



LEE'S SUMMIT  
MISSOURI

RELEASE FOR LAWN SPRINKLER SYSTEM  
IN CITY OF LEE'S SUMMIT RIGHT OF WAY  
(RESIDENTIAL)

In consideration for the City of Lee's Summit's permission to extend a Lawn Irrigation System into the City's right of way at (legal description of the property):

Lot No. 461 Plat Title Osage Address: 3711 SW Clayton Place  
County: Jackson State: Missouri

I, Kyle King, the undersigned, successors, and assigns do hereby release and forever discharge the City of Lee's Summit, its employees and/or agents from and against any and all liability, claims and demands for any use arising out of, relating to, or being in any way connected with work or service by the City, its employees or agents within the City's right of way for any purpose whatsoever.

NOW THEREFORE, the Undersigned hereby declares that said property described above shall be held, sold and conveyed subject to the release herein and said release shall run with the real property and be binding on all parties having any part thereof, their heirs, successors and assigns.

IN WITNESS WHEREOF, this release has been read, signed and sealed this 7<sup>th</sup> day of August, 2024.

By:

[Signature]  
Kyle King  
Printed or Typed Name

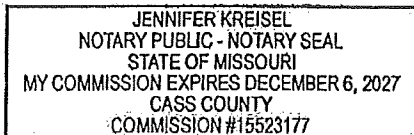
INDIVIDUAL ACKNOWLEDGMENT

STATE OF MISSOURI  
COUNTY OF JACKSON

ON THIS, The 7<sup>th</sup> day of August, 2024, before me, a Notary Public, personally appeared:

Kyle King  
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) subscribed to the within instrument, and acknowledged that he he/she/they executed the same for the purposes stated therein and no other.

WITNESS my hand and official seal in the County and State aforesaid, the day and year first above written.



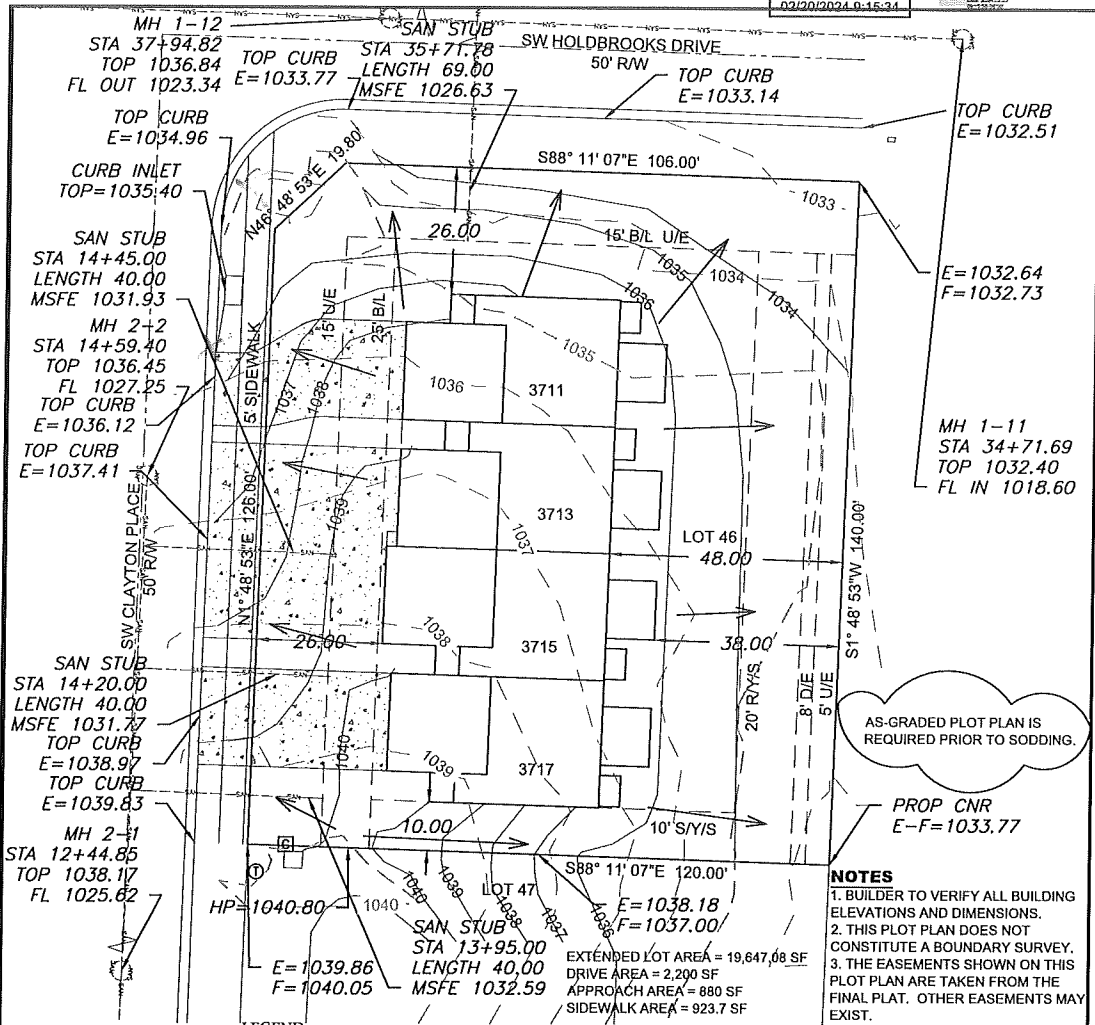
/s/ Jennifer Kreisel  
Notary Public Signature

