

# North Bend

Address : 2230 SW Crown Drive, Lee's Summit, MO  
 Lot : HF 199



## General Information

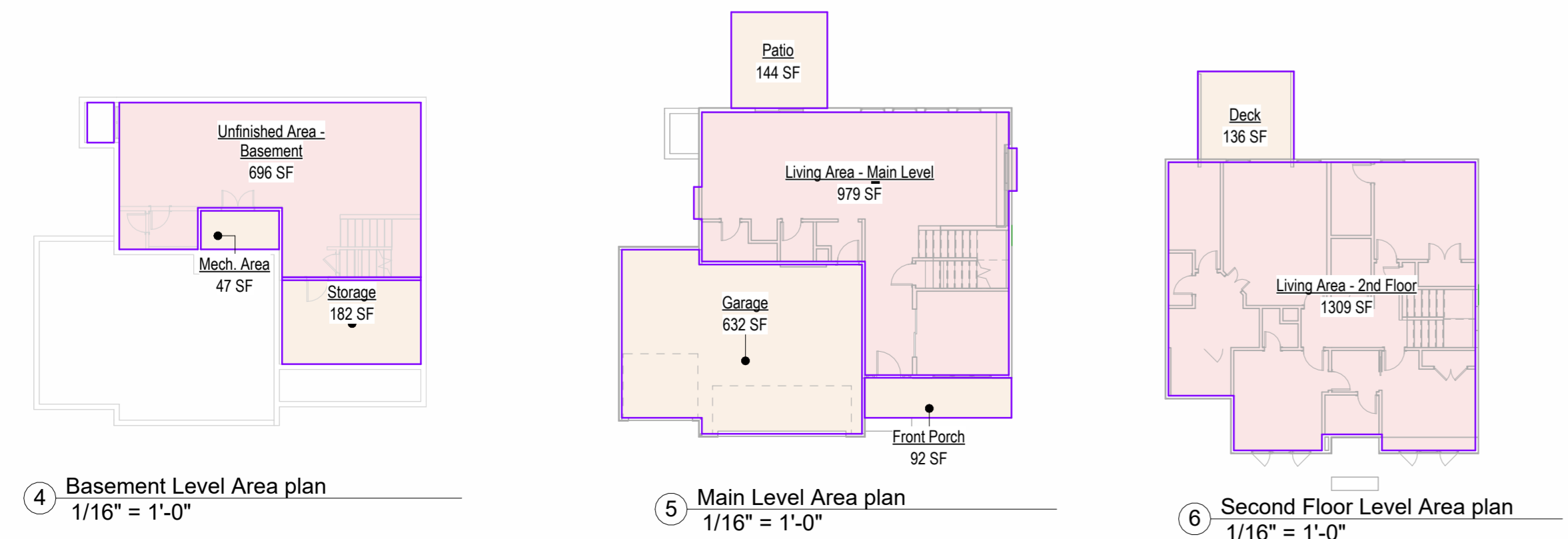
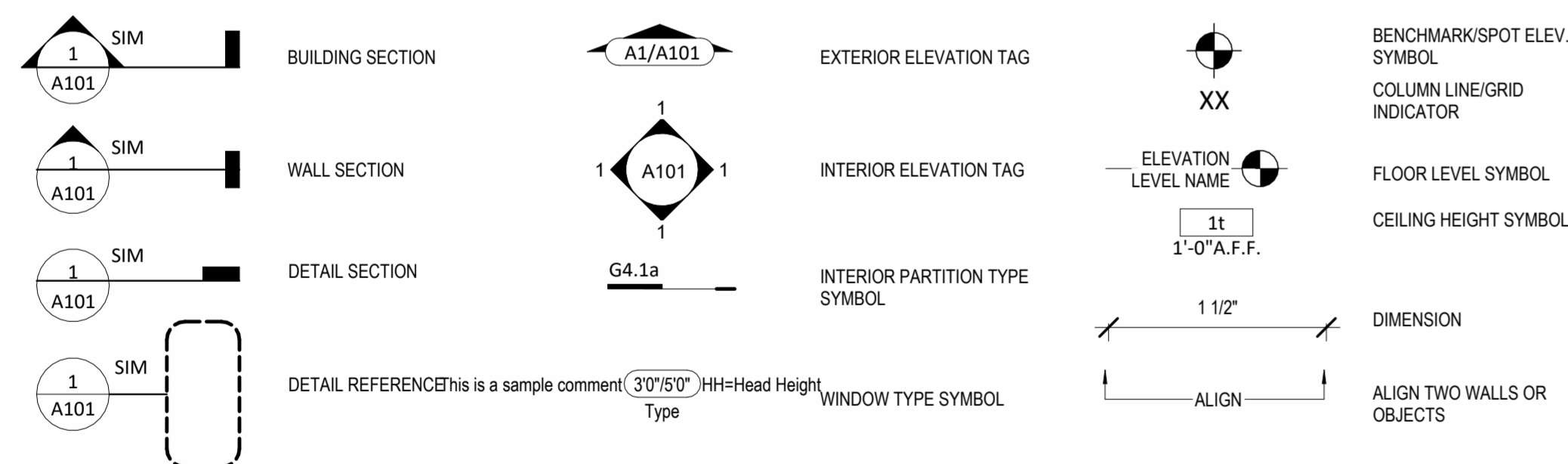


1. Whole House Mechanical Ventilation System is required for any dwelling with air infiltration at a rate of less than 5 air changes per hour (at ACH50 standard R303.4).
2. Carbon monoxide detectors required (R315)
3. Steel columns shall be minimum schedule 40 (R507.2)
4. Deck Ledger attachment to house shall be per Tables 507.9.1.3.
5. New provisions for attachment of rafters, trusses and roof beams. (R802.3 and R802.11)
6. Programmable thermostat required (N1103.1.1)
7. Air handlers shall be rated for Maximum 2% air leakage rate (N1103.2.2.1)
8. Building cavities used as return air plenums shall be sealed to prevent leakage across the thermal envelope. (N1103.2.3)
9. Certain hot water pipes shall be insulated (N1103.4)
10. All exhaust fans shall terminate to the building exterior (M1507.2)
11. Makeup air system required for kitchen exhaust hoods that exceed 400 CFM M1503.4
12. Building cavities in a thermal envelope wall (including the wall between the house and garage) shall not be used as return air plenums (unless the required insulation and air barrier are maintained) (M1601.1.1.#7.5)
13. An air handling system shall not serve both the living space and the garage (M1601.6)
14. A concrete-Encased grounding electrode (UFER Ground) connection complies with the requirements of the 2018 IRC Section E3908.1.2 in providing a connection with no less than the required minimum of steel.
15. Compliance with the requirements and show connection as needed for roof beam, trus, rafter, and girder connections for uplift per IRC 802.11
16. DASMA 115 MPH Rated Garage doors
17. Compliant with the Physical Security Ordinance in the Kansas City Building and Rehabilitation Code, section 329 (Information Bulletin 161).
18. Compliant with the requirements of section 308 of the 2018 IRC for safety glazing.
19. Studs will be continuous from floor to ceiling diaphragm/Roof as per 2018 IRC 602.3

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**2018 IRC BUILDING CODE COMPLIANCE**  
 THESE DRAWINGS HAVE BEEN PREPARED WITH RESPECT TO COMPLIANCE OF THE 2018 IRC AND NEC 2017 ANY REFERENCES FOUND NOT CORRECTLY IDENTIFIED TO THESE CODES SHALL BE BROUGHT TO THE ATTENTION OF SSIONAL THE DESIGN PROFESSIONAL

RELEASE FOR CONSTRUCTION  
 AS NOTED FOR PLAN REVIEW  
 DEVELOPMENT SERVICES  
 LEE'S SUMMIT, MISSOURI  
**10/09/2024**



Areas	
Living Area - Main Level	979 SF
Living Area - 2nd Floor	1309 SF
<b>Total Finished Area</b>	<b>2288 SF</b>
Unfinished Area - Basement	696 SF
Front Porch	92 SF
Patio	144 SF
Mech. Area	47 SF
Garage	632 SF
Storage	182 SF
Deck	136 SF
<b>Total Unfinished Area</b>	<b>1929 SF</b>

Sheet List	
00	Cover
A101	Foundation Plan
A102	Floor Plan - Basement
A103	Floor Plan - Main Level
A104	Floor Plan - Second Floor
A105	Roof Plan
A201	Elevations
A202	Elevations
A203	Floor Plan & Elevations-Full Basement 1
A204	Floor Plan & Elevations-Full Basement 2
A205	Floor Plan & Elevations-Daylight
A501	Details
A502	Details

REVISIONS		
Number	Description	Date



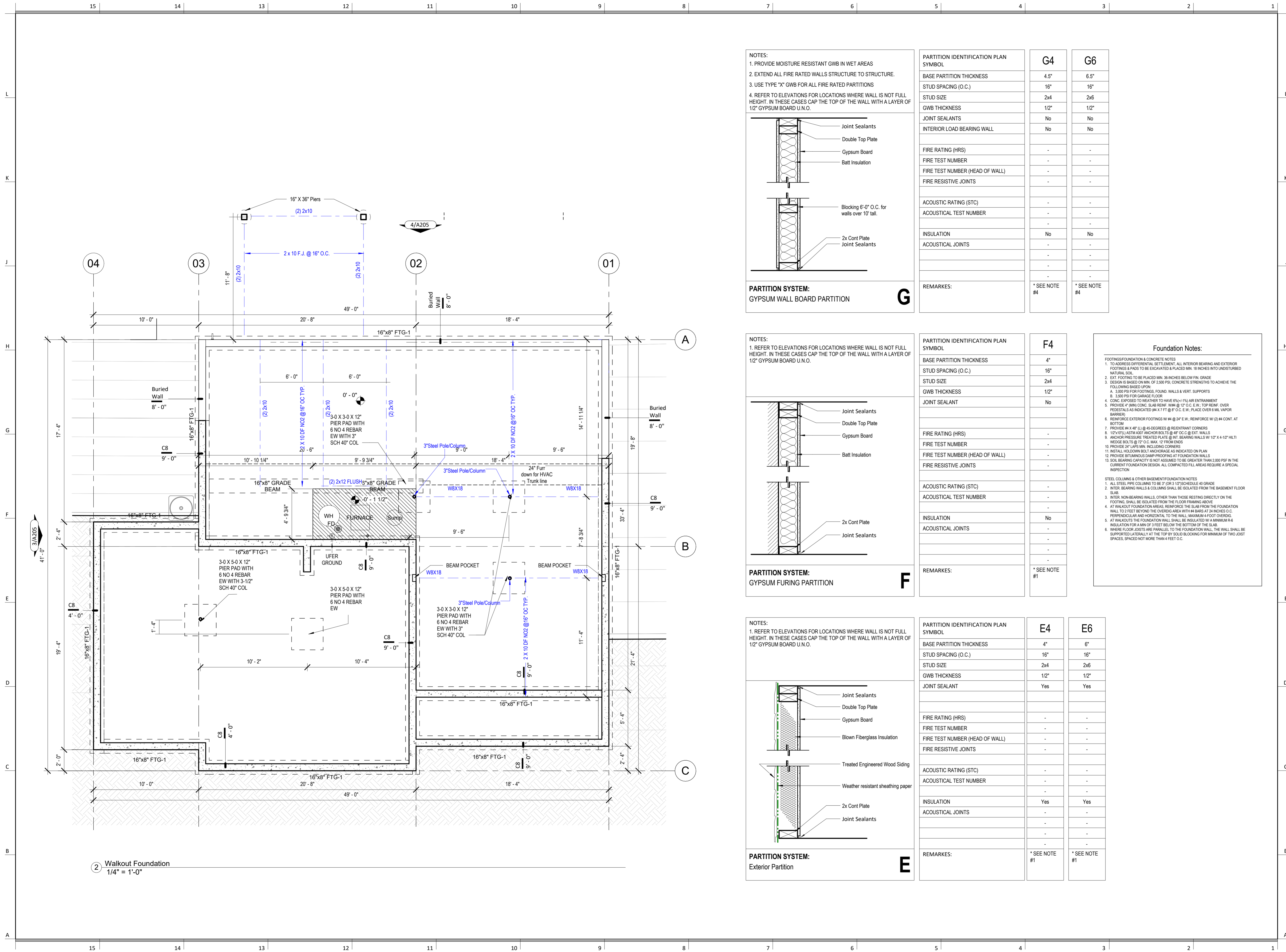
AUGUST 13, 2024

PLAN DESCRIPTION: Cover

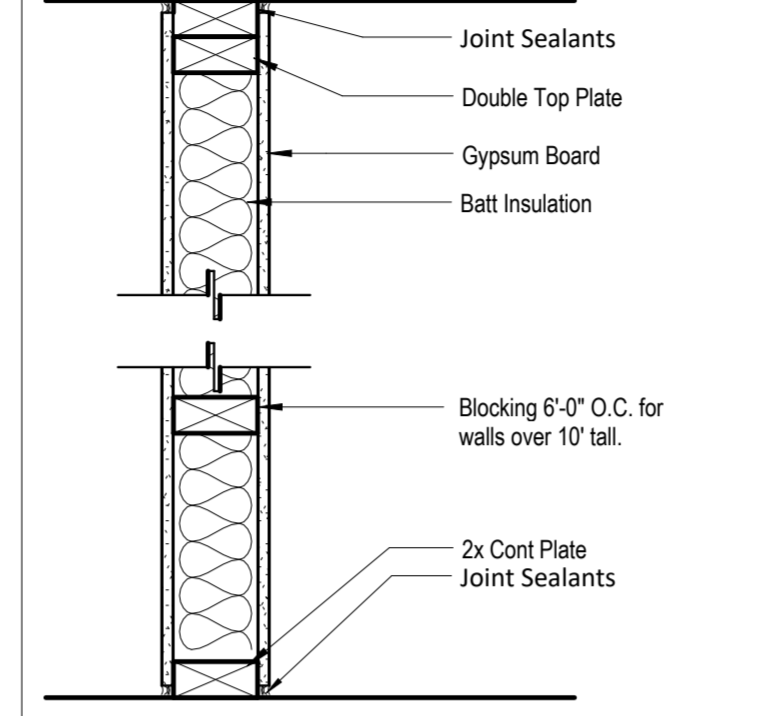
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Project No.





