

# DISCOVERY PARK - LOT #9 - A

## LEE'S SUMMIT, MO

PRINTS ISSUED  
11/27/2024 - CITY SUBMISSION

REVISIONS:  
1 12/18/24 ADDENDUM #1

### PROJECT CERTIFICATION

I, **David E. Hendrikse**, hereby specify pursuant to the governing requirements of the state, that the documents intended to be authenticated by my seal are limited to:

G-001	G-201	G-213	A-105	A-303	A-406	A-506
G-001.1	G-202	G-214	A-106	A-304	A-407	A-507
G-002	G-203	G-215	A-110	A-305	A-408	A-508
G-003	G-204	G-300	A-120	A-306	A-409	A-600
G-004	G-205	G-301	A-125	A-307	A-410	A-601
G-005	G-206	G-302	A-200	A-308	A-415	A-602
G-006	G-207	G-303	A-201	A-400	A-500	A-603
G-007	G-208	AS-100	A-202	A-401	A-501	A-700
G-100	G-209	A-101	A-203	A-402	A-502	A-710
G-101	G-210	A-102	A-300	A-403	A-503	
G-102	G-211	A-103	A-301	A-404	A-504	
G-200	G-212	A-104	A-302	A-405	A-505	

and I hereby disclaim any responsibility for all other plans, specifications, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

SEAL



David E. Hendrikse, AIA

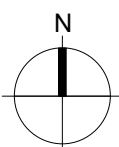
### REGIONAL MAP



### VICINITY MAP



**DISCOVERY PARK - LOT #9 - A**  
**200 NE ALURA WAY**  
**LEE'S SUMMIT, MISSOURI 64064**



### SHEET INDEX

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CIVIL UNDER SEPARATE REVIEW, REFERENCE FDP

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#### STRUCTURAL

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10 / 10 / 2020	A-000	SHEET NAME	-	10 / 10 / 2020
SHEET INDEX LEGEND				
SOLID FILL INDICATES INCLUSION IN ISSUE SHEET ISSUE DATE				
SHEET NUMBER AND NAME				
CURRENT REVISION NUMBER & REVISION DATE ON SHEET				

### PROJECT DATA

#### PROJECT DESIGN INFORMATION

##### NEW CONSTRUCTION:

ZONING:	PMIX - PLANNED MIXED USE DISTRICT
CODE:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRIC CODE 2009 ACCESSIBILITY CODE ICC/ANSI 117-1 LEE'S SUMMIT AMENDMENTS TO THE ENERGY CODE
OCCUPANCY GROUP:	R-2, APARTMENTS A-2, UNCONCENTRATED S-2, OPEN PARKING GARAGE
TYPE OF CONSTRUCTION:	R-2 & A-2, TYPE VA S-2, TYPE IIA
ENERGY CONSERVATION:	WALLS AS PART OF BLDG ENVELOPE R-13 FLOORS AS PART OF BLDG ENVELOPE R-19 ROOFS AS PART OF BLDG ENVELOPE R-19 CEILING AS PART OF BLDG ENVELOPE R-30

##### BUILDING SUMMARY:

NUMBER:	(1) TOTAL BUILDINGS
HEIGHT:	3 STORIES, 46'-0"

SQUARE FOOTAGES:	GROSS	NET
FIRST FLOOR	22,989 S.F.	22,490 S.F.
SECOND FLOOR	18,347 S.F.	17,973 S.F.
THIRD FLOOR	18,347 S.F.	17,973 S.F.

##### UNIT SUMMARY:

TYPE "A" UNITS (2% OF TOTAL)	(1) UNITS - ABERDEEN "A"
HIVI UNITS (2% OF TOTAL)	(1) UNITS - ADRIAN "HIVI"
STANDARD UNITS	(3) UNITS - ABERDEEN (17) UNITS - ADRIAN (2) UNITS - ADRIAN - LRG (2) UNITS - CONWAY I (2) UNITS - CONWAY II (2) UNITS - DRAKE (2) UNITS - LANA (8) UNITS - BROWNSTONES
<b>TOTAL UNITS</b>	<b>(40) UNITS</b>

SQUARE FOOTAGE:	GROSS	NET
ABERDEEN "A"	1,338 S.F.	1,269 S.F.
ABERDEEN "B"	1,338 S.F.	1,269 S.F.
ADRIAN	832 S.F.	781 S.F.
ADRIAN - LRG	1,078 S.F.	1,021 S.F.
CONWAY	843 S.F.	786 S.F.
CONWAY II	1,024 S.F.	962 S.F.
DRAKE	903 S.F.	821 S.F.
LANA	1,082 S.F.	1,020 S.F.
BROWNSTONE 1ST	605 S.F.	549 S.F.
BROWNSTONE 2ND	619 S.F.	563 S.F.

SEE CIVIL FOR SITE SUMMARY

##### NOTE: SQUARE FOOTAGE

**-GROSS - COMMON SPACE CALCULATION:** OUTSIDE PERIMETER OF STUD (ENTIRE BUILDING) LESS THE TOTAL OF THE GROSS UNIT SQUARE FOOTAGE PER FLOOR.  
**-GROSS - UNIT CALCULATION:** CENTERLINE OF PARTY WALL TO OUTSIDE OF EXTERIOR STUD WALL AND/OR OUTSIDE OF CORRIDOR STUD WALL.  
**-NET -** PAINT-TO-PAINT AT PERIMETER, TAKEN FROM INSIDE OF DEMISING, EXTERIOR, AND CORRIDOR WALLS.

### PROJECT TEAM

#### OWNER

<b>INTRINSIC DEVELOPMENT</b>	
ADDRESS:	3622 ENDEAVOR AVE. STE. 101 COLUMBIA, MO 65201
CONTACT:	<b>BRIAN MAENNER</b>
EMAIL:	bmaenner@intrinsicdevelopment.com
PHONE:	573.881.0280

#### ARCHITECT

<b>ROSEMAN &amp; ASSOCIATES, P.C.</b>	
ADDRESS:	1526 Grand Boulevard Kansas City, MO 64108
CONTACT:	<b>A.J. DOLPH</b>
EMAIL:	ajdolph@rosemann.com
PHONE:	816.472.1448

#### CONTRACTOR

<b>INTRINSIC DEVELOPMENT</b>	
ADDRESS:	3622 ENDEAVOR AVE. STE. 101 COLUMBIA, MO 65201
CONTACT:	<b>BRIAN MAENNER</b>
EMAIL:	bmaenner@intrinsicdevelopment.com
PHONE:	573.881.0280

#### STRUCTURAL ENGINEER

<b>MCCLURE</b>	
ADDRESS:	1901 PENNSYLVANIA DRIVE COLUMBIA, MO 65202
CONTACT:	<b>CELESTE SPICKERT</b>
EMAIL:	cspickert@mcclurevision.com
PHONE:	573.234.2609

#### MECHANICAL, ELECTRICAL, PLUMBING ENGINEER

<b>J-SQUARED ENGINEERING</b>	
ADDRESS:	2400 BLUFF CREEK DRIVE, SUITE 101 COLUMBIA, MO 65201
CONTACT:	<b>ANDREW WHITE</b>
EMAIL:	andrew@j-squaredeng.com
PHONE:	573.234.4492

#### CIVIL ENGINEER

<b>OWN</b>	
ADDRESS:	8455 COLLEGE BOULEVARD OVERLAND PARK, KS 66210
CONTACT:	<b>JEFF BARTZ</b>
EMAIL:	jbartz@weareown.com
PHONE:	816.777.0400

#### LANDSCAPE ARCHITECT

<b>OWN</b>	
ADDRESS:	8455 COLLEGE BOULEVARD OVERLAND PARK, KS 66210
CONTACT:	<b>JEFF BARTZ</b>
EMAIL:	jbartz@weareown.com
PHONE:	816.777.0400

**rosemann & ASSOCIATES P.C.**  
ARCHITECTURE  
INTERIOR DESIGN  
ENGINEERING  
PLANNING

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Kansas City, MO 64108-1404  
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DISCOVERY PARK - LOT #9 - A

200 NE ALURA WAY  
LEE'S SUMMIT, MISSOURI 64064

SHEET TITLE  
TITLE SHEET

PROJECT NUMBER: 24017

SHEET NUMBER:

G-001



PRINTS ISSUED  
11/27/2024 - CITY SUBMISSION  
REVISIONS:  
1 12/18/24 ADDENDUM #1

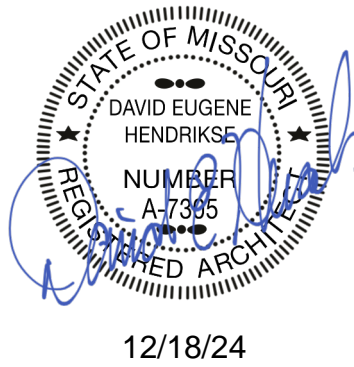


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DISCOVERY PARK - LOT #9 - A

LEE'S SUMMIT, MO

SHEET TITLE  
SHEET INDEX (CONT.)

PROJECT NUMBER: 24017

SHEET NUMBER:

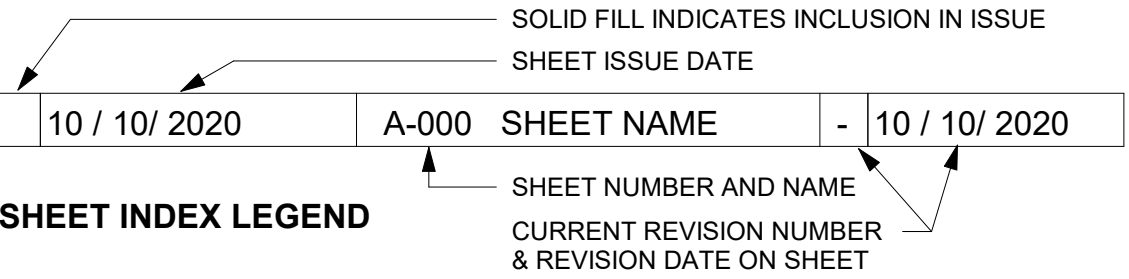
G-001.1

MECHANICAL				
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11/27/24	MEP1	MECHANICAL ELECTRICAL PLUMBING COVER SHEET		
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11/27/24	MEP3	MEP PLAN - ROOF		
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11/27/24	M102	HVAC PLAN - 2ND FLOOR - AREA A		
11/27/24	M103	HVAC PLAN - 3RD FLOOR - AREA A		
11/27/24	M111	HVAC PLAN - 1ST FLOOR - AREA B		
11/27/24	M112	HVAC PLAN - 2ND FLOOR - AREA B		
11/27/24	M113	HVAC PLAN - 3RD FLOOR - AREA B		
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11/27/24	EL102	LIGHTING PLAN - 2ND FLOOR - AREA A		
11/27/24	EL103	LIGHTING PLAN - 3RD FLOOR - AREA A		
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11/27/24	EL112	LIGHTING PLAN - 2ND FLOOR - AREA B		
11/27/24	EL113	LIGHTING PLAN - 3RD FLOOR - AREA B		
11/27/24	EL201	EXTERIOR BUILDING MOUNTED LIGHTING PLAN		
11/27/24	E501	ELECTRICAL DETAILS & SCHEDULES		
11/27/24	E601	ELECTRICAL SCHEDULES		
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11/27/24	FS102	FIRE ALARM & SECURITY PLAN - 2ND FLOOR - AREA A		
11/27/24	FS103	FIRE ALARM & SECURITY PLAN - 3RD FLOOR - AREA A		
11/27/24	FS111	FIRE ALARM & SECURITY PLAN - 1ST FLOOR - AREA B		
11/27/24	FS112	FIRE ALARM & SECURITY PLAN - 2ND FLOOR - AREA B		
11/27/24	FS113	FIRE ALARM & SECURITY PLAN - 3RD FLOOR - AREA B		

