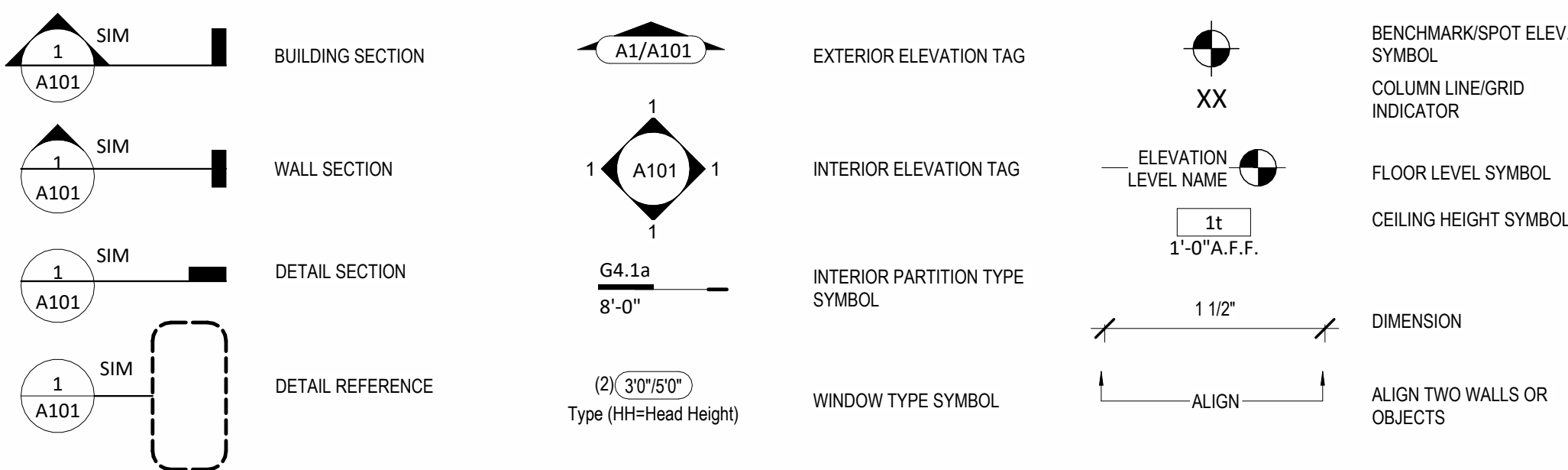
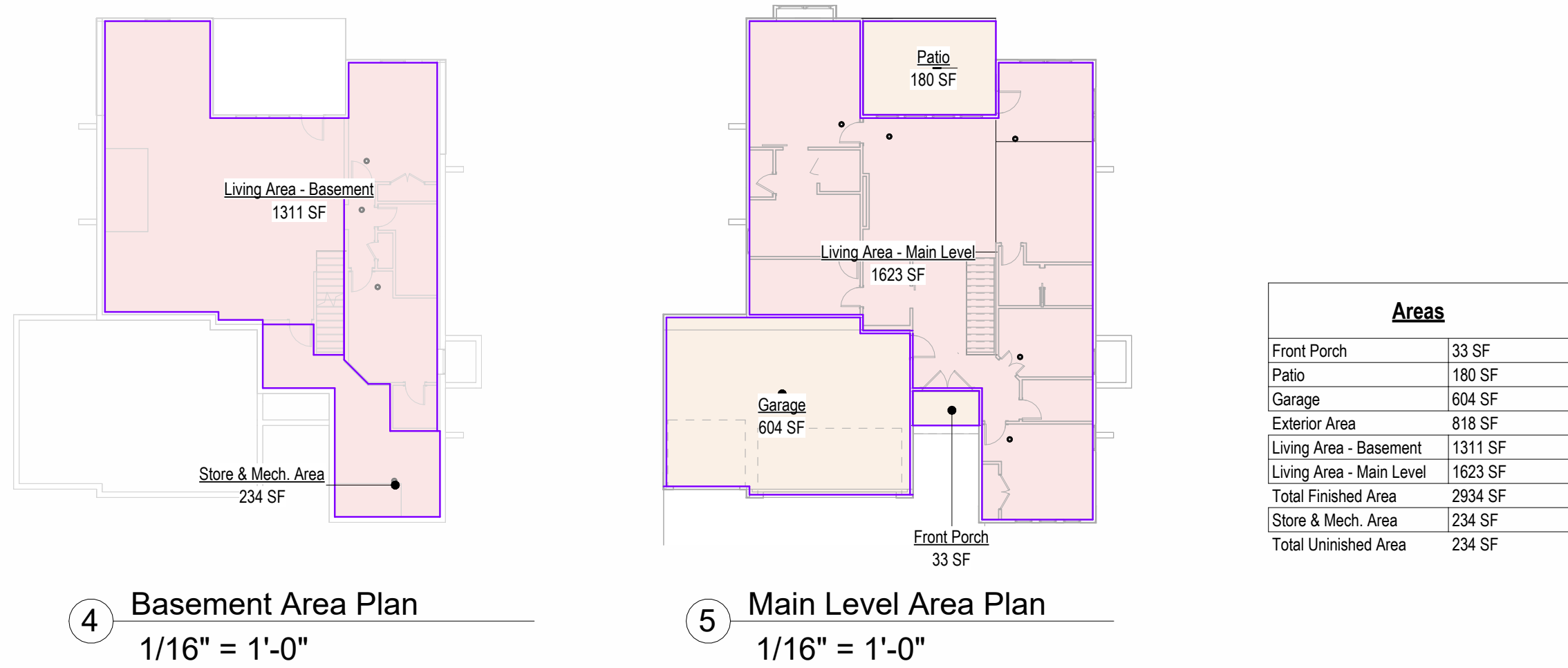


SOMERSET MASTER PLAN

Lot : HF 206
Address : 2222 SW Heartland Ct, LSMO



Sheet List	
00	Cover
A101	Main Base Elevation
A301	Side Elevations Full Basement
A302	Side Elevations Daylight Basement
A303	Side Elevations Walkout Basement
A401	Foundation Plan
A501	Floor Plan -Basement Level
A601	Floor Plan -Main Level
A602	Floor Plan -Main Level (Daylight Basement)
A701	Floor Plan - Roof Plan
A702	Roof Vault Option
A801	POD Options
A801	Details
A802	Details
A803	Details
E101	RCP/Electrical Main Level Plan
E201	RCP/Electrical Plan
M101	HVAC Plans
P101	Plumbing Plans

General Information

- Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
- Carbon monoxide detectors required (R315).
- Steel columns shall be minimum schedule 40 (R507.2).
- Deck Ledger attachment to house shall be per Tables 507.9.1.3.
- New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11).
- Programmable thermostat required (N1103.1.1).
- Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1).
- Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3).
- Certain hot water pipes shall be insulated (N1103.4).
- All exhaust fans shall terminate to the building exterior (M1507.2).
- Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4.
- Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained). (M1601.1.1.#7.5).
- An air handling system shall not serve both the living space and the garage (M1601.6).
- A concrete-Encased grounding electrode ("UFER" Ground) connection complies with the requirements of the 2016 IRC Section E3608.1.2 in providing a connection with no less than the required minimum of steel.
- Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11.
- DASMA 115 MPH Rated Garage doors
- Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
- Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
- Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

2018 IRC BUILDING CODE COMPLIANCE
THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL

2018 HT. EXERTY CONSERVATION CODE (2018-CH.11)DOORS. & WINDOWS:	
SKYLIGHTS:	U-0.35 MAX (HEAT GAIN MAX 0.25)
ATTIC CEILINGS:	U-0.35 MAX
WOOD FRAME WALLS:	R-49 MIN.
FLOOR (OVER UNHEATED):	20 OR 13 + 5 MIN.
SLAB ON GRADE:	R-19 MIN
VAULTED CEILINGS:	R-10 FOR 24" IN
CRAWL SPACE:	R-38 (SEE DETAIL)
BASEMENT WALLS:	R-10
DUCTWORK:	R-10 CONT OR R-13 CAVITY
FUEL FIRED FURNACE:	R-8
ELECTRIC FURNACE:	90% AFUE MIN.
COOLING SYSTEM:	NO MINIMUM
WATER HEATER:	13 SEER MIN.
GAS FIRED STORAGE:	0.67 EF MIN
GAS FIRED INSTANT:	0.62 EF MIN
ELECTRIC STORAGE:	0.97 EF MIN
ELECTRIC INSTANT:	0.93 EF MIN

AN ENERGY EFFICIENT CERTIFICATE IS REQUIRED TO BE POSTED IN OR ON THE ELECTRICAL PANEL BEFORE FINAL INSPECTION. THE CERTIFICATE WILL BE PROVIDED WITH ALL NEW RESIDENTIAL PERMITS. IT IS THE PERMIT HOLDER/CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CERTIFICATE HAS ACCURATE INFORMATION & IS POSTED BEFORE FINAL INSPECTION. OWNER/CONTRACTOR IS RESPONSIBLE FOR MEETING THE PRESCRIPTIVE REQUIREMENTS OF IRC CHAPTER 11 UNLESS A HERS INDEX ANALYSIS FOR PERFORMANCE COMPLIANCE BASED ON THE PLANS IS SUBMITTED TO THE AHJ FOR APPROVAL.

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/14/2024



SOMERSET MASTER PLAN
Lot : HF 206
Address : 2222 SW Heartland Ct, LSMO

REVISIONS		
Number	Description	Date



OCTOBER 9, 2024

PLAN DESCRIPTION: Cover

00

Project No.

SOMERSET MASTER PLAN

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
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CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



OCTOBER 9, 2024

REVISIONS

Number	DESCRIPTION	DATE
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PROJECT

Lot : HF 206
Address : 2222 SW Heartland Ct,
LSMO

DRAWING TITLE

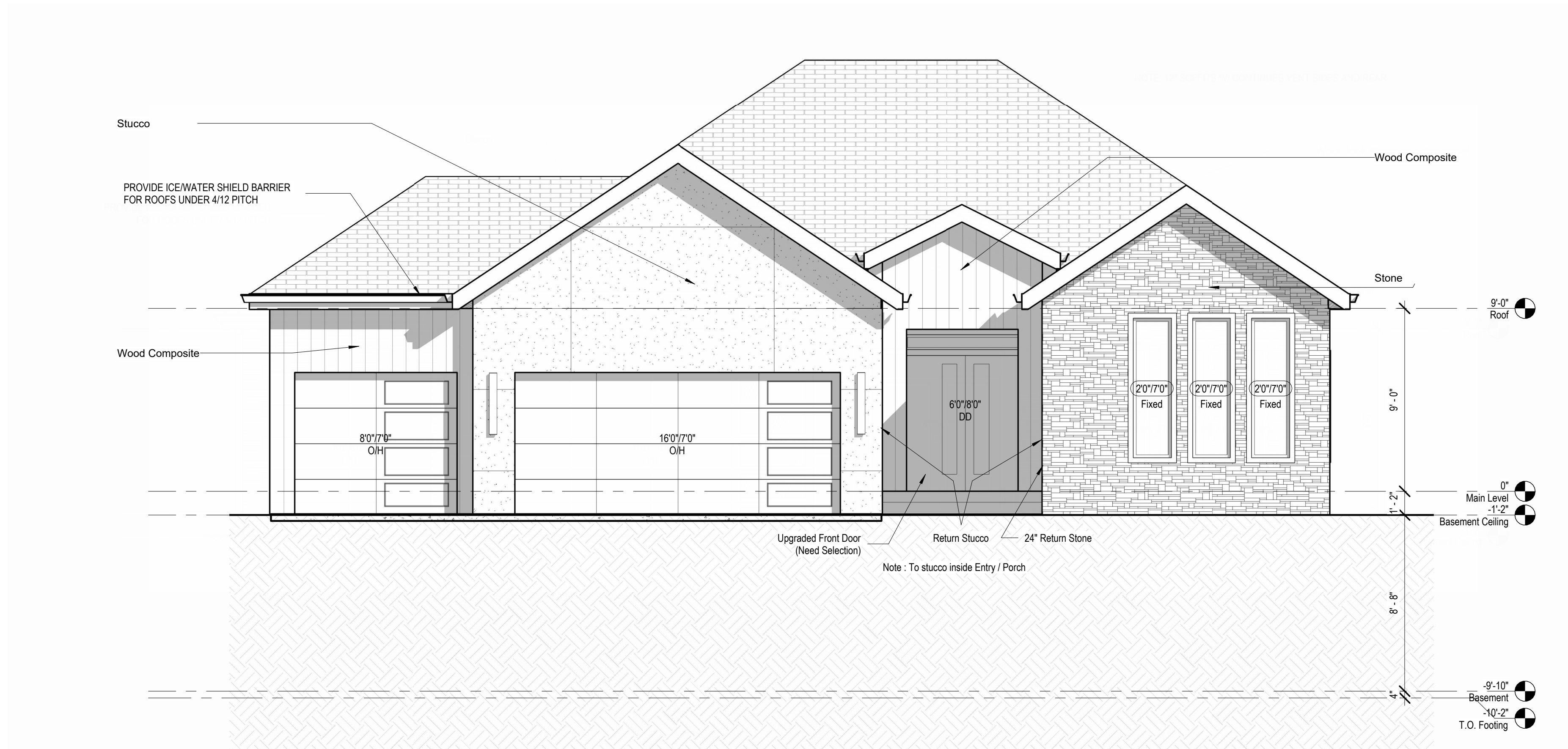
Main Elevation (Transitional)