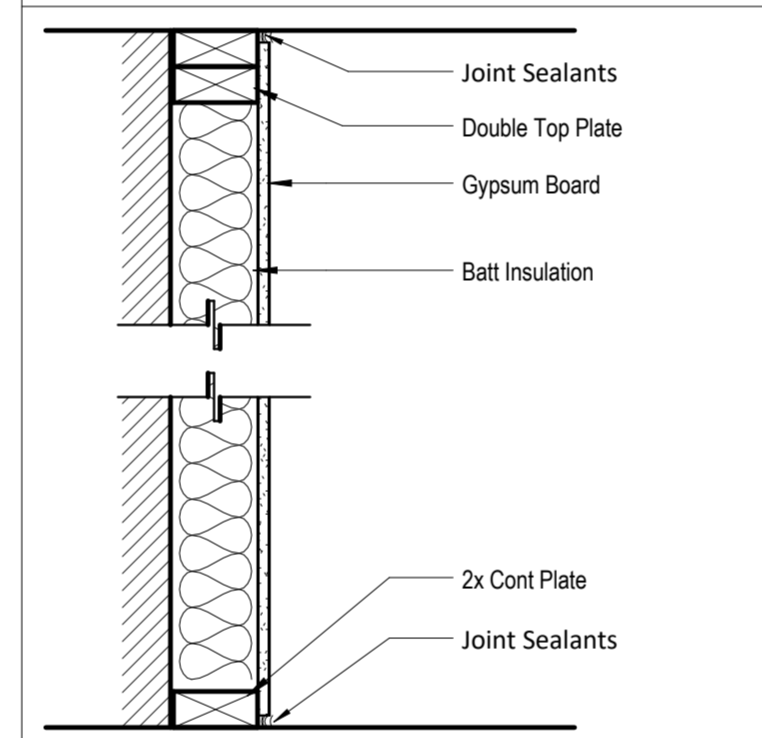
NOTES:  
1. PROVIDE MOISTURE RESISTANT GWB IN WET AREAS  
2. EXTEND ALL FIRE RATED WALLS STRUCTURE TO STRUCTURE.  
3. USE TYPE "X" GWB FOR ALL FIRE RATED PARTITIONS  
4. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:  
GYPSUM WALL BOARD PARTITION **G**

PARTITION IDENTIFICATION PLAN SYMBOL	G4	G6
BASE PARTITION THICKNESS	4.5"	6.5"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANTS	No	No
INTERIOR LOAD BEARING WALL	No	No
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	No	No
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #4	* SEE NOTE #4

NOTES:  
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.

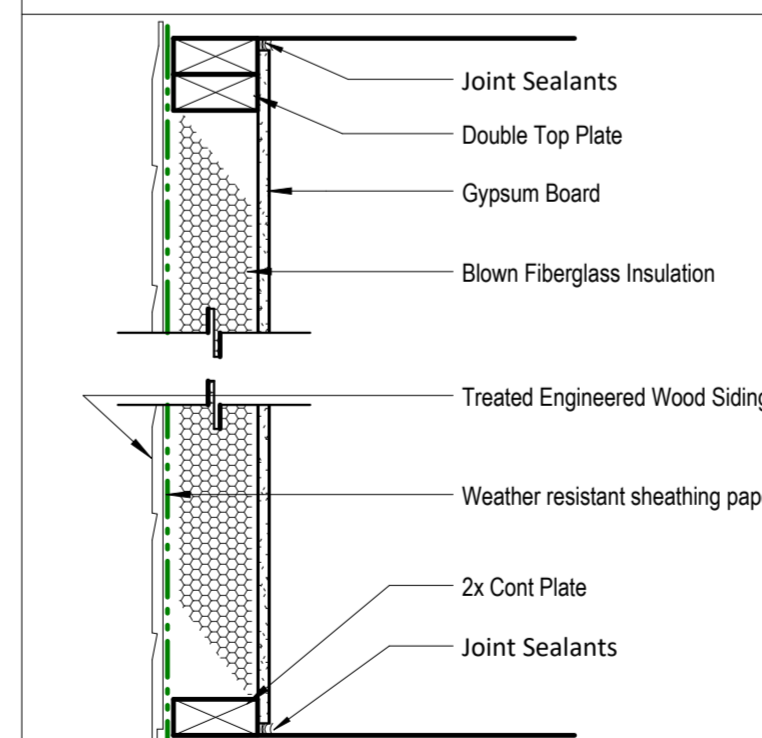


PARTITION SYSTEM:  
GYPSUM FURRING PARTITION **F**

PARTITION IDENTIFICATION PLAN SYMBOL	F4
BASE PARTITION THICKNESS	4"
STUD SPACING (O.C.)	16"
STUD SIZE	2x4
GWB THICKNESS	1/2"
JOINT SEALANT	No
FIRE RATING (HRS)	-
FIRE TEST NUMBER	-
FIRE TEST NUMBER (HEAD OF WALL)	-
FIRE RESISTIVE JOINTS	-
ACOUSTIC RATING (STC)	-
ACOUSTICAL TEST NUMBER	-
INSULATION	No
ACOUSTICAL JOINTS	-
REMARKS:	* SEE NOTE #1

**Foundation Notes:**  
FOOTINGS/FOUNDATION & CONCRETE NOTES:  
1. TO ADDRESS DIFFERENTIAL SETTLEMENT, ALL INTERIOR BEARING AND EXTERIOR FOOTINGS & PADS TO BE EXCAVATED & PLACED MIN. 18 INCHES INTO UNDISTURBED NATURAL SOIL.  
2. EXT. FOOTING TO BE PLACED MIN. 36 INCHES BELOW FIN. GRADE.  
3. BEARING IS BASED ON MIN. OF 2,500 PSF. CONCRETE STRENGTHS TO ACHIEVE THE FOLLOWING BASED UPON:  
A. 3,000 PSI FOR FOOTINGS, FOUND. WALLS & VERT. SUPPORTS  
B. 3,000 PSI FOR GARAGE FLOOR  
4. CONC. EXPOSED TO WEATHER TO HAVE 6% (+/-) AIR ENTRAINMENT  
5. PROVIDE 4" MIN. CONC. SLAB REINF. W/ #4 @ 12" O.C. E.W. TOP REINF. OVER PEDESTALS AS INDICATED (#4 X 7 FT @ 8" O.C. E.W. PLACE OVER 6 MIL VAPOR BARRIER)  
6. REINFORCE EXTERIOR FOOTINGS W/ #4 @ 24" E.W.; REINFORCE W/ (2) #4 CONT. AT BOTTOM  
7. PROVIDE 4" X 4" (L) @ 45 DEGREES @ REINFRANT CORNERS  
8. 1/2" (PL) ASTM A307 ANCHOR BOLTS @ 48" O.C. @ EXT. WALLS  
9. ANCHOR PRESSURE TREATED PLATE @ INT. BEARING WALLS W/ 1/2" X 4-1/2" HLTI WEDGE BOLTS @ 72" O.C. MAX. 12' FROM ENDS  
10. PROVIDE 2" LAPS MIN. INCLUDING CORNERS  
11. INSTALL HOLD-DOWN BELT ANCHORAGE AS INDICATED ON PLAN  
12. PROVIDE BITUMINOUS DAMP-PROOFING AT FOUNDATION WALLS  
13. SOIL BEARING CAPACITY IS NOT ASSUMED TO BE GREATER THAN 2,000 PSF IN THE CURRENT FOUNDATION DESIGN. ALL COMPACTED FILL AREAS REQUIRE A SPECIAL INSPECTION  
  
STEEL COLUMNS & OTHER BASEMENT FOUNDATION NOTES:  
1. ALL STEEL PIPE COLUMNS TO BE 3" OR 3 1/2" SCHEDULE 40 GRADE  
2. INTER. BEARING WALLS & COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB  
3. INTER. NON BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE  
4. AT WALKOUT FOUNDATION AREAS: REINFORCE THE SLAB OVER THE FOUNDATION WALL TO 2 FEET BEYOND THE OVERLAP AREA WITH #4 BARS AT 24 INCHES O.C. PERPENDICULAR AND HORIZONTAL TO THE WALL MAXIMUM #FOOT OVERLAP  
5. AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED W/ A MINIMUM R-6 INSULATION FOR A MIN OF 3 FEET BELOW THE BOTTOM OF THE SLAB  
6. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED LATERALLY AT THE TOP BY SOLID BLOCKING FOR MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

NOTES:  
1. REFER TO ELEVATIONS FOR LOCATIONS WHERE WALL IS NOT FULL HEIGHT. IN THESE CASES CAP THE TOP OF THE WALL WITH A LAYER OF 1/2" GYPSUM BOARD U.N.O.



PARTITION SYSTEM:  
Exterior Partition **E**

PARTITION IDENTIFICATION PLAN SYMBOL	E4	E6
BASE PARTITION THICKNESS	4"	6"
STUD SPACING (O.C.)	16"	16"
STUD SIZE	2x4	2x6
GWB THICKNESS	1/2"	1/2"
JOINT SEALANT	Yes	Yes
FIRE RATING (HRS)	-	-
FIRE TEST NUMBER	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-
FIRE RESISTIVE JOINTS	-	-
ACOUSTIC RATING (STC)	-	-
ACOUSTICAL TEST NUMBER	-	-
INSULATION	Yes	Yes
ACOUSTICAL JOINTS	-	-
REMARKS:	* SEE NOTE #1	* SEE NOTE #1

2 Walkout Foundation  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE

PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Foundation Plan

DATE ISSUED  
10/3/2024

NORTH  
↑

DRAWING NUMBER

**A101**



**General Notes:**

- DOORS AND WINDOWS**
- ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR, ADJACENT TO DOORS - 0" AND WITH DOORS, ABOVE BATHTUBS TO BE SAFETY TYPE GLASS AND LABELED SUCH AS IN COMPLIANCE WITH SECTION 208 OF THE IRC.
  - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES**
- GARAGE SEPARATION WALL TO BE 1/4" CONCR. W/ MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED, 1 1/2" S.C. & EQUIPPED W/ CLOSURE & LATCH.
  - 1/4" S&P RECEPTACLES SHALL HAVE GFCI PROTECTION.
  - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LIVING AREAS.
- LIGHT AND VENTILATION**
- PROVIDE STAIRWAY ILLUMINATION PER R303.7.3.
  - GABLE VENTS & MECH ROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET FREE OF ATTIC VENTILATION.
  - FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED WITH A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR.
  - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3.
  - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG EAVE SPACED EVENLY W/ NO MORE THAN 6" O.C.
- GYPSUM BOARD**
- GWB APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" S&G-RESISTANT GYP. CEILING BOARD.
- MECHANICAL SYSTEMS**
- FURNACE & WATER HEATER SHALL BE ON 18" PLATFORMS WHEN PLACED IN A GARAGE OR ROOM W/ DIRECT ACCESS TO A GARAGE.
  - PROVIDE MIN. 75% AFUE FOR WEATHERIZED GAS HEATING EQUIP. 80% FOR NON-WEATHERIZED.
  - PROVIDE MIN. 14 SEER FOR AIR CONDITIONING EQUIPMENT.
  - SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO MIN. R-8.
- ELECTRICAL SYSTEMS**
- PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING.
  - ALL ELECTRICAL CONDUCTORS SHALL BE COPPER.
  - EXCEPT IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED:
    - BEDROOM, KITCHEN (W/IN FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
  - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SHINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
    - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
    - ALL 15 & 20A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
    - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TAMPER-RESISTANT:
      - RECEPTACLES LOCATED MORE THAN 5 FEET AP.
      - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
  - SILL PLATES SHALL BE FASTENED W/ MIN. 6 INCHES ABOVE GRADE.
  - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-D NAILS (MIN. 4" STAGGERED) 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- ROOF FRAMING**
- ALL ROOF EAVES OVERHANGS TO BE 16" LONG.
  - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLIDS.
  - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO EAVE LINE & STAGGERED 48" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
  - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH S&P GWB.
  - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING (MIN R-19).
  - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A LOCKER/CLIN.
  - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL, SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
    - A. SILT FENCE OR STRAW BALE WALL AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
    - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
    - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL, STUD GRADE 2 OR BETTER) @ 16" O.C.
  - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8d @ 6" O.C. PANEL INDEX 240; PROVIDE CLIPS AT INSULATED PANEL EDGES.
  - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8d @ 6" O.C.
  - HEADERS: PROVIDE 2x4 (SYP OR DFL, 2D OR BETTER) LONG. CONSTRUCT HEADERS W/ 2x8 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16d @ 16" O.C.
  - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING NOT < 3 INCHES.
  - I.F.J. C.I. & RAFTERS TO BE SYP OR DFL, GRADE #2 OR BETTER.
  - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER R603.3.
  - STUDS, RAFTERS, JOISTS, MS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.