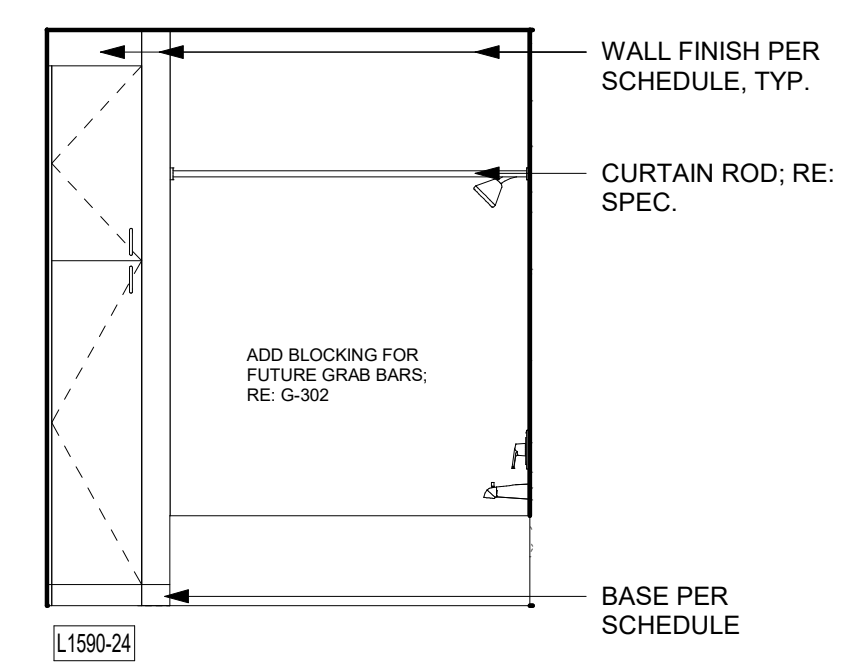
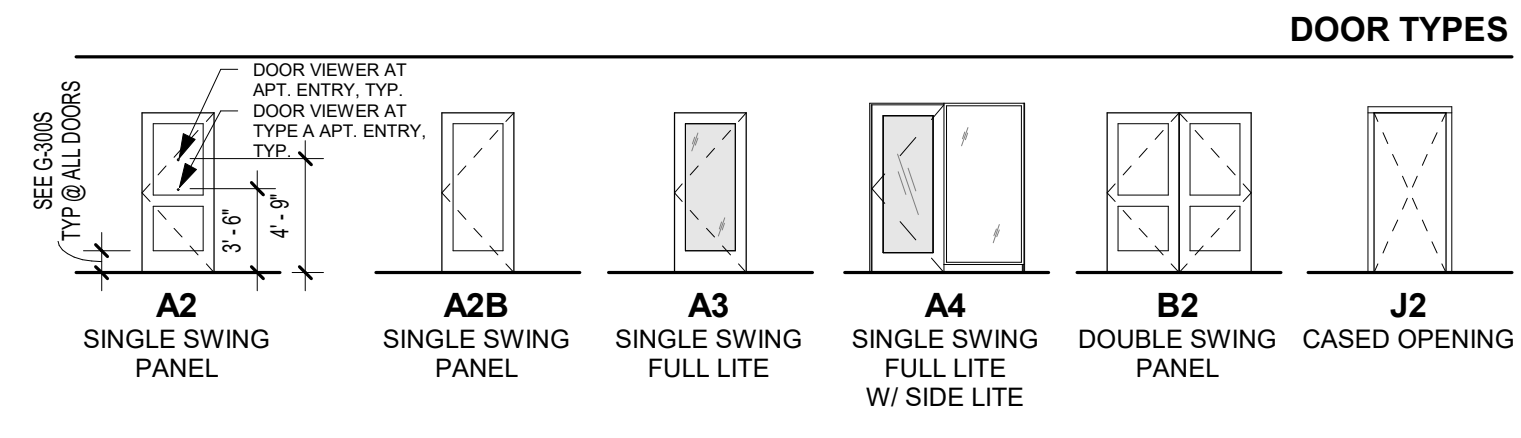
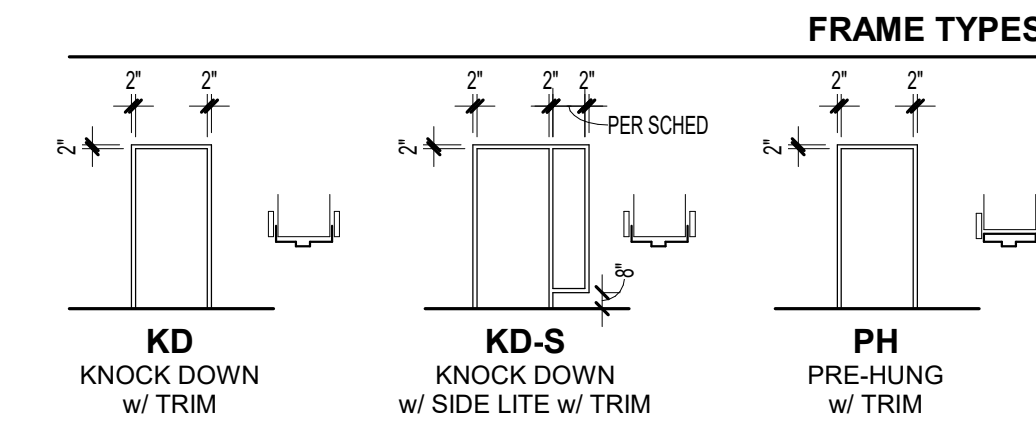
PLUMBING				
Sheet Issue Date	Sheet Number	Sheet Name	Rev.	Current Revision Date
11/27/24	PS101	SANITARY SEWER PLAN - 1ST FLOOR - AREA A		
11/27/24	PS102	SANITARY SEWER PLAN - 2ND FLOOR - AREA A		
11/27/24	PS103	SANITARY SEWER PLAN - 3RD FLOOR - AREA A		
11/27/24	PS111	SANITARY SEWER PLAN - 1ST FLOOR - AREA B		
11/27/24	PS112	SANITARY SEWER PLAN - 2ND FLOOR - AREA B		
11/27/24	PS113	SANITARY SEWER PLAN - 3RD FLOOR - AREA B		
11/27/24	PW101	WATER& GAS PLAN - 1ST FLOOR - AREA A		
11/27/24	PW102	WATER& GAS PLAN - 2ND FLOOR - AREA A		
11/27/24	PW103	WATER& GAS PLAN - 3RD FLOOR - AREA A		
11/27/24	PW111	WATER& GAS PLAN - 1ST FLOOR - AREA B		
11/27/24	PW112	WATER& GAS PLAN - 2ND FLOOR - AREA B		
11/27/24	PW113	WATER& GAS PLAN - 3RD FLOOR - AREA B		
11/27/24	P501	PLUMBING DETAILS & SCHEDULES	1	12/18/24

UMEP				
Sheet Issue Date	Sheet Number	Sheet Name	Rev.	Current Revision Date
11/27/24	UMEP1.1	MEP PLAN - UNIT TYPE ADRIAN-A		
11/27/24	UMEP1.2	MEP PLAN - UNIT TYPE ADRIAN-B		
11/27/24	UMEP1.3	MEP PLAN - UNIT TYPE CONWAY-A		
11/27/24	UMEP1.4.1	HVAC & PLUMBING PLAN - UNIT TYPE CONWAY-B		
11/27/24	UMEP1.4.2	POWER & LIGHTING PLAN - UNIT TYPE CONWAY-B		
11/27/24	UMEP1.5.1	HVAC & PLUMBING PLAN - UNIT TYPE DRAKE	1	12/18/24
11/27/24	UMEP1.5.2	POWER & LIGHTING PLAN - UNIT TYPE DRAKE	1	12/18/24
11/27/24	UMEP2.1.1	HVAC & PLUMBING PLAN - UNIT TYPE LANA		
11/27/24	UMEP2.1.2	POWER & LIGHTING PLAN - UNIT TYPE LANA		
11/27/24	UMEP2.2.1	HVAC & PLUMBING PLAN - UNIT TYPE ABERDEEN-A		
11/27/24	UMEP2.2.2	POWER & LIGHTING PLAN - UNIT TYPE ABERDEEN-A		
11/27/24	UMEP2.3.1	HVAC & PLUMBING PLAN - UNIT TYPE ABERDEEN-B		
11/27/24	UMEP2.3.2	POWER & LIGHTING PLAN - UNIT TYPE ABERDEEN-B		
11/27/24	UMEP2.4.1	HVAC & PLUMBING PLAN - UNIT TYPE BROWNSTONE		
11/27/24	UMEP2.4.2	POWER & LIGHTING PLAN - UNIT TYPE BROWNSTONE	1	12/18/24

