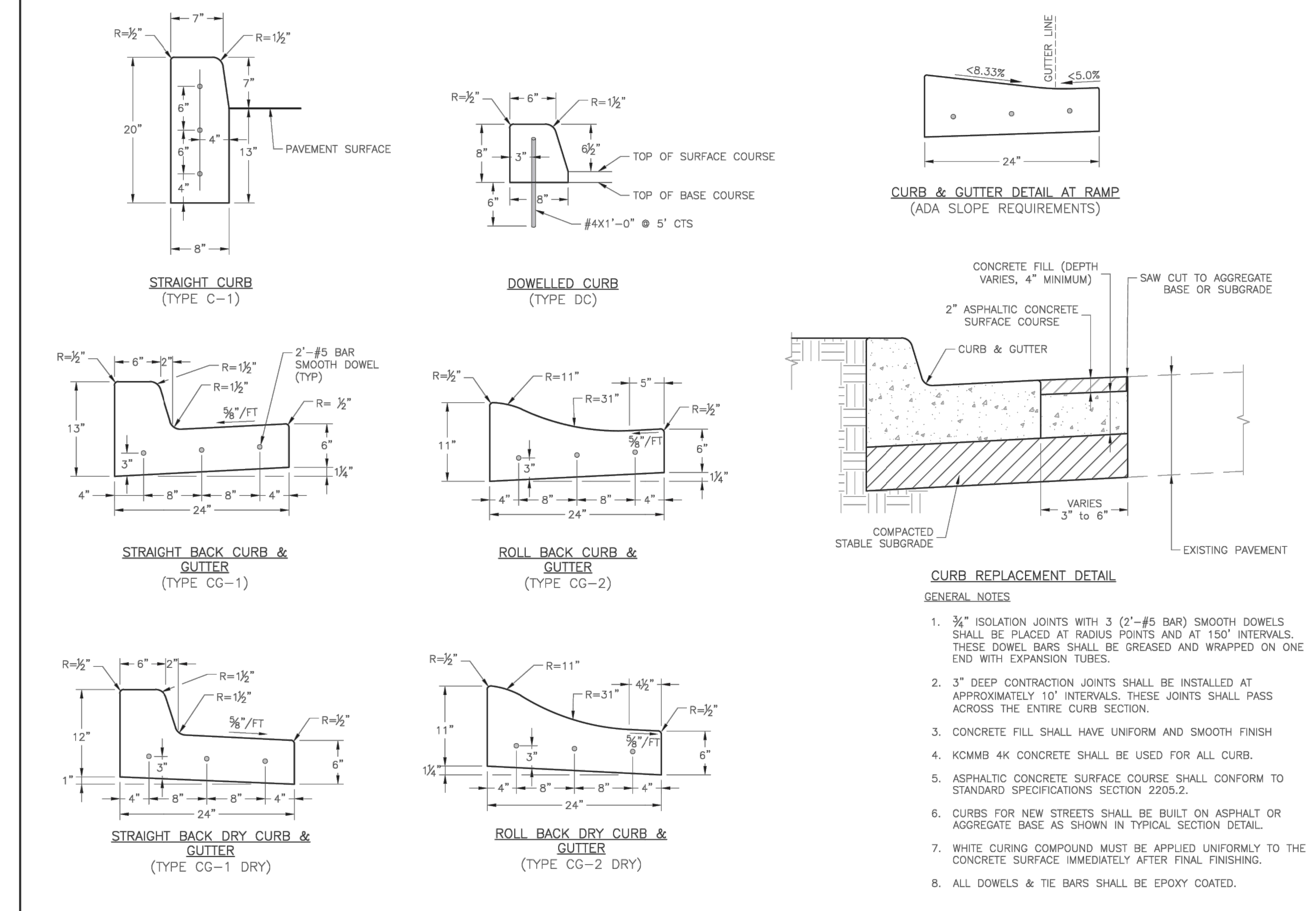
STANDARD DETAILS  
CITY OF LEE'S SUMMIT, MO  
LEE'S SUMMIT, JACKSON COUNTY, MO  
GEN-4  
CURB & GUTTER DETAIL





- NOTES:**
- CONTROL JOINT SPACING SHALL MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED @ 25' CENTERS OR WHERE WALKS ABUT CURBS, BUILDINGS, ETC....
  - ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.