DATE ISSUED

DRAWING NUMBER

A101.2

RELEASER FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/14/2024



1 Front Elevation (Transitional)
1/4" = 1'-0"

SOMERSET MASTER PLAN

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
816.622.8826 voice
www.elevatedesignbuildkc.com

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OCTOBER 9, 2024

REVISIONS

Number	DESCRIPTION	DATE
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Address : 2222 SW Heartland Ct,
LSMO

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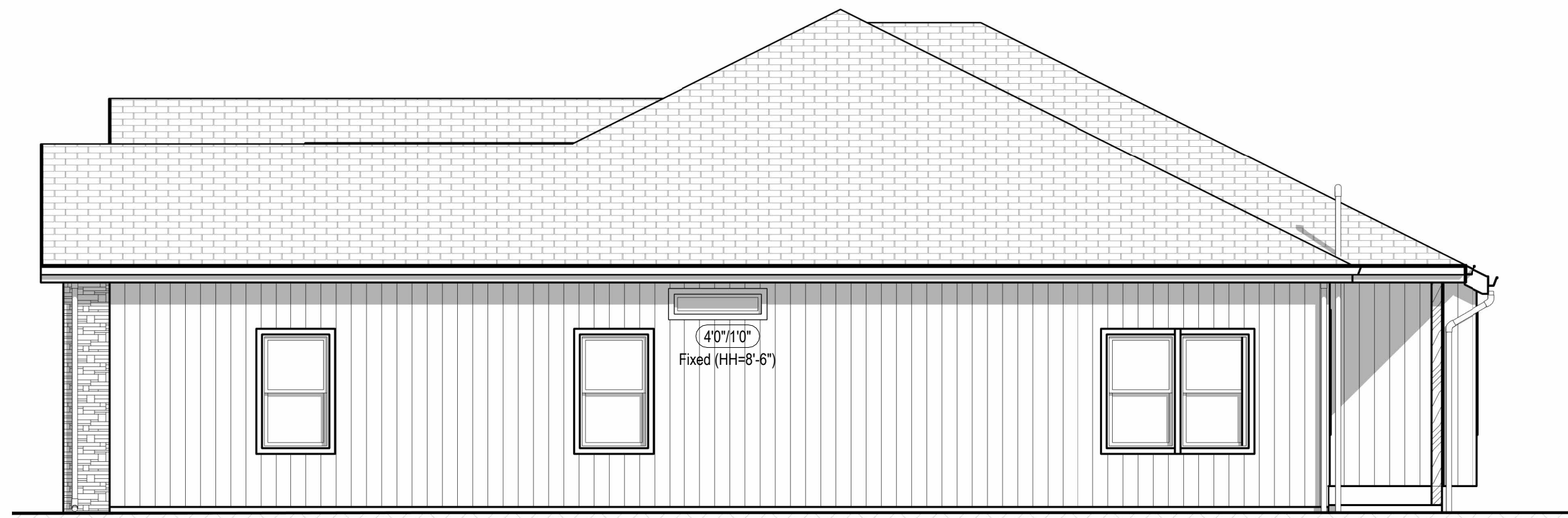
Side Elevation Full Basement
(Transitional)

DATE ISSUED

DRAWING NUMBER

A301.2

RELEASER FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/14/2024



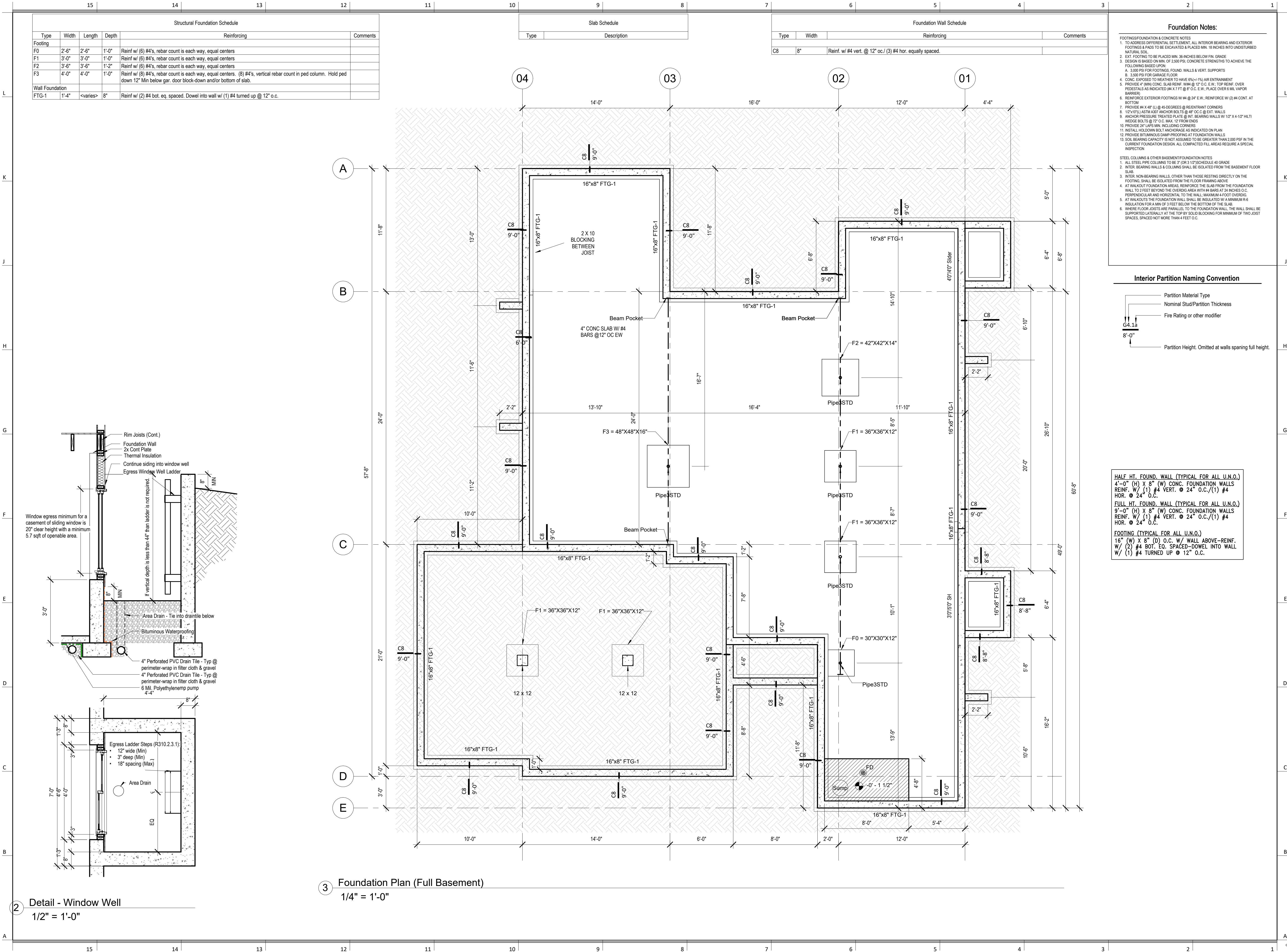
4 Right Elevation (Full Basement) - Transitional
3/16" = 1'-0"



7 Rear Elevation (Full Basement) - Transitional
3/16" = 1'-0"



3 Left Elevation (Full Basement) - Transitional
3/16" = 1'-0"



SOMERSET MASTER
PLAN

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
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www.elevatedesignbuildkc.com

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OCTOBER 9, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT
Lot : HF 206
Address : 2222 SW Heartland Ct,
LSMO

DRAWING TITLE
Foundation Plan (Full Basement)

DATE ISSUED
NORTH
↑

DRAWING NUMBER

A401

SOMERSET MASTER PLAN

architect:
Elevate Design + Build
350 SW Longview Blvd
Lee's Summit, MO 64081
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www.elevatedesignbuildkc.com



OCTOBER 9, 2024

REVISIONS

Number	DESCRIPTION	DATE
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PROJECT

Lot: **HF 206**
Address: **2222 SW Heartland Ct, LSMO**

DRAWING TITLE

Floor Plan - Main Level (Walkout Basement)

DATE ISSUED

NORTH



DRAWING NUMBER

A601

General Notes:

- DOORS AND WINDOW
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 24" AND WITHIN DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE W/ SECTION 306 OF THE IRC.
 - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:
- GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 3/8" TYPE X GWB, EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20-MIN RATED, 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LATCH.
 - 15 & 20-AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
 - TYPE X 5/8" GIB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION:
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.2.
 - GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
 - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED BY CALCULATION AND PRESCRIBED BY MECH. CONTRACTOR.
 - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
 - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACES EVENLY W/ NO MORE THAN 8" O.C.
- GYPSONUM BOARD:
- GWB APPLIED TO CEILINGS SHALL BE 16" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
 - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
 - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
 - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
 - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
 - RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
 - BEDROOM, KITCHEN (WITHIN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
 - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
 - ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
 - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
 - RECEPTACLES LOCATED MORE THAN 5.5 FEET APT.
 - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED. APPLIANCES TO BE CORN-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
 - SILL PLATES SHALL BEAR ON TOP OF 6" CHAINS ABOVE GRADE.
 - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16d NAILS (MIN).
 - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE AS COMMON @ 8" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING
- ALL ROOF EAVES OVERHANGS TO BE 16" UNO.
 - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
 - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ COMMON NAILS TO RAFTERS AT 8" O.C. AT ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
 - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWB.
 - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED ON FLOOR/CEILING (MIN R-19).
 - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A LOCKER/CLING.
 - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, NO INSPECTION FEE & STOP-WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
 - A. SILT FENCE OR STRAW BATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
 - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
 - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOD CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES:
- EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL STUD GRADE 2 OR BETTER) @ 16" O.C.
 - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 8" O.C. PANEL INDEX 240; PROVIDE CLIPS AT UNSUPPORTED PANEL EDGES.
 - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 8" O.C.
 - HEADERS PROVIDE (2) 2 x 4 (SYP OR DFL #2 OR BETTER) UNO. CONSTRUCT HEADERS W/ 2 x 3 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
 - BLOCKING MIN. 1.5 INCHES UTILITY GRADE LUMBER. JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOCKING NOT < 2 INCHES.
 - 1.1/2" J.C.I. & RAFTERS TO BE SYP OR DFL GRADE #2 OR BETTER.
 - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER IRC R203.
 - STUDS, RAFTERS JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

2 Wall Section
1/2" = 1'-0"

1 Main Level Floor Plan
1/4" = 1'-0"



DRAWING NUMBER

A603

A circular professional seal for Aaron A. Brown, a Registered Architect in the State of Missouri. The seal features the text "STATE OF MISSOURI" at the top, "AARON A. BROWN" in the center, "NUMBER 147215" below the name, and "REGISTERED ARCHITECT" at the bottom. A stylized outline of the state of Missouri is positioned behind the central text. The seal is stamped in black ink on a white background.

REVISIONS

PROJECT

Lot : HF 206

Address : 2222 SW Heartland Ct,
LSMO

DATE ISSUED	NORTH
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DRAWING NUMBER