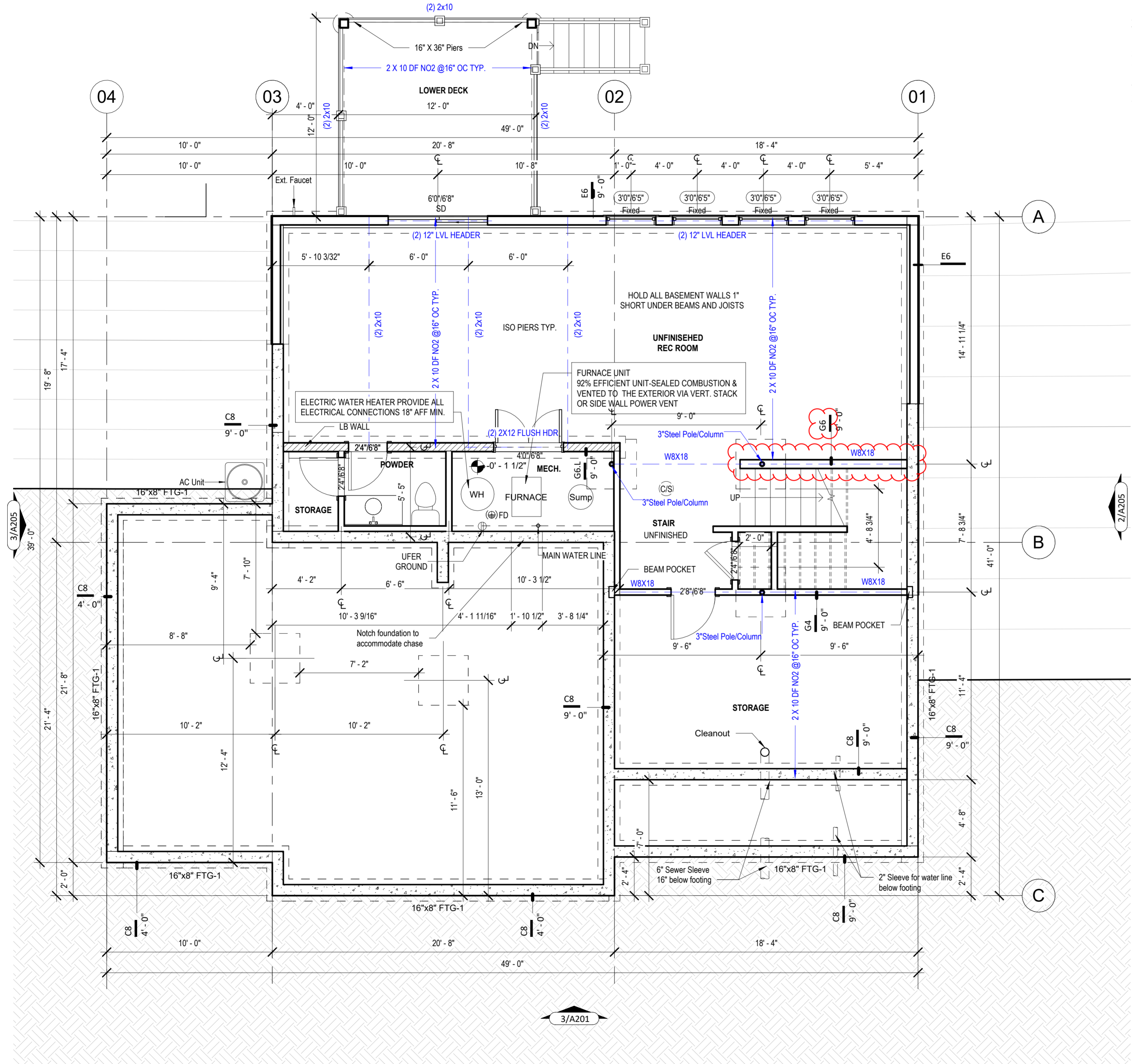
BEARING WALL HEADERS					
INTERIOR WALL (1 FLOOR)			EXTERIOR WALL (ROOF ONLY)		
SPAN	SIZE	NO. J.S.	SPAN	SIZE	NO. J.S.
0'-0" - 4'-5"	(2) 2x8	2	0'-0" - 5'-4"	(2) 2x8	2
4'-6" - 5'-5"	(2) 2x10	2	5'-5" - 6'-6"	(2) 2x10	2
5'-6" - 6'-3"	(2) 2x12	2	6'-7" - 7'-6"	(2) 2x12	2
INTERIOR WALL (2 FLOOR)			EXTERIOR WALL (ROOF + FLOOR)		
0'-0" - 3'-2"	(2) 2x8	2	0'-0" - 4'-6"	(2) 2x8	2
3'-3" - 3'-10"	(2) 2x10	3	4'-7" - 5'-6"	(2) 2x10	2
3'-11" - 4'-5"	(2) 2x12	3	5'-7" - 6'-5"	(2) 2x12	2
EXTERIOR WALL (ROOF + 2 FLOORS)					
0'-0" - 3'-9"	(2) 2x8	2			
3'-10" - 4'-7"	(2) 2x10	2			
4'-8" - 5'-3"	(2) 2x12	2			

**TYPICAL HEADER**

NOTES:

- NOT FOR OPEN WEB FLOOR TRUSS SYSTEMS
- BASED ON A MAXIMUM JOIST SPAN OF 18 FT.
- HEADERS SUPPORT FLOOR LOADS ONLY. RE: PLANS OR CONTACT ENGINEER IF ROOF LOADS NEED TO BE SUPPORTED
- FRAMER SHOULD CONSULT IRC TABLE R502.5(1) FOR LOAD BEARING HEADERS USING 30 PSF GROUND SNOW LOAD AND THE MAX. BUILDING WIDTH WITH FRAMER SHALL PROVIDE THE MORE STRINGENT CHOICE BETWEEN IRC TABLE AND THIS DETAIL.
- FRAMER SHALL CONTACT ENGINEER IF ENGINEERED LUMBER IS TO BE UTILIZED

**3 Bearing Wall Header Schedule**  
1 1/2" = 1'-0"



**1 Walkout Basement**  
1/4" = 1'-0"

Window Schedule - Walkout						
Window Type	Rough Opening		Head Height	Count	Level	
	Width	Height				
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor	
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor	
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor	
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level	
Fixed Window	3'-0"	6'-5"	6'-8"	8	Basement & Main Level	
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor	
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor	
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor	
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor	
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level	

Door Schedule - Walkout				
Door Type	Width	Height	Head Height	Count
Weyerhaeuser 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	6'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door W/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Architect:  
Elevate Design + Build  
350 SW Langview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Floor Plan - Basement

DATE ISSUED  
**10/8/2024**  
NORTH  
↑

DRAWING NUMBER  
**A102**

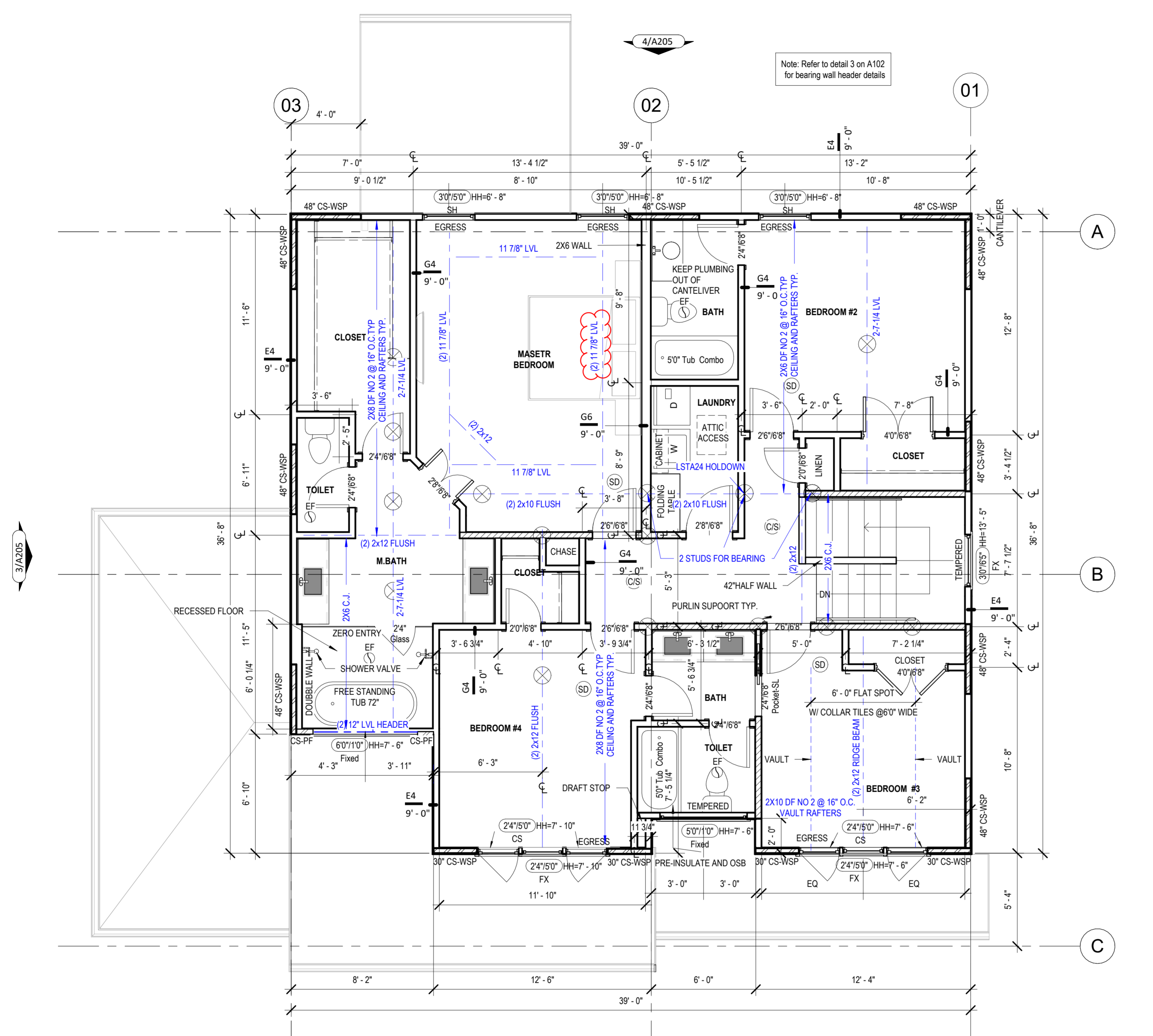






**General Notes:**

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  - SHOWER DOORS SHALL HAVE SAFETY GLAZING. HINGED SHOWER DOORS SHALL SWING OUTWARD.
- GARAGES**
- GARAGE SEPARATION WALL TO BE 1"R CONST. W/ MIN. 5/8" TYPE X GWS. EXTEND TO BOTTOM OF ROOF. DOOR TO BE 20 MIN RATED, 138" C.C. & EQUIPPED W/ CLOSURE & LATCH.
  - 15 & 20 AMP RECEPTACLES SHALL HAVE GFCI PROTECTION.
  - TYPE X 5/8" GB REQUIRED ON GARAGE CEILING BELOW LEVING AREAS.
- LIGHT AND VENTILATION**
- PROVIDE STAIRWAY ILLUMINATION PER R303.2.3
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  - VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3
  - PROVIDE MIN. 16" x 10" SOFFIT VENTS ALONG LEAVE SPACED EVENLY W/ NO MORE THAN 6" O.C.
- GYP/SUM BOARD**
- GWS APPLIED TO CEILINGS SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYP. CEILING BOARD.
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    - BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS.
  - ALL BRANCH CIRCUITS THAT SUPPLY 120-V. SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN:
    - BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FULTY CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
  - ALL 15 & 20 A RECEPT. SHALL BE LISTED TAMPER-RESISTANT.
    - EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED: TAMPER-RESISTANT.
      - RECEPTACLES LOCATED MORE THAN 5 FEET AP.
      - WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCES TO BE CORD-N-PLUG CONNECTED TO RECEPT.
- EXTERIOR WALL FRAMING**
- BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL.
  - SILL PLATES SHALL BE FASTENED TO FOUNDATION WITH 6# NAILS ABOVE GRADE.
  - ALL EXT. STUDS TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16# NAILS (MIN).
  - ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16" OSB NAILING SCHEDULE SHALL BE AS COMMON @ 16" O.C. ALONG EDGES & COMMON @ 12" O.C. @ INTERMEDIATE STUDS.
- ROOF FRAMING**
- ALL ROOF EAVES OVERHANGS TO BE 16" LONG.
  - ALL JOISTS & RAFTERS TO BE ALIGNED OVER SLDS.
  - ROOF SHEATHING SHALL BE 7/16" OSB LAD W/ LONG DIMENSION PERPENDICULAR TO RAFTER LINE & STAGED @ 16" O.C. W/ LONG DIMENSION PERPENDICULAR TO RAFTER LINE & STAGED @ 16" O.C. W/ GALLY SPACER CLIPS ALONG ALL EDGES. SECURE SHEATHING W/ COMMON NAILS TO RAFTERS AT 16" O.C. ALL EDGES.
- UNFINISHED BASEMENT REQUIREMENTS**
- FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES CONSTRUCTED W/ JOISTS LESS THAN 2X10 DIMENSIONAL LUMBER.
  - JOISTS OR OPEN WEB JOISTS OVER UNFINISHED BASEMENTS SHALL BE PROVIDED WITH 5/8" GWS.
  - UNFINISHED BASEMENTS SHALL BE MIN. R-13 INSULATED WALL OR INSULATED OH FLOORCEILING (MIN R-19).
  - ALL EXPOSED HVAC DUCTING IN UNFINISHED BASEMENTS TO BE MIN R-8 INSULATED OR ENCLOSED INSIDE A FLOORCEILING.
  - UNFINISHED BASEMENTS SHALL HAVE NO CONDITIONED AIR OUTLETS.
- EROSION CONTROL**
- EROSION CONTROL MEASURES SHALL BE IN PLACE & IN GOOD WORKING ORDER AT ALL TIMES DURING INSPECTIONS. IN THE EVENT THAT THEY ARE NOT, THE INSPECTOR MAY CANCEL THE INSPECTION UNTIL SUCH TIME THE EROSION CONTROL MEASURES ARE IN PLACE. A FINE, RE-INSPECTION FEE & STOP WORK ORDER MAY BE ISSUED IF EROSION CONTROL IS NOT ADDRESSED. MINIMUMS INCLUDE:
    - A. SILT FENCE OR STRAW WATTLE AROUND ALL DISTURBED SOIL. SHALL BE IN PLACE BEFORE ANY EXCAVATION BEGINS.
    - B. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THIS ENTRANCE SHOULD BE THE ONLY ENTRANCE & EXIT USED FOR VEHICLES INTO & OUT OF THE SITE.
    - C. STREETS SHALL BE MAINTAINED FREE OF ALL SOIL & GRAVEL IN A BROOM CLEAN CONDITION AT ALL TIMES.
- WOOD FRAMING, FLOORS AND ROOF NOTES**
- EXT. WALL FRAMING TO BE 2x4 (SYP OR DFL, STUD GRADE 2 OR BETTER) @ 16" O.C.
  - ROOF SHEATHING TO BE 7/16" OSB NAILED W/ 8# @ 16" O.C. PANEL INDEX 240; PROVIDE CLIPS AT INSULATED PANEL EDGES.
  - SHEATH EXT. WALLS W/ 7/16" OSB NAILED W/ 8# @ 16" O.C.
  - HEADERS: PROVIDE 2x4 (SYP OR DFL, 2 OR BETTER) UNID. CONSTRUCT HEADERS W/ 2x8 & 7/16" OSB BETWEEN W/ (2) ROWS OF 16# @ 16" O.C.
  - BLOODING MIN. 1.5 INCHES UTILITY GRADE LUMBER JOISTS TO BE SUPPORTED AT ENDS FULL DEPTH SOLID BLOODING MIN. 5 INCHES.
  - J.F.I., J.C.I. & RAFTERS TO BE SYP OR DFL, GRADE #2 OR BETTER.
  - EXT. WALL STUDS & LOAD BEARING WALLS TO BE CONTINUOUS FROM FLOOR TO ROOF/CEILING DIAPHRAGM PER R303.3.
  - STUDS, RAFTERS, JOISTS, MIS. LUMBER MIN. GRADE #2 D.F. OR S.Y.P.
- PHYSICAL SECURITY ORDINANCE**
- OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION.