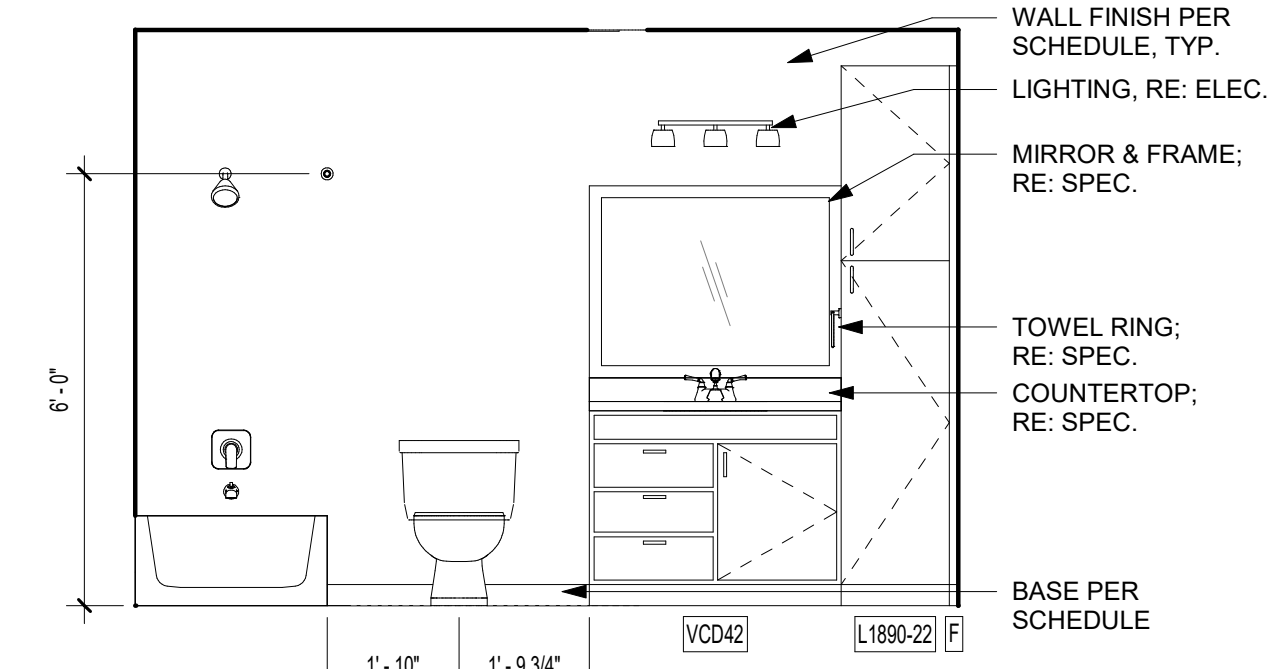


REFERENCE G-003 FOR GENERAL NOTES  
REFERENCE A-400 FOR UNIT PLAN LEGEND  
REFERENCE A-120 FOR RCP LEGEND

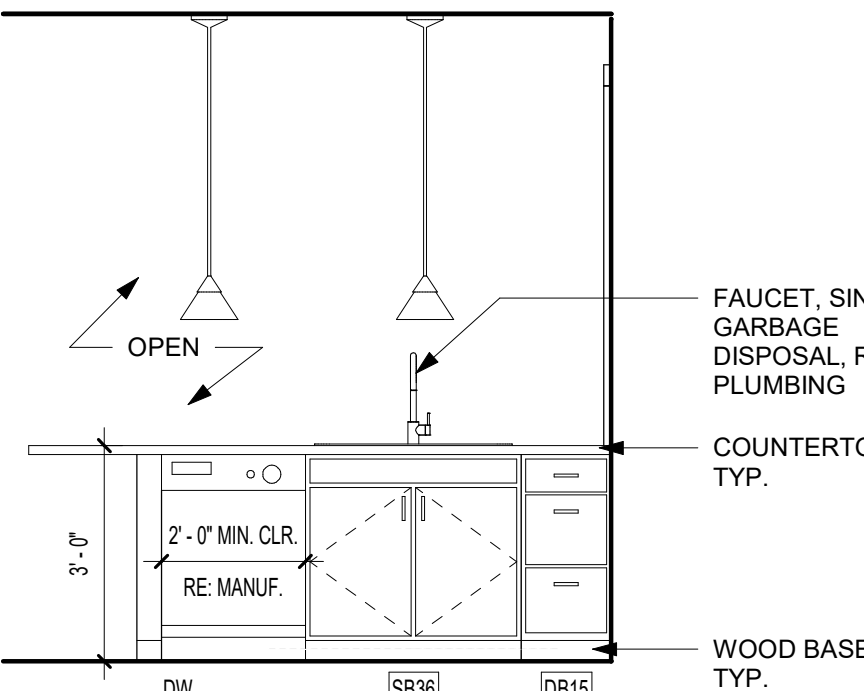
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11/27/2024 - CITY SUBMISSION  
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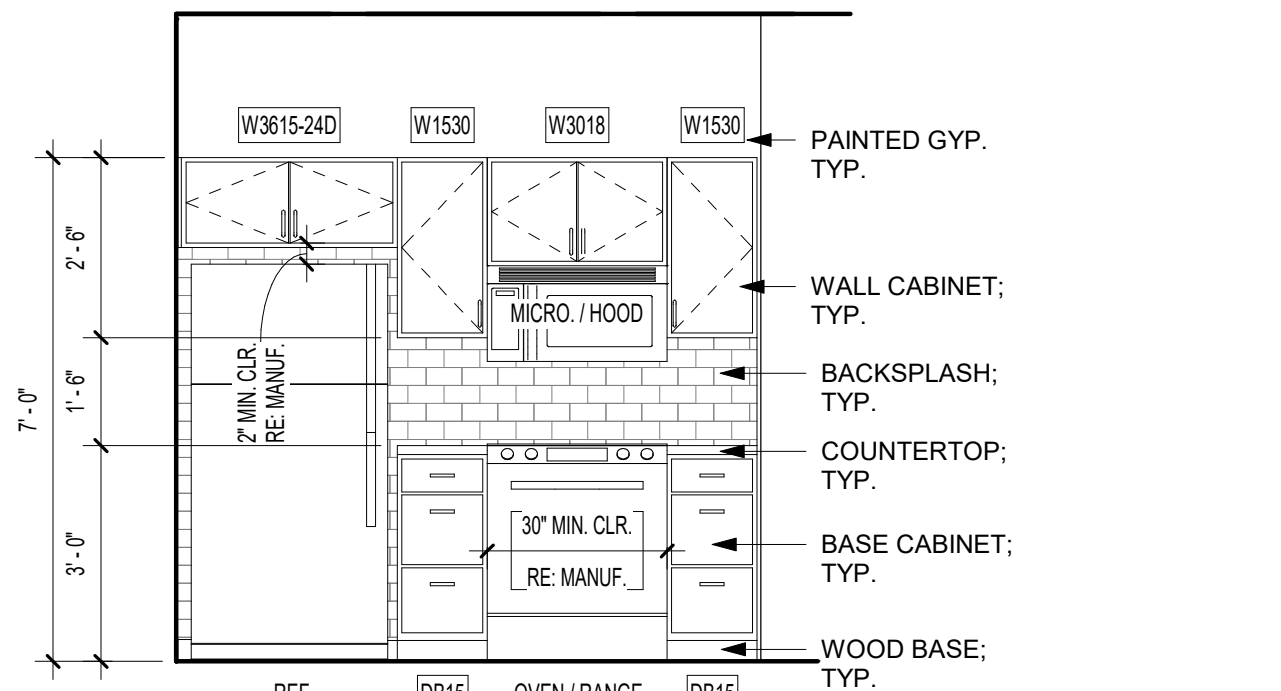
**D3** DRAKE BATH ELEV. 2  
3/8" = 1'-0"



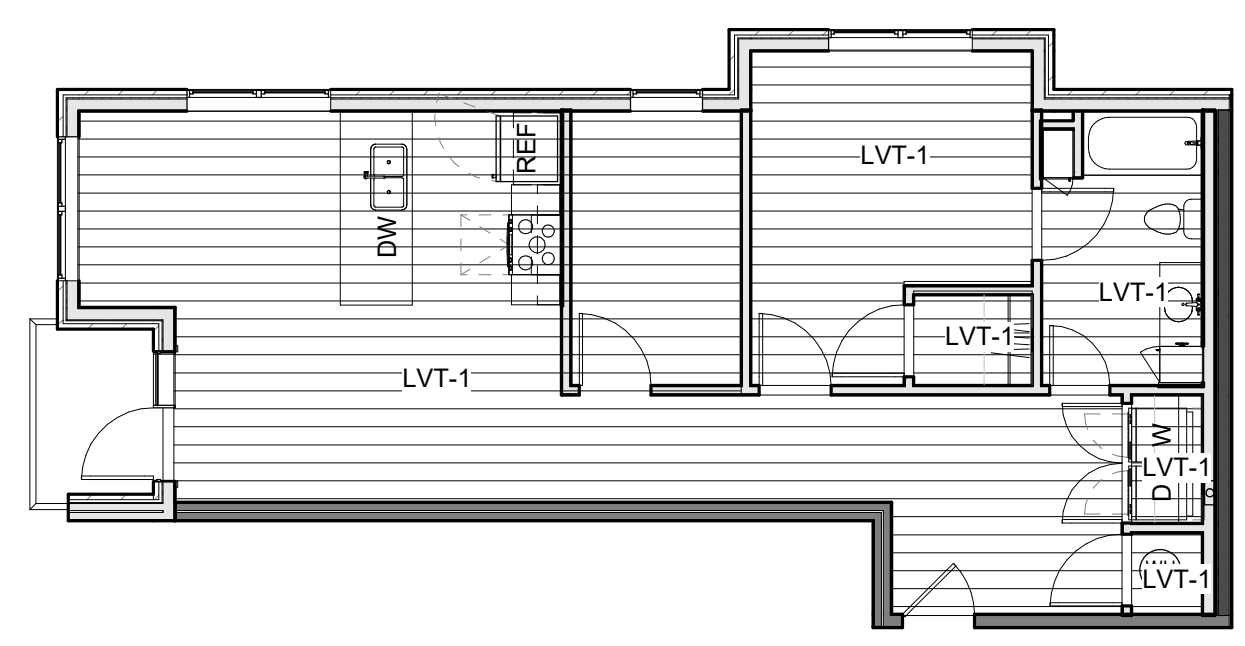
**C3** DRAKE BATH ELEV. 1  
3/8" = 1'-0"



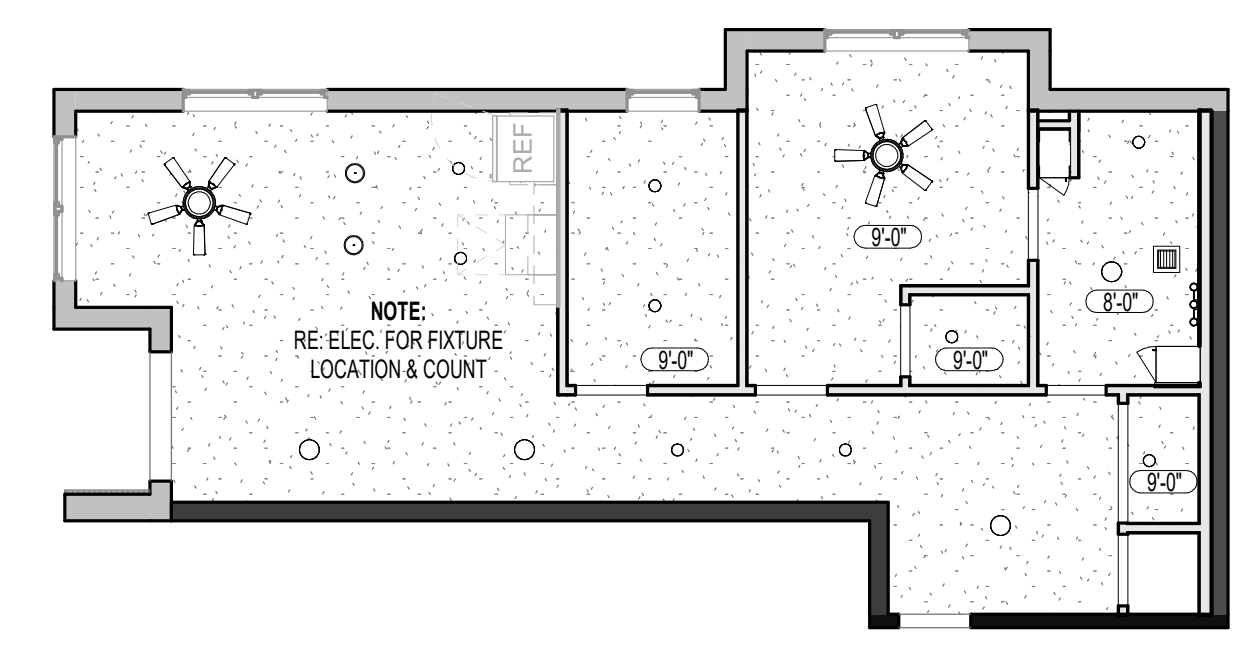
**D2** DRAKE KITCHEN ELEV. 1  
3/8" = 1'-0"



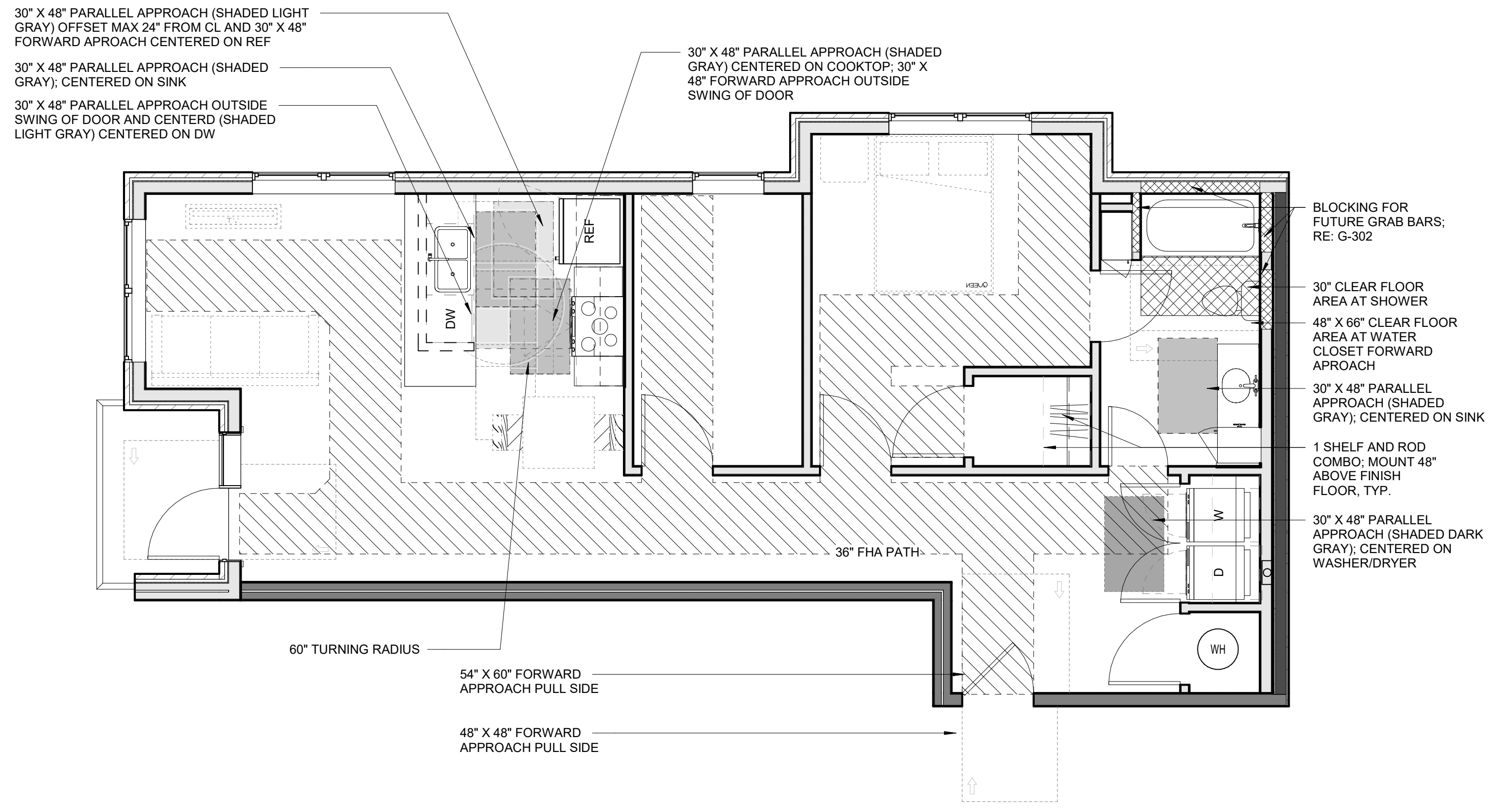
**C2** DRAKE KITCHEN ELEV. 2  
3/8" = 1'-0"