A701.2

RELEASE FOR CONSTRUCTION
AS NOTED FOR PLAN REVIEW
DEVELOPMENT SERVICES
LEE'S SUMMIT, MISSOURI
10/14/2024

1 Roof Plan
1/4" = 1'-0"

- ## General Notes:
- DOORS AND WINDOW**
1. ALL DOORS SHALL BE 1/2" OF THE FINISHED FLOOR, ADJACENT TO DOORS 10-24" AND WITH DOORS, ABOVE BATHS: ABOVE TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH THE 2015 IBC CODE.
2. SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES:**
1. ALL GARAGE SEPARATION WALL TO BE 2-HR RATED. MIN. 5/8" TYPE W/ GFCI EXTEND TO BOTH OF ROOF. DOOR TO BE 104 IN. CLEAR. 1-3/8" S.C. & EQUIPPED W/ CLOSURE & LOCK.
2. 15 X 20-PAV RECEPTABLES SHALL HAVE GFCI PROTECTION
3. PROVIDE MIN. 10% AS/FU FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED
4. PROVIDE 1/2" AIR LEAK FOR AIR CONDITIONING EQUIPMENT
5. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
- LIGHT AND VENTILATION:**
1. PROVIDE NATURAL LIGHT ILLUMINATION PER R302.7.9
2. GABLE VENT & MUSHROOM VENTS SHALL BE PROVIDED A MIN. OF 10% SF. NET AREA OF ATTIC VENTILATION
3. PROVIDE NATURAL LIGHT IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED BY A MEANS OF COMBUSTION MAKEUP AIR AS DETERMINED/ CALCULATED AND PRESCRIBED BY MECHANICAL CODE
4. VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
5. PROVIDE MIN. 18" X 10" SPOFFY VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 6' ON CENTER
- GYPSON BOARD**
1. GWB APPLIED TO CEILINGS SHALL BE 1/2". WHEN FRAMING MEMBERS ARE 1" O.C. OR 5/8" WHEN MEMBERS ARE 2" O.C. OR USE 1/2" SAGRESISTANT 1/2" CEILING BOARD
- MECHANICAL SYSTEMS:**
1. FURNACE & WATER HEATER SHALL BE ON PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO GASHEATING EQUIP. 80% FOR NON-WEATHERIZED
2. PROVIDE 1/2" AIR LEAK FOR AIR CONDITIONING EQUIPMENT
3. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8
- ELECTRICAL SYSTEMS:**
1. PROVIDE IFCR GROUND ENGAGED IN CONCRETE FOOTING
2. ALL ELECTRICAL CONDUITS SHALL BE ALUMINUM OR ALUM. FREE CTR. INTERUPTER
3. RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
4. ALL BRANCH CIRCUITS SHALL BE SUPPLY, 120V, SINGLE PHASE, 15 & 20 AMP OUTLETS
5. ALL BEDROOMS, SURREAORS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE SUPPLY & A COMBINATION TYPE OF ALUM. FREE CTR. INTERUPTER
6. INSULATION TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
7. ALL 1/2" & 3/4" RECEPT. SHALL BE LISTED TAMP-RESISTANT
8. PROVIDE 1/2" RECEPT. TO THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
9. ALL RECEPT. LOCATIONS SHALL BE 15' FROM 5' FEET APART
10. WHERE SUCH RECEPTABLES ARE LOCATED IN SPACES DESIGNATED FOR THE STORAGE OF TOOLS & EQUIPMENT, THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
11. ALL TOOLS & EQUIPMENT SHALL BE 15' FROM 5' FEET APART
12. ARE NOT SAEELY MOVED. APPLIANCES TO BE CORD-IN PLUGS CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING**
1. EXTERIOR WALL PLATES SHALL BE MINIMUM TREATED OR EQUAL
2. SILL PLATES SHALL BEAXEMINUM MIN. 6-INCHES ABOVE EQUAL
3. ALL EXTD. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ 16 D 14 NAILS MIN. 12" ON CENTER TO TOP OF STUDS TO BE SECURED TO TOP PLATES W/ 16 D 14 NAILS MIN. 6" COMMON @ 16" O.C. ALONG EDGES & 8" COMMON @ 12" O.C. @ INTERMEDIATE STUDS
- ROOF FRAMING**
1. ALL ROOF EAVES/OVERHANGS TO BE 16" UP
2. ALL ROOF STUDS SHALL BE TO ALLOWED OVERHANG
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129. ALL ROOF STUDS SHALL BE 16" ON CENTER
130. ALL ROOF STUDS SHALL BE

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REVISIONS

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PROJECT
Lot : HF 206
Address : 2222 SW Heartland Ct,
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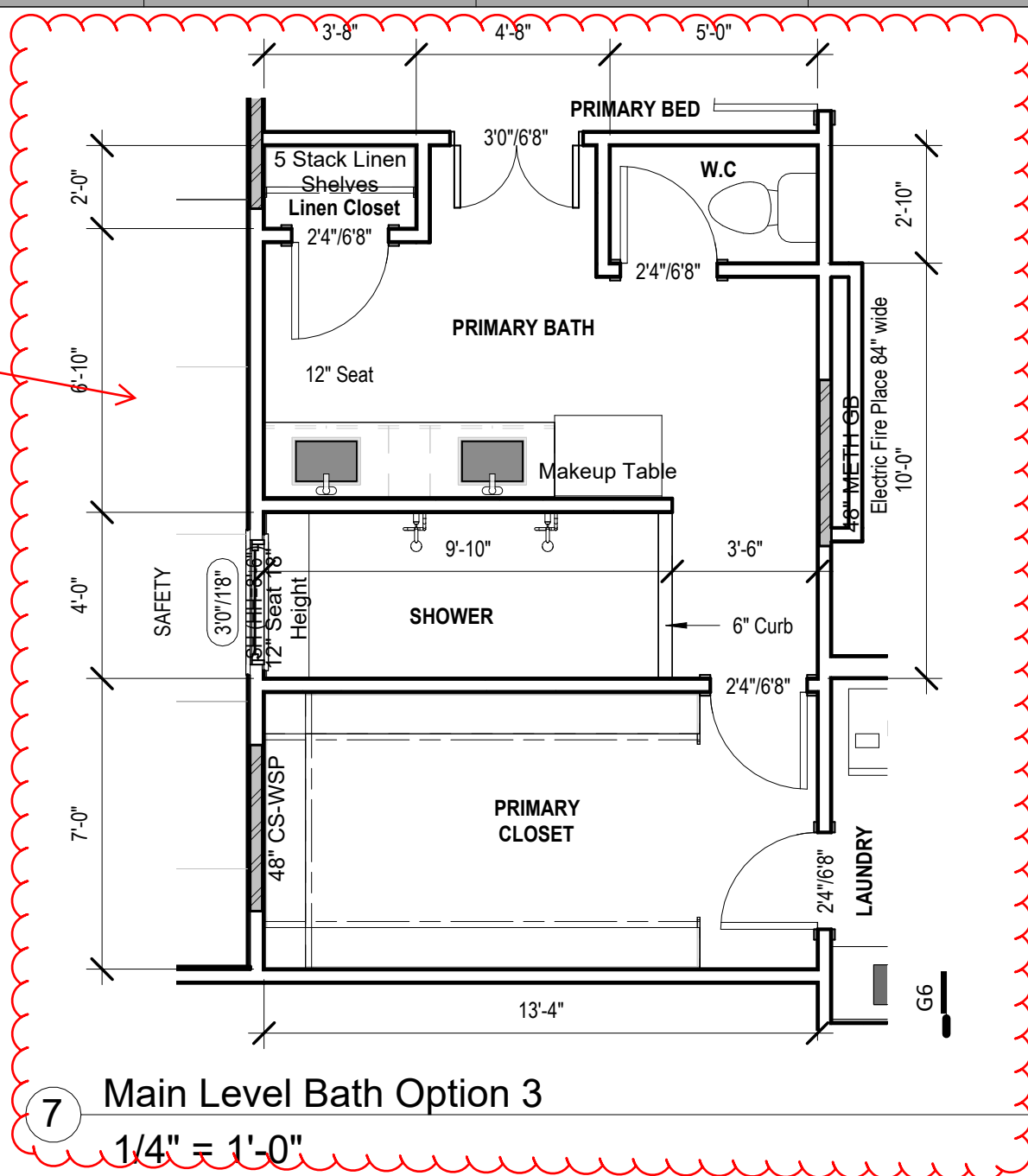
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POD Options

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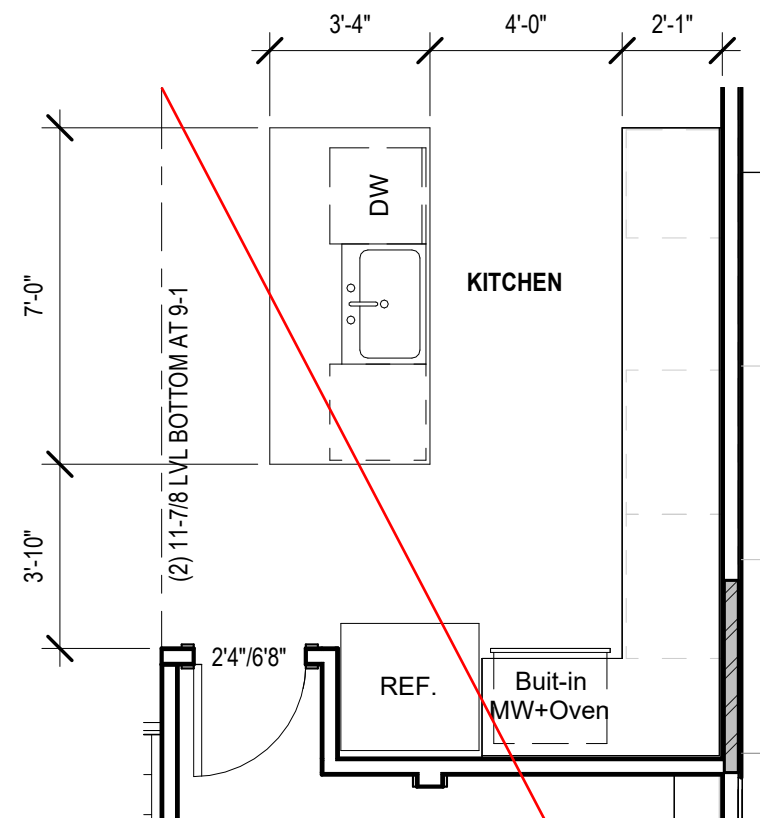
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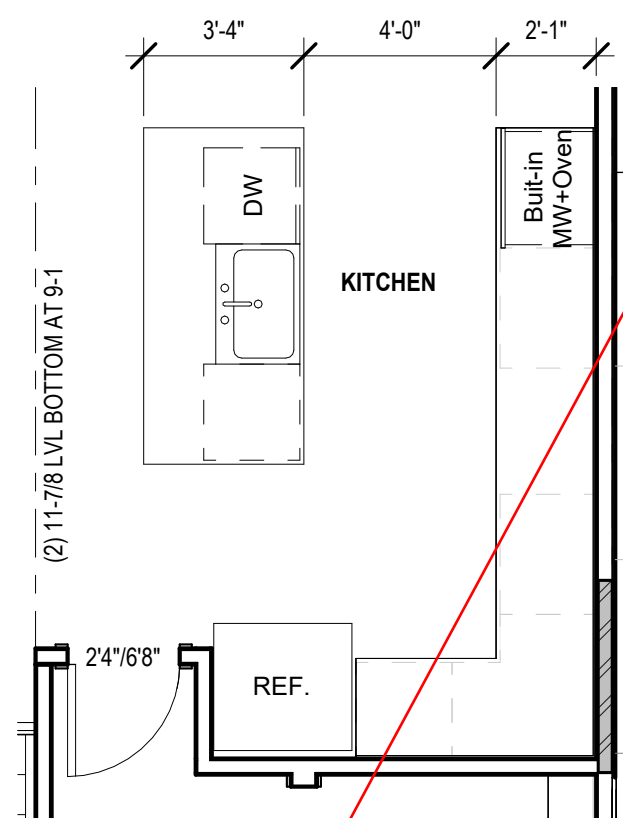
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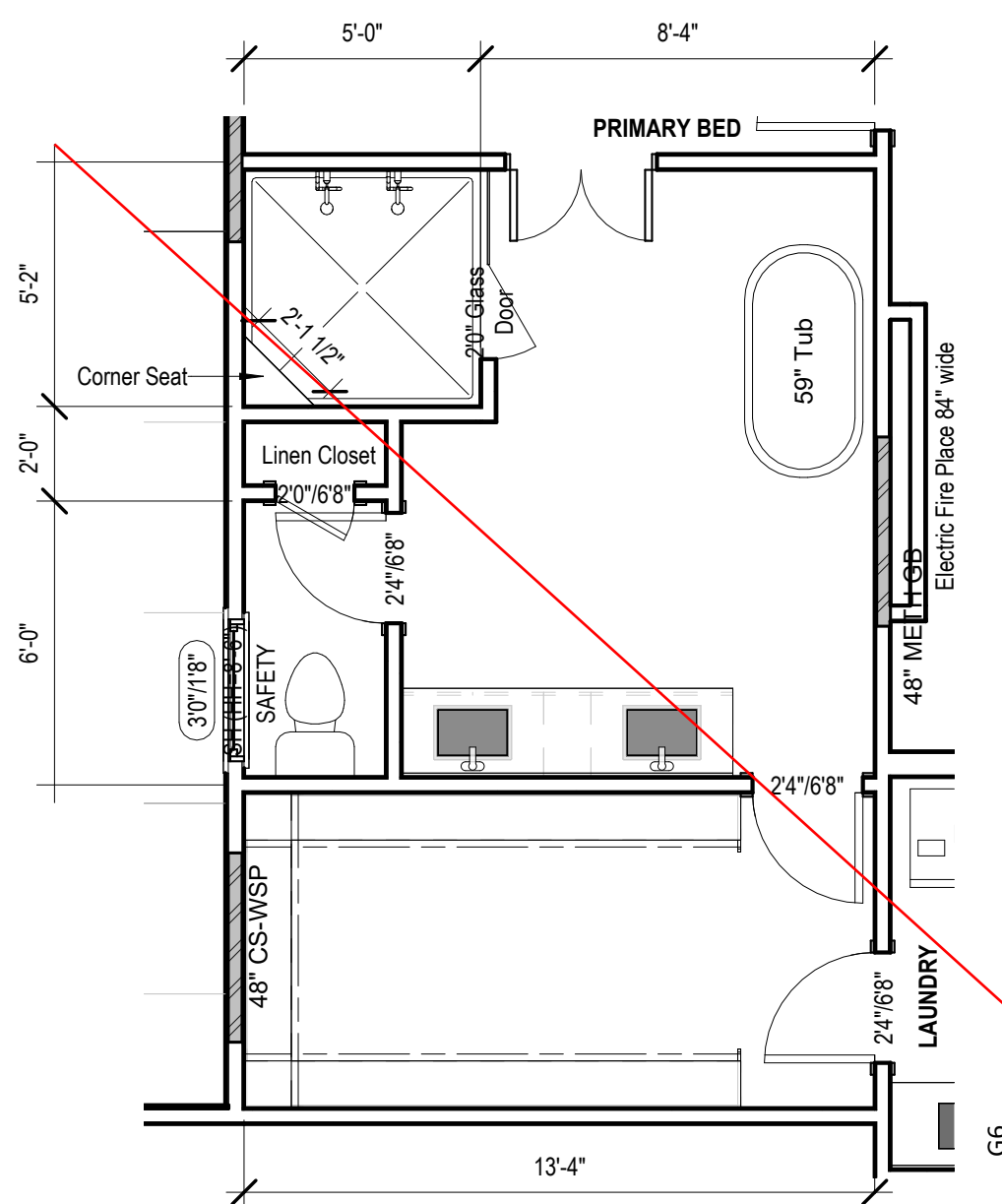
7 Main Level Bath Option 3
1/4" = 1'-0"



