

DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

PRINTS ISSUED
11/27/2024 - CITY SUBMISSION

REVISIONS:
1 01/14/25 ADDENDUM #1

rosemann & associates p.c.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
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DISCOVERY PARK - LOT #9 - B

240 NE ALURA WAY
LEE'S SUMMIT, MISSOURI 64064

SHEET TITLE
TITLE SHEET

PROJECT NUMBER: 24018

SHEET NUMBER:

G-001

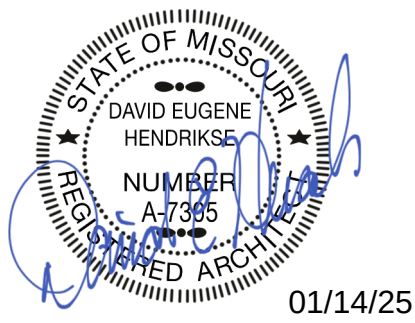
PROJECT CERTIFICATION

I, **David E. Hendrikse**, hereby specify pursuant to the governing requirements of the state, that the documents intended to be authenticated by my seal are limited to:

G-001	G-200	G-212	A-106	A-202	A-403	A-502
G-001.1	G-201	G-300	A-110	A-203	A-404	A-503
G-002	G-202	G-301	A-111	A-204	A-405	A-504
G-003	G-203	G-302	A-112	A-300	A-406	A-505
G-004	G-204	G-303	A-113	A-301	A-407	A-506
G-005	G-205	AS-100	A-114	A-302	A-408	A-507
G-006	G-206	AS-101	A-115	A-303	A-409	A-508
G-007	G-207	A-101	A-120	A-304	A-410	A-501
G-100	A-102	A-102	A-121	A-305	A-411	A-502
G-101	G-208	A-103	A-125	A-400	A-415	A-603
G-102	G-210	A-104	A-200	A-401	A-500	A-700
G-103	G-211	A-105	A-201	A-402	A-501	A-710

and I hereby disclaim any responsibility for all other plans, specifications, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

SEAL



David E. Hendrikse, AIA

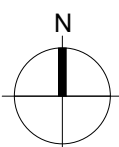
REGIONAL MAP



VICINITY MAP



DISCOVERY PARK - LOT #9 - B
240 NE ALURA WAY
LEE'S SUMMIT, MISSOURI 64064



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CIVIL UNDER SEPARATE REVIEW, REFERENCE FDP

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MECHANICAL

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11/27/24	MEP4	MEP PLAN - ROOF		
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ELECTRICAL

Sheet Issue Date	Sheet Number	Sheet Name	Rev.	Current Revision Date
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11/27/24	EP103	POWER PLAN - THIRD FLOOR - AREA A		
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11/27/24	EP113	POWER PLAN - THIRD FLOOR - AREA B		
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11/27/24	EL103	LIGHTING PLAN - THIRD FLOOR - AREA A		
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11/27/24	EL112	LIGHTING PLAN - SECOND FLOOR - AREA B		
11/27/24	EL113	LIGHTING PLAN - THIRD FLOOR - AREA B		
11/27/24	EL201	EXTERIOR BUILDING MOUNTED LIGHTING PLAN		

PROJECT DATA

PROJECT DESIGN INFORMATION

NEW CONSTRUCTION:

ZONING: PMIX - PLANNED MIXED USE DISTRICT

CODE: 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRIC CODE
2009 ACCESSIBILITY CODE (ICC/ANSI 117-1)
LEE'S SUMMIT AMENDMENTS TO THE ENERGY CODE

OCCUPANCY GROUP:

R-2, APARTMENTS
S-2, OPEN PARKING GARAGE

TYPE OF CONSTRUCTION:

R-2, TYPE VA
S-2, TYPE IIA

ENERGY CONSERVATION:

WALLS AS PART OF BLDG ENVELOPE R-13
FLOORS AS PART OF BLDG ENVELOPE R-19
ROOFS AS PART OF BLDG ENVELOPE R-19
CEILINGS AS PART OF BLDG ENVELOPE R-30

BUILDING SUMMARY:

NUMBER: (1) TOTAL BUILDINGS
HEIGHT: 3 STORIES, 42'-0"

SQUARE FOOTAGES:

GROSS NET

GARAGE	13,738 S.F.	
FIRST FLOOR	22,980 S.F.	22,414 S.F.
SECOND FLOOR	22,980 S.F.	22,414 S.F.
THIRD FLOOR	22,980 S.F.	22,414 S.F.

UNIT SUMMARY:

OVERALL UNIT TOTAL	(57) UNITS
TYPE "A" UNITS (2% OF TOTAL)	(2) UNITS - ABERDEEN "A"
HIVI UNITS (2% OF TOTAL)	(1) UNITS - ADRIAN "HIVI"
STANDARD UNITS	(10) UNITS - ABERDEEN (17) UNITS - ADRIAN (3) UNITS - ADRIAN - LRG (3) UNITS - ARA (6) UNITS - CONWAY III (3) UNITS - DELMORE (3) UNITS - HALL (3) UNITS - HURLEY LS (3) UNITS - HURLEY LS CORNER (3) UNITS - LANA (57) UNITS
SQUARE FOOTAGE:	GROSS NET
ABERDEEN "A"	1,283 S.F. 1,216 S.F.
ABERDEEN "B"	1,283 S.F. 1,216 S.F.
ADRIAN	798 S.F. 748 S.F.
ADRIAN - LRG	1,037 S.F. 978 S.F.
ARA	572 S.F. 530 S.F.
CONWAY III	935 S.F. 875 S.F.
DELMORE	1,058 S.F. 988 S.F.
HALL	1,019 S.F. 961 S.F.
HURLEY LS	1,363 S.F. 1,293 S.F.
HURLEY LS CORNER	1,299 S.F. 1,226 S.F.
LANA	1,022 S.F. 961 S.F.

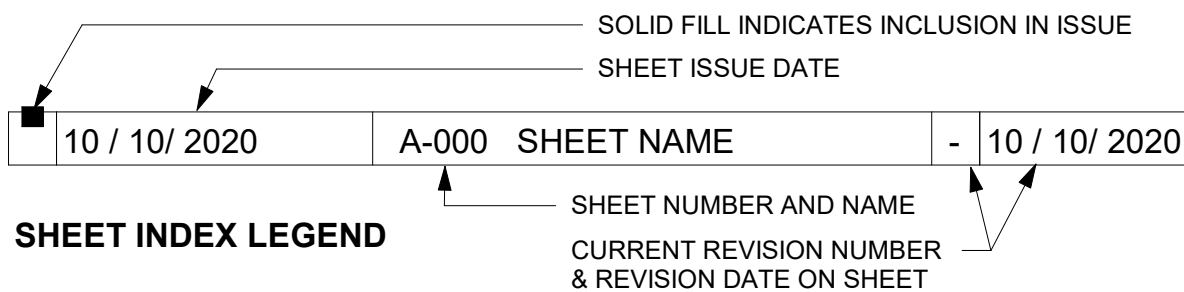
SEE CIVIL FOR SITE SUMMARY

NOTE: SQUARE FOOTAGE

-GROSS - COMMON SPACE CALCULATION: OUTSIDE PERIMETER OF STUD (ENTIRE BUILDING) LESS THE TOTAL OF THE GROSS UNIT SQUARE FOOTAGE PER FLOOR.
-GROSS - UNIT CALCULATION: CENTERLINE OF PARTY WALL TO OUTSIDE OF EXTERIOR STUD WALL AND/OR OUTSIDE OF CORRIDOR STUD WALL.
-NET - PAINT-TO-PAINT AT PERIMETER, TAKEN FROM INSIDE OF DEMISING, EXTERIOR, AND CORRIDOR WALLS.

ELECTRICAL

Sheet Issue Date	Sheet Number	Sheet Name	Rev.	Current Revision Date
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11/27/24	FP102	FIRE PROTECTION PLAN - SECOND AND THIRD FLOOR		
11/27/24	E501	ELECTRICAL DETAILS		
11/27/24	E601	ELECTRICAL SCHEDULES		



PRINTS ISSUED
11/27/2024 - CITY SUBMISSION
REVISIONS:

PLUMBING					
Sheet Issue Date	Sheet Number	Sheet Name	Rev.	Current Revision Date	
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11/27/24	PS102	SANITARY SEWER PLAN - SECOND FLOOR - AREA A			
11/27/24	PS103	SANITARY SEWER PLAN - THIRD FLOOR - AREA A			
11/27/24	PS110	SANITARY SEWER PLAN - GARAGE			
11/27/24	PS111	SANITARY SEWER PLAN - FIRST FLOOR - AREA B	1	01/14/25	
11/27/24	PS112	SANITARY SEWER PLAN - SECOND FLOOR - AREA B	1	01/14/25	
11/27/24	PS113	SANITARY SEWER PLAN - THIRD FLOOR - AREA B			
11/27/24	PS201	STORM DRAIN PLAN - GARAGE	1	01/14/25	
11/27/24	PS202	STORM DRAIN PLAN - FIRST & SECOND FLOOR			
11/27/24	PS203	STORM DRAIN PLAN - THIRD FLOOR & ROOF			
11/27/24	PW101	DOMESTIC WATER PLAN - FIRST FLOOR - AREA A			
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11/27/24	PW103	DOMESTIC WATER PLAN - THIRD FLOOR - AREA A			
11/27/24	PW110	DOMESTIC WATER PLAN - GARAGE			
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UMEP					
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11/27/24	UMEP1.3	MEP PLAN - ADRIAN LARGE			
11/27/24	UMEP1.4	MEP PLAN - DELMORE			
11/27/24	UMEP1.5	MEP PLAN - HALI			
11/27/24	UMEP2.1.1	HVAC & WATER PLAN - ABERDEEN TYPE A			
11/27/24	UMEP2.1.2	POWER & LIGHTING PLAN - ABERDEEN TYPE A			
11/27/24	UMEP2.2.1	HVAC & WATER PLAN - ABERDEEN TYPE B			
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11/27/24	UMEP2.3.1	HVAC & WATER PLAN - CONWAY III			
11/27/24	UMEP2.3.2	POWER & LIGHTING PLAN - CONWAY III	1	01/14/25	
11/27/24	UMEP2.4.1	HVAC & WATER PLAN - HURLEY LS			
11/27/24	UMEP2.4.2	POWER & LIGHTING PLAN - HURLEY LS			
11/27/24	UMEP2.5.1	HVAC & WATER PLAN - HURLEY LS TYPE B			
11/27/24	UMEP2.5.2	POWER & LIGHTING PLAN - HURLEY LS TYPE B			
11/27/24	UMEP2.6.1	HVAC & WATER PLAN - LANA			
11/27/24	UMEP2.6.2	POWER & LIGHTING PLAN - LANA			



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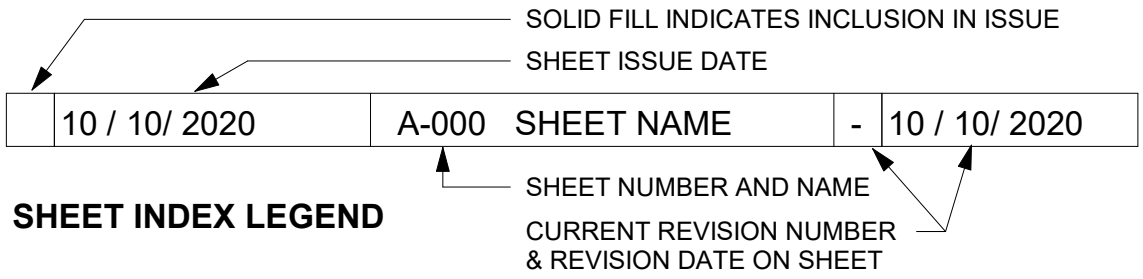


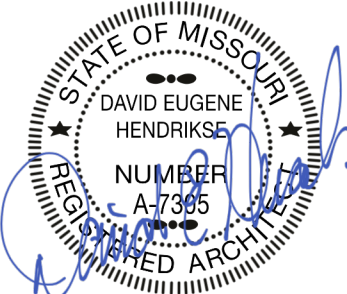
DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
SHEET INDEX (CONT.)
PROJECT NUMBER: 24018
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G-001.1





01/14/25

DISCOVERY PARK - LOT #9 - B

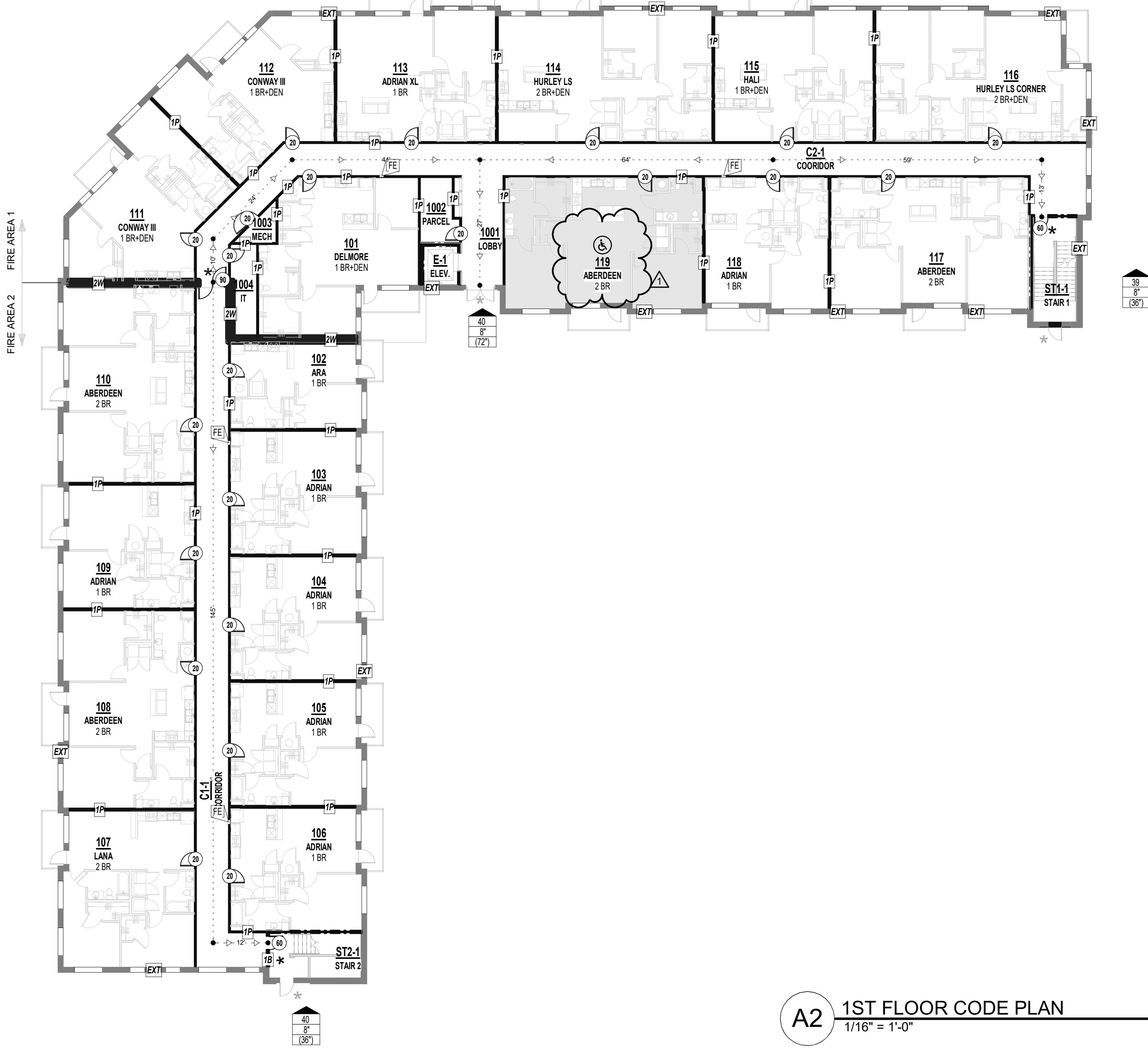
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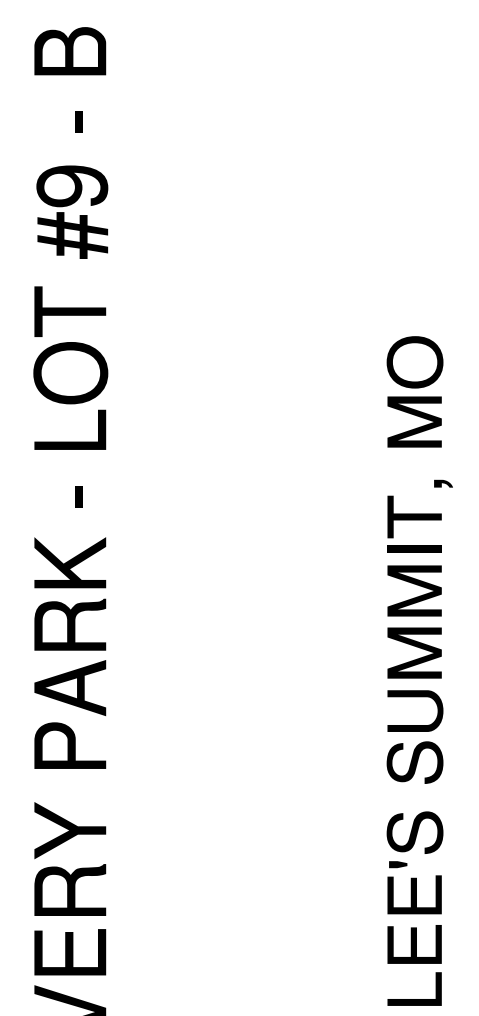
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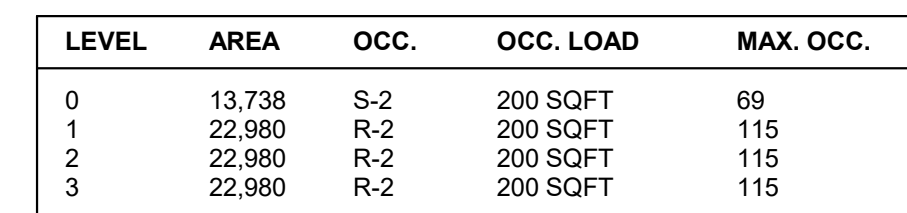
SHEET NUMBER:

G-100





G-101



A1 2ND FLOOR CODE PLAN
1/16" = 1'-0"

PRINTS ISSUED
11/27/2024 - CITY SUBMISSION

REVISIONS:
1 01/14/25 ADDENDUM #1

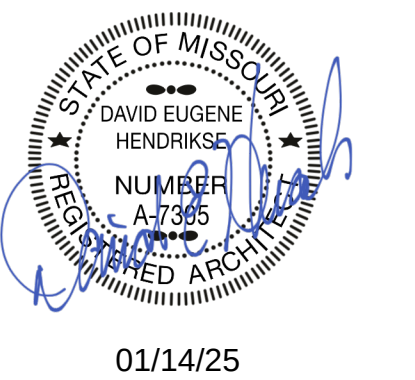


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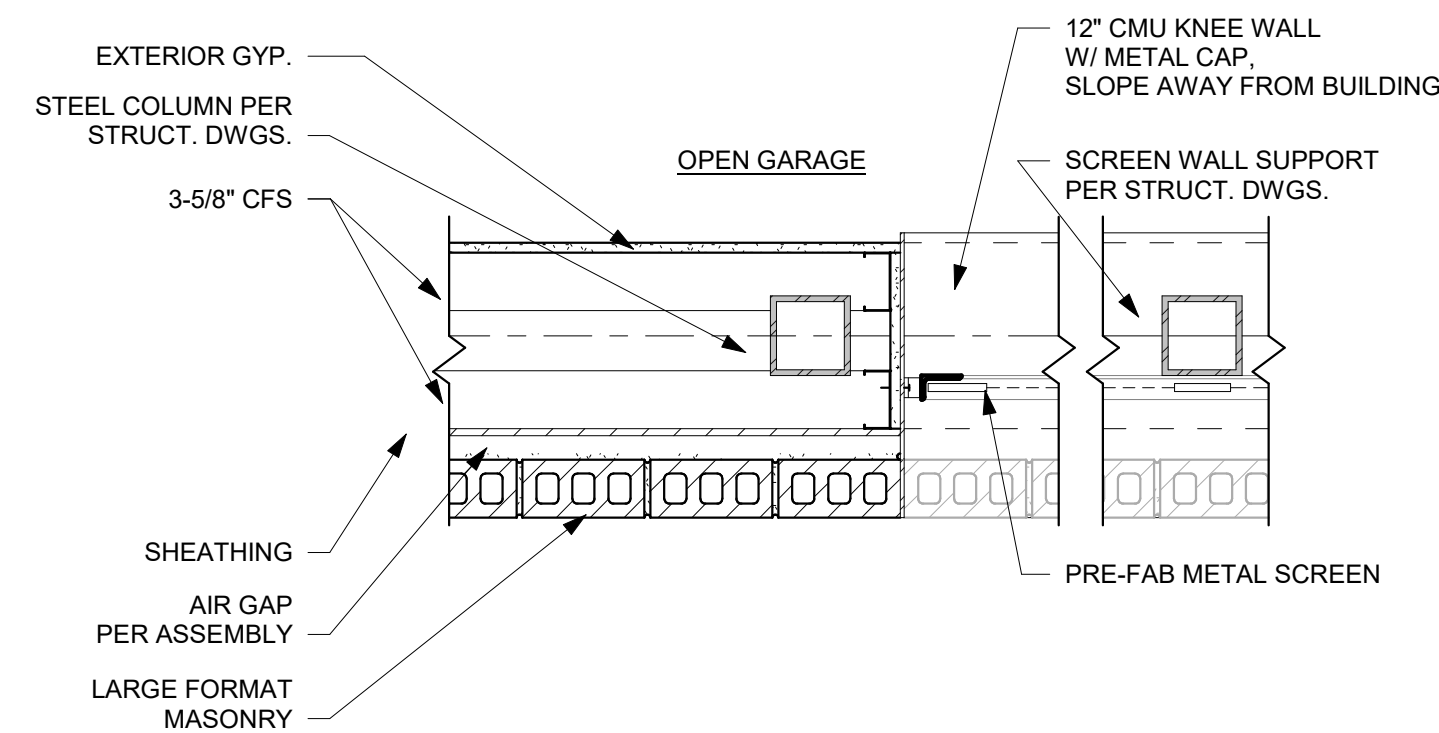
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SHEET TITLE
GARAGE FLOOR PLAN