Jennifer Kreisel  
Printed or Typed Name

(Seal)

My Commission Expires:

December 6, 2027



- NOTES**
1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
  2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
  3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.

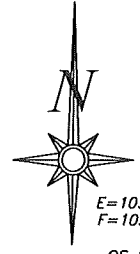
**LEGEND**

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole
- Mailbox
- Fire Hydrant
- Water Valve

**PROPOSED HOUSE**

TOP FOUNDATION = 1042.00  
GARAGE FLOOR (3711) = 1038.50  
GARAGE FLOOR (3713 & 3715) = 1039.50  
GARAGE FLOOR (3717) = 1041.00  
TOP FOOTING = 1034.00  
BASEMENT FLOOR = 1034.33  
DRIVE AREA = 2,200 SF  
APPROACH AREA = 880 SF  
SIDEWALK AREA = 923.7 SF

E = EXISTING ELEVATION  
F = PROPOSED FINAL ELEVATION  
G = ADJACENT GRADE AT EGRESS  
U/E = UTILITY EASEMENT  
B/L = BUILDING LINE  
S/Y/S = SIDE YARD SETBACK  
R/Y/S = REAR YARD SETBACK  
OS BAR

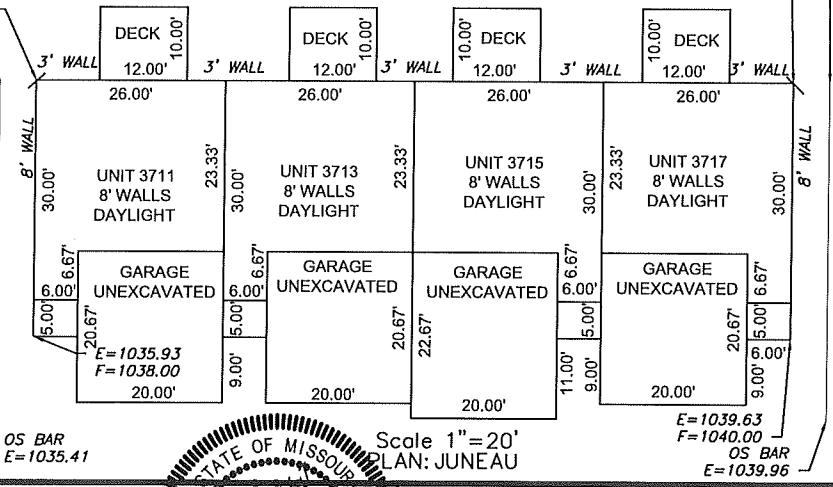


Scale 1"=30'  
**LOT INFORMATION**

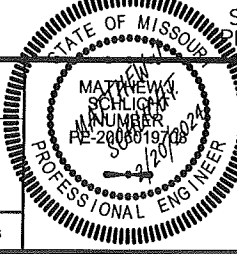
16,702 SQ. FT.  
MBOE (REAR LEFT) = 1033.80  
MBOE (REAR RIGHT) = 1034.73  
MSFE (3711) = 1026.63  
MSFE (3713) = 1031.93  
MSFE (3715) = 1031.77  
MSFE (3717) = 1032.59  
ADDRESS  
3711 SW CLAYTON PLACE  
3713 SW CLAYTON PLACE  
3715 SW CLAYTON PLACE  
3717 SW CLAYTON PLACE

**LEGAL DESCRIPTION**

LOT 46, OSAGE SECOND PLAT,  
A SUBDIVISION AS RECORDED  
IN LEE'S SUMMIT, JACKSON  
COUNTY, MISSOURI.



**ENGINEERING SOLUTIONS**  
ENGINEERING & SURVEYING  
50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P: (816) 623-9883 F: (816) 623-9849  
WWW.ENGINEERING SOLUTIONS MO.COM



**PLOT PLAN - LOT 46**

OSAGE SECOND PLAT  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CLOVER & HIVE  
120 SE 30TH STREET  
LEE'S SUMMIT, MO 64082

PROJECT NO.	FILE NAME	DATE	SHEET	OF
1	LOT 46, OSAGE	12/7/23	1	1

THIS DRAWING IS NOT VALID UNLESS THE SIGNATURE, DATE AND SEAL OF THE ENGINEER WHO SUPERVISED THE PREPARATION OF THIS DRAWING HAS BEEN AFFIXED HERETO.