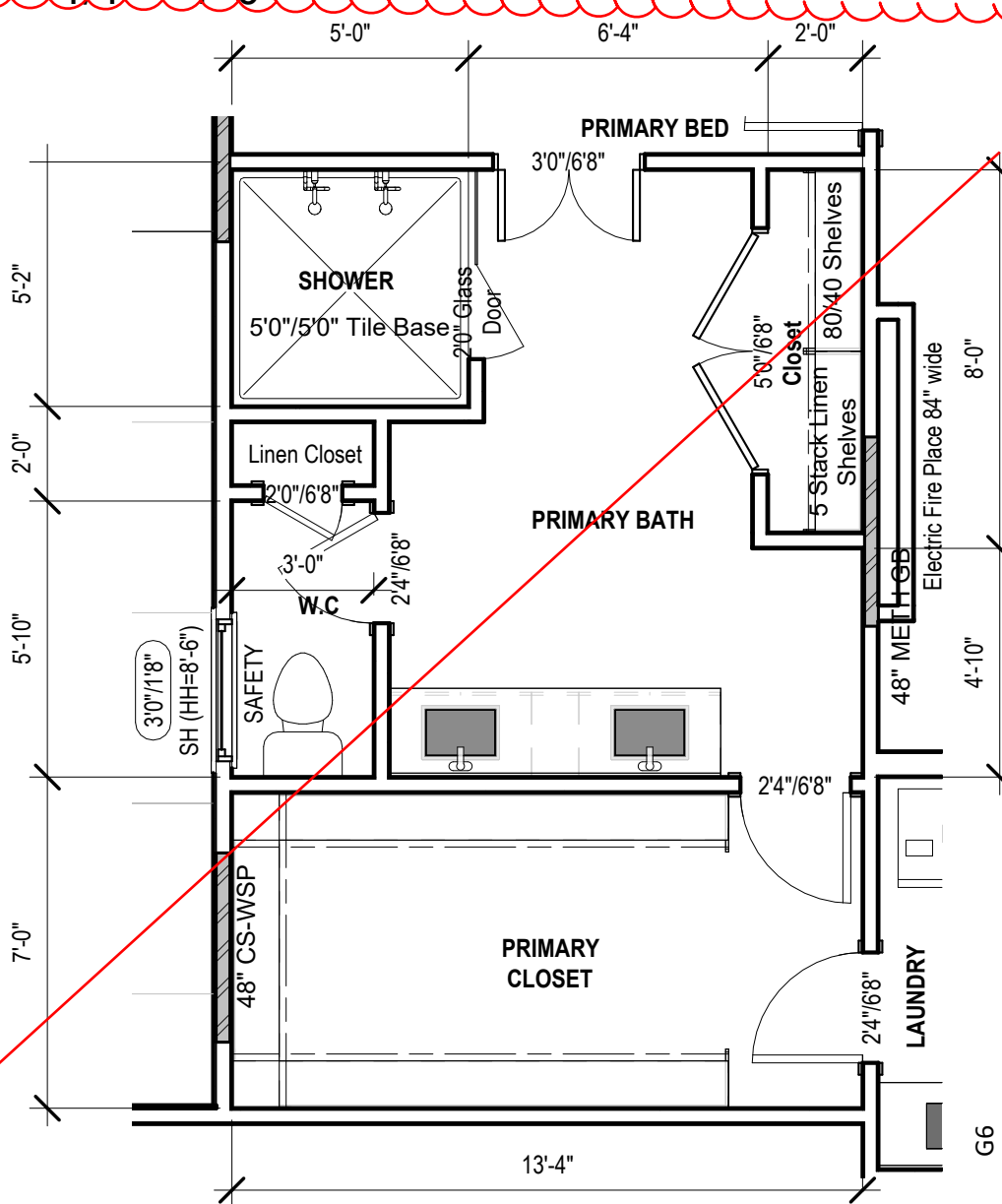
9 Main Level Floor Plan
1/4" = 1'-0"



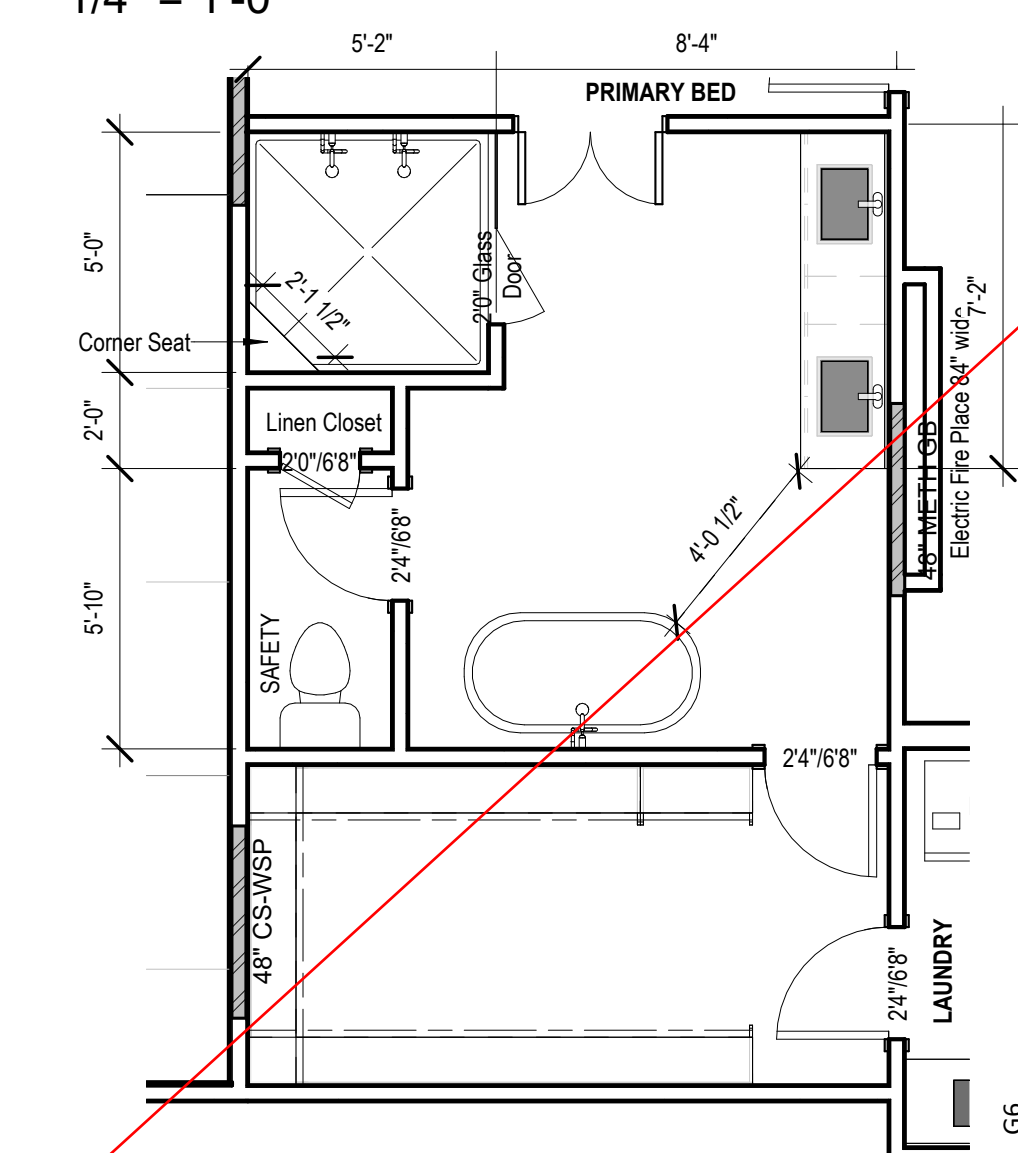
8 Main Level Floor Plan
1/4" = 1'-0"



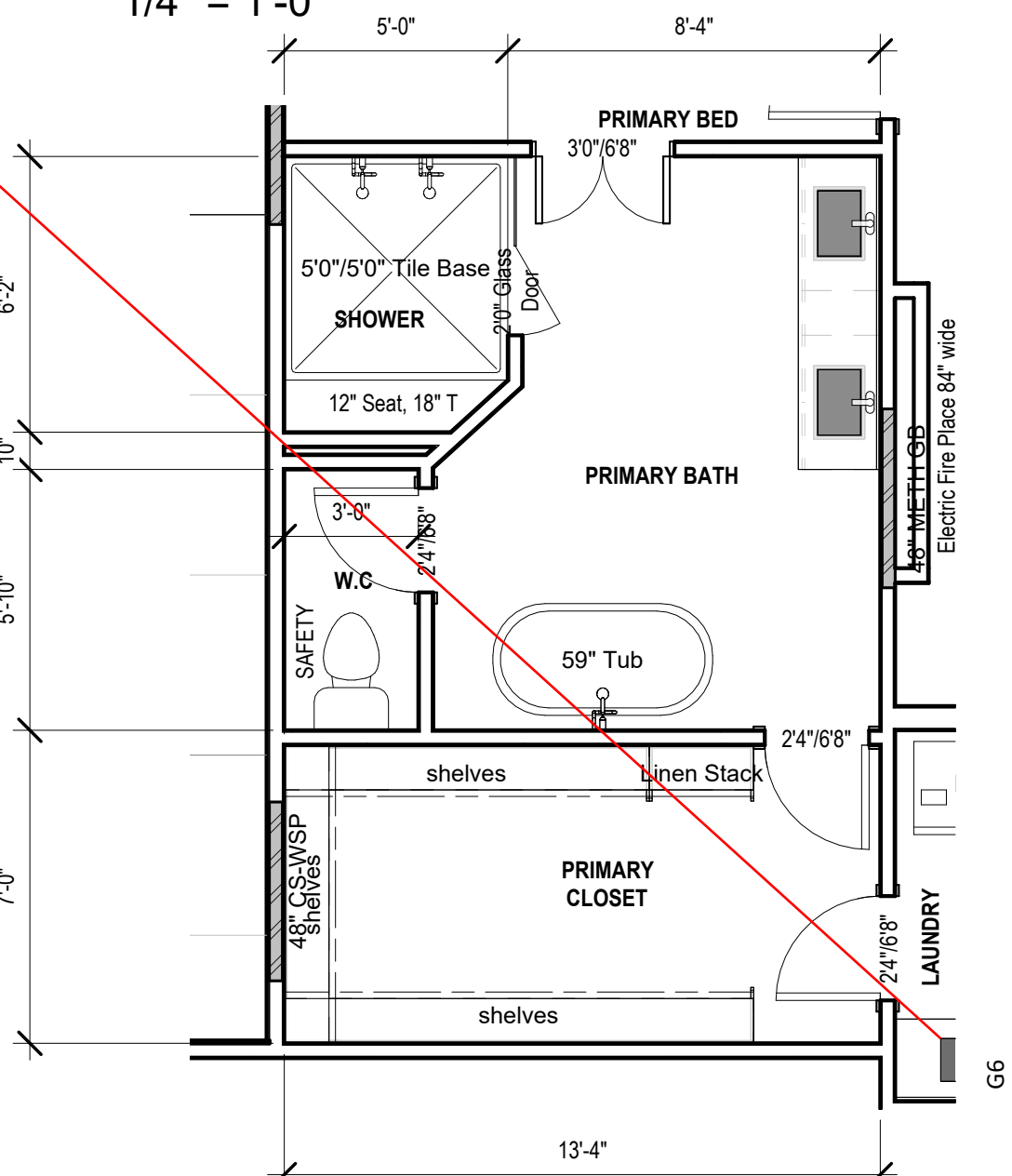
4 Main Level Bath Option 2
1/4" = 1'-0"