1 Second Floor Plan  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Langview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com



AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

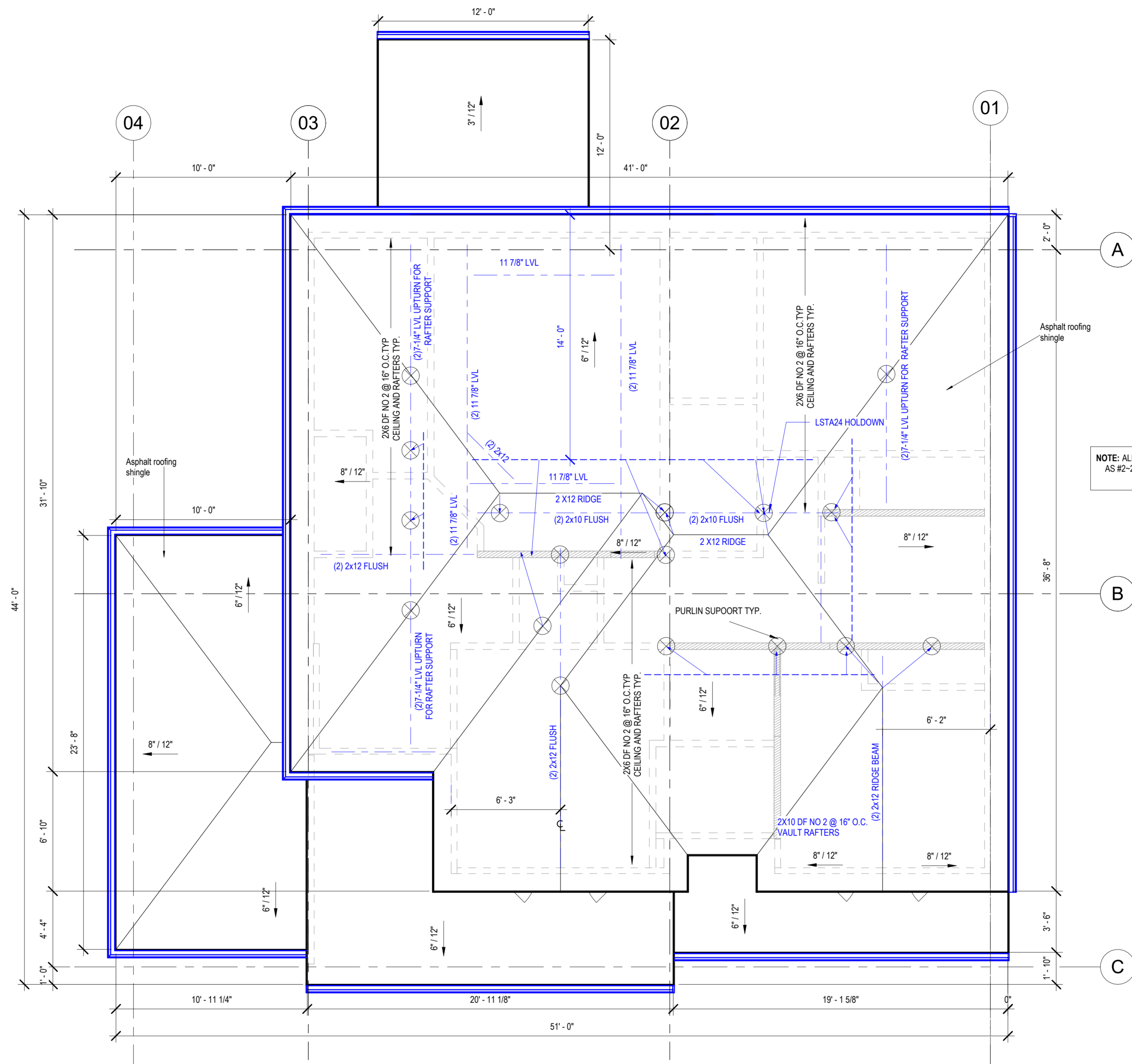
PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Floor Plan - Second Floor

DATE ISSUED  
10/8/2024  
NORTH  
↑

DRAWING NUMBER  
**A104**



# North Bend



NOTE: ALL THE HIP AND VALLEY RAFTERS AS #2-2x8 DFL ALL COMMON RAFTERS TO BE #2-2x6 @ 16" O.C. U.N.O.

1 Roof Plan  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

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REVISIONS		
Number	DESCRIPTION	DATE

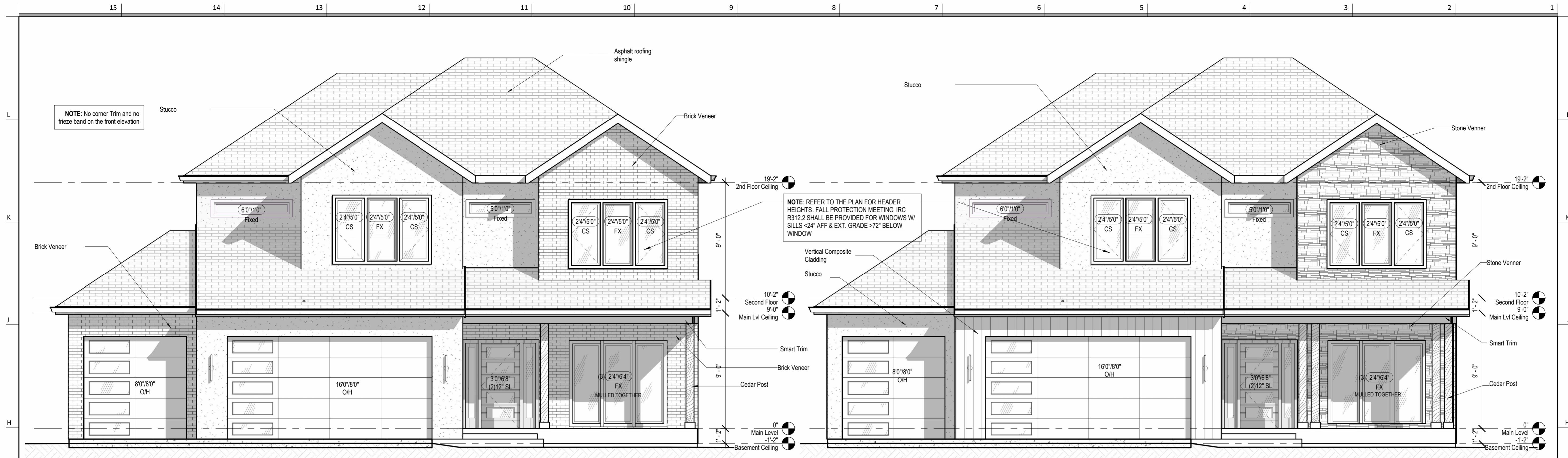
PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Roof Plan

DATE ISSUED  
10/8/2024

NORTH  
↑

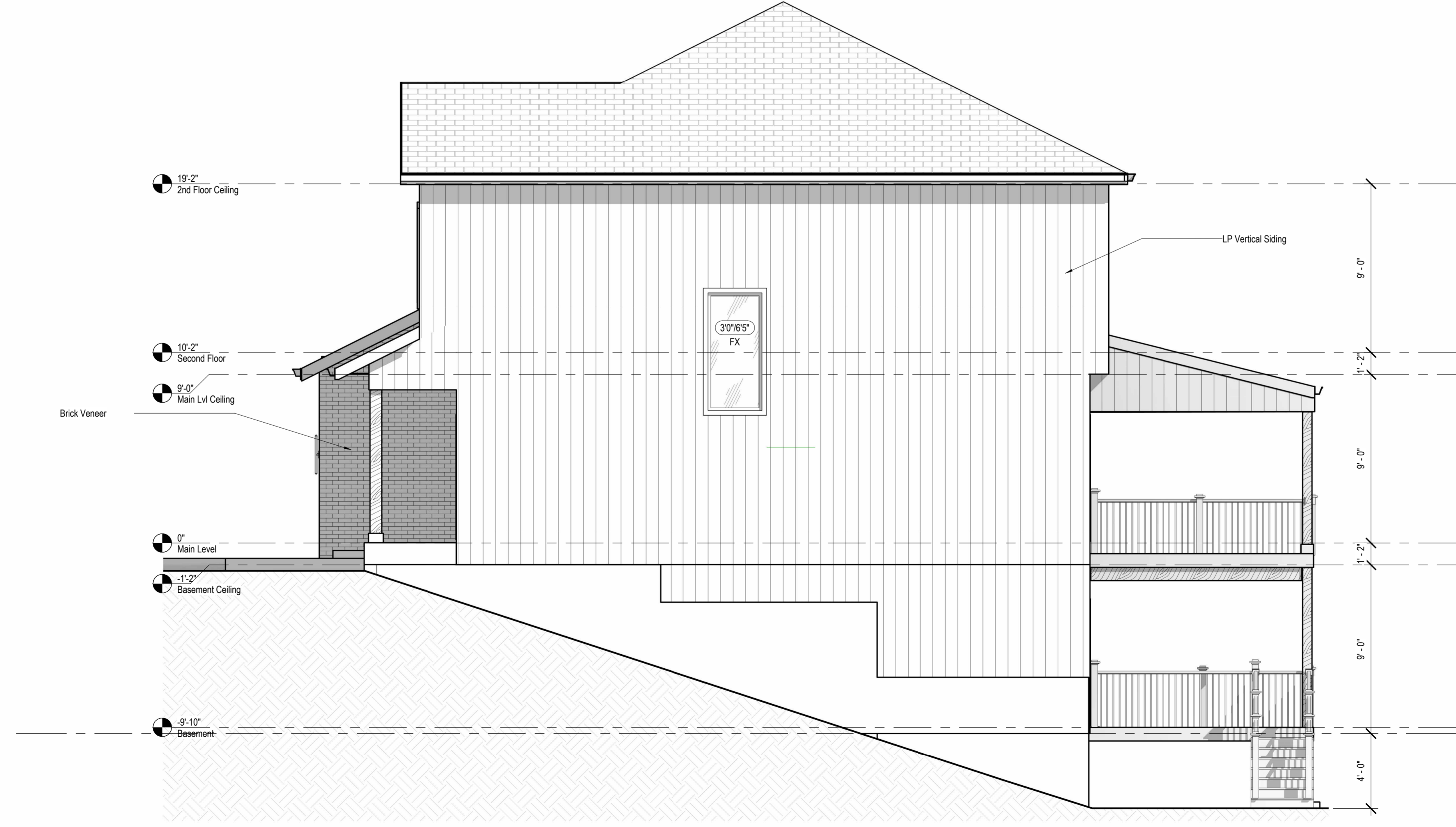
DRAWING NUMBER  
**A105**





② Front Elevation-Option A  
1/4" = 1'-0"

③ Front Elevation-Option B  
1/4" = 1'-0"



① Left Elevation  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
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www.elevatedesignbuildkc.com

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REVISIONS		
Number	DESCRIPTION	DATE

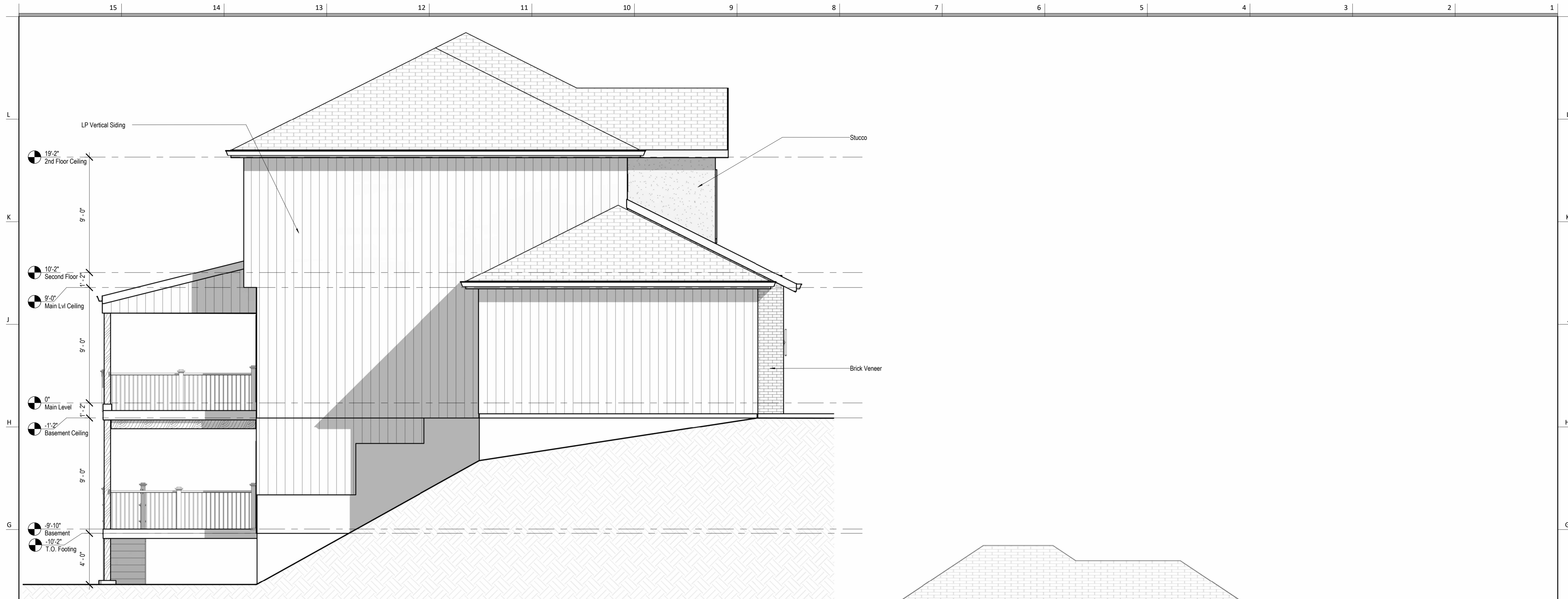
PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Elevations

DATE ISSUED  
10/3/2024

DRAWING NUMBER  
**A201**



**North Bend**



1 Right Elevation  
1/4" = 1'-0"



2 Rear Elevation  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

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AUGUST 13, 2024

REVISIONS

Number	DESCRIPTION	DATE
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PROJECT

Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE

Elevations

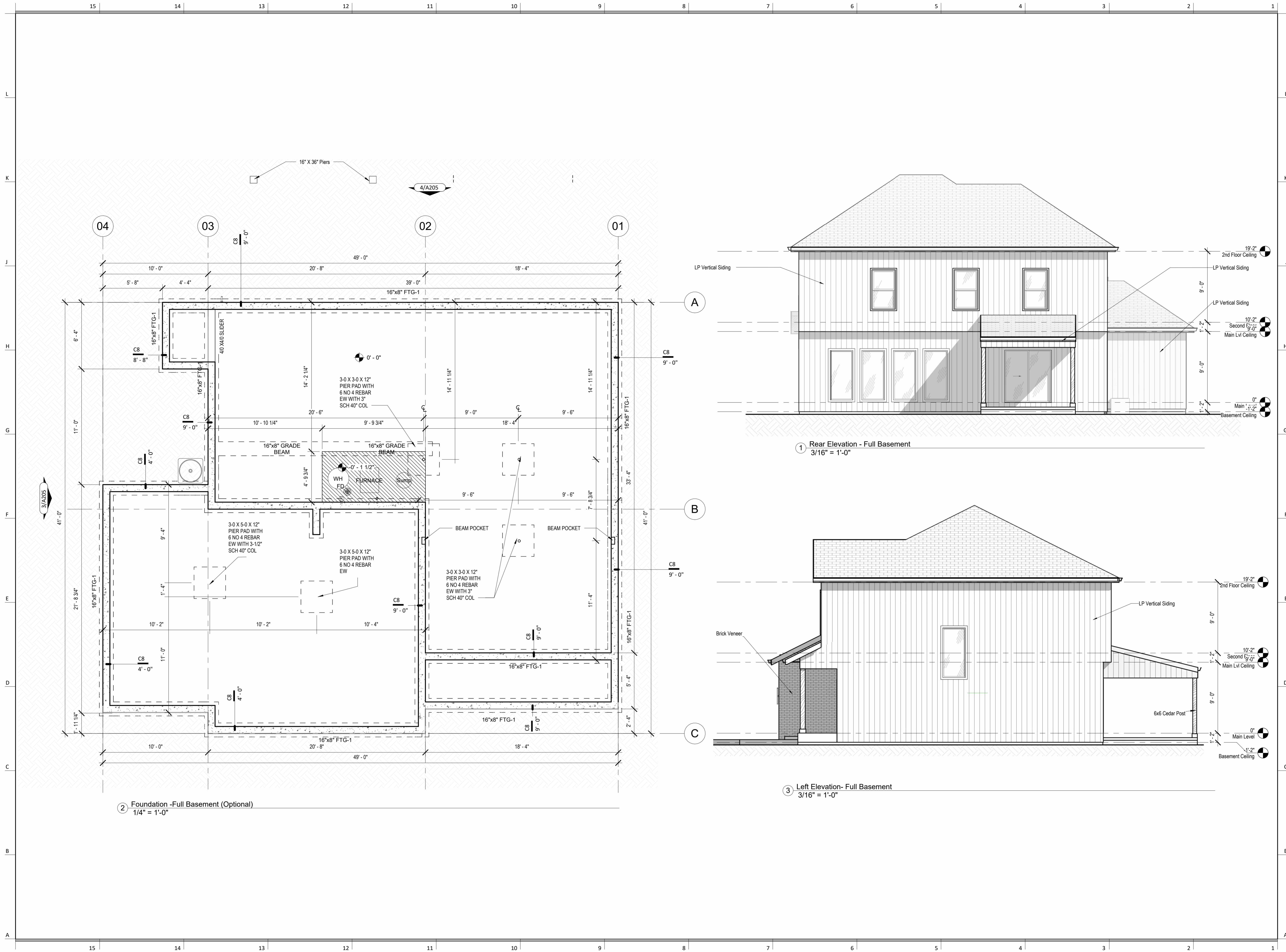
DATE ISSUED

10/8/2024

DRAWING NUMBER

**A202**





1 Rear Elevation - Full Basement  
3/16" = 1'-0"

3 Left Elevation - Full Basement  
3/16" = 1'-0"

2 Foundation - Full Basement (Optional)  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

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REVISIONS

Number	DESCRIPTION	DATE

PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Floor Plan & Elevations-Full  
Basement 1

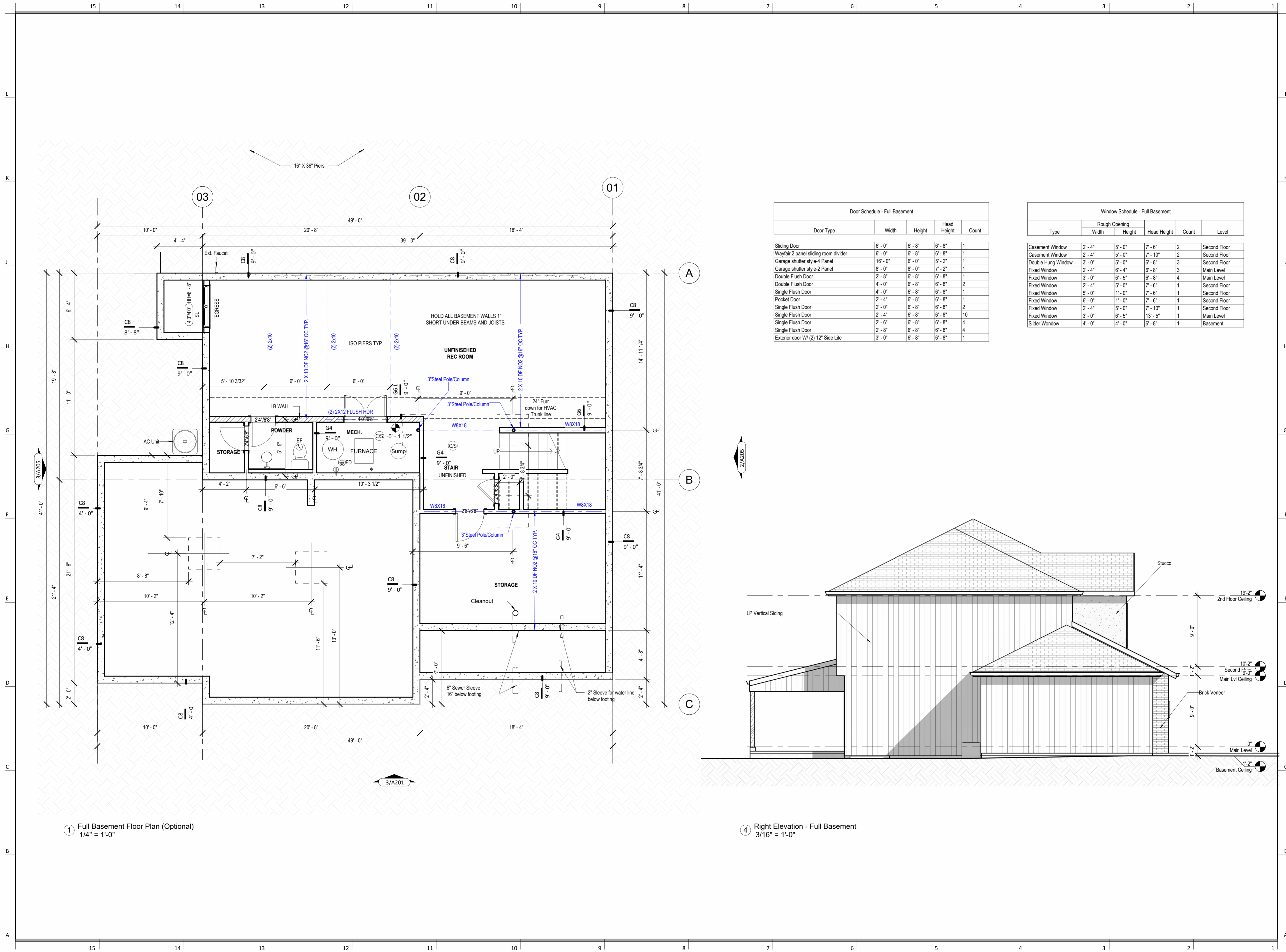
DATE ISSUED  
10/3/2024



DRAWING NUMBER

**A203**





Door Schedule - Full Basement				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfair 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Window Schedule - Full Basement					
Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level
Slider Window	4'-0"	4'-0"	6'-8"	1	Basement

1 Full Basement Floor Plan (Optional)  
1/4" = 1'-0"

4 Right Elevation - Full Basement  
3/16" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
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REVISIONS		
Number	DESCRIPTION	DATE

PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Floor Plan & Elevations-Full  
Basement 2

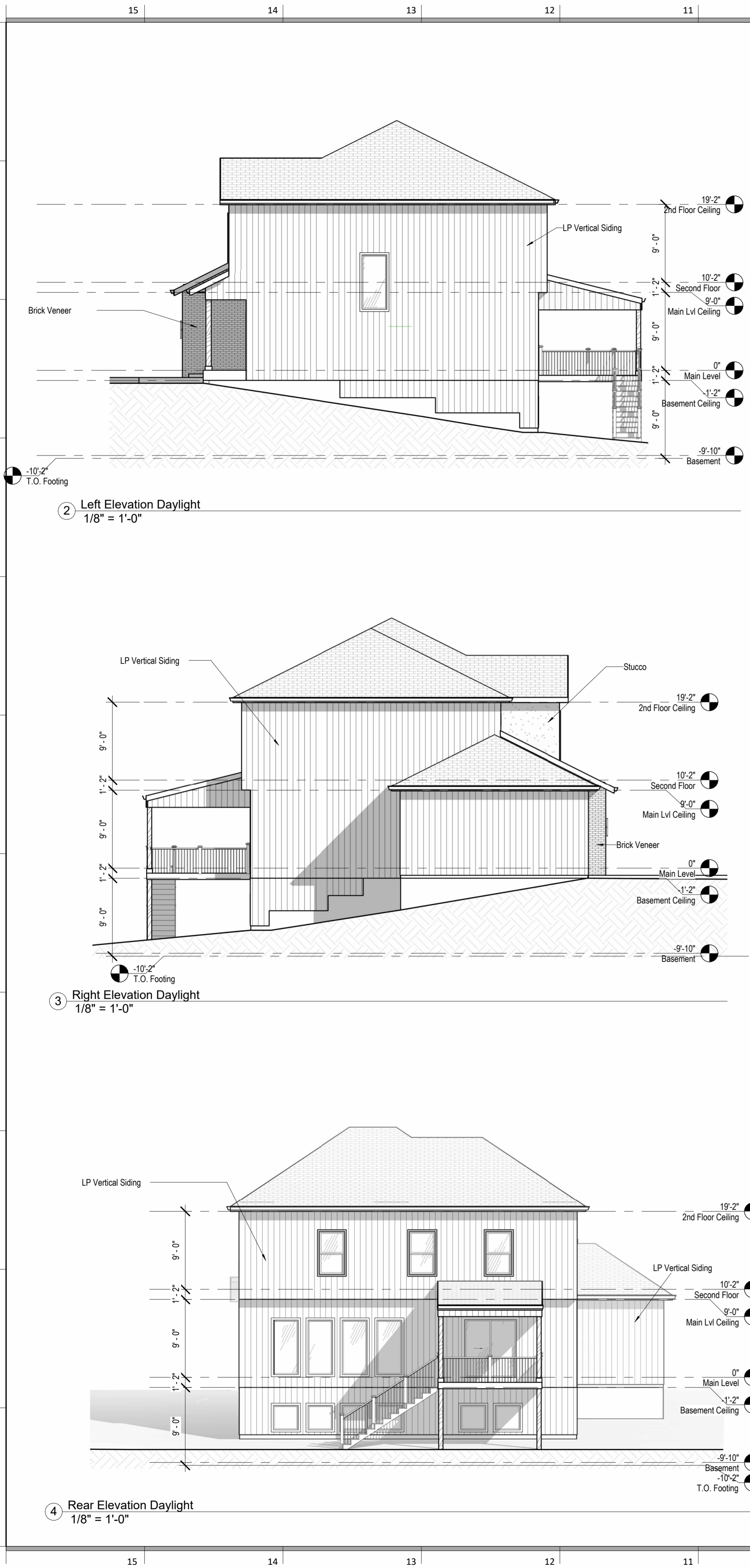
DATE ISSUED  
10/8/2024



DRAWING NUMBER

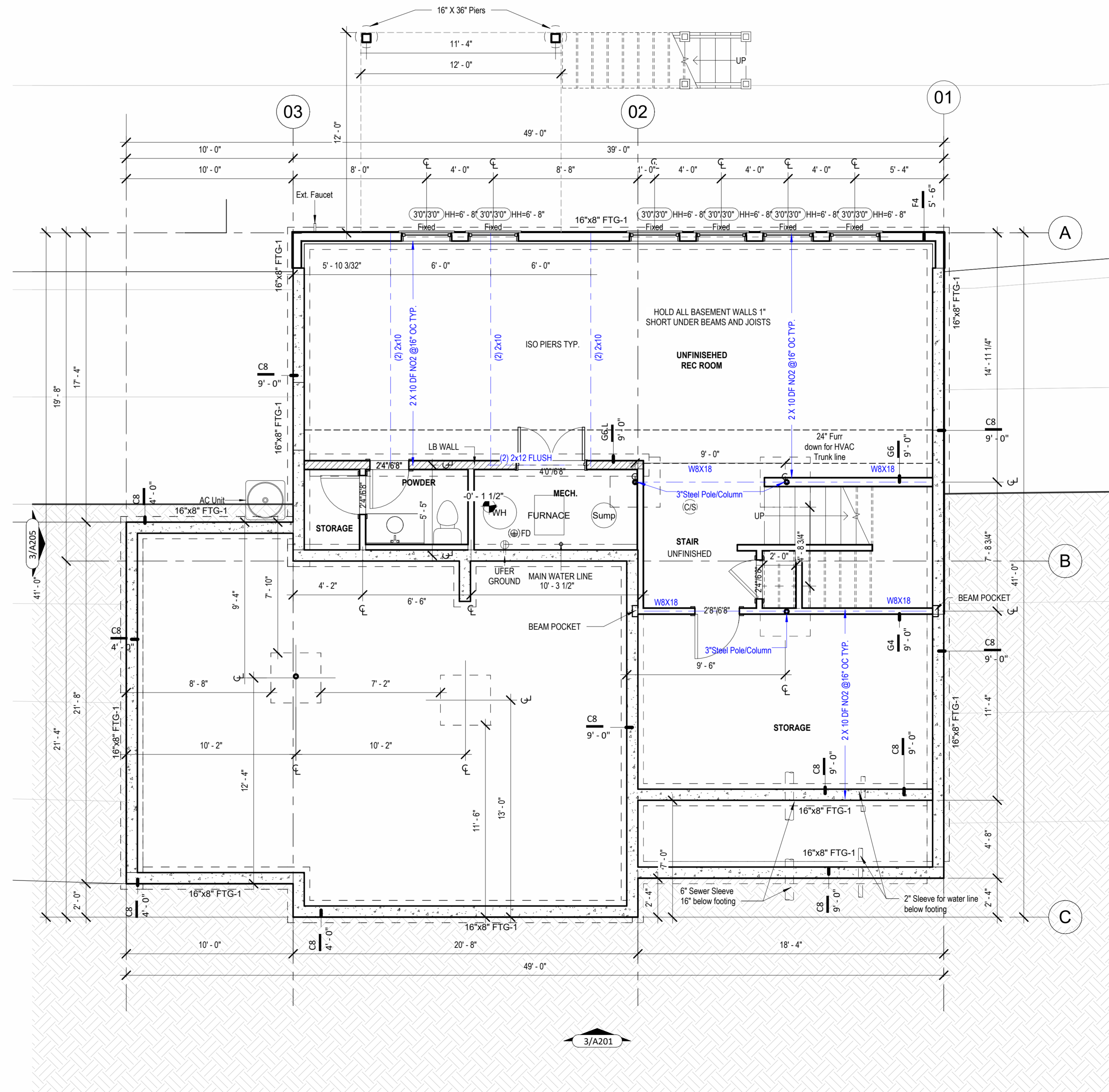
A204





Door Schedule - Daylight				
Door Type	Width	Height	Head Height	Count
Sliding Door	6'-0"	6'-8"	6'-8"	1
Wayfar 2 panel sliding room divider	6'-0"	6'-8"	6'-8"	1
Garage shutter style-4 Panel	16'-0"	6'-0"	5'-2"	1
Garage shutter style-2 Panel	8'-0"	8'-0"	7'-2"	1
Double Flush Door	2'-8"	6'-8"	6'-8"	1
Double Flush Door	4'-0"	6'-8"	6'-8"	2
Single Flush Door	4'-0"	6'-8"	6'-8"	1
Pocket Door	2'-4"	6'-8"	6'-8"	1
Single Flush Door	2'-0"	6'-8"	6'-8"	2
Single Flush Door	2'-4"	6'-8"	6'-8"	10
Single Flush Door	2'-6"	6'-8"	6'-8"	4
Single Flush Door	2'-8"	6'-8"	6'-8"	4
Exterior door w/ (2) 12" Side Lite	3'-0"	6'-8"	6'-8"	1