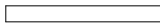
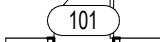
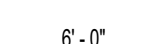
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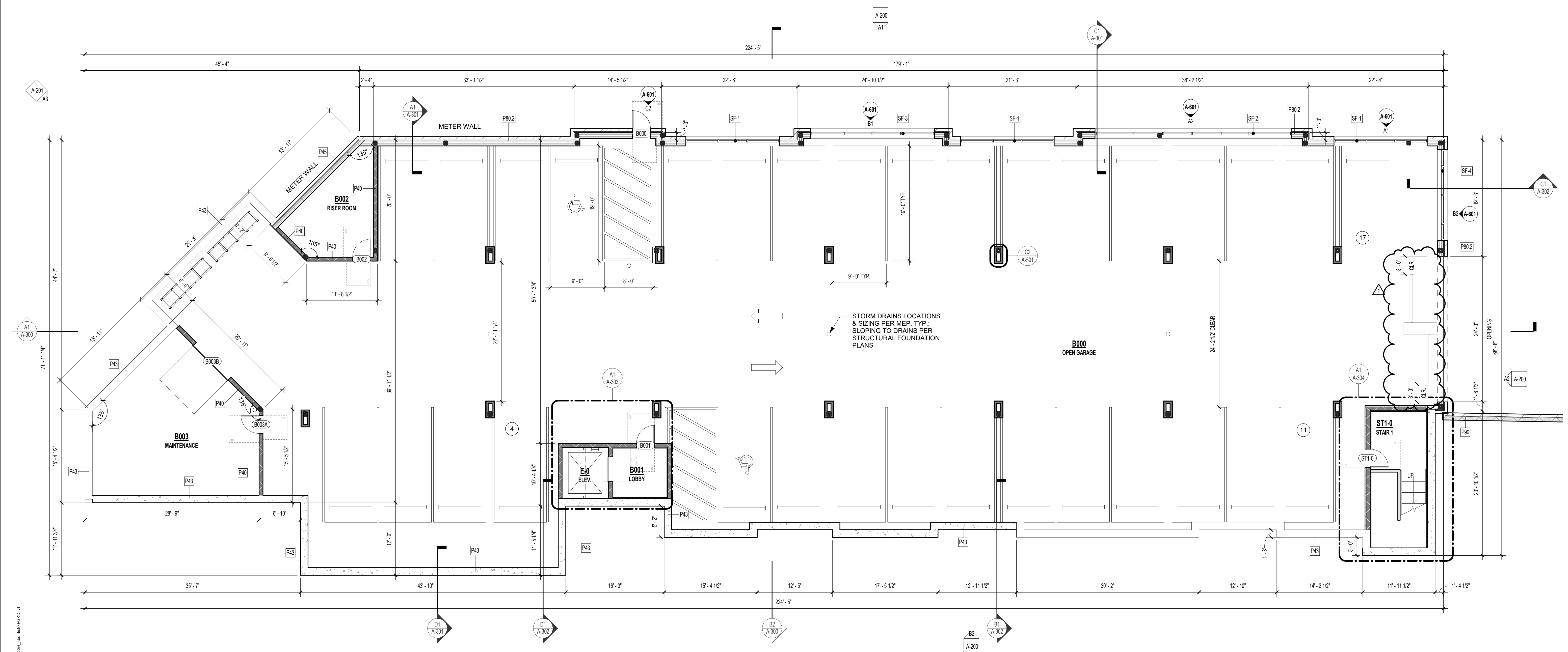
A-101



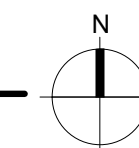
A2 BRICK TRANSITION @ SCREEN (PLAN)
1" = 1'-0"

PLAN LEGEND

- | | |
|---|---|
|  | PARTIAL HEIGHT PARTITION |
|  | NON-RATED PARTITION; SEE ASSEMBLIES G-100s |
|  | 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s |
|  | 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s |
|  | WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600 |
|  | DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600 |
|  | PARTITION TYPE; SEE ASSEMBLIES G-100s |
|  | FRAMING DIMENSIONS |
|  | LAYOUT LINE DIMENSIONS |
|  | HEARING/VISIBILITY |
|  | ADA/ACCESSIBLE UNITS |

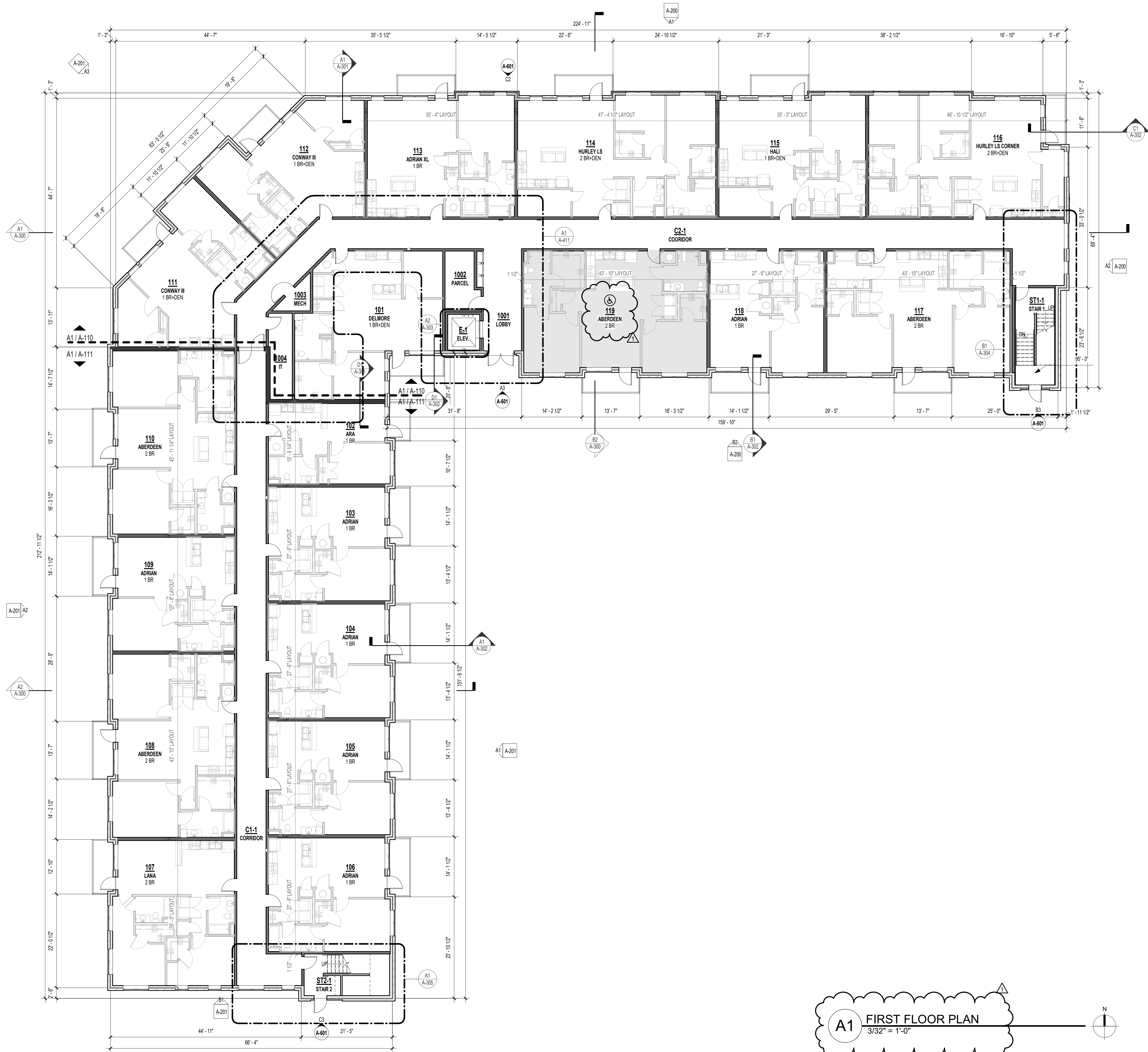


A1 GARAGE PLAN - ENLARGED
1/8" = 1'-0"



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11/13/2025 3:40:15 PM
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A1

FIRST FLOOR PLAN
3/32" = 1'-0"

N

REFERENCE G-003 FOR GENERAL NOTES

PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS

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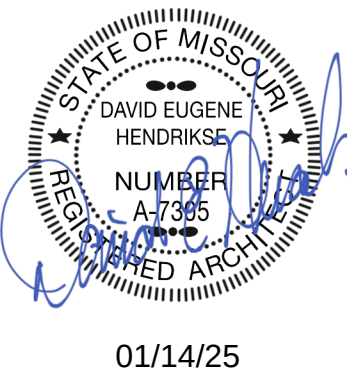
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DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
FIRST FLOOR PLAN

PROJECT NUMBER: 24018
SHEET NUMBER:

A-102

REFERENCE G-003 FOR GENERAL NOTES

PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS

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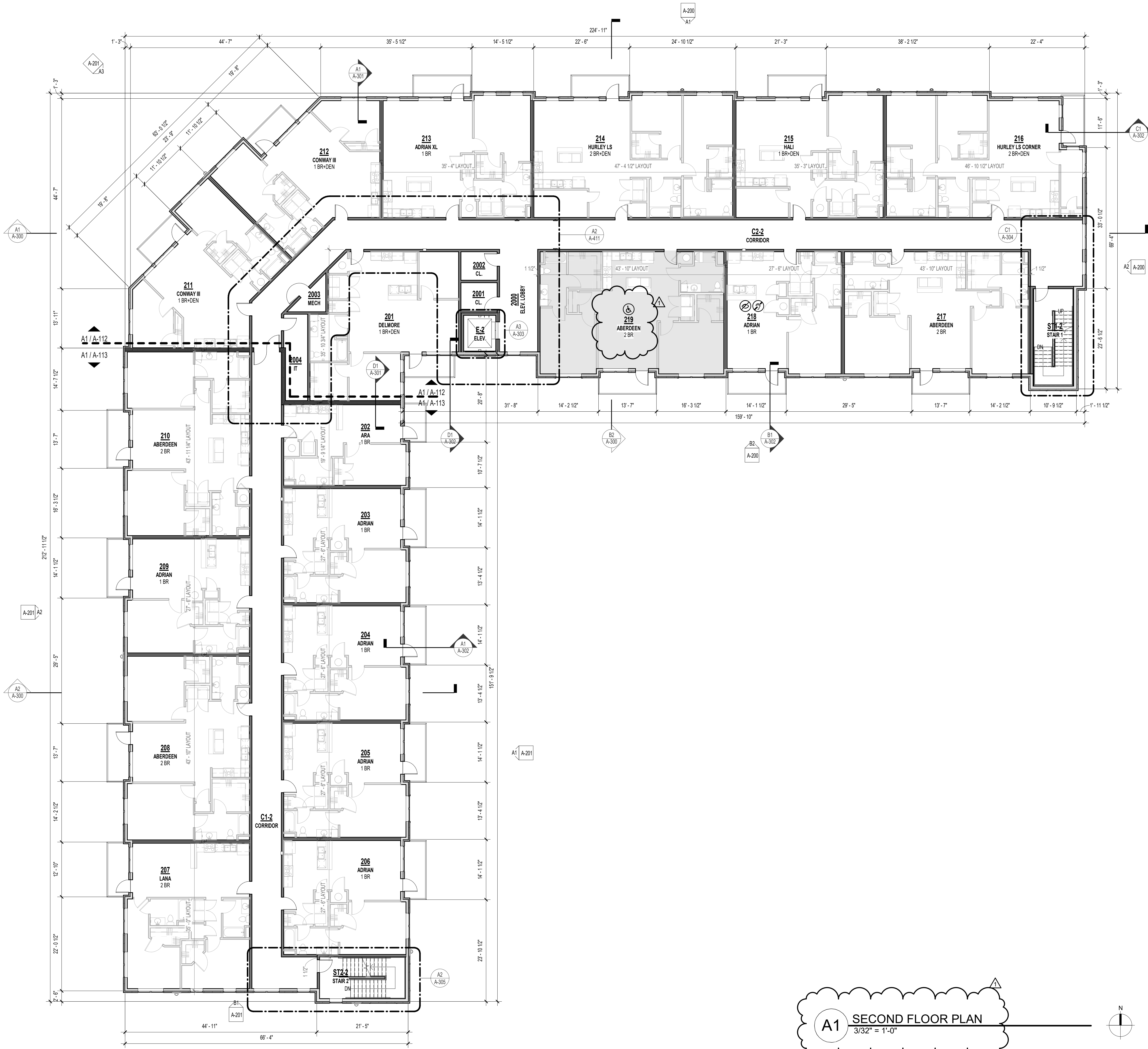
DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
SECOND FLOOR PLAN

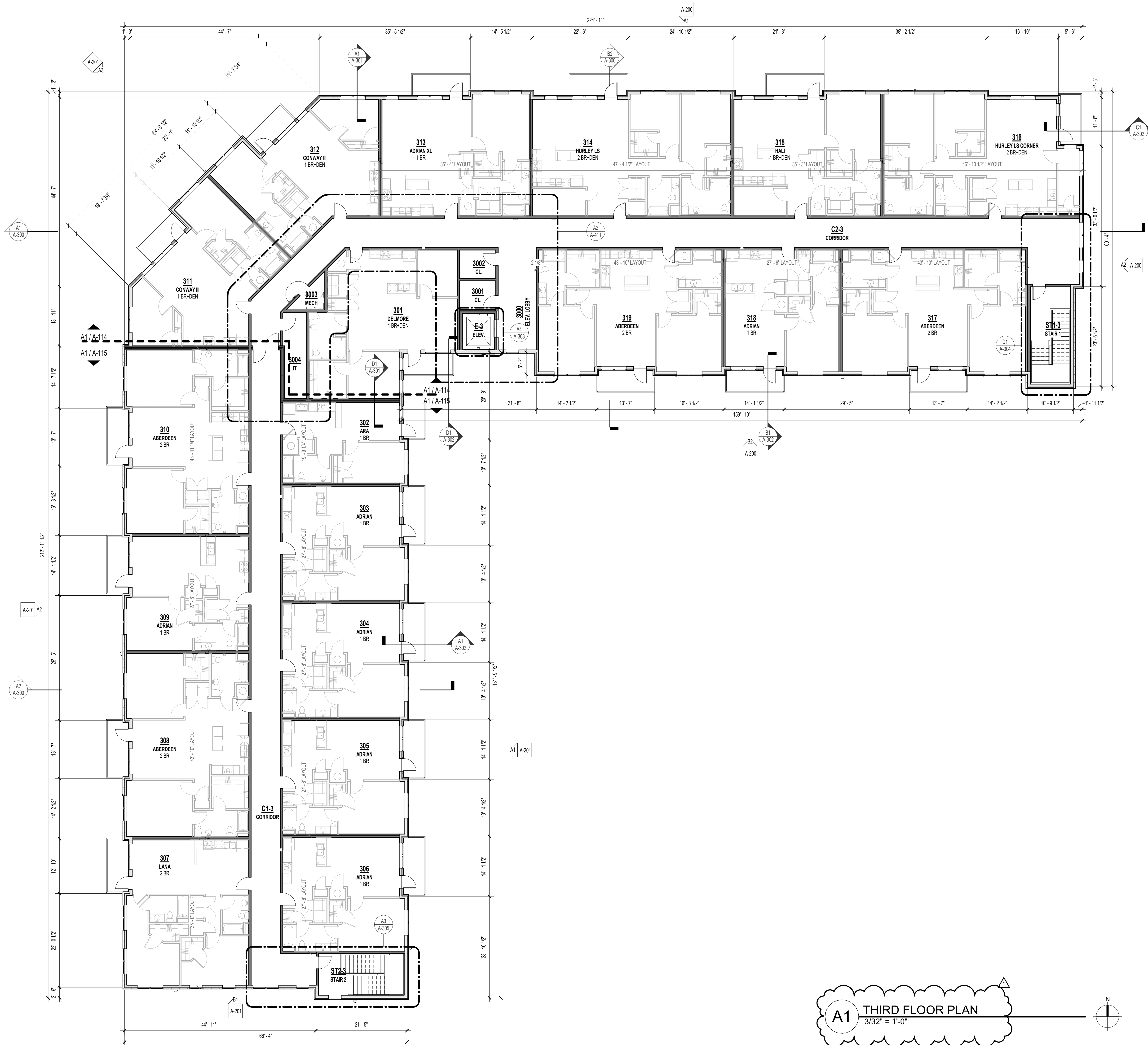
PROJECT NUMBER: 24018
SHEET NUMBER:

A-103



A1 SECOND FLOOR PLAN
3/32" = 1'-0"

11/26/25 3:40:41 PM
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A1 THIRD FLOOR PLAN
3/32" = 1'-0"

REFERENCE G-003 FOR GENERAL NOTES

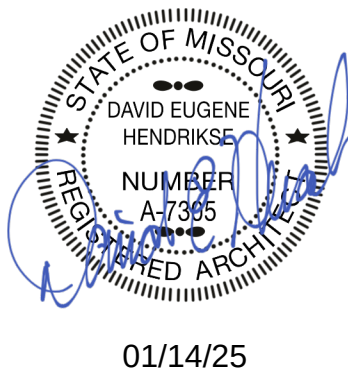
PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS

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DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
THIRD FLOOR PLAN

PROJECT NUMBER: 24018

SHEET NUMBER:

A-104

REFERENCE G-003 FOR GENERAL NOTES

PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS

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DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
ENLARGED PLAN - 1ST FLOOR
ZONE A
PROJECT NUMBER: 24018
SHEET NUMBER:

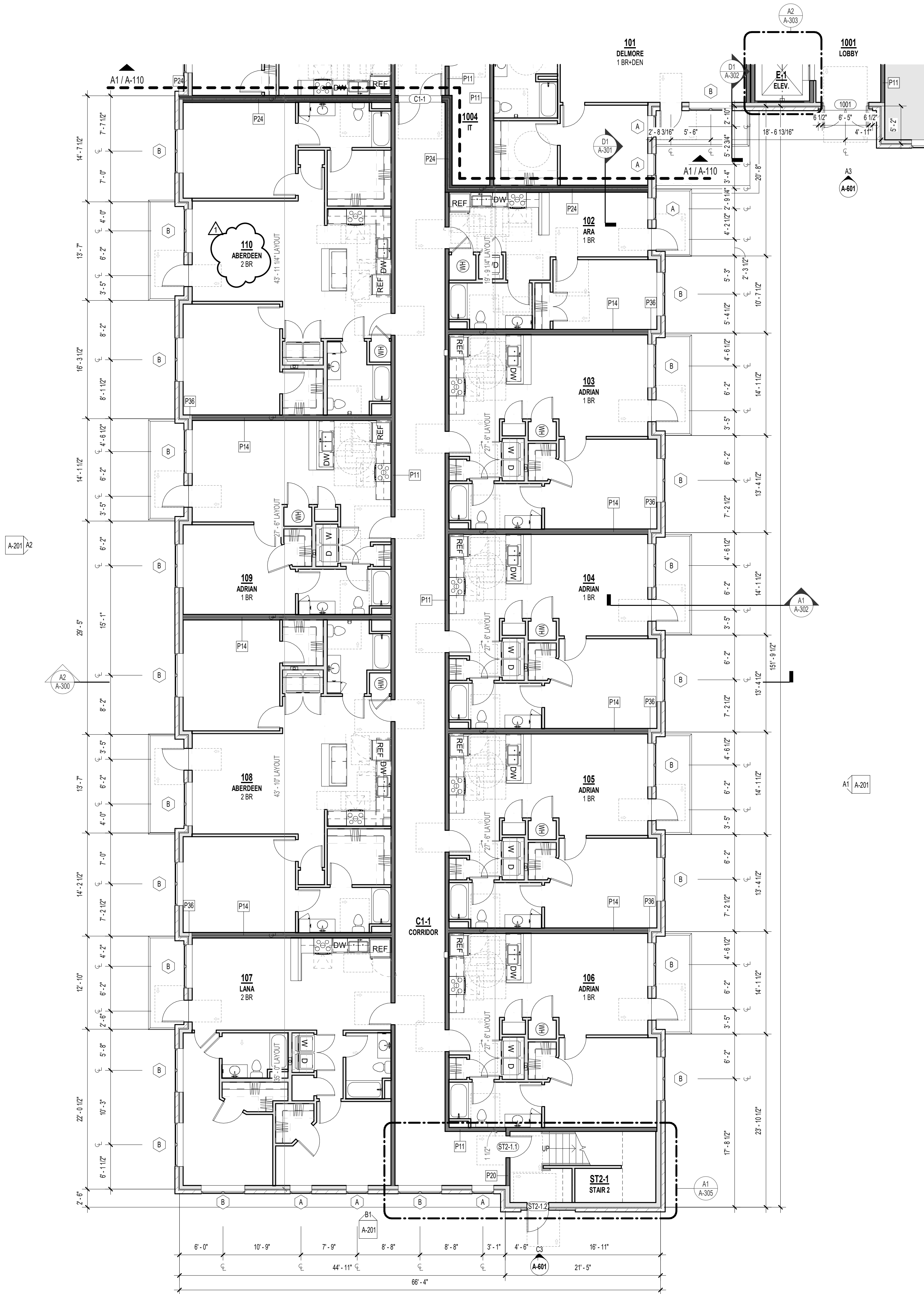
A-110

A1 1ST FLOOR ENLARGED PLAN - ZONE A
1/8" = 1'-0"



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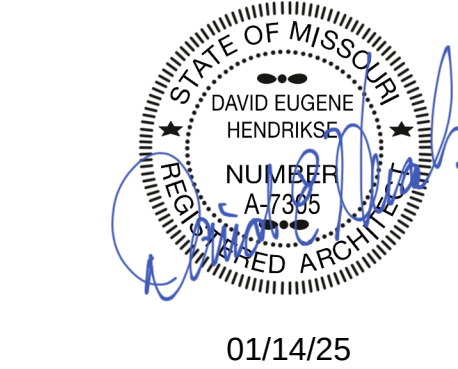
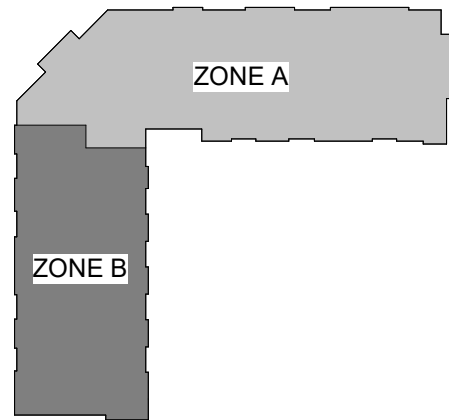