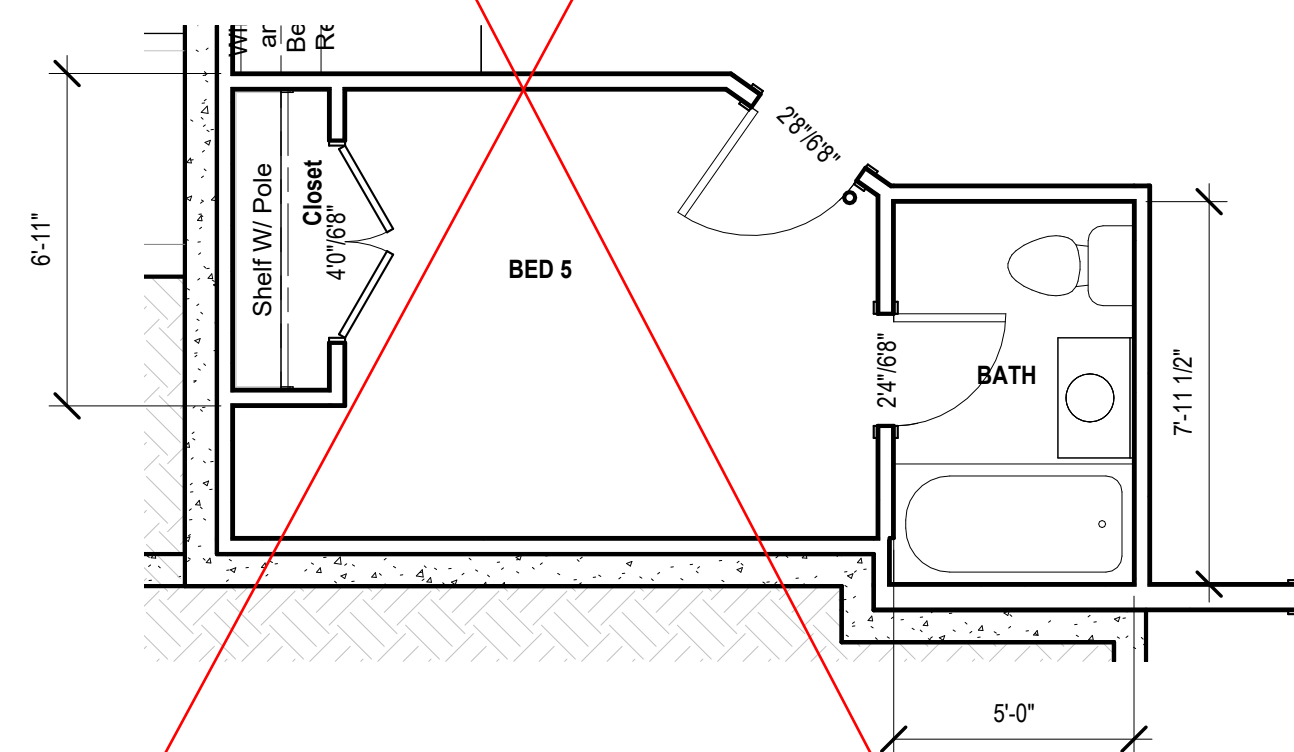
6 Main Level Bath Option 2
1/4" = 1'-0"



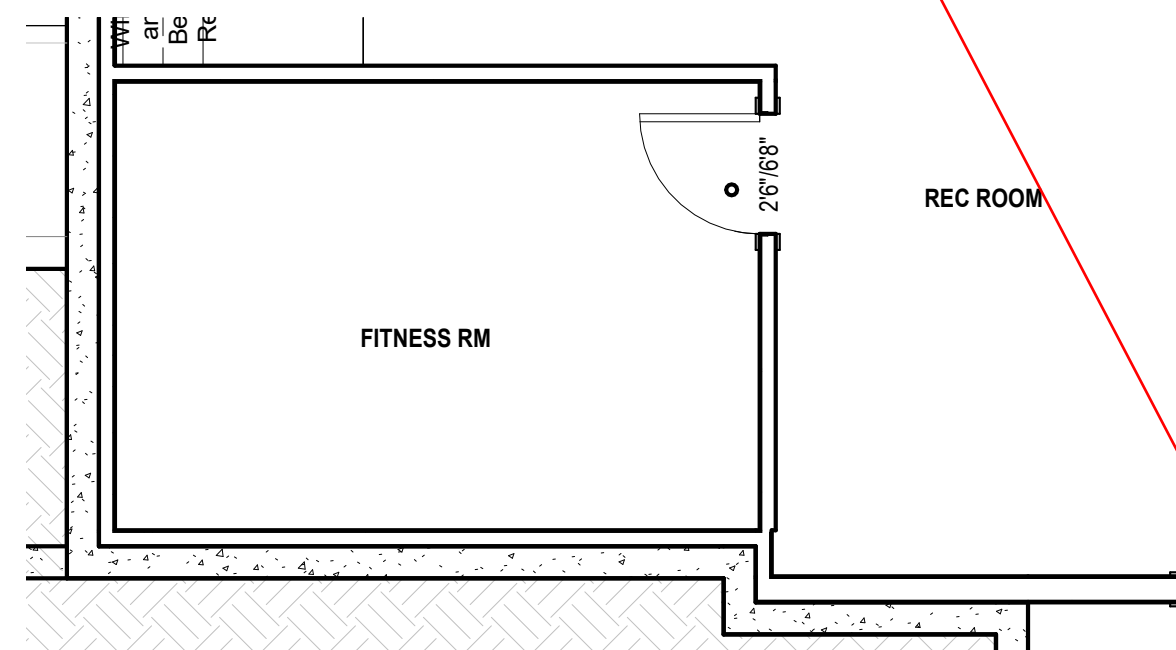
3 Main Level Bath Option 1
1/4" = 1'-0"



5 Main Level Bath Option 1
1/4" = 1'-0"



2 Bedroom #5 Option
1/4" = 1'-0"



1 Fitness Room Option
1/4" = 1'-0"

Use this option
for HF206

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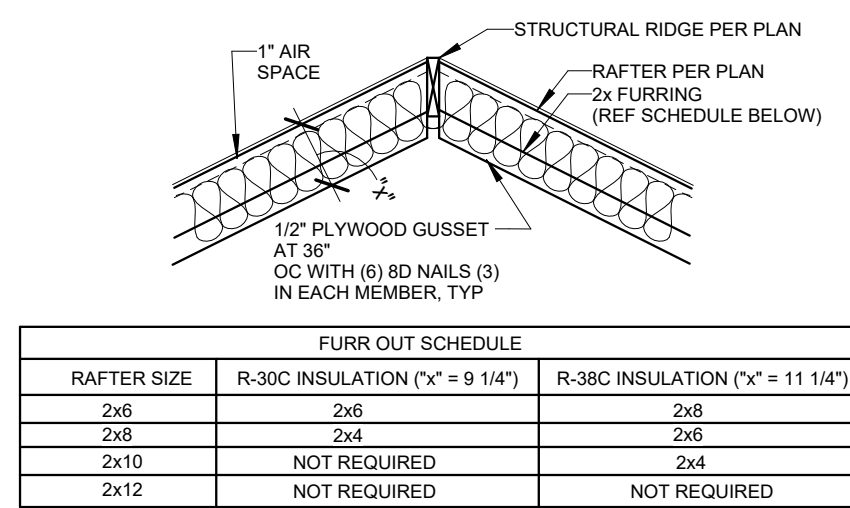
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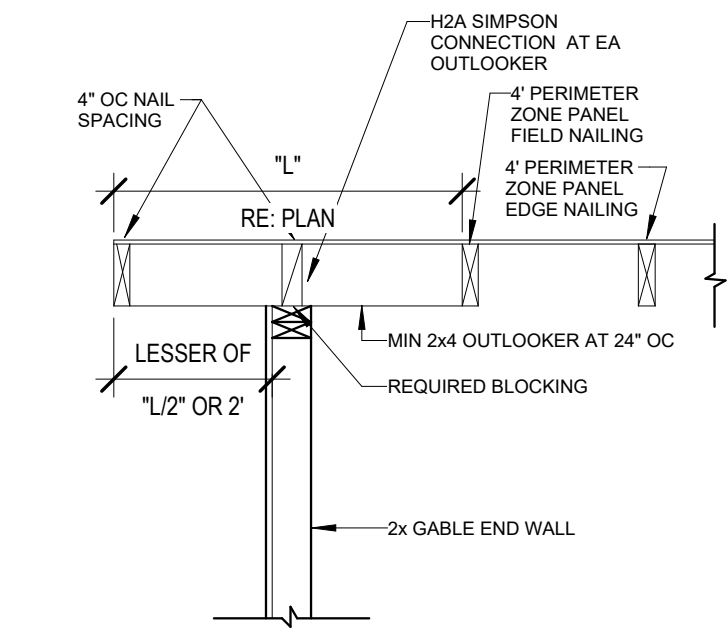
A901

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15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