Window Schedule - Daylight					
Window Type	Rough Opening		Head Height	Count	Level
	Width	Height			
Casement Window	2'-4"	5'-0"	7'-6"	2	Second Floor
Casement Window	2'-4"	5'-0"	7'-10"	2	Second Floor
Double Hung Window	3'-0"	5'-0"	6'-8"	3	Second Floor
Fixed Window	2'-4"	6'-4"	6'-8"	3	Main Level
Fixed Window	3'-0"	3'-0"	6'-8"	6	Basement
Fixed Window	3'-0"	6'-5"	6'-8"	4	Main Level
Fixed Window	2'-4"	5'-0"	7'-6"	1	Second Floor
Fixed Window	5'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	6'-0"	1'-0"	7'-6"	1	Second Floor
Fixed Window	2'-4"	5'-0"	7'-10"	1	Second Floor
Fixed Window	3'-0"	6'-5"	13'-5"	1	Main Level



**1 Basement Floor Daylight (Optional)**  
1/4" = 1'-0"

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuildkc.com

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AUGUST 13, 2024

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199  
DRAWING TITLE  
Floor Plan & Elevations-Daylight

DATE ISSUED  
**10/3/2024**

DRAWING NUMBER

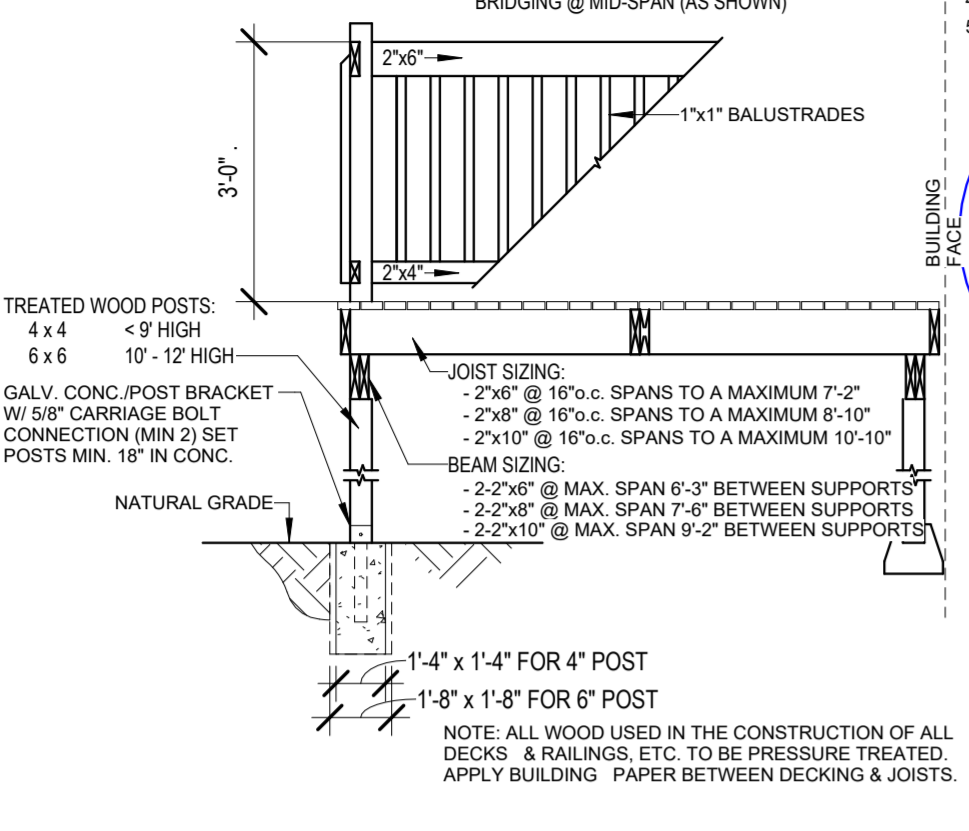
**A205**

10/09/2024

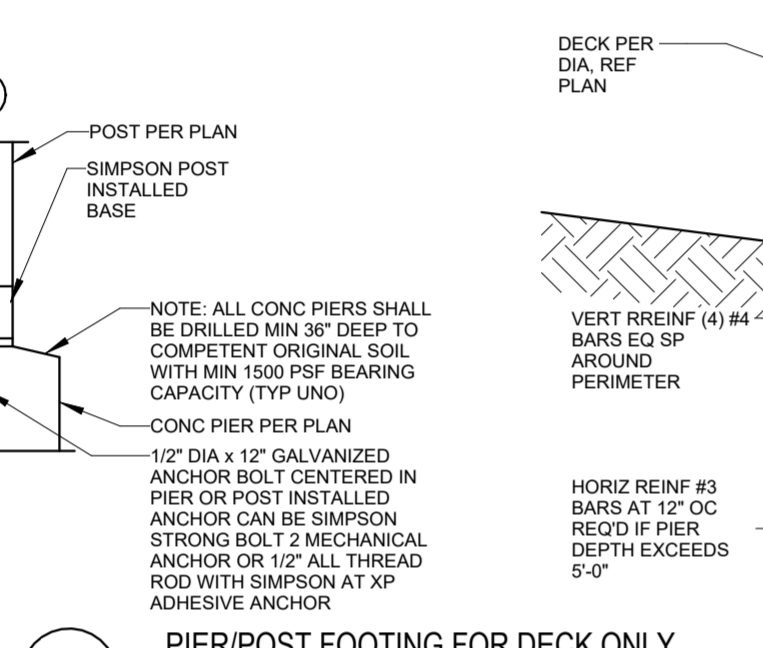


15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

**NOTE**  
-WHERE ADJACENT GRADE IS 2'-0" OR LESS A GUARD IS NOT REQUIRED.  
-DECK DESIGN LOAD IS BASED ON 100 lbs/sq.ft. AS PER NATIONAL BUILDING CODE.  
-WHERE JOIST SPAN EXCEEDS 7'-0", PROVIDE BRIDGING @ MID-SPAN (AS SHOWN)

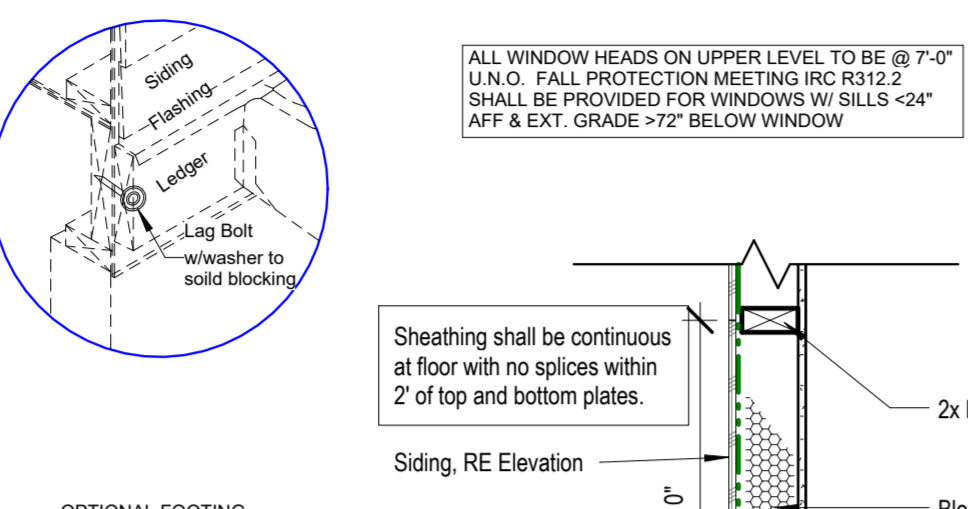


**M TYPICAL RAISED WOOD DECK FRAMING** N.T.S.

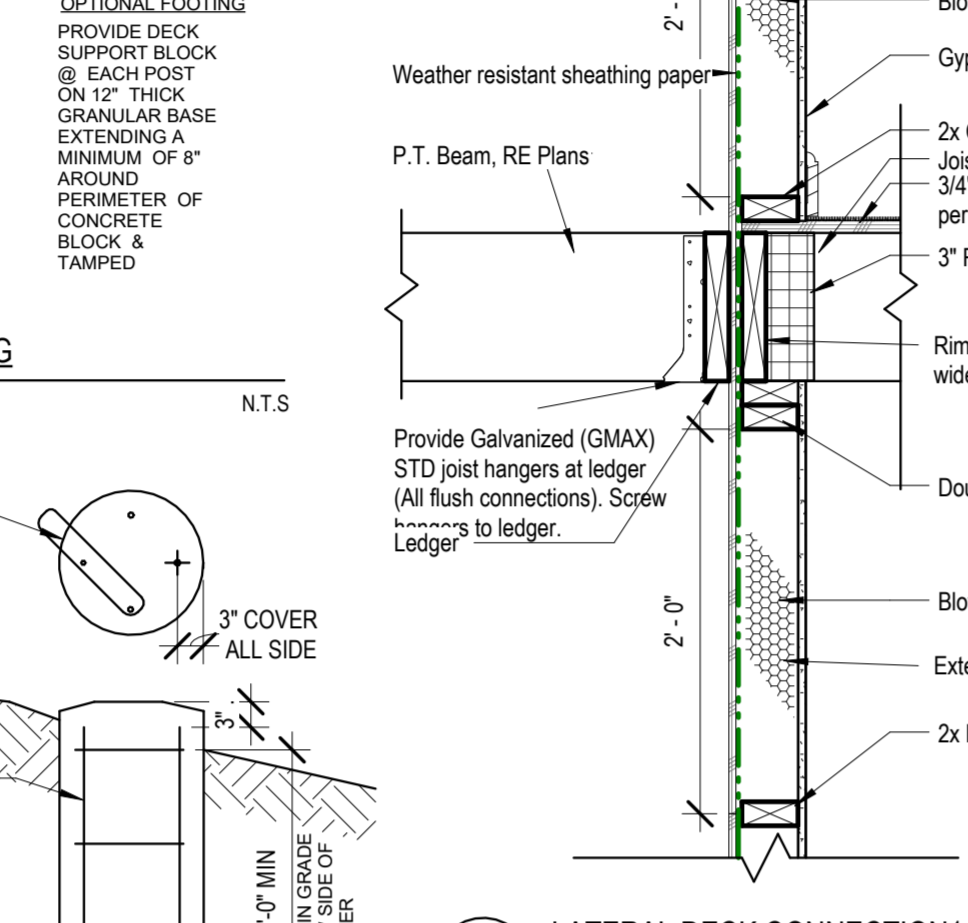


**G PIER/POST FOOTING FOR DECK ONLY** N.T.S.

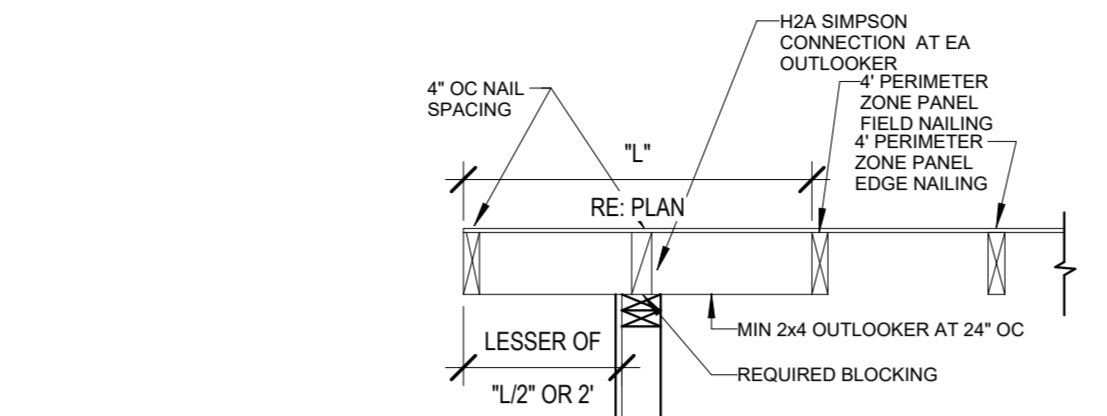
**DECK LEDGER ATTACHMENT**  
1. (2) LAGS REQUIRED AT EA. END 2" FROM ENDS  
2. PROVIDE 1 x 4 TREATED SPACED BEHIND EA. LAG  
3. PROVIDE LAGS IN EA. JOIST SPACE W/ (2) EVERY OTHER SPACE, 2" FROM EDGES  
4. MIN. SIZE LAG IS 1/2" DIA. x 6" LENGTH  
5. PROVIDE FLASHING BETWEEN RM. JOIST & LEDGER



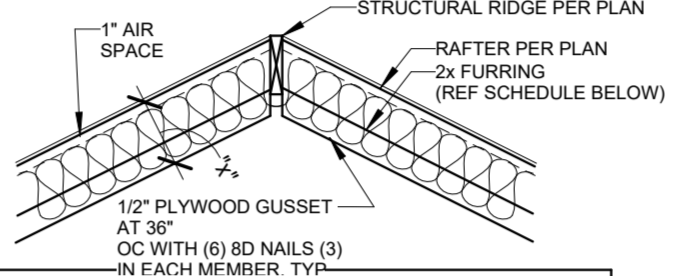
**L GABLE END FRAMING REQUIREMENTS** N.T.S.