**014 Concrete Sidewalk Section**  
Not to Scale



**HEAVY INDUSTRIAL STRENGTH WELDED STEEL PANEL**  
 PRE-ASSEMBLED

**MONTAGE II CLASSIC 2/3/4-RAIL**  
 DR: RTM SH\_1 of 1 SCALE: DO NOT SCALE  
 CK: ME Date 6/28/10 REV: b

**AMERISTAR**  
 1555 N. Mingo  
 Tulsa, OK 74116  
 1-888-333-9422  
 www.ameristarfence.com

Notes:  
 1) Post size depends on fence height and wind loads. See MONTAGE II specifications for post sizing chart and setting dimensions.  
 2) Third & Fourth rail optional.  
 3) Available in Flush Bottom.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEE'S SUMMIT, MO 64086

**STORM MANHOLE COVER DETAIL**  
 STM-6

Notes:  
 \*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEE'S SUMMIT, MO 64086

**VAULT FOR DOUBLE CHECK DETECTOR CHECK**  
 WAT-12

Notes:  
 1. METER VAULT WALLS TO BE POURED OR PRECAST CONCRETE.  
 2. METER VAULT ROOF TO BE REINFORCED CONCRETE OPENING CENTERED OVER DETECTOR METER.  
 3. METER VAULT TO BE LOCATED, WHEN POSSIBLE, OUTSIDE TRAFFIC AREA WHERE SURFACE WATER WILL NOT DRAIN INTO IT. VAULT MUST BE KEPT FREE OF WATER. PROVIDE CONCRETE SUMP AS A MINIMUM, WHERE PRACTICAL, PROVIDE A 2" PIPE DRAIN WITH AN ABOVE-GROUND DISCHARGE POINT. PROJECT OWNER MAY DESIRE A PERMANENTLY INSTALLED SUMP PUMP.  
 4. ALL PIPE SHALL BE DUCTILE IRON CLASS 50. ALL PIPE FITTINGS FROM THE CITY WATER MAIN THROUGH THE VAULT SHALL BE PROVIDED WITH RESTRAINED JOINT FITTINGS.  
 5. ALL FITTINGS TO BE BRASS.  
 6. STEPS SHALL BE IN ACCORDANCE WITH THE APPROVED PRODUCTS LIST FOR WATER UTILITIES AND SHALL BE ON 16" CENTERS.  
 7. A DEPARTMENT OF NATURAL RESOURCES APPROVED DOUBLE CHECK DETECTOR CHECK BACKFLOW PREVENTER MUST BE USED. FOR A COPY OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES APPROVED BACKFLOW PREVENTION ASSEMBLIES, CONTACT THE WATER UTILITIES OPERATIONS DIVISION AT 816-969-1940. AS OF JANUARY 1, 1987, THE DNR REQUIRES FIRE SPRINKLER SYSTEMS USING CHEMICALS TO HAVE A DNR APPROVED PRESSURE BACKFLOW PREVENTER INSTALLED, PRIOR TO THE MAKING POINT.  
 8. ALL VALVES SHALL HAVE RISING STEMS.  
 9. FOR MANHOLE COVERS, SELECT A MANHOLE FOUND ON THE APPROVED PRODUCTS LIST FOR WATER UTILITIES SUITABLE FOR EITHER TRAFFIC OR NON-TRAFFIC CONDITIONS.  
 10. A MINIMUM OF 18" CLEARANCE SHALL BE PROVIDED AROUND ALL PIPING, VALVES, APPURTENANCES, ETC.  
 11. METER SHALL BE OWNED AND MAINTAINED BY THE WATER UTILITIES DEPARTMENT.  
 12. IF PUBLIC WATER IS LOCATED ON THE OPPOSITE SIDE OF THE STREET, THEN THE PUBLIC WATER MAIN RESPONSIBILITY OF THE WATER UTILITIES DEPARTMENT ENDS AT THE GATE VALVE NEAREST THE VAULT.