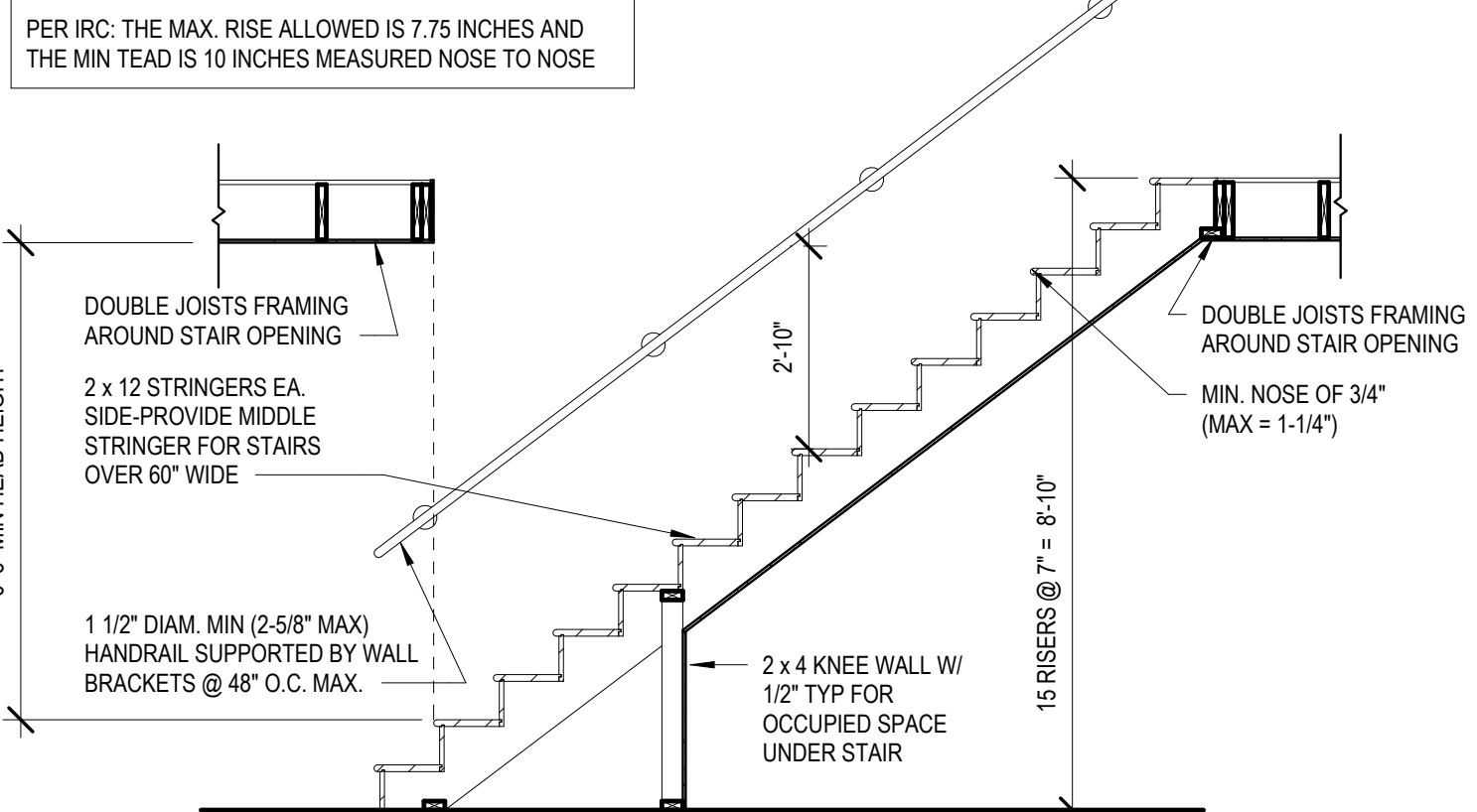


11 Deck Railing
1/2" = 1'-0"

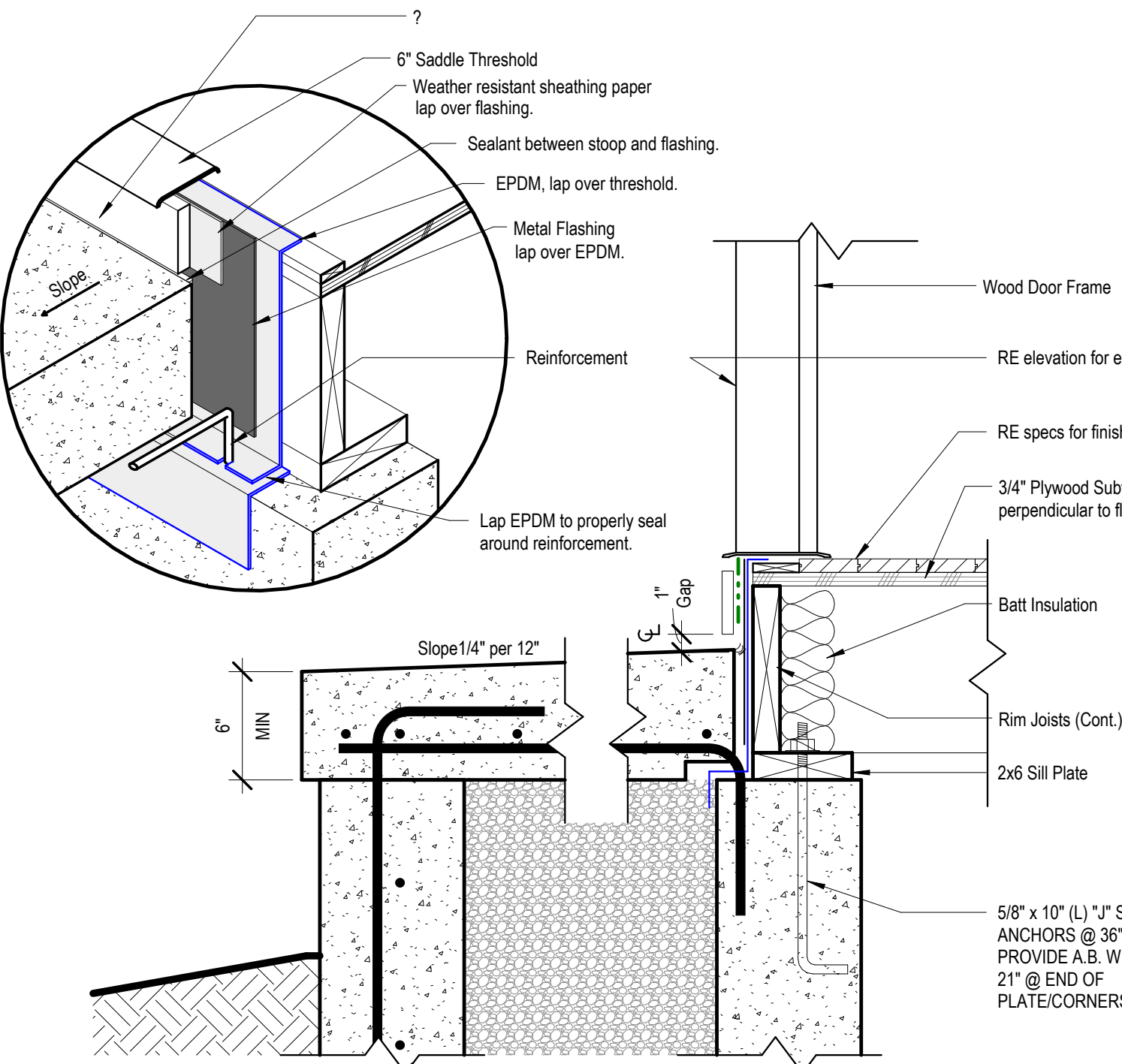


12 Gable Framing Requirements
1" = 1'-0"

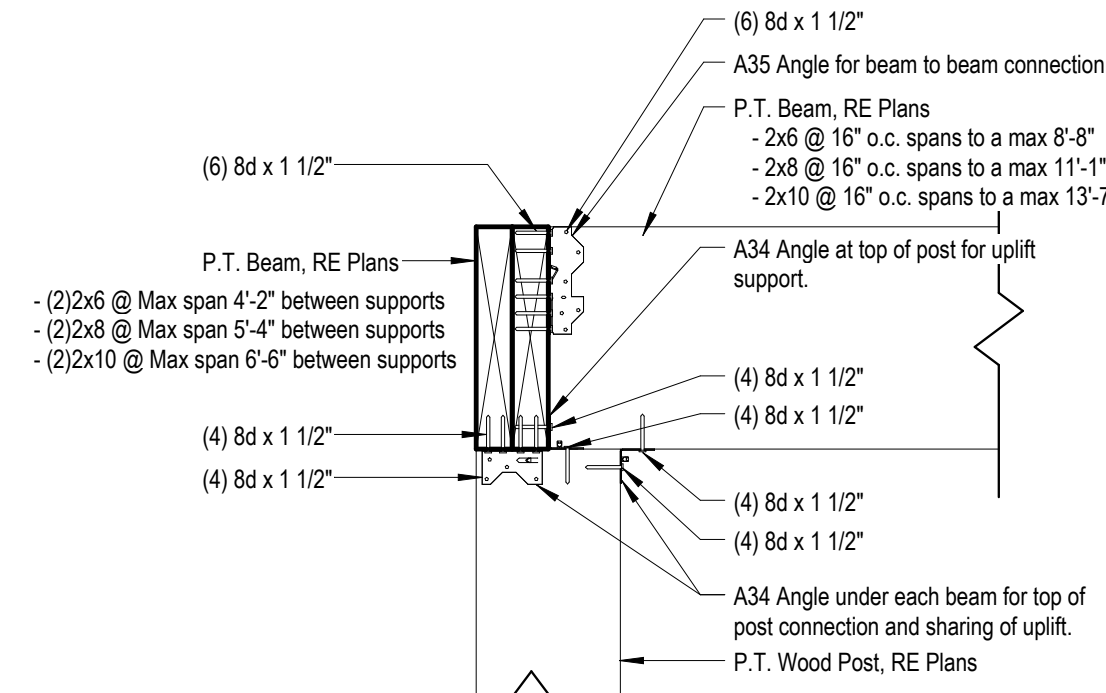
PER IRC: THE MAX. RISE ALLOWED IS 7.75 INCHES AND THE MIN TEAD IS 10 INCHES MEASURED NOSE TO NOSE



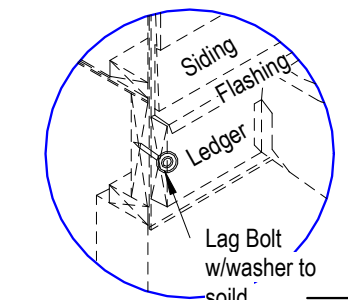
1 TYP STAIR SECTION/REQUIREMENTS
3/8" = 1'-0"



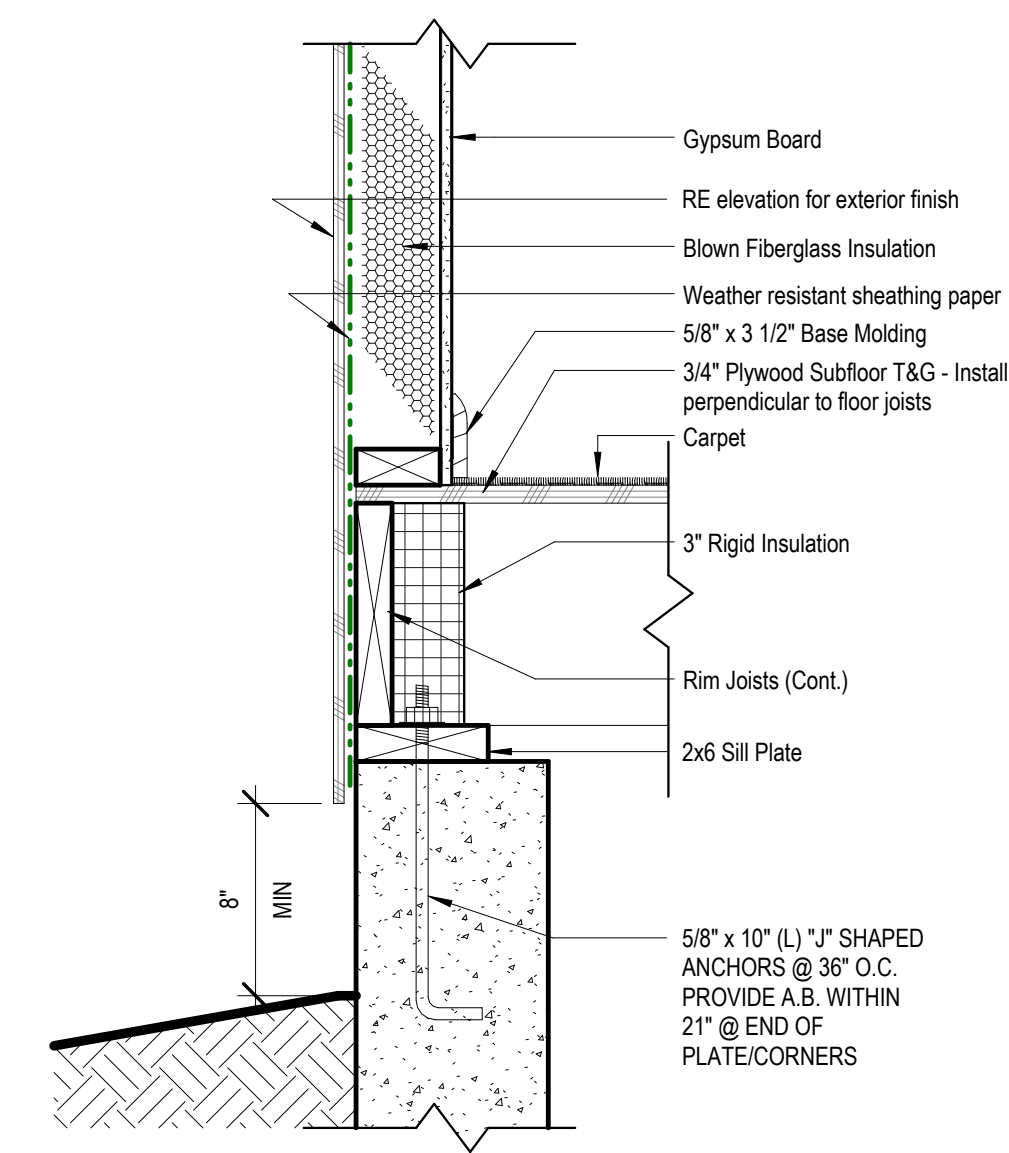
9 Detail - Front Stoop
1 1/2" = 1'-0"



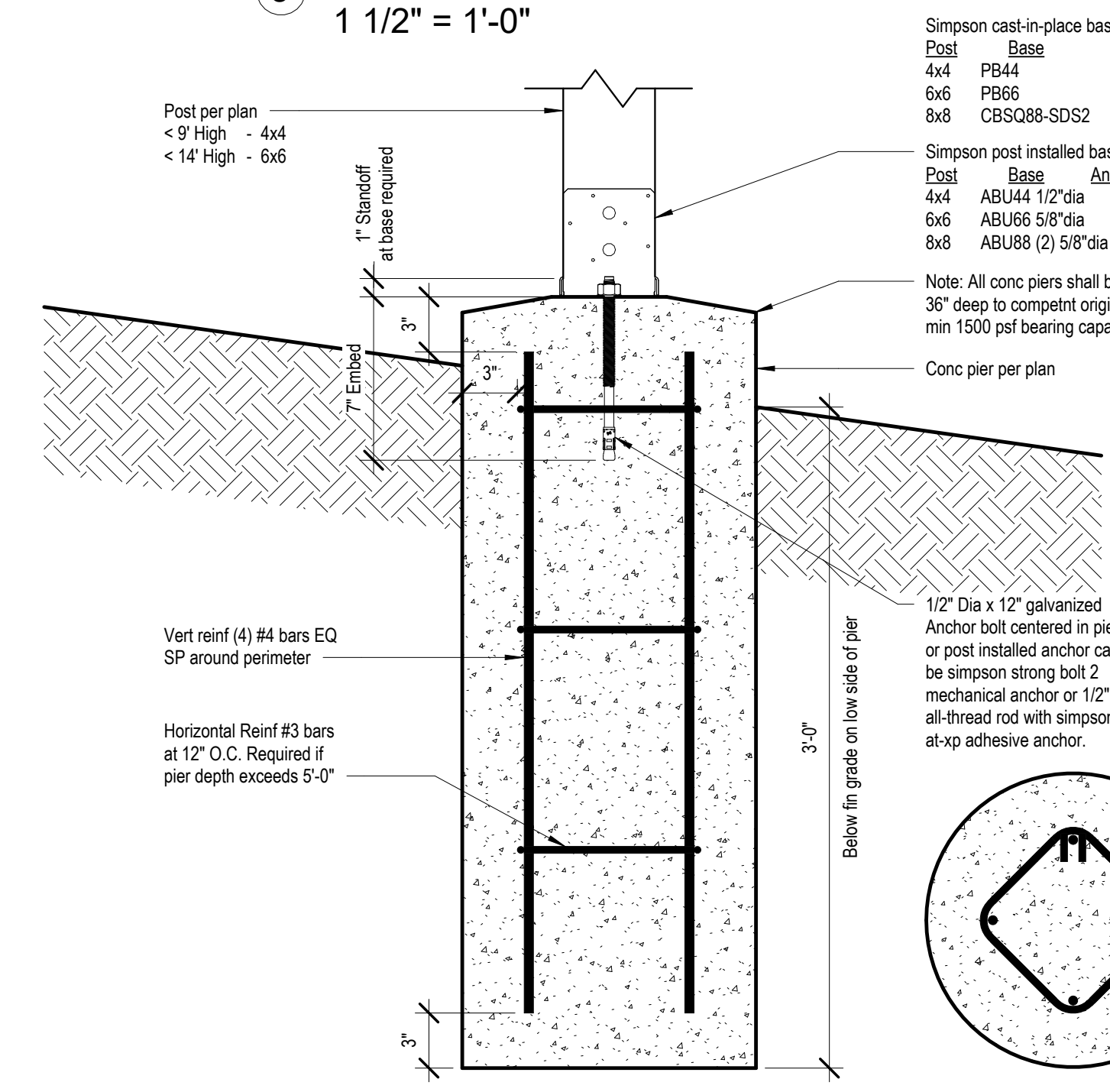
5 Post to Beam Connection
1 1/2" = 1'-0"