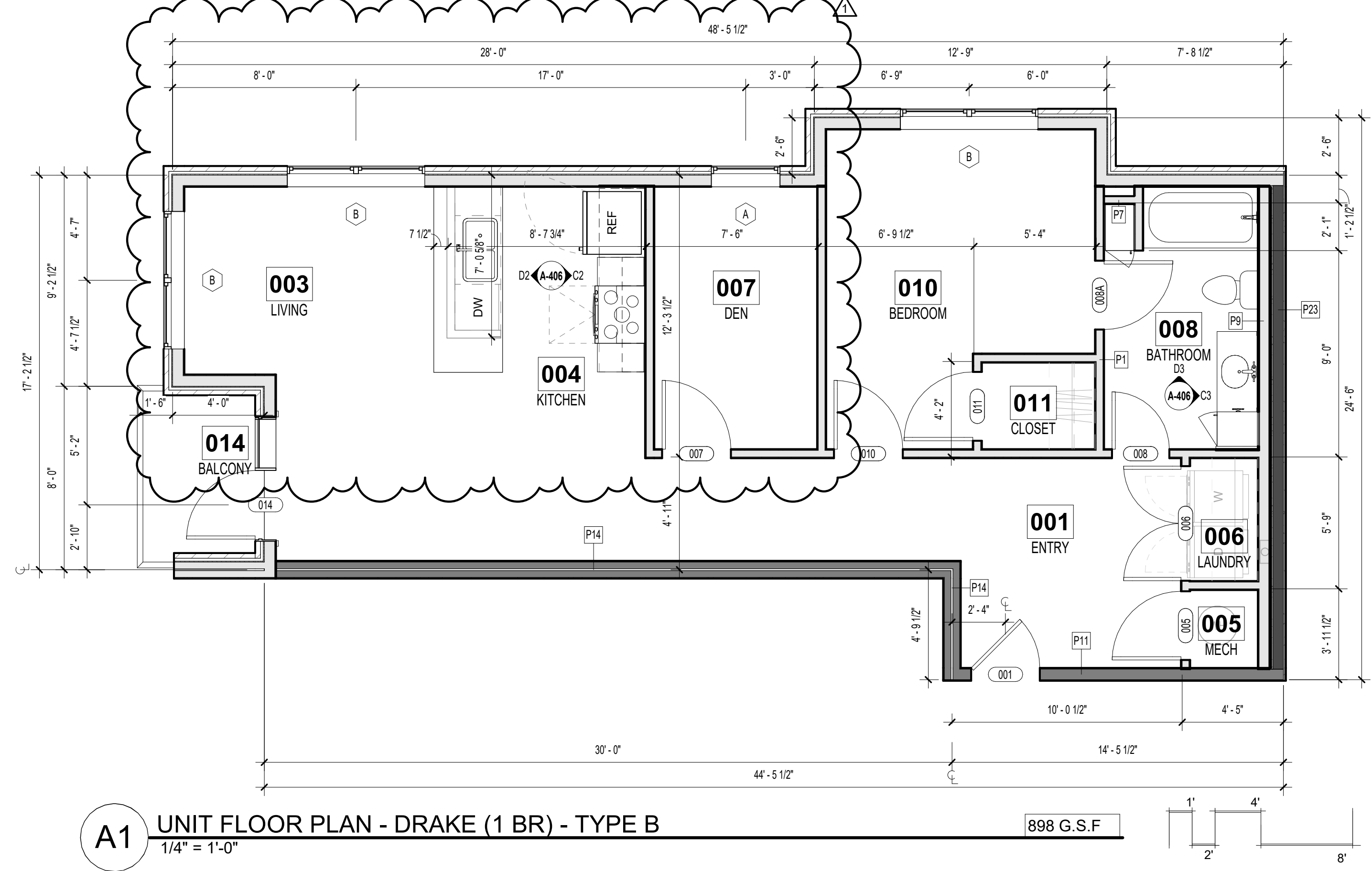
**B2** UNIT FINISH PLAN - DRAKE (1 BR) - TYPE B  
1/8" = 1'-0"



**A2** UNIT RCP - DRAKE (1 BR) - TYPE B  
1/8" = 1'-0"



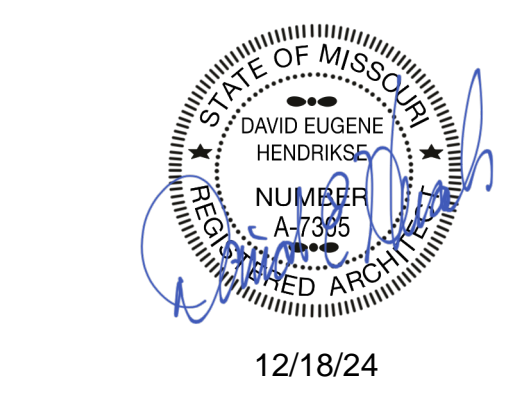
**D1** UNIT CLEAR SPACE PLAN - DRAKE (1 BR) - TYPE B  
1/4" = 1'-0"



**A1** UNIT FLOOR PLAN - DRAKE (1 BR) - TYPE B  
1/4" = 1'-0"

898 G.S.F

**rosemann & associates P.C.**  
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DISCOVERY PARK - LOT #9 - A

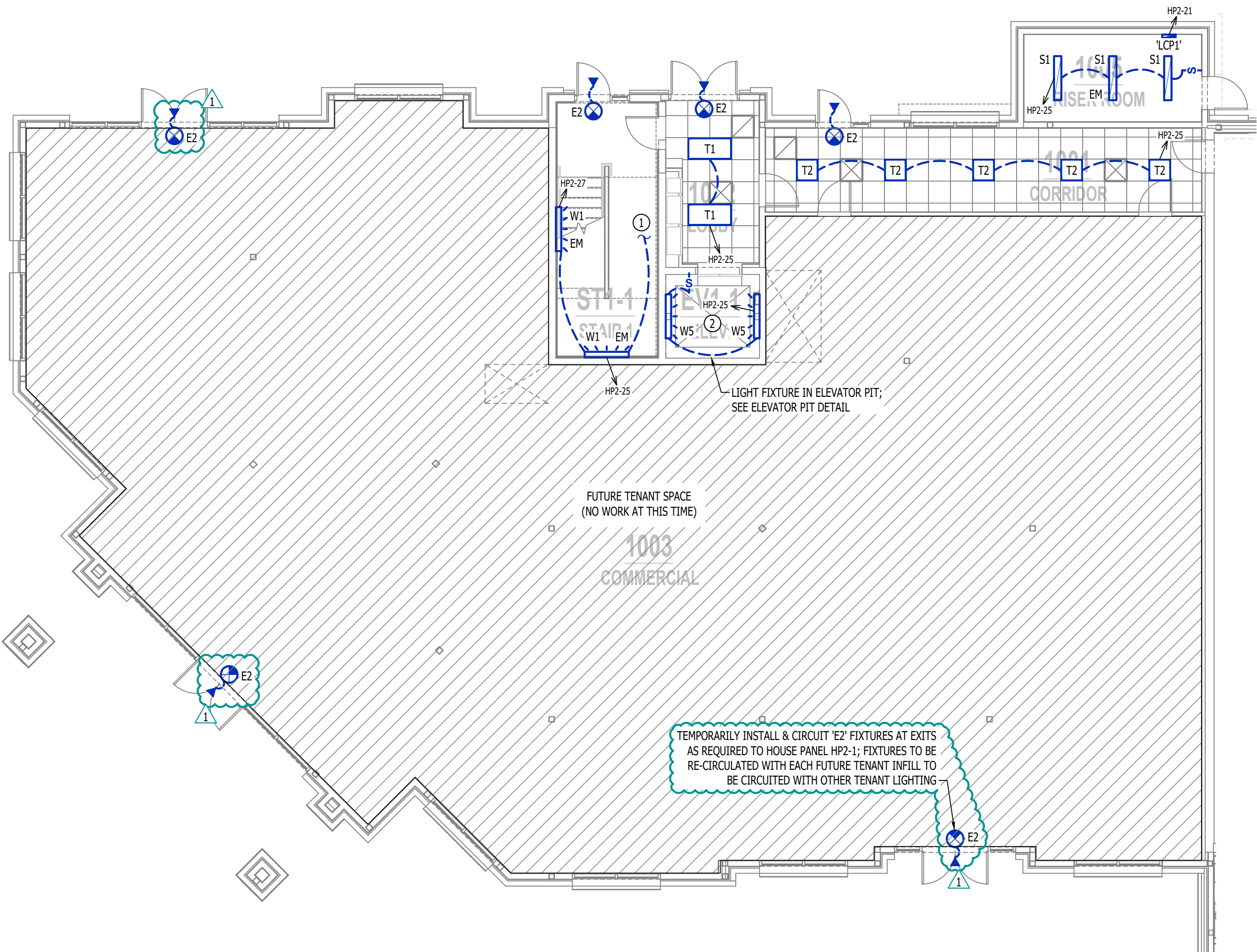
SHEET TITLE  
DRAKE (1 BR) - TYPE B  
PROJECT NUMBER: 24017  
SHEET NUMBER:

**A-406**

LEE'S SUMMIT, MO

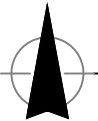
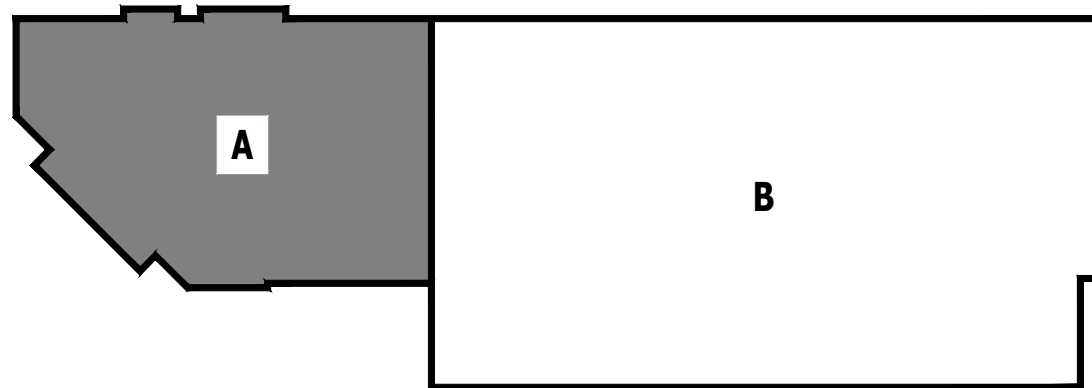


NUMBER



LIGHTING PLAN - 1ST FLOOR - AREA A

SCALE: 1/8" = 1'-0"



KEY PLAN

SCALE: NTS

LIGHTING PLAN GENERAL NOTES:

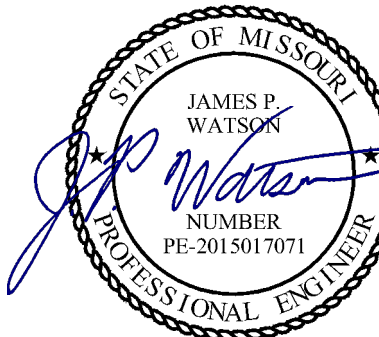
- REFER TO E500 AND/OR E600 SERIES SHEETS FOR ADDITIONAL LIGHTING NOTES, DETAILS, REQUIREMENTS, AND SCHEDULES. SEE SHEET EL201 FOR ALL EXTERIOR BUILDING MOUNTED LIGHTING LOCATIONS AND DETAILS.
- OCCUPANCY / VACANCY SENSOR QUANTITIES AND GENERAL LOCATIONS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE AND INSTALL SENSOR WITH SPACING PER MANUFACTURER SPECIFICATIONS AND INCLUDE ADDITIONAL SENSORS IF NECESSARY. CEILING-MOUNTED SENSORS SHALL BE INSTALLED WITHIN MANUFACTURE'S ACCEPTABLE MOUNTING HEIGHT RANGE.

LIGHTING PLAN KEY NOTES:

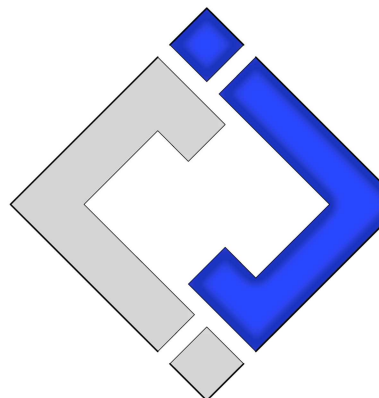
- CIRCUIT CONTINUES TO LEVEL ABOVE.
- ORIENT LIGHT FIXTURE(S) TO PROVIDE MINIMUM 10FC AT ALL POINTS ON FLOOR OF ELEVATOR PIT.