A1 1ST FLOOR ENLARGED PLAN - ZONE B
1/8" = 1'-0"

REFERENCE G-003 FOR GENERAL NOTES

PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS



01/14/25

DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
ENLARGED PLAN - 1ST FLOOR
ZONE B

PROJECT NUMBER: 24018

SHEET NUMBER:

A-111

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PLAN LEGEND

- PARTIAL HEIGHT PARTITION
- NON-RATED PARTITION; SEE ASSEMBLIES G-100s
- 1 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- 2 HR RATED PARTITION; SEE ASSEMBLIES G-100s
- WINDOW TYPE; SEE WINDOW SCHEDULE ON SHEET A-600
- DOOR TYPE; SEE DOOR SCHEDULE ON SHEET A-600
- PARTITION TYPE; SEE ASSEMBLIES G-100s
- FRAMING DIMENSIONS
- LAYOUT LINE DIMENSIONS
- HEARING/VISIBILITY
- ADA/ACCESSIBLE UNITS

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DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

SHEET TITLE
ENLARGED PLAN - 2ND FLOOR
ZONE A

PROJECT NUMBER: 24018

SHEET NUMBER:

A-112

A1 2ND FLOOR ENLARGED PLAN - ZONE A
1/8" = 1'-0"



01/14/25

LEE'S SUMMIT, MO

DISCOVERY PARK - LOT #9 - B

SHEET TITLE
EXTERIOR ELEVATIONS

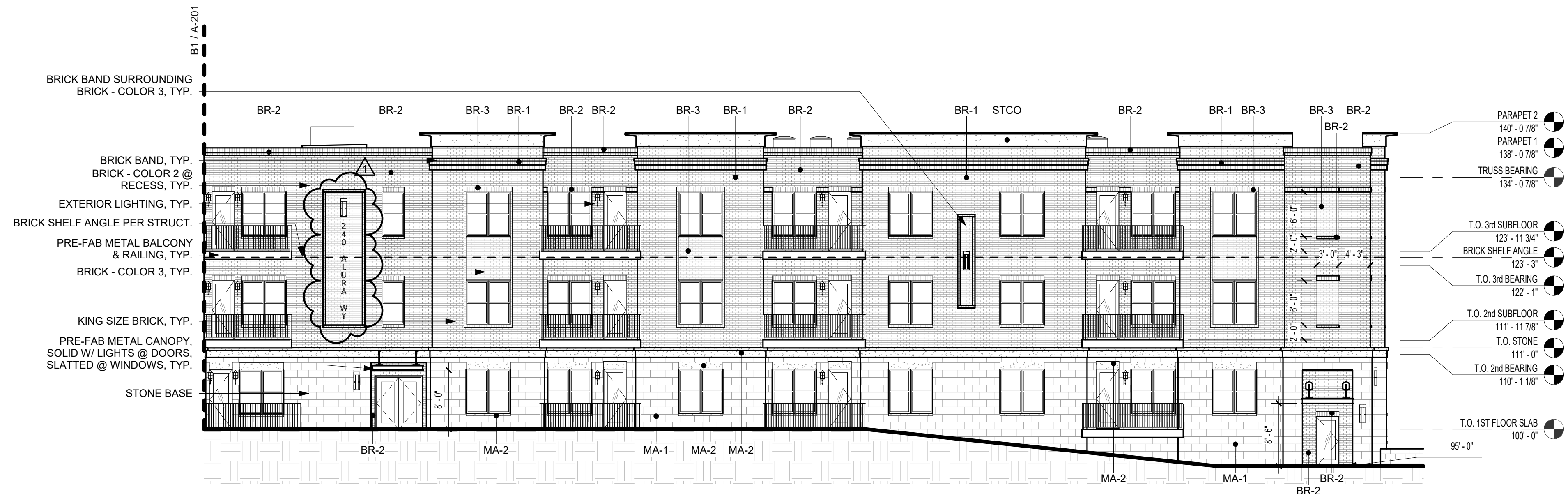
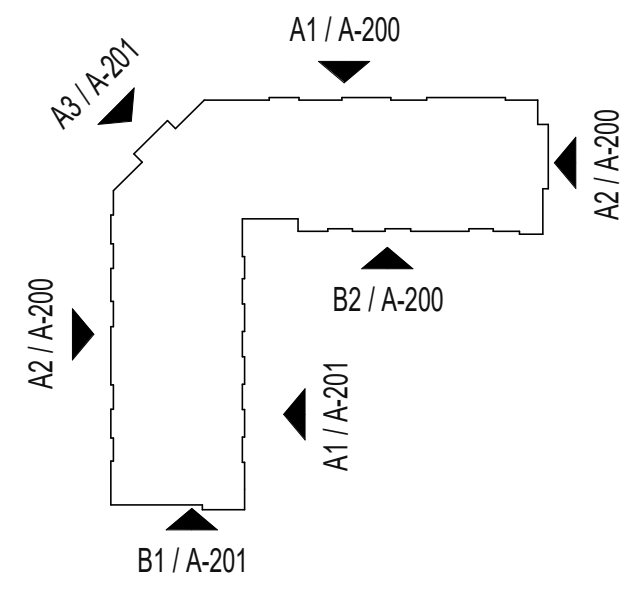
PROJECT NUMBER: 24018

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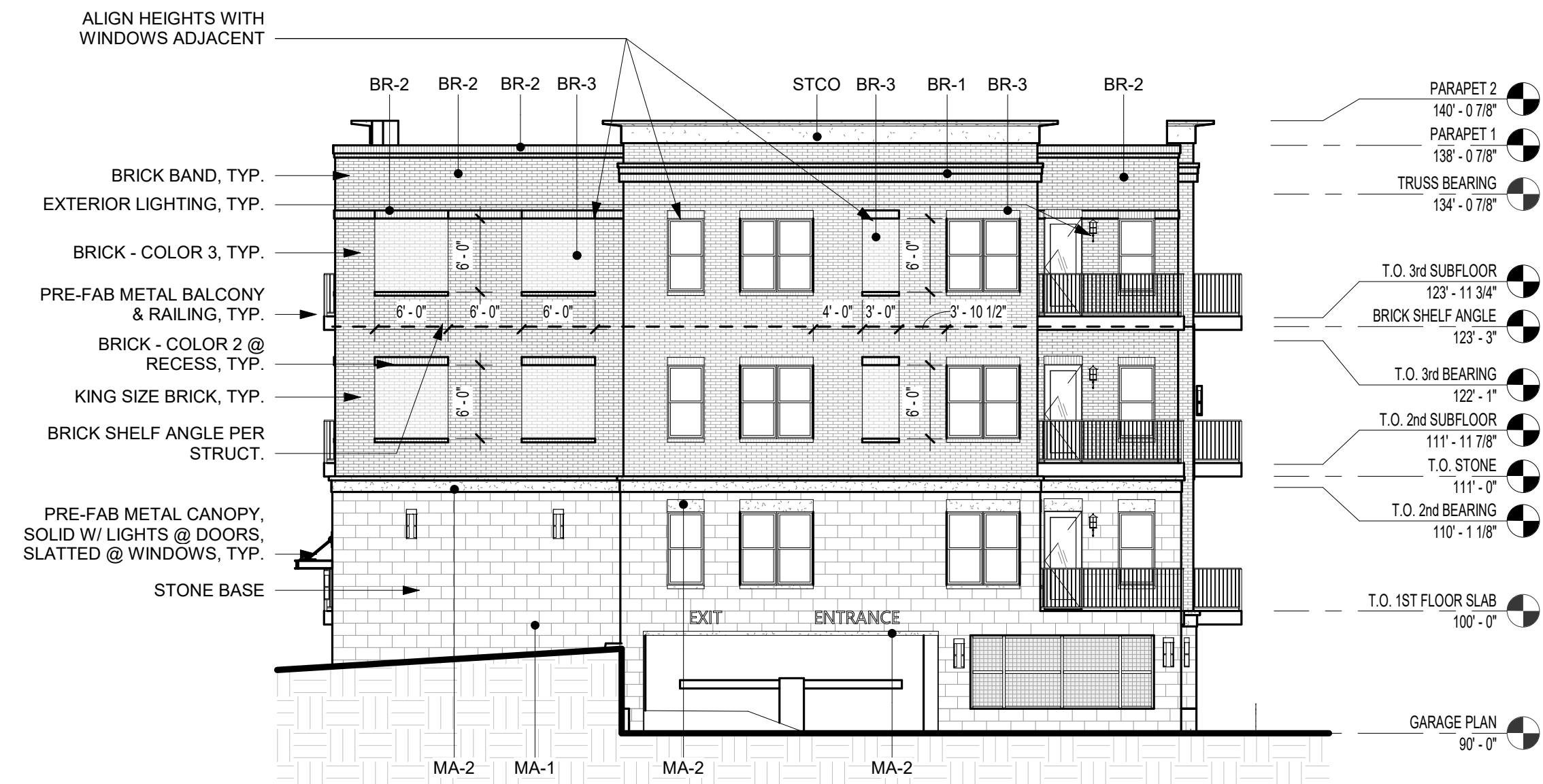
A-200

REFERENCE G-003 FOR GENERAL NOTES

MATERIAL LEGEND	
	MA-1 - STONE - ROCK FACE
	MA-2 - STONE SILL - SMOOTH FACE
	BR-1 - BRICK - RED
	BR-2 - BRICK - DARK RED
	BR-3 - BRICK - GREY
	MTL-1 - METAL - DARK BRONZE
	STCO - STUCCO - COLOR TO MATCH STONE
	BRICK RELIEF ANGLE LOCATION



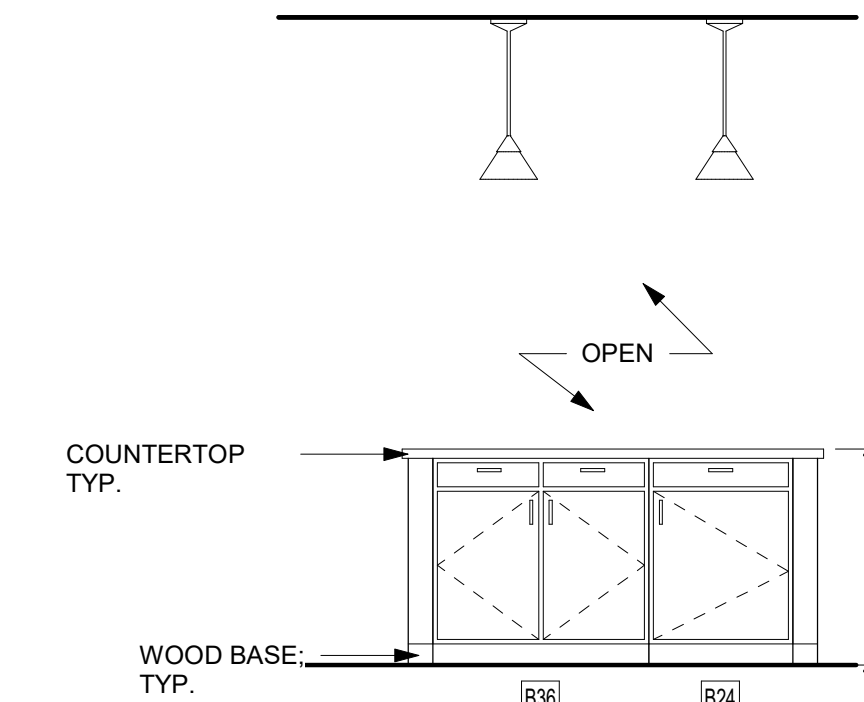
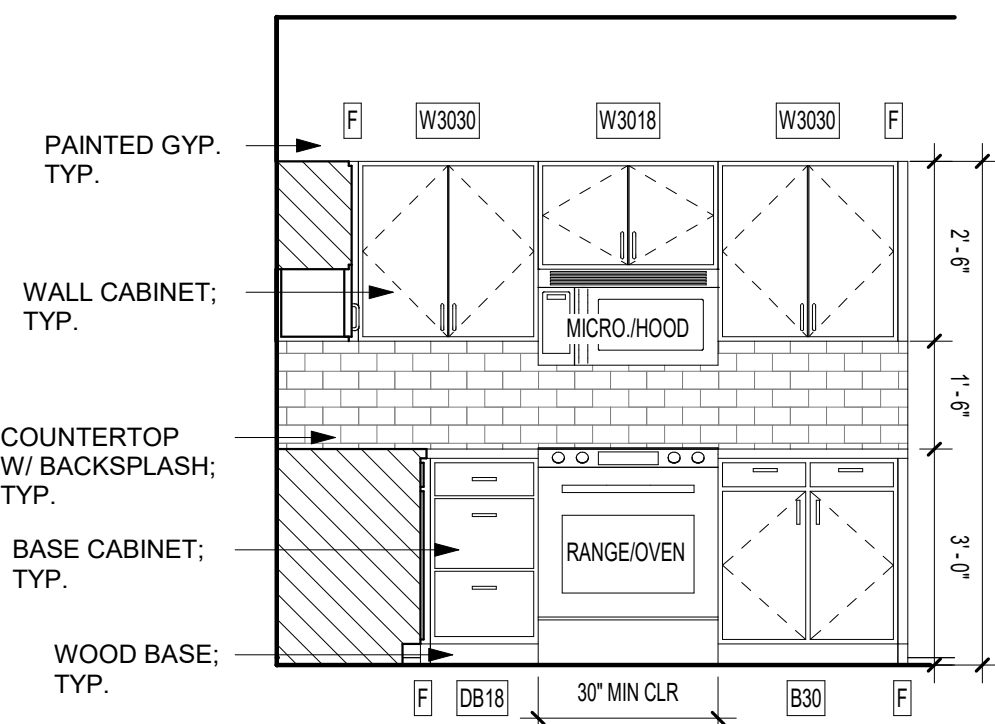
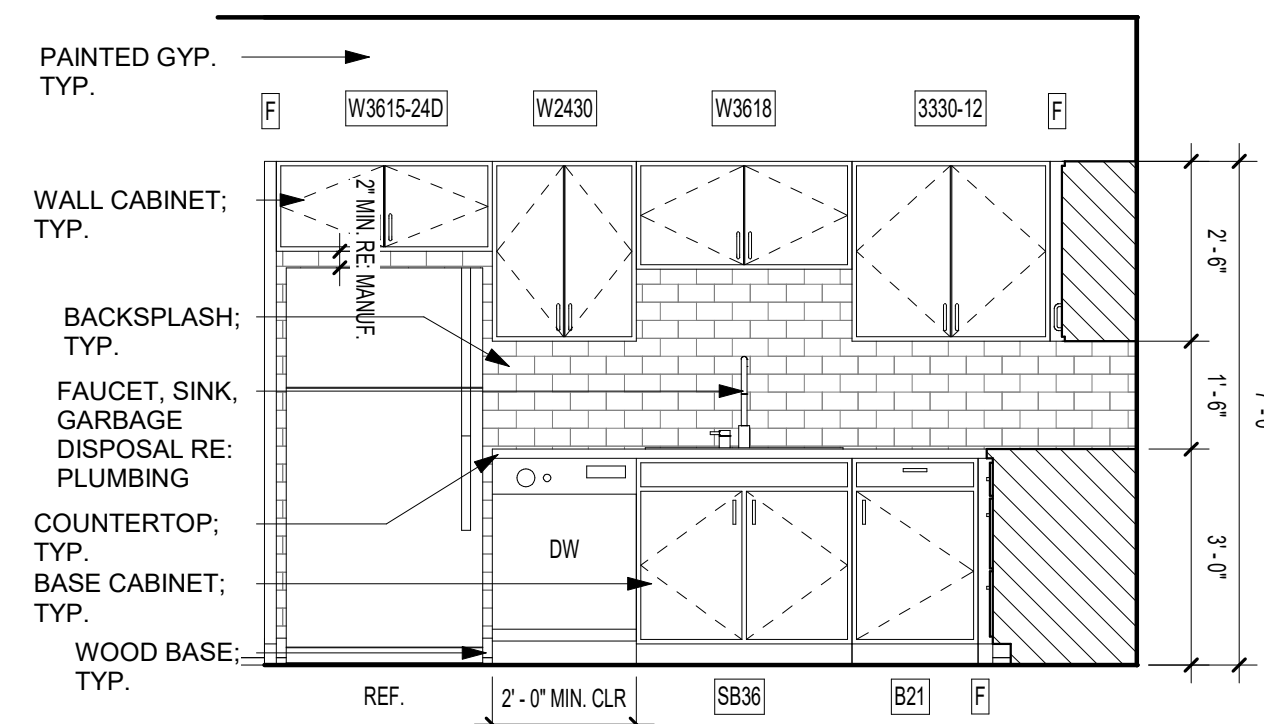
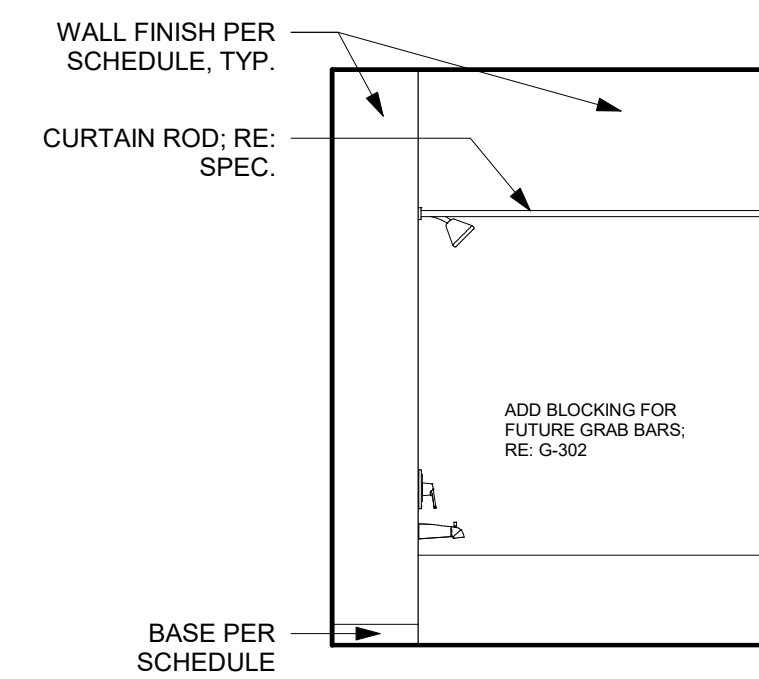
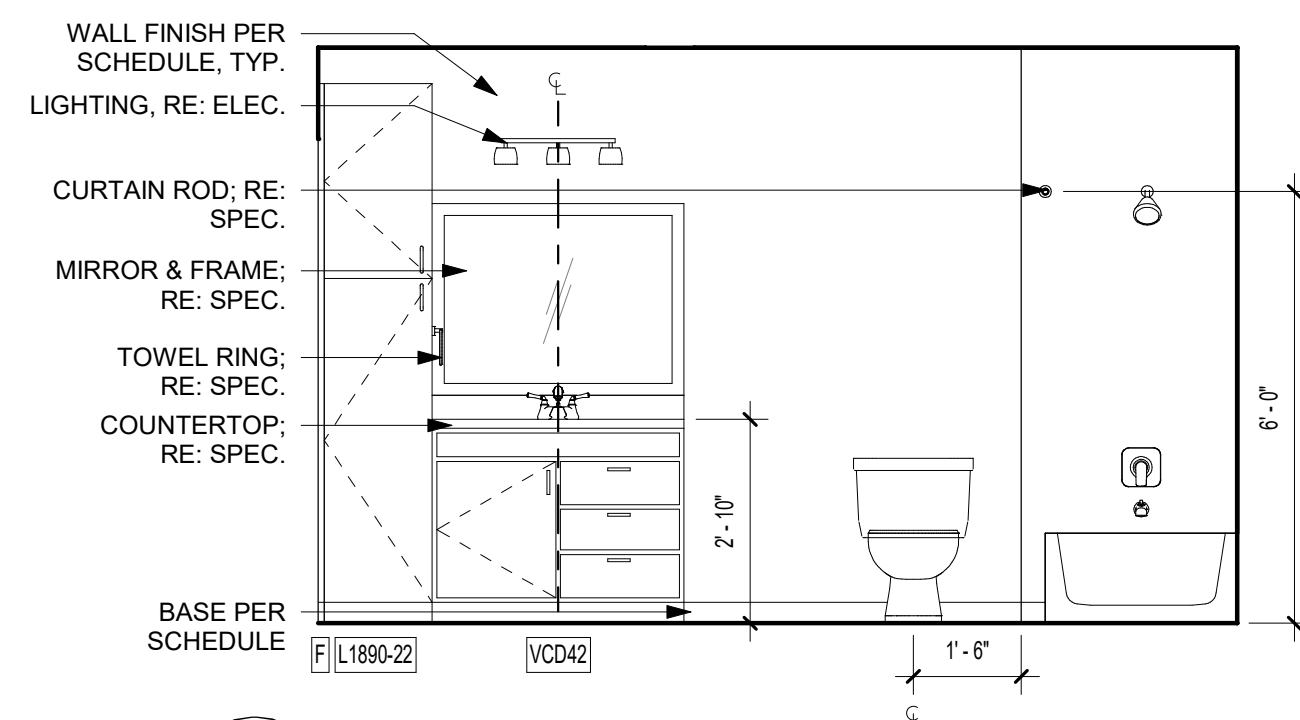
B2 COURTYARD SOUTH ELEVATION
3/32" = 1'-0"



A2 EAST ELEVATION
3/32" = 1'-0"