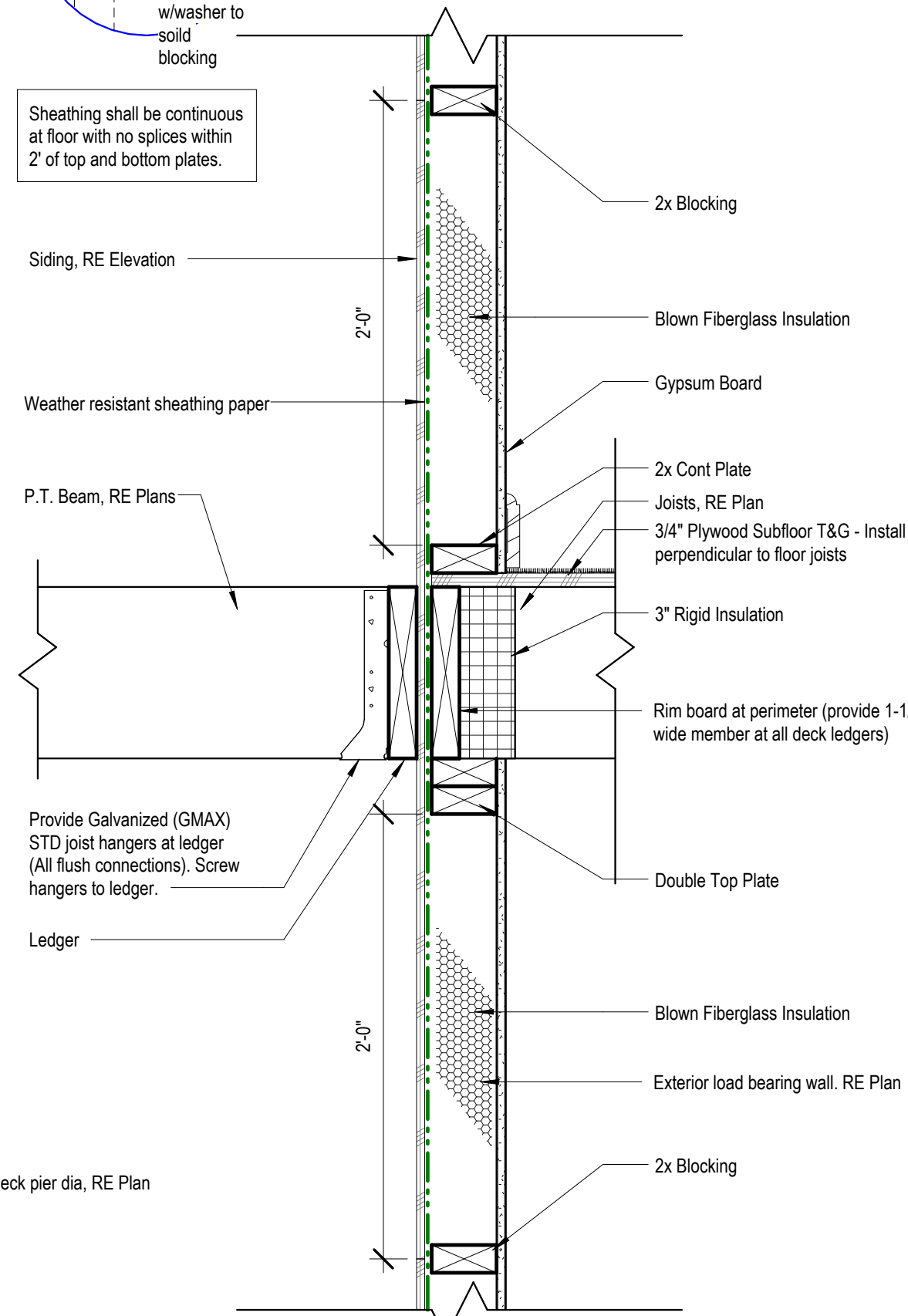
3 RETAINING WALL DESIGN
1/2" = 1'-0"



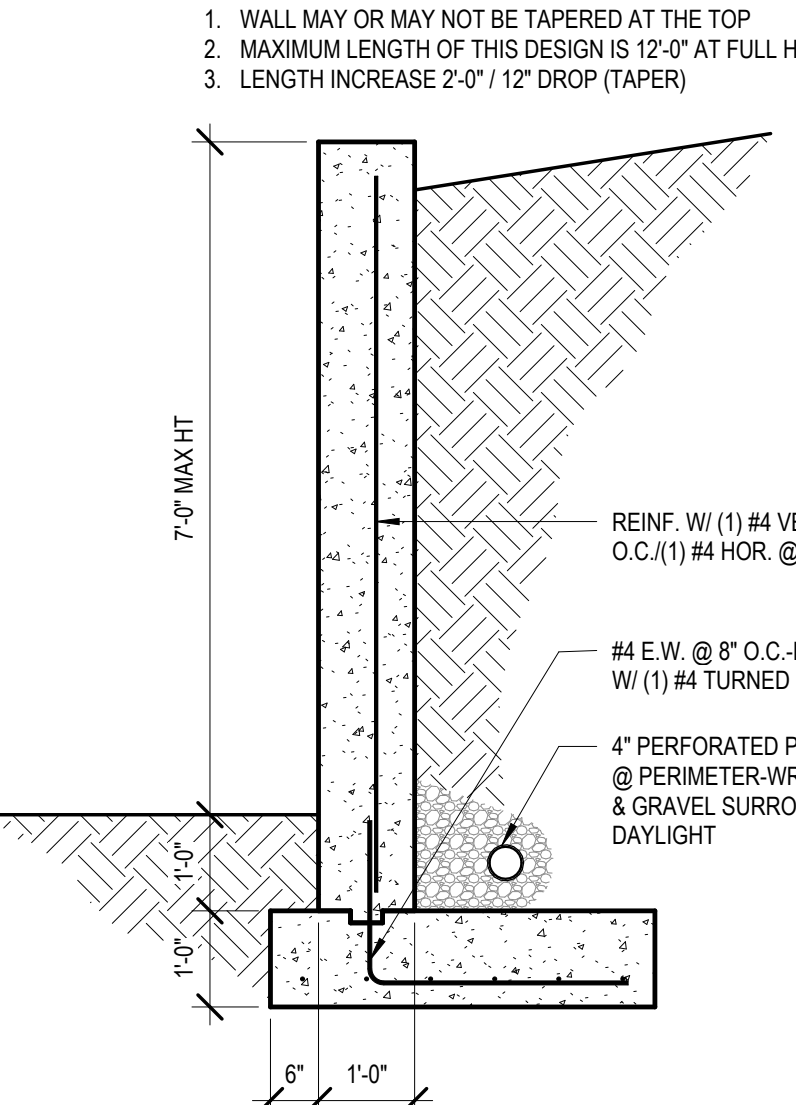
4 Detail - Top of Foundation Wall
1 1/2" = 1'-0"



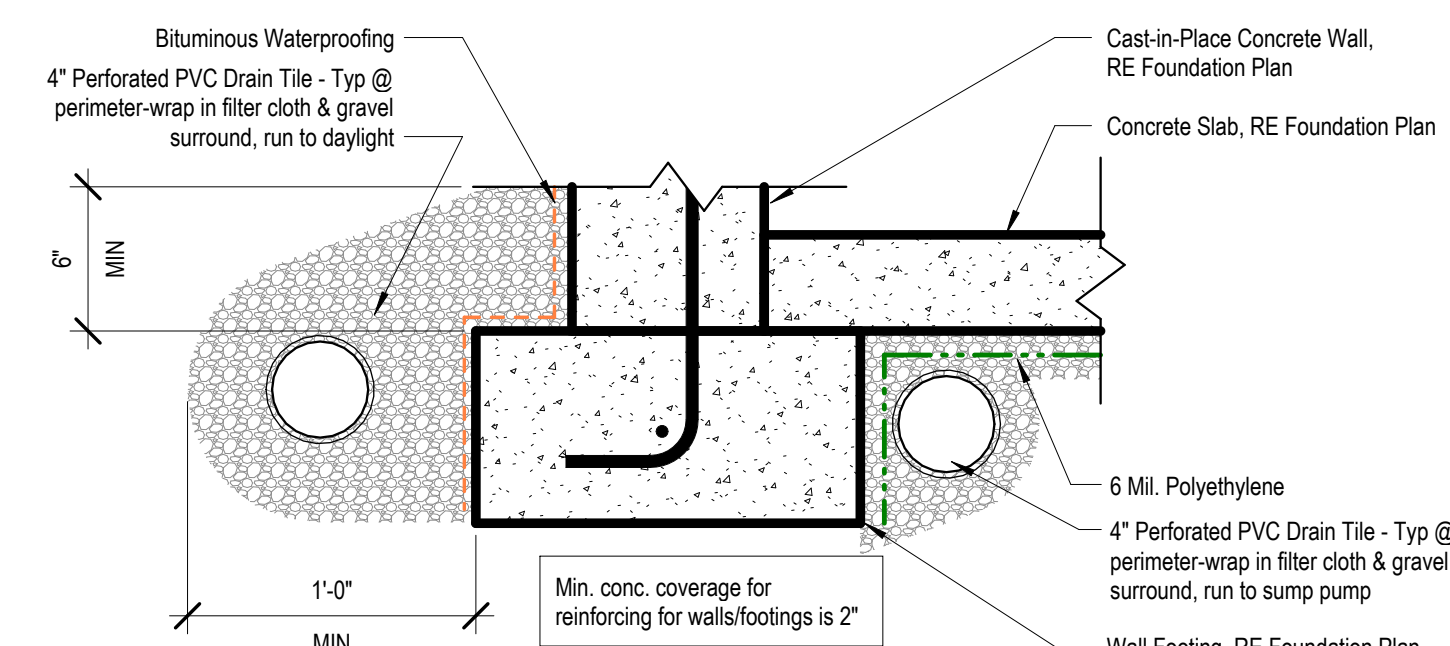
6 Typ Details for Post/Pier
1 1/2" = 1'-0"