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEE'S SUMMIT, MO 64086

**STANDARD 24" MANHOLE FRAME DETAIL**  
 STM-7

Notes:  
 \*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEE'S SUMMIT, MO 64086

**STANDARD 24" MANHOLE INLET DETAIL**  
 STM-2

Notes:  
 1. LOCATE RING AND COVER OVER OUTLET ON BLANK WALL.  
 2. USE 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS.  
 3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.  
 4. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 3' ON BLANK WALL IF POSSIBLE.  
 5. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE.  
 6. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.  
 7. SHOW FIELD INLET ORIENTATION ON PLANS PLUS NUMBER AND SIDE OF OPENINGS.  
 8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.  
 9. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEE'S SUMMIT, MO 64086

**STANDARD 24" MANHOLE FRAME DETAIL**  
 STM-1

Notes:  
 1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH APPROPRIATE AWS SPECIFICATIONS AND PROCEDURES.  
 2. ALL WELDS ON EXPOSED SURFACES SHALL BE DRESSED SO AS TO PROVIDE A PLEASING FINISHED APPEARANCE.  
 3. THE ENTIRE FRAME SHALL BE PAINTED A SINGLE COAT OF CHEM-PRIME #37H-78 PRIMER (GRAY) OR EQUAL.

REVISION DATES:

01	ADDENDUM 01	2024-10-30



PROFESSIONAL SEAL

**C7.3**

ISSUE DATE: AUGUST 30, 2024  
HOEFER WELKER #: 138161

REQUIRED CONCRETE BEARING AREA (SQUARE FEET - SF)					
NOM. DIA. (INCHES)	TEE	BEND	BEND	BEND	BEND
6	4.7	6.7	6.0	4.0	4.0
8	6.4	11.8	6.4	4.0	4.0
10	11.1	18.5	10.0	5.1	4.0
12	18.8	26.7	14.4	10.0	4.0
14	25.7	36.3	18.8	10.0	4.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4		32.5	16.5	8.1
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	29.4	14.8

**NOTES:**  
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.  
2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.  
3. BEARING AREA MUST BE AGAINST UNDISTURBED SOIL.  
4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**HORIZONTAL THRUST BLOCKS**

Date: 02/13  
Drawn By: JN  
Checked By: DL  
FILE: WAT-1  
Rev: 1/14  
Rev:

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**SERVICE CONNECTION WITH METER WELL**

Date: 06/2023  
Drawn By: JN  
Checked By: DL  
FILE: WAT-11  
Rev:

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**Vault FOR DOUBLE CHECK DETECTOR CHECK**

Date: 02/2024  
Drawn By: JN  
Checked By: DL  
FILE: WAT-12  
Rev:

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**HYDRANT INSTALLATION - STRAIGHT SET**

Date: 02/13  
Drawn By: JN  
Checked By: DL  
FILE: WAT-7  
Rev: 1/14  
Rev:

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**HYDRANT WITH 90 DEGREE BEND**