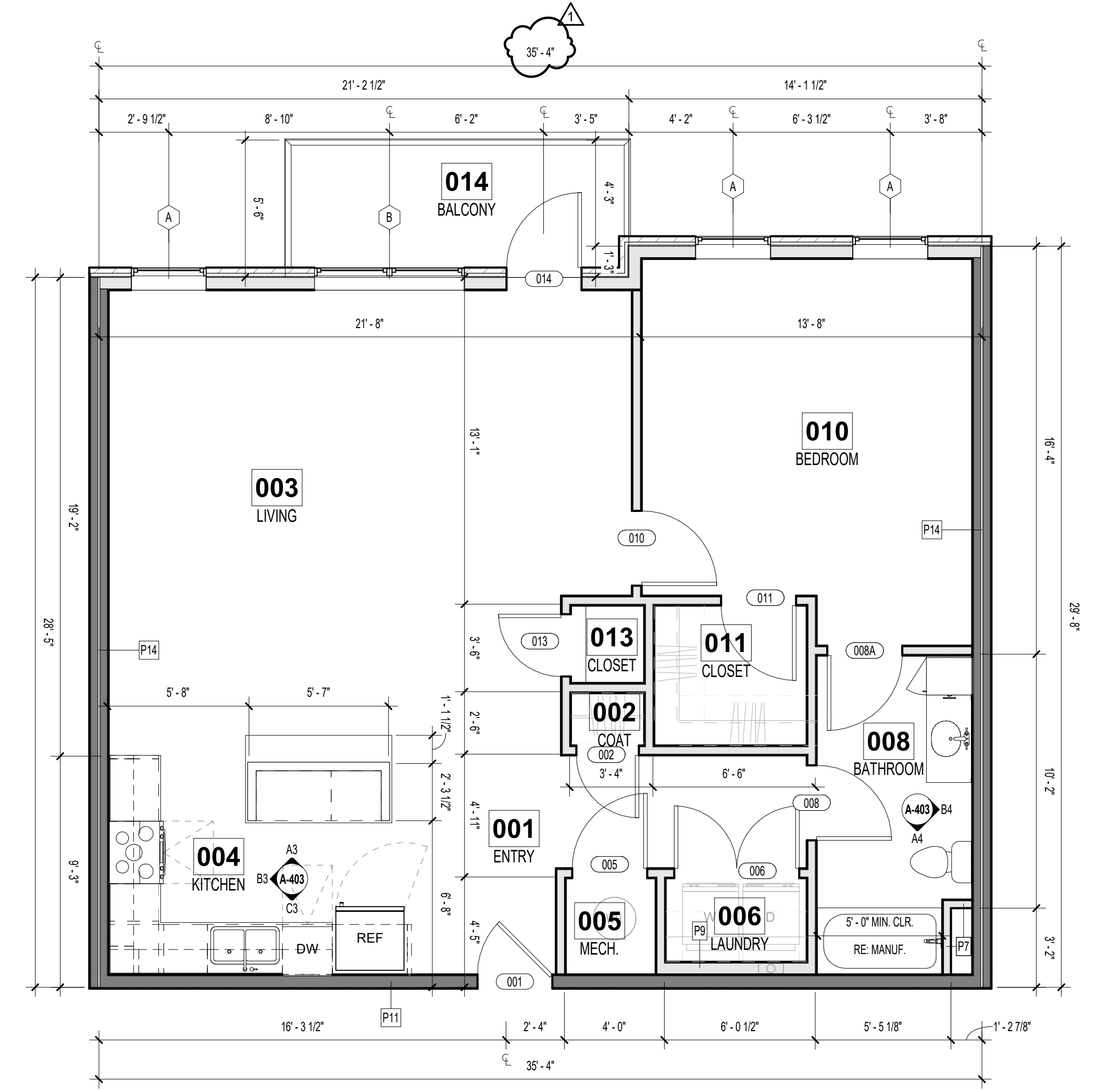
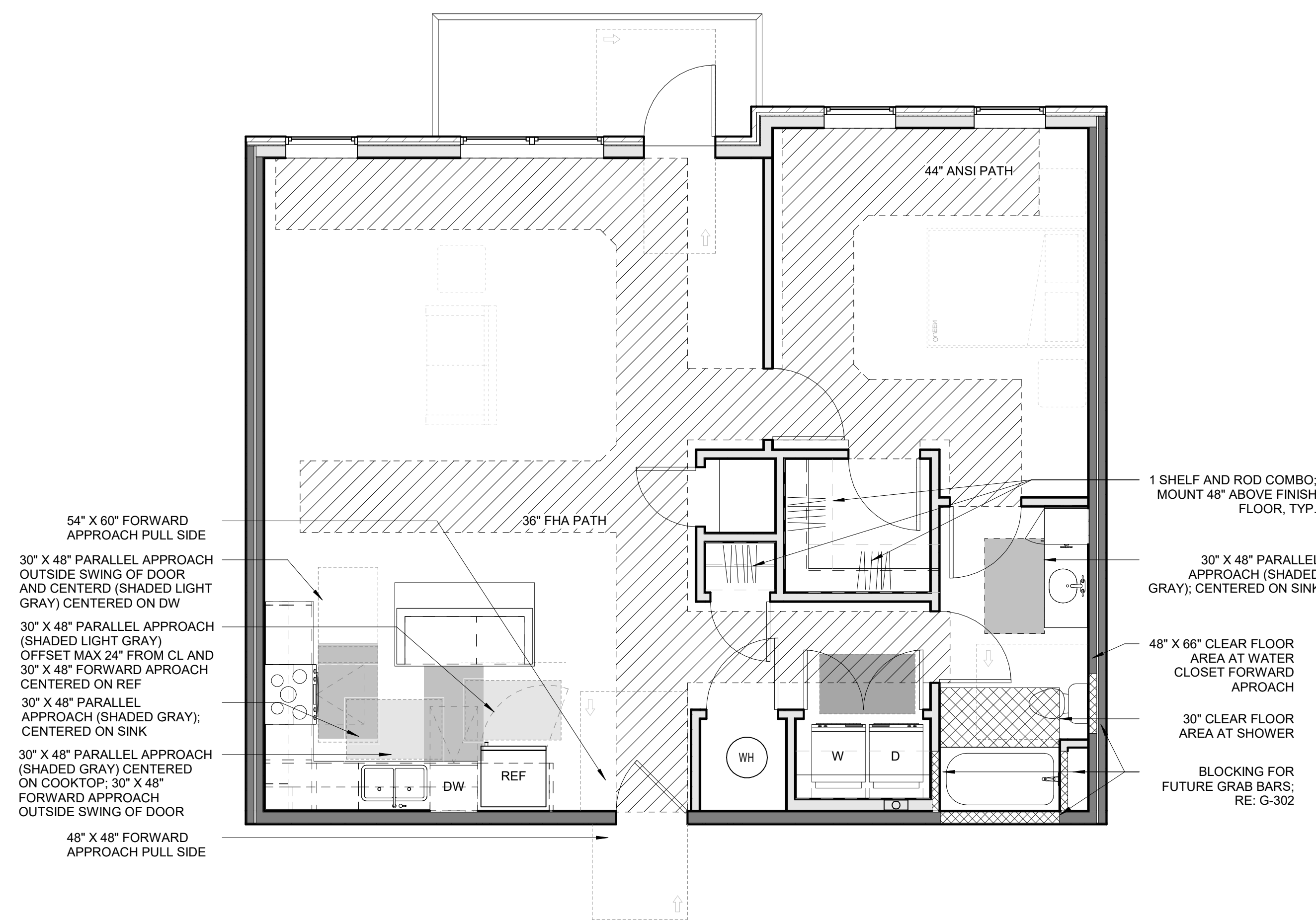
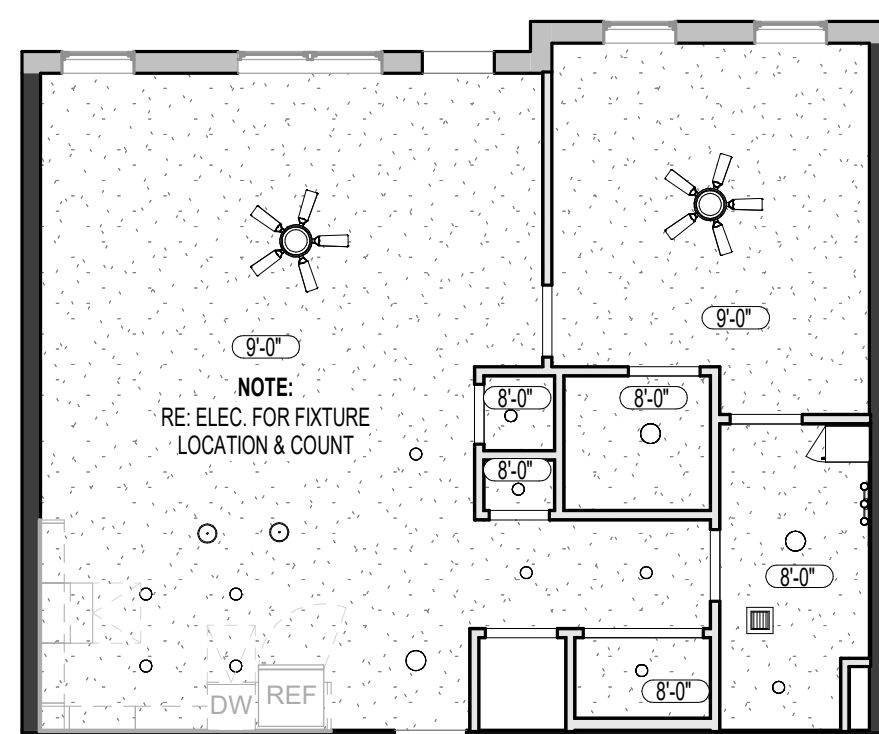
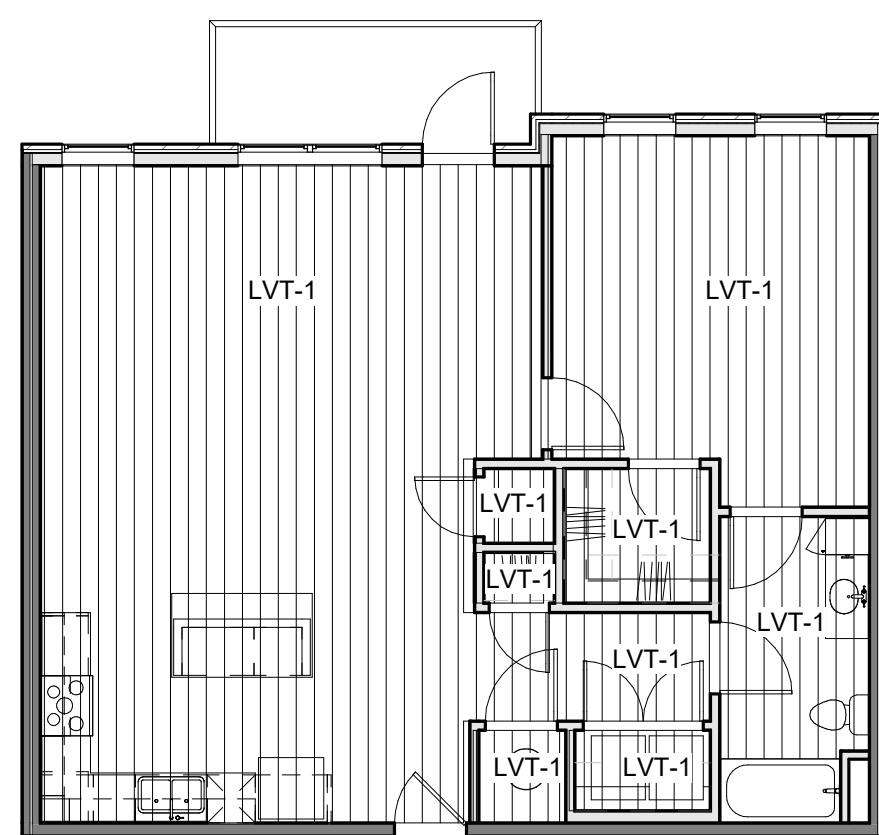


A1 NORTH ELEVATION
3/32" = 1'-0"



DOOR SCHEDULE - UNIT DOORS (BY UNIT TYPE)								
Mark	Width	Height	Thickness	Fire Rating (Minutes)	Door Type	Frame Type	Hardware Group	Comments
001	3' - 0"	6' - 8"	1 3/4"	20 MIN.	A2	KD	U1	
002	2' - 6"	6' - 8"	1 3/4"		A2	PH	U2	
005	3' - 0"	6' - 8"	1 3/4"		A2	PH	U2	UNDERCUT IF REQ'D
006	5' - 0"	6' - 8"	1 3/4"		B2	PH	U3	UNDERCUT IF REQ'D
008	3' - 0"	6' - 8"	1 3/4"		A2	PH	U4	
008A	3' - 0"	6' - 8"	1 3/4"		A2	PH	U4	
010	3' - 0"	6' - 8"	1 3/4"		A2	PH	U4	
011	3' - 0"	6' - 8"	1 3/4"		A2	PH	U2	
013	2' - 6"	6' - 8"	1 3/4"	A2	PH	U6		
014	3' - 0"	8' - 0"	1 3/4"	A3	ALUM	U5		

ROOM FINISH SCHEDULE - UNITS							
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments	
001	ENTRY	LVT1	WD, PT3	PT1	PT4		
002	COAT	LVT1	WD, PT3	PT2	PT4		
003	LIVING	LVT1	WD, PT3	PT1	PT4		
004	KITCHEN	LVT1	WD, PT3	PT1	PT4		
005	MECH.	LVT1	--	PT2	--		
006	LAUNDRY	LVT1	WD, PT3	PT2	PT4		
008	BATHROOM	LVT1	WD, PT3	PT2	PT4		
010	BEDROOM	LVT1	WD, PT3	PT1	PT4		
011	CLOSET	LVT1	WD, PT3	PT2	PT4		
013	CLOSET	LVT1	WD, PT3	PT2	PT4		
014	BALCONY	CONCRETE					



REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-400 FOR UNIT PLAN LEGEND
REFERENCE A-120 FOR RCP LEGEND

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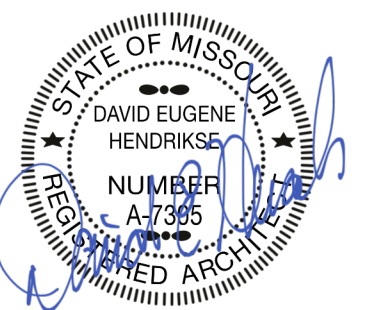
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DISCOVERY PARK - LOT #9 - B

LEE'S SUMMIT, MO

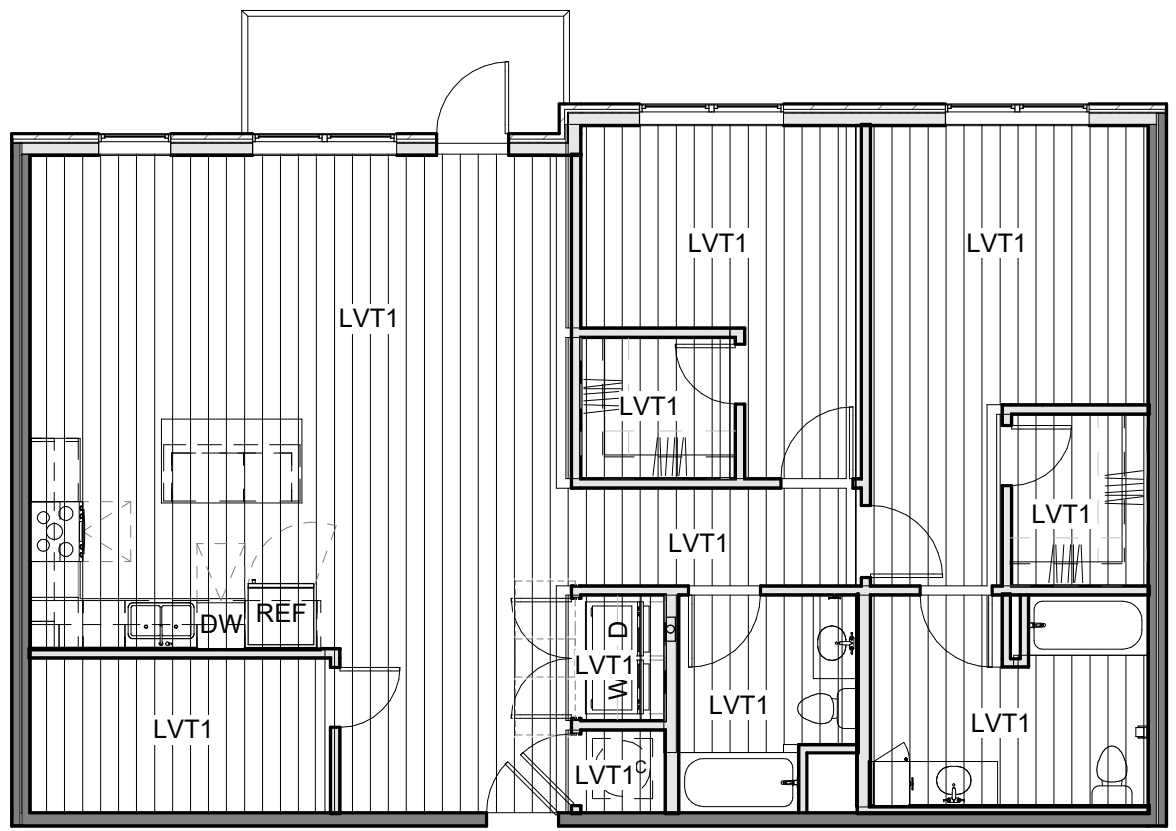
SHEET TITLE
ADRIAN LRG (1 BR) - TYPE B

PROJECT NUMBER: 24018

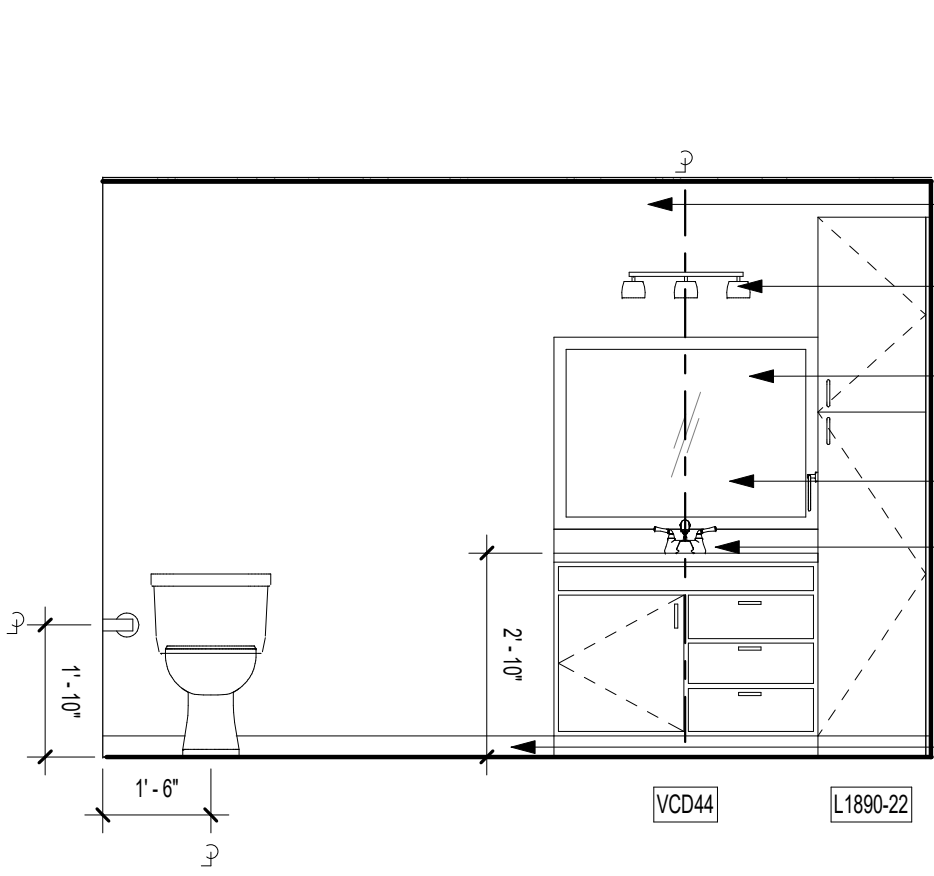
SHEET NUMBER:

A-403

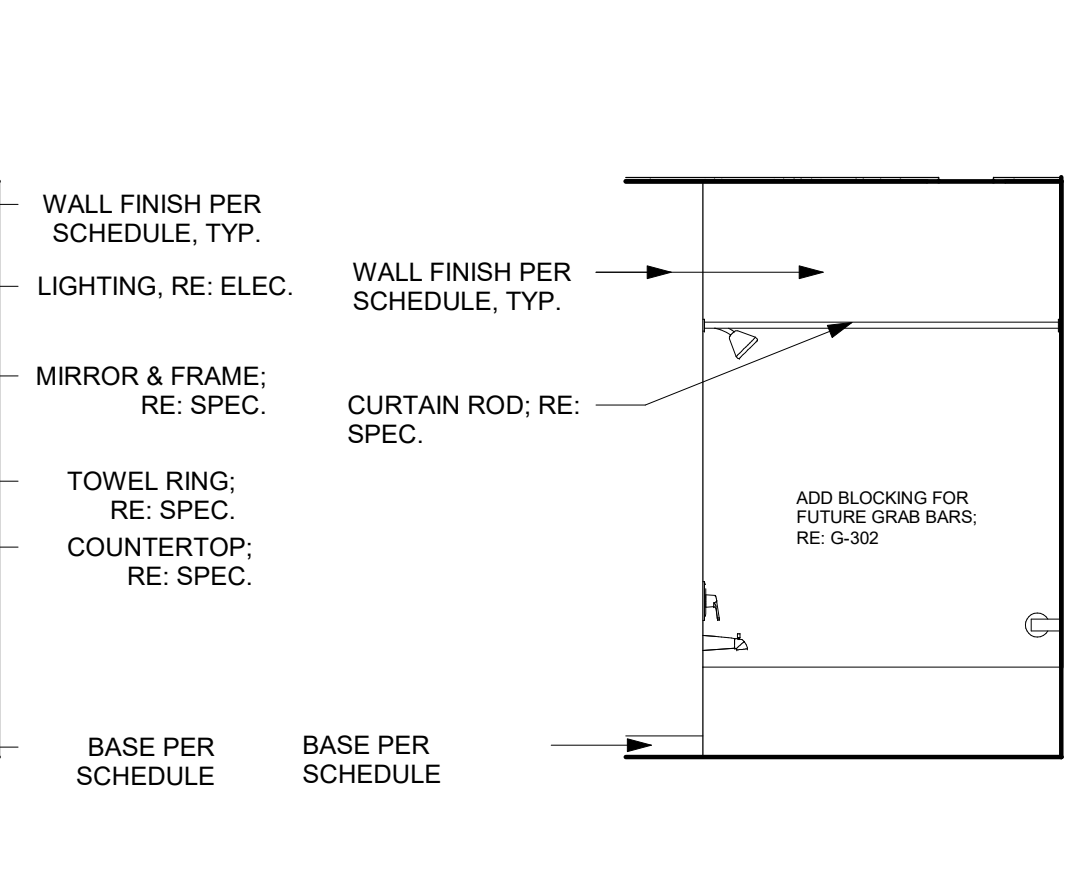
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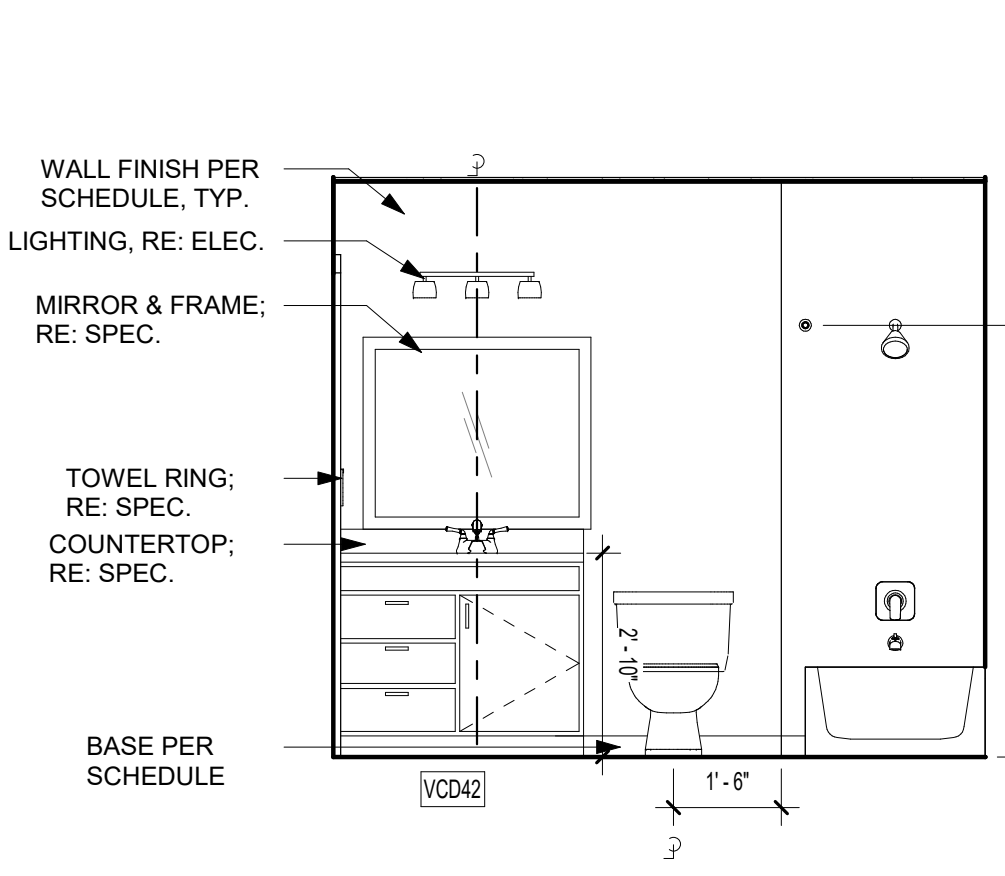
E3 UNIT FINISH PLAN - HURLEY (2 BR) - TYPE B
1/8" = 1'-0"



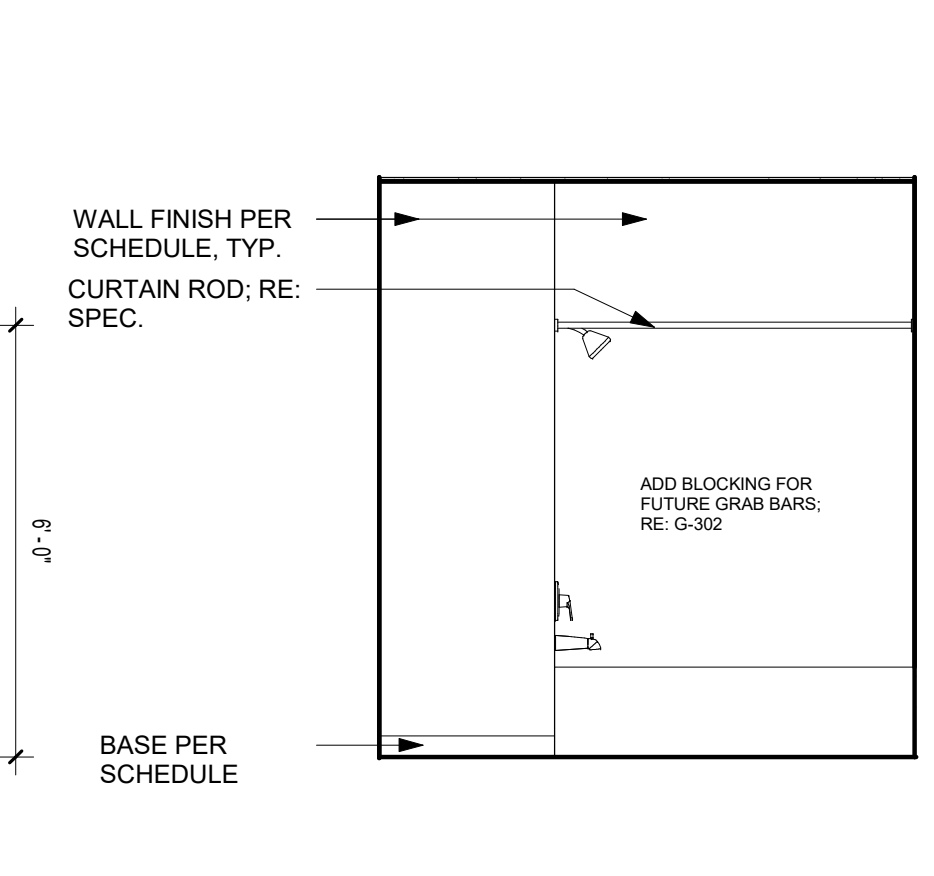
D3 HURLEY BATH 2 ELEV. 1
3/8" = 1'-0"



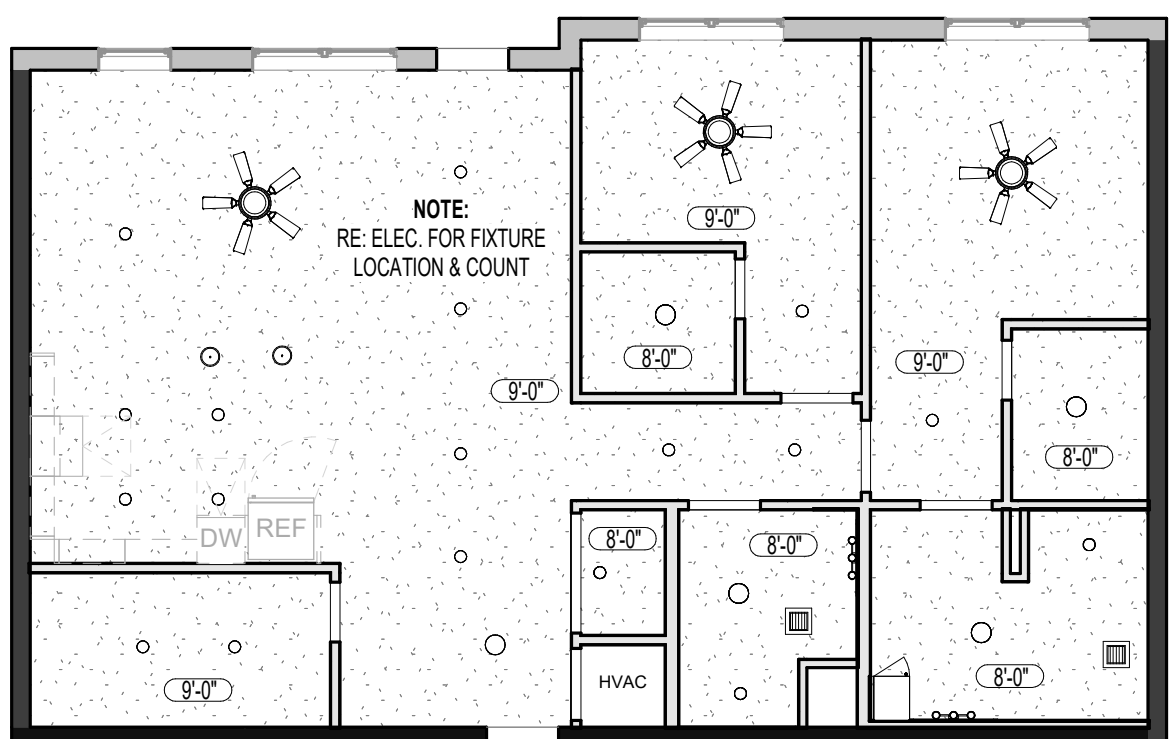
C3 HURLEY BATH 2 ELEV. 2
3/8" = 1'-0"



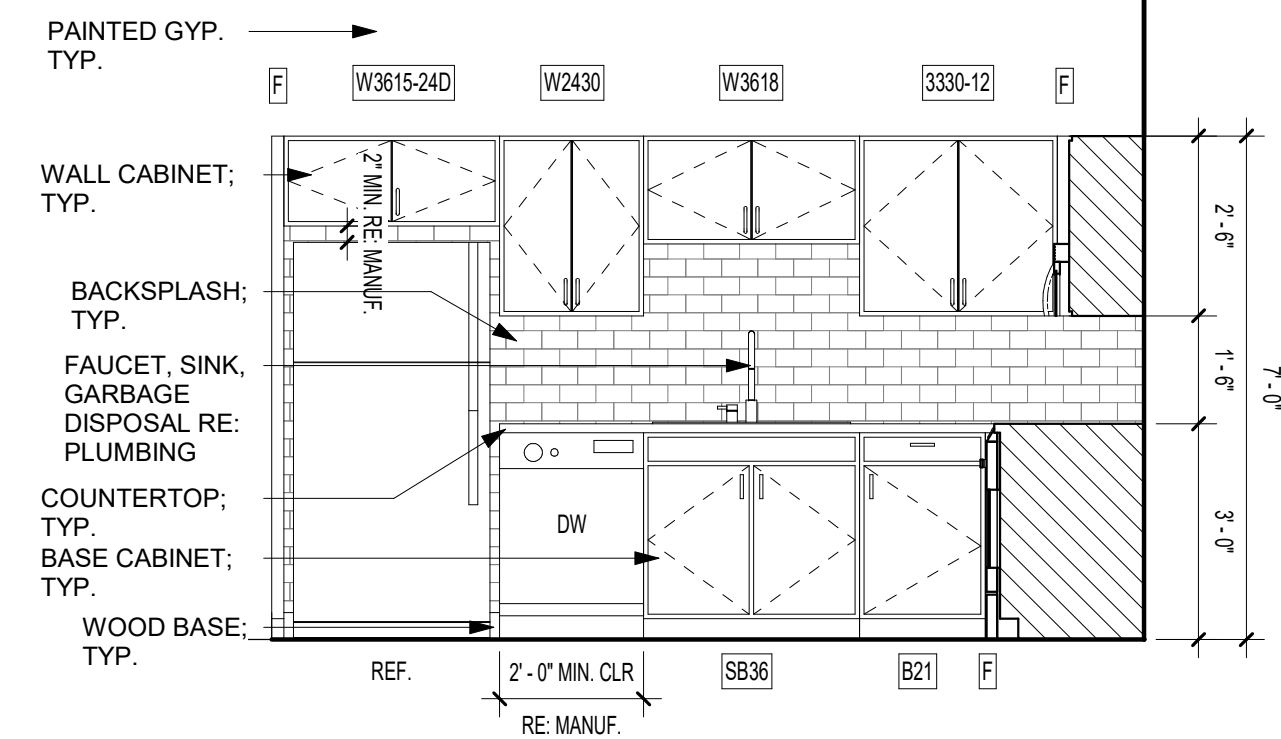
B3 HURLEY BATH 1 ELEV. 1
3/8" = 1'-0"



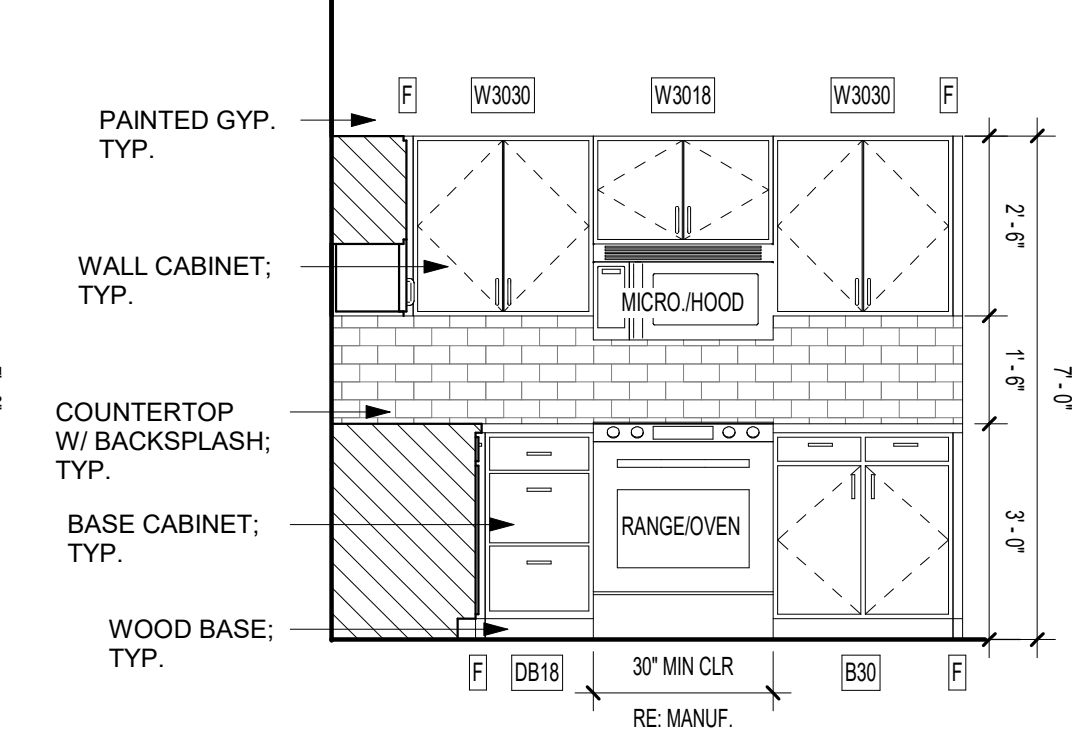
A3 HURLEY BATH 1 ELEV. 2
3/8" = 1'-0"



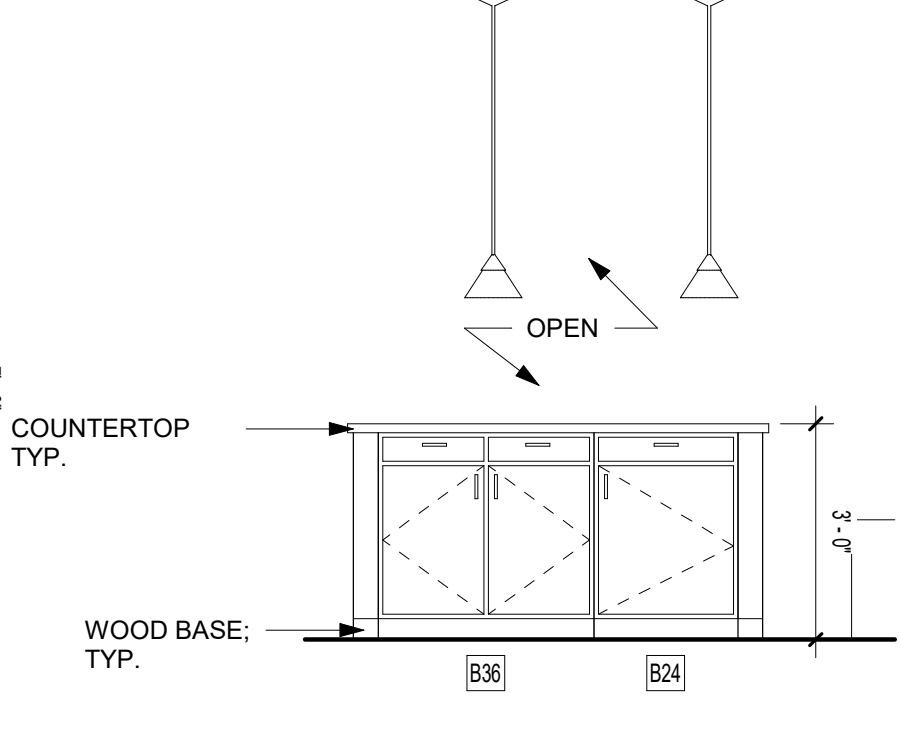
D2 UNIT RCP - HURLEY (2 BR) - TYPE B
1/8" = 1'-0"



C2 HURLEY KITCHEN ELEV. 1
3/8" = 1'-0"



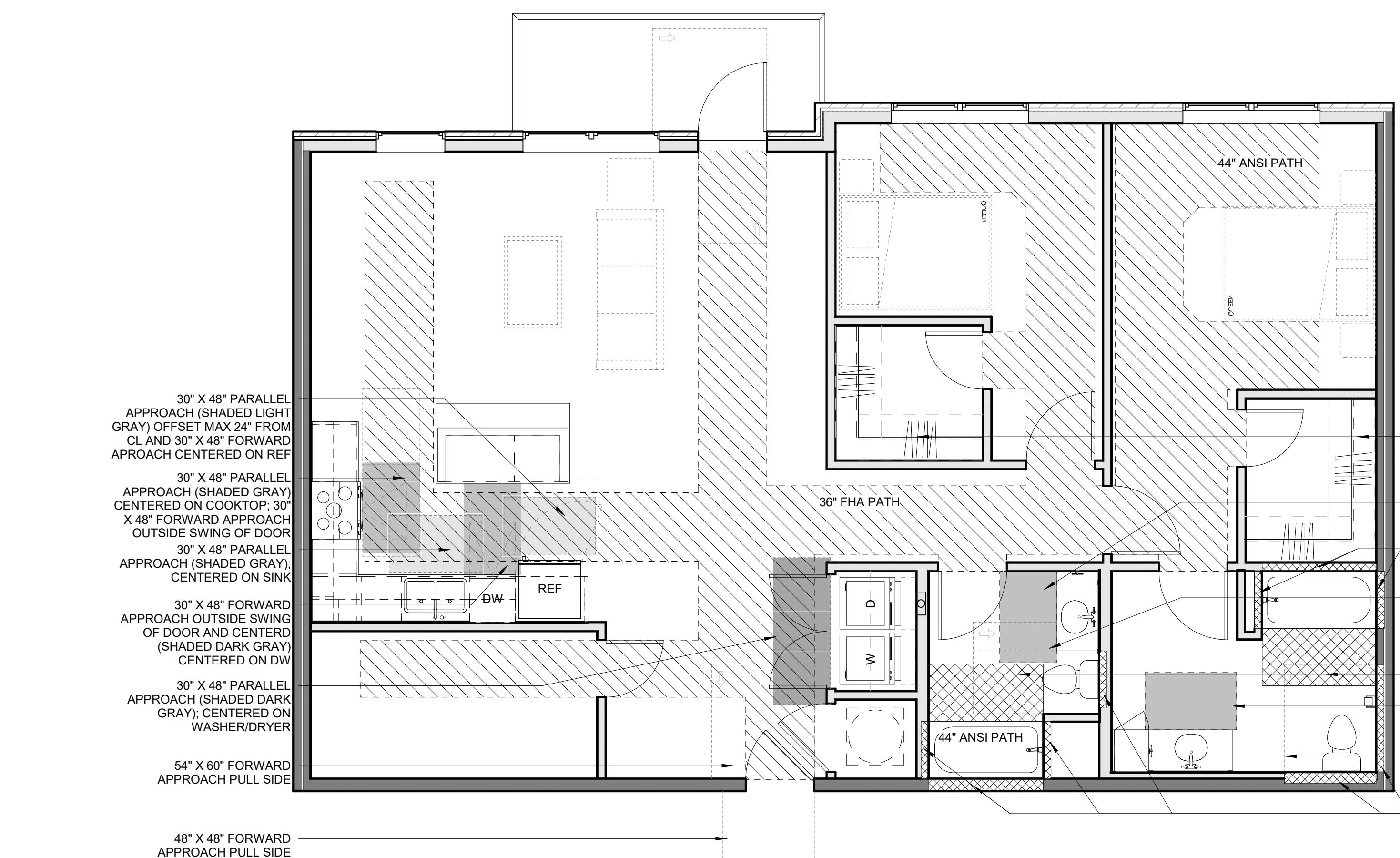
B2 HURLEY KITCHEN ELEV. 2
3/8" = 1'-0"