LIGHTING PLAN SYMBOL LEGEND

- X1 - "X1" INDICATES FIXTURE TYPE (REFER TO SCHEDULE)
- LIGHTING FIXTURE
- EM - "EM" INDICATES EMERGENCY BATTERY BACKUP
- NL - "NL" INDICATES UN-SWITCHED NIGHT LIGHT
- EXIT LIGHT
- INDICATES REQUIRED REMOTE HEAD
- EMERGENCY EGRESS LIGHT
- SWITCH (WALL MOUNTED)
- SWITCH TYPE:
  - 3 = 3-WAY
  - 4 = 4-WAY



James Watson, P.E. December 18, 2024  
PE-2015017071  
MO Certificate of Authority # 2018029680



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J2 PROJECT No: J21012

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 12 - 18 - 2024

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

Village at Discovery Lot 9A

200 Northeast Alura Way  
Lee's Summit, Jackson County, MO 64064

AHJ APPROVAL STAMP

SHEET TITLE

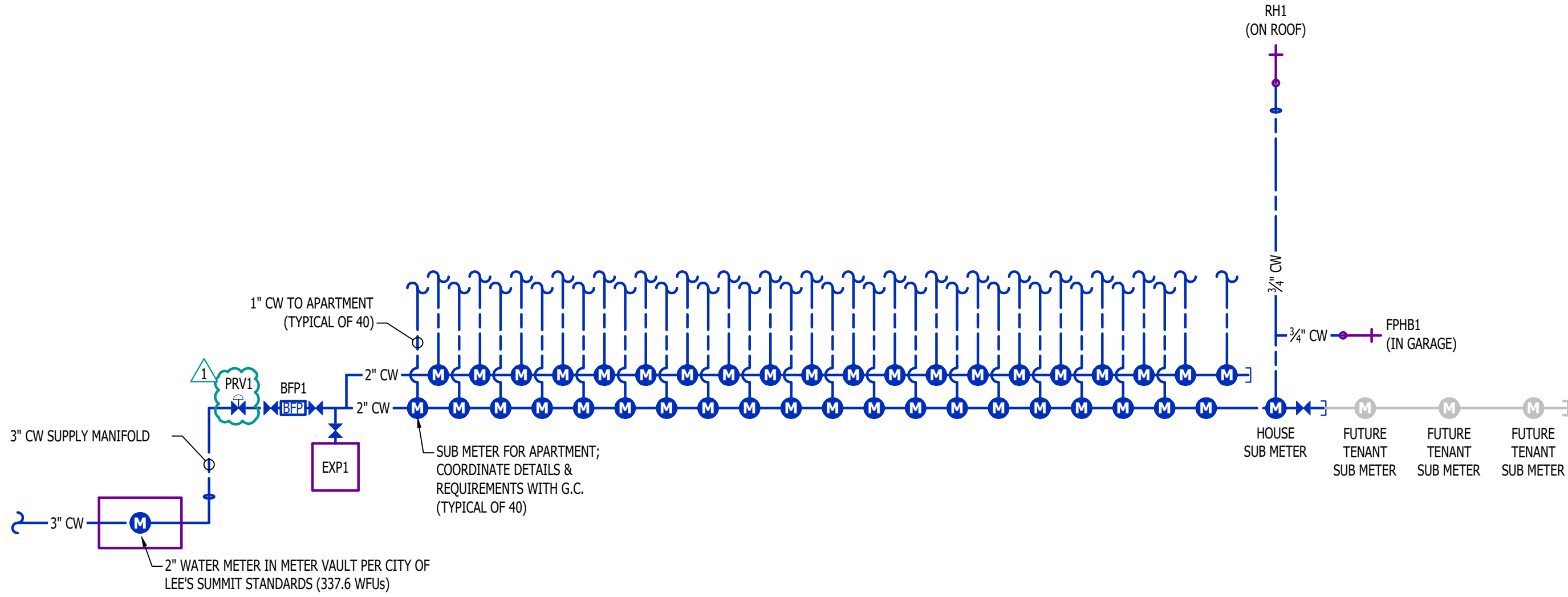
LIGHTING PLAN - 1ST  
FLOOR - AREA A

SHEET NUMBER

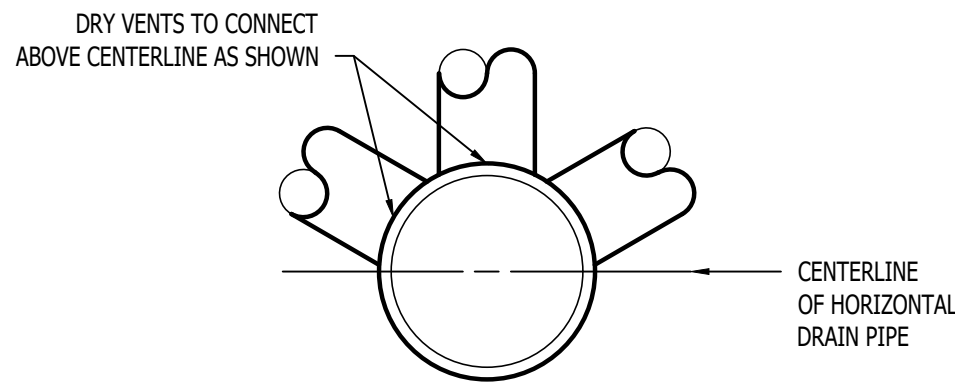
EL101

PLUMBING SPECIFICATIONS

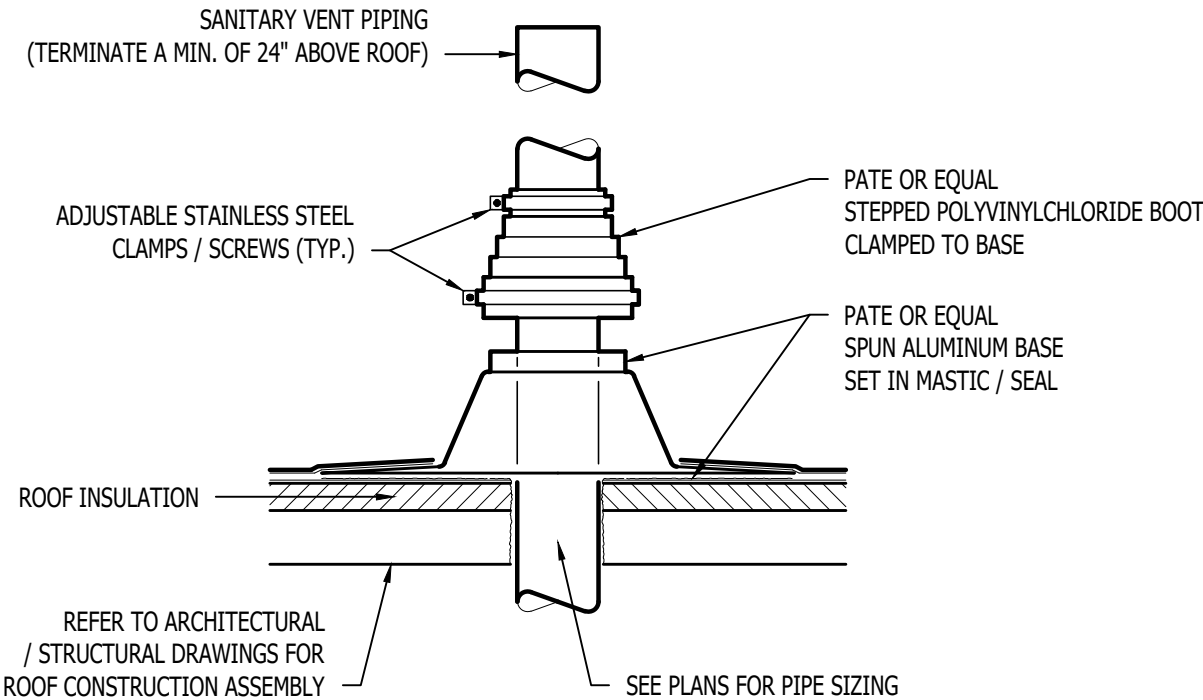
1. GENERAL
- 1.1. PLUMBING CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL ESCUTCHEONS, ¼ TURN STOPS, P-TRAPS, AND SUPPLY LINES TO PROVIDE A COMPLETE SYSTEM AT EACH FIXTURE INDICATED ON PLANS UNLESS NOTED OTHERWISE.
- 1.2. ALL PLUMBING SYSTEMS SHALL BE INSTALLED LEVEL, PLUMB, AND PARALLEL/PERPENDICULAR TO BUILDING ORIENTATION WHERE POSSIBLE.
- 1.3. COORDINATE ALL PIPING INSTALLATIONS WITH STRUCTURAL GRADE BEAMS, FOOTINGS, COLUMN PIERS, ETC. SLEEVE PIPING THRU STRUCTURAL ELEMENTS AS NECESSARY, VERIFY WITH STRUCTURAL ENGINEER.
- 1.4. VERIFY ALL UTILITY CONNECTION POINTS WITH PROPOSED PLUMBING LAYOUTS PRIOR TO BEGINNING WORK.
- 1.5. CLEAN ALL PLUMBING FIXTURES AND CHANGE FAUCET AERATORS AND SINK STRAINERS AT PROJECT COMPLETION PRIOR TO TURNING OVER TO OWNERSHIP.
2. EQUIPMENT / FIXTURES
- 2.1. ALL EQUIPMENT AND/OR FIXTURES MUST MEET OR EXCEED THE PERFORMANCE, FUNCTIONAL INTENT, AND AESTHETICS AS MODELS SPECIFIED ON PLANS. WHERE SPECIFIC MANUFACTURERS AND/OR MODELS ARE INDICATED ON PLANS OR WITHIN SCHEDULES, CONTRACTOR TO PROVIDE MODEL INDICATED OR APPROVED EQUAL. VERIFY SUBSTITUTION APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF EQUIPMENT.
- 2.2. CONTRACTOR TO SUPPLY SUBMITTALS FOR ALL EQUIPMENT FOR REVIEW BY ARCHITECT AND ENGINEER. FORMAL APPROVAL SHALL BE RECEIVED BY CONTRACTOR PRIOR TO EQUIPMENT PURCHASE.
- 2.3. CONTRACTOR TO SHARE APPROVED EQUIPMENT SUBMITTALS WITH ANY PERTINENT ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTORS WITHIN TWO WEEKS OF RECEIVING APPROVED SUBMITTALS FROM ARCHITECT/ENGINEER.
3. SANITARY
- 3.1. BELOW AND ABOVE GRADE WASTE AND VENT PIPING IN BUILDING TO BE SOLID CORE SCHEDULE 40 PVC LISTED FOR DWV APPLICATIONS.
- 3.2. NO WASTE OR VENT PIPING INSTALLED BELOW GRADE SHALL BE SMALLER THAN 2".
- 3.3. MINIMUM SLOPES FOR WASTE PIPING (UNLESS NOTED OTHERWISE ON PLANS):
- 3.3.1. 2 ½" OR LESS DIAMETER: ¼" PER FOOT
- 3.3.2. 3" TO 6" DIAMETER: ⅛" PER FOOT
- 3.3.3. 8" OR LARGER DIAMETER: ⅙" PER FOOT
- 3.4. ACCESSIBLE FULL PIPE SIZE CLEANOUTS SHALL BE PROVIDED & INSTALLED ON BUILDING SANITARY LINES AT LOCATIONS SHOWN ON PLANS, AT INTERVALS OF NO MORE THAN 100', AT EVERY CHANGE IN DIRECTION GREATER THAN 45°, AND AT THE BASE OF EACH WASTE STACK.
- 3.5. WASTE AND VENT PIPING IN PLENUMS SHALL BE CAST IRON, PLENUM-RATED CPVC, OR PVC WITH AN INSULATION WRAP LISTED FOR USE AS SUCH AN ASSEMBLY.
- 3.6. ALL VENT PIPE TERMINATIONS SHALL BE LOCATED EITHER 10' HORIZONTALLY OR 3' ABOVE MECHANICAL AIR INTAKE LOCATIONS. TERMINATIONS SHALL NOT BE INSTALLED UNDER ANY OPERABLE BUILDING OPENING OR OPERABLE ADJACENT BUILDING OPENING. CONTRACTOR TO OFFSET VENT PIPING AS NECESSARY TO MEET THESE REQUIREMENTS.
4. DOMESTIC WATER
- 4.1. ALL DOMESTIC WATER PIPING TO BE EITHER COPPER OR PEX, SHALL CONFORM TO NSF 61 AND BE LISTED FOR USE IN POTABLE WATER SYSTEMS.
- 4.1.1. WHERE PEX PIPING IS USED, IT SHALL BE INCREASED ONE PIPE SIZE FROM WHAT IS INDICATED ON PLANS FOR ALL PORTIONS OF DISTRIBUTION SYSTEM.
- 4.1.2. PEX-A MAY BE INSTALLED AT SIZES INDICATED ON PLANS ONLY IF AN ENGINEERED PLAN IS SUBMITTED SHOWING ACCEPTABLE PRESSURE DROPS AND FLUID VELOCITIES, APPROVAL MUST BE GRANTED PRIOR TO PURCHASE AND INSTALLATION.
- 4.1.3. COPPER WATER PIPING BELOW GRADE SHALL BE TYPE "K". BELOW GRADE JOINTS SHALL BE SILVER SOLDERED. THERE SHALL BE NO JOINTS IN WATER PIPING LOCATED BENEATH BUILDING SLAB.
- 4.1.4. COPPER WATER PIPING ABOVE GRADE SHALL BE TYPE "L".
- 4.2. PROVIDE WATER HAMMER ARRESTORS AT ALL QUICK-CLOSE VALVES, FIXTURES REQUIRING WATER HAMMER ARRESTORS INCLUDE BUT ARE NOT LIMITED TO FLUSH VALVES, SENSOR FAUCETS, AND WASHING MACHINE BOXES. AIR CHAMBERS SHALL NOT BE PERMITTED.
- 4.3. ALL DOMESTIC WATER PIPING SHALL BE ROUTED WITHIN BUILDING THERMAL ENVELOPE AND WITHIN WALL CAVITIES, ABOVE FINISHED CEILINGS, OR BELOW SLAB TO REMAIN CONCEALED UNLESS OTHERWISE NOTED. NOTIFY ENGINEER OF ANY NECESSARY ADJUSTMENTS THAT REQUIRE PIPING TO BE EXPOSED.
- 4.4. DOMESTIC WATER PIPING INSULATION
- 4.4.1. ALL HW PIPING, WHETHER COPPER OR PEX, SHALL BE INSULATED WITH PLENUM RATED CLOSED CELL ELASTOMERIC INSULATION.
- 4.4.1.1. FOR PIPING LESS THAN 1½", INSULATION THICKNESS TO BE 1".
- 4.4.1.2. FOR PIPING 1½" OR GREATER, INSULATION THICKNESS SHALL BE 1½".
- 4.4.2. CW COPPER PIPING TO INSULATED WITH ½" PLENUM RATED CLOSED CELL ELASTOMERIC INSULATION. CW PEX NEED NOT BE INSULATED UNLESS NOTED OTHERWISE ON PLANS.
5. GAS PIPING
- 5.1. GAS PIPING SHALL BE INSTALLED LEVEL, PLUMB, AND PARALLEL OR PERPENDICULAR TO BUILDING ORIENTATION WHERE POSSIBLE.
- 5.2. QUARTER-TURN FULL-PORT SHUTOFF VALVES SHALL BE INCLUDED AT EACH APPLIANCE CONNECTION, AS WELL AS AN IN-LINE REGULATOR FROM DELIVERY PRESSURE TO APPLIANCE OPERATING PRESSURE IF REQUIRED. INCLUDE SEDIMENT TRAPS PER IFGC REQUIREMENTS.
- 5.1. NATURAL GAS AND LIQUID PROPANE (LP) PIPING TO SHALL BE SCHEDULE 40 BLACK STEEL.
- 5.2. PIPE JOINTS SHALL BE THREADED WITH CLASS 150 FITTINGS, OR WELDED. NOTIFY OWNER/GC OF ANY NECESSARY HOT-WORK ASSOCIATED WITH WELDED CONNECTIONS.
- 5.3. WHERE PIPING IS EXPOSED ON EXTERIOR FACE OF BUILDING, PAINT TO MATCH BUILDING. PAINT YELLOW IN ALL OTHER LOCATIONS.
- 5.4. ON ROOFTOPS, INSTALL GAS PIPE WITH "ROOFTOP BLOX" PER MANUFACTURER'S INSTRUCTION.
6. STORM DRAIN PIPING
- 6.1. ABOVE AND BELOW GRADE STORM PIPING SHALL BE SOLID CORE SCHEDULE 40 PVC.
- 6.2. ALL PRIMARY & SECONDARY STORM DRAIN PIPING & FITTINGS SHALL BE INSULATED WITH ½" FIBERGLASS INSULATION WITH ASJ JACKET.
- 6.3. STORM DRAIN PIPING IN PLENUMS SHALL BE CAST IRON, PLENUM-RATED CPVC, OR PVC WITH AN INSULATION WRAP LISTED FOR USE AS SUCH AN ASSEMBLY.