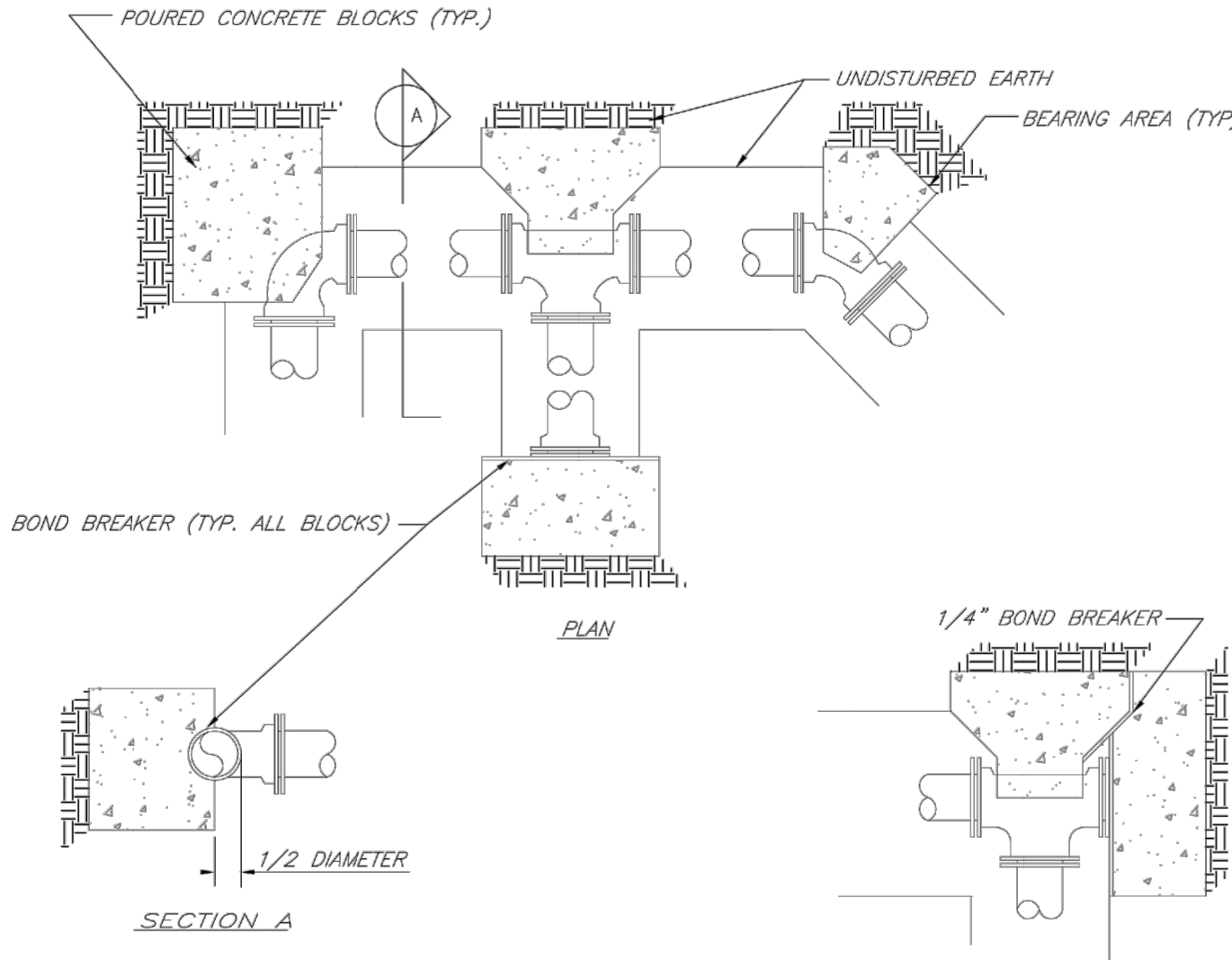
Date: 02/13  
Drawn By: JN  
Checked By: DL  
FILE: WAT-8  
Rev: 1/14  
Rev:

**LEE'S SUMMIT MISSOURI**  
PUBLIC WORKS ENGINEERING DIVISION | 2205 SE GREEN STREET | LEES SUMMIT, MO 64086  
**PIPE ENCASEMENT DETAIL**

Date: 02/2024  
Drawn By: JN  
Checked By: DL  
FILE: SAN-7  
Rev:

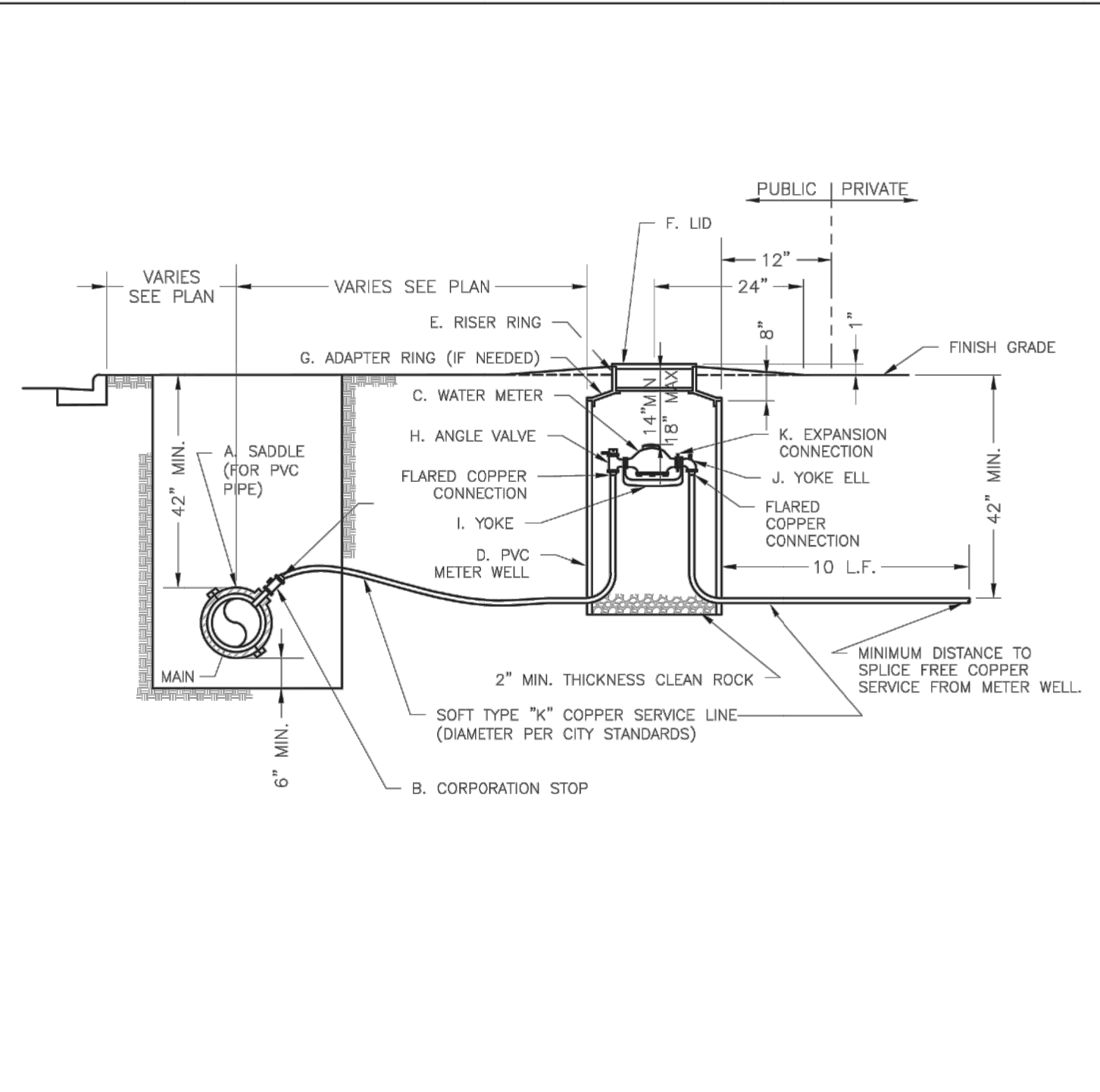
REQUIRED CONCRETE BEARING AREA (SQ. FEET - SF)					
NOM. DIA. (INCHES)	180	90	45	22.5	11.25
6	4.7	6.7	4.0	4.0	4.0
8	8.4	11.9	6.4	4.0	4.0
10	13.1	18.5	10.0	5.1	4.0
12	18.9	26.7	14.4	5.4	4.0
14	25.7	36.2	19.6	10.0	5.0
16	33.5	47.4	25.6	13.1	6.6
18	42.4	59.2	32.5	15.5	8.3
20	REST. JT.	REST. JT.	40.1	20.4	10.3
24	REST. JT.	REST. JT.	REST. JT.	28.4	14.8

- NOTES:**  
 1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.  
 2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.  
 3. BEARING AREA MUST BE ADJACENT UNDISTURBED SOIL.  
 4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.