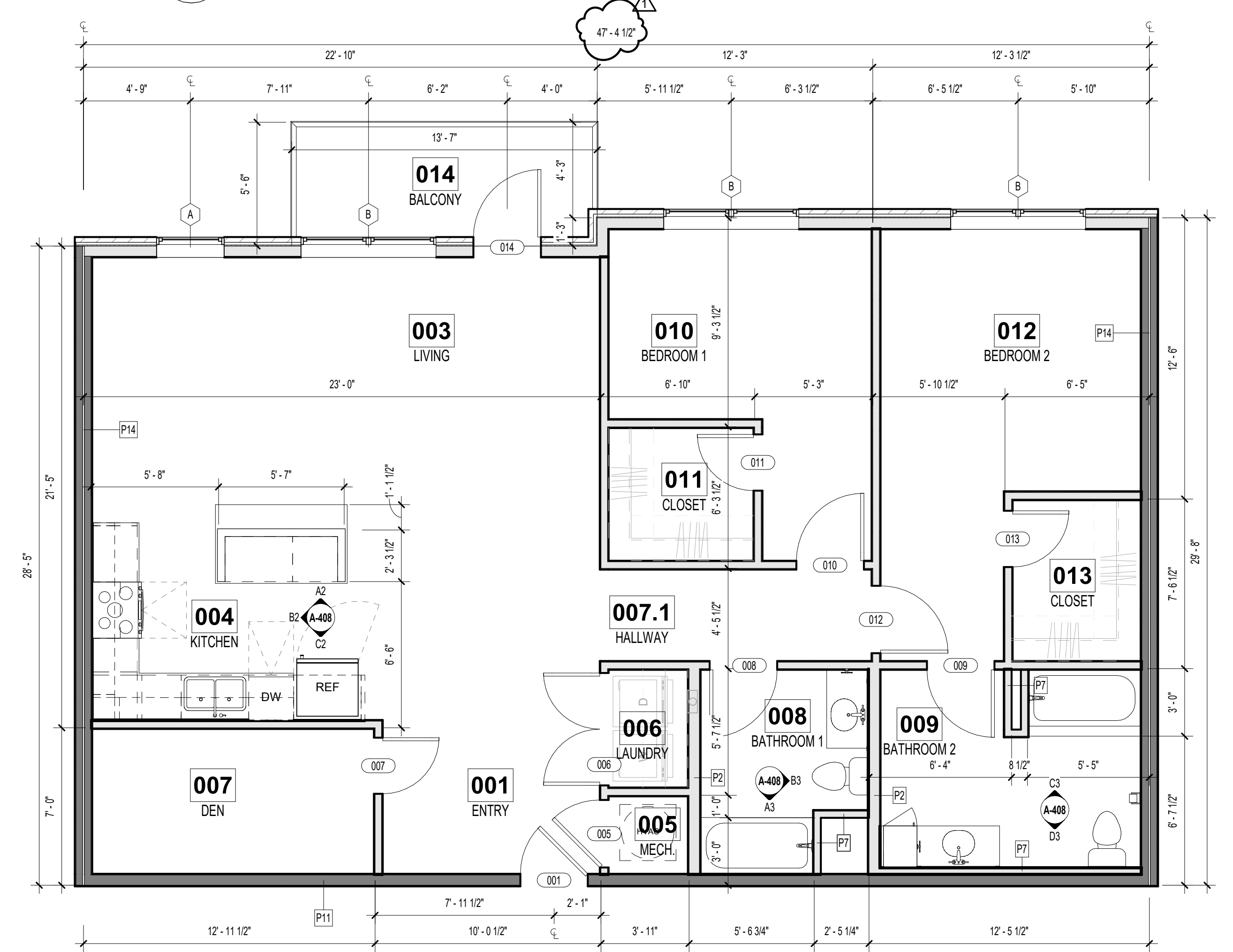
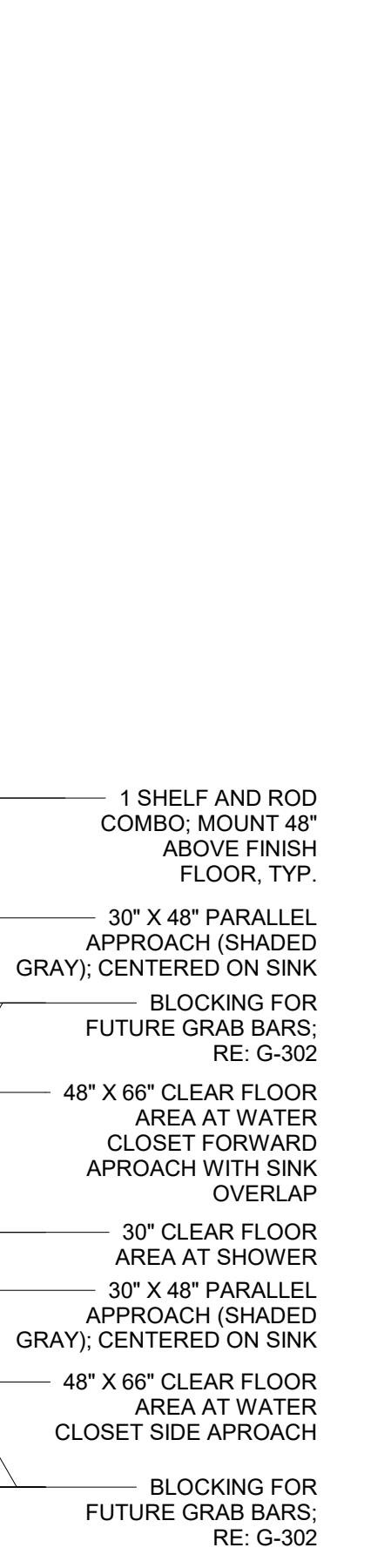
A2 HURLEY KITCHEN ELEV. 3
3/8" = 1'-0"

DOOR SCHEDULE - UNIT DOORS (BY UNIT TYPE)									
Mark	Width	Height	Thickness	Fire Rating (Minutes)	Door Type	Frame Type	Hardware Group	Comments	
001	3'-0"	6'-8"	1 3/4"	20 MIN.	A2	KD	U1		
005	3'-0"	6'-8"	1 3/4"		A2	PH	U6	UNDERCUT IF REQ'D	
006	5'-0"	6'-8"	1 3/4"		B2	PH	U3	UNDERCUT IF REQ'D	
007	2'-6"	6'-8"	1 3/4"		A2	PH	U4		
008	3'-0"	6'-8"	1 3/4"		A2	PH	U4		
009	3'-0"	6'-8"	1 3/4"		A2	PH	U4		
010	3'-0"	6'-8"	1 3/4"		A2	PH	U4		
011	2'-6"	6'-8"	1 3/4"		A2	PH	U2		
012	3'-0"	6'-8"	1 3/4"		A2	PH	U4		
013	2'-6"	6'-8"	1 3/4"		A2	PH	U2		
014	3'-0"	8'-0"	1 3/4"		A3	ALUM	U5		

ROOM FINISH SCHEDULE - UNITS						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
001	ENTRY	LVT1	WB, PT3	PT1	PT4	
003	LIVING	LVT1	WB, PT3	PT1	PT4	
004	KITCHEN	LVT1	WB, PT3	PT1	PT4	
005	MECH.	LVT1	--	PT2	--	
006	LAUNDRY	LVT1	WB, PT3	PT2	PT4	
007	DEN	LVT1	WB, PT3	PT2	PT4	
007.1	HALLWAY	LVT1	WB, PT3	PT1	PT4	
008	BATHROOM 1	LVT1	WB, PT3	PT2	PT4	
009	BATHROOM 2	LVT1	WB, PT3	PT2	PT4	
010	BEDROOM 1	LVT1	WB, PT3	PT1	PT4	
011	CLOSET	LVT1	WB, PT3	PT2	PT4	
012	BEDROOM 2	LVT1	WB, PT3	PT1	PT4	
013	CLOSET	LVT1	WB, PT3	PT2	PT4	
014	BALCONY	CONCRETE				

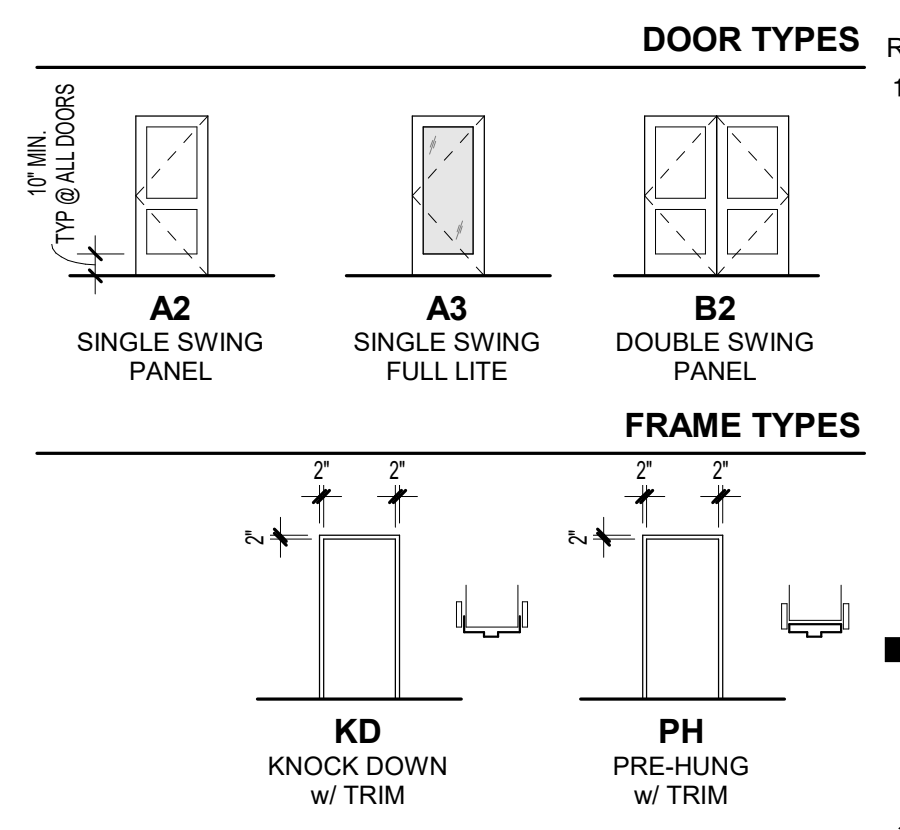


B1 UNIT CLEAR SPACE PLAN - HURLEY (2 BR) - TYPE B
1/4" = 1'-0"



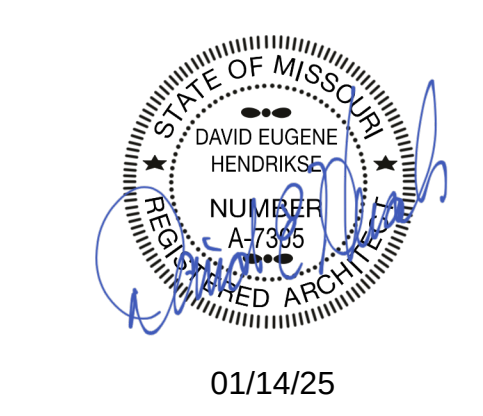
A1 UNIT FLOOR PLAN - HURLEY (2 BR) - TYPE B
1/4" = 1'-0"

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-400 FOR UNIT PLAN LEGEND
REFERENCE A-120 FOR RCP LEGEND



PRINTS ISSUED
11/27/2024 - CITY SUBMISSION
REVISIONS:
1 01/14/25 ADDENDUM #1

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Kansas City, MO 64108-1404
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DENVER ■ KANSAS CITY ■ ST. LOUIS ■ ATLANTA



DISCOVERY PARK - LOT #9 - B

SHEET TITLE
HURLEY (2 BR) - TYPE B
PROJECT NUMBER: 24018
SHEET NUMBER:

A-408

LEE'S SUMMIT, MO

SANITARY SEWER PLAN SYMBOL LEGEND

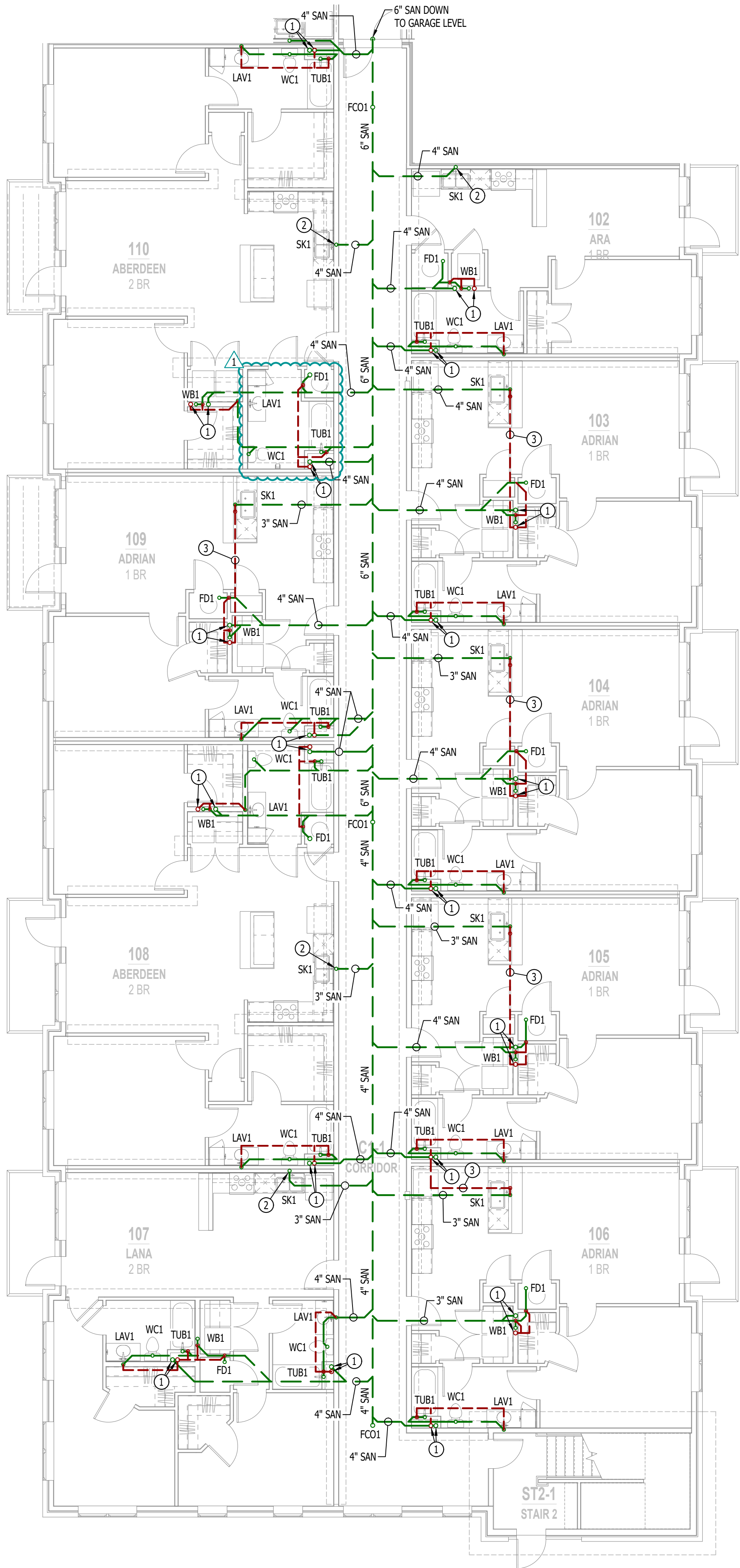
- SANITARY SEWER PIPING
- VENT PIPING
- PIPING TURNED DOWN / TURNED UP
- TIE INTO EXISTING

SANITARY SEWER PLAN GENERAL NOTES:

- REFER TO P500 AND/OR P600 SERIES SHEETS FOR ADDITIONAL PLUMBING NOTES, DETAILS, REQUIREMENTS, AND SCHEDULES.
- PLUMBING CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS AND COORDINATE LOCATION OF ALL EQUIPMENT, PIPING, HANGERS / SUPPORTS, ETC. WITH HVAC AND ELECTRICAL TRADES BEFORE INSTALLATION OF ANY MATERIAL. ADDITIONAL COSTS ASSOCIATED WITH LACK OF COORDINATION WILL NOT BE REIMBURSED.

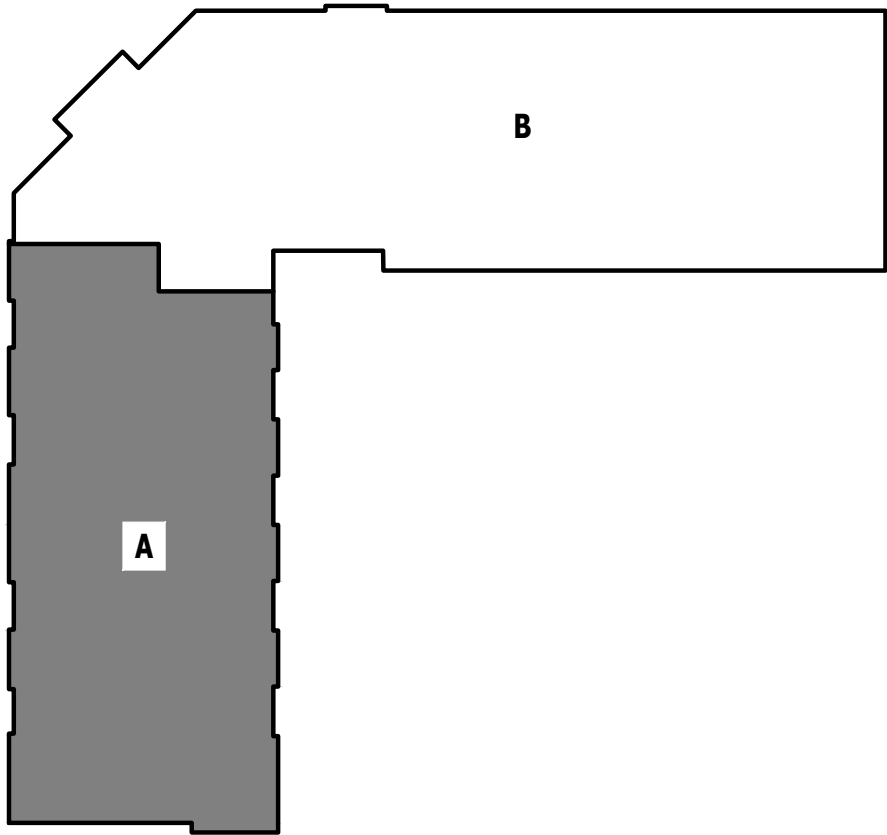
SANITARY SEWER PLAN KEY NOTES:

- 3" SANITARY STACK DOWN FROM LEVEL ABOVE/3" VENT UP TO LEVEL ABOVE.
- 3" WASTE STACK VENT STACK DOWN FROM ABOVE.
- ISLAND SINK VENT BELOW FLOOR PER 2018 IPC SECTION 916.



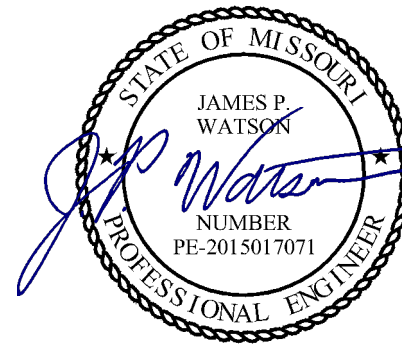
SANITARY SEWER PLAN - FIRST FLOOR - AREA A

SCALE: 1/8" = 1'-0"

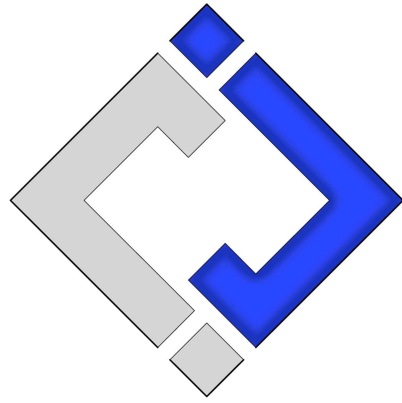


KEY PLAN

SCALE: NTS



James Watson, P.E. January 14, 2025
PE-2015017071
MO Certificate of Authority # 2018029680



J-SQUARED
ENGINEERING

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573.234.4492
www.j-squaredeng.com

J2 PROJECT No: J21012.1

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 01 - 14 - 2025

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

The Village at Discovery - Lot 9B

200 NE Alura Way
Lee's Summit, Jackson County, MO

AHJ APPROVAL STAMP

SHEET TITLE

SANITARY
SEWER PLAN -
FIRST FLOOR -
AREA A

SHEET NUMBER

PS101

SANITARY SEWER PLAN SYMBOL LEGEND

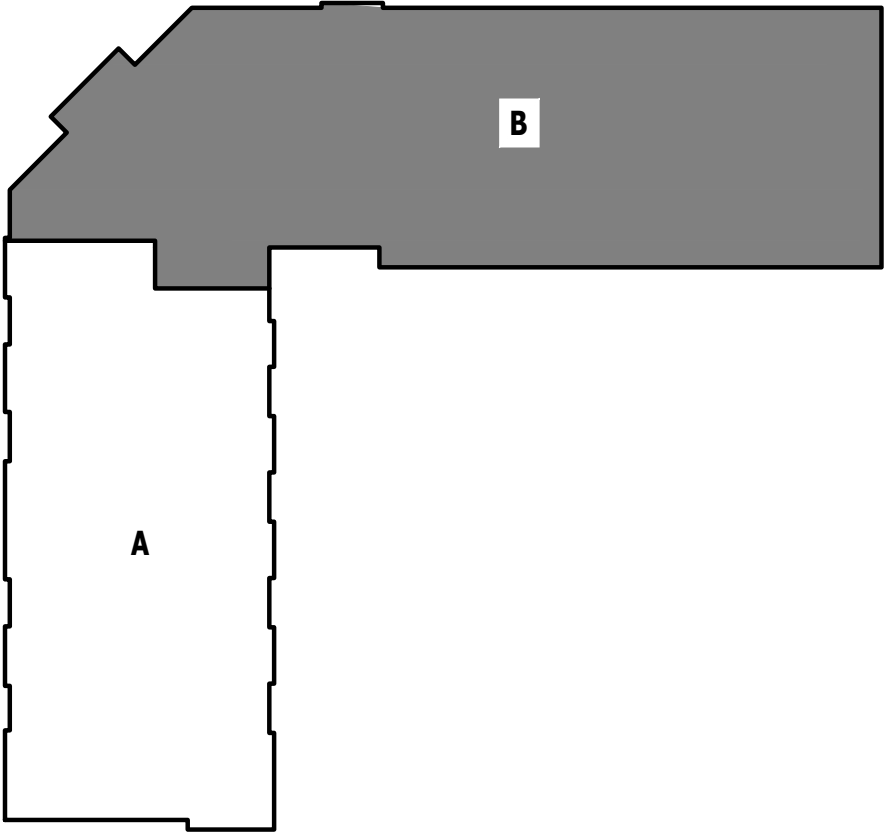
- SANITARY SEWER PIPING
- VENT PIPING
- PIPING TURNED DOWN / TURNED UP
- TIE INTO EXISTING

SANITARY SEWER PLAN GENERAL NOTES:

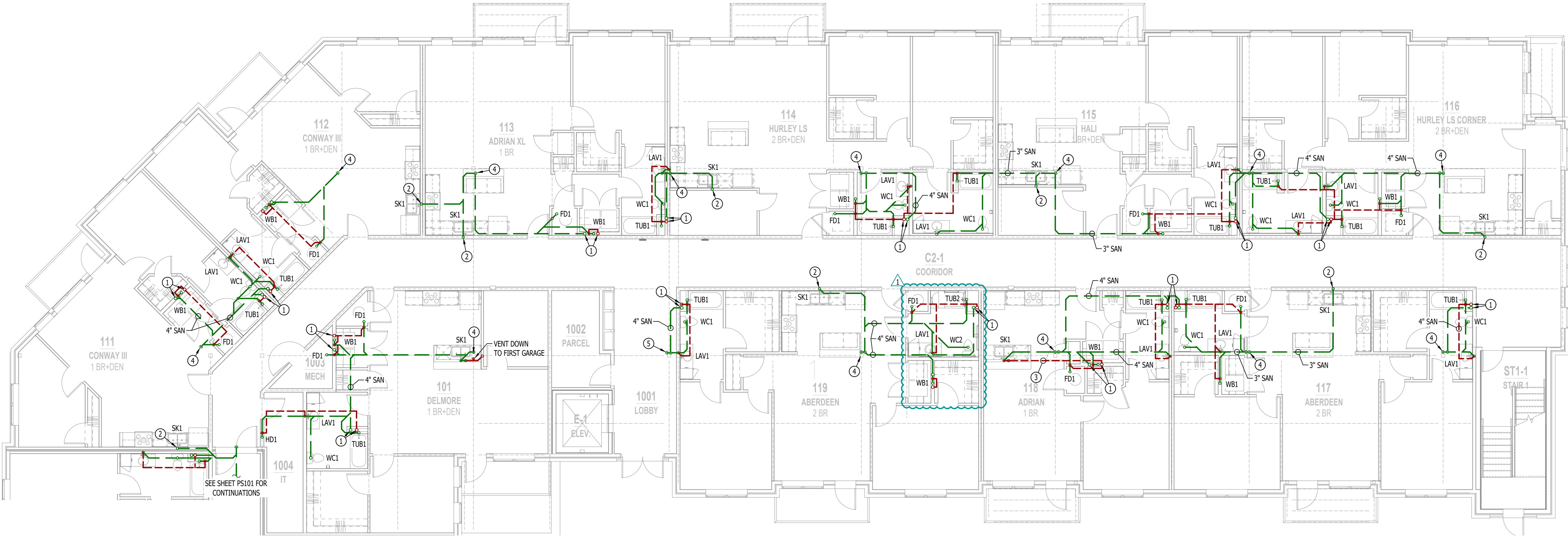
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SANITARY SEWER PLAN KEY NOTES:

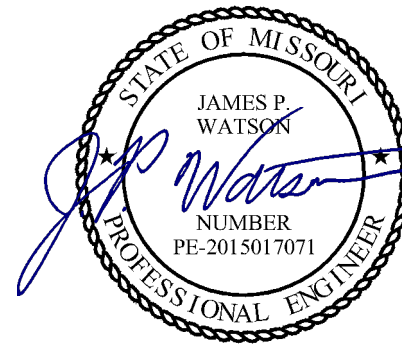
- 3" SANITARY STACK DOWN FROM SECOND FLOOR; 3" VENT UP TO SECOND FLOOR.
- 3" WASTE STACK VENT DOWN FROM SECOND FLOOR.
- ISLAND SINK VENT BELOW FLOOR PER 2018 IPC SECTION 916.
- 4" SANITARY DOWN TO GARAGE LEVEL.



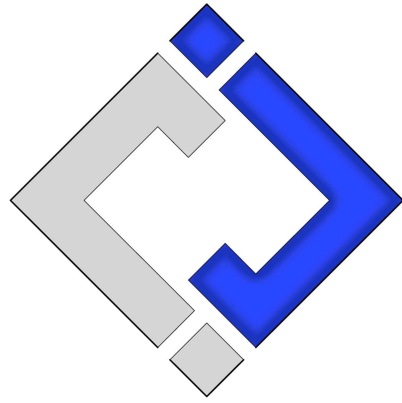
KEY PLAN
SCALE: NTS



SANITARY SEWER PLAN - FIRST FLOOR - AREA B
SCALE: 1/8" = 1'-0"



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MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

The Village at Discovery - Lot 9B

200 NE Alura Way
Lee's Summit, Jackson County, MO

AHJ APPROVAL STAMP

SHEET TITLE

SANITARY
SEWER PLAN -
FIRST FLOOR -
AREA B

SHEET NUMBER

PS111

SANITARY SEWER PLAN SYMBOL LEGEND

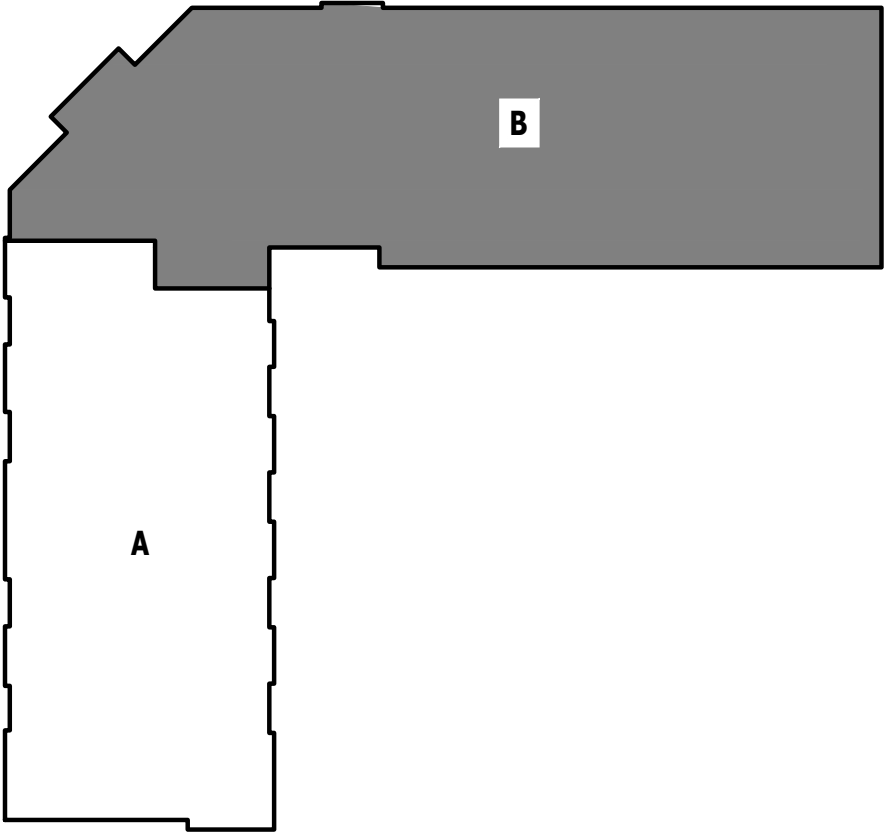
- SANITARY SEWER PIPING
- VENT PIPING
- PIPING TURNED DOWN / TURNED UP
- TIE INTO EXISTING

SANITARY SEWER PLAN GENERAL NOTES:

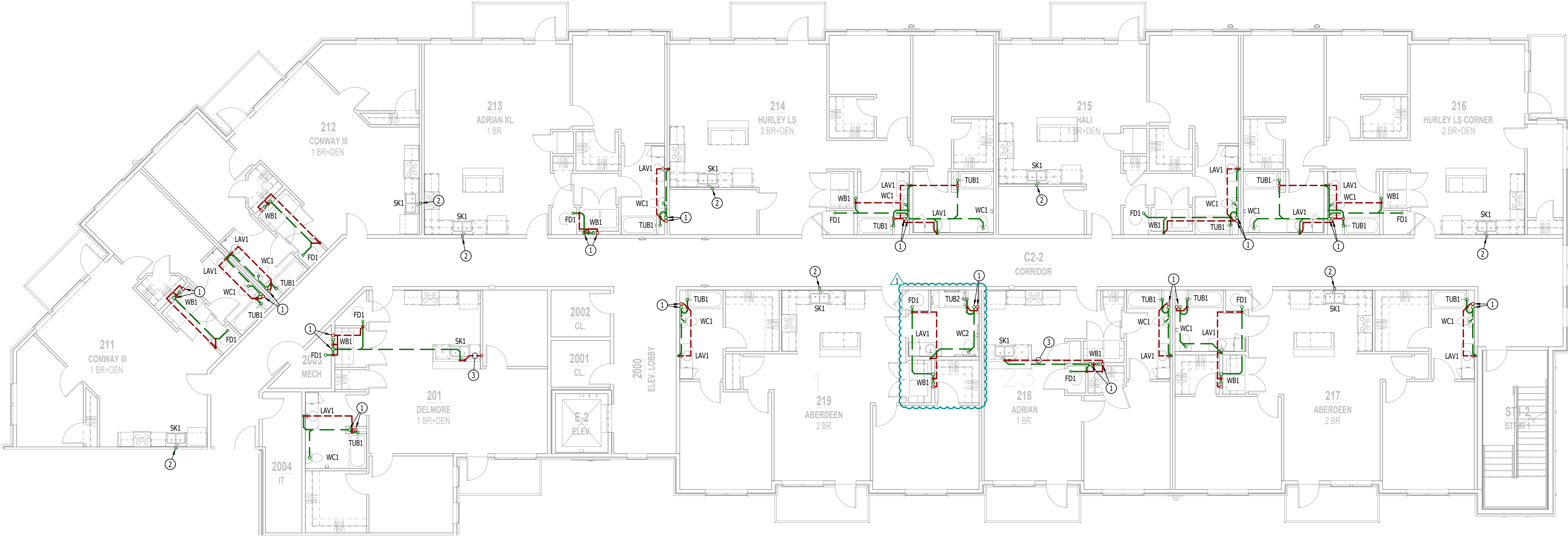
- REFER TO P500 AND/OR P600 SERIES SHEETS FOR ADDITIONAL PLUMBING NOTES, DETAILS, REQUIREMENTS, AND SCHEDULES.
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SANITARY SEWER PLAN KEY NOTES:

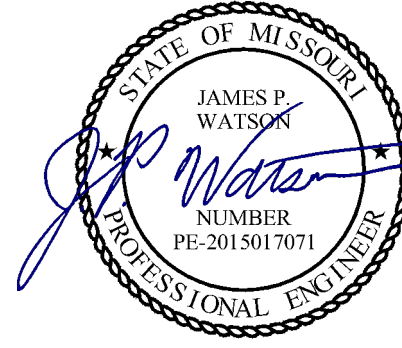
- 3" SANITARY STACK DOWN FROM THIRD FLOOR; CONTINUES DOWN TO FIRST FLOOR. 3" VENT UP FROM FIRST FLOOR; CONTINUES UP TO THIRD FLOOR.
- 3" WASTE STACK VENT DOWN FROM THIRD FLOOR; 3" SAN CONTINUES DOWN TO FIRST FLOOR.
- ISLAND SINK VENT BELOW FLOOR PER 2018 IPC SECTION 916.



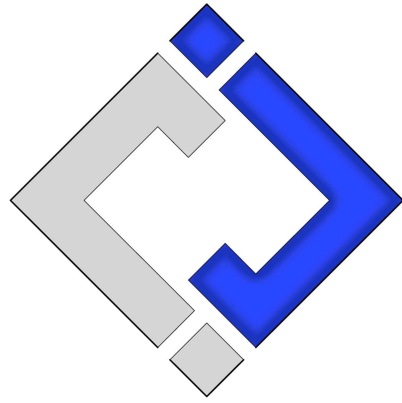
KEY PLAN
SCALE: NTS



SANITARY SEWER PLAN - SECOND FLOOR - AREA B
SCALE: 1/8" = 1'-0"



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ADDENDUM #1 01 - 14 - 2025

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

The Village at Discovery - Lot 9B

200 NE Alura Way
Lee's Summit, Jackson County, MO

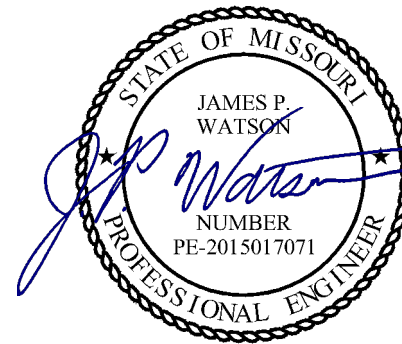
AHJ APPROVAL STAMP

SHEET TITLE

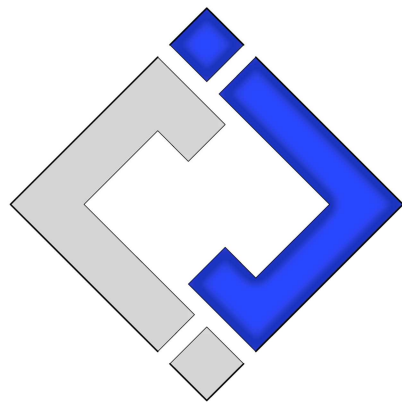
SANITARY
SEWER PLAN -
SECOND FLOOR -
AREA B

SHEET NUMBER

PS112



James Watson, P.E. January 14, 2025
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CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 01 - 14 - 2025

AHJ APPROVAL STAMP

SHEET TITLE

STORM DRAIN PLAN

- GARAGE

SHEET NUMBER

PS201

STORM DRAIN PLAN SYMBOL LEGEND

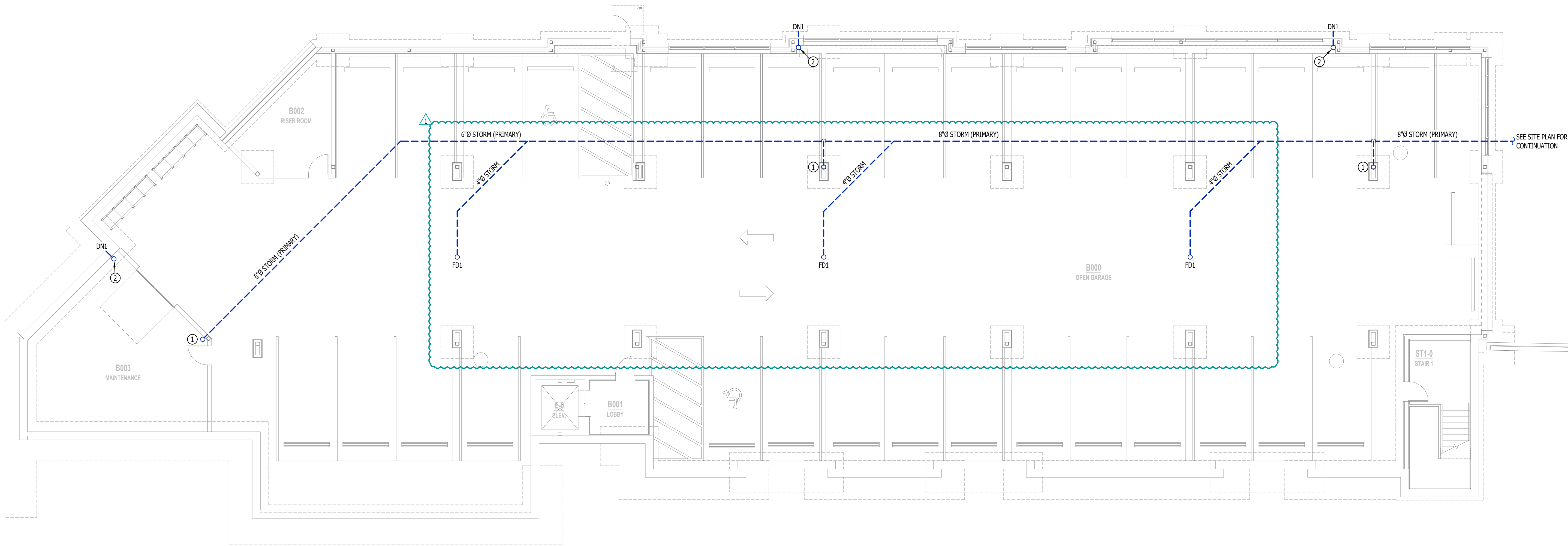
- STORM DRAIN PIPING
- PIPING TURNED DOWN / TURNED UP
- ✱ TIE INTO EXISTING

STORM DRAIN PLAN GENERAL NOTES:

1. REFER TO P500 AND/OR P600 SERIES SHEETS FOR ADDITIONAL PLUMBING NOTES, DETAILS, REQUIREMENTS, AND SCHEDULES.
2. PLUMBING CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS AND COORDINATE LOCATION OF ALL EQUIPMENT, PIPING, HANGERS / SUPPORTS, ETC. WITH HVAC AND ELECTRICAL TRADES BEFORE INSTALLATION OF ANY MATERIAL. ADDITIONAL COSTS ASSOCIATED WITH LACK OF COORDINATION WILL NOT BE REIMBURSED.

STORM DRAIN PLAN KEY NOTES:

- ① 6"Ø PRIMARY STORM DRAIN PIPING DOWN FROM FLOOR ABOVE.
- ② 6"Ø SECONDARY STORM DRAIN PIPING DOWN FROM FLOOR ABOVE TO DOWNSPOUT NOZZLE.



STORM DRAIN PLAN - GARAGE

SCALE: 1/8" = 1'-0"

PLUMBING SPECIFICATIONS

1.

GENERAL
- 1.1.

PLUMBING CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL ESCUTCHEONS, ¼ TURN STOPS, P-TRAPS, AND SUPPLY LINES TO PROVIDE A COMPLETE SYSTEM AT EACH FIXTURE INDICATED ON PLANS UNLESS NOTED OTHERWISE.
- 1.2.

ALL PLUMBING SYSTEMS SHALL BE INSTALLED LEVEL, PLUMB, AND PARALLEL/PERPENDICULAR TO BUILDING ORIENTATION WHERE POSSIBLE.
- 1.3.

COORDINATE ALL PIPING INSTALLATIONS WITH STRUCTURAL GRADE BEAMS, FOOTINGS, COLUMN PIERS, ETC. SLEEVE PIPING THRU STRUCTURAL ELEMENTS AS NECESSARY, VERIFY WITH STRUCTURAL ENGINEER.
- 1.4.

VERIFY ALL UTILITY CONNECTION POINTS WITH PROPOSED PLUMBING LAYOUTS PRIOR TO BEGINNING WORK.
- 1.5.

CLEAN ALL PLUMBING FIXTURES AND CHANGE FAUCET AERATORS AND SINK STRAINERS AT PROJECT COMPLETION PRIOR TO TURNING OVER TO OWNERSHIP.
2.

EQUIPMENT / FIXTURES
- 2.1.

ALL EQUIPMENT AND/OR FIXTURES MUST MEET OR EXCEED THE PERFORMANCE, FUNCTIONAL INTENT, AND AESTHETICS AS MODELS SPECIFIED ON PLANS. WHERE SPECIFIC MANUFACTURERS AND/OR MODELS ARE INDICATED ON PLANS OR WITHIN SCHEDULES, CONTRACTOR TO PROVIDE MODEL INDICATED OR APPROVED EQUAL. VERIFY SUBSTITUTION APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF EQUIPMENT.
- 2.2.

CONTRACTOR TO SUPPLY SUBMITTALS FOR ALL EQUIPMENT FOR REVIEW BY ARCHITECT AND ENGINEER. FORMAL APPROVAL SHALL BE RECEIVED BY CONTRACTOR PRIOR TO EQUIPMENT PURCHASE.
- 2.3.

CONTRACTOR TO SHARE APPROVED EQUIPMENT SUBMITTALS WITH ANY PERTINENT ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTORS WITHIN TWO WEEKS OF RECEIVING APPROVED SUBMITTALS FROM ARCHITECT/ENGINEER.
3.

SANITARY
- 3.1.

BELOW AND ABOVE GRADE WASTE AND VENT PIPING IN BUILDING TO BE SOLID CORE SCHEDULE 40 PVC LISTED FOR DWV APPLICATIONS.
- 3.2.

NO WASTE OR VENT PIPING INSTALLED BELOW GRADE SHALL BE SMALLER THAN 2".
- 3.3.

MINIMUM SLOPES FOR WASTE PIPING (UNLESS NOTED OTHERWISE ON PLANS):
- 3.3.1.

2 ½" OR LESS DIAMETER: ¼" PER FOOT
- 3.3.2.

3" TO 6" DIAMETER: ½" PER FOOT
- 3.3.3.

8" OR LARGER DIAMETER: ¾" PER FOOT
- 3.4.

ACCESSIBLE FULL PIPE SIZE CLEANOUTS SHALL BE PROVIDED & INSTALLED ON BUILDING SANITARY LINES AT LOCATIONS SHOWN ON PLANS, AT INTERVALS OF NO MORE THAN 100', AT EVERY CHANGE IN DIRECTION GREATER THAN 45°, AND AT THE BASE OF EACH WASTE STACK.
- 3.5.

WASTE AND VENT PIPING IN PLENUMS SHALL BE CAST IRON, PLENUM-RATED CPVC, OR PVC WITH AN INSULATION WRAP LISTED FOR USE AS SUCH AN ASSEMBLY.
- 3.6.

ALL VENT PIPE TERMINATIONS SHALL BE LOCATED EITHER 10' HORIZONTALLY OR 3' ABOVE MECHANICAL AIR INTAKE LOCATIONS. TERMINATIONS SHALL NOT BE INSTALLED UNDER ANY OPERABLE BUILDING OPENING OR OPERABLE ADJACENT BUILDING OPENING. CONTRACTOR TO OFFSET VENT PIPING AS NECESSARY TO MEET THESE REQUIREMENTS.
4.

DOMESTIC WATER
- 4.1.

ALL DOMESTIC WATER PIPING TO BE EITHER COPPER OR PEX, SHALL CONFORM TO NSF 61 AND BE LISTED FOR USE IN POTABLE WATER SYSTEMS.
- 4.1.1.

WHERE PEX PIPING IS USED, IT SHALL BE INCREASED ONE PIPE SIZE FROM WHAT IS INDICATED ON PLANS FOR ALL PORTIONS OF DISTRIBUTION SYSTEM.
- 4.1.2.

PEX-A MAY BE INSTALLED AT SIZES INDICATED ON PLANS ONLY IF AN ENGINEERED PLAN IS SUBMITTED SHOWING ACCEPTABLE PRESSURE DROPS AND FLUID VELOCITIES, APPROVAL MUST BE GRANTED PRIOR TO PURCHASE AND INSTALLATION.
- 4.1.3.