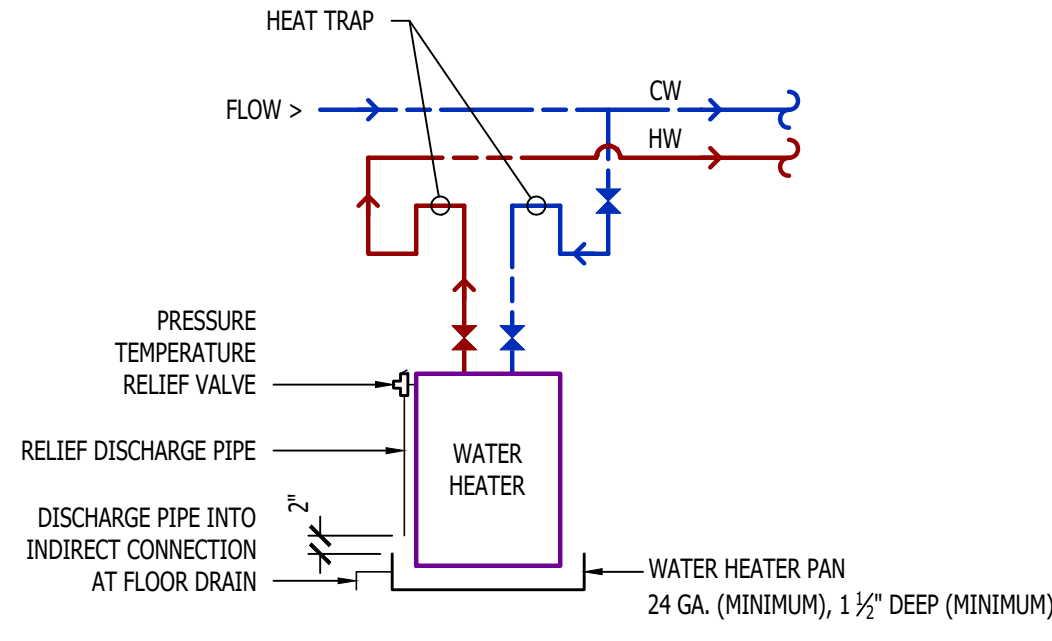
WATER RISER



DRY VENT DETAIL



SANITARY VENT THRU ROOF DETAIL



WATER HEATER DETAIL

PLUMBING CONNECTION SIZING SCHEDULE					
FIXTURE		SANITARY PIPING		SUPPLY PIPING	
TYPE	TYPICAL ABBREVIATION	WASTE CONNECTION	VENT CONNECTION	COLD WATER CONNECTION	HOT WATER CONNECTION
DRINKING FOUNTAIN	DF	1-1/2"	1-1/4"	1/2"	-
FLOOR DRAIN	FD	3"	2"	-	-
HAND / HAIR SINK	HS / SK	2"	1-1/4"	1/2"	1/2"
HOSE BIBB	HB	-	-	3/4"	-
LAVATORY	LAV	1-1/2"	1-1/4"	1/2"	1/2"
MOP SINK	MS	3"	1-1/2"	1/2"	1/2"
ICE MAKER OUTLET BOX	REF	-	-	1/2"	-
SHOWER	SH	3"	1-1/2"	1/2"	1/2"
URINAL	UR	2"	1-1/4"	3/4"	-
WATER CLOSET (FLUSH TANK)	WC	3"	2"	1/2"	-
WATER CLOSET (FLUSH VALVE)	WC	3"	2"	1"	-

NOTES:

1. SIZES SHOWN ABOVE ARE TYPICAL UNLESS NOTED OTHERWISE ON PLANS

PLUMBING FIXTURE SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER (OR EQUAL)	MODEL (OR EQUAL)	NOTES
AAV1	AIR ADMITTANCE VALVE	OATEY	39020	1.5" - 6 DFU MAX
BFP1	BACKFLOW PREVENTER	WILKINS	975XL2	RPZ - 2.5"
DN1	DOWNSPOUT NOZZLE	ZURN	Z199	
EXP1	EXPANSION TANK	WATTS	DETA-100	
FCO1	FLOOR CLEAN OUT	ZURN	Z1400	
FD1	FLOOR DRAIN	ZURN	Z415-BZ	WITH Z1072 TRAP SEAL
FPHB1	FROST PROOF HOSE BIB	WOODFORD	MODEL 67	
FS1	FLOOR SINK	ZURN	FD2370	
LAV1	LAVATORY - INTEGRAL BOWL	-	-	WITH PFISTER #G142-8000 CHROME FAUCET
PRV1	PRESSURE REDUCING VALVE	ZURN	600XL	3" INLET / 3" OUTLET
RD1	ROOF DRAIN	ZURN	Z100	
REF1	REFRIGERATOR BOX	SIOUX CHIEF	696-G1000	
RH1	ROOF HYDRANT	WOODFORD	SRH-M5	
SK1	KITCHEN SINK	DAYTON	DSESR12722	WITH PFISTER #F-529-CRS FAUCET,ISE DISPOSAL #BADGER-1 & STS-00 AIR SWITCH
SP1	SUMP PUMP	ZOELLER	153-0002	120V, 1/2 HP
TUB1	TUB / SHOWER	AQUARIS	G6030TS	WITH PFISTER R89-0300 SHOWER TRIM KIT
TUB2	ADA TUB / SHOWER	AQUATIC	2603SMTE	WITH GRAB BARS & ADA HANDHELD SHOWER ASSEMBLY
WB1	WASHER BOX	SIOUX CHIEF	696-G2303	
WC1	WATER CLOSET - STANDARD HEIGHT - TANK	AMERICAN STANDARD	215CA.004	WITH CHURCH 7200SLEC SEAT AND COVER, STAINLESS BRAIDED SUPPLY, AND 1/4 TURN SHUT-OFF.
WC2	WATER CLOSET - ADA HEIGHT - TANK	AMERICAN STANDARD	215AA.004	WITH CHURCH 7200SLEC SEAT AND COVER, STAINLESS BRAIDED SUPPLY, AND 1/4 TURN SHUT-OFF.
WH1	WATER HEATER - ELECTRIC - LOWBOY	AO SMITH	ECLB-40	38 GALLON, 208V 1PH, 4500W; WITH 'EXP1'
YCO1	YARD CLEAN OUT	ZURN	Z1400	
NOTES:				
1. VERIFY NECESSARY FIXTURES MEET ADA REQUIREMENTS WITH ARCHITECT PRIOR TO INSTALLATION				

STATE OF MISSOURI  
JAMES P. WATSON  
NUMBER  
PE-2015017071  
PROFESSIONAL ENGINEER

James Watson, P.E. December 18, 2024  
PE-2015017071  
MO Certificate of Authority # 2018029680