**N LATERAL DECK CONNECTION** N.T.S.

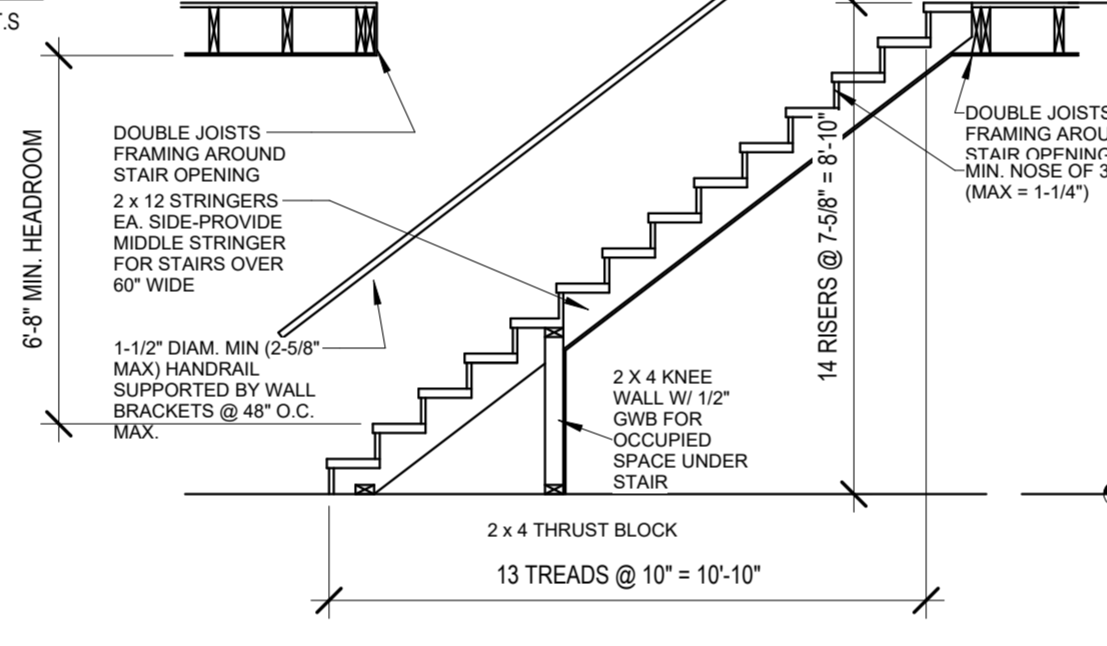


**K LP/SMARTSIDE NAILING PATTERN** N.T.S.

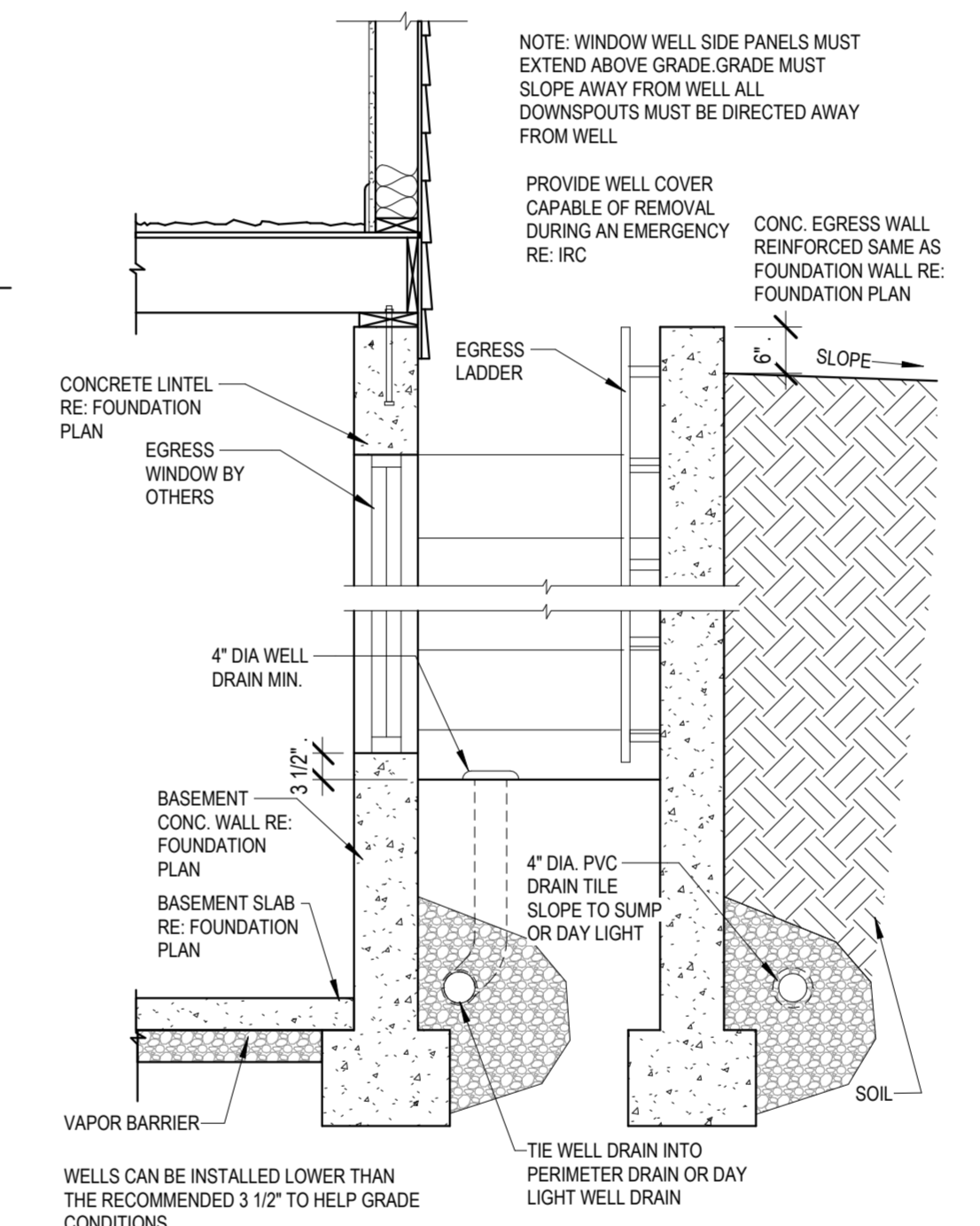


RAFTER SIZE	R-30C INSULATION (X" = 9" 14R-30C INSULATION (X" = 11" 14")
2x6	2x6
2x8	2x8
2x10	NOT REQUIRED
2x12	NOT REQUIRED

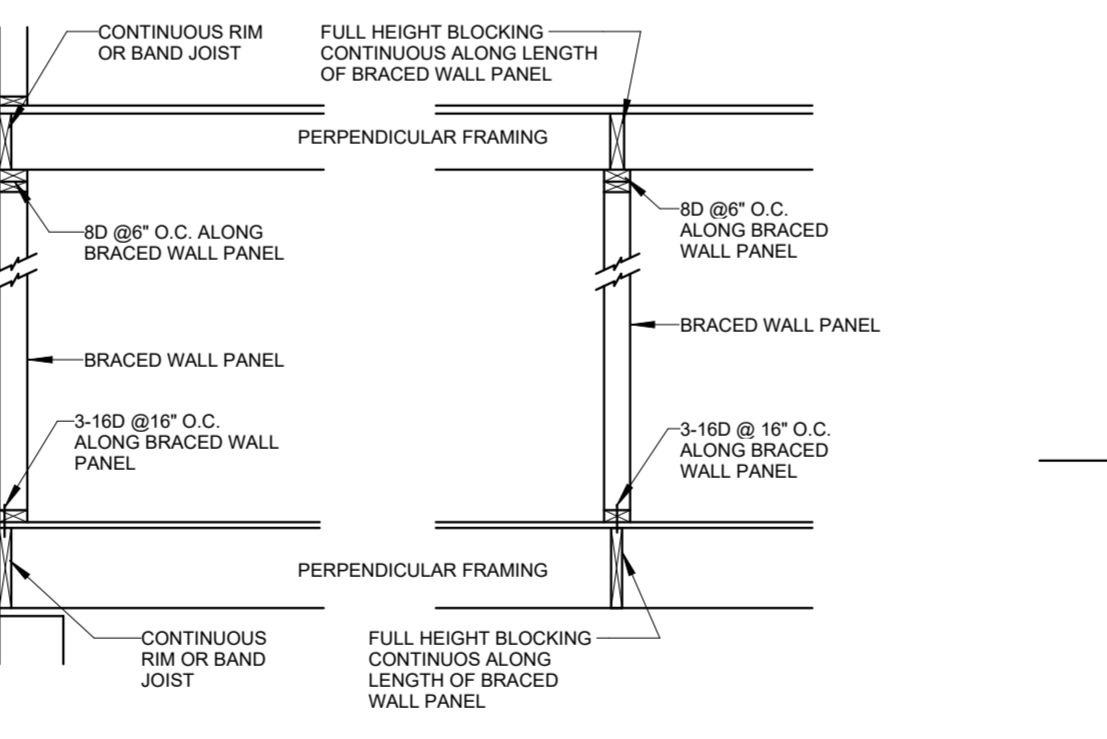
**H FUR DOWN RAFTER REQUIREMENTS** N.T.S.



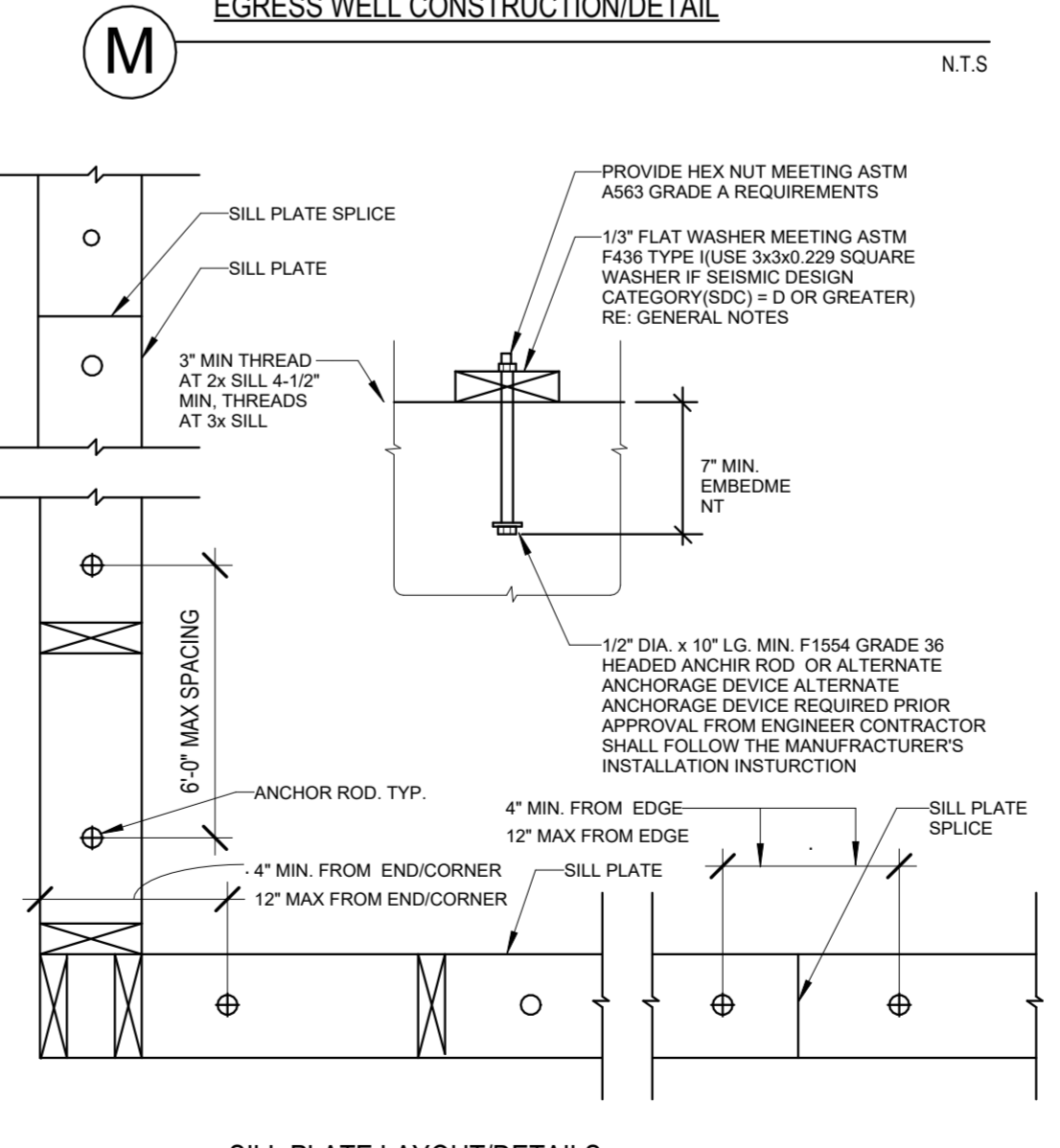
**E TYP. STAIR SECTION/REQUIREMENTS** N.T.S.