7 Lateral Deck Connection
1 1/2" = 1'-0"



2 SMARTSIDE PANEL NAILING PATTERN
3" = 1'-0"



8 Detail - Footing
1 1/2" = 1'-0"

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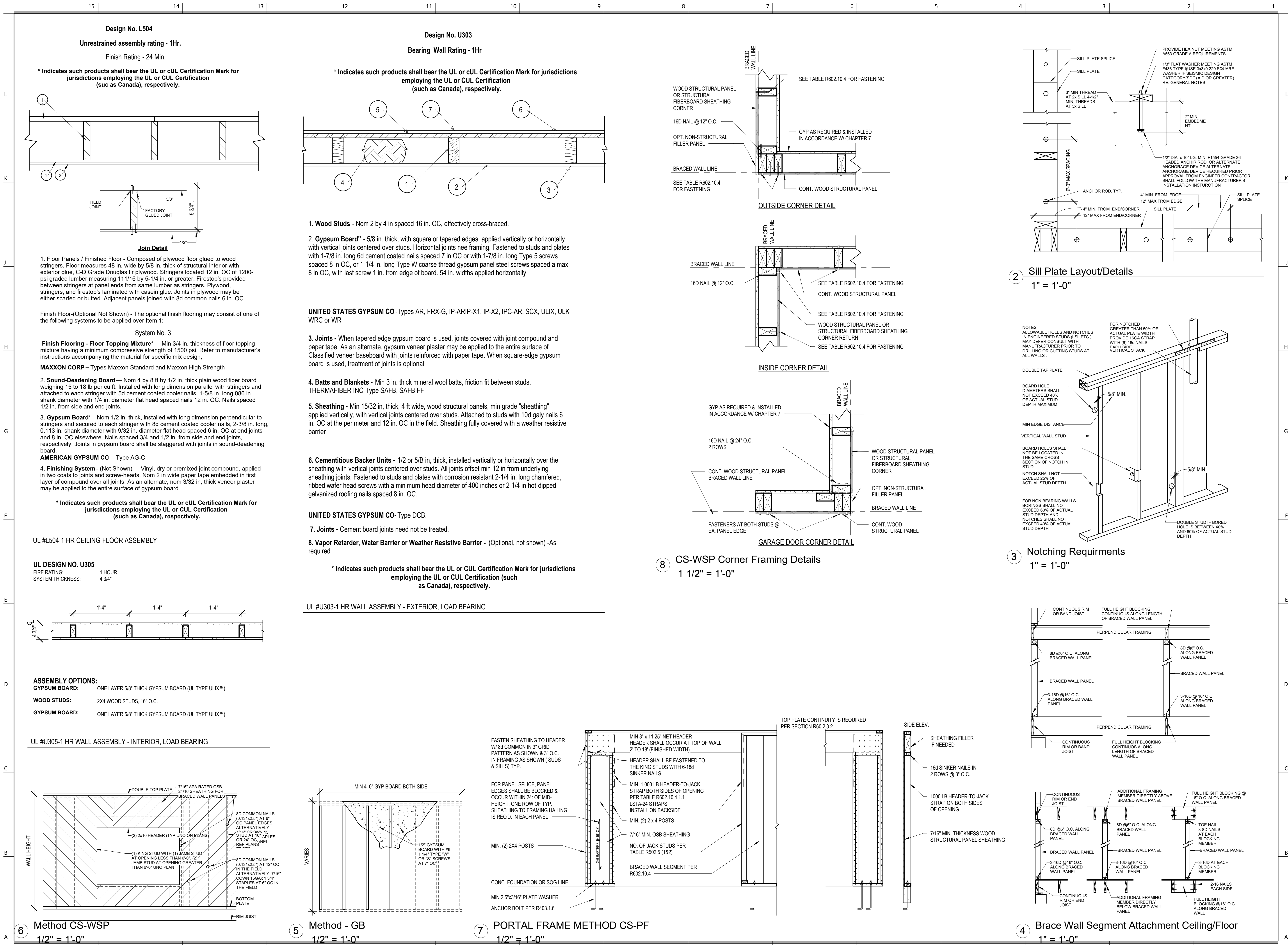
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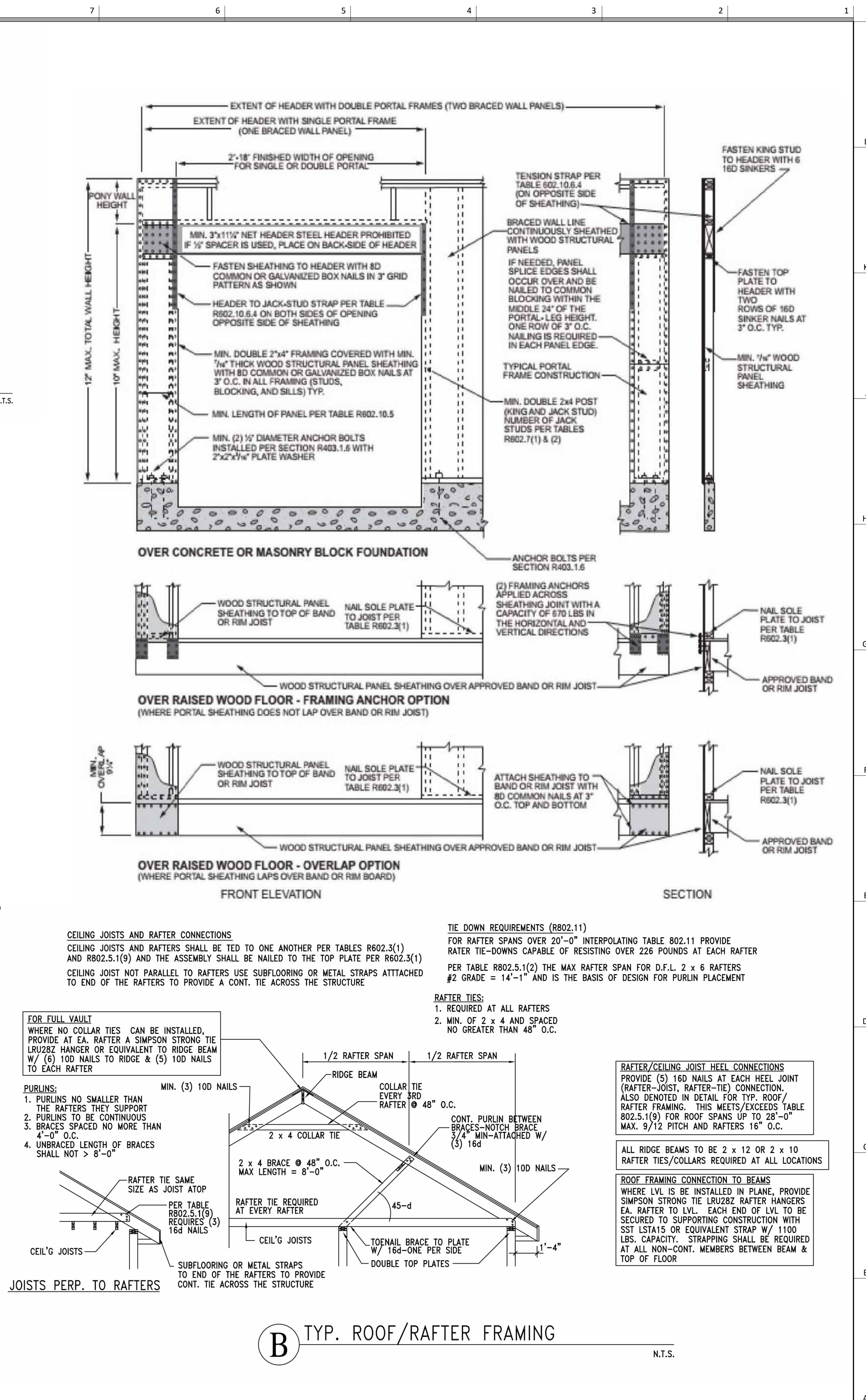
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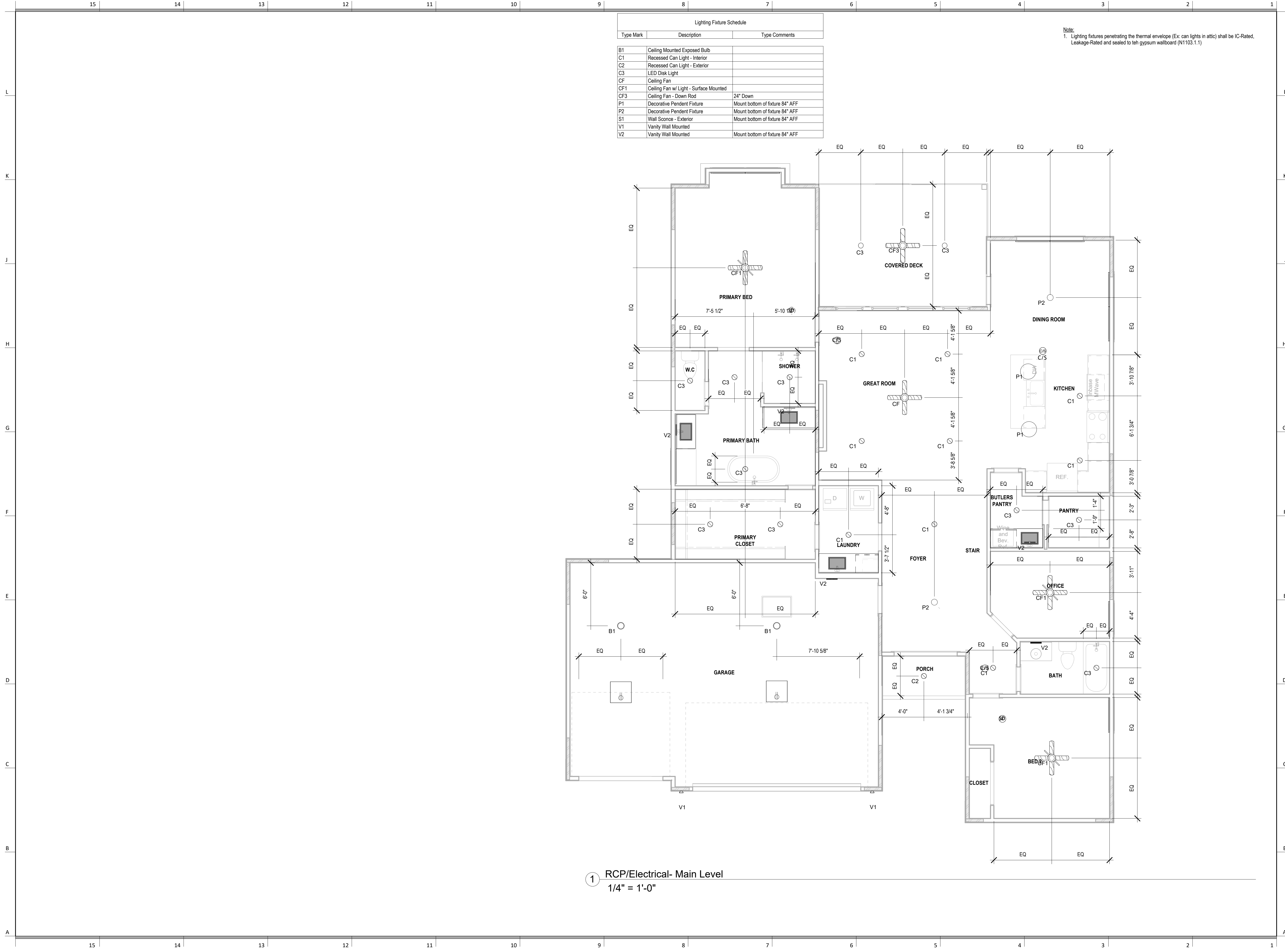
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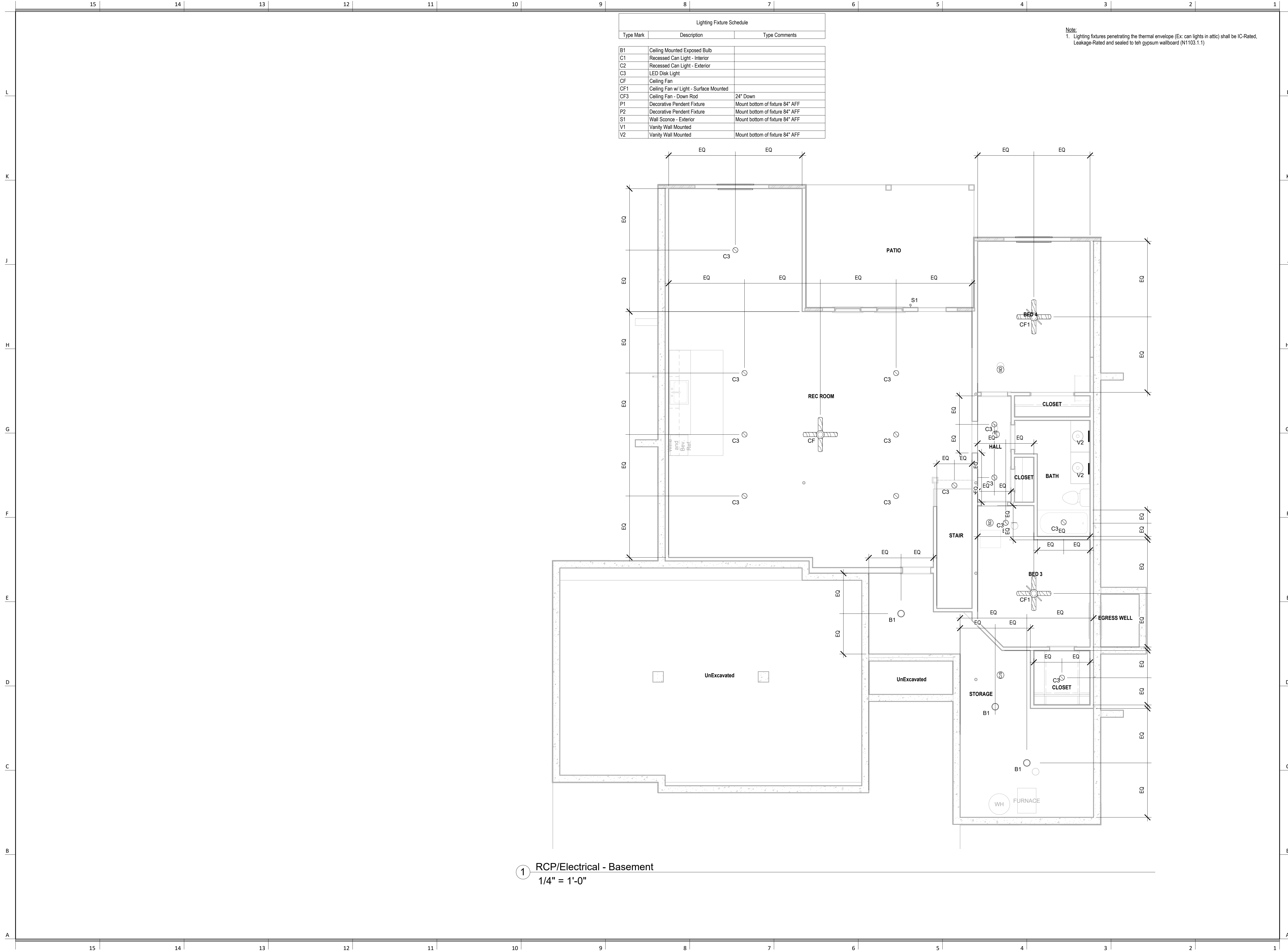
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RCP/Electrical Main Level Plan

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Lighting Fixture Schedule		
Type Mark	Description	Type Comments
B1	Ceiling Mounted Exposed Bulb	
C1	Recessed Can Light - Interior	
C2	Recessed Can Light - Exterior	
C3	LED Disk Light	
CF	Ceiling Fan	
CF1	Ceiling Fan w/ Light - Surface Mounted	
CF3	Ceiling Fan - Down Rod	24" Down
P1	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
P2	Decorative Pendant Fixture	Mount bottom of fixture 84" AFF
S1	Wall Sconce - Exterior	Mount bottom of fixture 84" AFF
V1	Vanity Wall Mounted	
V2	Vanity Wall Mounted	Mount bottom of fixture 84" AFF

Note:
1. Lighting fixtures penetrating the thermal envelope (Ex: can lights in attic) shall be IC-Rated, Leakage-Rated and sealed to teh gypsum wallboard (N1103.1.1)



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