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J2 PROJECT No: J21012

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 12 - 18 - 2024

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

Village at Discovery Lot 9A

200 Northeast Alura Way  
Lee's Summit, Jackson County, MO 64064

AHJ APPROVAL STAMP

SHEET TITLE

PLUMBING DETAILS &  
SCHEDULES

SHEET NUMBER

P501



HVAC PLAN SYMBOL LEGEND

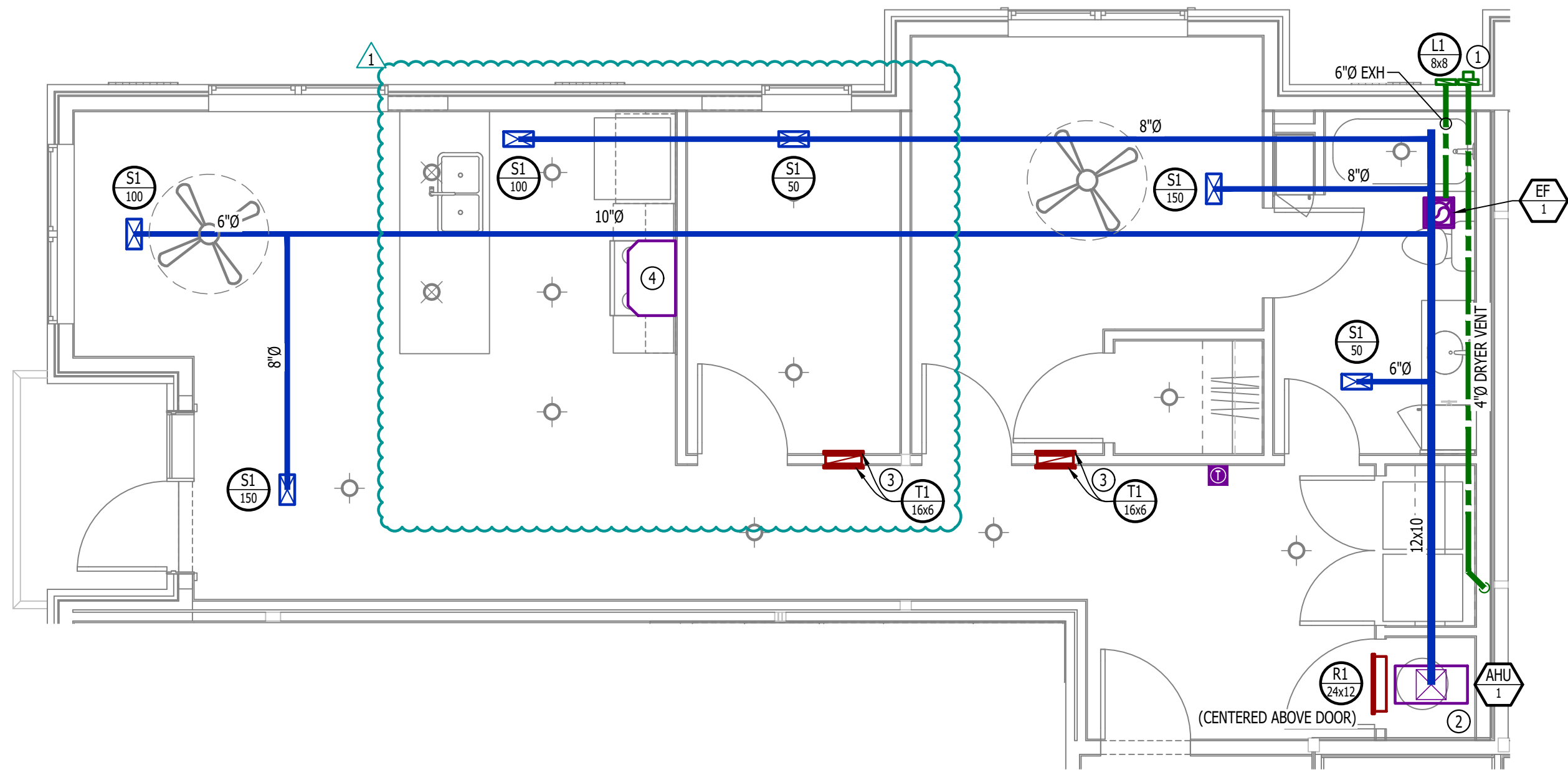
- ⬅ X # ⬅ EQUIPMENT TYPE (REFER TO EQUIPMENT SCHEDULE)  
⬅ X # ⬅ EQUIPMENT REFERENCE NUMBER  
⬅ X # ⬅ DIFFUSER/GRILLE TYPE (REFER TO SCHEDULE)  
⬅ X # ⬅ CUBIC FEET PER MINUTE (CFM) / FACE SIZE
- SUPPLY DUCTWORK  
- - - RETURN DUCTWORK  
- - - EXHAUST DUCTWORK  
~ FLEX DUCT
- ⊠ SUPPLY DIFFUSER (HATCH INDICATES "NO FLOW ZONE")  
⊠ RETURN DIFFUSER  
— BALANCE DAMPER  
— MOTORIZED DAMPER  
— CEILING RADIATION DAMPER  
— BACK DRAFT DAMPER  
— THERMOSTAT

HVAC PLAN GENERAL NOTES:

- SEE M500 & M600 SERIES SHEETS FOR HVAC SCHEDULES, DETAILS, REQUIREMENTS, ETC.
- SEE SHEET MEP4 FOR CONDENSING UNIT LOCATIONS. REFRIGERANT PIPING SHALL ROUTE IN SPACES ABOVE FINISHED CEILINGS AND WITHIN WALL CAVITIES TO REMAIN CONCEALED.
- SUPPLY DUCTWORK FROM AHU AT FLOOR/CEILING PENETRATION SHALL BE PROTECTED BY A FIRE DAMPER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- WRAP ALL DRYER DUCTS WITH FIREMASTER (OR EQUAL) DUCT WRAP.
- TOTAL DEVELOPED LENGTH OF EXHAUST DUCT SHALL BE INDICATED ON A PERMANENT LABEL WITHIN 6' OF DRYER VENT CONNECTION. DRYER DUCT ROUTING SHOWN IS FOR REFERENCE ONLY. OVERALL DUCT LENGTH SHALL BE CALCULATED BY HVAC CONTRACTOR PER 2018 IMC 504.8.4.
- LOCATE ALL EXHAUST / DRYER VENT TERMINATIONS AT LEAST 36" FROM OPERABLE OPENINGS INTO APARTMENTS (WINDOWS, DOORS, ETC.).
- ALL DUCTWORK SHOWN SHALL ROUTE IN SPACE BETWEEN / THRU TRUSSES UNLESS NOTED OTHERWISE. SEE STRUCTURAL DRAWINGS FOR DETAILS.

HVAC PLAN KEY NOTES:

- TERMINATE 4" DRYER EXHAUST WITH VENT EQUAL TO DRYER WALL VENT #DWV4.
- AHU WALL MOUNTED ABOVE WATER HEATER. COORDINATE WITH PLUMBING CONTRACTOR. CONDENSATE TO DISCHARGE IN FLOOR DRAIN WITHIN CLOSET.
- HI/LOW TRANSFER GRILLE (12" A.F.F. ON BEDROOM SIDE OF WALL; 84" A.F.F. ON OPPOSITE SIDE OF WALL).
- RESIDENTIAL RECIRCULATION HOOD TO BE SUPPLIED & INSTALLED BY GC.



HVAC PLAN

SCALE: 1/4" = 1'-0"

PLUMBING PLAN SYMBOL LEGEND

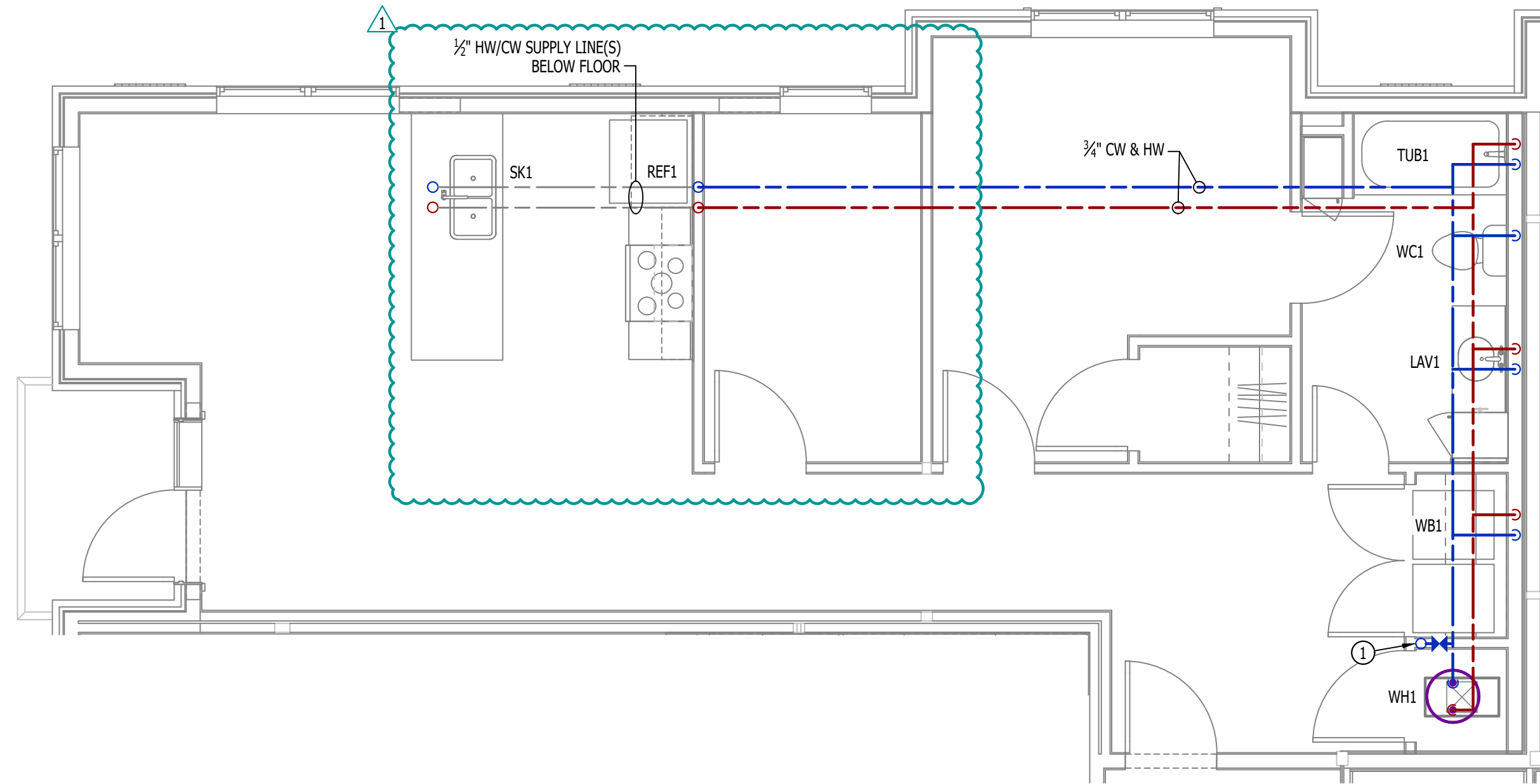
- COLD WATER LINE  
— HOT WATER LINE  
⊠ VALVE  
— PIPING TURNED DOWN / TURNED UP

WATER PLAN GENERAL NOTES:

- SEE SHEET P501 FOR ADDITIONAL PLUMBING NOTES, DETAILS, & SCHEDULES.
- ALL PLUMBING LOCATED ON EXTERIOR WALLS SHALL ROUTE WITHIN INSULATION BARRIER.
- ALL DOMESTIC SUPPLY LINES SERVING MORE THAN (1) FIXTURE SHALL BE 3/4" UNLESS NOTED OTHERWISE.

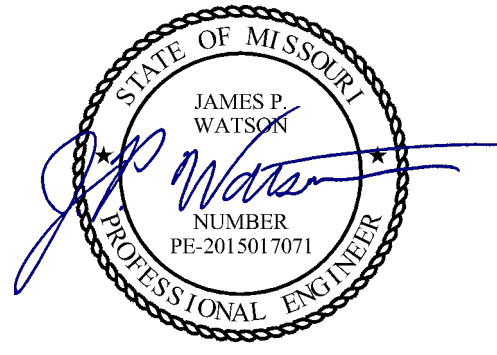
WATER PLAN KEY NOTES:

- 3/4" CW PIPE UP FROM BELOW WITH SHUT-OFF VALVE IN ACCESSIBLE LOCATION. SEE OVERALL PLUMBING PLANS FOR DETAILS.