**M EGRESS WELL CONSTRUCTION/DETAIL** N.T.S.



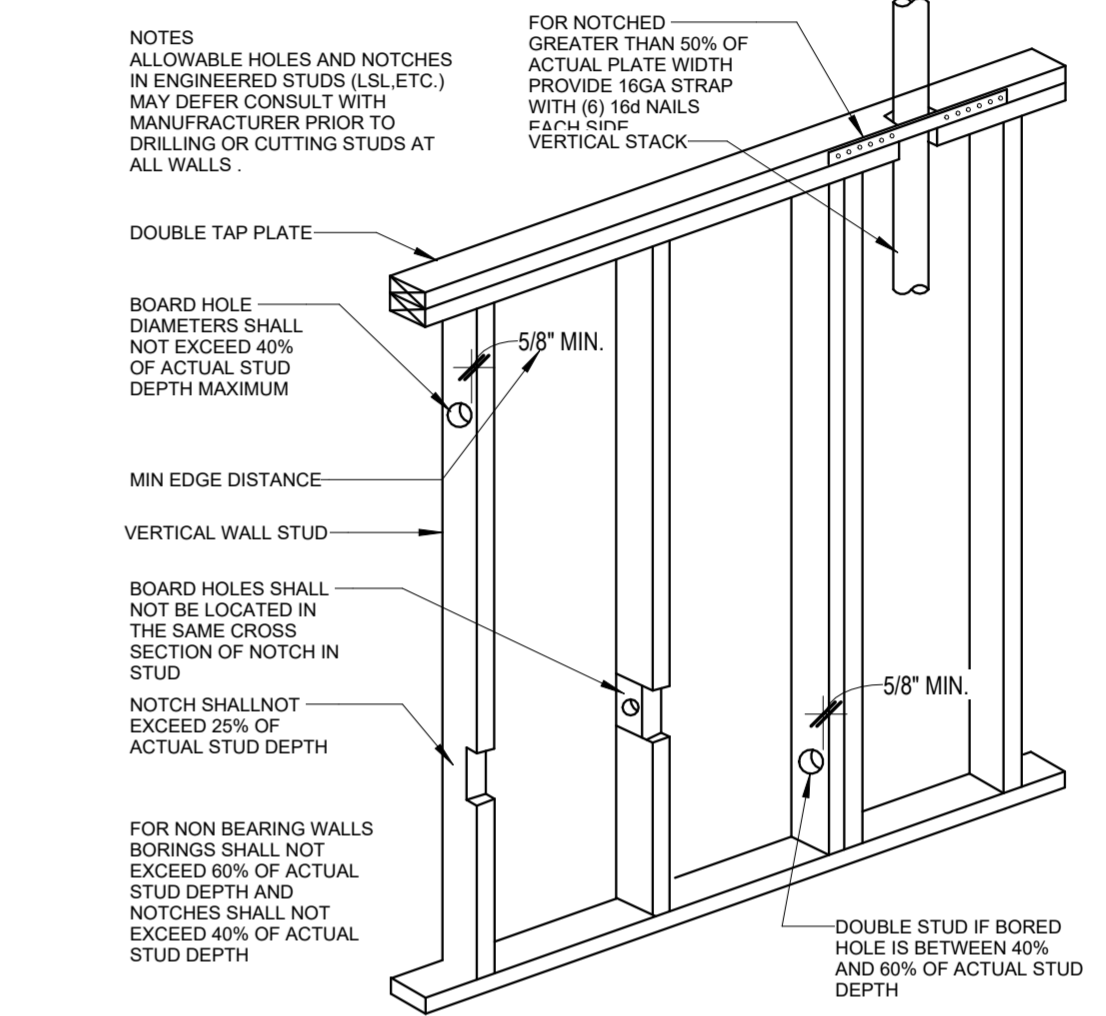
**C BRACED WALL SEGMENT ATTACHMENT CEILING/FLOOR** N.T.S.



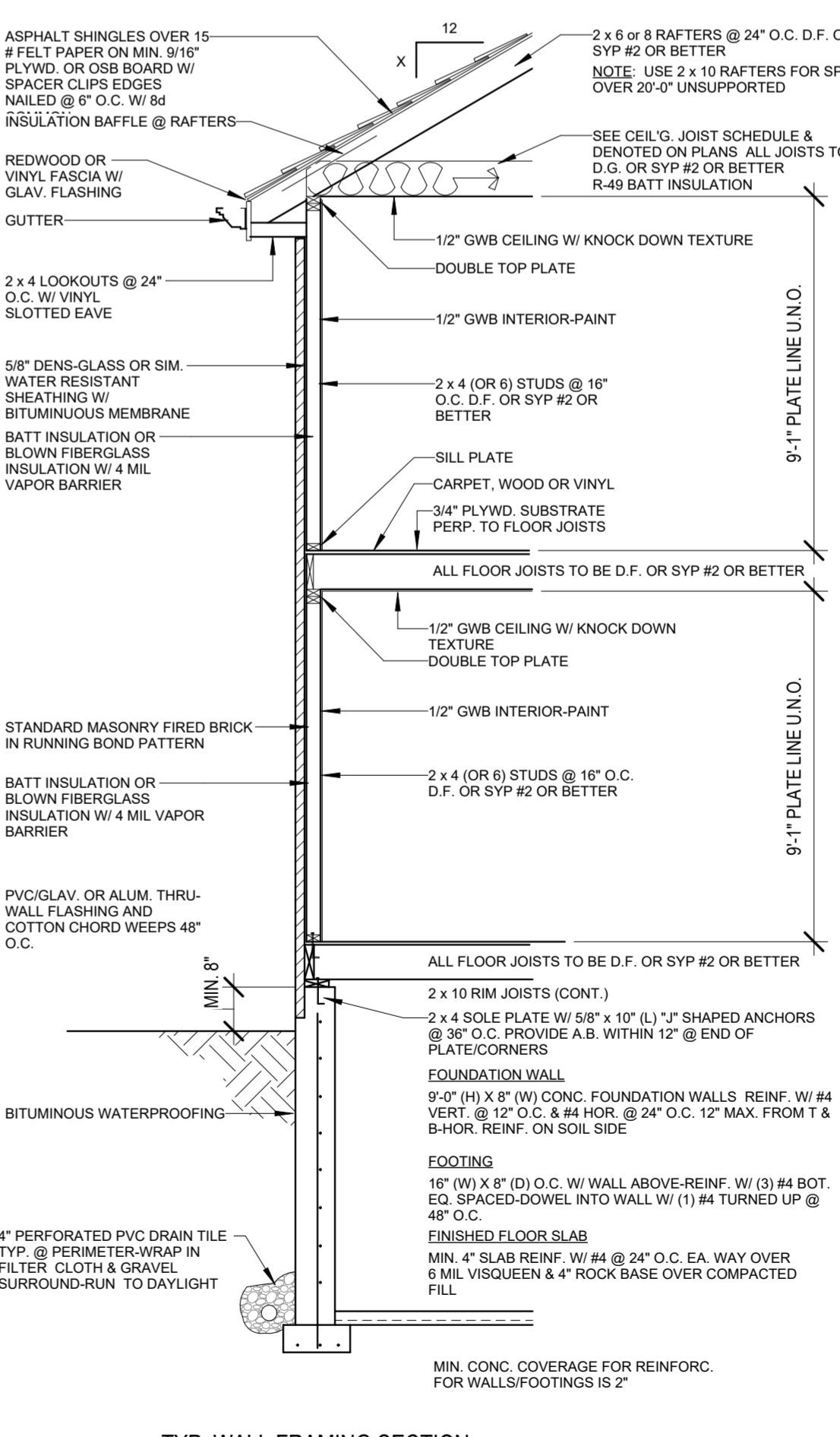
**B SILL PLATE LAYOUT/DETAILS** N.T.S.

**SMOKE & CARBON MON. DETECTOR REQ'S**  
1. SMOKE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND COMPLY WITH SECTION R314 COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE IN ACCORDANCE WITH UL 217 & UL 2034  
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
a. IN EACH SLEEPING ROOM  
b. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS  
c. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS  
3. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITH AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3 THE ALARM DEVICE SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL UNIT.

**J SMOKE & CARBON MON. DETECTOR REQ'S** N.T.S.



**F NOTCHING REQUIREMENTS PER IRC** N.T.S.



**A TYP. WALL FRAMING SECTION** N.T.S.

**GENERAL NOTES AND REQUIREMENTS**

**DOORS AND WINDOWS:**  
1. ALL GLAZING WITHIN 12" OF THE FINISHED FLOOR ADJACENT TO DOORS <24\"/>

**GARAGES:**  
1. GARAGE SEPARATION WALL TO BE 1-HR CONST. W/ MIN. 5/8\"/>

**LIGHT AND VENTILATION:**  
1. PROVIDE SWAYWAY ILLUMINATION PER R303.7.9  
2. GABLE VENT & MUSHROOM VENTS TO PROVIDE A MIN. OF 10 S.F. NET-FREE OF ATTIC VENTILATION  
3. FURNACES ENCLOSED IN A ROOM LESS THAN 100 S.F. SHALL BE PROVIDED W/ A MEANS OF COMBUSTION MAKE-UP AIR AS DETERMINED/CALCULATED AND PRESCRIBED BY MECH. CONTRACTOR  
4. VENTILATE KITCHENS AND LAUNDRY ROOMS PER R303.3  
5. PROVIDE MIN. 18\"/>

**GYPSUM BOARD:**  
1. G.B. APPLIED TO CEILING SHALL BE 1/2\"/>

**MECHANICAL SYSTEMS**  
1. FURNACE & WATER HEATER SHALL BE ON 18\"/>

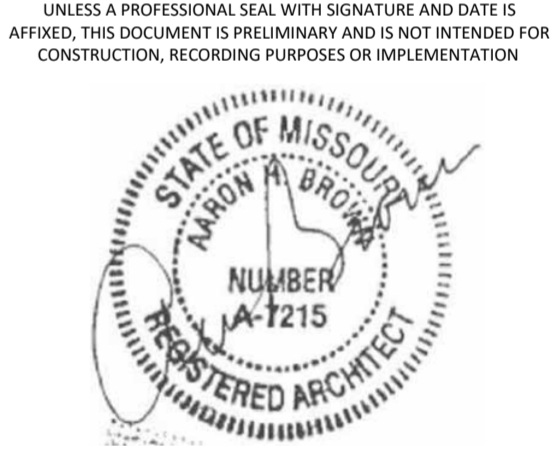
**ELECTRICAL SYSTEMS**  
1. PROVIDE UFER GROUND ENCASED IN CONCRETE FOOTING IN ACCORDANCE WITH IRC SECTION 3608.1  
2. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER  
3. RECEPT. IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BEDROOM, KITCHEN (W/IN 6 FEET OF SINK), GARAGE, SHED, EXTERIOR, UNFINISHED BASEMENT & HEATED FLOORS  
4. ALL BRANCH CIRCUITS THAT SUPPLY 120-V, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS & SIM. ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULL-CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.  
5. ALL 15 & 20-A RECEPT. SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE RATED TAMPER-RESISTANT:  
1. RECEPTACLES LOCATED MORE THAN 5.5 FEET AFF.  
2. WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED & UNDER CONDITIONS OF NORMAL USE, THE APPLIANCE ARE NOT EASILY MOVED. APPLIANCE TO BE GROUND-FULG  
1. BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL  
2. SILL PLATES SHALL BEAR EXTEND MIN. 6-INCHES ABOVE GRADE  
3. ALL EXT. STUD TO BE SECURED TO THEIR DOUBLE TOP PLATES W/ (2) 16-d NAILS (MIN)  
4. ALL EXTERIOR CORNERS TO BE BRACED WITH 7/16\"/>

**WOOD FRAMING, FLOORS AND ROOF NOTES**  
1. EXT. WALL FRAMING TO BE 2 x 4 (SYP OR DFL) STUD GRADE 2 OR BETTER @ 16\"/>

**STEEL COLUMNS & OTHER BASEMENT/FOUNDATION NOTES**  
1. ALL STEEL PIPE COLUMNS TO BE 3\"/>

**PHYSICAL SECURITY ORDINANCE**  
1. OWNER/BUILDER IS RESPONSIBLE FOR COMPLIANCE OF PHYSICAL SECURITY ORDINANCE FOR THEIR LOCAL JURISDICTION

architect:  
Elevate Design + Build  
350 SW Longview Blvd  
Lee's Summit, MO 64081  
816.622.8826 voice  
www.elevatedesignbuild.com



AUGUST 13, 2024

Number	DESCRIPTION	DATE

**PROJECT**  
Address : 2230 SW Crown Drive,  
Lee's Summit, MO  
Lot : HF 199

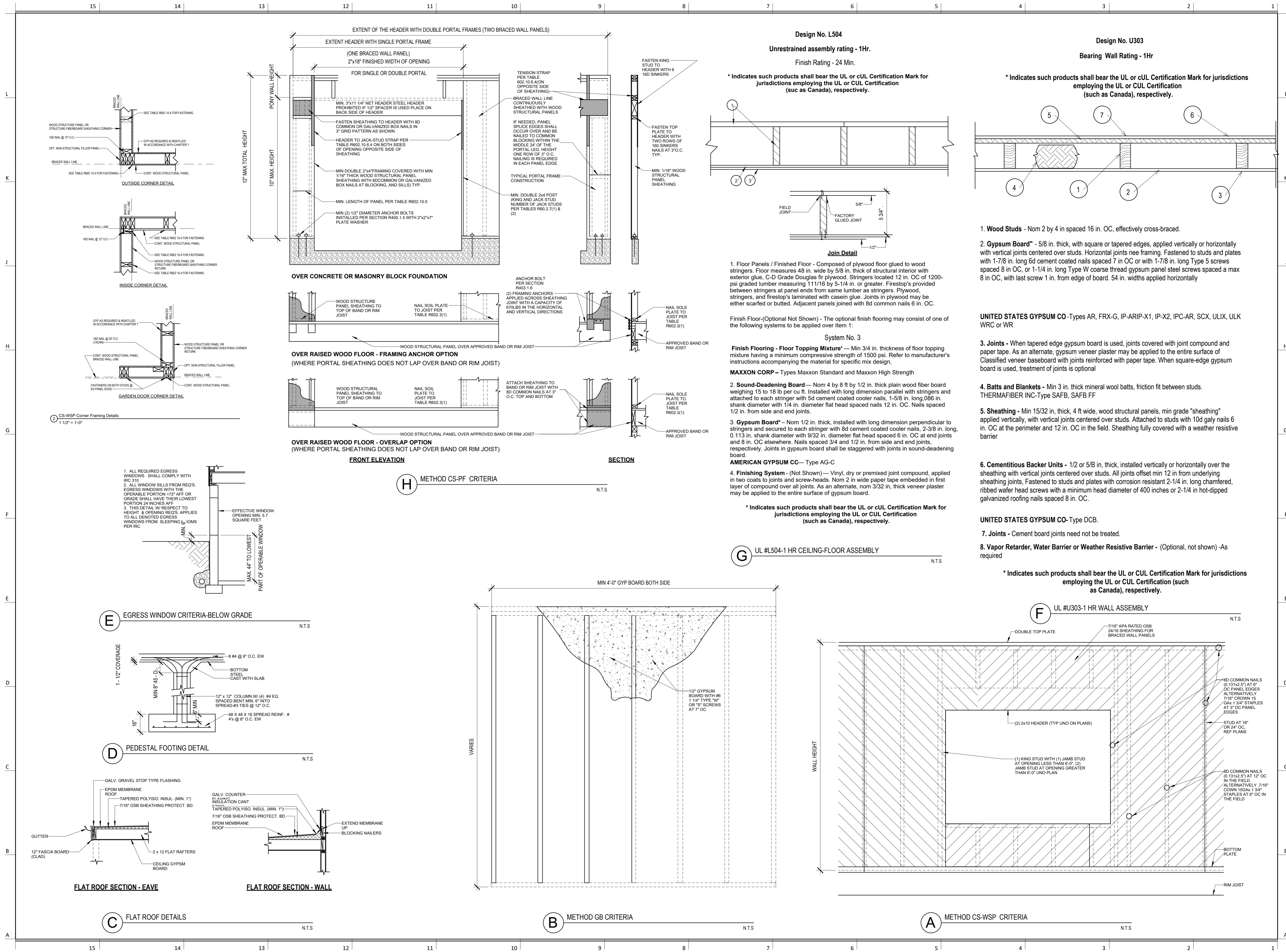
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A501

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