**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64083  
**HORIZONTAL THRUST BLOCKS**

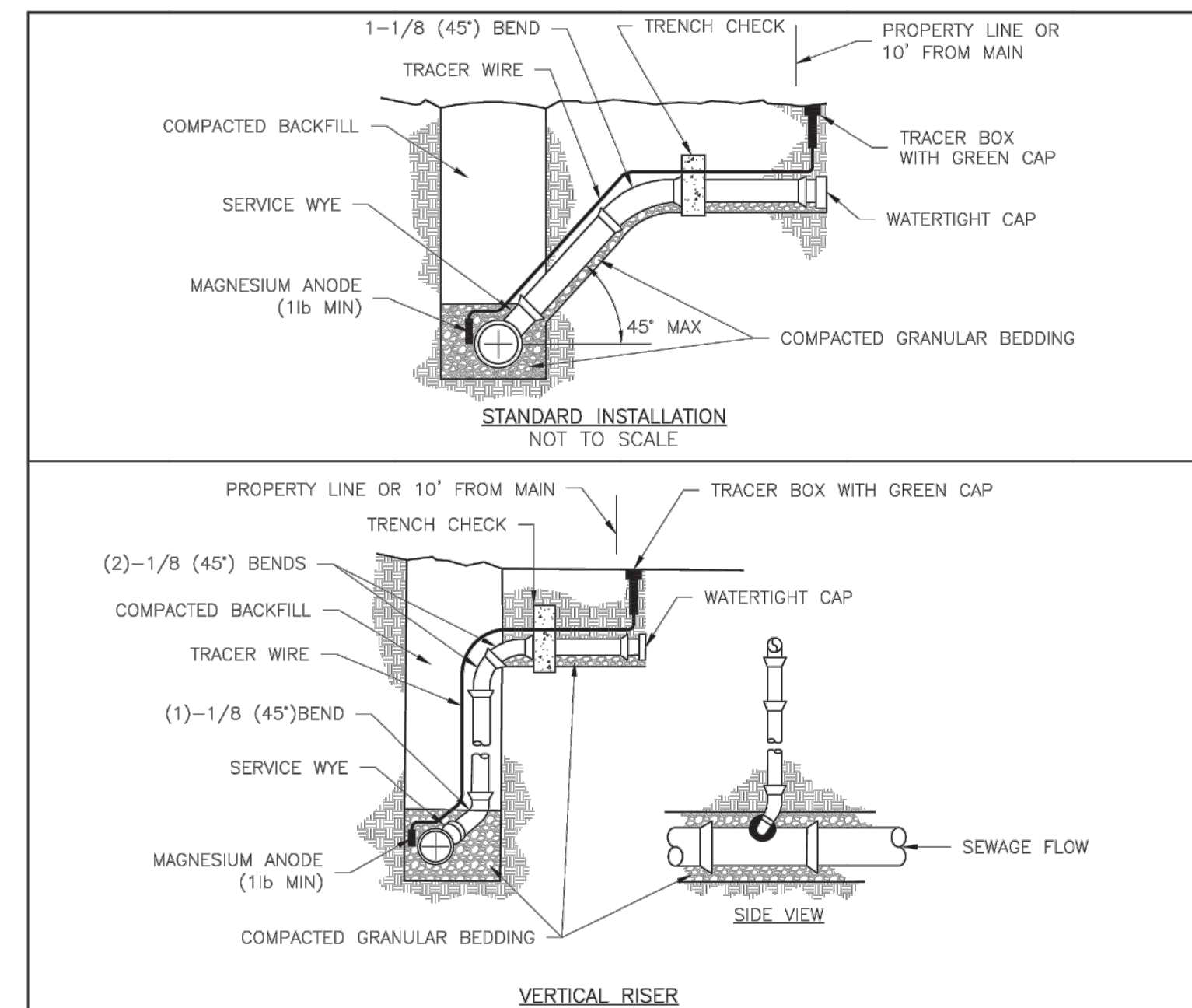
Date: 02/13  
 Drawn By: JH  
 Checked By: DL  
 FILE: WAT-1  
 Rev: 1/14



- NOTES:**  
 1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.  
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.  
 3. CITY TO FURNISH ITEMS A-K.  
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.  
 5. 42\"/>

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64083  
**SERVICE CONNECTION WITH METER WELL**

Date: 06/2013  
 Drawn By: JH  
 Checked By: DL  
**WAT-11**



- NOTES:**  
 1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHICHEVER IS GREATER. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.  
 2. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).  
 3. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6\"/>

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEES SUMMIT, MO 64083  
**SANITARY SEWER STUB DETAIL**

Date: 12/2015  
 Drawn By: MIF  
 Checked By: DL  
**SAN-1**