COPPER WATER PIPING BELOW GRADE SHALL BE TYPE "K". BELOW GRADE JOINTS SHALL BE SILVER SOLDERED. THERE SHALL BE NO JOINTS IN WATER PIPING LOCATED BENEATH BUILDING SLAB.
- 4.1.4.

COPPER WATER PIPING ABOVE GRADE SHALL BE TYPE "L".
- 4.2.

PROVIDE WATER HAMMER ARRESTORS AT ALL QUICK-CLOSE VALVES. FIXTURES REQUIRING WATER HAMMER ARRESTORS INCLUDE BUT ARE NOT LIMITED TO PLUSH VALVES, SENSOR FAUCETS, AND WASHING MACHINE BOXES. AIR CHAMBERS SHALL NOT BE PERMITTED.
- 4.3.

ALL DOMESTIC WATER PIPING SHALL BE ROUTED WITHIN BUILDING THERMAL ENVELOPE AND WITHIN WALL CAVITIES, ABOVE FINISHED CEILINGS, OR BELOW SLAB TO REMAIN CONCEALED UNLESS OTHERWISE NOTED. NOTIFY ENGINEER OF ANY NECESSARY ADJUSTMENTS THAT REQUIRE PIPING TO BE EXPOSED.
- 4.4.

DOMESTIC WATER PIPING INSULATION
- 4.4.1.

ALL HW PIPING, WHETHER COPPER OR PEX, SHALL BE INSULATED WITH PLENUM RATED CLOSED CELL ELASTOMERIC INSULATION.
- 4.4.1.1.

FOR PIPING LESS THAN 1½", INSULATION THICKNESS TO BE 1".
- 4.4.1.2.

FOR PIPING 1½" OR GREATER, INSULATION THICKNESS SHALL BE 1½".
- 4.4.2.

CW COPPER PIPING TO INSULATED WITH ½" PLENUM RATED CLOSED CELL ELASTOMERIC INSULATION. CW PEX NEED NOT BE INSULATED UNLESS NOTED OTHERWISE ON PLANS.
5.

GAS PIPING
- 5.1.

GAS PIPING SHALL BE INSTALLED LEVEL, PLUMB, AND PARALLEL OR PERPENDICULAR TO BUILDING ORIENTATION WHERE POSSIBLE.
- 5.2.

QUARTER-TURN FULL-PORT SHUTOFF VALVES SHALL BE INCLUDED AT EACH APPLIANCE CONNECTION, AS WELL AS AN IN-LINE REGULATOR FROM DELIVERY PRESSURE TO APPLIANCE OPERATING PRESSURE IF REQUIRED. INCLUDE SEDIMENT TRAPS PER IFGC REQUIREMENTS.
- 5.1.

NATURAL GAS AND LIQUID PROPANE (LP) PIPING TO SHALL BE SCHEDULE 40 BLACK STEEL.
- 5.2.

PIPE JOINTS SHALL BE THREADED WITH CLASS 150 FITTINGS, OR WELDED. NOTIFY OWNER/GC OF ANY NECESSARY HOT-WORK ASSOCIATED WITH WELDED CONNECTIONS.
- 5.3.

WHERE PIPING IS EXPOSED ON EXTERIOR FACE OF BUILDING, PAINT TO MATCH BUILDING. PAINT YELLOW IN ALL OTHER LOCATIONS.
- 5.4.

ON ROOFTOPS, INSTALL GAS PIPE WITH "ROOFTOP BLOK" PER MANUFACTURER'S INSTRUCTION.
6.

STORM DRAIN PIPING
- 6.1.

ABOVE AND BELOW GRADE STORM PIPING SHALL BE SOLID CORE SCHEDULE 40 PVC.
- 6.2.

ALL PRIMARY & SECONDARY STORM DRAIN PIPING & FITTINGS SHALL BE INSULATED WITH ½" FIBERGLASS INSULATION WITH ASJ JACKET.
- 6.3.

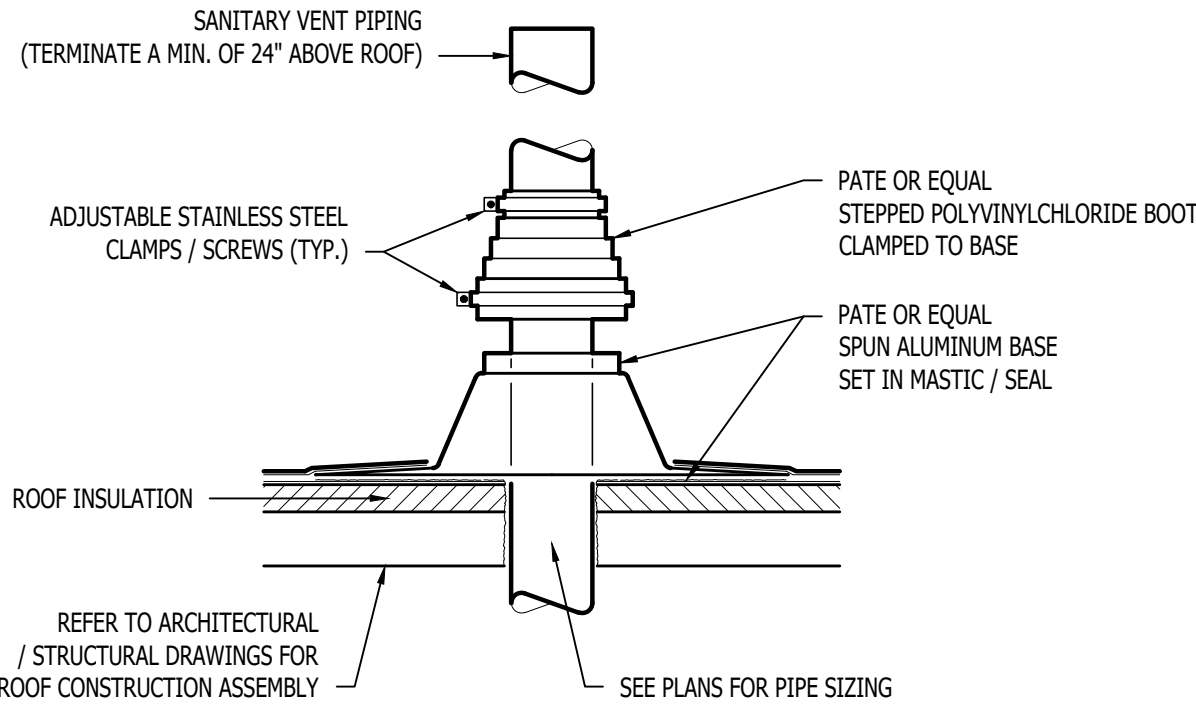
STORM DRAIN PIPING IN PLENUMS SHALL BE CAST IRON, PLENUM-RATED CPVC, OR PVC WITH AN INSULATION WRAP LISTED FOR USE AS SUCH AN ASSEMBLY.

PLUMBING FIXTURE SCHEDULE

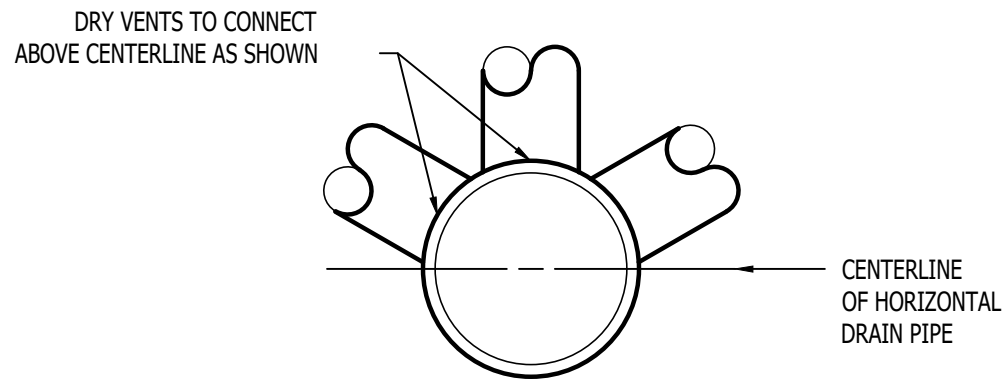
TAG	DESCRIPTION	MANUFACTURER (OR EQUAL)	MODEL (OR EQUAL)	NOTES
AAV1	AIR ADMITTANCE VALVE	OATEY	39020	1.5" - 6 DFU MAX
BFP1	BACKFLOW PREVENTER	WILKINS	975XL2	RPZ - 2.5"
DN1	DOWNSPOUT NOZZLE	ZURN	Z199	
EXP1	EXPANSION TANK	WATTS	DETA-100	
FCO1	FLOOR CLEAN OUT	ZURN	Z1400	
FD1	FLOOR DRAIN	ZURN	Z415-BZ	WITH Z1072 TRAP SEAL
FPHB1	FROST PROOF HOSE BIB	WOODFORD	MODEL 67	
FS1	FLOOR SINK	ZURN	FD2370	
HB1	HOSE BIBB	JR SMITH	5670-H	INTERIOR HOSE BIB WITH VACUUM BREAKER
LAV1	LAVATORY - INTEGRAL BOWL	-	-	WITH PFISTER #G142-8000 CHROME FAUCET
PRV1	PRESSURE REDUCING VALVE	ZURN	600XL	3" INLET / 3" OUTLET
RD1	ROOF DRAIN	ZURN	Z100	
REF1	REFRIGERATOR BOX	SIOUX CHIEF	696-G1000	
RH1	ROOF HYDRANT	WOODFORD	SRH-MS	
SK1	KITCHEN SINK	DAYTON	D5ESR12722	WITH PFISTER #F-529-CRS FAUCET,ISE DISPOSAL #BADGER-1 & STS-00 AIR SWITCH
SP1	SUMP PUMP	ZOELLER	153-0002	120V, 1/2 HP
TUB1	TUB / SHOWER	AQUARIS	G6030TS	WITH PFISTER R89-0300 SHOWER TRIM KIT
TUB2	ADA TUB / SHOWER	AQUATIC	2603SMTE	WITH GRAB BARS & ADA HANDHELD SHOWER ASSEMBLY
WB1	WASHER BOX	SIOUX CHIEF	696-G2303	
WC1	WATER CLOSET - STANDARD HEIGHT - TANK	AMERICAN STANDARD	215CA.004	WITH CHURCH 7200SLEC SEAT AND COVER, STAINLESS BRAIDED SUPPLY, AND 1/4 TURN SHUT-OFF.
WC2	WATER CLOSET - ADA HEIGHT - TANK	AMERICAN STANDARD	215AA.004	WITH CHURCH 7200SLEC SEAT AND COVER, STAINLESS BRAIDED SUPPLY, AND 1/4 TURN SHUT-OFF.
WH1	WATER HEATER - ELECTRIC - LOWBOY	AO SMITH	ECLB-40	38 GALLON, 208V 1PH, 4500W
YCO1	YARD CLEAN OUT	ZURN	Z1400	
NOTES:				
1. VERIFY NECESSARY FIXTURES MEET ADA REQUIREMENTS WITH ARCHITECT PRIOR TO INSTALLATION				

PLUMBING CONNECTION SIZING SCHEDULE

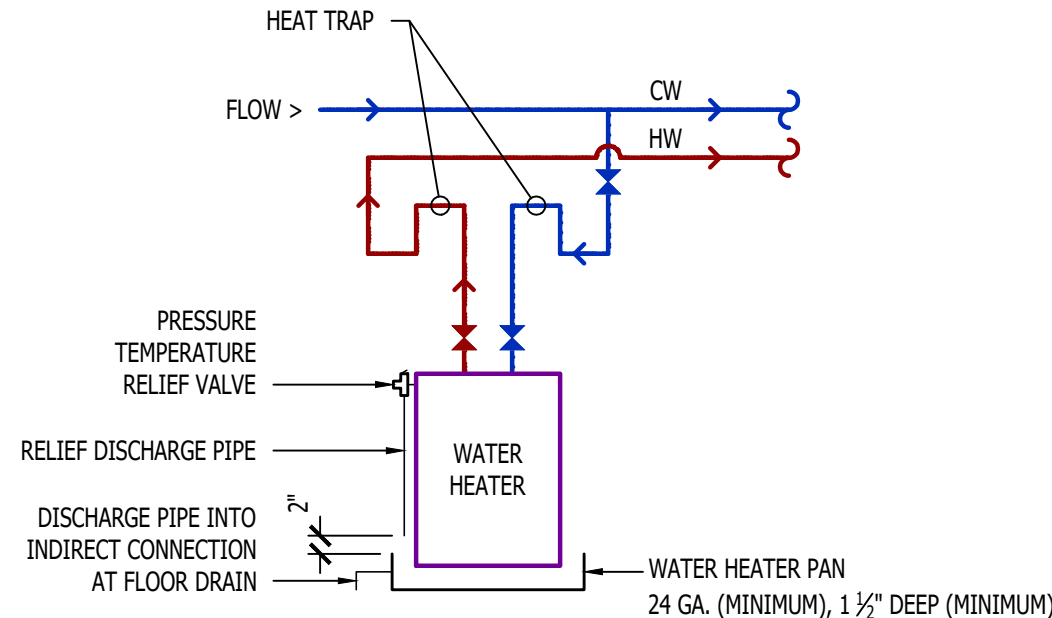
FIXTURE	TYPE	TYPICAL ABBREVIATION	SANITARY PIPING		SUPPLY PIPING	
			WASTE CONNECTION	VENT CONNECTION	COLD WATER CONNECTION	HOT WATER CONNECTION
DRINKING FOUNTAIN	DF	DF	1-1/2"	1-1/4"	1/2"	-
FLOOR DRAIN	FD	FD	3"	2"	-	-
HAND / HAIR SINK	HS / SK	HS / SK	2"	1-1/4"	1/2"	1/2"
HOSE BIBB	HB	HB	-	-	3/4"	-
LAVATORY	LAV	LAV	1-1/2"	1-1/4"	1/2"	1/2"
MOP SINK	MS	MS	3"	1-1/2"	1/2"	1/2"
ICE MAKER OUTLET BOX	REF	REF	-	-	1/2"	-
SHOWER	SH	SH	3"	1-1/2"	1/2"	1/2"
URINAL	UR	UR	2"	1-1/4"	3/4"	-
WATER CLOSET (FLUSH TANK)	WC	WC	3"	2"	1/2"	-
WATER CLOSET (FLUSH VALVE)	WC	WC	3"	2"	1"	-
NOTES:						
1. SIZES SHOWN ABOVE ARE TYPICAL UNLESS NOTED OTHERWISE ON PLANS						



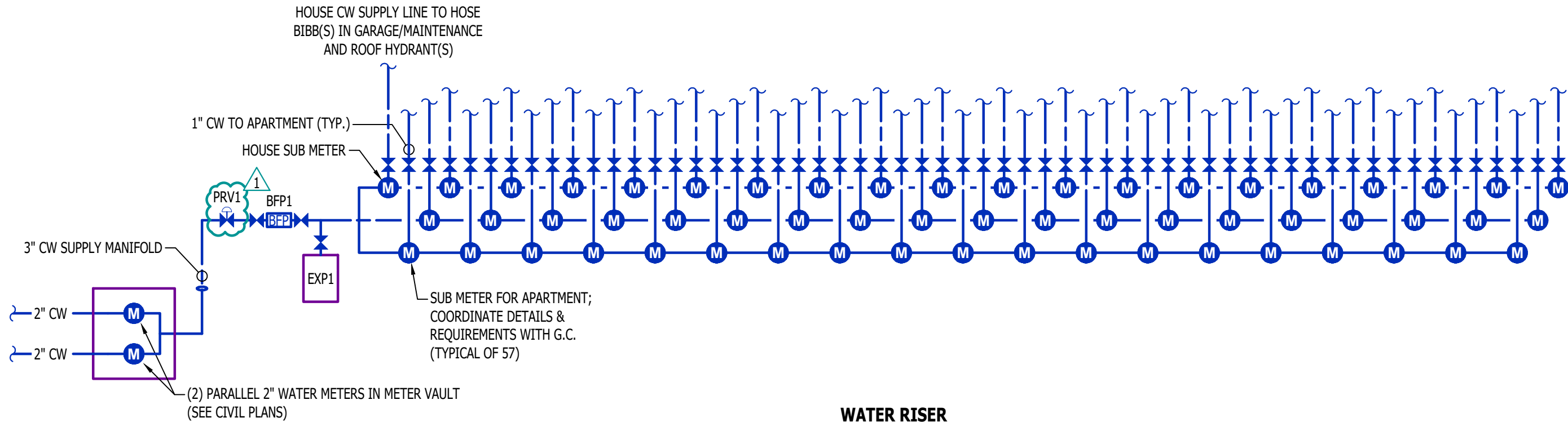
SANITARY VENT THRU ROOF DETAIL



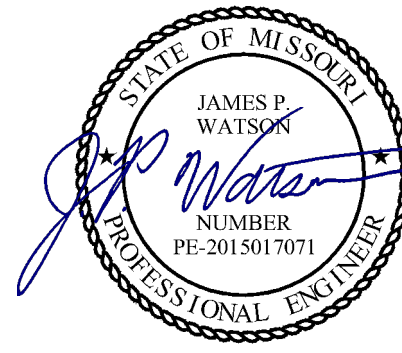
DRY VENT DETAIL



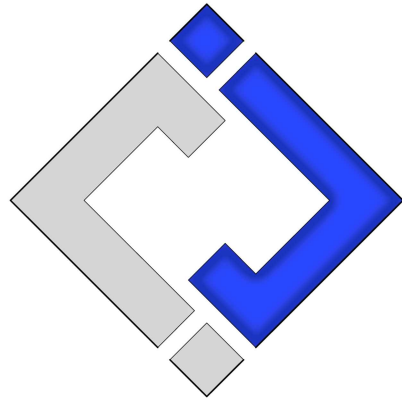
WATER HEATER DETAIL



WATER RISER



James Watson, P.E. January 14, 2025
PE-2015017071
MO Certificate of Authority # 2018029680



J-SQUARED
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J2 PROJECT No: J21012.1

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 01 - 14 - 2025

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

The Village at Discovery - Lot 9B

200 NE Alura Way
Lee's Summit, Jackson County, MO

AHJ APPROVAL STAMP

SHEET TITLE

PLUMBING DETAILS &
SCHEDULES

SHEET NUMBER

P501

POWER PLAN SYMBOL LEGEND

- CIRCUIT WIRING
- CIRCUIT TAG
- JUNCTION BOX
- RECEPTACLE
- INDICATES MOUNTING HEIGHT TO BOTTOM OF BOX
(STANDARD @ 18" AFF UNLESS NOTED OTHERWISE)
- "WP" = WEATHERPROOF OUTDOOR RECEPTACLE
- GFCI DUPLEX CONVENIENCE RECEPTACLE
- 208V RECEPTACLE
- QUADPLEX CONVENIENCE RECEPTACLE
- DATA / PHONE JACK; BOX WITH 1" CONDUIT & CAT6 CABLE BACK TO MEDIA PANEL LOCATION
(STANDARD @ 18" AFF UNLESS NOTED OTHERWISE)
- DISCONNECT
- 120V IONIZATION SMOKE 520Hz LOW FREQUENCY ALARM WITH SILENCING CAPABILITIES &
LOW-VOLTAGE CONTACTS WIRED TO SHUT DOWN AHU UPON FIRE DETECTION.
COORDINATE WITH HVAC CONTRACTOR. SMOKE DETECTOR MUST BE LOCATED AT LEAST 3'
FROM CEILING FAN BLADES AND AT LEAST 10' FROM ANY COOKING APPLIANCE
(FIELD-COORDINATE)

POWER PLAN GENERAL NOTES:

- SEE E500 & E600 SERIES SHEETS FOR POWER SCHEDULES, DETAILS, REQUIREMENTS, ETC.
- SEE SHEET MEP4 FOR CONDENSING UNIT LOCATIONS.
- VERIFY EACH DATA/RECEPTACLE LOCATION WITH OWNER PRIOR TO INSTALLATION.
- REFER TO "TYPICAL ADA MOUNTING HEIGHTS DETAIL", SHEET E501, FOR MOUNTING HEIGHTS OF DEVICES IN "ANSI A" UNITS.

POWER PLAN KEY NOTES:

- ① MEDIA PANEL LOCATION; DATA/TV WIRING TO TERMINATE AT THIS LOCATION. DETERMINE EXACT LOCATION & DETAILS WITH OWNER PRIOR TO INSTALLATION.

LIGHTING PLAN SYMBOL LEGEND

- X1

LIGHTING FIXTURE

"X1" INDICATES FIXTURE TYPE
(REFER TO SCHEDULE)
- S3

TOGGLE SWITCH

SWITCH TYPE
- D

DIMMER SWITCH

LIGHTING PLAN GENERAL NOTES:

- SEE E500 & E600 SERIES SHEETS FOR ADDITIONAL ELECTRICAL NOTES, DETAILS, & SCHEDULES.
- ALL LIGHTING SHOWN SHALL BE ON CIRCUIT -16 UNLESS NOTED OTHERWISE.



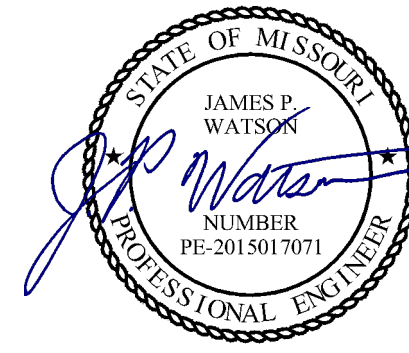
POWER PLAN - CONWAY III

SCALE: 1/4" = 1'-0"

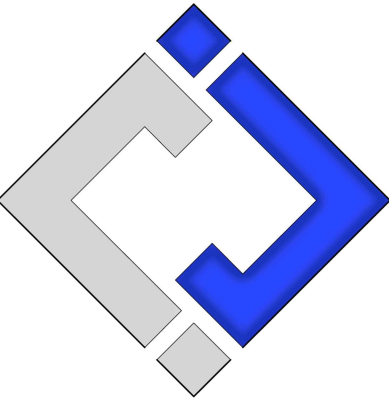


LIGHTING PLAN - CONWAY III

SCALE: 1/4" = 1'-0"



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SHEET TITLE

POWER &
LIGHTING PLAN
- CONWAY III

SHEET NUMBER

UMEP2.3.2