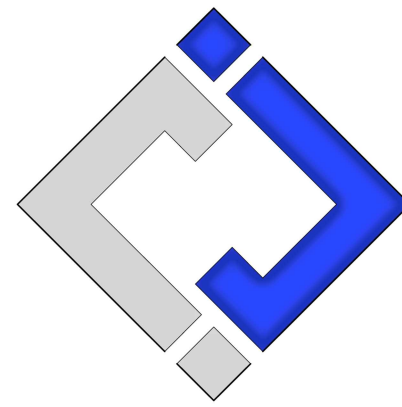


WATER PLAN

SCALE: 1/4" = 1'-0"



James Watson, P.E. December 18, 2024  
PE-2015017071  
MO Certificate of Authority # 2018029680



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J2 PROJECT No: J221012

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 12 - 18 - 2024

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

Village at Discovery Lot 9A

200 Northeast Alura Way  
Lee's Summit, Jackson County, MO 64064

AHJ APPROVAL STAMP

SHEET TITLE

HVAC &  
PLUMBING  
PLAN - UNIT  
TYPE DRAKE

SHEET NUMBER

UMEP1.5.1

POWER PLAN SYMBOL LEGEND

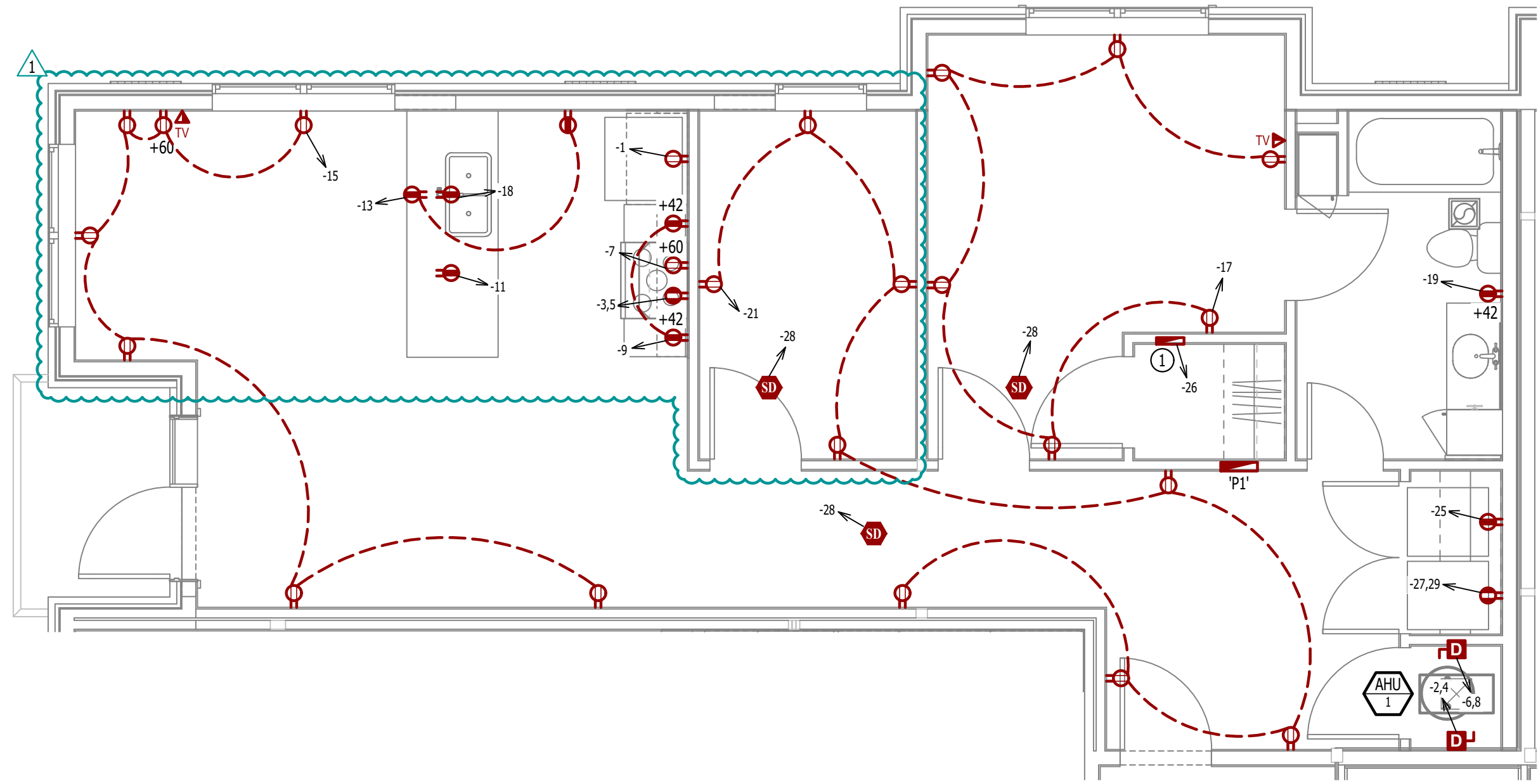
- CIRCUIT WIRING
- PK-XX CIRCUIT TAG
- JUNCTION BOX
- XX (P) +42 RECEPTACLE
- INDICATES MOUNTING HEIGHT TO BOTTOM OF BOX (STANDARD @ 18" AFF UNLESS NOTED OTHERWISE)
- "WP" = WEATHERPROOF OUTDOOR RECEPTACLE
- GFCI DUPLEX CONVENIENCE RECEPTACLE
- 208V RECEPTACLE
- QUADPLEX CONVENIENCE RECEPTACLE
- ▼ DATA / PHONE JACK; BOX WITH 1" CONDUIT & CAT6 CABLE BACK TO MEDIA PANEL LOCATION (STANDARD @ 18" AFF UNLESS NOTED OTHERWISE)
- DISCONNECT
- 120V IONIZATION SMOKE 520Hz LOW FREQUENCY ALARM WITH SILENCING CAPABILITIES & LOW-VOLTAGE CONTACTS WIRED TO SHUT DOWN AHU UPON FIRE DETECTION. COORDINATE WITH HVAC CONTRACTOR. SMOKE DETECTOR MUST BE LOCATED AT LEAST 3' FROM CEILING FAN BLADES AND AT LEAST 10' FROM ANY COOKING APPLIANCE (FIELD-COORDINATE)

POWER PLAN GENERAL NOTES:

- SEE E500 & E600 SERIES SHEETS FOR POWER SCHEDULES, DETAILS, REQUIREMENTS, ETC.
- SEE SHEET MEP3 FOR CONDENSING UNIT LOCATIONS.
- VERIFY EACH DATA/RECEPTACLE LOCATION WITH OWNER PRIOR TO INSTALLATION.
- REFER TO "TYPICAL ADA MOUNTING HEIGHTS DETAIL", E500 & E600 SERIES SHEETS, OR MOUNTING HEIGHTS OF DEVICES IN "ANSI A" UNITS.

POWER PLAN KEY NOTES:

- ① MEDIA PANEL LOCATION; DATA/TV WIRING TO TERMINATE AT THIS LOCATION. DETERMINE EXACT LOCATION & DETAILS WITH OWNER PRIOR TO INSTALLATION.



POWER PLAN

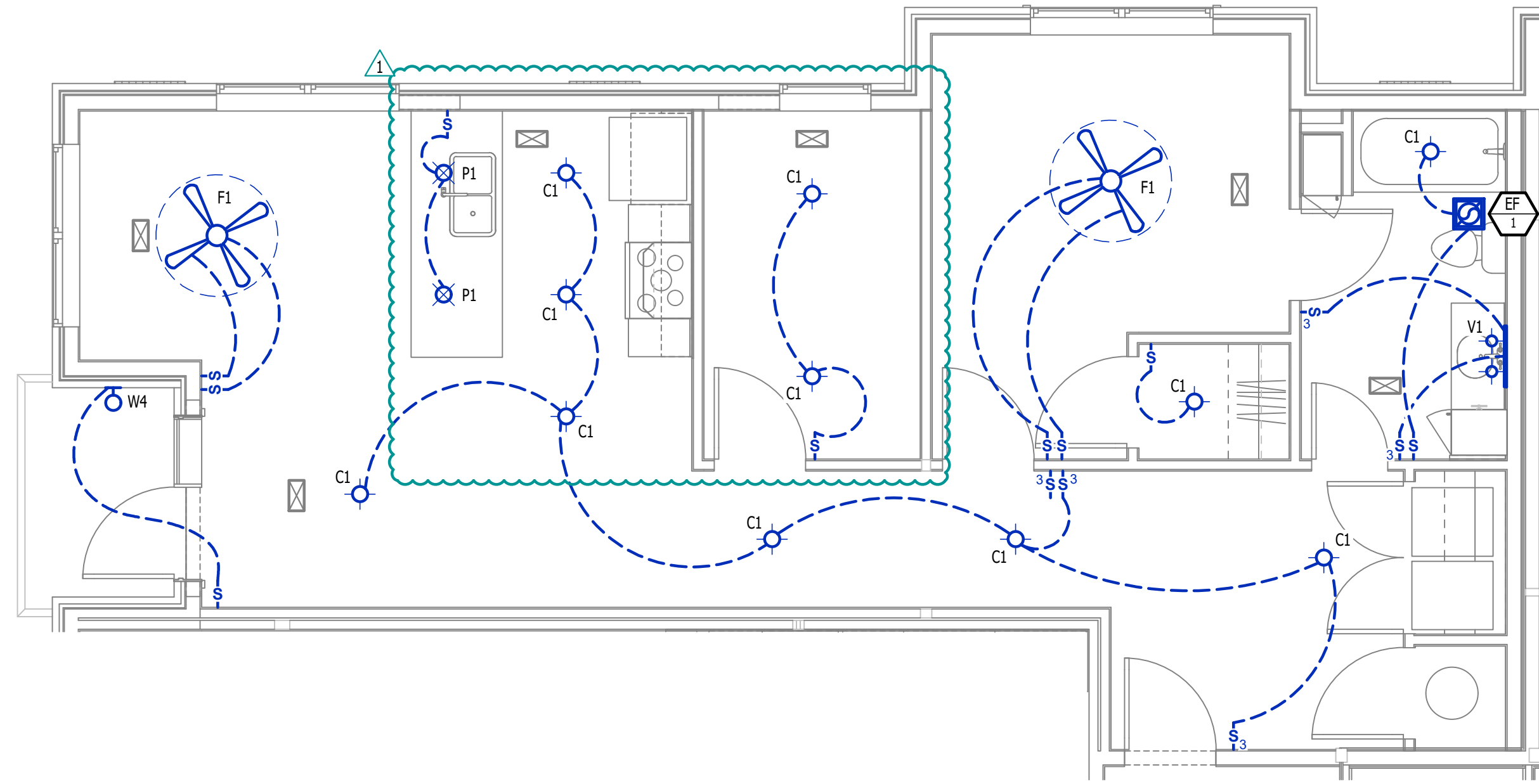
SCALE: 1/4" = 1'-0"

LIGHTING PLAN SYMBOL LEGEND

- X1 LIGHTING FIXTURE
- "X1" INDICATES FIXTURE TYPE (REFER TO SCHEDULE)
- S TOGGLE SWITCH
- SWITCH TYPE
- DIMMER SWITCH

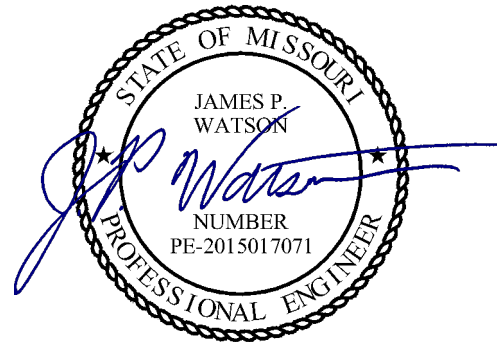
LIGHTING PLAN GENERAL NOTES:

- SEE E500 & E600 SERIES SHEETS FOR ADDITIONAL ELECTRICAL NOTES, DETAILS, & SCHEDULES.
- ALL LIGHTING SHOWN SHALL BE ON CIRCUIT 16 UNLESS NOTED OTHERWISE.

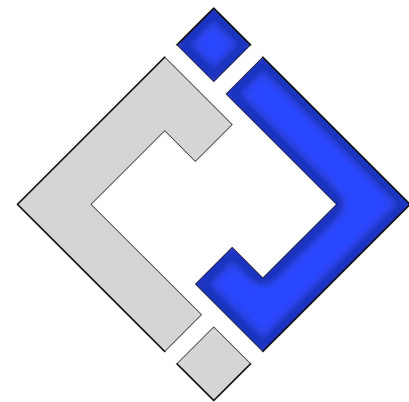


LIGHTING PLAN

SCALE: 1/4" = 1'-0"



James Watson, P.E. December 18, 2024  
PE-2015017071  
MO Certificate of Authority # 2018029680



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J2 PROJECT No: J221012

J2 DESIGN: ACW

ISSUE TITLE DATE

CITY SUBMITTAL 11 - 27 - 2024

ADDENDUM #1 12 - 18 - 2024



